

GENERAL ENGINEERING NOTES:

- 1. ALL CONSTRUCTION MUST CONFORM TO MARICOPA ASSOCIATION OF GOVERNMENT (MAG) SPECIFICATIONS AND DETAILS AND LATEST REVISIONS UNLESS OTHERWISE STATED ON PLANS.
2. THE ENGINEER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES OR FOR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND THEY WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ALL OVERHEAD AND UNDERGROUND UTILITY LOCATIONS WHERE CONSTRUCTION OCCURS. SPECIAL CARE SHALL BE TAKEN TO ENSURE THAT ALL UTILITIES ARE AVOIDED. UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND NOT FOR CONSTRUCTION PURPOSES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AND OR REPLACED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL COMPLY WITH ALL CURRENT ARIZONA UNDERGROUND FACILITIES LAWS (ARIZONA REVISED STATUTES TITLE 40, CHAPTER 2, ARTICLE 6.3, SECTION 40-360.21-32). CALL ARIZONA 811 FOR FIELD LOCATION BY DIAL 811.
4. THE CITY OF PHOENIX ENGINEERING SERVICES OF PUBLIC WORKS SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION WORK AT 602-262-3111.
5. THE ENGINEER AND APPLICABLE AGENCY MUST APPROVE, PRIOR TO CONSTRUCTION, ANY ALTERATION OR VARIATION FROM THESE PLANS. ANY VARIATION FROM THESE PLANS SHALL BE PROPOSED AND RESUBMITTED FOR REVIEW AND APPROVAL.
6. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES ON THE SITE. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THE DRAWING, SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE. EXISTING SURFACE FEATURES AND FENCING SHALL BE REPLACED IN KIND.
7. ANY INSPECTION BY THE CITY, COUNTY, OR THE ENGINEER, SHALL NOT IN ANY WAY RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH THE APPLICABLE CODES AND AGENCY REQUIREMENTS.
8. THE CONTRACTOR IS TO LOCATE ALL EXISTING LANDSCAPING, LANDSCAPING IRRIGATION LINES, PROPERTY MONUMENTS, FENCING OR SURFACE FEATURES PRIOR TO CONSTRUCTION. ANYTHING DISTURBED DURING CONSTRUCTION SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.
9. NOTHING CONTAINED IN THE CONTRACT DOCUMENTS SHALL CREATE, NOR SHALL BE CONSTRUED TO CREATE, ANY CONTRACTUAL RELATIONSHIP BETWEEN THE ENGINEER AND THE CONTRACTOR OR ANY SUBCONTRACTOR.
10. ALL CONSTRUCTION WATER USED WITHIN THE CITY OF PHOENIX WATER SERVICE AREA REQUIRES APPROVAL BY THE CITY OF PHOENIX PUBLIC WORKS DEPARTMENT AND MAY BE SUBJECT TO VOLUME AND TIME RESTRICTIONS. PLEASE SEE THE CITY OF PHOENIX CONSTRUCTION WATER GUIDELINES FOR ADDITIONAL INFORMATION. THE GUIDELINES CAN BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT AT 602-262-7251.
11. TRAFFIC CONTROL SHALL BE MAINTAINED IN ACCORDANCE WITH MAG SPECIFICATION 401, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND THE "TEMPORARY WORK ZONE TRAFFIC MANAGEMENT POLICY" (LATEST EDITION).
12. PRIOR TO FINAL APPROVAL AND ACCEPTANCE OF THE WORK, THE DEVELOPER/CONTRACTOR WILL BE REQUIRED TO CLEAN AND REPAIR ADJACENT (OFF-PROJECT) ROADWAYS USED OR DAMAGED DURING THE COURSE OF CONSTRUCTION.
13. EMERGENCY VEHICLE ACCESS (E.V.A.) MUST BE PROVIDED BY THE DEVELOPER/CONTRACTOR THROUGHOUT THE PROJECT SITE. E.V.A. ROADS AND SIGNAGE SHALL BE MAINTAINED BY THE DEVELOPER/CONTRACTOR AT ALL TIMES. SIGNAGE SHALL BE POSTED AT THE POINT OF ENTRY TO THE SITE AND AT ALL LOCATIONS WHERE CHANGE IN DIRECTION OCCURS.
14. THE PLANS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACTS ACCESSIBILITY GUIDELINES, AS PUBLISHED IN THE FEDERAL REGISTER ON SEPTEMBER 15, 2010.

GENERAL GRADING NOTES:

- 1. CONTRACTOR TO FOLLOW RECOMMENDATIONS LISTED IN THE PROJECT SPECIFIC GEOTECHNICAL REPORT. SHOULD ANY CONFLICTS ARISE BETWEEN THE SOILS INVESTIGATION REPORT AND THESE GRADING PLANS, THE CIVIL ENGINEER SHALL BE CONTACTED FOR CLARIFICATION.
2. THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO UNFORESEEN FIELD CONDITIONS.
3. THE ENGINEER WILL PERFORM FIELD SURVEYS FOR PAD ELEVATION CERTIFICATIONS, UPON NOTIFICATION BY THE GRADING CONTRACTOR, THAT THE PADS ARE COMPLETE AND READY FOR CERTIFICATION. IT IS UNDERSTOOD THAT THE CERTIFICATION PROVIDES ONLY A REPRESENTATIVE ELEVATION OF THE AVERAGE GRADE OF EACH LOT, BUILDINGS, OR UNIT PAD, AND SHALL NOT BE CONSTRUED TO INCLUDE YARD AND STREET SUBGRADE CERTIFICATION OR CERTIFICATION THAT THE ENTIRE PAD IS LEVEL, THAT IT WAS CONSTRUCTED IN THE DESIGNED LOCATION OR WAS GRADED TO THE CROSS-SECTION SET FORTH ON THE PLANS OR AS DESIGNATED IN THE SOILS REPORT.
4. AN APPROVED GRADING AND DRAINAGE PLAN MUST BE ON THE JOB SITE AT ALL

TIMES. DEVIATIONS FROM THIS PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.

- 5. ALL DRAINAGE FACILITIES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS, OR OTHER MEASURES DESIGNED TO PROTECT BUILDINGS FROM STORM RUNOFF MUST BE CONSTRUCTED PRIOR TO CONSTRUCTION OF ANY BUILDINGS.
6. A GRADING PERMIT IS REQUIRED. BEFORE A GRADING PERMIT IS ISSUED BY THE CITY OF PHOENIX ENGINEERING SERVICES, THE CONTRACTOR MUST FIRST OBTAIN A DUST CONTROL PERMIT FROM MARICOPA COUNTY ENVIRONMENTAL SERVICES-AIR QUALITY DIVISION.
7. HAUL PERMITS, WHEN REQUIRED, MUST BE OBTAINED PRIOR TO OR CONCURRENTLY WITH THE GRADING AND DRAINAGE PERMIT.
8. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
9. CONTRACTOR SHALL PROVIDE, IN ALL RETENTION BASINS, ELEVATIONS AS SHOWN ON THE PLANS. SIDE SLOPES IN ALL RETENTION BASINS SHALL NOT EXCEED 3:1 UNLESS NOTED OTHERWISE ON THE PLANS.
10. DRYWELLS, WHEN REQUIRED, MUST BE DRILLED A MINIMUM OF TEN (10) FEET INTO PERMEABLE POROUS STRATA OR PERCOLATION TESTS WILL BE REQUIRED. THE CIVIL INSPECTOR MUST BE PRESENT BEFORE BACKFILL OR WELL PIPES ARE PLACED WITHIN ANY DRYWELLS. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR REGISTERING THE DRYWELLS SHOWN ON THE PLAN WITH THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ).
11. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR MAINTENANCE OF DRYWELLS SHOWN ON THE PLAN.
12. ACCESS BARRIERS/TRASH RACKS ARE REQUIRED ON THE EXPOSED ENDS OF ALL STORM DRAINS EIGHTEEN (18) INCHES IN DIAMETER AND GREATER. SEE DETAILS 5-06A, 5-06B, AND 5-06C. REFER TO MAG DETAILS 502-1 AND 502-2 FOR PIPES LESS THAN THIRTY (30) INCHES IN DIAMETER.
13. SOIL COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE CITY OF SURPRISE ENGINEERING SERVICES FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED.
15. A PAD CERTIFICATION LETTER FOR EACH PHASE OR PARCEL MUST BE SUBMITTED TO THE CITY OF PHOENIX ENGINEERING SERVICES BY THE DEVELOPER STATING THAT EACH PAD HAS BEEN BUILT IN ACCORDANCE WITH THE SOILS INVESTIGATIVE REPORT AND CITY OF SURPRISE REQUIREMENTS.
16. APPROVAL OF THESE PLANS SHALL NOT PREVENT THE CITY FROM REQUIRING THE CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW OR ORDINANCE.
17. ALL CONSTRUCTION SITES WITH DISTURBED AREAS OF ONE (1) ACRE OR GREATER SHALL HAVE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ALL ASSOCIATED DOCUMENTS (SEE ENGINEERING AND PERMITTING APPLICATION PACKET).

CAUTION REGARDING STORM DRAIN PIPES: CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE PIPE FROM DAMAGE DURING THE CONSTRUCTION STAGE. THE COVER ON THE DRAINAGE PIPE IS DESIGNED FOR FINAL GRADE; THEREFORE, EXTRA CARE MUST BE EXERCISED DURING THE CONSTRUCTION PHASE TO MAINTAIN COVER OVER PIPES.

PAVING NOTES:

- 1. THE ACTUAL POINT OF PAVEMENT MATCHING AND/OR TERMINATION, SHALL BE DETERMINED IN THE FIELD BY A CITY OF PHOENIX FIELD INSPECTOR.
2. ALL FRAMES, COVERS, VALVE BOXES, AND MANHOLE COVERS SHALL BE ADJUSTED TO FINISH GRADE AFTER COMPLETION OF PAVING OR RELATED CONSTRUCTION.
3. CONSTRUCTION OF SURFACE IMPROVEMENTS SHALL NOT BEGIN UNTIL CONFLICTING UNDERGROUND UTILITY CONSTRUCTION IS COMPLETED AND SERVICE CONNECTIONS TO ALL PLATTED LOTS HAVE BEEN ADEQUATELY EXTENDED TO THE RIGHT-OF-WAY OR PUBLIC UTILITY EASEMENT.
4. THE PERMITTEE SHALL ARRANGE FOR THE RELOCATION COSTS OF ALL UTILITIES, INCLUDING ANY STREET LIGHTS, AND SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF A CONSTRUCTION PERMIT.
5. TREES AND SHRUBBERY IN THE RIGHT-OF-WAY THAT CONFLICT WITH PROPOSED IMPROVEMENTS SHALL NOT BE REMOVED WITHOUT APPROVAL FROM THE CITY. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING AUTHORIZATION FROM CITY OF PHOENIX COMMUNITY AND ECONOMIC DEVELOPMENT AT 602-262-5040 TO REMOVE AND/OR RELOCATE SAID TREES AND SHRUBBERY.
6. DAMAGED AND/OR DISPLACED CONCRETE CURB, GUTTER, SIDEWALK, OR DRIVEWAY SLAB THAT IS WITHIN THE RIGHT-OF-WAY SHALL BE REPAIRED OR REPLACED BEFORE FINAL ACCEPTANCE OF THE WORK.
7. GRADING BETWEEN BACK OF CURB AND PROPERTY LINE SHALL BE LIMITED TO 4:1 SLOPE. PROTECT SLOPES FROM EROSION AND/OR TRANSPORTING SILT ONTO STREETS OR ADJACENT PRIVATE PROPERTY.
8. ALL FIRE HYDRANTS SHALL HAVE A TWO-WAY BLUE REFLECTOR INSTALLED PER MAG STANDARD DETAIL 122.
9. STREET SIGNS SHALL BE FURNISHED AND INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE SIGNAGE, STRIPING, OR PAVING PLAN.
10. ASPHALT MIX DESIGN SHALL BE SUBMITTED TO THE CITY OF PHOENIX ENGINEERING DEVELOPMENT SERVICES DIVISION PRIOR TO THE PLACEMENT OF ANY ASPHALT.

Table with columns: DEMO, EXISTING, PROPOSED, FUTURE. Rows include: PROPERTY LINE, PROPERTY SECTION LINE, RIGHT OF WAY, DRAINAGE EASEMENT, MULTI USE EASEMENT (MUE), MWD EASEMENT, MAJOR CONTOURS, MINOR CONTOURS, ROAD CENTERLINE, ROAD ASPHALT, PAVEMENT CONCRETE, ROAD EDGE, ROAD MEDIAN, ROAD GUTTER, ROAD BACK OF CURB, ROAD FLOWLINE, ROAD GUTTER, ROAD SIGNAGE, SIDEWALK, POND TOP, POND BOTTOM, CHAIN LINK FENCE, CONCRETE IRRIGATION CANAL, WATER PIPE, SANITARY SEWER PIPE, POWER UNDERGROUND, POWER OVERHEAD, GAS UNDERGROUND, CABLE UNDERGROUND, SAWCUT, STORM RIP RAP, ROAD MILL OVERLAY, PROPERTY MONUMENT, WATER METER, WATER TEE, FIRE HYDRANT, WATER VALVE, ROAD FIRE HYDRANT MARKING, SANITARY MANHOLE, LIGHT POLE, POWER POLE, TRAFFIC SIGNAL, GAS MANHOLE, GAS VALVE, POWER INSTILLATION, TRAFFIC BARRICADE, MONUMENT CAP.

ABBREVIATIONS

Table with columns: Abbreviation, Description. Includes: BOP (BOTTOM OF PIPE), CF (CUBIC FOOT), CL (CENTERLINE), CY (CUBIC YARD), DIA (DIAMETER), E (EAST), ELEV (ELEVATION), FG (FINISHED GRADE), FH (FIRE HYDRANT), FL (FLOWLINE), G (GAS), LF (LINEAR FET), LP (LOW POINT), ME (MATCH EXISTING), MH (MANHOLE), N (NORTH), N.T.S (NOT TO SCALE), PD (STORM POND), PL (PROPERTY LINE), PR (PROPOSED), RIM (RIM OF STRUCTURE), ROW (RIGHT OF WAY), S (SOUTH), SF (SQUARE FEET), SS (SANITARY SEWER), STA (STATION), SW (SIDEWALK), TOP (TOP OF PIPE), TYP (TYPICAL), W (WEST), W (WATER LINE).

OVERALL GENERAL LEGEND



Table with columns: REV. NO., DATE, REVISIONS DESCRIPTION. Contains revision history entries.

FINAL IMPROVEMENT PLANS GENERAL NOTES TACO BELL 1919 W. BASELINE RD. PHOENIX, AZ 85041 2022

ZONING: C-2 REZONING: Z-101-76 ZA CASES: 34419/49820/10017 LSPL: CCPR #: LSIS: PAPP #: 2201538 KIVA #: 17-287A3 SDEV #: 1700061 Q.S. #: Q01-24

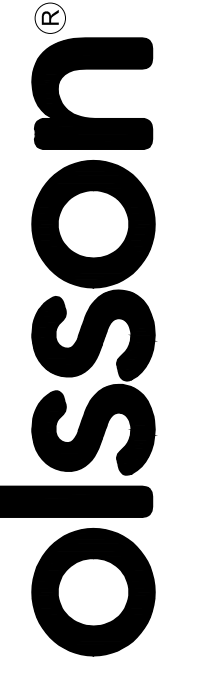
drawn by: designed by: checked by: project no.: date: 021-08522 06.07.2022

SANITARY SEWER NOTES:

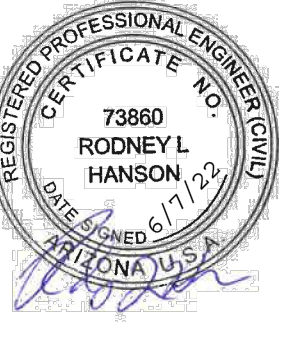
- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING REQUIRED PERMITS AND INSPECTIONS FROM APPROPRIATE GOVERNMENTAL AGENCIES FOR ALL WORK IN THE PUBLIC RIGHT-OF-WAY.
- 2. ANY WORK PERFORMED WITHOUT THE APPROVAL OF THE CITY ENGINEER AND/OR ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THE SPECIFICATION IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- 3. THE CONTRACTOR SHALL UNCOVER ALL EXISTING LINES BEING TIED TO AND VERIFY THEIR LOCATION PRIOR TO TRENCHING. THE CONTRACTOR SHALL LOCATE OR HAVE LOCATED ALL EXISTING UNDERGROUND PIPELINES, TELEPHONE AND ELECTRICAL CONDUIT AND STRUCTURES IN ADVANCE OF CONSTRUCTION AND SHALL OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID DAMAGE TO THE SAME. CALL BLUE STAKE AT 602-263-1100 AND NOTIFY ALL INTERESTED UTILITIES.
- 4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD BEFORE THE SANITARY SEWER FITTINGS ARE COVERED. FITTINGS SHALL NOT BE COVERED UNTIL SURVEYS HAVE BEEN COMPLETED. THE ENGINEER SHALL MAKE FIELD AS-BUILT MEASUREMENTS OF THE SANITARY SEWER WORK UPON NOTIFICATION BY THE SEWER CONTRACTOR THAT THE PIPE WORK IS COMPLETE AND READY FOR AS-BUILT SURVEY.
- 5. AS-BUILT PLANS CERTIFIED FOR CORRECTNESS BY A PROFESSIONAL CIVIL ENGINEER OR LAND SURVEYOR IN THE STATE OF ARIZONA ARE REQUIRED PRIOR TO FINAL APPROVAL OF ALL WATER, SEWER, RECLAIMED WATER AND STORM WATER CONSTRUCTION.
- 6. THE FOLLOWING DETAIL IS SPECIFICALLY NOT APPROVED: MAG STANDARD DETAIL 425 (24-INCH ALUMINUM, MANHOLE FRAME AND COVER).
- 7. A TWO (2) INCH BY FOUR (4) INCH WOOD OR METAL POST PAINTED GREEN WITH BLACK LOT NUMBERS IS TO BE INSTALLED AT THE END OF ALL SEWER SERVICES.
- 8. FOR RESIDENTIAL CONSTRUCTION, SEWER SERVICES SHALL BE SIX (6) FEET BELOW FINISH GRADE AT THE PUBLIC UTILITY EASEMENT AND FOUR (4) FEET BELOW THE FINISH GRADE AT FOUR (4) FEET PAST THE PUBLIC UTILITY EASEMENT.
- 9. ANY MANHOLE IN A GUTTER LINE MUST BE WATERTIGHT PER MAG STANDARD DETAIL 424.
- 10. THE MANHOLE COVERS SHALL READ "SURPRISE SANITARY SEWER" PER DETAIL 7-01.
- 11. MANHOLES TEN (10) FEET OR DEEPER SHALL BE A MINIMUM OF FIVE (5) FEET IN DIAMETER.
- 12. ALL MANHOLE SECTIONS SHALL BE SEALED WITH BOTH MASTIC (RAMNECK OR APPROVED EQUAL) AND GROUT PLACED INSIDE EACH MANHOLE SECTION KEY. THE INSIDE JOINTS SHALL BE GROUT-FINISHED.
- 13. UPON THE COMPLETION OF THE SEWER, THE TOP EIGHT (8) FEET OF ALL MANHOLES ARE TO BE SPRAYED WITH INSECTICIDE BY A CERTIFIED COMPANY OR INDIVIDUAL FOR ROACH CONTROL. A VERIFICATION LETTER IS TO BE FURNISHED TO THE CITY OF SURPRISE.
- 14. MARKING TAPE AND MARKER BALLS SHALL BE INSTALLED AT ALL SEWER LINE FITTINGS AND EVERY 200 FEET IF THE DISTANCE BETWEEN FITTINGS IS GREATER THAN 200 FEET PER DETAIL 7-08.
- 15. SHORT TERM DEFLECTION TESTING SHALL BE PERFORMED ON ALL SEGMENTS OF PLASTIC SEWER PIPE EIGHT (8) INCHES IN DIAMETER AND LARGER AFTER COMPLETION OF BACKFILL AND COMPACTION, BUT PRIOR TO INSTALLATION OF FINISH SURFACE MATERIAL. A SHORT-TERM DEFLECTION IN EXCESS OF FIVE (5) PERCENT SHALL BE CONSIDERED UNSERVICEABLE AND SHALL BE REPAIRED OR REPLACED AND RETESTED.
- 16. LOW-PRESSURE AIR TESTING IS REQUIRED FOR ONE HUNDRED (100) PERCENT OF THE LINE INSTALLATION PER MAG SPECIFICATION 615.11.
- 17. ONE HUNDRED (100) PERCENT OF BRANCH, MAIN, AND TRUNK SEWER LINES ARE TO BE INSPECTED BY VIDEO CAMERA. TWO COPIES OF COMPLETED DVD ALONG WITH OPERATOR NOTES ARE TO BE FURNISHED TO THE CITY OF SURPRISE UPON COMPLETION OF THE FIRST VIDEO. IF THERE ARE NEGATIVE RESULTS THEN THE AFFECTED SEWER LINES WILL BE REPAIRED AND RE-VIDEOED ACCORDINGLY.
- 18. ALL SEWER MANHOLES SHALL BE TESTED IN ACCORDANCE WITH ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY REQUIREMENTS, USING THE WATER TIGHTNESS OR AIR PRESSURE METHODS AS PUBLISHED IN TITLE 18 ENVIRONMENTAL QUALITY.
- 19. THE MINIMUM COVER FOR SEWER MAIN PIPES SHALL BE SIX (6) FEET FROM TOP OF PIPE TO FINISHED GRADE. SEWER PIPE BEDDING SHALL BE ONE HUNDRED (100) PERCENT ABC MATERIAL PER MAG SPECIFICATIONS, PLACED AND COMPACTED FROM FOUR (4) INCHES BELOW PIPE TO TWELVE (12) INCHES ABOVE PIPE. FOR SEWER LINE CONSTRUCTION THE PIPE BEDDING SHALL BE PLACED IN TWO LIFTS PER MAG SPECIFICATIONS.
- 20. PIPE BEDDING, BACKFILLING AND COMPACTION SHALL BE PER MAG STANDARD DETAIL 200-1.
- 21. SEWER LINES SHALL CONSIST OF POLYVINYL CHLORIDE (PVC) SOLID WALL PLASTIC SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM D-3034, SDR-35 OR C900.

MARICOPA WATER DISTRICT GENERAL NOTES:

- 1. CONTRACTOR SHALL NOTIFY MARICOPA WATER DISTRICT IN WRITING AT LEAST 72 HOURS IN ADVANCE OF ANY CONSTRUCTION.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING WITH MWD FOR THE INSPECTION OF ALL CONSTRUCTION WORK WITHIN MWD'S EASEMENT AND/OR RIGHT-OF-WAY. NOTICE MUST BE GIVEN TO MWD A MINIMUM OF 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION THAT WILL REQUIRE FIELD INSPECTION OR APPROVAL. PLEASE CONTACT MWD'S ENGINEERING DEPARTMENT AT (623) 546-8266.
- 3. ALL CONSTRUCTION WORK WITHIN MWD'S EASEMENT AND/OR RIGHT OF WAY IS SUBJECT TO INSPECTION AND APPROVAL BY MWD. CONSTRUCTION WORK CONCEALED WITHOUT INSPECTION BY MWD SHALL BE SUBJECT TO EXPOSURE AT THE CONTRACTORS EXPENSE.
- 4. AS-BUILT PLANS SHALL BE PROVIDED TO MWD UPON COMPLETION OF THIS PROJECT.



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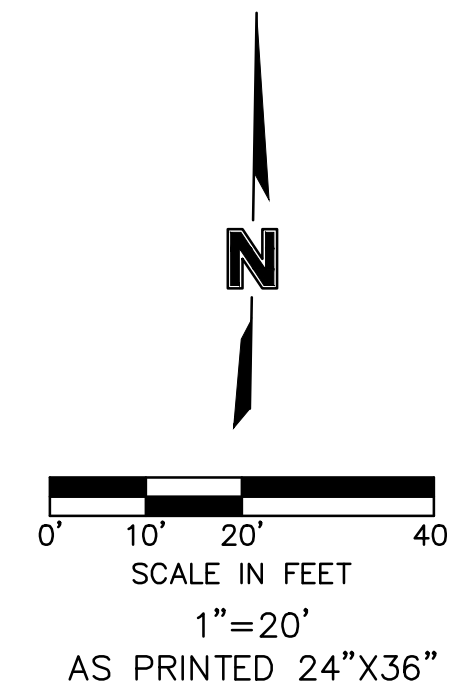
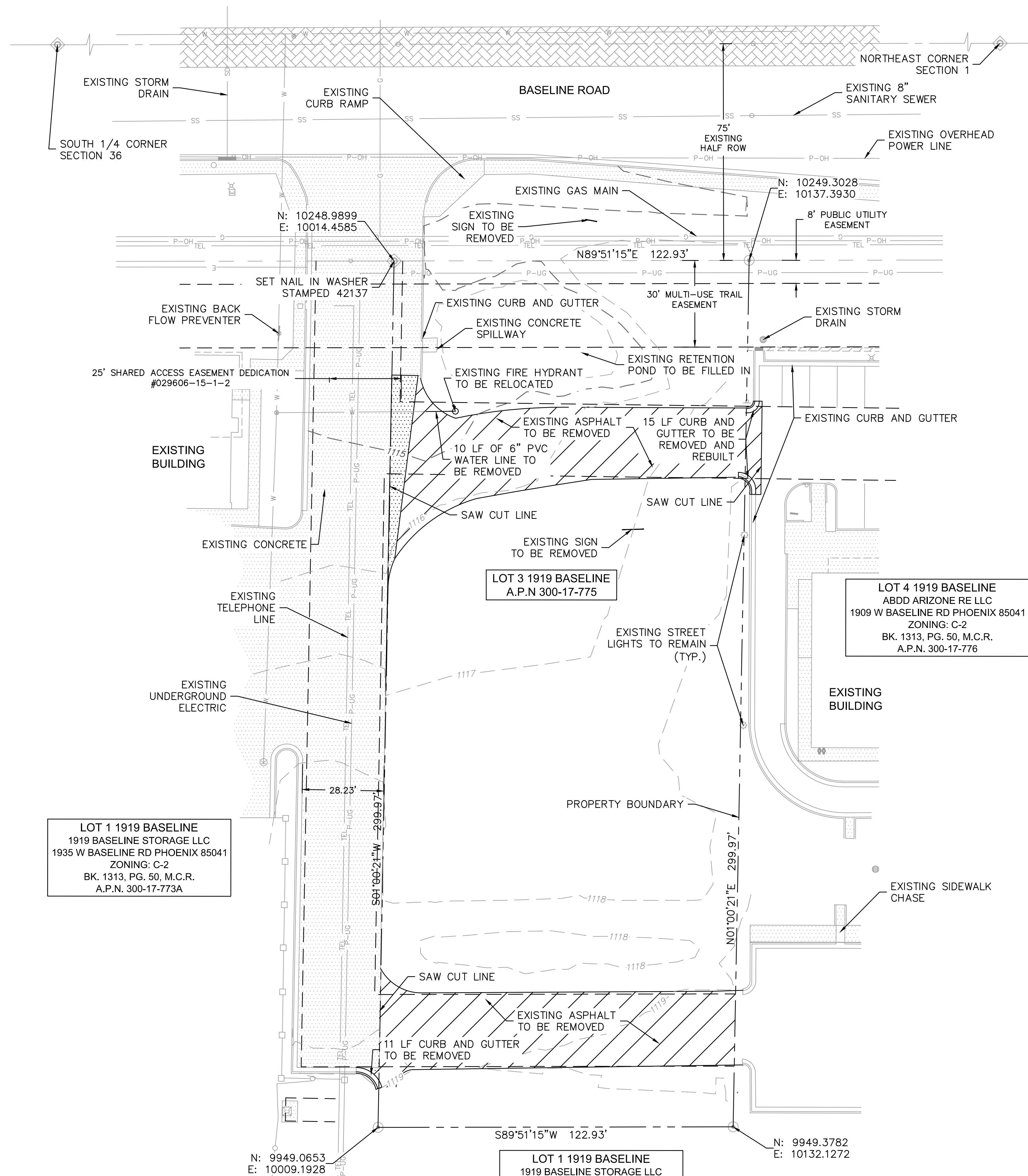
REV. NO.	DATE	REVISIONS DESCRIPTION

FINAL IMPROVEMENT PLANS GENERAL NOTES		
TACO BELL 1919 W. BASELINE RD. PHOENIX, AZ 85041		2022

drawn by: _____
designed by: _____
checked by: _____
project no.: 021-08522
date: 06.07.2022

ZONING: C-2
REZONING: Z-101-76
ZA CASES: 34419/49820/10017
LSPL: _____
LSIS: _____
PAPP #: 2201538
KIVA #: 17-287A3
SDEV #: 1700061
CCPR #: _____
Q.S. #: Q01-24

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EXISTING LEGEND

LINES TYPES	
PROPERTY LINE	---
RIGHT OF WAY	---
EASEMENT LINE	---
SETBACK LINE	---
CENTER LINE	---
WATER LINE	W
SEWER LINE	SS
STORM LINE	SD
UG POWER	P-UG
OVERHEAD POWER	P-OH
UG GAS	GAS
UG COMMUNICATION	COMM
UG TELEPHONE	TEL
CONCRETE	[Pattern]
ASPHALT TO BE REMOVED	[Pattern]
CONCRETE TO BE REMOVED	[Pattern]

SYMBOLS	
FIRE HYDRANT	[Symbol]
WATER VALVE	[Symbol]
WATER METER	[Symbol]
BACK FLOW DEVICE	[Symbol]
FDC	[Symbol]
HOSE BIBB	[Symbol]
SANITARY MANHOLE	[Symbol]
SANITARY CLEANOUT	[Symbol]
STORM MANHOLE	[Symbol]
LIGHT POLE	[Symbol]
TRANSFORMER PAD	[Symbol]
ELECTRIC BOX	[Symbol]
ELECTRIC CABINET	[Symbol]
TELE PEDESTAL	[Symbol]
POST SIGN	[Symbol]
MONUMENT CAP	[Symbol]

LOT 1 1919 BASELINE
 1919 BASELINE STORAGE LLC
 1935 W BASELINE RD PHOENIX 85041
 ZONING: C-2
 BK. 1313, PG. 50, M.C.R.
 A.P.N. 300-17-773A

LOT 3 1919 BASELINE
 A.P.N. 300-17-775

LOT 4 1919 BASELINE
 ABDD ARIZONE RE LLC
 1909 W BASELINE RD PHOENIX 85041
 ZONING: C-2
 BK. 1313, PG. 50, M.C.R.
 A.P.N. 300-17-776

LOT 1 1919 BASELINE
 1919 BASELINE STORAGE LLC
 1935 W BASELINE RD PHOENIX 85041
 ZONING: C-2
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 A.P.N. 300-17-773A

ZONING: C-2
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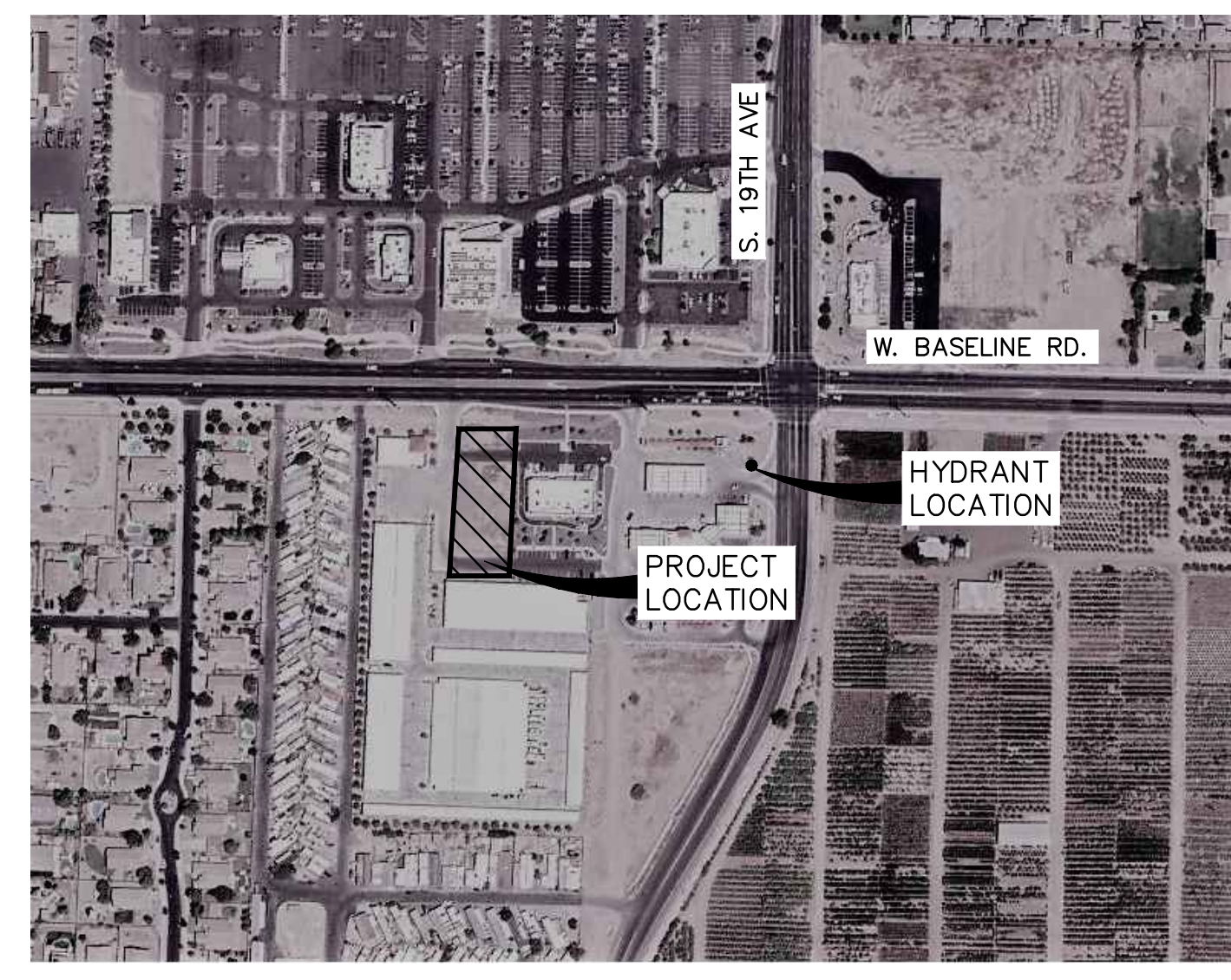
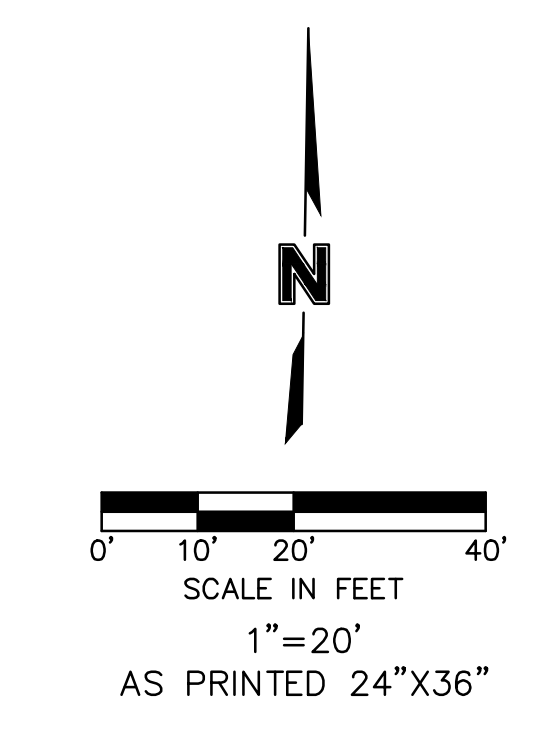
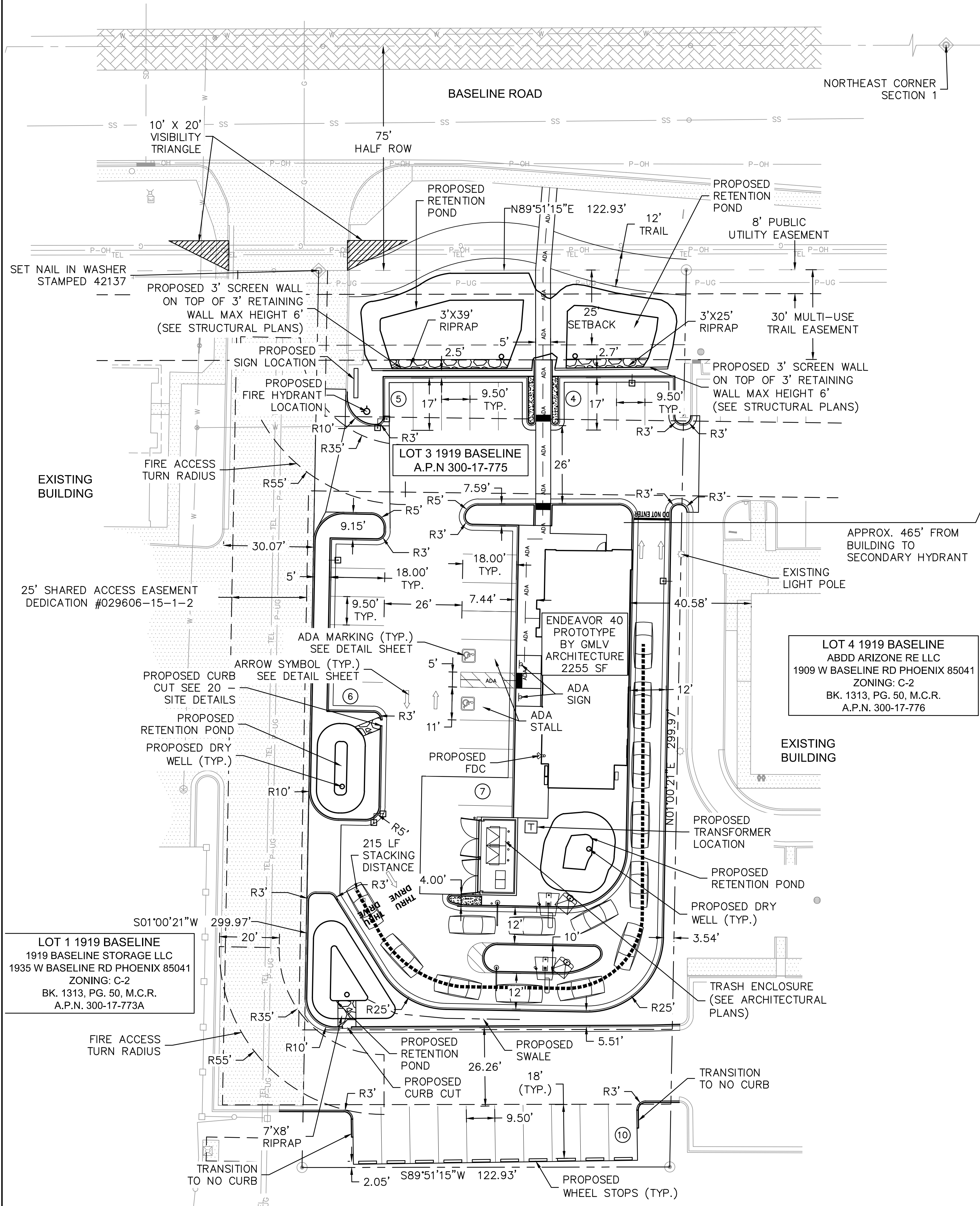


REV. NO.	DATE	REVISIONS DESCRIPTION

FINAL IMPROVEMENT PLANS EXISTING CONDITIONS AND DEMOLITION PLAN	2022
TACO BELL 1919 W. BASELINE RD. PHOENIX, AZ 85041	1700061
Z: C-2	SDEV: 1700061

drawn by: [Signature]
 designed by: [Signature]
 checked by: [Signature]
 project no.: 021-08522
 date: 06.07.2022

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SITE DATA TABLE		
GROSS SITE AREA (SF)	46,089	
NET SITE AREA (SF)	36,869	
PROPOSED USES	RESTAURANT	
ZONING	C-2	
BUILDING SIZE	2255 SF (1128 SF OF DINING & QUEUEING AREA)	
PARKING*	REQUIRED	PROVIDED
	ACCESSIBLE	2
STANDARD	23	32

*PARKING CALCULATIONS:
 REQUIRED: 1 SPACE PER 50 S.F.: 1128 SF x 1/50 = 23 SPACES
 PROVIDED: 32 SPACES
 REQUIRED: ADA SPOTS 1/25 SPACES: 1 ADA SPOT
 PROVIDED: ADA SPOTS 1/25 SPACES: 2 ADA SPOTS

- NOTES:**
1. DEVELOPMENT AND USE OF THE THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
 2. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
 3. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAYS ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
 4. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' X 33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
 5. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE.
 6. OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS.
 7. ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
 8. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
 9. BARBED, RAZOR, OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
 10. ALL SIGNAGE REQUIRES SEPARATE REVIEWS, APPROVALS, AND PERMITS. NO SIGNS ARE APPROVED PER THIS PLAN.
 11. ALL DRIVE AND PARKING AREAS ARE TO BE DUST PROOF.

ZONING: C-2
 REZONING: Z-101-76
 ZA CASES: 34419/49820/10017
 LSPL:
 LSIS:

PAPP # 2201538
 KIVA # 17-287A3
 SDEV # 1700061
 CCPR #
 Q.S. # Q01-24

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REVISIONS

REV. NO.	DATE	REVISION DESCRIPTION

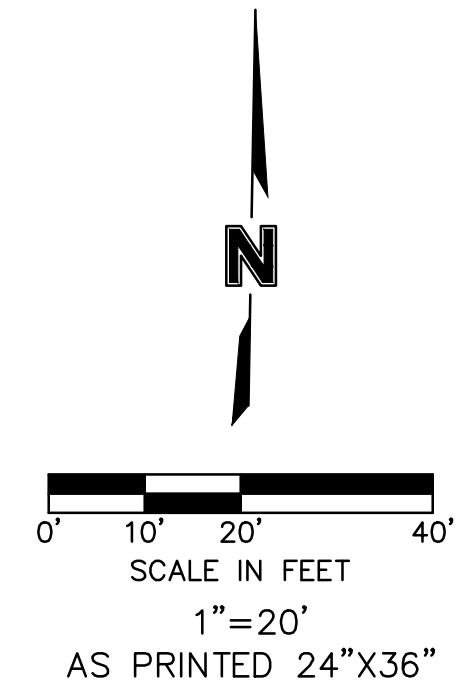
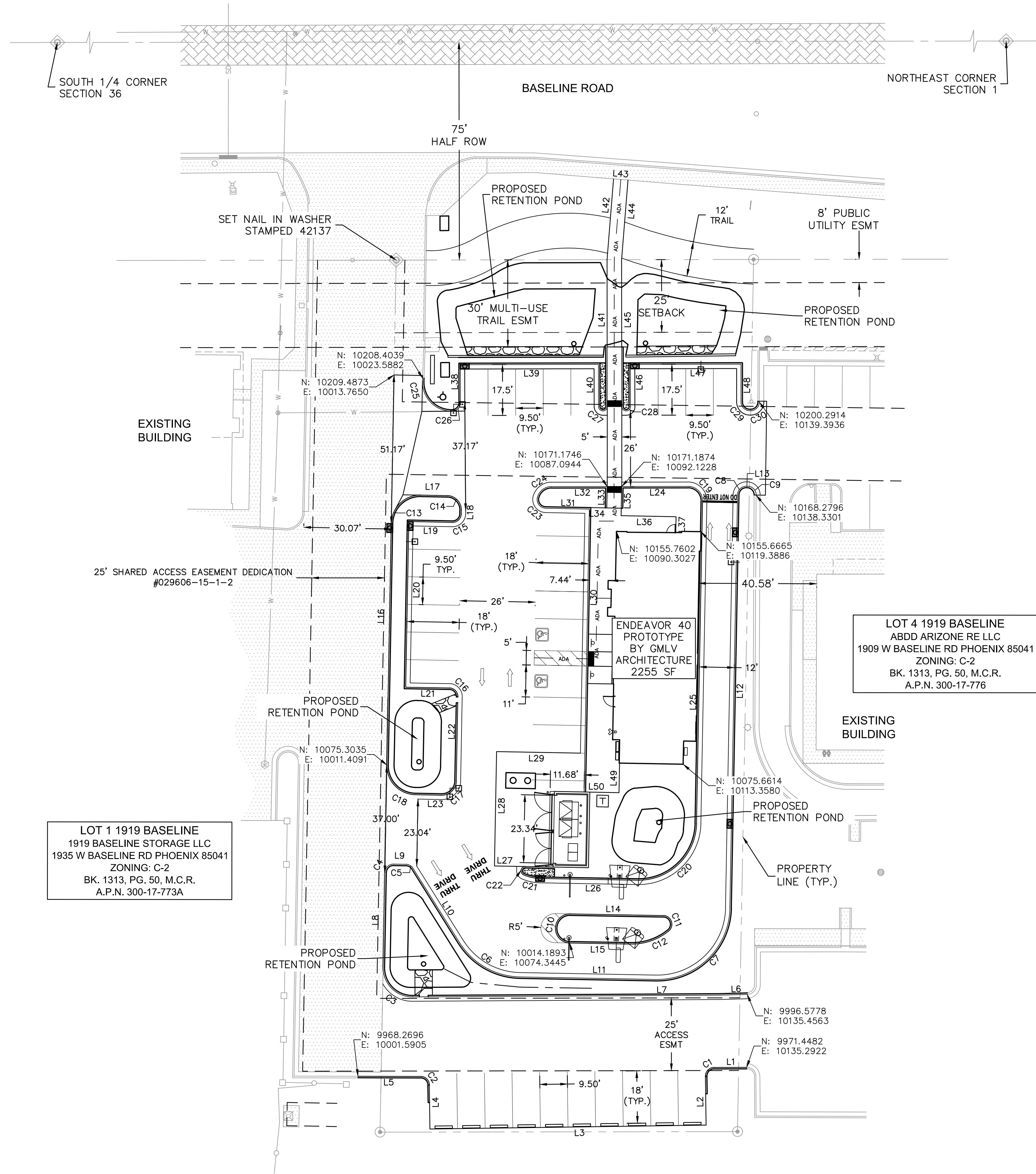
FINAL IMPROVEMENT PLANS
SITE PLAN

TACO BELL
1919 W. BASELINE RD.

PHOENIX, AZ 85041
PAPP: 2201538 SDEV: 1700061

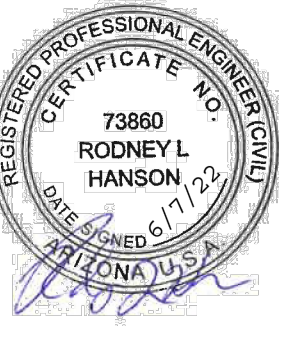
drawn by: _____
 designed by: _____
 checked by: _____
 project no.: 021-08522
 date: 06.07.2022

5
C2.0 of 23



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REV. NO.	DATE	REVISIONS DESCRIPTION

FINAL IMPROVEMENT PLANS HORIZONTAL CONTROL PLAN	2022
TACO BELL 1919 W. BASELINE RD.	
PHOENIX, AZ 85041	
Z: C-2 KIVA: 17-287A3 PAPP: 2201538 SDEV: 1700061	

ZONING: C-2
 REZONING: Z-101-76
 ZA CASES: 34419/49820/10017
 LSPL:
 LSIS:
 PAPP #: 2201538
 KIVA #: 17-287A3
 SDEV #: 1700061
 CCPR #:
 Q.S. #: Q01-24

drawn by:	
designed by:	
checked by:	
project no.:	021-08522
date:	06.07.2022

ALIGNMENT LINES				
LINE ID #	START COORD.	END COORD.	DIRECTION	LENGTH (FT)
L1	N: 9971.41 E: 10124.09	N: 9971.45 E: 10135.29	N89°47'50"E	11.21
L2	N: 9951.59 E: 10121.35	N: 9968.36 E: 10121.10	N0°51'52"W	16.77
L3	N: 9950.16 E: 10026.36	N: 9951.59 E: 10121.35	N89°08'08"E	95.00
L4	N: 9965.28 E: 10026.13	N: 9950.16 E: 10026.36	S0°51'52"E	15.12
L5	N: 9968.27 E: 10001.59	N: 9968.23 E: 10023.14	S89°53'50"E	21.55
L14	N: 10023.63 E: 10106.51	N: 10024.19 E: 10074.52	N88°59'39"W	32.00
L15	N: 10014.19 E: 10074.34	N: 10013.82 E: 10095.39	S88°59'39"E	21.05
L16	N: 10158.33 E: 10012.87	N: 10075.30 E: 10011.41	S1°00'21"W	83.04
L17	N: 10167.99 E: 10032.04	N: 10168.15 E: 10032.04	N88°59'39"W	9.00
L18	N: 10161.76 E: 10036.93	N: 10162.91 E: 10036.95	N1°00'21"E	1.15
L19	N: 10159.08 E: 10018.88	N: 10158.81 E: 10033.88	S88°59'39"E	15.00
L20	N: 10102.08 E: 10017.88	N: 10102.08 E: 10017.88	N1°00'21"E	57.00
L21	N: 10101.82 E: 10032.91	N: 10102.08 E: 10017.88	N88°59'39"W	15.03
L22	N: 10069.88 E: 10035.32	N: 10098.80 E: 10035.83	N1°00'21"E	28.92
L23	N: 10065.13 E: 10021.23	N: 10064.97 E: 10030.23	S88°59'39"E	9.00
L24	N: 10171.25 E: 10114.86	N: 10171.19 E: 10092.12	S89°51'15"W	22.74
L25	N: 10055.43 E: 10117.95	N: 10166.14 E: 10119.89	N1°00'21"E	110.72
L26	N: 10036.37 E: 10064.16	N: 10035.78 E: 10097.60	S88°59'39"E	33.44
L28	N: 10079.97 E: 10049.15	N: 10040.65 E: 10048.46	S1°00'21"W	39.33
L29	N: 10079.44 E: 10079.49	N: 10079.97 E: 10049.15	N88°59'39"W	30.35
L30	N: 10163.43 E: 10080.97	N: 10079.44 E: 10079.49	S1°00'21"W	84.00
L31	N: 10163.69 E: 10065.97	N: 10163.43 E: 10080.97	S88°59'39"E	15.00
L32	N: 10171.17 E: 10087.12	N: 10171.13 E: 10067.93	S89°51'15"W	19.19
L33	N: 10171.17 E: 10087.12	N: 10163.82 E: 10086.97	S1°09'39"W	7.35
L34	N: 10163.82 E: 10086.97	N: 10163.92 E: 10081.48	N88°59'39"W	5.50
L35	N: 10161.15 E: 10091.93	N: 10171.19 E: 10092.12	N1°07'10"E	10.04
L36	N: 10160.82 E: 10110.81	N: 10161.15 E: 10091.93	N88°59'39"W	18.89

ALIGNMENT LINES				
LINE ID #	START COORD.	END COORD.	DIRECTION	LENGTH (FT)
L37	N: 10155.40 E: 10110.72	N: 10160.82 E: 10110.81	N1°00'21"E	5.42
L38	N: 10200.04 E: 10036.61	N: 10213.05 E: 10036.58	N0°08'45"W	13.00
L39	N: 10213.05 E: 10036.58	N: 10213.17 E: 10084.08	N89°51'15"E	47.50
L40	N: 10213.17 E: 10084.08	N: 10198.66 E: 10084.11	S0°08'45"E	14.50
L41	N: 10198.67 E: 10087.11	N: 10249.17 E: 10086.98	N0°08'27"W	50.50
L42	N: 10249.17 E: 10086.98	N: 10276.98 E: 10089.21	N4°35'02"E	27.89
L43	N: 10276.98 E: 10089.21	N: 10276.58 E: 10094.18	S85°24'58"E	4.98
L44	N: 10276.58 E: 10094.18	N: 10249.19 E: 10091.98	S4°35'02"W	27.48
L45	N: 10249.19 E: 10091.98	N: 10198.69 E: 10092.11	S0°08'45"E	50.50
L46	N: 10198.70 E: 10095.11	N: 10213.20 E: 10095.08	N0°08'45"W	14.50
L47	N: 10213.20 E: 10095.08	N: 10213.29 E: 10133.08	N89°51'15"E	38.00
L48	N: 10213.29 E: 10133.08	N: 10200.29 E: 10133.11	S0°08'45"E	13.00
L49	N: 10076.05 E: 10091.44	N: 10065.90 E: 10091.27	S1°00'21"W	10.15
L50	N: 10065.90 E: 10091.27	N: 10066.10 E: 10079.76	N88°59'39"W	11.51

ALIGNMENT CURVES							
CURVE ID #	START COORD.	END COORD.	RADIUS (FT)	LENGTH (FT)	DELTA	CHORD BEARING	CHORD LENGTH (FT)
C1	N: 9968.36 E: 10121.10	N: 9971.41 E: 10124.09	3.00	4.75	090°39'42"	N44°27'59"E	4.27
C2	N: 9968.23 E: 10023.14	N: 9965.28 E: 10026.13	3.00	4.66	089°01'58"	S45°22'51"E	4.21
C3	N: 9905.78 E: 10010.19	N: 9995.61 E: 10020.25	10.00	15.95	091°23'01"	S44°41'09"E	14.31
C4	N: 10041.26 E: 10013.81	N: 10038.31 E: 10010.76	3.00	4.71	090°00'00"	S46°00'21"W	4.24
C5	N: 10039.78 E: 10020.48	N: 10041.18 E: 10017.99	3.00	2.98	056°53'14"	N60°33'02"W	2.86
C6	N: 10002.49 E: 10057.27	N: 10014.20 E: 10036.53	25.00	24.82	056°53'14"	N60°33'02"W	23.81
C7	N: 10026.22 E: 10129.44	N: 10001.67 E: 10104.00	25.00	39.27	090°00'00"	S46°00'21"W	35.36
C8	N: 10171.30 E: 10134.93	N: 10168.35 E: 10131.93	3.00	4.66	088°54'42"	S45°27'42"W	4.20
C9	N: 10168.28 E: 10138.33	N: 10171.30 E: 10135.31	3.00	4.74	090°35'36"	N45°02'23"W	4.27
C10	N: 10024.19 E: 10074.52	N: 10014.19 E: 10074.34	5.00	15.71	180°00'00"	S01°00'21"W	10.00
C11	N: 10171.30 E: 10108.35	N: 10023.63 E: 10106.51	3.00	7.32	139°52'51"	N19°03'14"W	5.64
C12	N: 10013.82 E: 10095.39	N: 10018.30 E: 10108.35	20.00	14.00	040°06'57"	N70°56'40"E	13.72
C13	N: 10168.15 E: 10023.04	N: 10158.33 E: 10012.87	10.00	15.71	090°00'00"	S46°00'21"W	14.14
C14	N: 10162.91 E: 10036.95	N: 10167.99 E: 10032.04	5.00	7.85	090°00'00"	N43°59'39"W	7.07
C15	N: 10158.81 E: 10033.88	N: 10161.76 E: 10036.93	3.00	4.71	090°00'00"	N46°00'21"E	4.24
C16	N: 10098.80 E: 10035.83	N: 10101.82 E: 10032.91	2.97	4.66	090°00'00"	N43°59'39"W	4.20
C17	N: 10064.97 E: 10030.23	N: 10069.88 E: 10035.32	5.00	7.85	090°00'00"	N46°00'21"E	7.07
C18	N: 10075.30 E: 10011.41	N: 10065.13 E: 10021.23	10.00	15.71	090°00'00"	S43°59'39"E	14.14
C19	N: 10166.14 E: 10119.89	N: 10171.25 E: 10114.86	5.02	7.99	091°09'06"	N44°34'12"W	7.17
C20	N: 10035.78 E: 10097.60	N: 10055.43 E: 10117.95	20.00	31.42	090°00'00"	N46°00'21"E	28.28
C21	N: 10037.58 E: 10058.52	N: 10036.37 E: 10064.16	15.00	5.81	022°11'30"	S77°53'54"E	5.77
C22	N: 10040.46 E: 10059.14	N: 10037.58 E: 10058.52	1.50	4.13	157°48'30"	S12°06'06"W	2.94
C23	N: 10167.54 E: 10063.14	N: 10163.69 E: 10065.97	3.00	5.52	105°22'43"	S36°18'17"E	4.77
C24	N: 10171.13 E: 10067.93	N: 10167.54 E: 10063.14	5.00	6.41	073°28'11"	S53°07'10"W	5.98
C25	N: 10207.37 E: 10023.55	N: 10197.04 E: 10033.58	10.00	16.08	092°06'21"	S44°09'01"E	14.40
C26	N: 10197.04 E: 10033.58	N: 10200.04 E: 10036.61	3.00	4.75	090°37'09"	N45°09'56"E	4.27
C27	N: 10198.66 E: 10084.11	N: 10198.67 E: 10087.11	1.50	4.71	179°59'42"	N89°51'24"E	3.00
C28	N: 10198.69 E: 10092.11	N: 10198.70 E: 10095.11	1.50	4.71	179°59'59"	N89°51'15"E	3.00
C29	N: 10200.29 E: 10133.11	N: 10197.30 E: 10136.10	3.00	4.70	089°44'51"	S45°01'10"E	4.23
C30	N: 10200.29 E: 10139.39	N: 10197.30 E: 10136.60	3.02	4.49	085°22'19"	S42°59'28"W	4.09

ZONING: C-2
 REZONING: Z-101-76
 ZA CASES: 34419/49820/10017
 LSPL:
 LSIS:

PAPP #: 2201538
 KIVA #: 17-287A3
 SDEV #: 1700061
 CCPR #:
 Q.S. #: Q01-24

drawn by: _____
 designed by: _____
 checked by: _____
 project no.: 021-08522
 date: 06/07/2022

7
 C2.2 of 23

FINAL IMPROVEMENT PLANS
 HORIZONTAL CONTROL TABLES

TACO BELL
 1919 W. BASELINE RD.

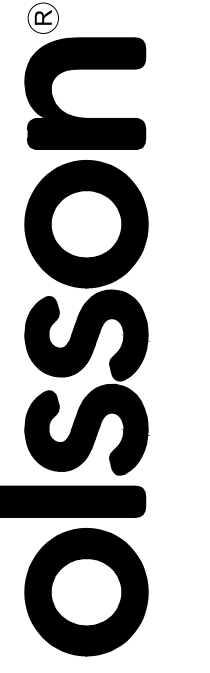
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Z: C-2 KIVA: 17-287A3 PAPP: 2201538 SDEV: 1700061

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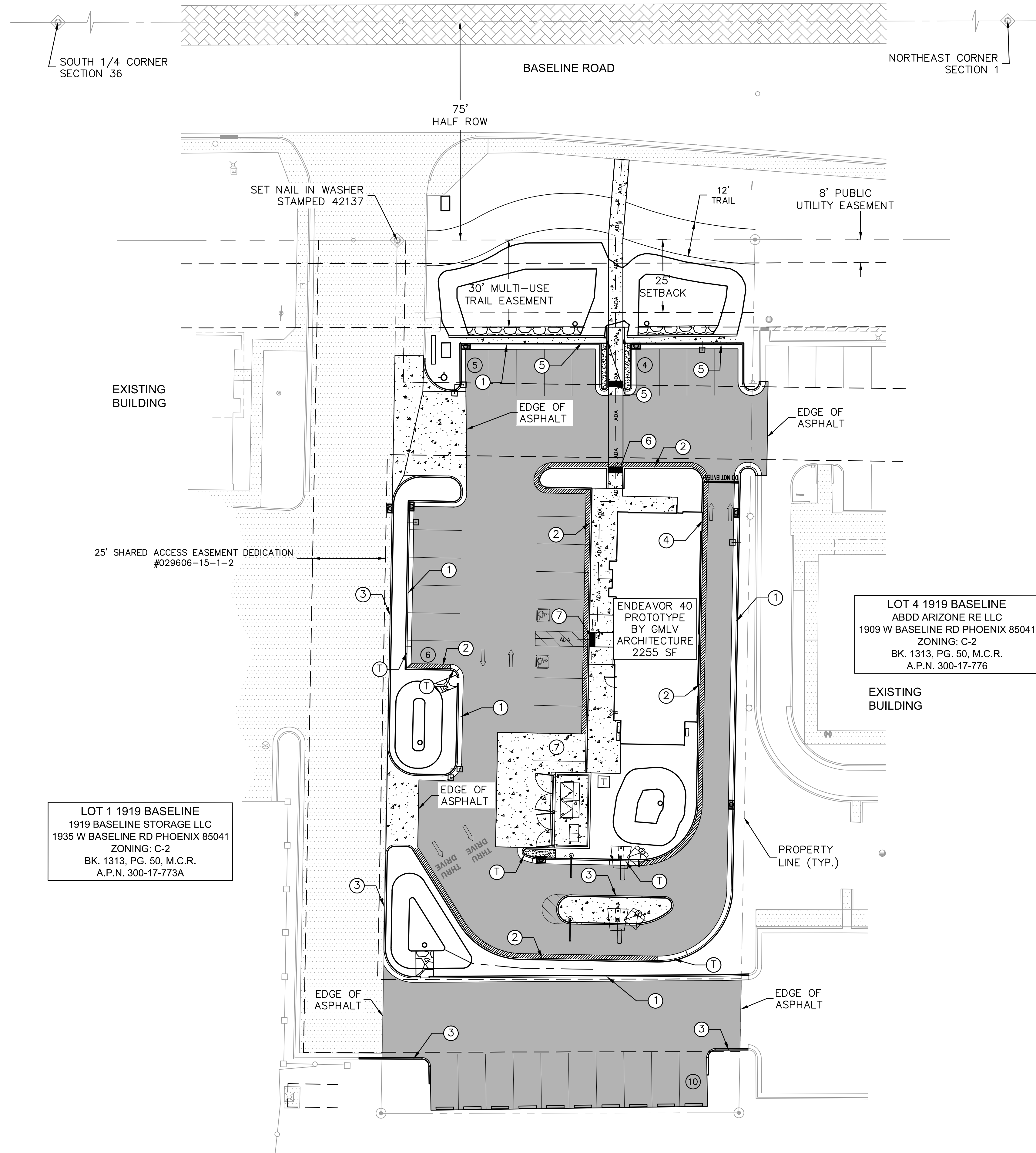
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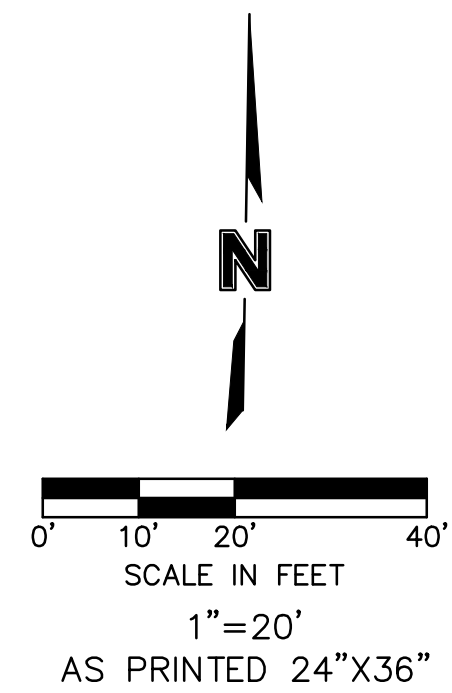
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- NOTES:**
1. ALL DRIVE AND PARKING AREAS ARE TO BE DUST PROOF.
 2. PAVEMENT SECTIONS WILL BE DESIGNED USING THE FINAL GEOTECHNICAL REPORT.
 3. INSTALL CURB AND GUTTER PER DETAIL SHEET C6.0.
 4. INSTALL INFALL TALL CURB PER DETAIL SHEET C6.0. FOR ADDITIONAL INFORMATION ON LOCATION OF TALL CURB SEE SHEET C4.1.

LEGEND:

ASPHALT PAVEMENT	
CONCRETE PAVEMENT	
INFALL CURB	
OUTFALL CURB	
CURB TRANSITION	
BARRIER CURB	
22" CURB AND GUTTER	
INFALL TALL CURB	
INSTALL CUSTOM CURB RAMP PER DETAIL SHEET C6.1	
INSTALL PARALLEL CURB RAMP PER DETAIL SHEET C6.1	



ZONING: C-2
 REZONING: Z-101-76
 ZA CASES: 34419/49820/10017
 LSPL:
 LSIS:

PAPP #: 2201538
 KIVA #: 17-287A3
 SDEV #: 1700061
 CCPR #:
 Q.S. #: Q01-24

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FINAL IMPROVEMENT PLANS
 PAVING PLAN

TACO BELL
 1919 W. BASELINE RD.
 PHOENIX, AZ 85041

2022

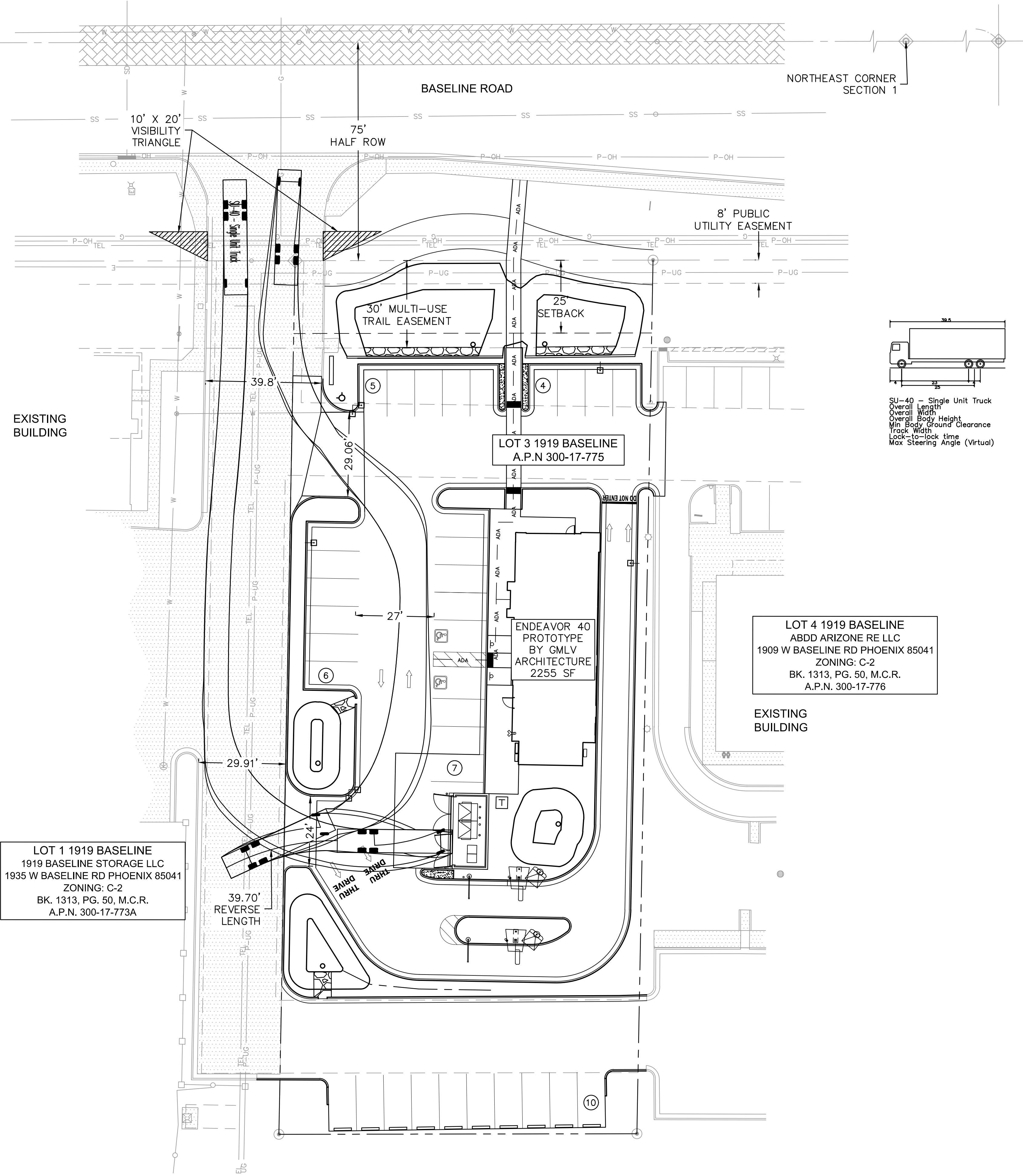
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 designed by: _____
 checked by: _____
 project no.: 021-08522
 date: 06.07.2022

8
 C2.3 of 23

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USER: danielton
AMY_SCHWENNER_LA_AZ

LOT 1 1919 BASELINE
1919 BASELINE STORAGE LLC
1935 W BASELINE RD PHOENIX 85041
ZONING: C-2
BK. 1313, PG. 50, M.C.R.
A.P.N. 300-17-773A

EXISTING BUILDING



NORTHEAST CORNER SECTION 1

BASELINE ROAD

10' X 20' VISIBILITY TRIANGLE

75' HALF ROW

8' PUBLIC UTILITY EASEMENT

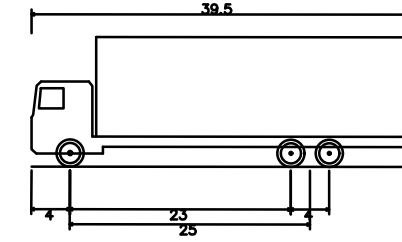
30' MULTI-USE TRAIL EASEMENT

25' SETBACK

LOT 3 1919 BASELINE
A.P.N. 300-17-775

LOT 4 1919 BASELINE
ABDD ARIZONA RE LLC
1909 W BASELINE RD PHOENIX 85041
ZONING: C-2
BK. 1313, PG. 50, M.C.R.
A.P.N. 300-17-776

EXISTING BUILDING



SU-40 - Single Unit Truck
Overall Length 39.50ft
Overall Width 8.00ft
Overall Body Height 13.50ft
Min Body Ground Clearance 1.35ft
Track Width 8.00ft
Lock-to-lock time 8.50s
Max Steering Angle (Virtual) 31.86°

39.50ft
8.00ft
13.50ft
1.35ft
8.00ft
8.50s
31.86°

NOTES:

1. COLLECTION ROUTES THROUGH A SITE SHALL BE SUCH THAT THE COLLECTION VEHICLE SHALL TRAVEL THROUGH THE SITE ONCE WITHOUT BACK TRACKING.
2. COLLECTION VEHICLE ROUTE SHALL BE A MINIMUM OF 16' WIDE, TURNING RADIUS: 44' OUTSIDE RADIUS AND 28.5' INSIDE RADIUS AND WILL NOT BACK UP MORE THAN 50' AFTER SERVING A BIN.
3. ALL DRIVE AND PARKING AREAS ARE TO BE DUST PROOF.

ZONING: C-2
REZONING: Z-101-76
ZA CASES: 34419/49820/10017
LSPL:
LSIS:

PAPP #: 2201538
KIVA #: 17-287A3
SDEV #: 1700061
CCPR #:
Q.S. #: Q01-24

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designed by: [signature]
checked by: [signature]
project no.: 021-08522
date: 06.07.2022

9
C2.4 of 23

FINAL IMPROVEMENT PLANS
TRASH COLLECTION ROUTE PLAN

TACO BELL
1919 W. BASELINE RD.

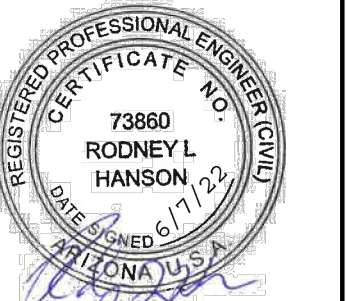
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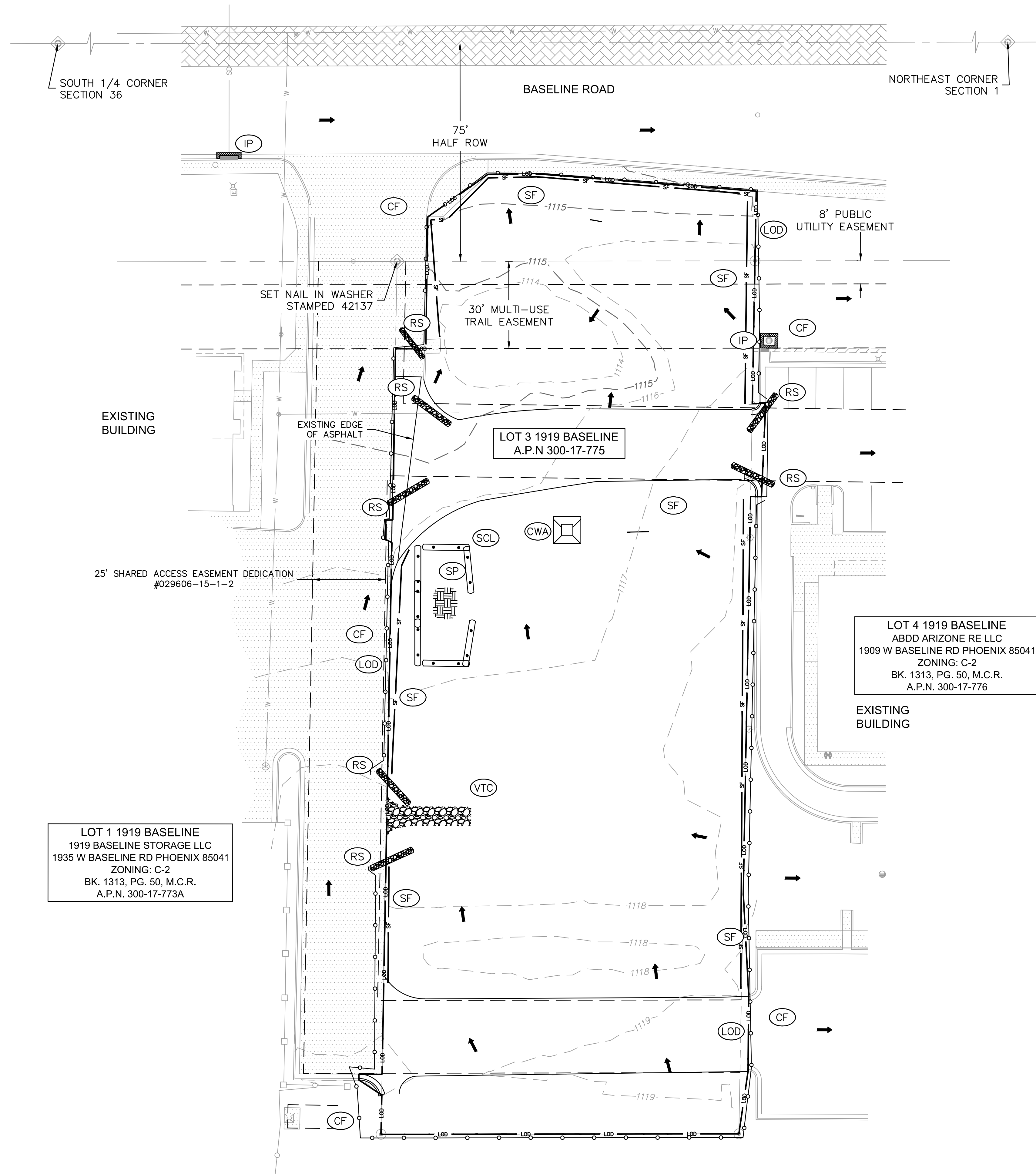
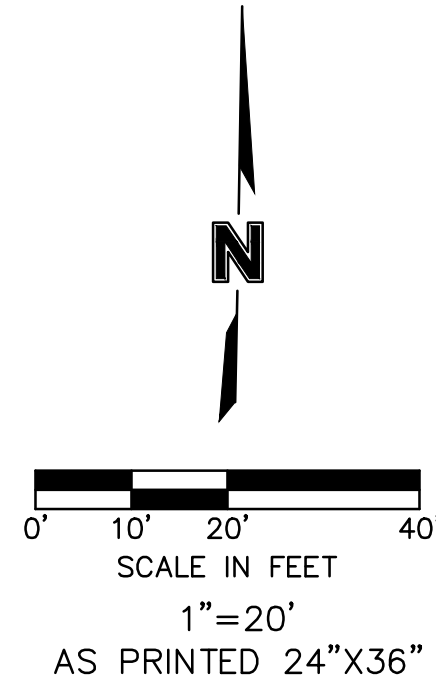
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 USER: dpendleton AMY_SCHWENNER_LA_AZ



LEGEND:

- LIMIT OF DISTURBANCE (LOD)
- CONSTRUCTION FENCE (CF)
- SILT FENCE (SF)
- ROCK SOCK (RS)
- SEDIMENT CONTROL LOG (SCL)
- CONCRETE WASHOUT AREA (CWA)
- LANDSCAPING (LS)
- SLOPE DIRECTION
- INLET PROTECTION (IP)
- VEHICLE TRACKING CONTROL (VTC)
- STOCKPILE AND STAGING AREA (SP)

EROSION CONTROL NOTES:

1. IT SHOULD BE NOTED THAT ANY EROSION CONTROL PLAN SERVES ONLY AS A GUIDELINE TO THE CONTRACTOR STAGING AND /OR PHASING OF BEST MANAGEMENT PRACTICES (Bmp's) IS EXPECTED. ADDITIONAL AND /OR DIFFERENT BMPs FROM THOSE ORIGINALLY DEPICTED MAY BE NECESSARY DURING CONSTRUCTION DUE TO THE CHANGING SITE CONDITIONS OR AS REQUIRED BY LOCAL AUTHORITIES.
2. THIS EROSION CONTROL PLAN IS SCHEMATIC IN NATURE AS SUCH, GRAPHICAL SYMBOLS MAY NOT BE TO SCALE NOR ARE THEY NECESSARILY SHOWN IN THEIR EXACT LOCATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITTING AND COMPLIANCE WITH GOVERNING AUTHORITIES. IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR (OR PERMIT HOLDER) TO ENSURE EROSION CONTROL MEASURES ARE PROPERLY MAINTAINED AND FOLLOWED.
3. CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE EROSION CONTROL MEASURES ACCORDING TO THE CONSTRUCTION SEQUENCING AND LEVEL OF STABILIZATION.
4. INLET PROTECTION SHALL BE ADAPTED, AS NECESSARY TO THE SURROUNDING SURFACE TYPE AND CONDITION. (ie. STAKE-DRIVEN WATTLES FOR BARE SOIL, SAND BAGS OR GRAVEL SOCKS FOR PAVEMENT, ETC).
5. ADDITIONAL WATTLES, SILT FENCE, OR OTHER MEASURES MAY BE NECESSARY TO INSURE THAT EACH BUILDING PAD IS STABILIZED THROUGHOUT CONSTRUCTION. AT NO TIME SHALL SEDIMENT BE ALLOWED TO CROSS THE PUBLIC SIDEWALKS.
6. CONTRACTOR SHALL IMPLEMENT APPROPRIATE PERIMETER PROTECTION FOR AREAS DIRECTING DRAINAGE OFFSITE. PERIMETER PROTECTION SHALL BE ADAPTED, AS NECESSARY, TO THE SURROUNDING SURFACE TYPE AND CONDITION (ie STAKE-DRIVEN SEDIMENT CONTROL LOGS OR SILT FENCE FOR BARE SOIL, SAND BAGS OR GRAVEL SOCKS FOR PAVEMENT).
7. ALL ROOF DRAIN SYSTEM INLETS SHALL BE PLUGGED UNTIL CONNECTED TO BUILDINGS.

LOT 1 1919 BASELINE
 1919 BASELINE STORAGE LLC
 1935 W BASELINE RD PHOENIX 85041
 ZONING: C-2
 BK. 1313, PG. 50, M.C.R.
 A.P.N. 300-17-773A

LOT 3 1919 BASELINE
 A.P.N. 300-17-775

LOT 4 1919 BASELINE
 ABDD ARIZONA RE LLC
 1909 W BASELINE RD PHOENIX 85041
 ZONING: C-2
 BK. 1313, PG. 50, M.C.R.
 A.P.N. 300-17-776

ZONING: C-2
 REZONING: Z-101-76
 ZA CASES: 34419/49820/10017
 LSPL:
 LSIS:
 PAPP #: 2201538
 KIVA #: 17-287A3
 SDEV #: 1700061
 CCPR #:
 Q.S. #: Q01-24

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FINAL IMPROVEMENT PLANS
 EROSION CONTROL PLAN PHASE 1

TACO BELL
 1919 W. BASELINE RD.
 PHOENIX, AZ 85041

REVISIONS
 2022

drawn by: _____

designed by: _____

checked by: _____

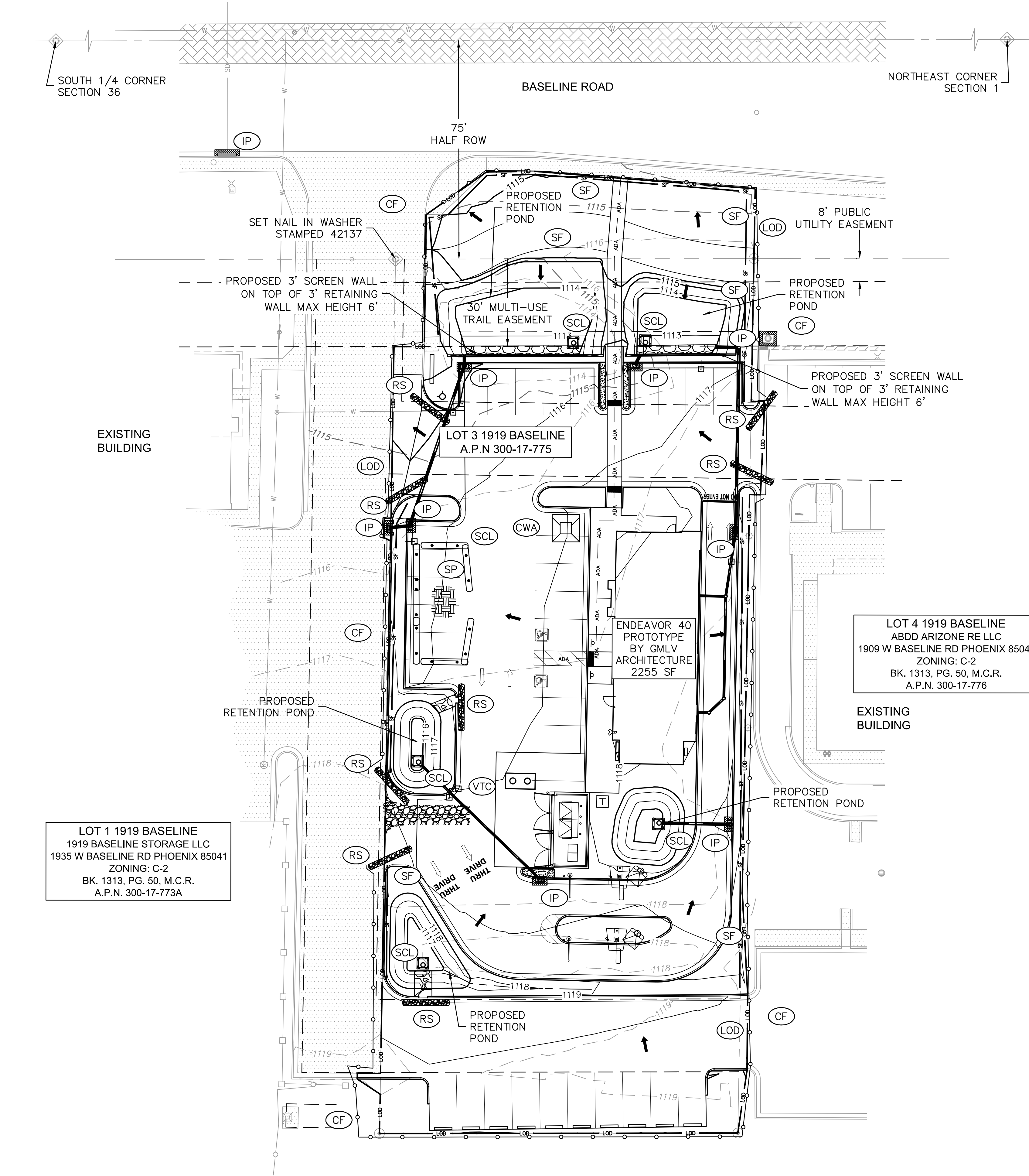
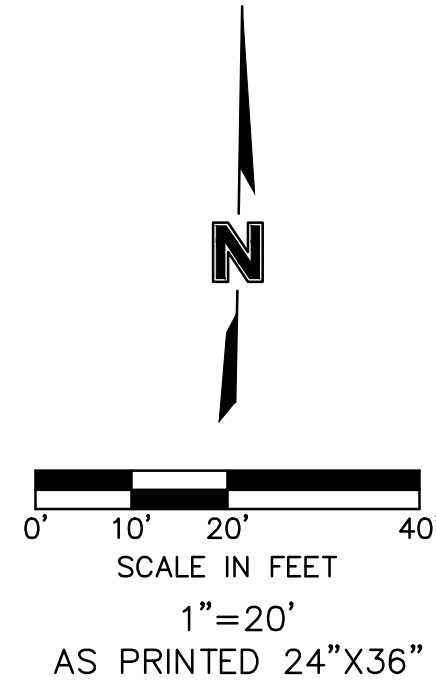
project no.: 021-08522

date: 06.07.2022

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C3.0 of 23

Z: C-2 KIVA: 17-287A3 PAPP: 2201538 SDEV: 1700061

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 USER: dpendleton



LOT 1 1919 BASELINE
 1919 BASELINE STORAGE LLC
 1935 W BASELINE RD PHOENIX 85041
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 BK. 1313, PG. 50, M.C.R.
 A.P.N. 300-17-773A

LOT 4 1919 BASELINE
 ABDD ARIZONA RE LLC
 1909 W BASELINE RD PHOENIX 85041
 ZONING: C-2
 BK. 1313, PG. 50, M.C.R.
 A.P.N. 300-17-776

LEGEND:

LIMIT OF DISTURBANCE	(LOD)	— LOD —
CONSTRUCTION FENCE	(CF)	— ○ —
SILT FENCE	(SF)	— SF —
ROCK SOCK	(RS)	— [Pattern] —
SEDIMENT CONTROL LOG	(SCL)	— [Pattern] —
CONCRETE WASHOUT AREA	(CWA)	[Square]
LANDSCAPING	(LS)	[Pattern]
SLOPE DIRECTION		→
INLET PROTECTION	(IP)	[Square]
VEHICLE TRACKING CONTROL	(VTC)	[Pattern]
STOCKPILE AND STAGING AREA	(SP)	[Pattern]

- EROSION CONTROL NOTES:**
- IT SHOULD BE NOTED THAT ANY EROSION CONTROL PLAN SERVES ONLY AS A GUIDELINE TO THE CONTRACTOR STAGING AND /OR PHASING OF BEST MANAGEMENT PRACTICES (Bmp's) IS EXPECTED. ADDITIONAL AND /OR DIFFERENT BMPs FROM THOSE ORIGINALLY DEPICTED MAY BE NECESSARY DURING CONSTRUCTION DUE TO THE CHANGING SITE CONDITIONS OR AS REQUIRED BY LOCAL AUTHORITIES.
 - THIS EROSION CONTROL PLAN IS SCHEMATIC IN NATURE AS SUCH, GRAPHICAL SYMBOLS MAY NOT BE TO SCALE NOR ARE THEY NECESSARILY SHOWN IN THEIR EXACT LOCATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITTING AND COMPLIANCE WITH GOVERNING AUTHORITIES. IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR (OR PERMIT HOLDER) TO ENSURE EROSION CONTROL MEASURES ARE PROPERLY MAINTAINED AND FOLLOWED.
 - CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE EROSION CONTROL MEASURES ACCORDING TO THE CONSTRUCTION SEQUENCING AND LEVEL OF STABILIZATION.
 - INLET PROTECTION SHALL BE ADAPTED, AS NECESSARY TO THE SURROUNDING SURFACE TYPE AND CONDITION. (ie. STAKE-DRIVEN WATTLES FOR BARE SOIL, SAND BAGS OR GRAVEL SOCKS FOR PAVEMENT, ETC).
 - ADDITIONAL WATTLES, SILT FENCE, OR OTHER MEASURES MAY BE NECESSARY TO INSURE THAT EACH BUILDING PAD IS STABILIZED THROUGHOUT CONSTRUCTION. AT NO TIME SHALL SEDIMENT BE ALLOWED TO CROSS THE PUBLIC SIDEWALKS.
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 - ALL ROOF DRAIN SYSTEM INLETS SHALL BE PLUGGED UNTIL CONNECTED TO BUILDINGS.
 - ALL DRY WELLS SHALL BE LEFT MIN. 18" ABOVE POND BOTTOM UNTIL LANDSCAPE ESTABLISHMENT, AT WHICH TIME CONTRACTOR SHALL LOWER RIMS TO GRADE.

ZONING: C-2
 REZONING: Z-101-76
 ZA CASES: 34419/49820/10017
 LSPL:
 LSIS:

PAPP # 2201538
 KIVA # 17-287A3
 SDEV # 1700061
 CCPR #
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FINAL IMPROVEMENT PLANS
 EROSION CONTROL PLAN PHASE 2 & 3

TACO BELL
 1919 W. BASELINE RD.
 PHOENIX, AZ 85041

REVISIONS
 2022

drawn by: _____
designed by: _____
checked by: _____
project no.: 021-08522

date: 06.07.2022
11

Z: C-2
KIVA: 17-287A3
PAPP: 2201538
SDEV: 1700061

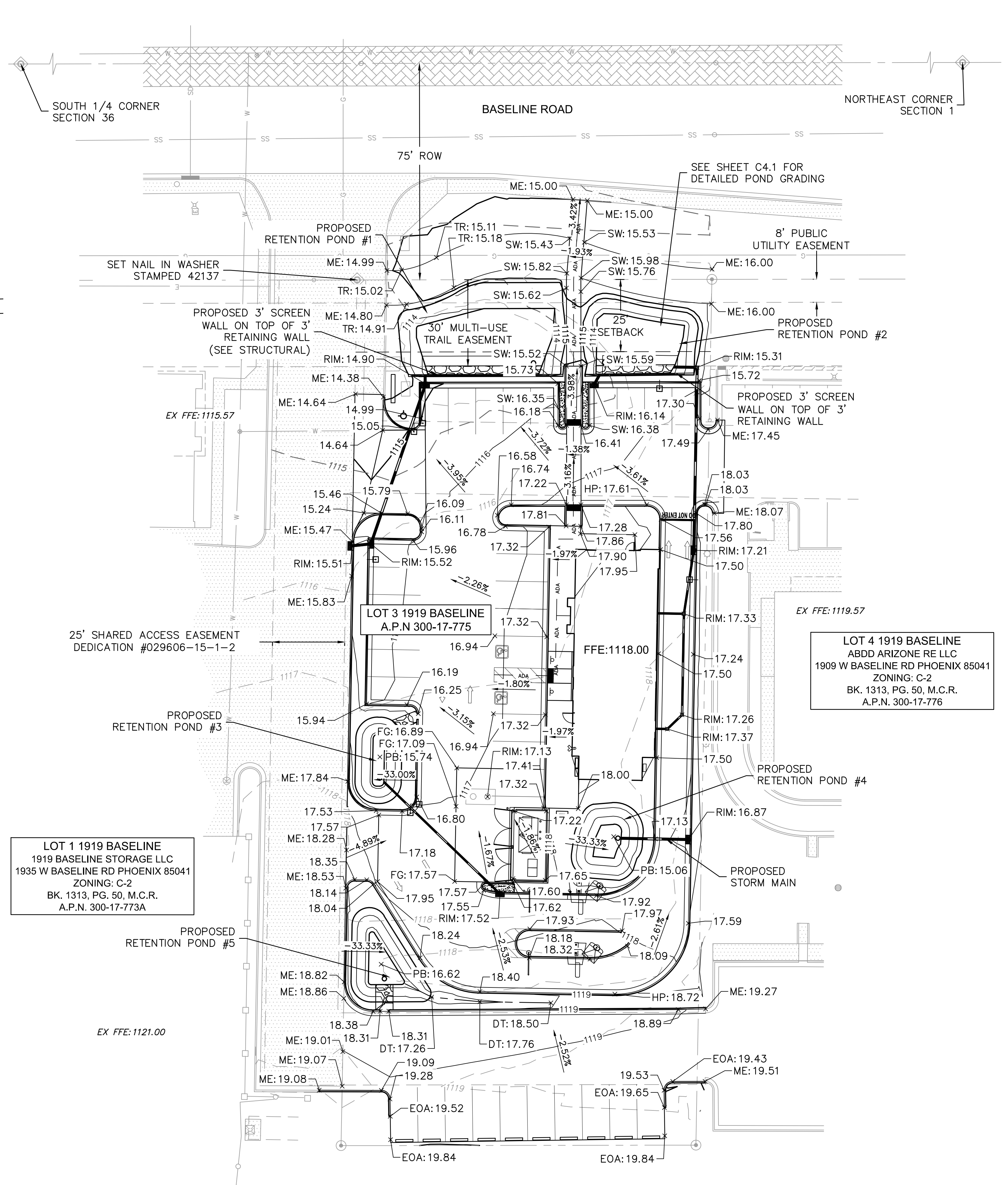
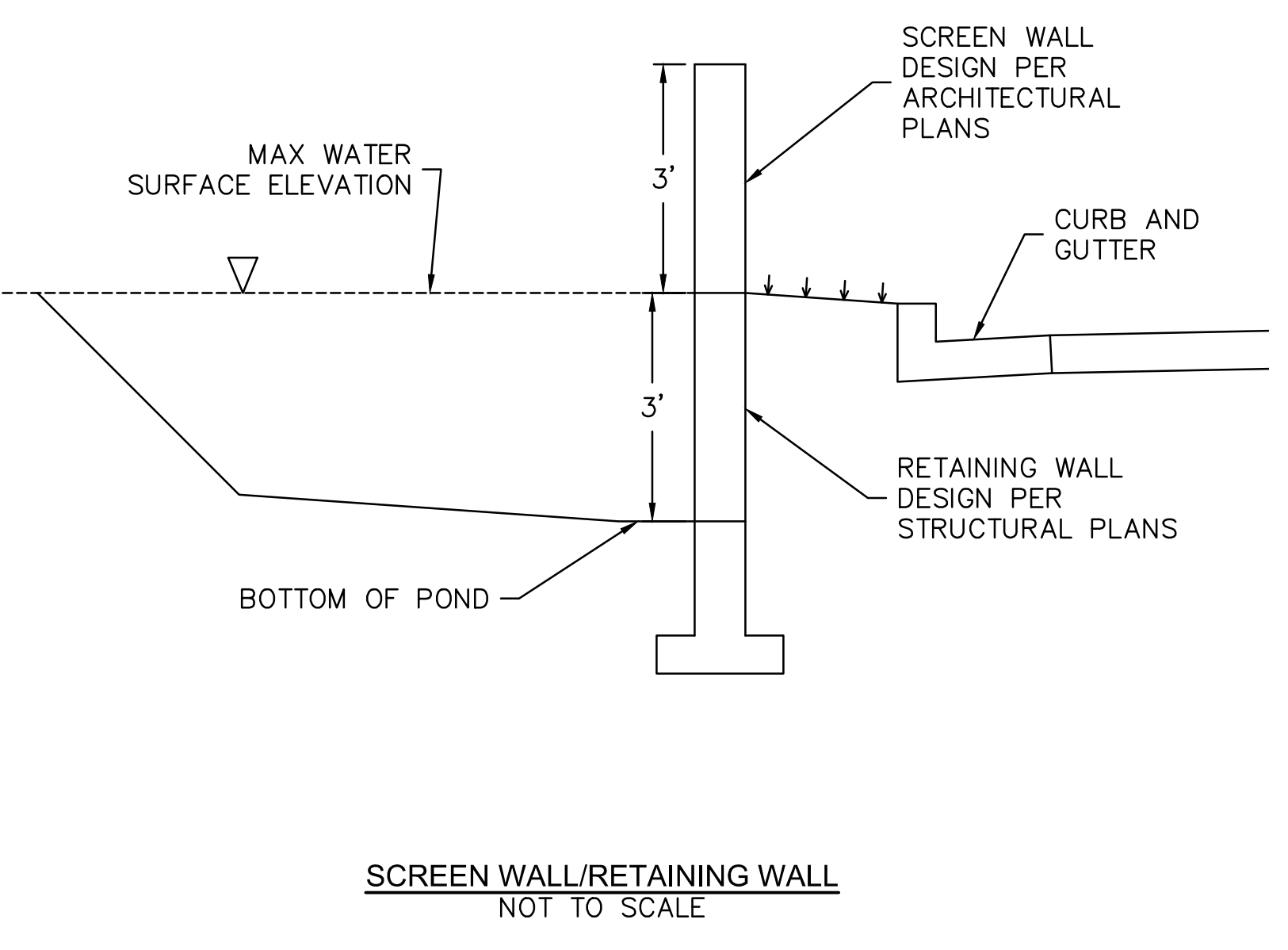
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RETENTION POND CALCULATIONS
 RETENTION POND REQUIRED
 VOLUME REQUIRED
 $V = C * (P/12) * A$
 WHERE:
 V = VOLUME REQUIRED
 C = CUMULATIVE COEFFICIENT
 C = Cpost - Cpre
 P = 100-YR-2HR INTENSITY OF RAINFALL INCHES
 A = AREA IN SQFT
 $V = (0.84 - 0.35) * (2.2/12) * 41,062$
 $V = 3,689$ CF
 RETENTION POND VOLUME PROVIDED = 4,737 CF

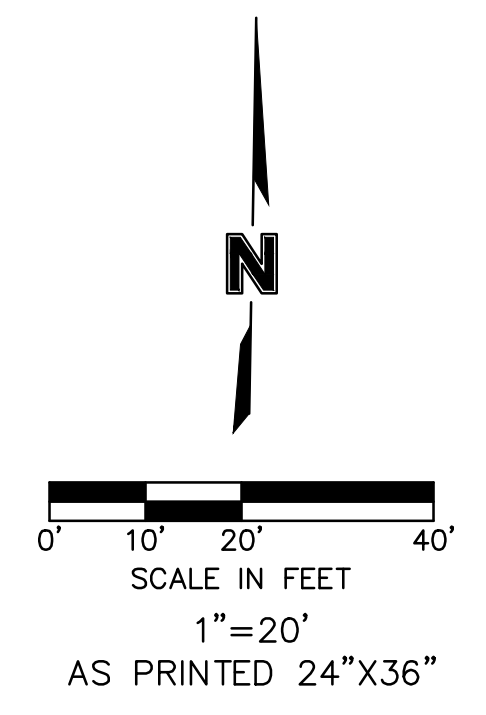
DA #	AREA	VOLUME	MAX DEPTH
1	1736 SQ. FT.	1667 CU. FT.	3 FEET
2	948 SQ. FT.	1381 CU. FT.	3 FEET
3	411 SQ. FT.	425 CU. FT.	2 FEET
4	542 SQ. FT.	615 CU. FT.	2.5 FEET
5	751 SQ. FT.	649 CU. FT.	2 FEET
TOTAL VOLUME PROVIDED = 4,737 CF			
TOTAL VOLUME REQUIRED = 3,689 CF			

FL = FLOWLINE
 SW = SIDEWALK
 ME = MATCH EXISTING
 FG = FINISHED GRADE
 LP = LOW POINT
 PD = STORM POND
 RIM = RIM OF STRUCTURE
 HP = HIGH POINT
 TC = TOP OF CURB
 DT = SWALE
 TR = TRAIL
 PB = BOTTOM OF POND
 PT = TOP OF POND
 TW = TOP OF WALL
 BW = BOTTOM OF WALL



LOT 1 1919 BASELINE
 1919 BASELINE STORAGE LLC
 1935 W BASELINE RD PHOENIX 85041
 ZONING: C-2
 BK. 1313, PG. 50, M.C.R.
 A.P.N. 300-17-773A

LOT 4 1919 BASELINE
 ABDD ARIZONA RE LLC
 1909 W BASELINE RD PHOENIX 85041
 ZONING: C-2
 BK. 1313, PG. 50, M.C.R.
 A.P.N. 300-17-776



- NOTES:**
- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
 - REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION.
 - ALL CURB AND FLUME SPOTS SHOWN ARE FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTED.
 - TOP OF SLAB/FOUNDATION MATCHES PAVEMENT ELEVATION AND FINISHED GRADE ADJACENT THE BUILDING WALL. VERIFY ARCHITECTURAL WATERPROOFING DETAIL MEETS BUILDING CODE PRIOR TO CONSTRUCTION.
 - ALL ELEVATIONS ARE TRUNCATED AND MUST ADD 1100 TO EACH POINT.
 - ALL GRADING SHALL COMPLY WITH CONSTRUCTION STANDARDS FROM THE CITY OF PHOENIX.
 - SEE SITE DETAIL SHEET FOR CURB RAMP DETAILS.
 - SEE STORM SEWER PLAN FOR DETAILED STORM PIPING INFORMATION.
 - SEE GENERAL NOTES ON SHEET C1.1 FOR MORE INFORMATION.
 - MAXIMUM DEPTH OF RETENTION PONDS WITHIN 10 FEET OF ROW IS 18 INCHES, AND WITHIN 20 FEET OF ROW IS 24 INCHES. MAXIMUM SLOPE IS 3:1.

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REV. NO.	REVISION DESCRIPTION	DATE	BY	CHKD	APPD

FINAL IMPROVEMENT PLANS
 GRADING PLAN

TACO BELL
 1919 W. BASELINE RD.
 PHOENIX, AZ 85041

2022
 SDEV: 1700061

drawn by: _____
 designed by: _____
 checked by: _____
 project no.: 021-08522
 date: 06/07/2022

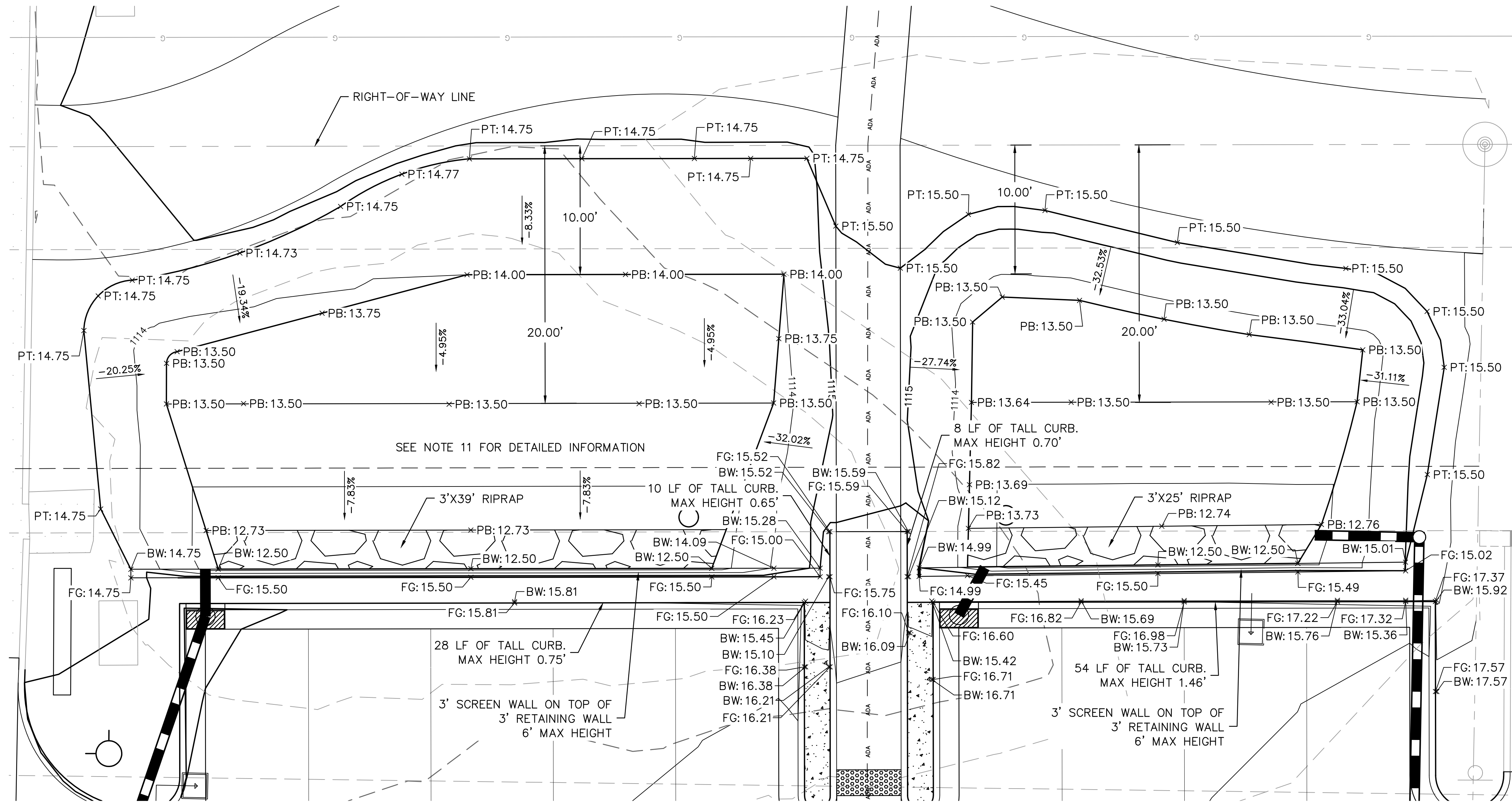
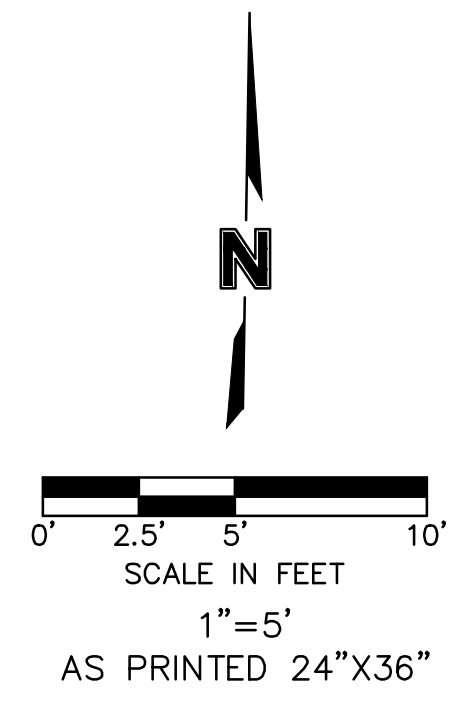
ZONING: C-2
 REZONING: Z-101-76
 ZA CASES: 34419/49820/10017
 LSPL: _____
 LSIS: _____

PAPP #: 2201538
 KIVA #: 17-287A3
 SDEV #: 1700061
 CCPR #: _____
 Q.S. #: Q01-24

12
 C4.0 of 23

Z: C-2

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2. REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION.
3. ALL CURB AND FLUME SPOTS SHOWN ARE FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTED.
4. TOP OF SLAB/FOUNDATION MATCHES PAVEMENT ELEVATION AND FINISHED GRADE ADJACENT THE BUILDING WALL. VERIFY ARCHITECTURAL WATERPROOFING DETAIL MEETS BUILDING CODE PRIOR TO CONSTRUCTION.
5. ALL ELEVATIONS ARE TRUNCATED AND MUST ADD 1100 TO EACH POINT.
6. FINISHED GRADE (FG) ELEVATION IS FINISHED GRADE AT WALL FACE.
7. ALL GRADING SHALL COMPLY WITH CONSTRUCTION STANDARDS FROM THE CITY OF PHOENIX.
8. SEE SITE DETAIL SHEET FOR CURB RAMP DETAILS.
9. SEE STORM SEWER PLAN FOR DETAILED STORM PIPING INFORMATION.
10. SEE GENERAL NOTES ON SHEET C1.1 FOR MORE INFORMATION.
11. MAXIMUM DEPTH OF RETENTION PONDS WITHIN 10 FEET OF ROW IS 18 INCHES, AND WITHIN 20 FEET OF ROW IS 24 INCHES. MAXIMUM SLOPE IS 3:1.

FL = FLOWLINE
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ZONING: C-2
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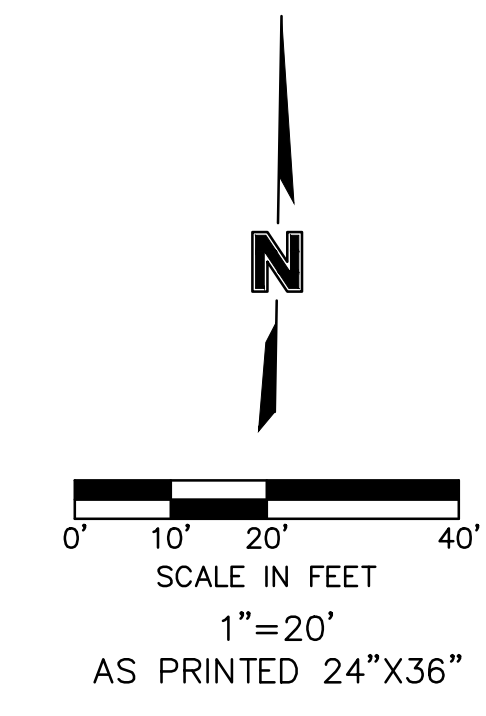
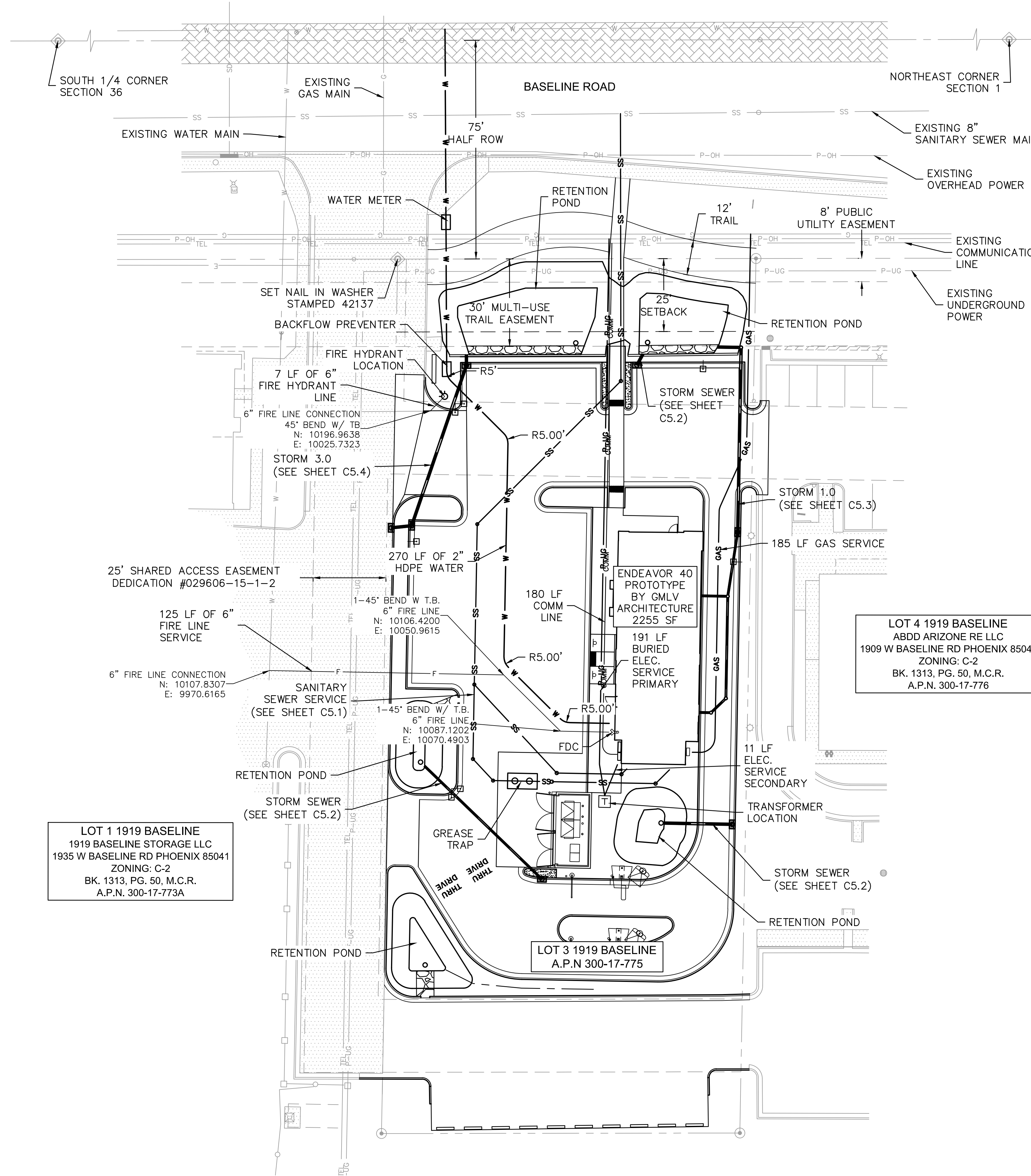


REV. NO.	DATE	REVISIONS DESCRIPTION

FINAL IMPROVEMENT PLANS
 POND GRADING PLAN
 TACO BELL
 1919 W. BASELINE RD.
 PHOENIX, AZ 85041
 2022
 PAPP: 2201538 SDEV: 1700061
 KIVA: 17-287A3

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 designed by: [Signature]
 checked by: [Signature]
 project no.: 021-08522
 date: 06.07.2022

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 USER: dpendleton AMY_SCHWENNER_LA_AZ



LOT 1 1919 BASELINE
 1919 BASELINE STORAGE LLC
 1935 W BASELINE RD PHOENIX 85041
 ZONING: C-2
 BK. 1313, PG. 50, M.C.R.
 A.P.N. 300-17-773A

LOT 4 1919 BASELINE
 ABDD ARIZONA RE LLC
 1909 W BASELINE RD PHOENIX 85041
 ZONING: C-2
 BK. 1313, PG. 50, M.C.R.
 A.P.N. 300-17-776

LOT 3 1919 BASELINE
 A.P.N 300-17-775

ENDEAVOR 40
 PROTOTYPE
 BY GML
 ARCHITECTURE
 2255 SF

- NOTES:**
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 2. REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION.
 3. THE MINIMUM COVER OVER STORM PIPES SHALL BE TWO FEET.
 4. THE MINIMUM COVER OVER DOMESTIC WATER PIPES SHALL BE THREE FEET.
 5. THE MINIMUM COVER OVER SANITARY SEWER PIPES SHALL BE SIX FEET.
 6. SEE GENERAL NOTES ON SHEET C1.1 AND SHEET C1.2 FOR MORE INFORMATION.
 7. SEE DETAILS ON SHEET C6.1 FOR MORE INFORMATION.

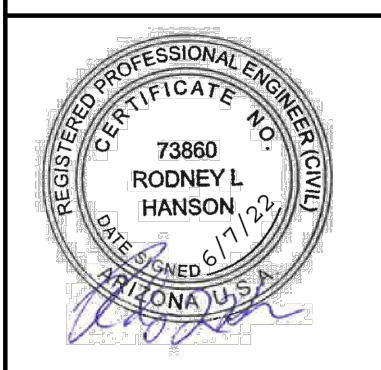
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 REZONING: Z-101-76
 ZA CASES: 34419/49820/10017
 LSPL:
 LSIS:

PAPP # 2201538
 KIVA # 17-287A3
 SDEV # 1700061
 CCPR #
 Q.S. # Q01-24

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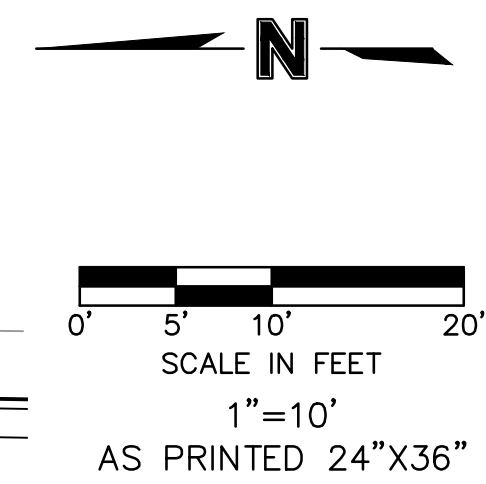
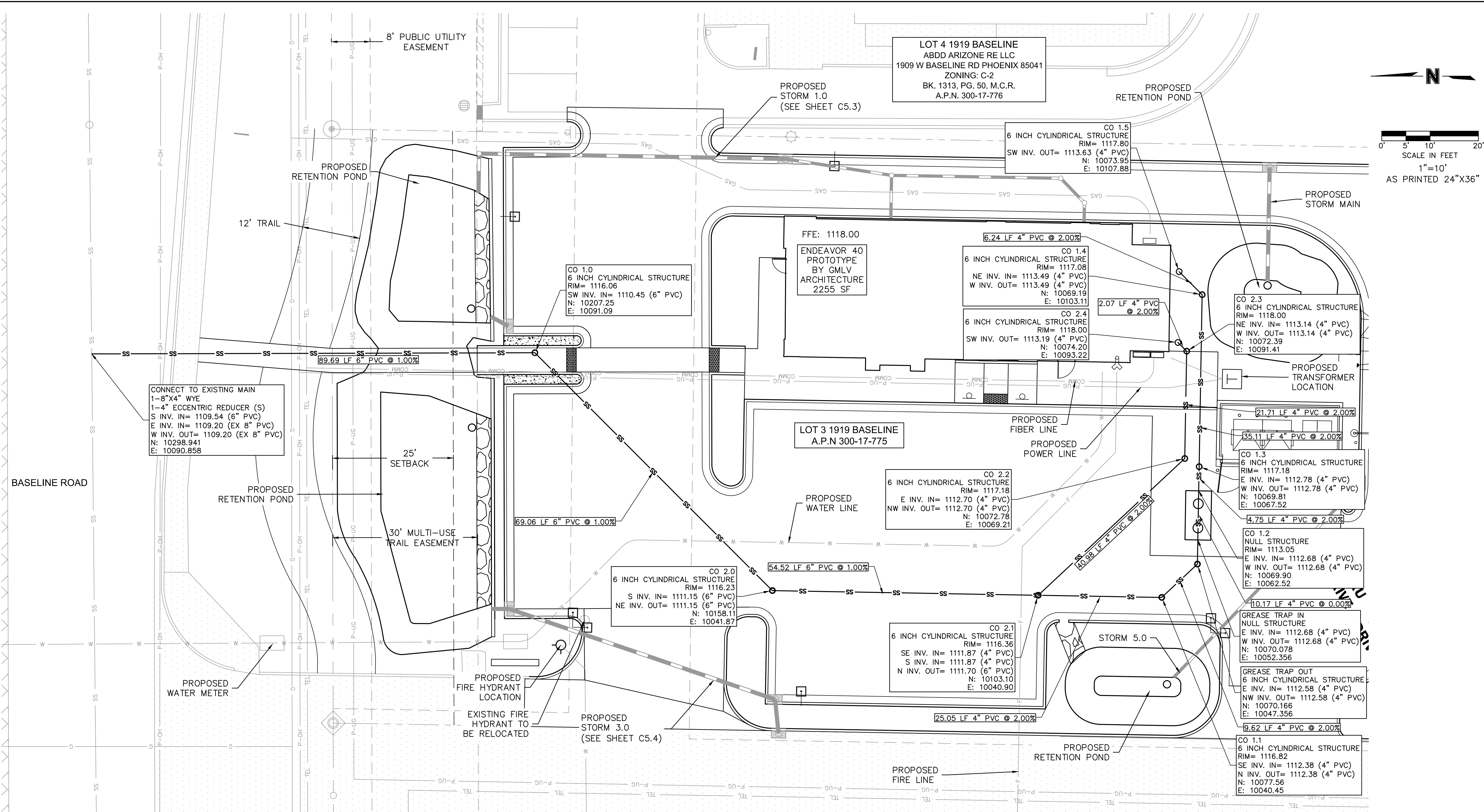
FINAL IMPROVEMENT PLANS UTILITY PLAN	2022
TACO BELL 1919 W. BASELINE RD.	
PHOENIX, AZ 85041	
Z: C-2	KIVA: 17-287A3 PAPP: 2201538 SDEV: 1700061

drawn by: [Signature]
 designed by: [Signature]
 checked by: [Signature]
 project no.: 021-08522
 date: 06.07.2022



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 6. SEE GENERAL NOTES ON SHEET C1.1 AND SHEET C1.2 FOR MORE INFORMATION.

LOT 4 1919 BASELINE
 ABDD ARIZONA RE LLC
 1909 W BASELINE RD PHOENIX 85041
 ZONING: C-2
 BK. 1313, PG. 50, M.C.R.
 A.P.N. 300-17-776

PROPOSED STORM 1.0
 (SEE SHEET C5.3)

PROPOSED RETENTION POND

CO 1.5
 6 INCH CYLINDRICAL STRUCTURE
 RIM= 1117.80
 SW INV. OUT= 1113.63 (4" PVC)
 N: 10073.95
 E: 10107.88

PROPOSED RETENTION POND

12' TRAIL

CO 1.0
 6 INCH CYLINDRICAL STRUCTURE
 RIM= 1116.06
 SW INV. IN= 1110.45 (6" PVC)
 N: 10207.25
 E: 10091.09

FFE: 1118.00
 ENDEAVOR 40
 PROTOTYPE
 BY GMLV
 ARCHITECTURE
 2255 SF

6.24 LF 4" PVC @ 2.00%
 CO 1.4
 6 INCH CYLINDRICAL STRUCTURE
 RIM= 1117.08
 NE INV. IN= 1113.49 (4" PVC)
 W INV. OUT= 1113.49 (4" PVC)
 N: 10069.19
 E: 10103.11

2.07 LF 4" PVC @ 2.00%

CO 2.3
 6 INCH CYLINDRICAL STRUCTURE
 RIM= 1118.00
 NE INV. IN= 1113.14 (4" PVC)
 W INV. OUT= 1113.14 (4" PVC)
 N: 10072.39
 E: 10091.41

PROPOSED TRANSFORMER LOCATION

CONNECT TO EXISTING MAIN
 1-8"x4" WYE
 1-4" ECCENTRIC REDUCER (S)
 S INV. IN= 1109.54 (6" PVC)
 E INV. IN= 1109.20 (EX 8" PVC)
 W INV. OUT= 1109.20 (EX 8" PVC)
 N: 10298.941
 E: 10090.858

25' SETBACK

30' MULTI-USE TRAIL EASEMENT

LOT 3 1919 BASELINE
 A.P.N 300-17-775

PROPOSED FIBER LINE
 PROPOSED POWER LINE

CO 2.2
 6 INCH CYLINDRICAL STRUCTURE
 RIM= 1117.18
 E INV. IN= 1112.70 (4" PVC)
 NW INV. OUT= 1112.70 (4" PVC)
 N: 10072.78
 E: 10069.21

PROPOSED WATER LINE

21.71 LF 4" PVC @ 2.00%
 35.11 LF 4" PVC @ 2.00%

CO 1.3
 6 INCH CYLINDRICAL STRUCTURE
 RIM= 1117.18
 E INV. IN= 1112.78 (4" PVC)
 W INV. OUT= 1112.78 (4" PVC)
 N: 10069.81
 E: 10067.52

4.75 LF 4" PVC @ 2.00%
 CO 1.2
 NULL STRUCTURE
 RIM= 1113.05
 E INV. IN= 1112.68 (4" PVC)
 W INV. OUT= 1112.68 (4" PVC)
 N: 10069.90
 E: 10062.52

CO 2.0
 6 INCH CYLINDRICAL STRUCTURE
 RIM= 1116.23
 S INV. IN= 1111.15 (6" PVC)
 NE INV. OUT= 1111.15 (6" PVC)
 N: 10158.11
 E: 10041.87

54.52 LF 6" PVC @ 1.00%

PROPOSED FIRE HYDRANT LOCATION

EXISTING FIRE HYDRANT TO BE RELOCATED

PROPOSED STORM 3.0
 (SEE SHEET C5.4)

CO 2.1
 6 INCH CYLINDRICAL STRUCTURE
 RIM= 1116.36
 SE INV. IN= 1111.87 (4" PVC)
 S INV. IN= 1111.87 (4" PVC)
 N INV. OUT= 1111.70 (6" PVC)
 N: 10103.10
 E: 10040.90

STORM 5.0

110.17 LF 4" PVC @ 0.00%
 GREASE TRAP IN NULL STRUCTURE
 E INV. IN= 1112.68 (4" PVC)
 W INV. OUT= 1112.68 (4" PVC)
 N: 10070.078
 E: 10052.356

GREASE TRAP OUT 6 INCH CYLINDRICAL STRUCTURE
 E INV. IN= 1112.58 (4" PVC)
 NW INV. OUT= 1112.58 (4" PVC)
 N: 10070.166
 E: 10047.356

25.05 LF 4" PVC @ 2.00%

PROPOSED RETENTION POND

CO 1.1
 6 INCH CYLINDRICAL STRUCTURE
 RIM= 1116.82
 SE INV. IN= 1112.38 (4" PVC)
 N INV. OUT= 1112.38 (4" PVC)
 N: 10077.56
 E: 10040.45

PROPOSED FIRE LINE

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REV. NO.	DATE	REVISIONS DESCRIPTION

FINAL IMPROVEMENT PLANS
 SANITARY SEWER PLAN
 TACO BELL
 1919 W. BASELINE RD.
 PHOENIX, AZ 85041
 2022
 PAPP: 2201538 SDEV: 1700061
 Z: C-2 KIVA: 17-287A3 PAPP: 2201538 SDEV: 1700061

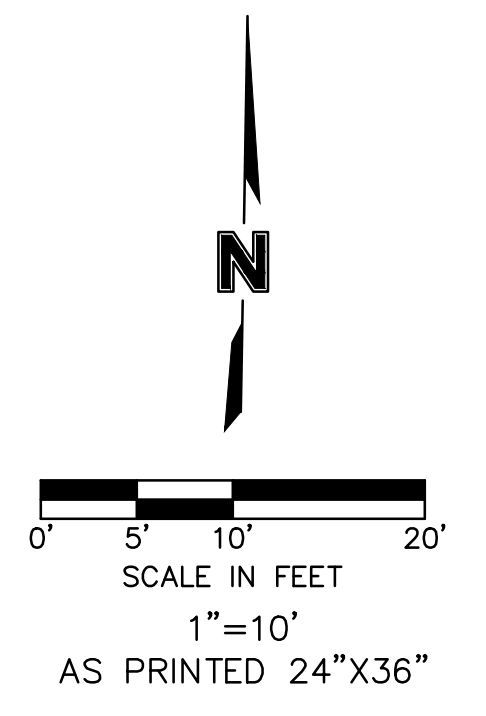
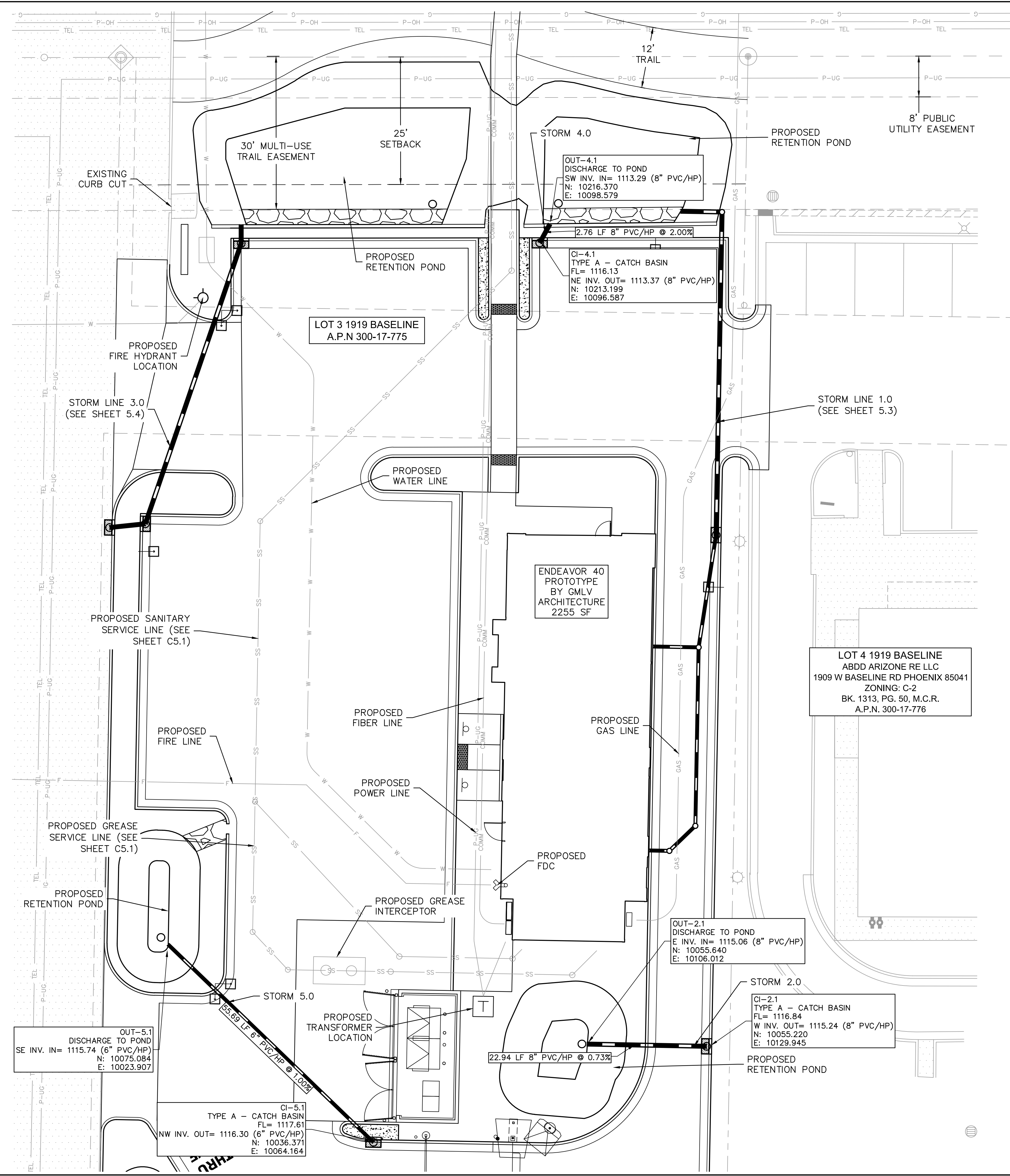
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 designed by: _____
 checked by: _____
 project no.: 021-08522
 date: 06.07.2022

ZONING: C-2
 REZONING: Z-101-76
 ZA CASES: 34419/49820/10017
 LSPL: _____
 LSIS: _____

PAPP #: 2201538
 KIVA #: 17-287A3
 SDEV #: 1700061
 CCPR #: _____
 Q.S. #: Q01-24

15
 C5.1 of 23

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 AMY_SCHWENNER_LA_AZ



- NOTES:**
1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
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REV. NO.	DATE	REVISIONS DESCRIPTION

FINAL IMPROVEMENT PLANS
STORM SEWER PLAN

TACO BELL
 1919 W. BASELINE RD.
 PHOENIX, AZ 85041

2022

drawn by: _____
 designed by: _____
 checked by: _____
 project no.: 021-08522
 date: 06.07.2022

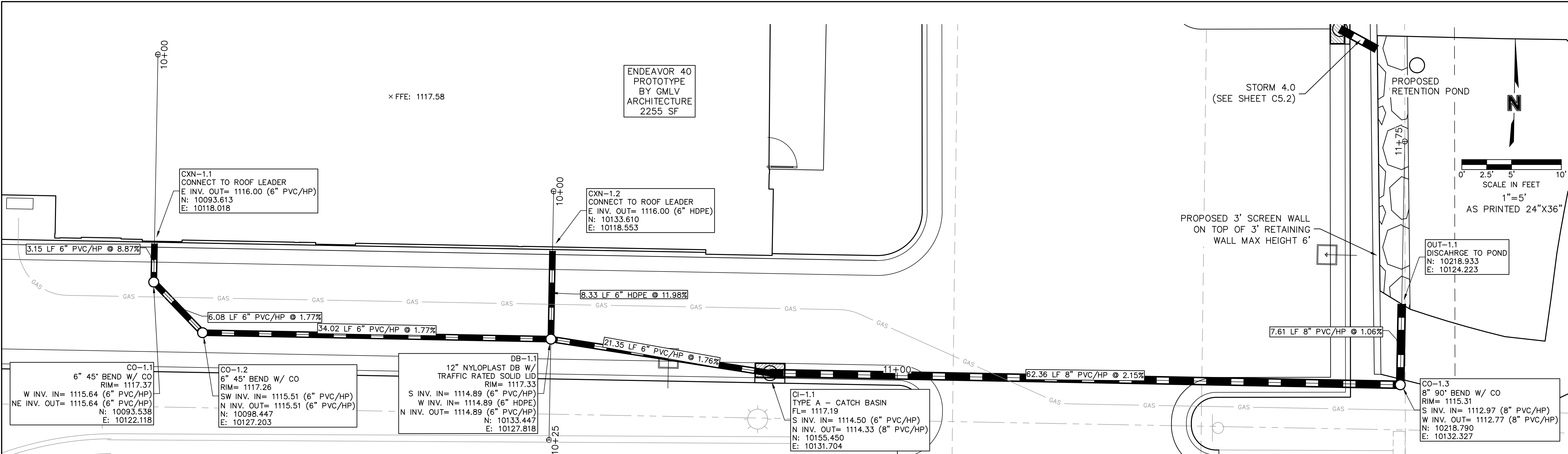
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 CCPR #: _____
 Q.S. #: Q01-24

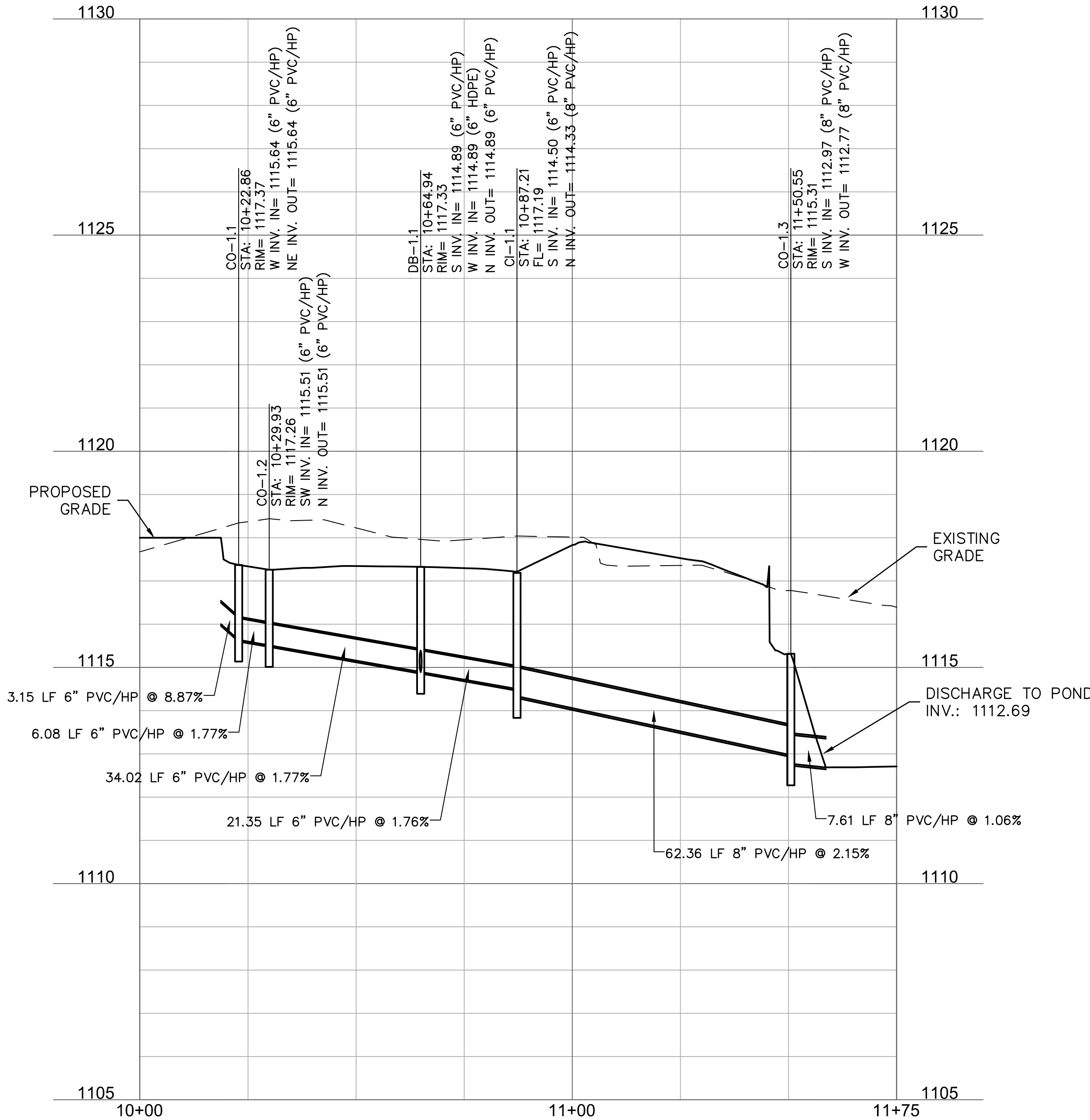
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Z: C-2 KIVA: 17-287A3 PAPP: 2201538 SDEV: 1700061

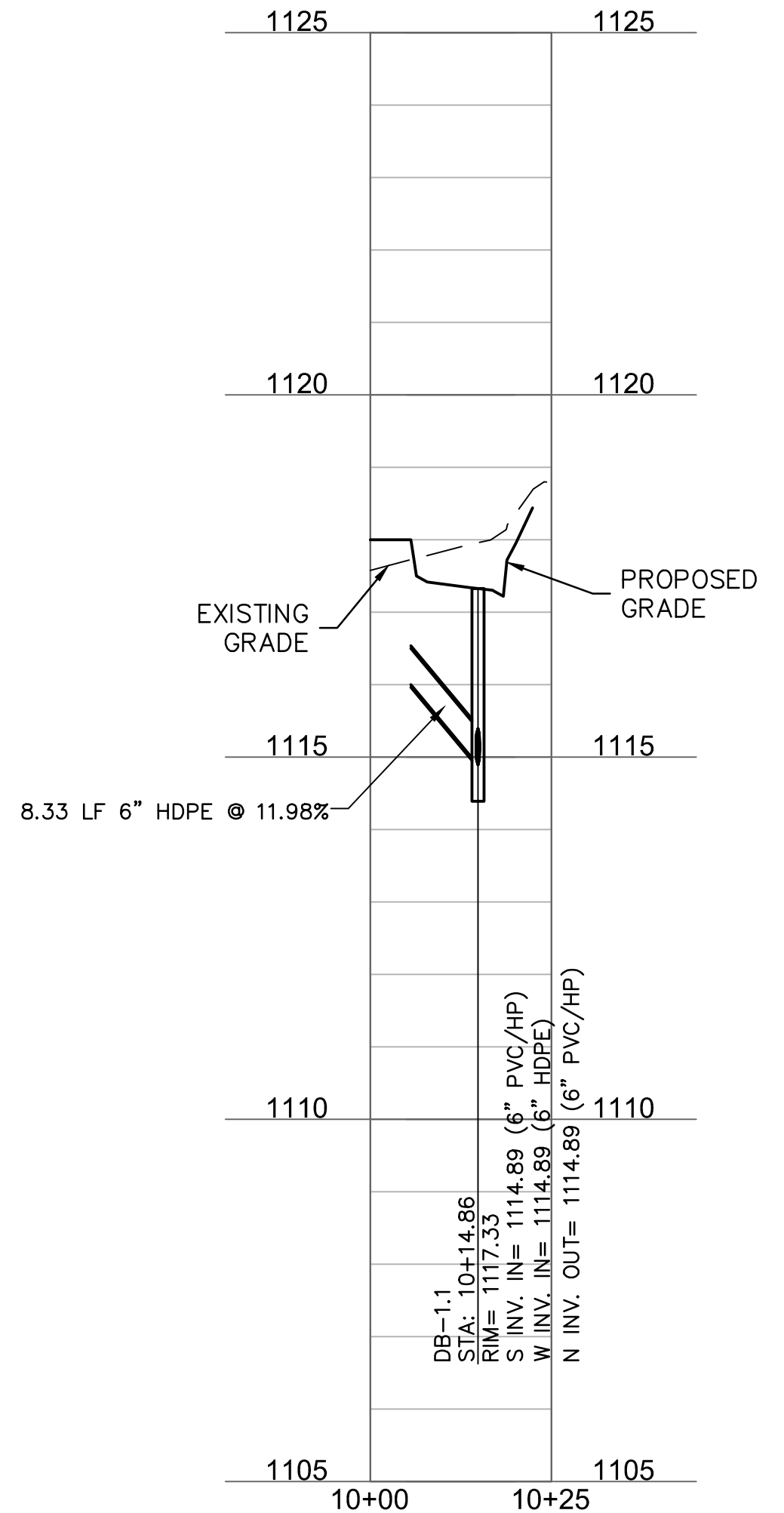
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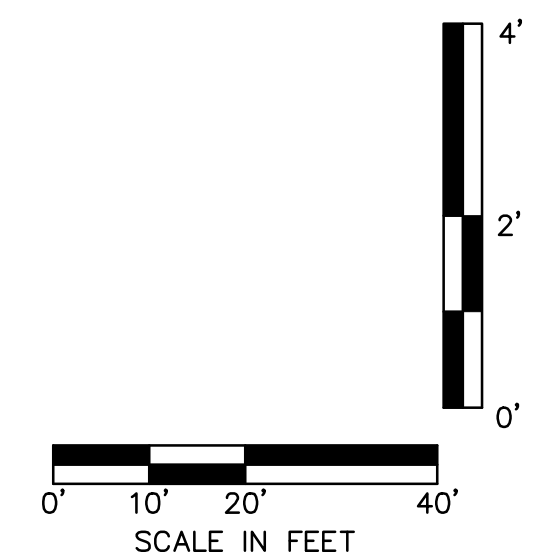
STORM 1.0 (10+00 - 11+75)



STORM 1.1 (10+00 - 10+25)



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 ZA CASES: 34419/49820/10017
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PAPP # 2201538
 KIVA # 17-287A3
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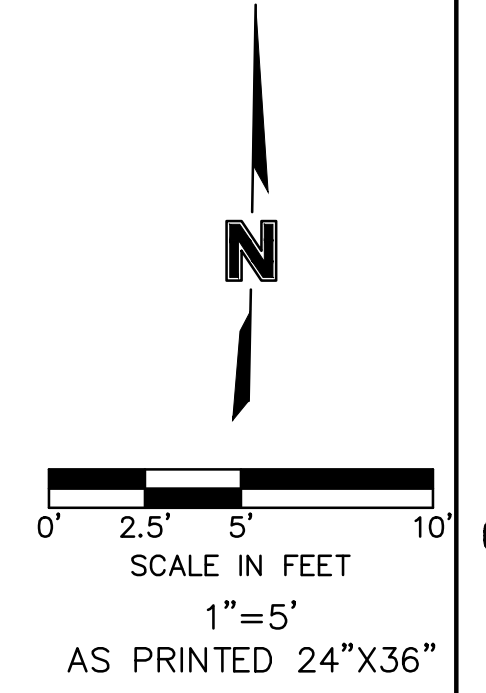
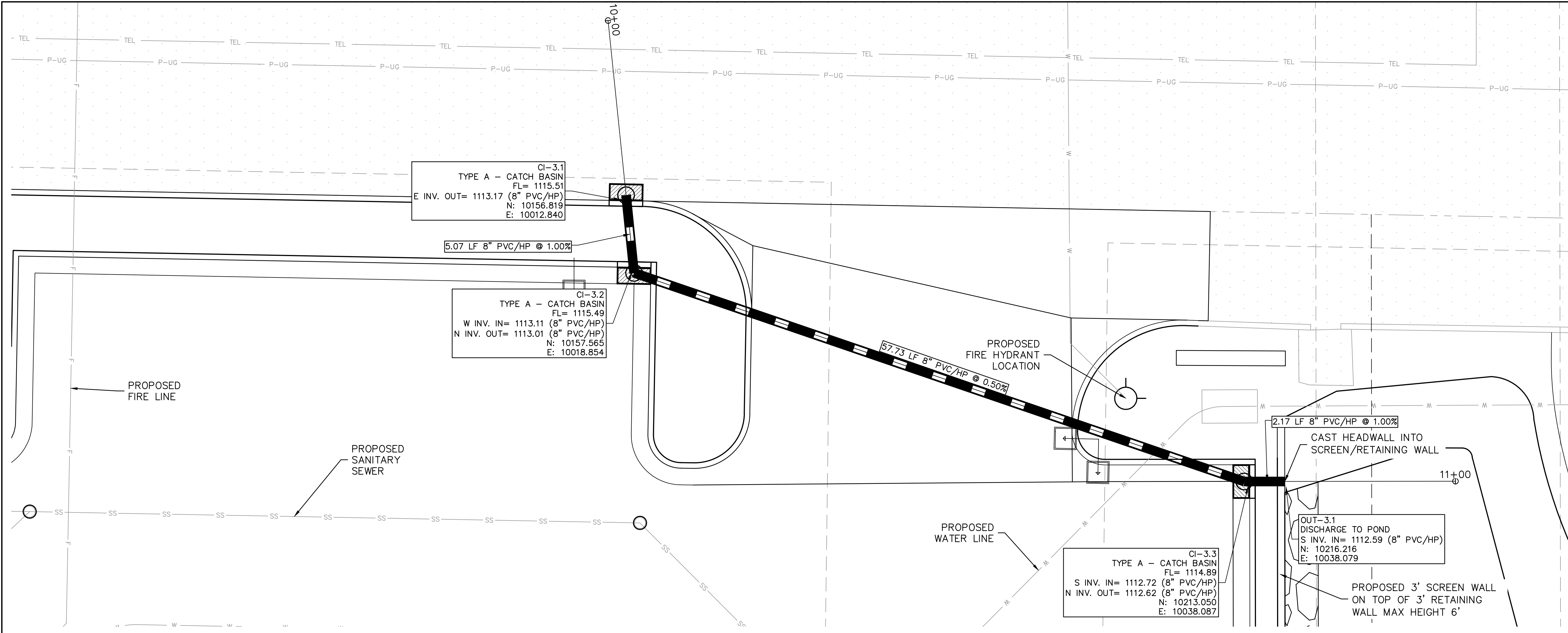
REV. NO.	DATE	REVISION DESCRIPTION

FINAL IMPROVEMENT PLANS
 STORM SEWER PLAN AND PROFILE
 TACO BELL
 1919 W. BASELINE RD.
 PHOENIX, AZ 85041
 2022
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 Z: C-2 KIVA: 17-287A3

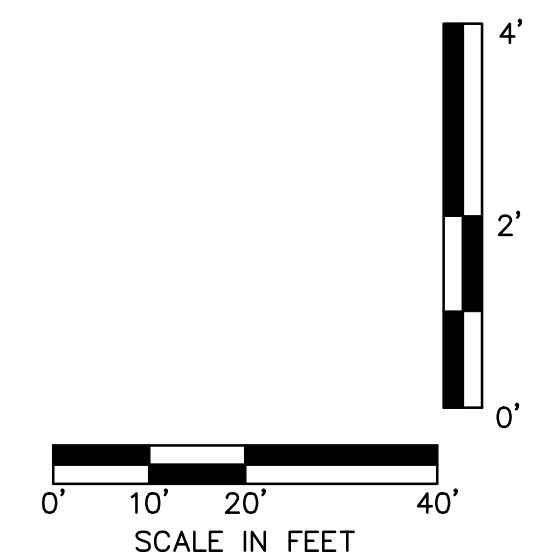
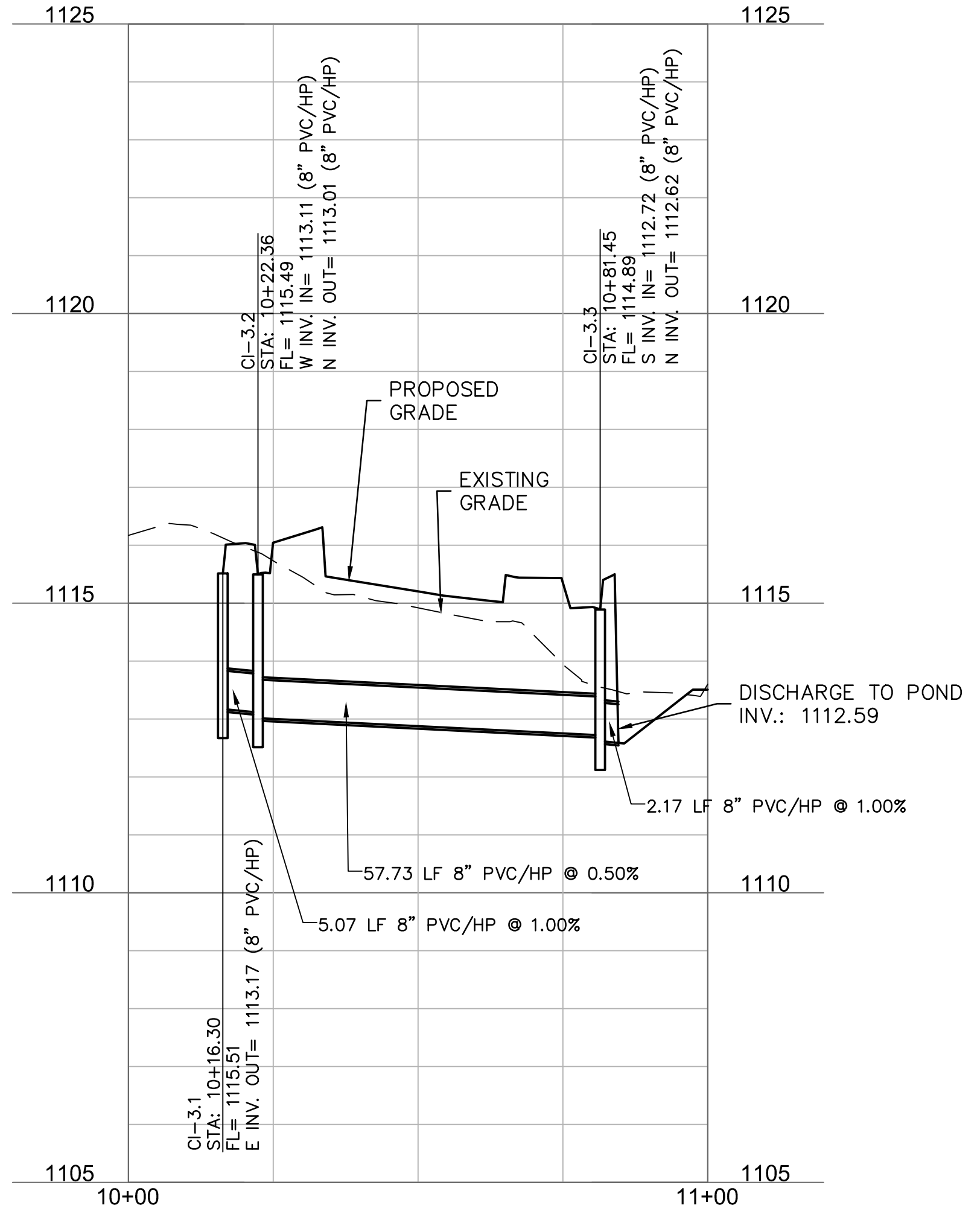
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17
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STORM 3.0 (10+00 - 11+00)



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 REZONING: Z-101-76
 ZA CASES: 34419/49820/10017
 LSPL:
 LSIS:

PAPP # 2201538
 KIVA # 17-287A3
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 CCPR #:
 Q.S. # Q01-24

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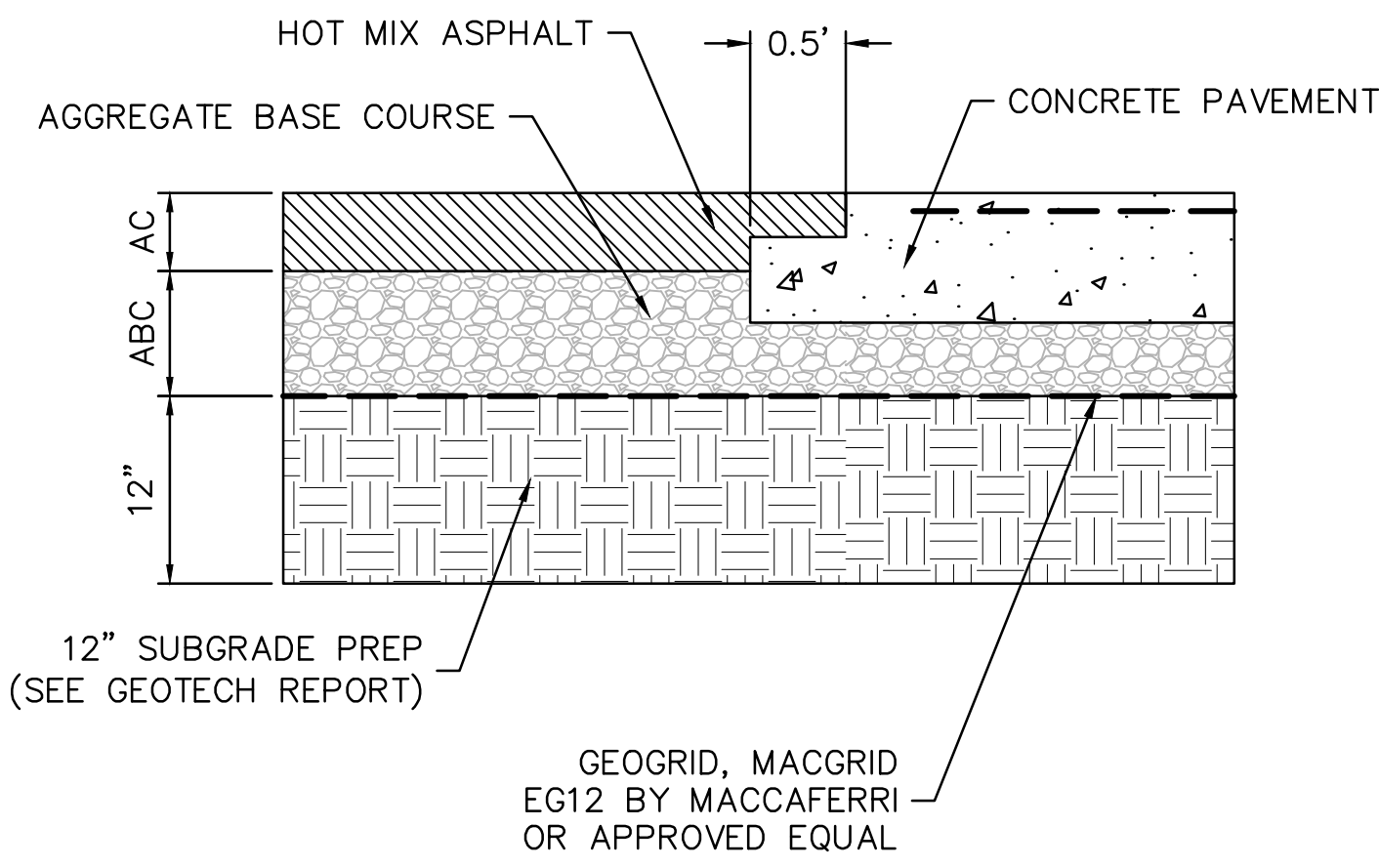
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FINAL IMPROVEMENT PLANS
 STORM SEWER PLAN AND PROFILE
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 PAPP: 2201538 SDEV: 1700061
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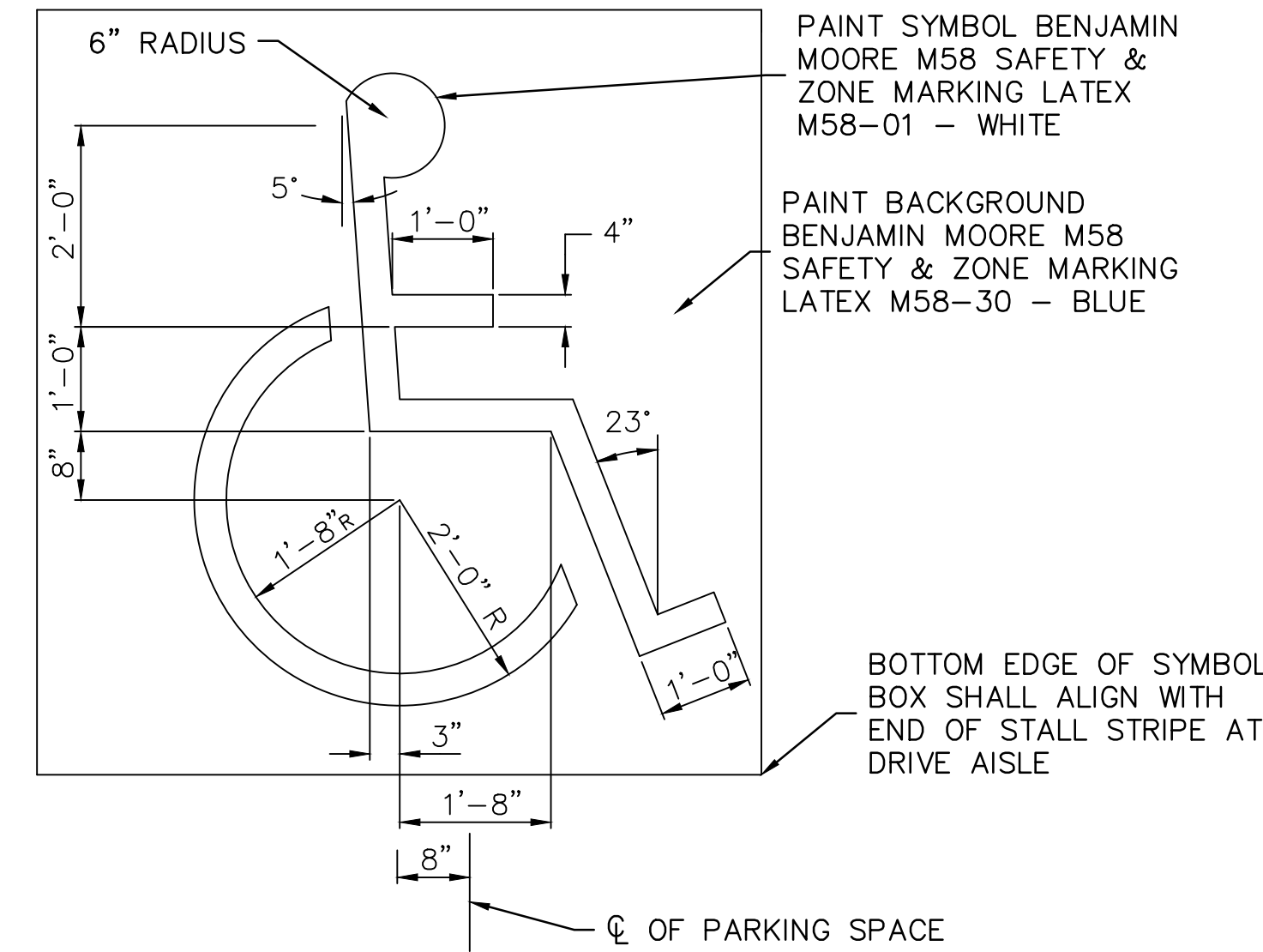
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18
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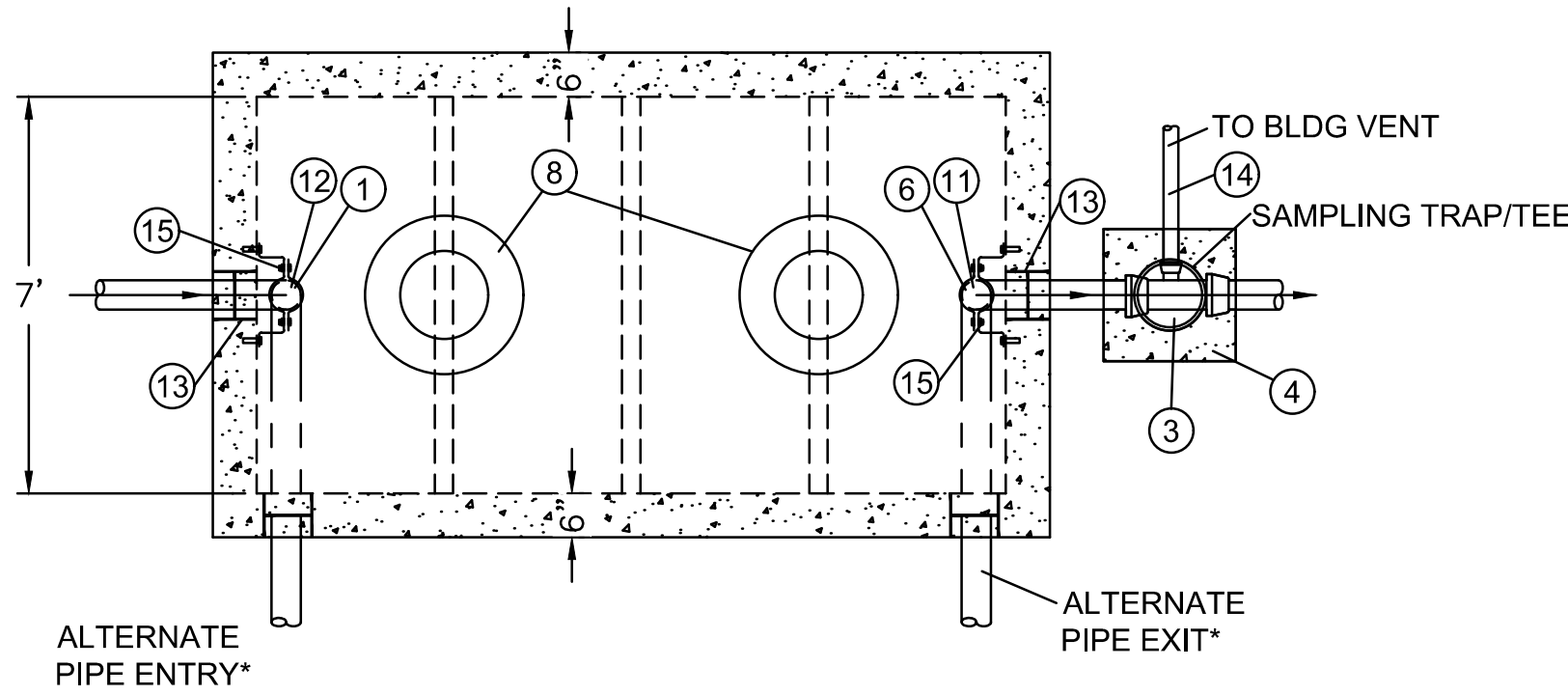
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PAVEMENT TRANSITION DETAIL



ACCESSIBLE PARKING STALL PAVEMENT SYMBOL
NOT TO SCALE



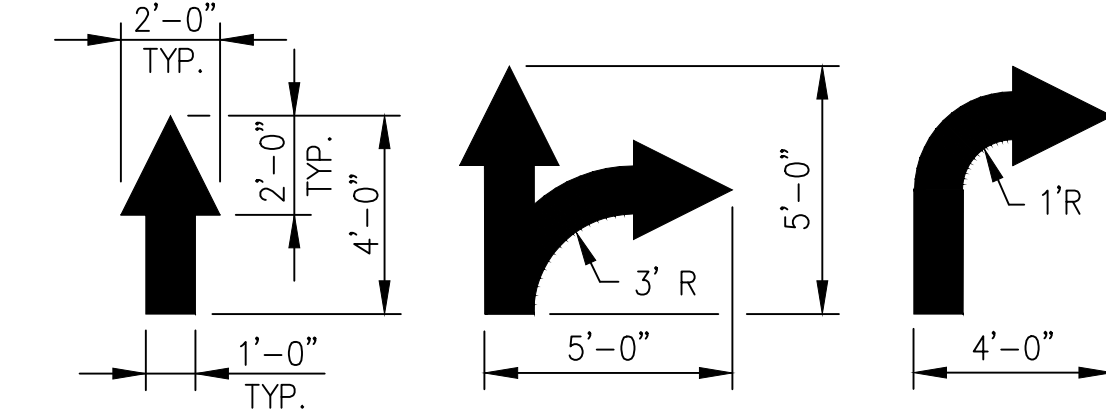
GREASE INTERCEPTOR DETAIL
NOT TO SCALE

ITEM	DESCRIPTION
1	4" ABS INLET PIPE*
2	4"x4"x2" TEE WITH 2" PIPE TO BUILDING VENT*
3	THREADED C/O CAP JOSAM 58860 OR APP EQUAL**
4	14"x14"x4" CONCRETE PAD (FOR LANDSCAPE INSTALLATION)
5	4"x4"x4" TWO-WAY CLEANOUT TEE*
6	4" ABS OUTLET*
7	4" - 6" GRAVEL BEDDING
8	HEAVY-DUTY CAST IRON FRAME AND COVER ***
9	CONCRETE ADJUSTMENT RINGS
10	REINFORCE AS REQUIRED PER NOTE 6
11	4" ABS 90° ELBOW*
12	4" ABS TEE*
13	A-LOK OR PRESS SEAL PSX PIPE/WALL CONNECTOR
14	2" VENT PIPE (ABS WITH SOLVENT-CEMENTED JOINTS)
15	STAINLESS STEEL PIPE SUPPORT CLAMP****
16	SYNKO-FLEX WATERSTOP AROUND PERIMETER OF FLOOR

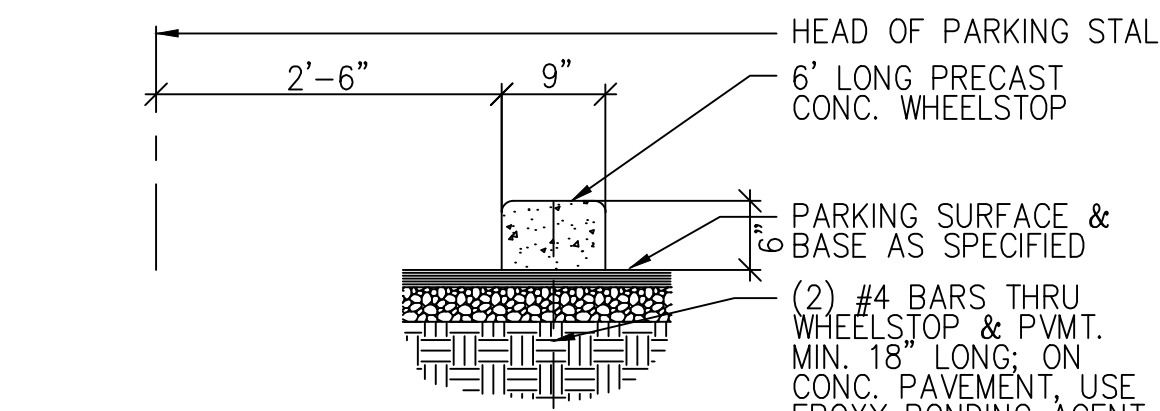
* 6" PIPE MAY BE SUBSTITUTED TO MATCH UPSTREAM PIPE DIAMETER.
 ** REFER TO CLEAN OUT DETAIL(S) ON STANDARD DETAIL SHEET.
 *** CLAY & BAILEY 2008 BV OR EQUAL (FROST PROOF COVERS OPTIONAL)
 **** FM STAINLESS FASTNERS #63 OR EQUAL. 1/2"x2-1/2" SS BRACKET W/ 1/2"x1-1/2" FULLY THREADED SS HEX BOLT WITH 1/2" SS WASHER AND 1/2"x1-3/4" SS ANCHORS. CLAMP TO BE FACTORY INSTALLED.

NOTES:

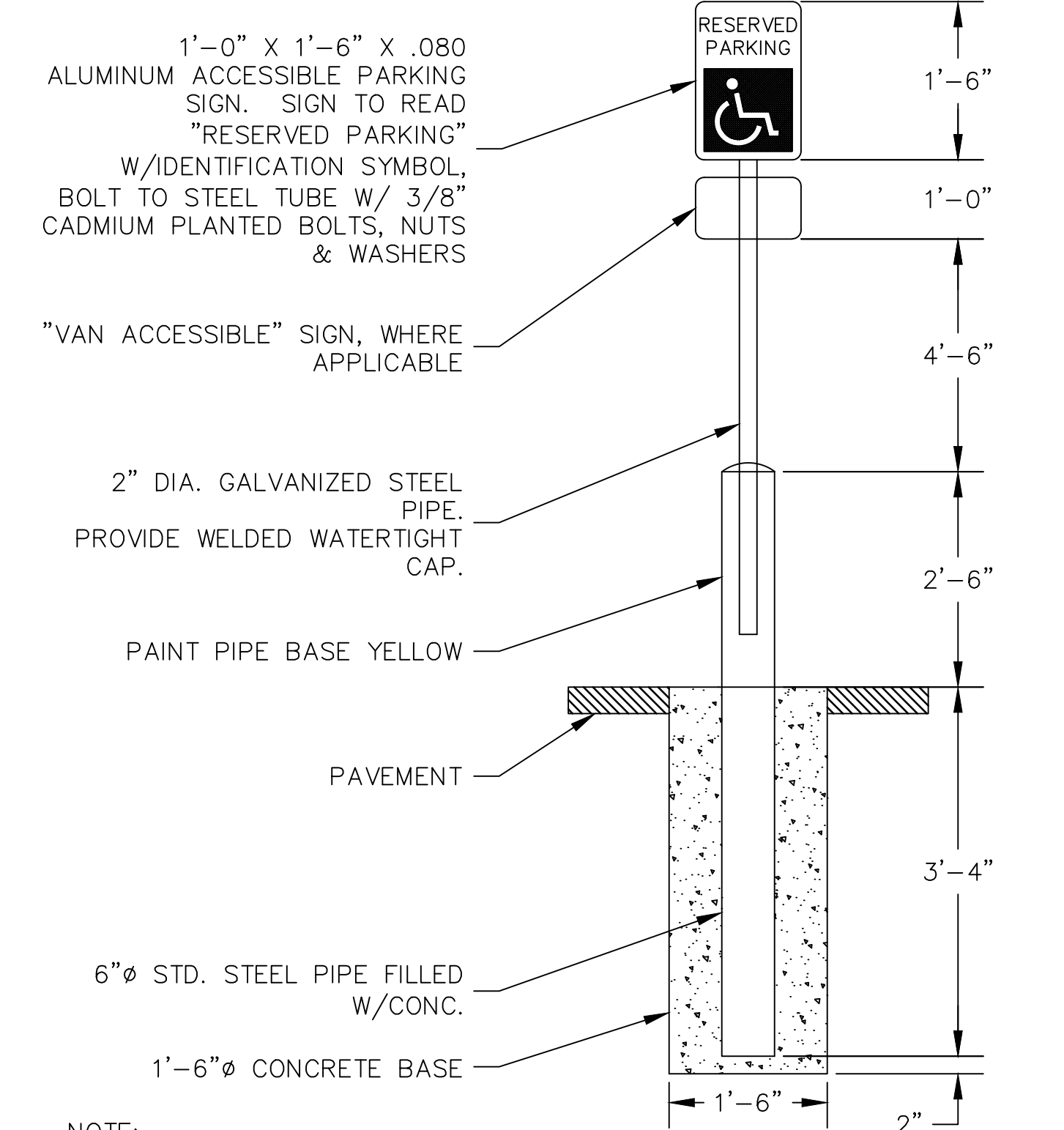
- THREE COVERS AND RISERS OPTIONAL. TWO COVERS AND RISERS CENTERED OVER UPPER TWO BAFFLES ARE SHOWN.
- INTERCEPTOR SIZE - 3,500 GALLONS.
- ALL JOINTS AT THE FRAME & COVER, CONCRETE ADJUSTMENT RINGS AND THE LID OF THE INTERCEPTOR SHALL BE SEALED WITH A MINIMUM OF TWO (2) ROWS OF 3/4 TO 1 INCH PREFORMED BUTYL JOINT SEALER AND A 6" BUTYL JOINT WRAP AROUND SLEEVE (EZ WRAP). THE ENDS OF THE 6" EZ WRAP SHALL OVERLAP BY 12".
- PIPING ON THE INTERIOR OF THE INTERCEPTOR SHALL BE ABS WITH SOLVENT-CEMENTED JOINTS.
- IN THE ABSENCE OF CITY-REQUIRED TESTING, GREASE INTERCEPTOR INCLUDING ADJUSTMENT RINGS AND CASTINGS SHALL BE VACUUM TESTED FOR WATER TIGHTNESS AFTER THE BACKFILL OPERATIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH JCW TECHNICAL SPECIFICATIONS. A VACUUM OF 10 INCHES OF MERCURY SHALL BE DRAWN AND WITH THE VACUUM PUMP SHUT OFF THE MERCURY SHALL NOT DROP BELOW 9 INCHES WITHIN 1 MINUTE OR BELOW 5 INCHES WITHIN 5 MINUTES.
- STRUCTURE SHALL BE HS20 LOADING OR BETTER.



PAINTED TRAFFIC ARROWS N.T.S.

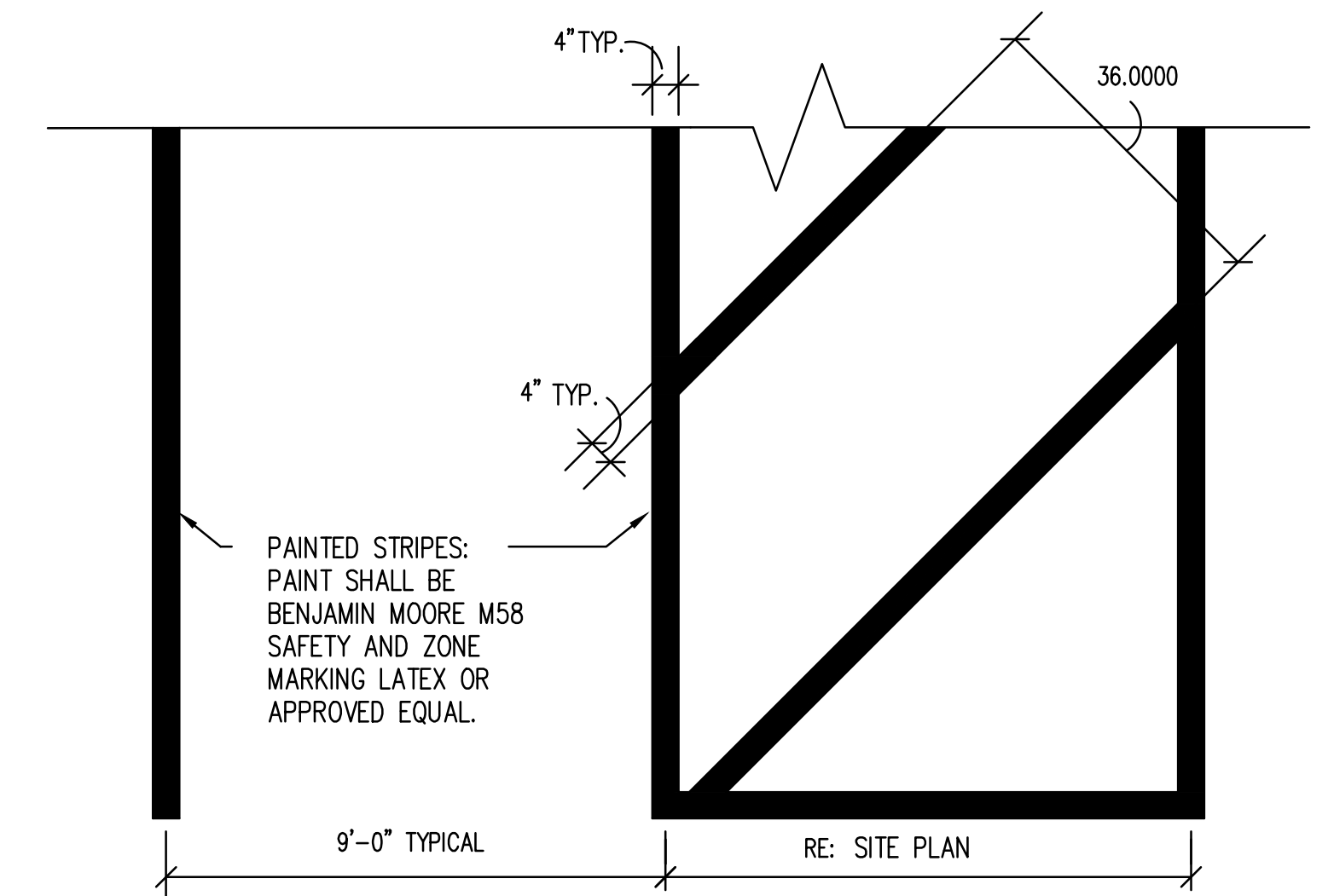


CONCRETE WHEELSTOP N.T.S.

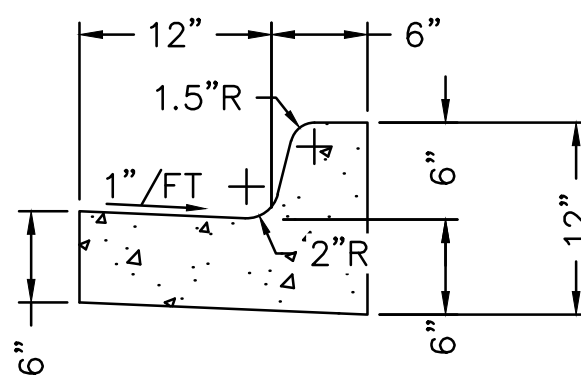


NOTE:
 1. ACCESSIBLE PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL CODES AND REGULATIONS

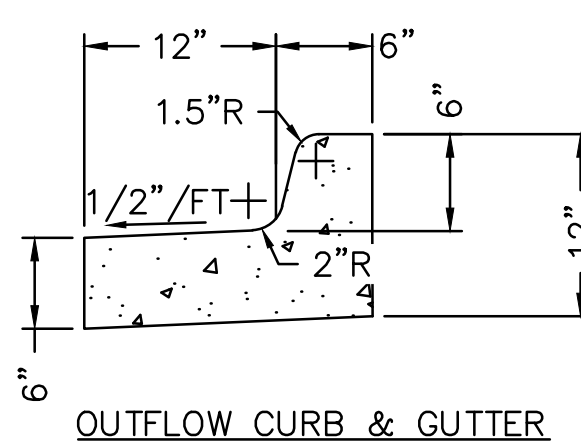
ACCESSIBLE PARKING SIGN IN PAVEMENT
NOT TO SCALE



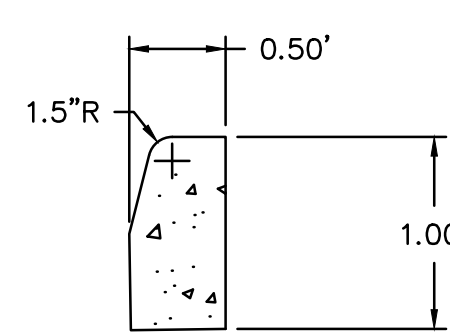
PARKING STRIPING N.T.S.



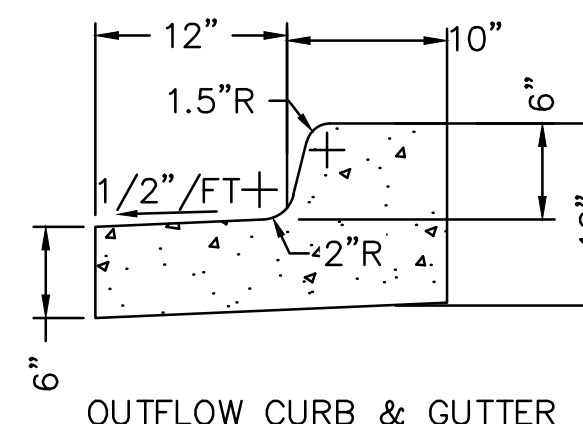
INFLOW CURB & GUTTER



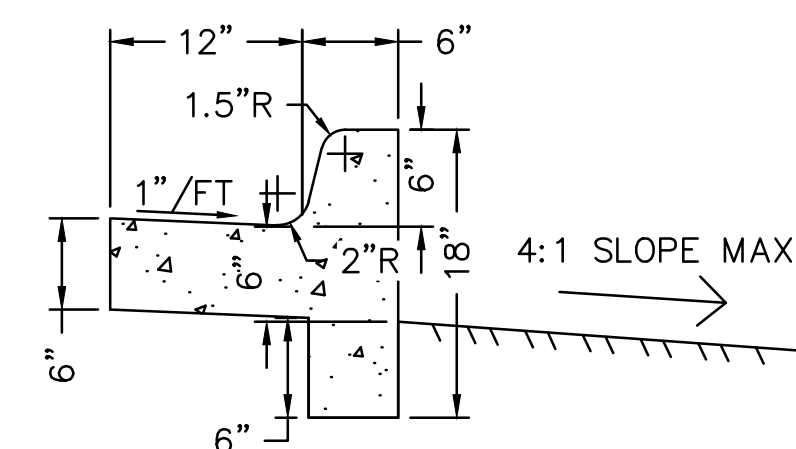
OUTFLOW CURB & GUTTER



B 6" VERTICAL CURB DETAIL
SCALE: NTS



C 22" OUTFLOW CURB & GUTTER
SCALE: NTS



D INFLOW TALL CURB & GUTTER
SCALE: NTS

A 18" INFLOW/OUTFLOW CURB DETAIL
SCALE: NTS

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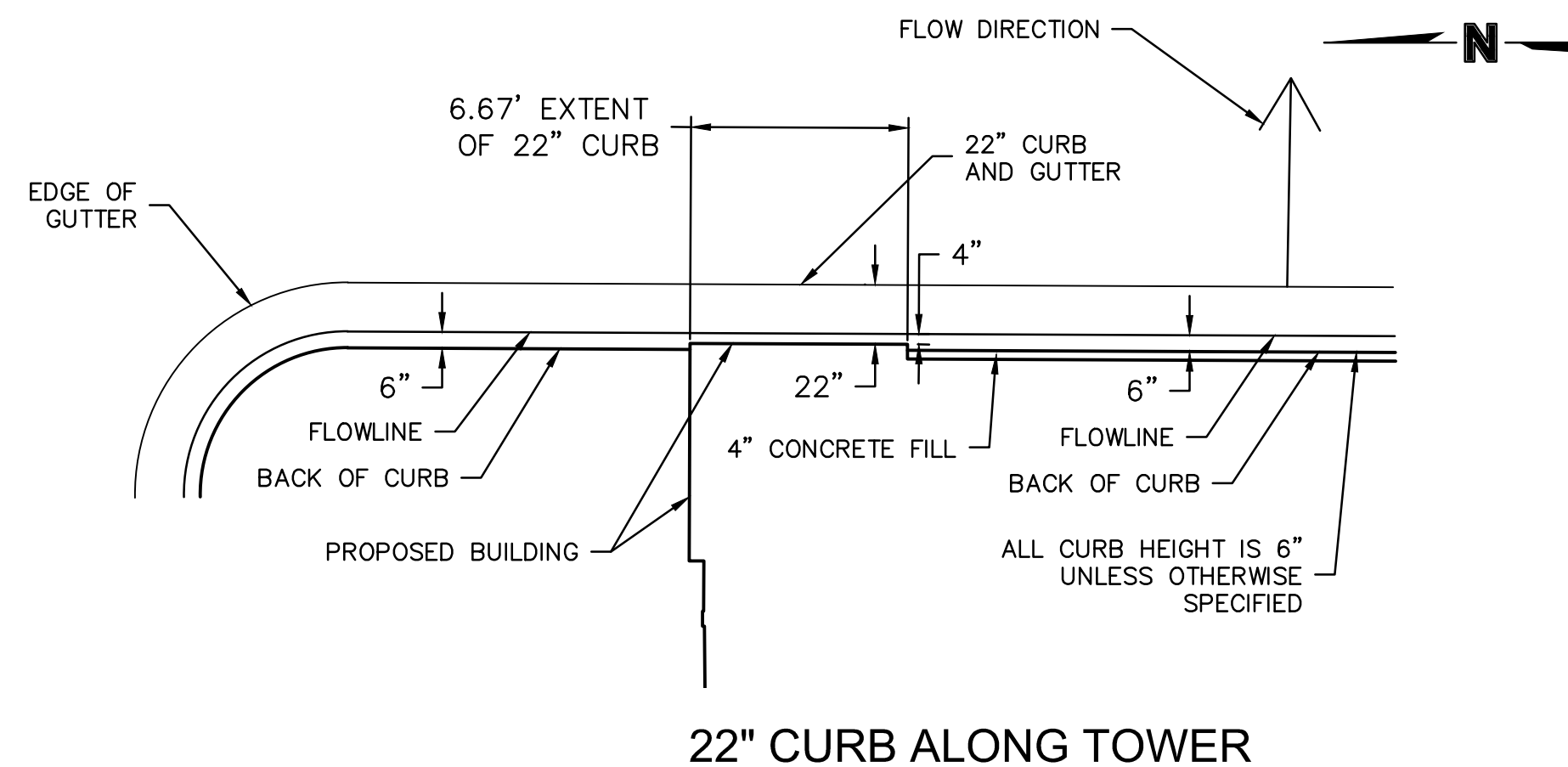
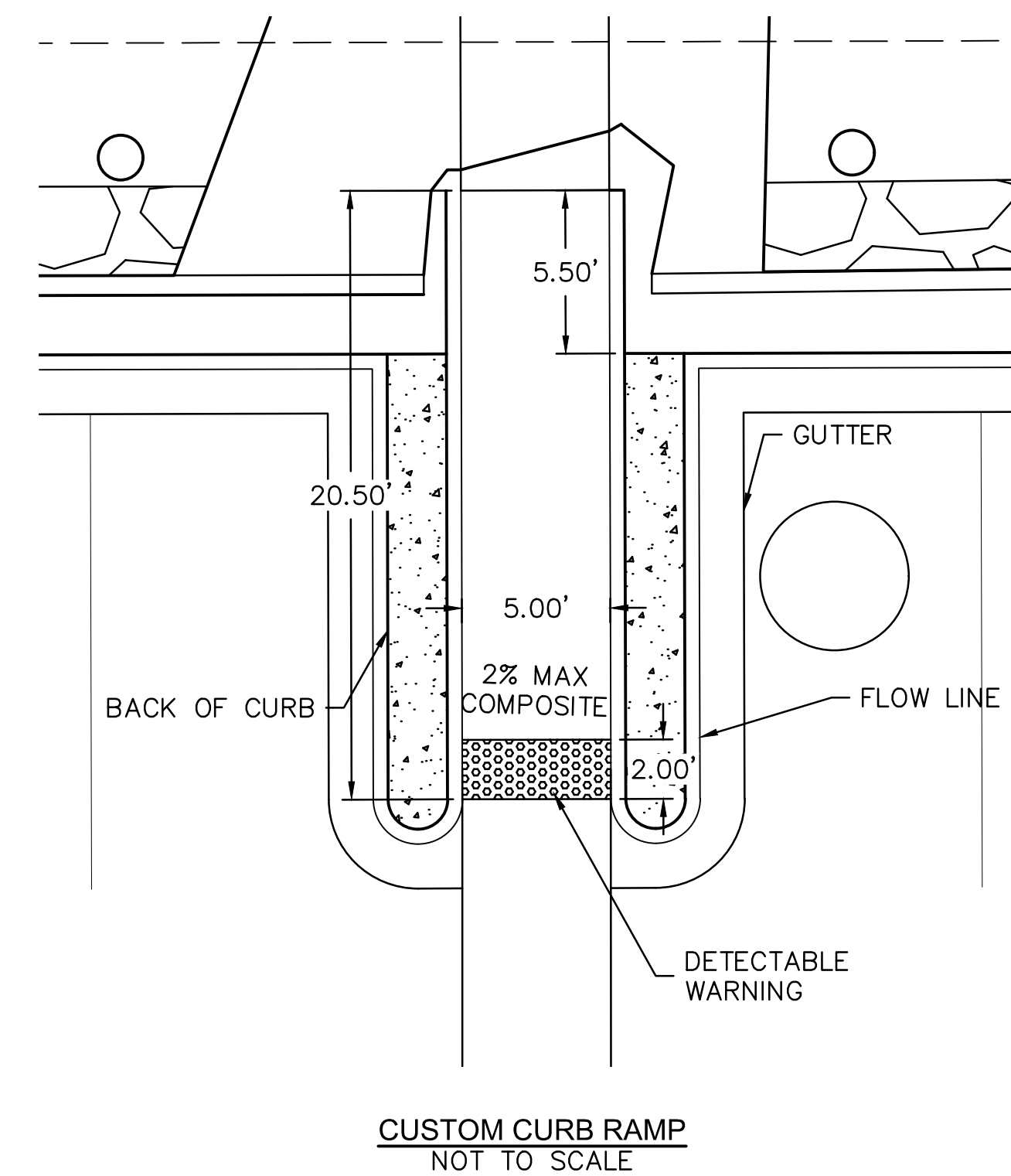
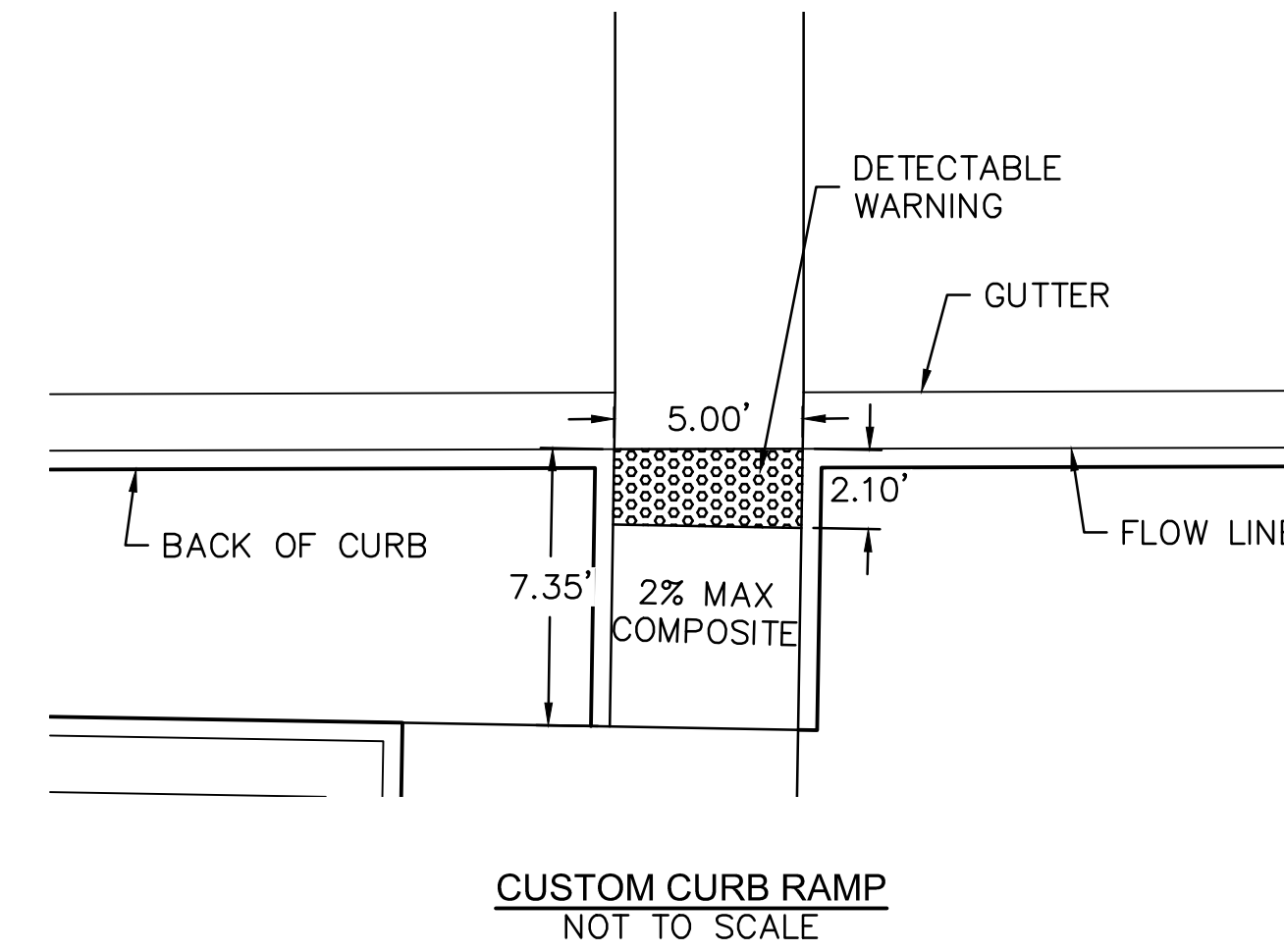
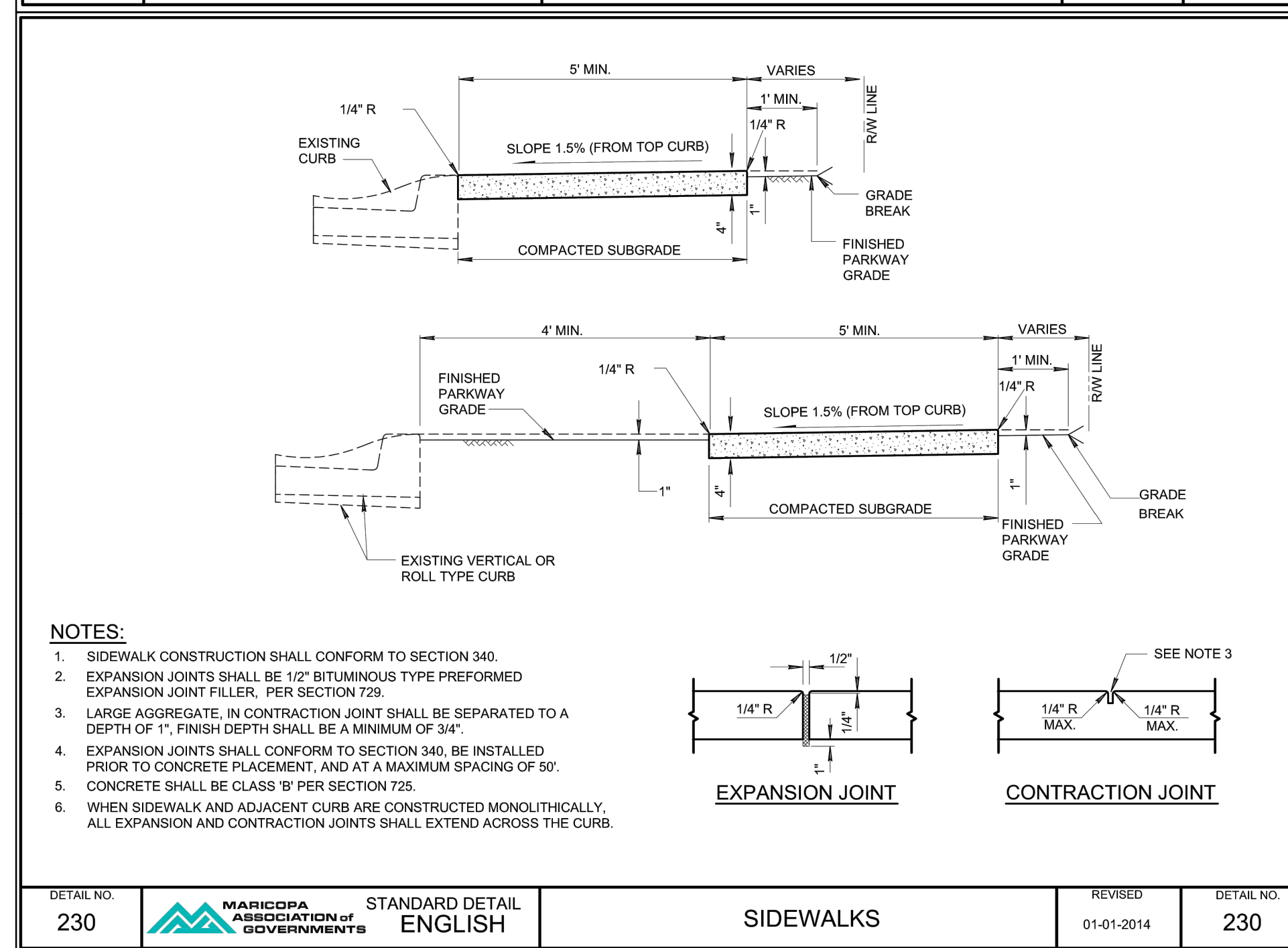
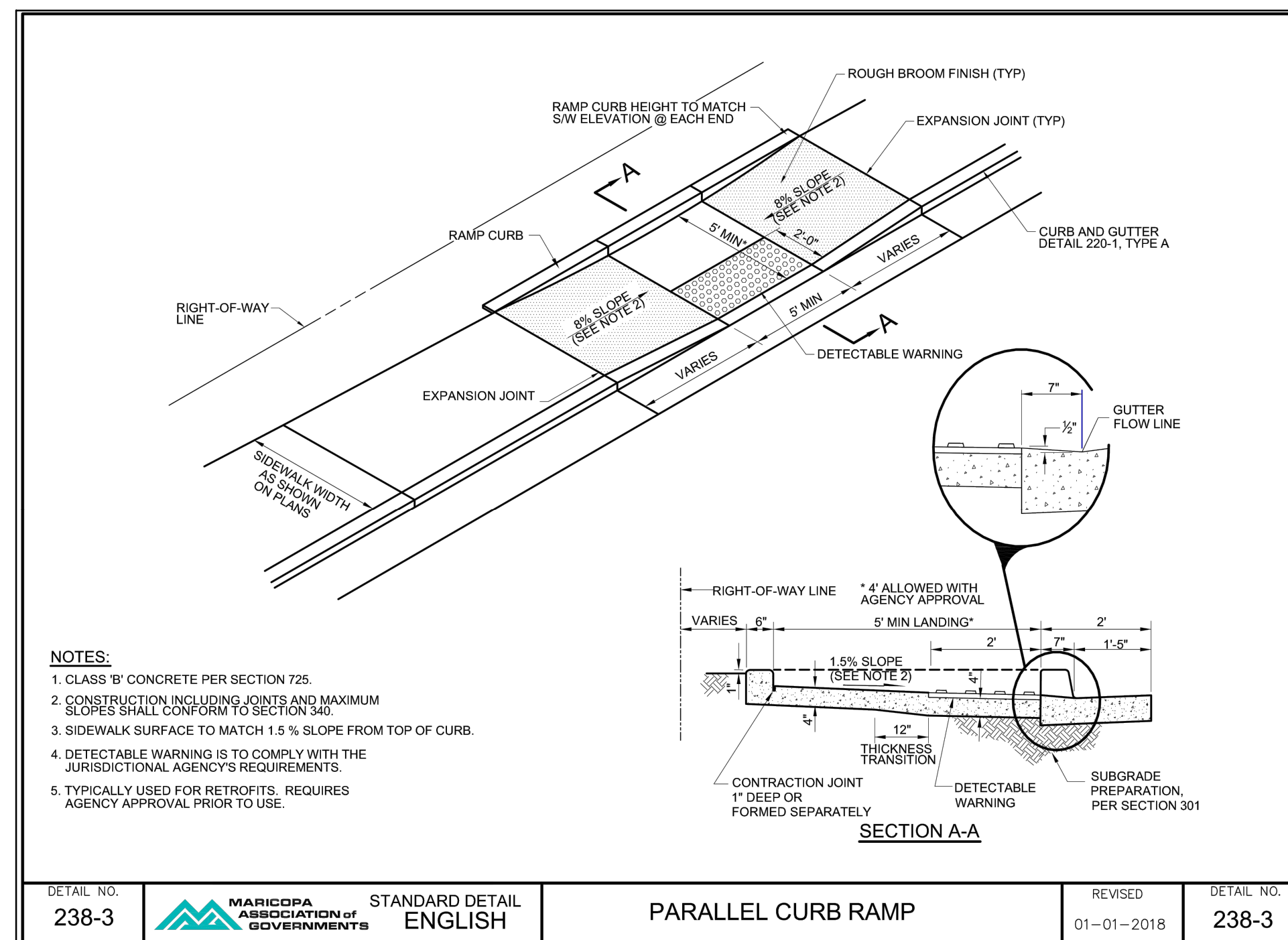
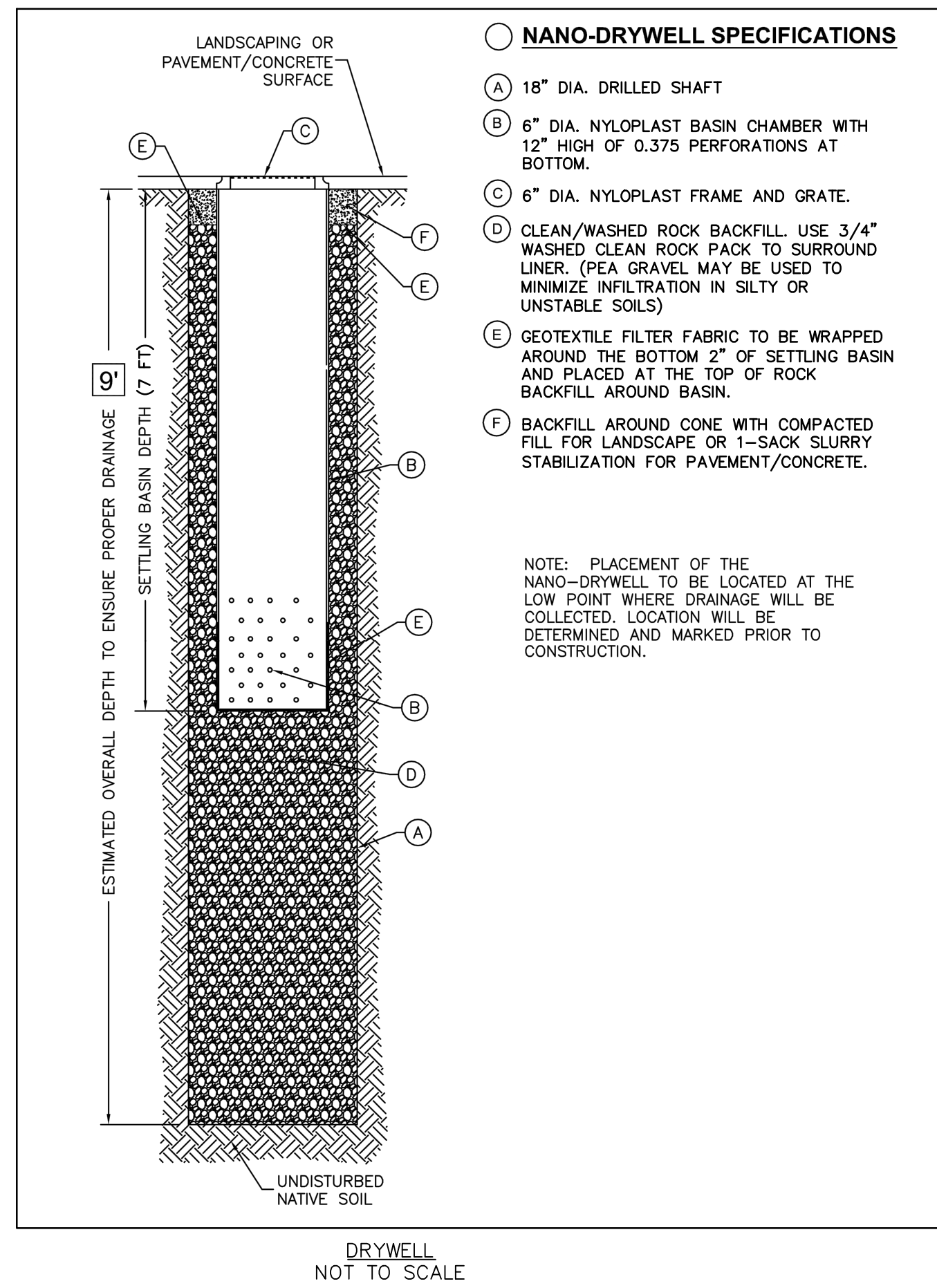
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SITE DETAILS
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 1919 W. BASELINE RD.
 PHOENIX, AZ 85041
 2022
 PAPP: 2201538 SDEV: 1700061
 REV: 17-287A3

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 ZA CASES: 34419/49820/10017
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 LSIS:
 PAPP #: 2201538
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 SDEV #: 1700061
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PHOENIX, AZ 85041	
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SDEV: 1700061	
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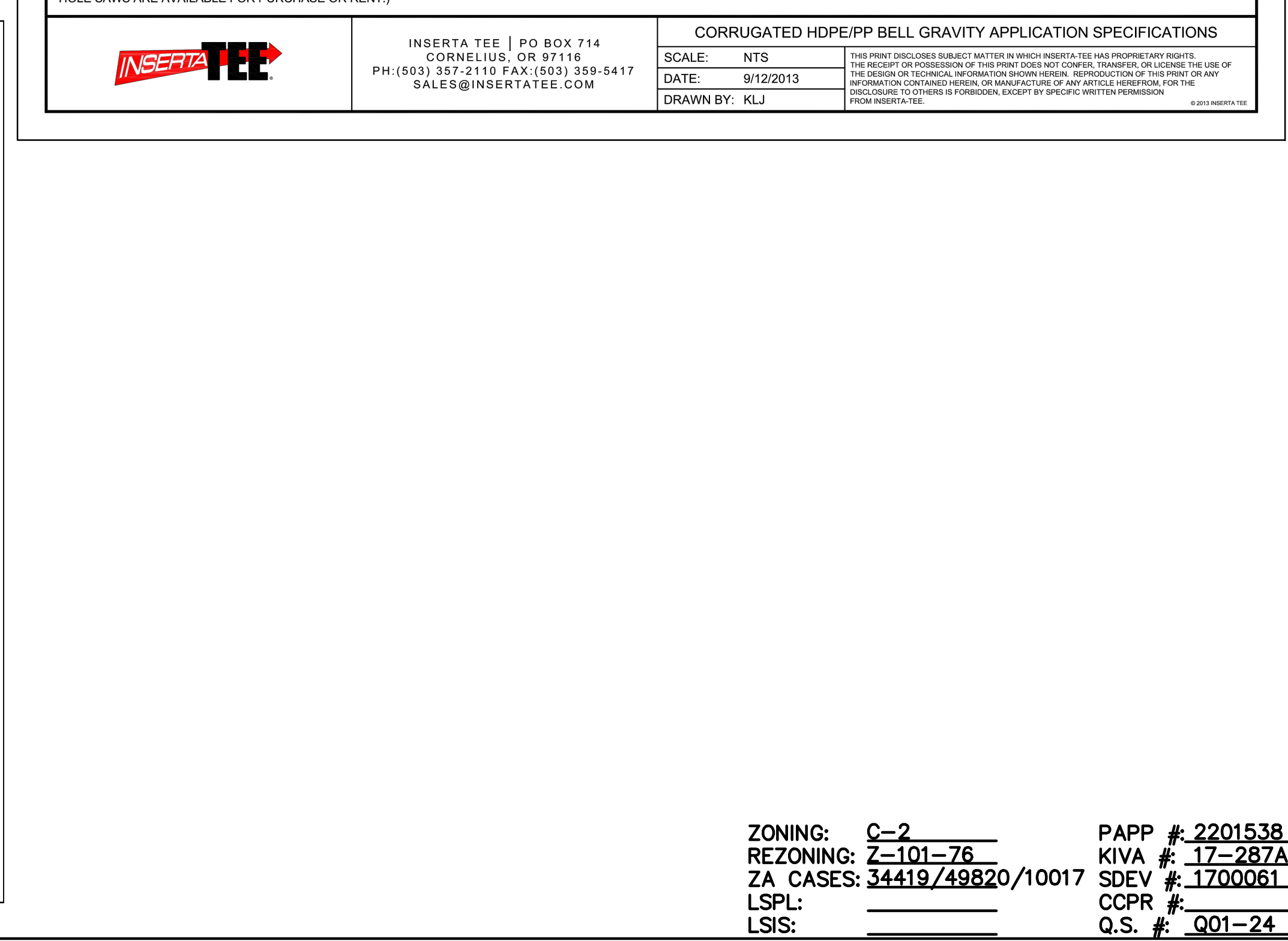
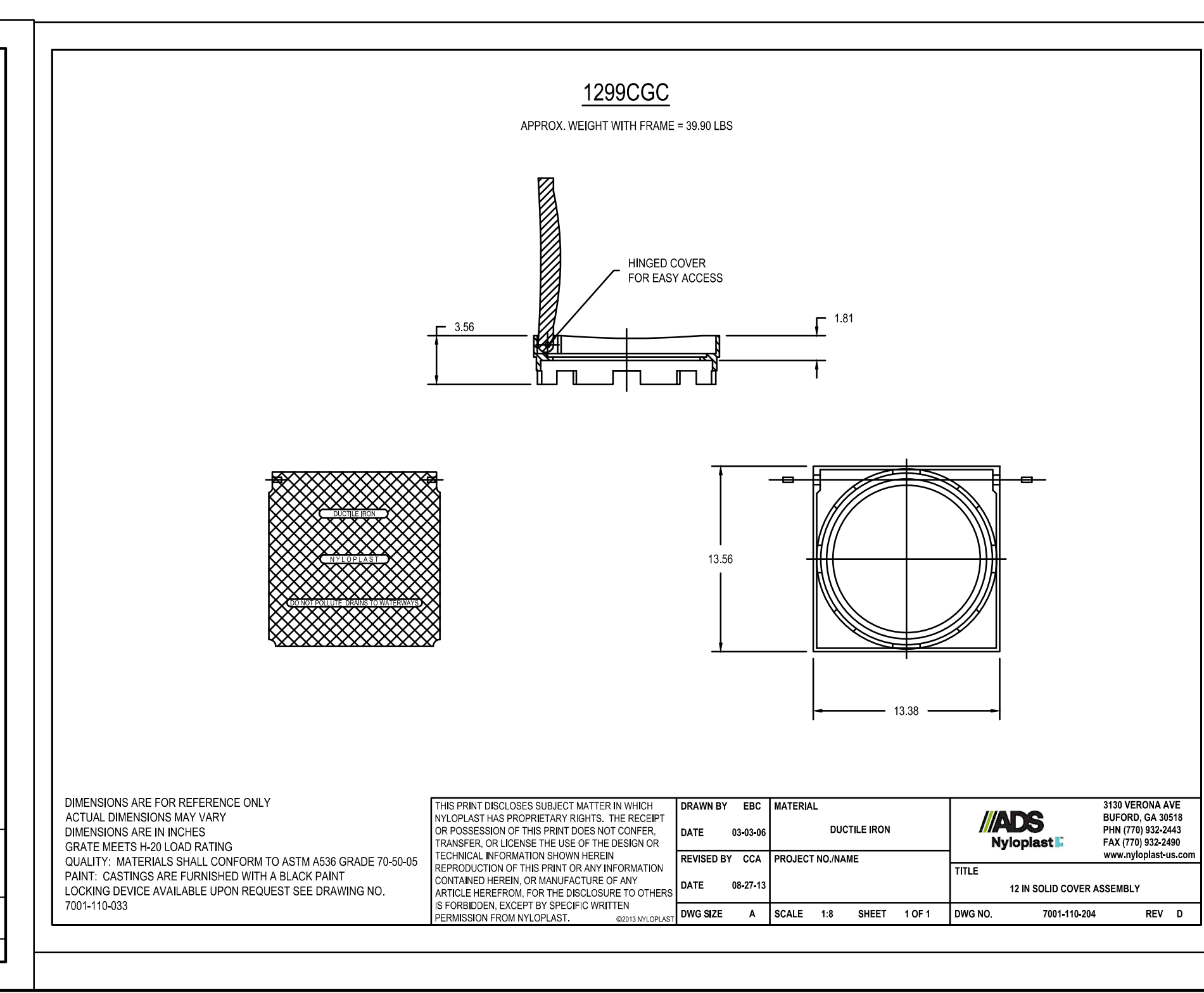
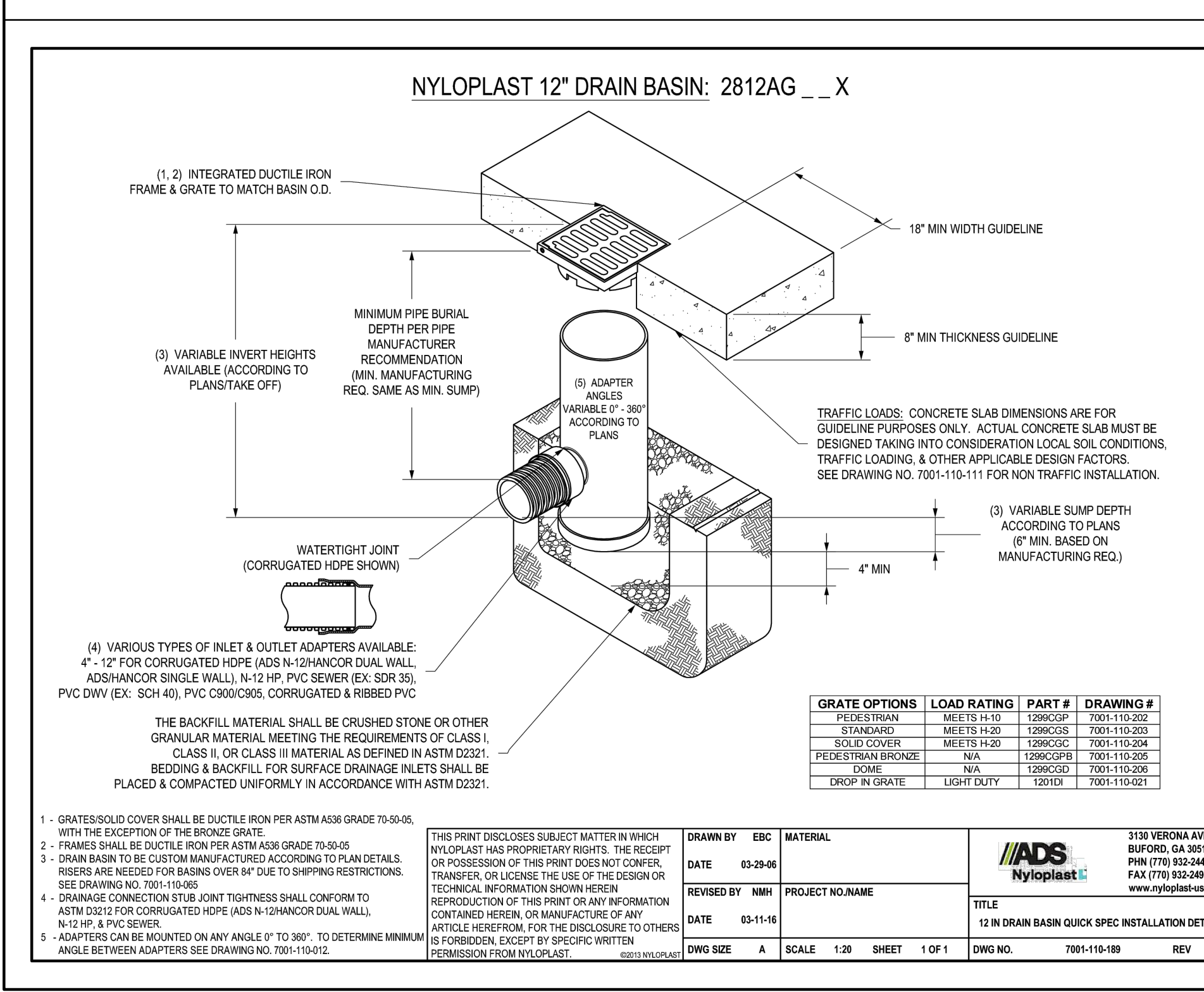
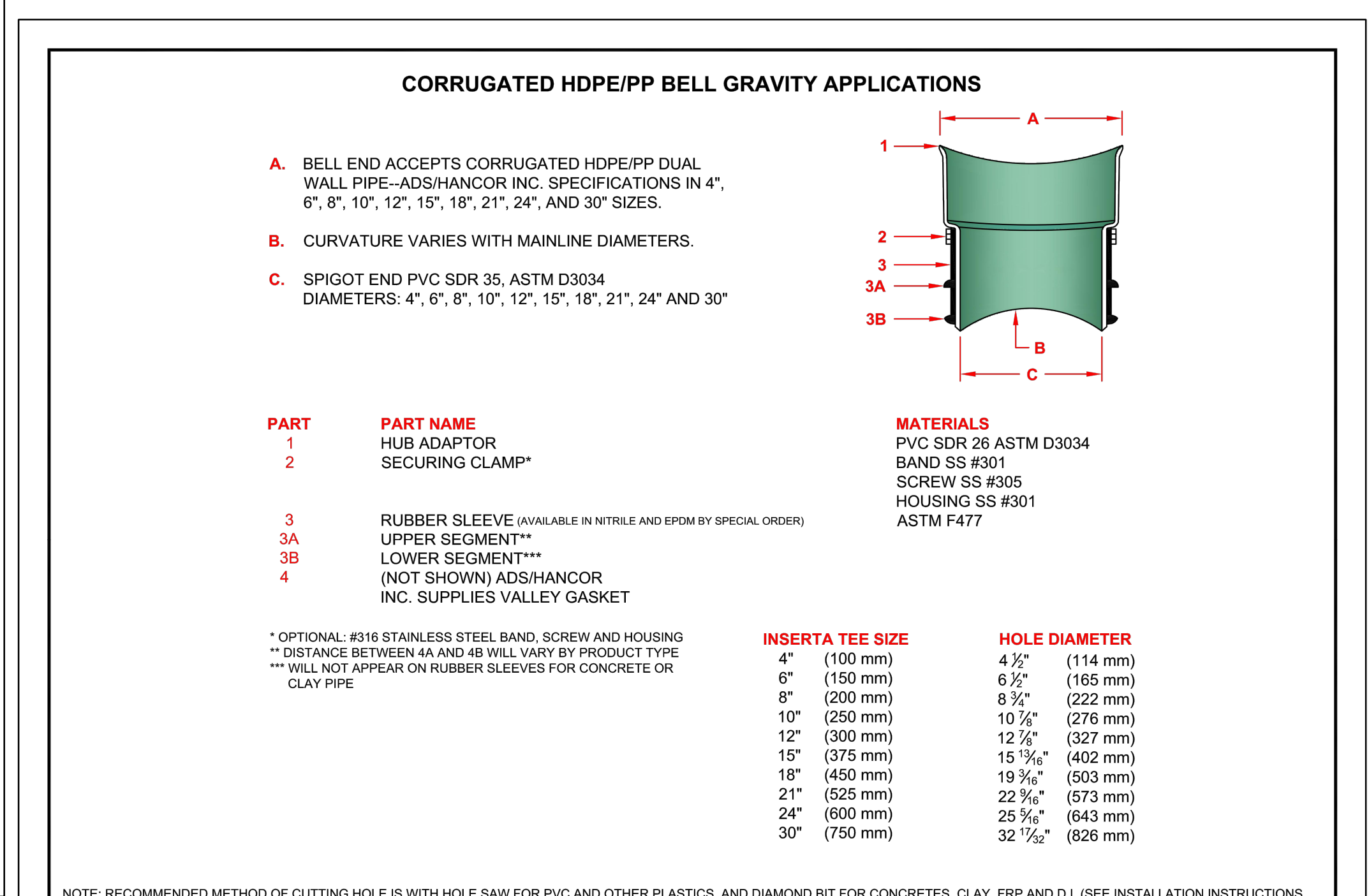
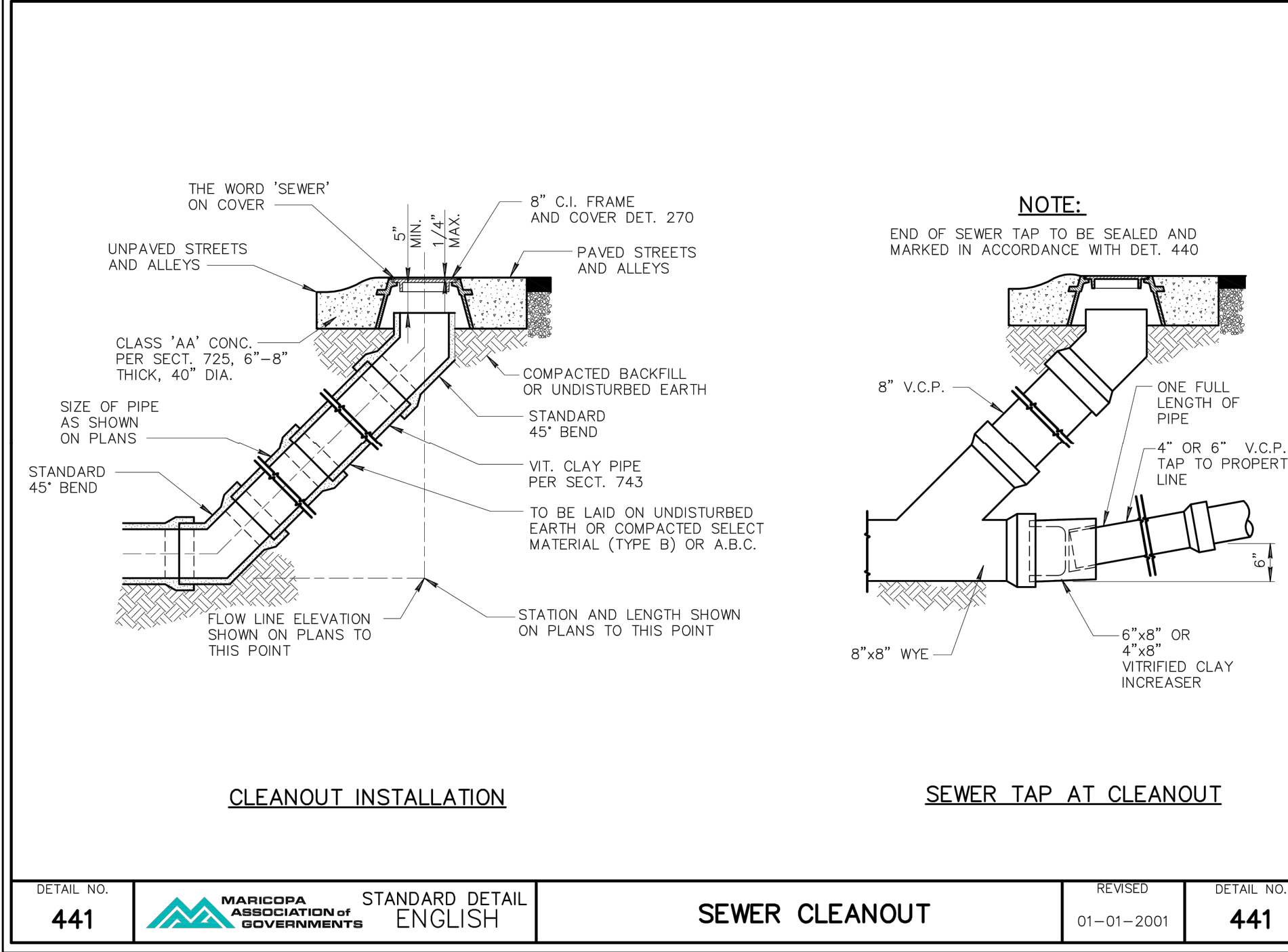
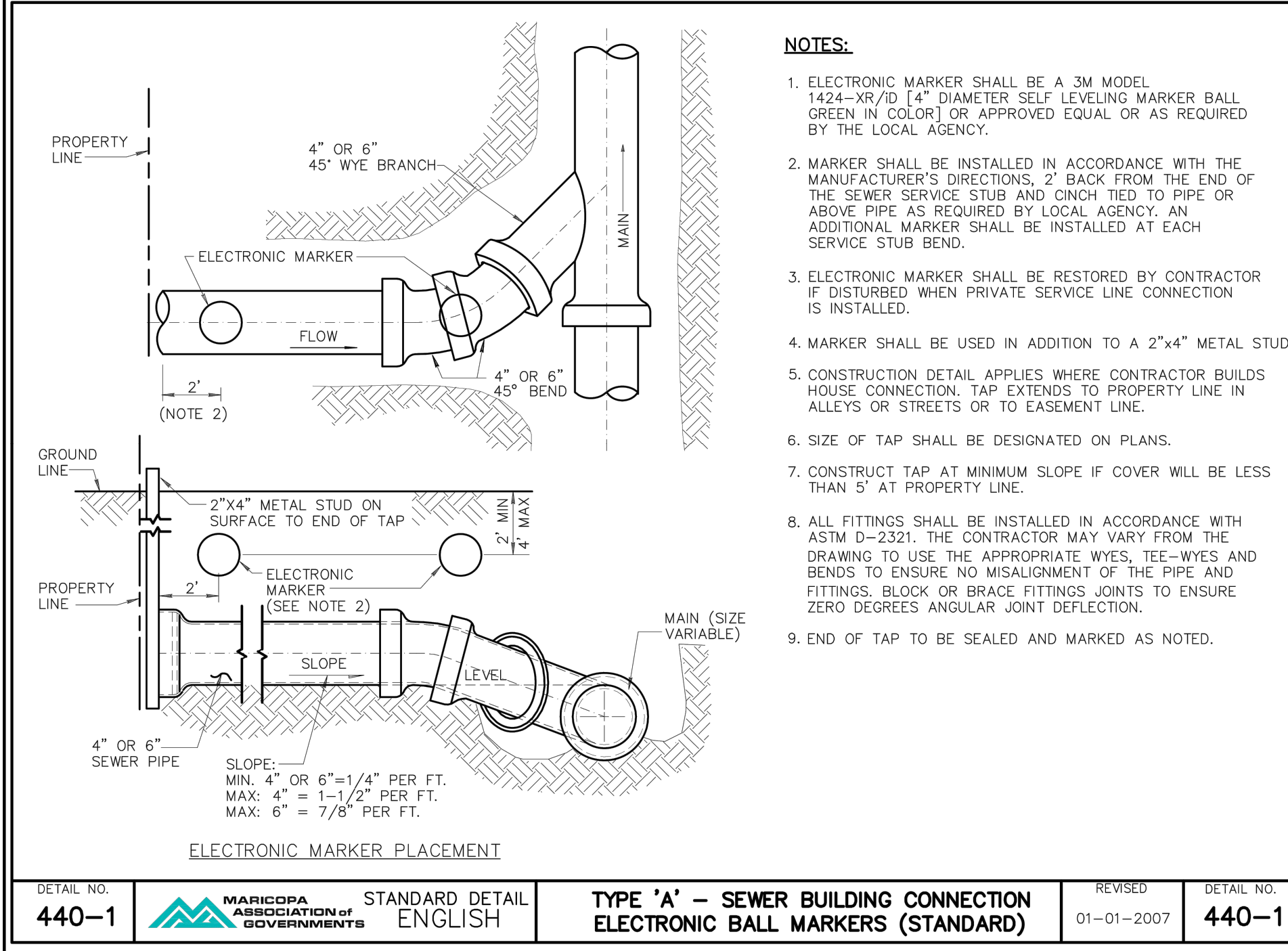
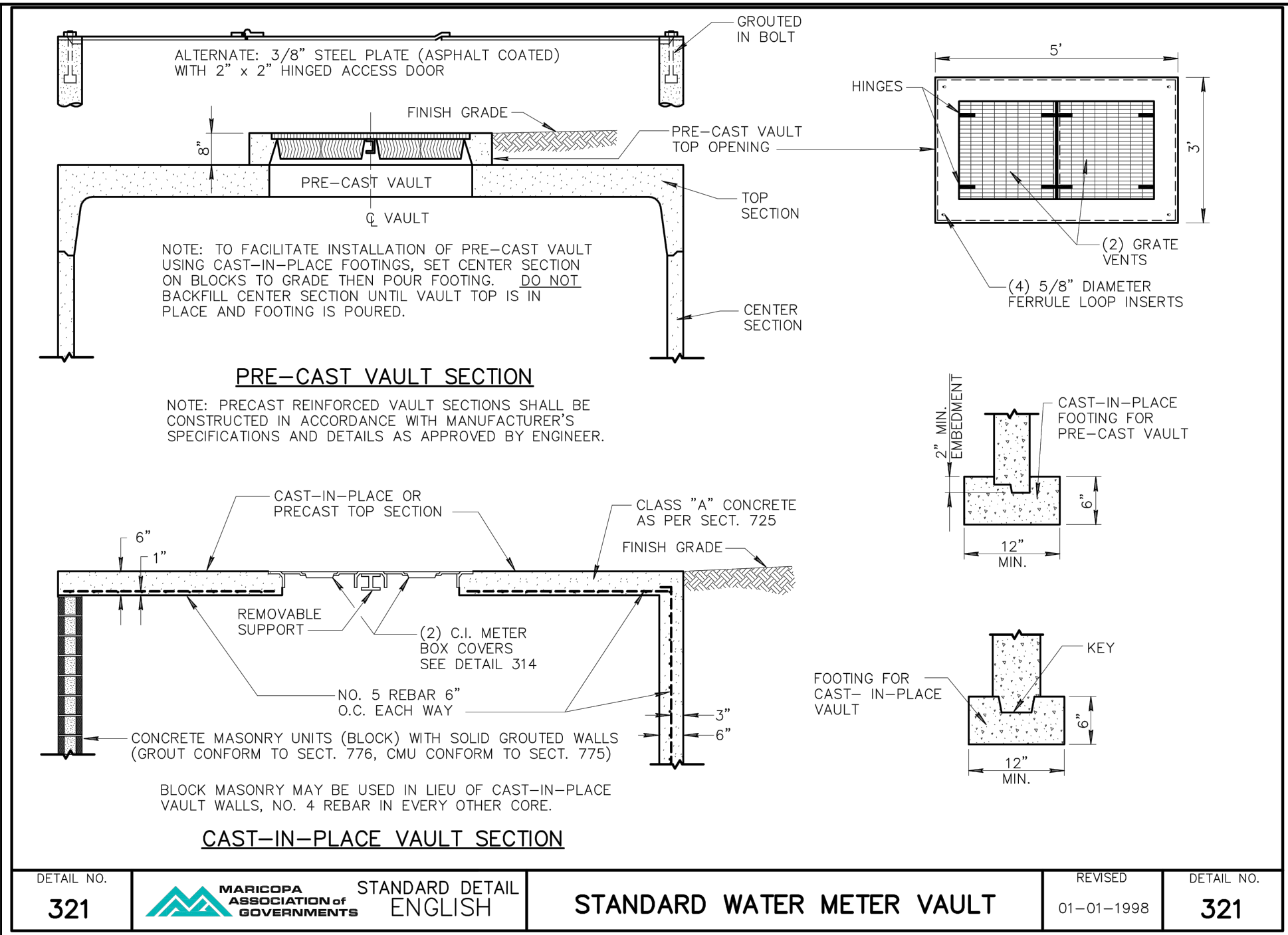
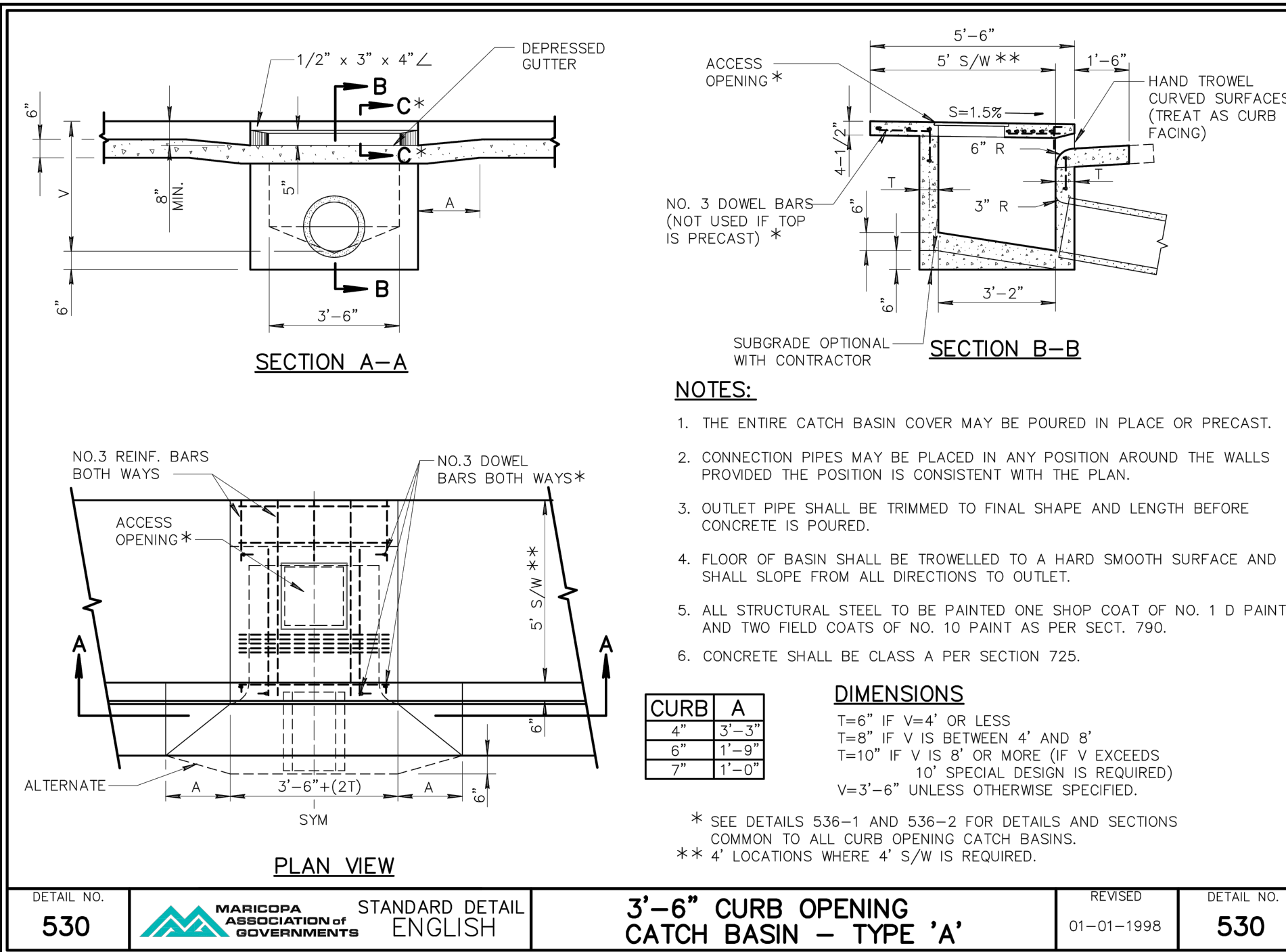
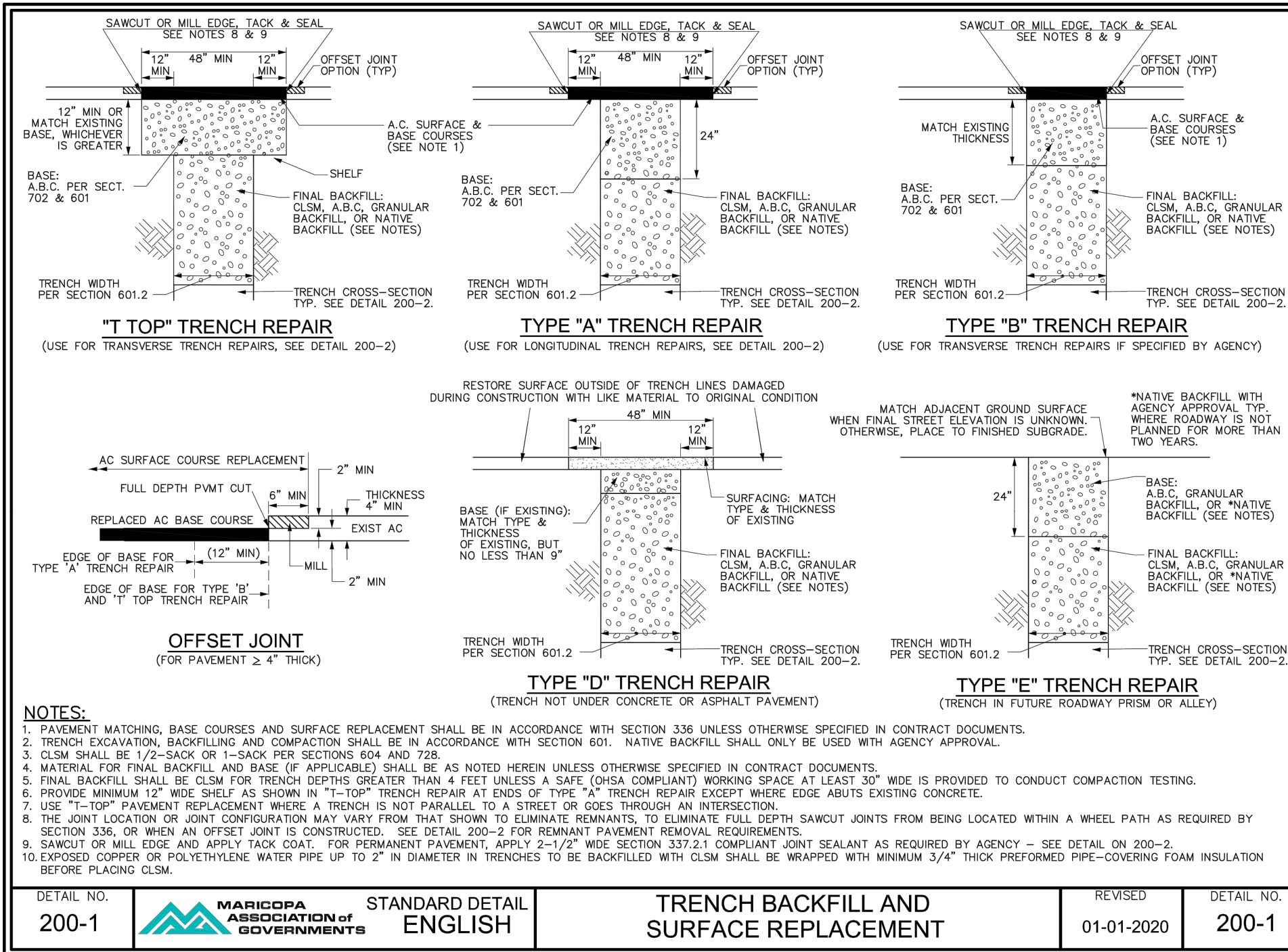
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project no.: 021-08522
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20
 C6.1 of 23

Z: C-2 KIVA: 17-287A3 PAPP: 2201538 SDEV: 1700061



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Phoenix, AZ 85020

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FAX: 602.748.1001

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CERTIFICATE NO. 73860
RODNEY L HANSON
PHOENIX, AZ

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Dial 8-1-1 or 1-800-874-8111 (782-5349)
Maricopa County (602) 253-1100

REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION

2022

FINAL IMPROVEMENT PLANS
UTILITY DETAILS

TACO BELL
1919 W. BASELINE RD.
PHOENIX, AZ 85041

drawn by: [Signature]
designed by: [Signature]
checked by: [Signature]
project no.: 021-08522
date: 06.07.2022

ZONING: C-2
REZONING: Z-101-76
ZA CASES: 34419/49820/10017
LSPL:
LSIS:

PAPP #: 2201538
KIVA #: 17-287A3
SDEV #: 1700061
CPR #:
Q.S. #: Q01-24

21
C6.2 of 23

KIVA: 17-287A3 PAPP: 2201538 SDEV: 1700061

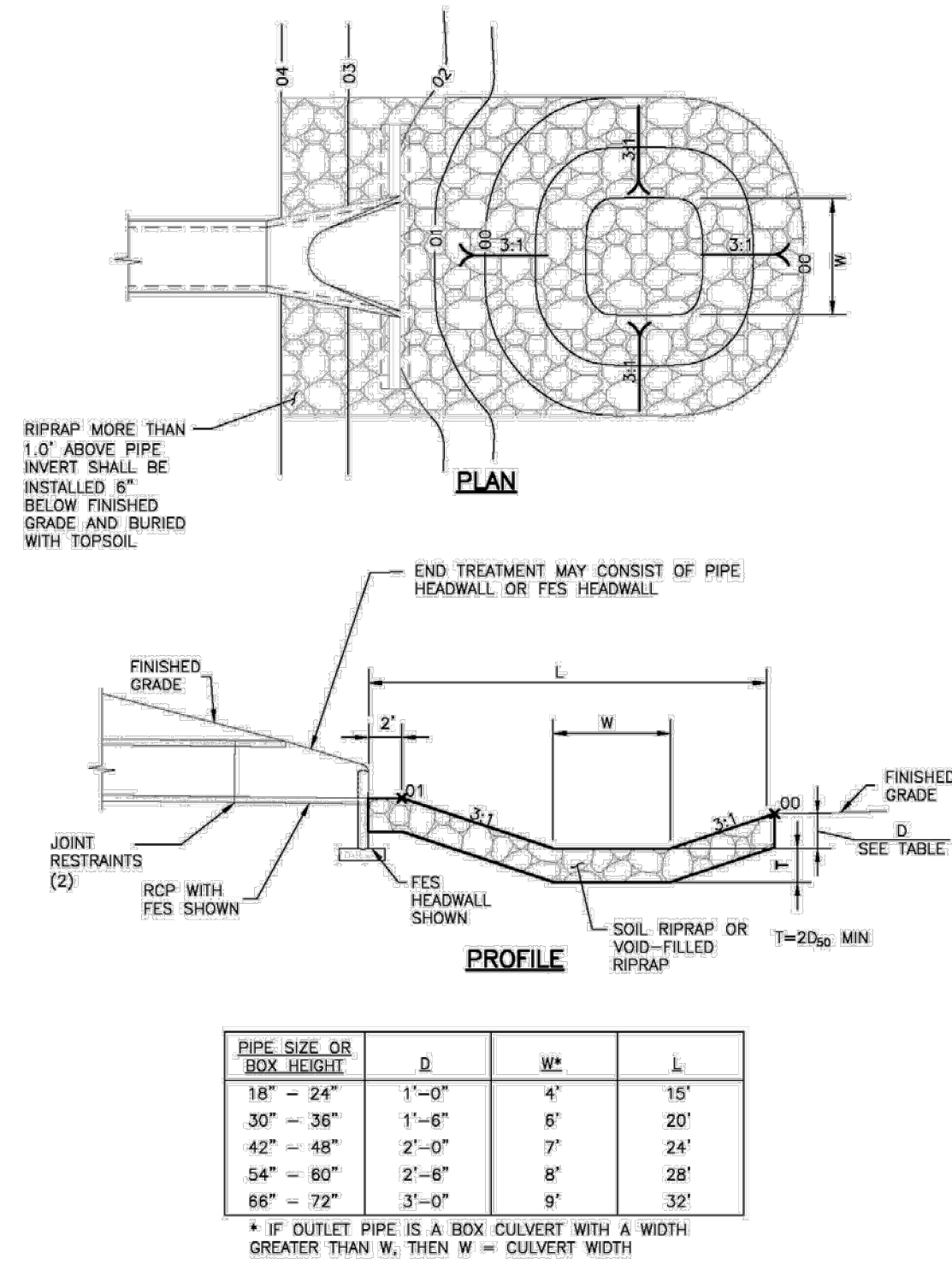


Figure 9-37. Low tailwater riprap basin

9-72

Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 2

September 2017

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ZONING: C-2
REZONING: Z-101-76
ZA CASES: 34419/49820/10017
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22
C6.3 of 23

Z: C-2 KIVA: 17-287A3 PAPP: 2201538 SDEV: 1700061

REV. NO.	DATE	REVISION DESCRIPTION

FINAL IMPROVEMENT PLANS
UTILITY DETAILS
TACO BELL
1919 W. BASELINE RD.
PHOENIX, AZ 85041

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olsson
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Phoenix, AZ 85020
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FAX: 602.748.1001
www.olsosn.com

GH-4 DESIGNATED WASHDOWN AREAS

DEFINITION

Procedures and practices that are designed to minimize or eliminate the discharge of concrete waste materials to the storm drain systems of watercourses.

GENERAL INFORMATION

Applicability - Effectiveness

Inlet Drain Protection - high
Debris Management, Cleanup, and Washout - high

Most effective when used with:

- GH-1: Chemical Management
- GH-3: Equipment Maintenance Procedures
- GH-5: Spill Containment Plan

Alternative BMPs:

None

RATINGS

Associated Costs	H	M	L
Implementation	X		
Maintenance		X	
Training		X	
Target Pollutants Removal H M L			
Oil and Grease	X		
Nutrients			X
Sediment			X
Floatable Material			X
Metals		X	
Other Construction Waste	X		

FIGURES

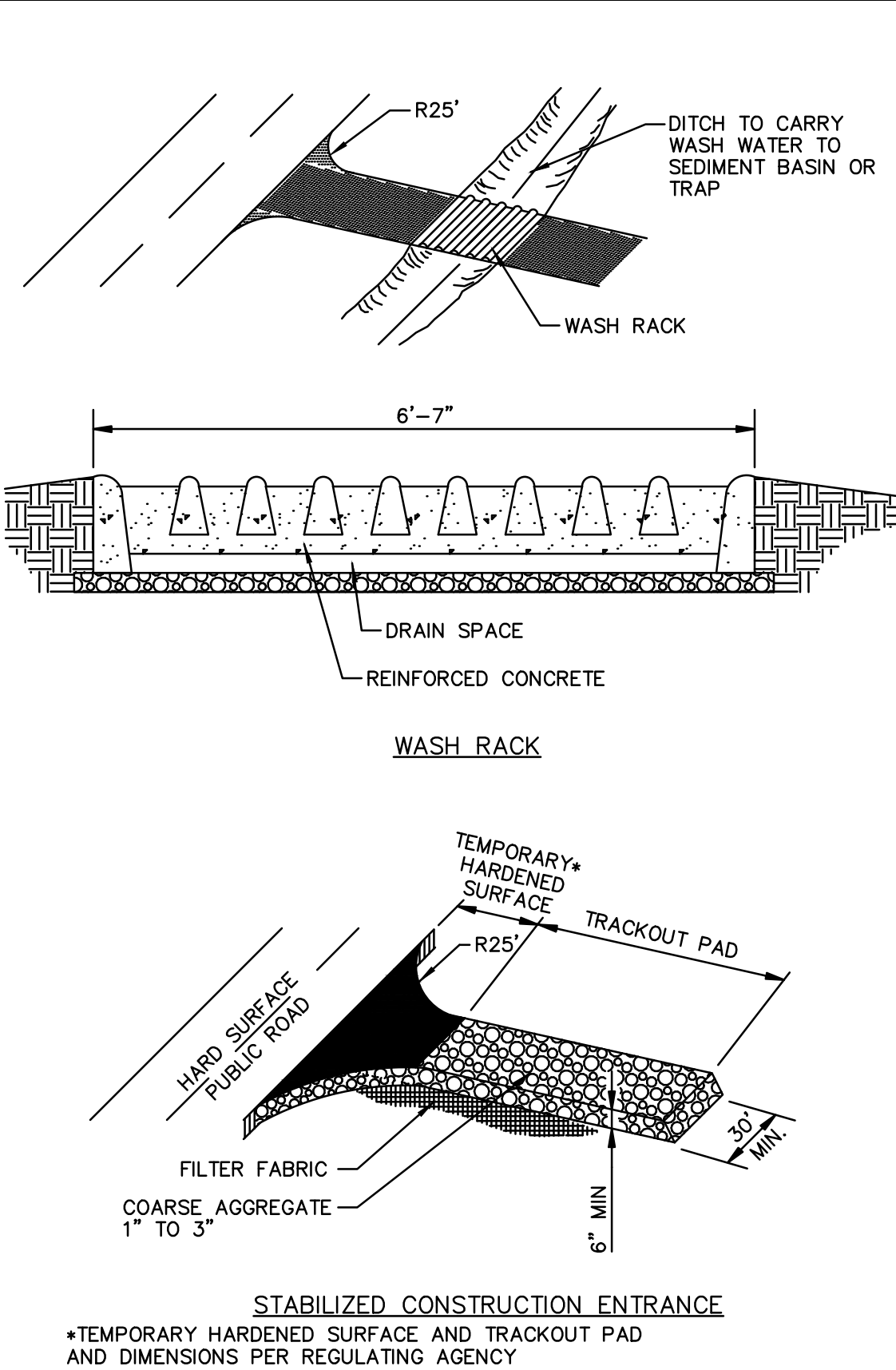
Photos/Sketches

GH-4 Designated Washdown Areas Photos

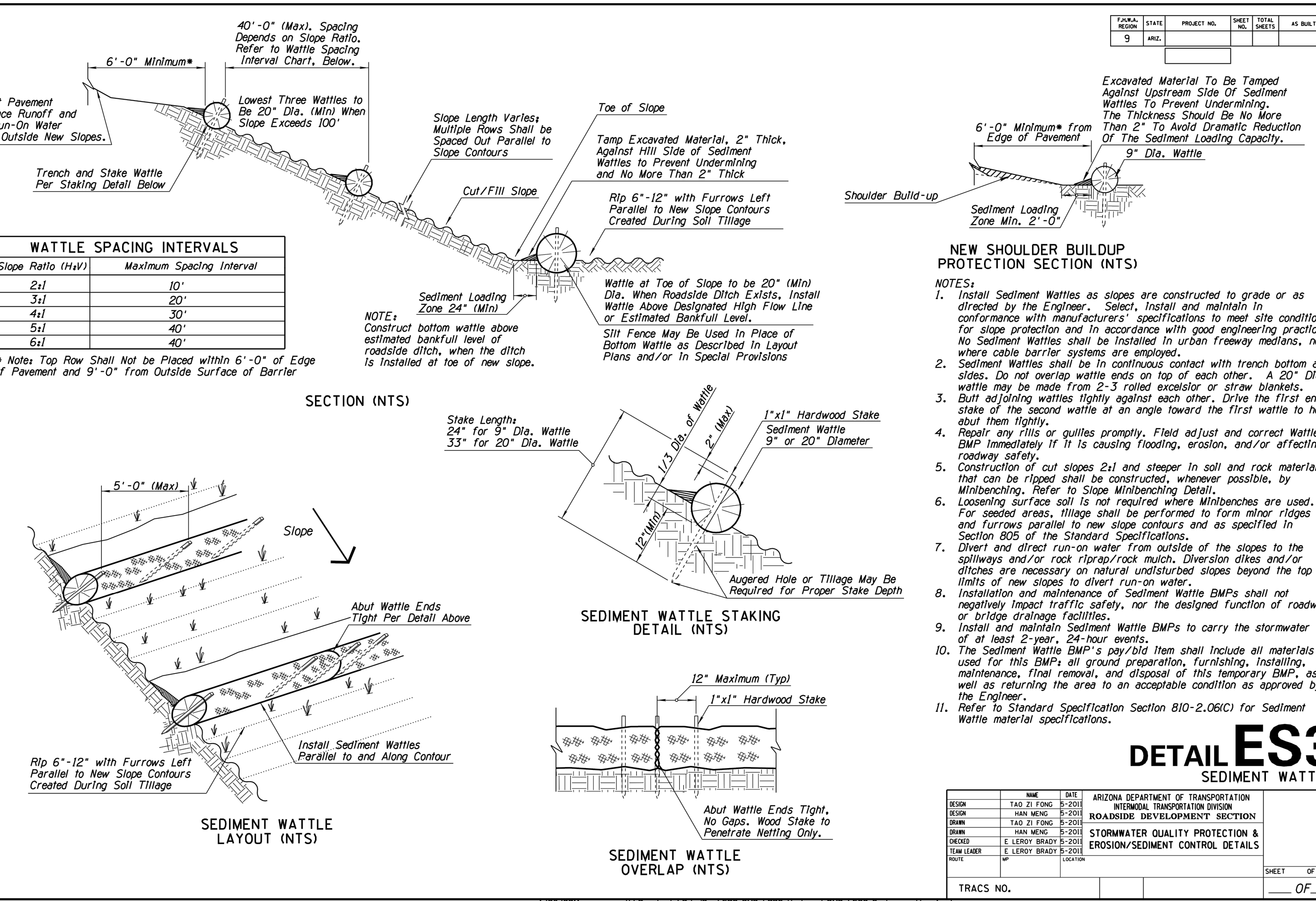
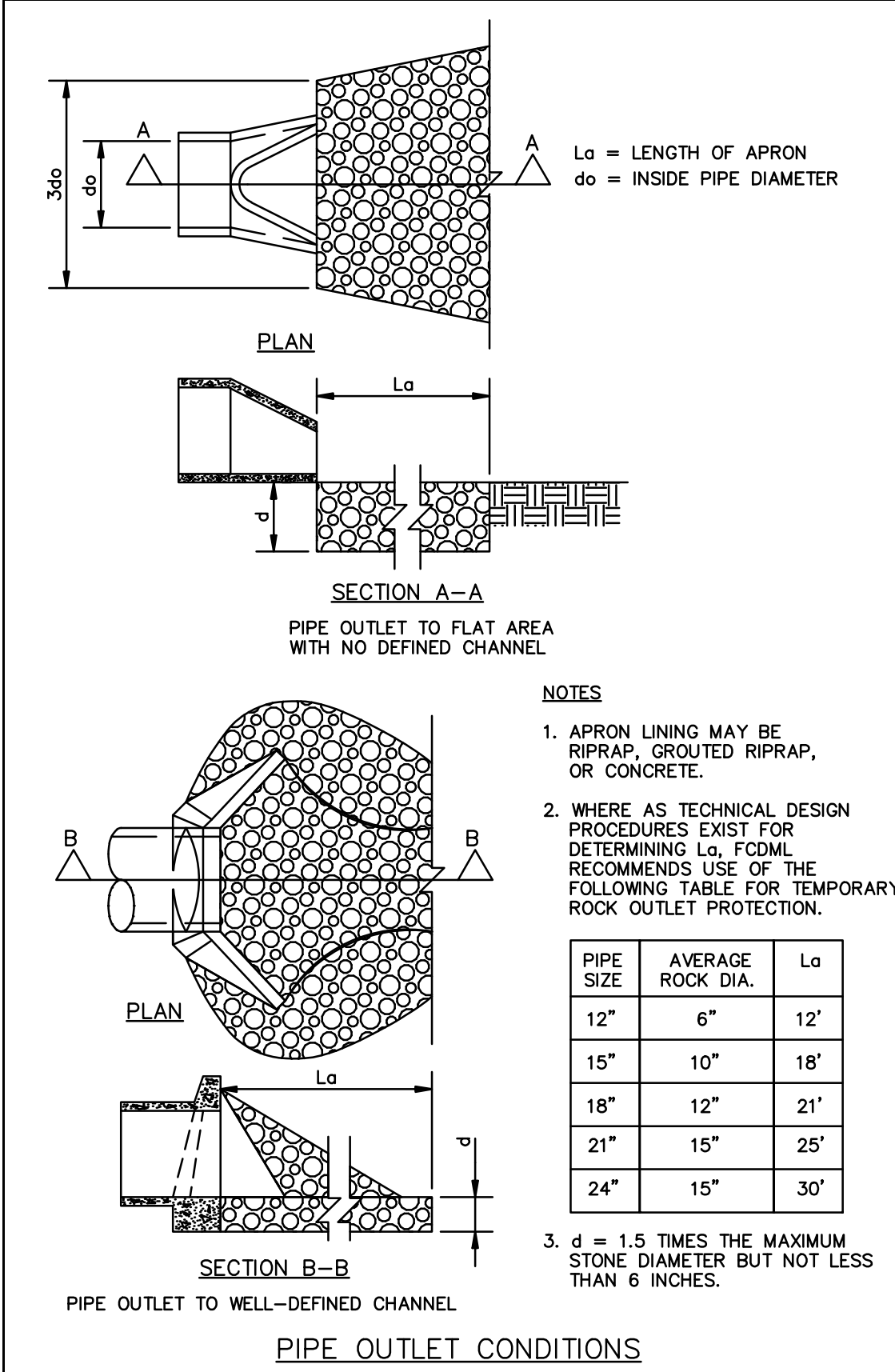
CAD Drawings

None

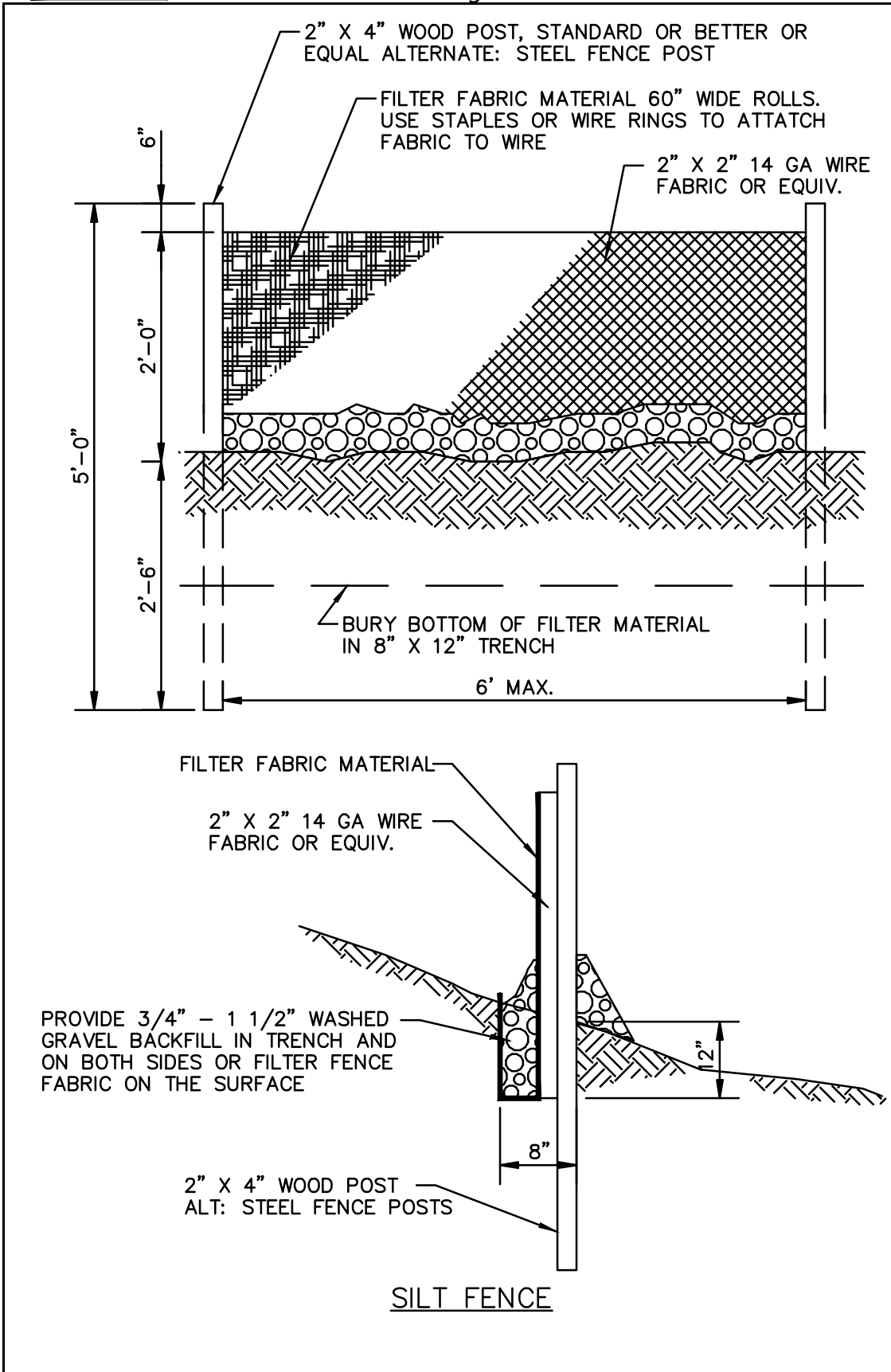
EC-5 Stabilized Construction Entrance Drawing



EC-11 Outlet Protection, Velocity Dissipation Devices Drawing



SPC-5 Silt Fence Drawing



7878 North 16th Street, Suite 105
Phoenix, AZ 85020
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FAX: 602.748.1001

REGISTERED PROFESSIONAL ENGINEER
 73880
 RODNEY L HANSON
 LICENSE NO. 67122
 STATE OF ARIZONA

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REV. NO.	DATE	REVISION DESCRIPTION

FINAL IMPROVEMENT PLANS
 EROSION CONTROL DETAILS
 TACO BELL
 1919 W. BASELINE RD.
 PHOENIX, AZ 85041

REVISIONS
 2022
 SDEVI: 1700061
 PAPP: 2201538
 KIVA: 17-287A3

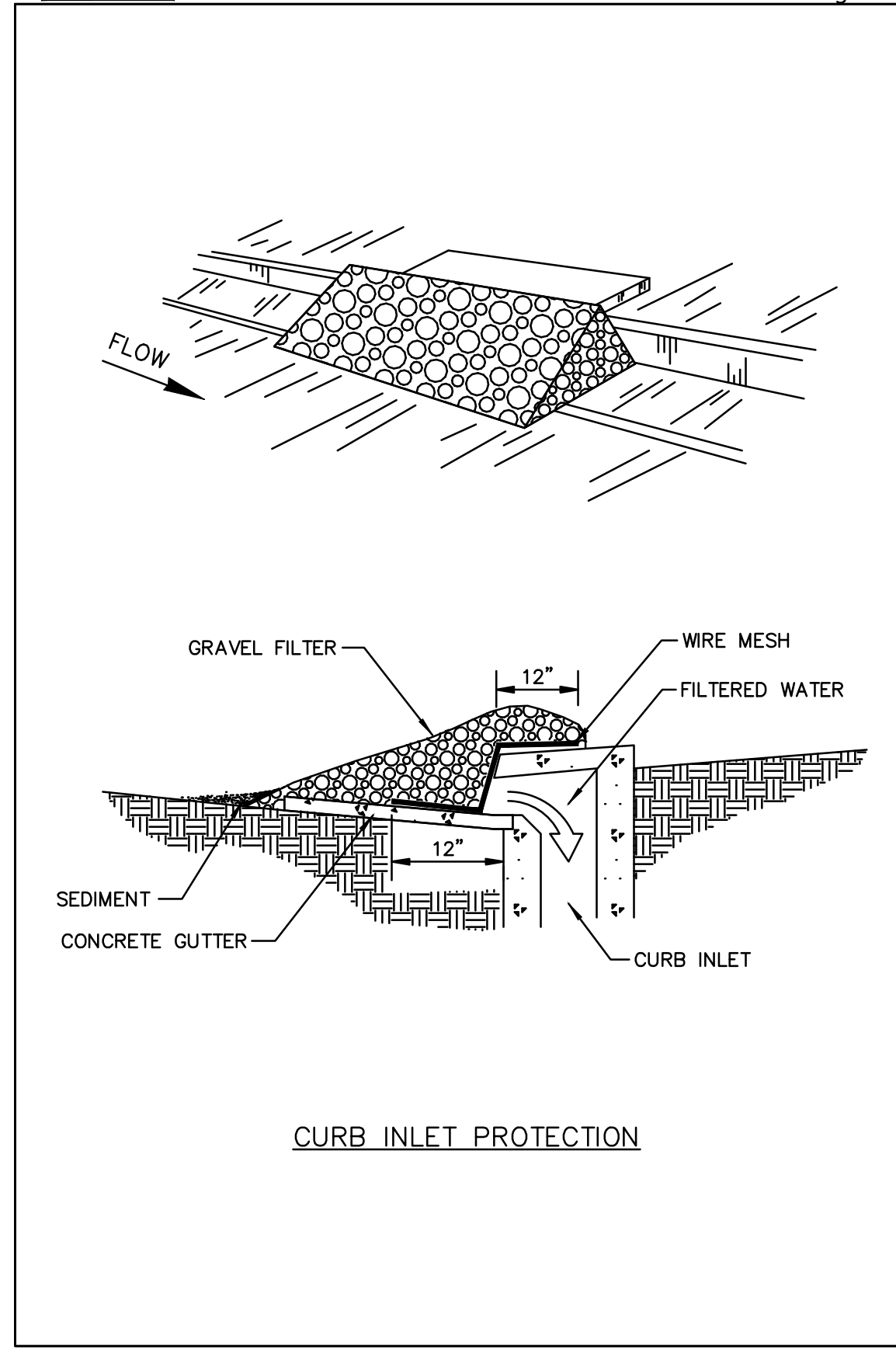
drawn by: _____
 designed by: _____
 checked by: _____
 project no.: _____
 date: 06.07.2022

ZONING: C-2
 REZONING: Z-101-76
 ZA CASES: 34419/49820/10017
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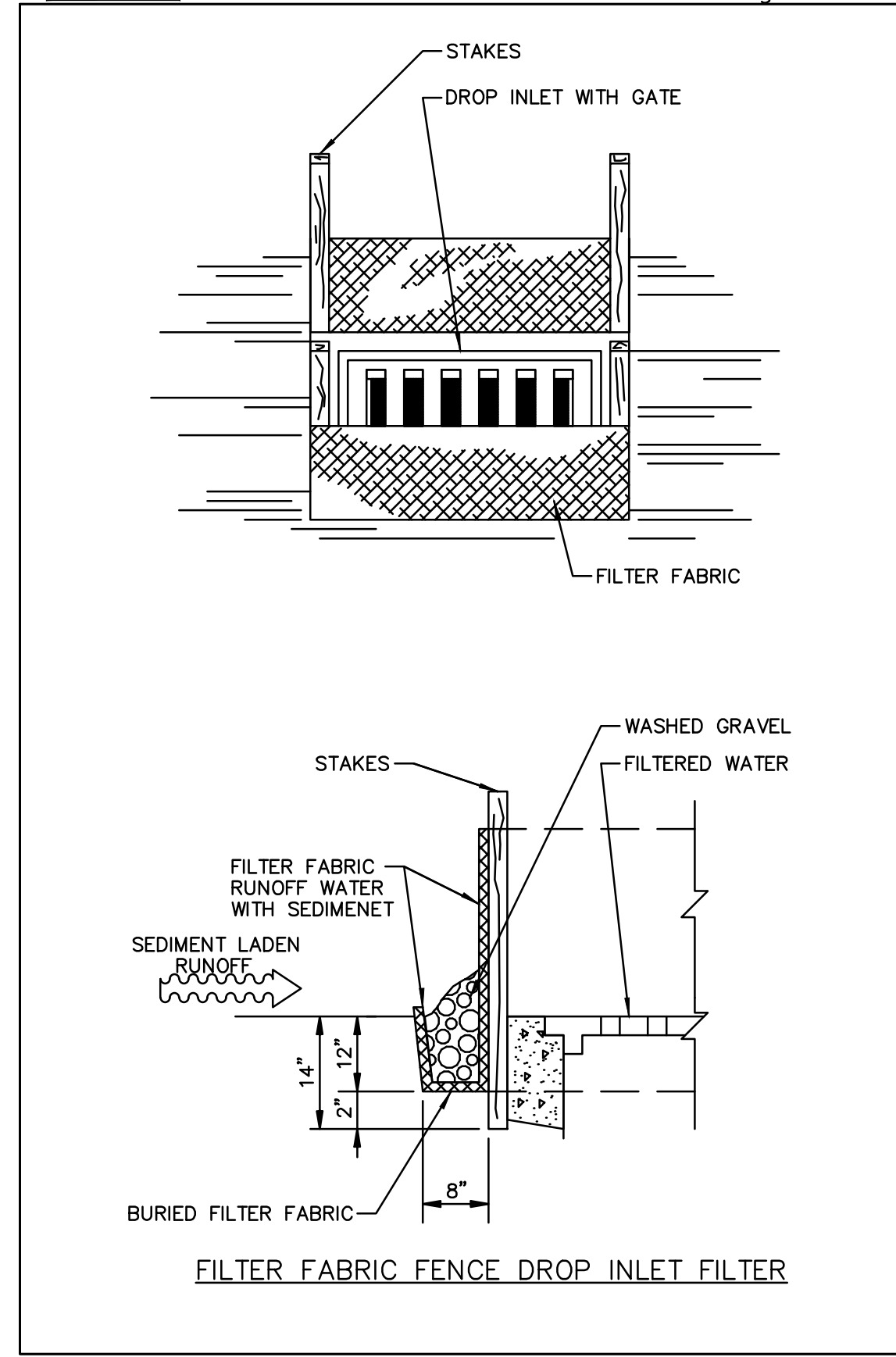
PAPP #: 2201538
 KIVA #: 17-287A3
 SDEV #: 1700061
 CCPR #: _____
 Q.S. #: Q01-24

23
C6.4 of 23

SPC-7 Storm Drain Curb Inlet Protection Drawing



SPC-7 Storm Drain Inlet Protection Drawing



ZONING: C-2
 REZONING: Z-101-76
 ZA CASES: 34419/49820/10017
 LSPL:
 LSIS:

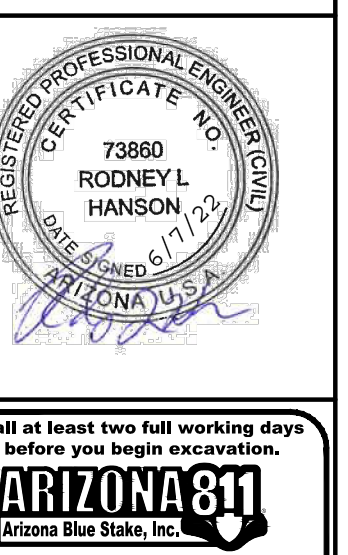
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 checked by: [initials]
 project no.: 021-08522
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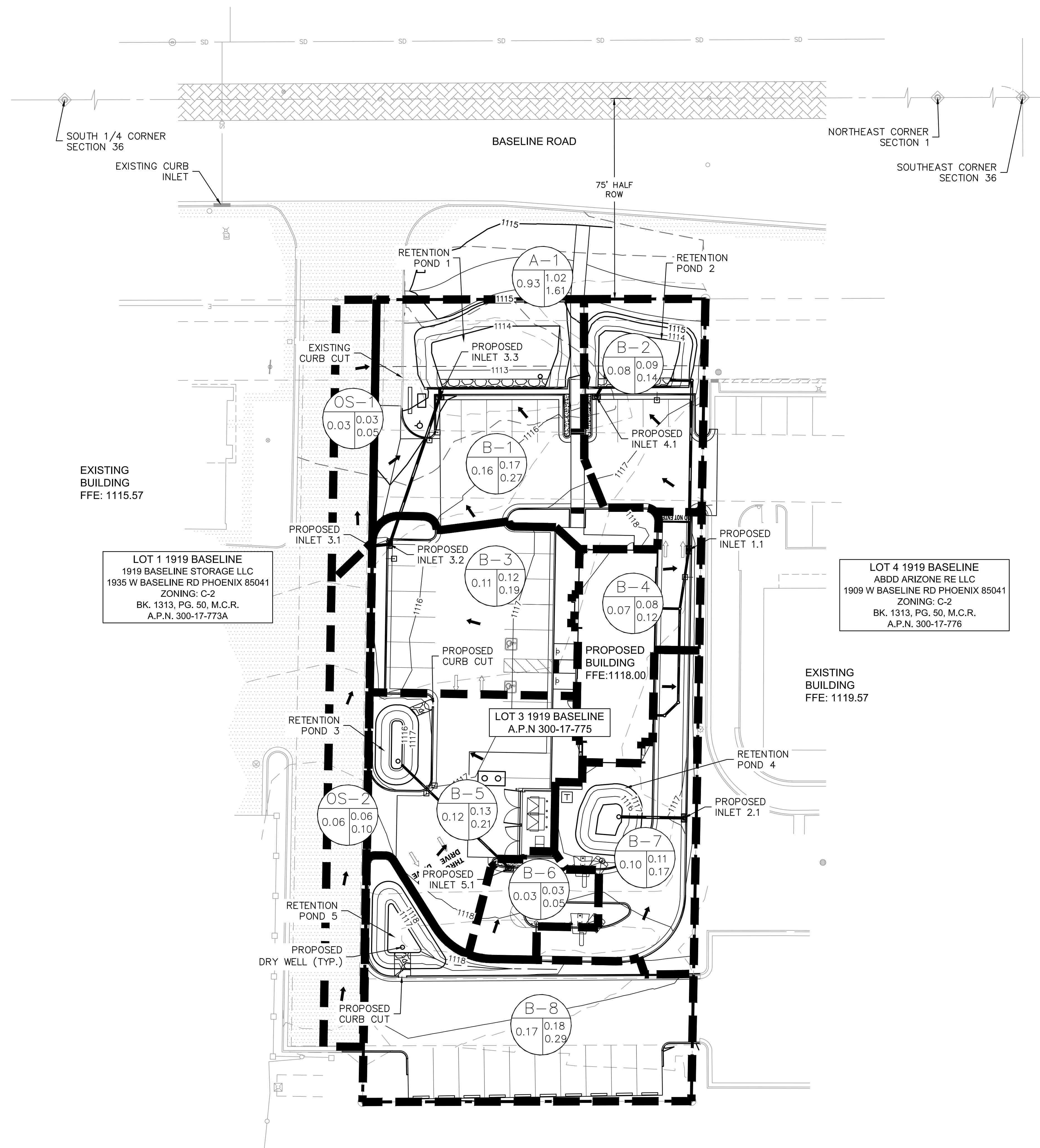
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 In Maricopa County: (602) 253-1100



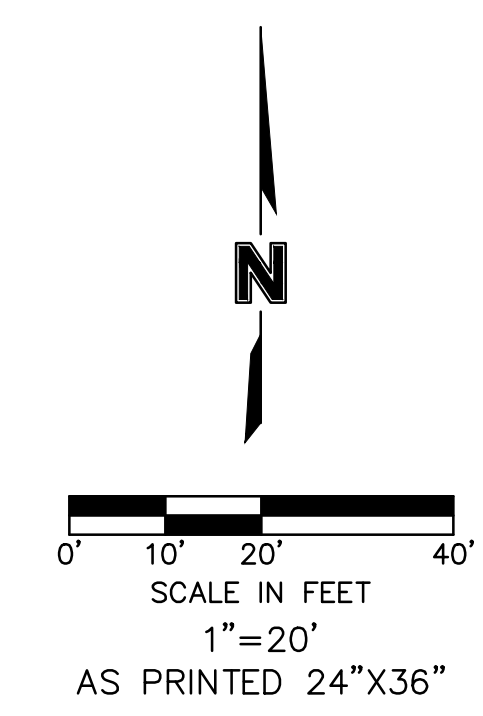
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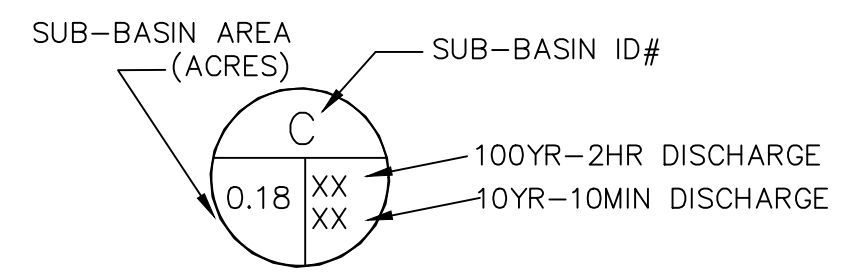
LOT 1 1919 BASELINE
 1919 BASELINE STORAGE LLC
 1935 W BASELINE RD PHOENIX 85041
 ZONING: C-2
 BK. 1313, PG. 50, M.C.R.
 A.P.N. 300-17-773A

LOT 4 1919 BASELINE
 ABDD ARIZONE RE LLC
 1909 W BASELINE RD PHOENIX 85041
 ZONING: C-2
 BK. 1313, PG. 50, M.C.R.
 A.P.N. 300-17-776

LOT 3 1919 BASELINE
 A.P.N 300-17-775



- LEGEND**
- BASIN BOUNDARY
 - PROPERTY LINE
 - PROPOSED CONTOUR LINE
 - EXISTING CONTOUR LINE



RETENTION POND CALCULATIONS
 RETENTION POND REQUIRED
 VOLUME REQUIRED
 $V = C * (P/12) * A$
 WHERE:
 V= VOLUME REQUIRED
 C= CUMULATIVE COEFFICIENT
 C= Cpost-Cpre
 P=100-YR-2HR INTENSITY OF RAINFALL INCHES
 A=AREA IN SQFT
 $V = (0.84 - 0.35) * (2.2/12) * 41,062$
 $V = 3,689$ CF
 RETENTION POND VOLUME PROVIDED=4,737 CF

DA #	AREA	VOLUME	MAX DEPTH
1	1736 SQ. FT.	1667 CU. FT.	3 FEET
2	948 SQ. FT.	1381 CU. FT.	3 FEET
3	411 SQ. FT.	425 CU. FT.	2 FEET
4	542 SQ. FT.	615 CU. FT.	2.5 FEET
5	751 SQ. FT.	649 CU. FT.	2 FEET
		TOTAL VOLUME PROVIDED=4,737 CF	
		TOTAL VOLUME REQUIRED=3,689 CF	

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 FAX: 602.748.1001
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 Phoenix, AZ 85020

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 In Maricopa County: (602) 253-1100

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2022

FINAL IMPROVEMENT PLANS
DRAINAGE BASIN MAP

TACO BELL
1919 W. BASELINE RD.
PHOENIX, AZ 85041

drawn by: _____
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