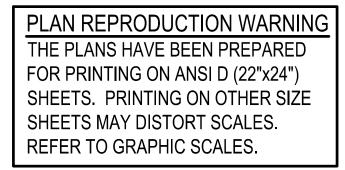
PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF A PROPOSED TACO BELL ON A PREVIOUSLY DEVELOPED LOT. THE EXISTING LOT HAS A BUILDING WITH ASSOCIATED PARKING LOT. EXISTING BUILDING WILL BE DEMOLISHED AND PARKING LOT AROUND THE BUILDING WILL BE SAWCUT AND REMOVED FULL DEPTH. A PROPOSED TACO BELL AND A NEW PARKING LOT AROUND THE NEW BUILDING WILL BE CONSTRUCTED. REMAINDER OF THE EXISTING PARKING LOT WILL BE MILLED AND FILLED. EXISTING UTILITIES WILL BE REUSED AS NEEDED.

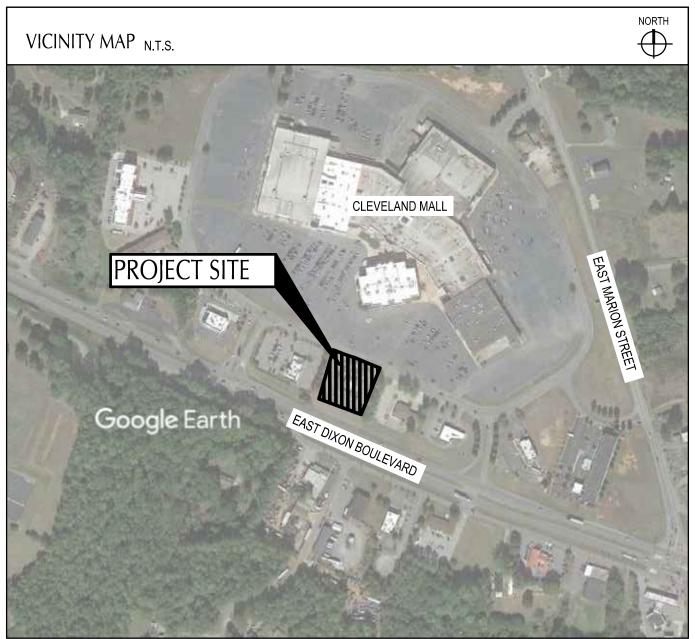
NORTH CAROLINA SPECIFICATION

THE STANDARD SPECIFICATIONS OF THE STATE OF NORTH CAROLINA, DEPARTMENT OF TRANSPORTATION, INCLUDING CHANGES AND SUPPLEMENTAL SPECIFICATIONS LISTED IN THE PROPOSAL SHALL GOVERN THIS IMPROVEMENT.



IMPROVEMENT PLANS TACO BELL

2005 EAST DIXON BOULEVARD SHELBY, NORTH CAROLINA JUNE, 2022



MAP DATA © 2019 GOOGLE EARTH

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OWNER AND DEVELOPER

YUM! BRANDS, INC. 1900 COLONEL SANDERS LANE LOUISVILLE, KY 40213 CONTACT: STEVE PULCHEON PH: (949) 863.3864



GPD Engineering and Architecture Professional Corporation - C3879

520 South Main Street, Suite 2531 Akron, OH 44311 330.572.2100 Fax 330.572.2101

	DATE	REMARKS
1	06.03.22	Issued for Permit
2	07.19.22	City Comments
CON	ITRACT DAT	E: 05.04.22
BUIL	DING TYPE:	END. 80FT
PLA	N VERSION:	MARCH 2021
BRA	ND DESIGNI	ER: DICKSON
SITE	NUMBER:	315647
STO	RE NUMBEF	R: 458047
PA/F	PM:	SM
DRA	WN BY.:	EA
JOB	NO.:	2021088.54

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DRA	WN BY.:	EA

TACO BELL

2005 East Dixon Blvd. Shelby, NC 28152

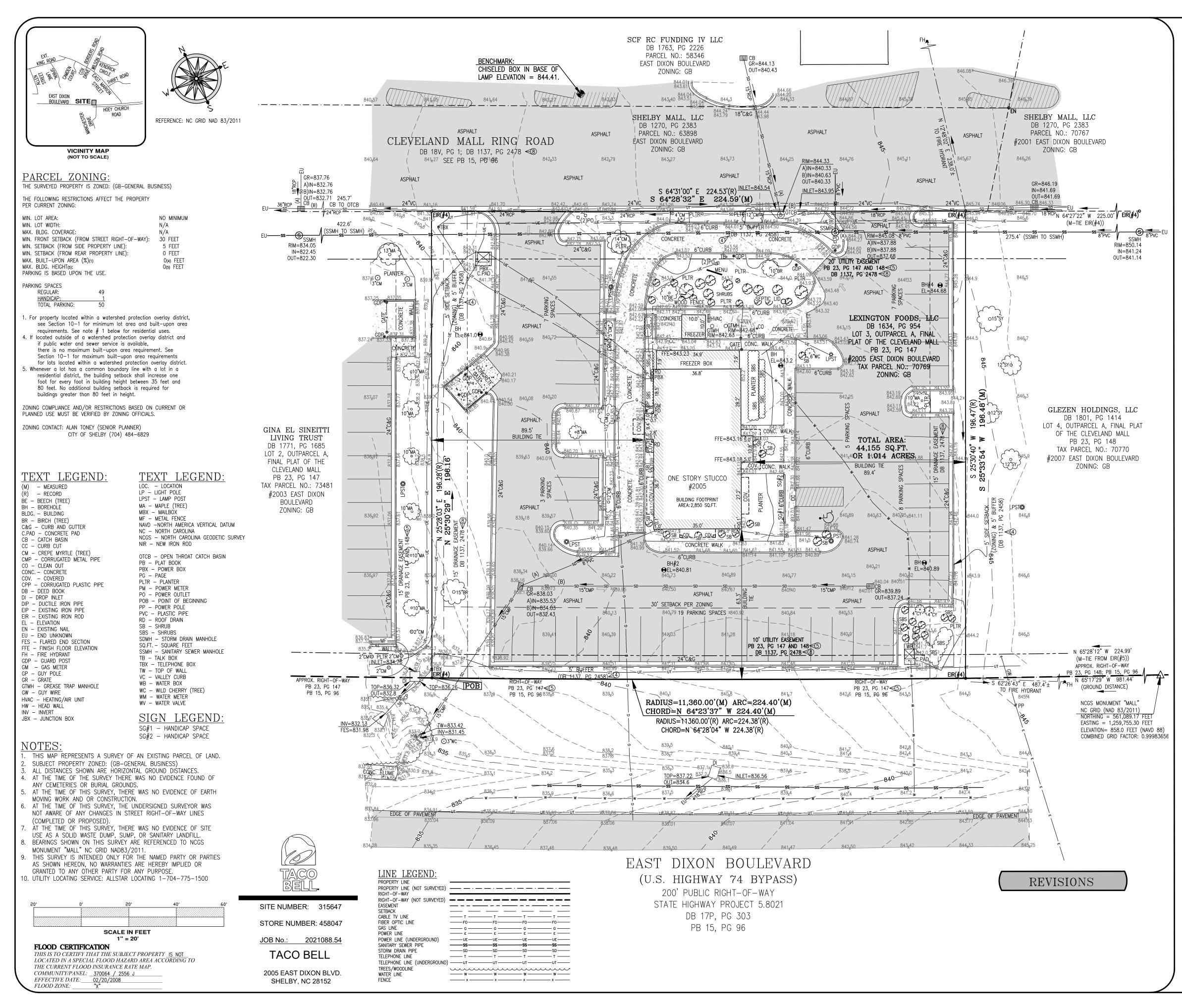
TAC(BEL

ENDEAVOR 2.0

TITLE

SHEET

TS-001



LEGAL DESCRIPTIONS

Taco Bell of America, LLC 2005 East Dixon Boulevard Shelby, Cleveland County, NC

Record Legal Description

Lying and being situate in Cleveland County, North Carolina, and being more particularly described as follows: BEGINNING at an iron pin on the Northern right of way of US Highway 74 Bypass, said point being the common corner of Lots 2 and 3 of Outparcel "A" Cleveland Mall, thence North 25–28–03 East 198.28 feet to an iron pipe on the private right of way of Cleveland Mall Ring Road; thence along said right of way, South 64–31–00 East 224.53 feet to an iron pipe; thence South 25–30–40 West 196.47 feet to an iron pipe on the Northern right of way of US Highway 74 Bypass; thence along and with said right of way which is a simple curve to the right having a radius of 11,380.0 feet to an arc length of 224.38 and a chord bearing and distance of North 84–28–04 West 224.38 feet to the point of BEGINNING, containing 44,161 square feet more or less and being all of Lot 3, Outparcel "A" Cleveland Mall, Cleveland County, North Carolina. TOGETHER WITH A NON-EXCLUSIVE easement for pedestrian and vehicular access contained in Deed recorded in Book 1137, page 2478, Cleveland County Registry.

<u>As-Surveyed Legal Description</u>

That certain tract or parcel of land situated, lying and being in the City of Shelby, Cleveland County, North Carolina, and being more particularly described as follows:

BEGINNING at an existing iron rod on the northerly margin of the right-of-way of East Dixon Boulevard (U.S. Highway 74 Bypass, 200' public right-of-way), said iron being the southeasterly corner of Lot 2, Outparcel A, as shown on the Final Plat of the Cleveland Mall as recorded in Plat Book 23, Page 147 of the Cleveland County Public Registry, and runs thence from said BEGINNING point with the easterly line of Lot 2 North 25'30'29" East a distance of 196.16 feet to an existing iron rod in the southerly line of the Cleveland Mall Ring Road as described in Deed Book 18V, Page 1 of said Registry; thence with the southerly line of the Cleveland Mall Ring Road South 64'28'32" East a distance of 224.59 feet to an existing iron rod at the northwesterly corner of Lot 4, Outparcel A, as shown on the Final Plat of the Cleveland Mall as recorded in Plat Book 23, Page 148 of said Registry; thence with the westerly line of Lot 4 South 25'33'54" West a distance of 196.48 feet to an existing iron rod on the northerly margin of the right-of-way of East Dixon Boulevard, thence with the northerly margin of the right-of-way of East Dixon Boulevard, thence with the northerly margin of the right-of-way of East Dixon Boulevard, thence with the northerly margin of the right-of-way of East Dixon Boulevard with the arc of a circular curve to the right having a radius of 11,360.00 feet for an arc distance of 224.40 feet (chord: North 64'23'37" West 224.40 feet) to the point and place of BEGINNING; containing 44,155 square feet or 1.014 acres, more or less, as shown on a survey prepared by James Mauney & Associates, P.A., dated April 13, 2022, as revised (Map File F-2258), and being all of Lot 3, Outparcel A, as shown on the plat titled "Final Plat of the Cleveland County Mall" as recorded in Plat Book 23, Page 147.

TOGETHER WITH A NON-EXCLUSIVE easement for pedestrian and vehicular access contained in Deed recorded in Deed Book 1137, Page 2478, of the Cleveland County Public Registry.

ALTA/NSPS LAND TITLE SURVEY SURVEY PREPARED FOR: TACO BELL OF AMERICA, LLC SITE ADDRESS: 2005 EAST DIXON BOULEVARD CITY OF SHELBY, CLEVELAND COUNTY, NORTH CAROLINA REFERENCE: DEED BOOK 1634, PAGE 954 LOT 3, OUTPARCEL A, FINAL PLAT OF THE CLEVELAND MALL, PLAT BOOK 23, PAGE 147 AND 148 TAX PARCEL: 70769 CITY OF SHELBY, CLEVELAND COUNTY, NORTH CAROLINA TOTAL AREA SURVEYED: 44,155 SQ.FT. OR 1.014 ACRES TO: TACO BELL OF AMERICA, LLC: AND CHICAGO TITLE INSURANCE COMPANY: THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, 6(a), 6(b), 7(a), 8-10, 11(a), 11(b), 13 and 16-19 OF TABLE "A" THEREOF. THE FIELD WORK WAS COMPLETED OI APRIL 05th, 2022. DATE OF PLAT OR MAP: APRIL 13th, 2022. I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DESCRIPTION RECORDED IN DEED BOOK 1634 PAGE 954). THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION AS SHOWN ON THE FACE OF THE SURVEY; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:10,000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600). SCHEDULE B – SECTION 2 EXCEPTIONS NOTES CORRESPONDING TO SCHEDULE B-PART II EXCEPTIONS CHICAGO TITLE INSURANCE COMPANY COMMITMENT NUMBER: 21-27144GB COMMITMENT DATE: February 14, 2022, Printed March 9, 2022 1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I--Requirements are met. (NOT ADDRESSED ON SURVEY.) Taxes or assessments for the year 2022, and subsequent years, not yet due or payable. (NOT ADDRESSED ON SURVEY.) Any discrepancy, conflict, matters regarding access, shortage in area or boundary lines, encroachment, encumbrance, violation, variation, overlap, setback, easement or claim of easement, riparian right, and title to land within roads, ways, railroads, watercourses, burial grounds, marshes, dredged or filled areas or land below the mean highwater mark or within the bounds of any adjoining body of water, or other adverse circumstance affecting the Title that would be disclosed by a current inspection and accurate and complete land survey of the Land. Upon receipt of a current land survey and surveyor's report, this exception will be eliminated or amended in accordance with the facts shown thereby. (SURVEY MATTERS ARE SHOWN.) Covenants, conditions, restrictions, easements, and liens provided for in that Covenants, Conditions, and Restrictions Agreement filed for record in Book 1137, page 2458, and any related maps, plans, bylaws and other document(s) and amendment(s), but omitting any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law. (IN ADDITION TO OTHER MATTERS WHICH CANNOT BE SPECIFICALLY SHOWN ON THE SURVEY, DEED 1137-2458 RESERVES 5' LANDSCAPED BUFFER STRIPS ALONG ALL PARCEL LINES. THE 5' BUFFERS ARE SHOWN.) Any right, easement, setback, interest, claim, encroachment, encumbrance, violation, variations or other adverse circumstance affecting the Title disclosed by plat(s) recorded in Plat Book 23, Page 147 and Plat Book 23, Page 148. (LOCATABLE MATTERS SHOWN ON PLAT 23, PAGES 147 & 148 ARE SHOWN.) Easement(s) to Southern Bell Telephone and Telegraph Company recorded in Book 4-I, page 213. (DEED BOOK 4-I, PAGE 213, AS PROVIDED BY THE TITLE COMPANY, DOES NOT CONTAIN AN EASEMENT TO SOUTHERN BELL AND IS NOT ADDRESSED ON THE SURVEY.) 7. Easement(s) to Duke Power Company recorded in Book 4-R, page 153; Book 4-R, page 154; Book 4-R, page 190; Book 4-R, page 200; Book 4-R, page 225; Book 5-B, page 215; Book 5-B, page 365; Book 5-W, page 77; Book 5-W, page 421; Book 6-E, page 23; Book 6-E, page 401; Book 6-Q, page 166; and Book 6-Q, page 492. (EASEMENTS TO DUKE ENERGY RECORDED IN BOOK 4-R, PAGE 153; BOOK 4-R, PAGE 154; BOOK 4-R, PAGE 190; BOOK 4-R, PAGE 200; BOOK 4-R, PAGE 225; BOOK 5-B, PAGE 215; BOOK 5-B, PAGE 365; BOOK 5-W, PAGE 77; BOOK 5-W, PAGE 421; BOOK 6-E, PAGE 23; BOOK 6-E, PAGE 401; BOOK 6-Q, PAGE 166; AND BOOK 6-Q, PAGE 492 ARE GENERAL IN NATURE AND CANNOT BE SPECIFICALLY LOCATED.) Easements set forth in or reserved by that Deed recorded in Book 1137, page 2478; rights of others in and to the use of said easements contained therein. (LOCATABLE MATTERS DESCRIBED IN DEED 1137-2478 ARE SHOWN.) 9. Access by way of U.S. Highway 74, a dedicated public street or highway, is not insured. (THERE IS NO DIRECT ACCESS FROM THE SITE TO U.S. HIGHWAY 74) 10. Terms and provisions of the lease by and between Lexington Foods LLC and Taco Bell of America, LLC, a memorandum of which is recorded in Book _____, page _____. (NOT ADDRESSED ON SURVEY - NO RECORDED LEASE DOCUMENT PROVIDED.) ESSI. JAMES MAUNEY & ASSOCIATES, P.A. SEAL PROFESSIONAL LAND SURVEYORS L-3665 423 BEATTY DRIVE, SUITE E, BELMONT, NC 28012 TEL: (704) 829-9623 SURV LICENSE NO. C-237

SCALE

1"=20'

DATE

04/13/2022

JOB

8481

F-2258

DEMOLITION NOTES

- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO ANY DEMOLITION PROCESS. CERTAIN 1. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACTIVITIES ASSOCIATED WITH CONSTRUCTION WILL REQUIRE AIR PERMITS INCLUDING BUT NOT LIMITED TO: MOBILE CONCRETE BATCH PLANTS, MOBILE ASPHALT PLANTS, CONCRETE CRUSHERS, LARGE GENERATORS, ETC. THESE ACTIVITIES WILL REQUIRE SPECIFIC CURRENT STATE'S EPA OR LOCAL GOVERNING AUTHORITIES AIR PERMITS FOR INSTALLATION AND OPERATION. CONTRACTORS MUST SEEK AUTHORIZATION FROM THE CORRESPONDING GOVERNING BODIES. FOR DEMOLITION OF ALL COMMERCIAL SITES, A NOTIFICATION FOR RESTORATION AND DEMOLITION MUST BE SUBMITTED TO THE CURRENT STATE'S EPA AND LOCAL GOVERNING AUTHORITIES TO DETERMINE ANY CORRECTIVE ACTIONS THAT MAY BE REQUIRED.
- . DEMOLITION INCLUDES THE FOLLOWING:
- 2.A. TRANSFER BENCHMARK CONTROL TO NEW LOCATIONS OUTSIDE THE DISTURBED AREA PRIOR TO COMMENCING DEMOLITION OPERATIONS (WHEN APPLICABLE).
- 2.B. DEMOLITION AND REMOVAL OF SITE IMPROVEMENTS NECESSARY FOR THE PROPOSED CONSTRUCTION OF NEW IMPROVEMENTS.
- 2.C. REROUTING, RELOCATING, DISCONNECTING, CAPPING OR SEALING, AND ABANDONING/REMOVING SITE UTILITIES IN PLACE (WHICHEVER IS APPLICABLE).
- REMOVE AND LEGALLY DISPOSE OF ITEMS CALLED OUT TO BE REMOVED. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS. THOSE ITEMS INDICATED TO BE REINSTALLED, SALVAGED, OR TO REMAIN SHALL BE CLEANED, SERVICED, AND OTHERWISE PREPARED FOR REUSE. CONTRACTOR TO STORE AND PROTECT AGAINST DAMAGE. REINSTALL ITEMS IN LOCATIONS INDICATED.
- PROTECT ITEMS INDICATED TO REMAIN AGAINST DAMAGE AND SOILING THROUGHOUT CONSTRUCTION. WHEN PERMITTED BY THE CONSTRUCTION MANAGER OR OWNER, ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION THROUGHOUT CONSTRUCTION AND THEN CLEANED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS. PROMPTLY REPAIR DAMAGES TO ADJACENT FACILITIES CAUSED BY DEMOLITION OPERATIONS AT THE CONTRACTORS COST.
- CONTRACTOR SHALL SCHEDULE DEMOLITION ACTIVITIES WITH THE CONSTRUCTION/PROJECT
- MANAGER INCLUDING THE FOLLOWING: 5.A. DETAILED SEQUENCE OF DEMOLITION AND REMOVAL WORK, WITH STARTING AND ENDING DATES FOR EACH ACTIVITY
- 5.B. DATES FOR SHUTOFF, CAPPING, AND CONTINUATION OF UTILITY SERVICES. 5.C. IDENTIFY AND ACCURATELY LOCATE UTILITIES AND OTHER SUBSURFACE STRUCTURAL, ELECTRICAL, OR MECHANICAL CONDITIONS.
- REGULATORY REQUIREMENTS: COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION
- MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST
- DAMAGE THROUGHOUT CONSTRUCTION OPERATIONS. 7.A. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR OPERATING FACILITIES. EXCEPT WHEN AUTHORIZED IN WRITING BY OWNER'S REPRESENTATIVE AND AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO OWNER AND TO GOVERNING AUTHORITIES.
- LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES SERVING THE SITE. ARRANGE TO SHUT OFF AND CAP UTILITIES WITH UTILITY COMPANIES AND FOLLOW THEIR RESPECTIVE UTILITY KILL AND CAP POLICIES. DO NOT START DEMOLITION WORK UNTIL UTILITY DISCONNECTING AND SEALING HAVE BEEN COMPLETED AND VERIFIED IN WRITING BY THE UTILITY COMPANY
- CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION AREA. SAFE PASSAGE INCLUDES THE ERECTION OF TEMPORARY PROTECTION AND/OR BARRICADES AS PER LOCAL GOVERNING AUTHORITIES AND IN ACCORDANCE WITH THE CURRENT ADA REGULATIONS. USE OF EXPLOSIVES WILL NOT BE PERMITTED.
- 10. CLEAN ADJACENT BUILDINGS AND IMPROVEMENT OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF DEMOLITION.
- 1. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON-SITE WILL NOT BE PERMITTED. NO BURNING OF ANY MATERIALS ON SITE SHALL BE PERMITTED.
- 12. IT IS NOT EXPECTED THAT ASBESTOS WILL BE ENCOUNTERED IN THE COURSE OF THIS CONTRACT. IF ANY MATERIALS SUSPECTED OF CONTAINING ASBESTOS ARE ENCOUNTERED, DO NOT DISTURB THE MATERIALS. IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER AND THE OWNER.
- 13. SURVEY THE CONDITION OF THE STRUCTURE TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES THROUGHOUT CONSTRUCTION.
- 14. DEMOLISH BUILDING AND STRUCTURAL PADS COMPLETELY AND REMOVE FROM THE SITE. USE METHODS REQUIRED TO COMPLETE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS AND AS FOLLOWS
- 14.A. DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY.
- 14.B. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS. 14.C. BREAK UP AND REMOVE CONCRETE SLABS ON GRADE.
- 15. BELOW-GRADE DEMOLITION: DEMOLISH FOUNDATION WALLS. PAVEMENTS, AND OTHER BELOW-GRADE DEMOLITION, AS FOLLOWS:
- 15.A. COMPLETELY REMOVE BELOW-GRADE DEMOLITION, INCLUDING FOUNDATION WALLS FOOTINGS, ALTA SURVEY. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO BECOME FAMILIAR KNOWN AND UNKNOWN PAVEMENT SECTIONS INCLUDING UNDERLYING CONCRETE SLABS, AND OTHER BELOW GRADE CONCRETE SLABS FOUND DURING DEMOLITION (INCLUDING ITEMS WHICH MAY NOT BE IDENTIFIED HEREIN).
- 16. FILLING BELOW-GRADE AREAS: COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF BUILDINGS. PAVEMENTS, AND OTHER REMOVED ITEMS WITH SOIL MATERIALS ACCORDING TO REQUIREMENTS PER SOILS REPORT AND ON-SITE GEOTECHNICAL ENGINEER'S REPRESENTATIVE. CONTRACTOR SHALL CONTACT GEOTECHNICAL ENGINEER PRIOR TO FILLING ANY AREAS TO OBSERVE FILL PROCEDURES.
- . CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS. STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.
- 18. CONTRACTOR TO WET SAWCUT EXISTING PAVEMENT TO REMAIN AT NEXT NEAREST JOINT PRIOR TO REMOVALS OF CURB, GUTTER, PAVEMENT, ETC.
- 19. THE CONTRACTOR SHALL REMOVE EXISTING PAVEMENT MARKINGS WITH SMALL HANDHELD GRINDERS OR SCARIFIERS OR OTHER METHODS, WITH THE APPROVAL OF THE CONSTRUCTION MANAGER. TAKE CARE DURING MARKING REMOVAL NOT TO SCAR, DISCOLOR, OR OTHERWISE DAMAGE THE PAVEMENT SURFACE. DO NOT OVERPAINT OR USE OTHER METHODS OF COVERING MARKINGS INSTEAD OF REMOVAL.
- 20. WHEN NOTED AND ALLOWED BY THE OWNER, THE CONTRACTOR MAY RE-USE EXISTING WHEELSTOPS FOR THE PROPOSED SITE. CONTRACTOR AND CONSTRUCTION MANAGER SHALL COORDINATE WHICH EXISTING WHEELSTOPS MAY BE RE-USED PRIOR TO DEMOLITION. CONTRACTOR SHALL ENSURE THAT ALL RE-USED WHEELSTOPS ARE PROTECTED DURING CONSTRUCTION.
- 21. IF UNDERGROUND TANKAGE IS CALLED FOR DEMOLITION, THE CONTRACTOR SHALL COORDINATE REMOVAL AND REPLACEMENT WITH THE STATE BUREAU OF UNDERGROUND STORAGE TANK REGULATIONS (BUSTR). UNDERGROUND TANK REMOVAL SHALL ALSO INCLUDE THE REMOVAL OF ANY MONITORING WELLS, OIL/GAS WELLS, AND MINE SHAFTS, IN ACCORDANCE WITH GOVERNING AUTHORITIES HAVING JURISDICTION.
- 22. CONTRACTOR SHALL FULLY SECURE WORK AREA WITH THE APPROPRIATE SIGNAGE, FENCING, AND BARRICADES WHICH ACCOMMODATE VISUALLY IMPAIRED PERSONS AS AGREED UPON WITH SITE CONSTRUCTION/PROJECT MANAGER AND OWNER TO WARN AND KEEP PEOPLE OUT OF THE SITE WORK AREA FOR THE DURATION OF THE PROJECT.

GENERAL PLAN AND SURVEY NOTES

- 1. A GEOTECHNICAL REPORT HAS BEEN PREPARED BY PSI, DATED 04.13.2022 AND SHALL BE 1. ALL EXTERIOR SITE SPECIFIC PORTLAND CEMENT CONCRETE (PCC) (I.E. SIDEWALK, PAVEMENT OR CONSIDERED TO BE A PART OF THIS PLAN SET. MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CURBING) SHALL MEET THE MINIMUM REQUIREMENTS OF THE LATEST EDITIONS OF THE STATE CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND DEPARTMENT OF TRANSPORTATION (DOT) AND THE AMERICAN CONCRETE INSTITUTE (ACI) THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE 2. BEFORE STARTING GRADING OPERATIONS, SEE STORMWATER POLLUTION PREVENTION PLAN, SPECIFICATIONS USING THE RESPECTIVE ASTM STANDARDS FOR MATERIALS USED, MIXING, PERMITTING AUTHORITIES. NOTES AND DETAILS (SWPP), LANDSCAPE PLAN AND SOILS REPORT FOR TREATMENT OF TRANSPORTATION, FORMING, PLACEMENT, CURING, AND SEALING. THE MINIMUM STRENGTH FOR EXISTING GRADE. NORMAL WEIGHT CONCRETE IS 4000 PSI AT 28 DAY STRENGTH. CONTRACTOR SHALL REFER TO 2. THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE SECTION OF THESE NOTES ENTITLED DETAILS, NOTES, AND SPECIFICATIONS WITHIN THE CONSTRUCTION DOCUMENTS FOR VARIATIONS PRIOR TO SITE CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL INSTALL ALL SWPP "GRADING PLAN NOTES" FOR DEFINITIONS AS MAY BE NECESSARY FOR "GEOTECHNICAL TO THIS SPECIFICATION. MIX DESIGN SHOP DRAWINGS SHALL BE TAILORED TO THE ACTUAL FIELD MEASURES TO PROTECT EXISTING DRAINAGE FACILITIES. CONTRACTOR SHALL PREVENT ENGINEER" AND "SOILS REPORT PLACEMENT CONDITIONS AND BE SUBMITTED TO THE CONSTRUCTION/PROJECT MANAGER IN SILTATION FROM LEAVING THE SITE AT ALL TIMES. ACCORDANCE WITH THE PROJECT REQUIREMENTS.
- 3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION/PROJECT MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT AND PLANS, ETC.
- 4. THE CONTRACTOR SHALL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT PHYSICAL CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL EXPLORATION WORK, PROMPTLY NOTIFY THE OWNER VERBALLY TO PERMIT VERIFICATION OF THE CONDITIONS AND IN WRITING, AS TO THE NATURE OF THE DIFFERING CONDITIONS. NO CLAIM BY THE CONTRACTOR FOR ANY CONDITIONS DIFFERING FROM THOSE ANTICIPATED IN THE PLAN AND SPECIFICATIONS AND DISCLOSED BY THE SOIL STUDIES WILL BE ALLOWED UNLESS THE CONTRACTOR HAS SO NOTIFIED THE OWNER, VERBALLY AND IN WRITING AS REQUIRED ABOVE, OF SUCH DIFFERING CONDITIONS.
- 5. ALL WORK WITHIN THE RIGHTS OF WAY SHALL BE IN ACCORDANCE WITH THE GOVERNING JURISDICTION AND SPECIFICATIONS.
- 6. CONTRACTOR SHALL COORDINATE ANY MAINTENANCE OF TRAFFIC WITH THE OWNER'S REPRESENTATIVE AND THE LOCAL JURISDICTION PRIOR TO CONSTRUCTION.
- 7. CONTRACTOR SHALL AT ALL TIMES ENSURE THAT SWPP MEASURES PROTECTING EXISTING DRAINAGE FACILITIES BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY PHASE OF THE SITE CONSTRUCTION OR LAND ALTERATION. (SEE SWPP PLANS).
- ALL WORK SHALL BE COMPLETED IN A NEAT AND ORDERLY MANNER REMOVING ALL EXCESS MATERIAL AND WASTE FROM THE SITE INCLUDING TIMELY REMOVAL OF ANY CONCRETE SPLATTER. UPON COMPLETION OF PROJECT, CONTRACTOR SHALL CLEAN THE PAVED AREAS PRIOR TO REMOVAL OF TEMPORARY SEDIMENT CONTROLS, AS DIRECTED BY THE CITY AND/OR CONSTRUCTION/PROJECT MANAGER. IF POWER WASHING IS USED, NO SEDIMENT LADEN WATER SHALL BE WASHED INTO THE STORM SYSTEM. ALL SEDIMENT LADEN MATERIAL ON PAVEMENT OR WITHIN THE STORM SYSTEM SHALL BE COLLECTED AND REMOVED FROM THE SITE AT CONTRACTOR'S EXPENSE (SEE SWPP PLANS).
- 9. THESE PROJECT CONSTRUCTION DOCUMENTS SHALL NOT CONSTITUTE A CONTRACTUAL RELATIONSHIP BETWEEN GPD ENGINEERING AND ARCHITECTURE PROFESSIONAL CORPORATION - C3879 AND THE CONTRACTOR / SUBCONTRACTOR / OR OTHER AFFILIATED PARTIES.
- 10. THE ENGINEER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION OR SAFETY, MEANS METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES UTILIZED IN CONSTRUCTION BY THE CONTRACTOR OR SUBCONTRACTORS. ANY SEQUENCING OR SUGGESTED NOTATIONS WHICH MAY APPEAR IN THE PLANS IS INTENDED TO ASSIST IN THE UNDERSTANDING OF PROJECT INTENT.
- 11. DETAILS, NOTES, AND OTHER REFERENCES CONTAIN HEREIN MAY HAVE BEEN ATTAINED FROM OUTSIDE REFERENCE SOURCE LOCATIONS SUCH AS, BUT NOT LIMITED TO, LOCAL AUTHORITY AGENCIES, DESIGN REFERENCE MANUALS, MANUFACTURE'S RECOMMENDED DOCUMENTATION, OR OTHER INDUSTRY SOURCES. GPD DOES NOT WARRANT INFORMATION OR REPRESENTATION OF SAID CONTENT CONTAINED HEREIN. IT IS SHOWN SOLELY FOR REFERENCE ONLY OF DESIGN INTENT AT THE TIME OF PLAN PREPARATION. THE CONSTRUCTION TEAM MEMBERS (CONTRACTOR AND CONSTRUCTION MANAGER, WHERE APPLICABLE) SHALL OBTAIN THE MOST CURRENT DETAILED INFORMATION FROM THE RESPECTIVE SOURCE TO CONSTRUCT THE IMPROVEMENTS UNDER THE AUTHORITY OF THE RESPECTIVE GOVERNING AGENCIES. IF ANY DISCREPANCIES ARE DISCOVERED BETWEEN THE ORIGINAL DESIGN INTENT AND THE CONSTRUCTION TEAM OBTAINED REFERENCE MATERIAL, THE CONSTRUCTION MANAGER OR THE PROJECT'S CONTACT PERSON SHALL BE NOTIFIED PRIOR TO COMMENCING OF ASSOCIATED WORK
- (VEHICOLAR TRAFFIC FAVENIENT) 12. CONDUCT CONSTRUCTION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES 7. ALL SYNTHETIC FIBERS SHALL BE TYPE III PER ASTM C1116 AND ASTM D7508, MACRO FIBERS WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE SHALL BE 1.5 TO 2.25 INCHES IN LENGTH. ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS.
- 13. THE A.L.T.A. SURVEY BY JAMES MAUNEY & ASSOCIATES, DATED 04.13.2022 SHALL BE CONSIDERED A PART OF THESE PLANS. THE G.C. IS RESPONSIBLE FOR LOCATING IMPROVEMENTS PER THESE PLANS.
- 9. CONCRETE SHALL ARRIVE AT JOB SITE WITH APPROPRIATE W/C RATIO. NO WATER SHALL BE 14. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THE PLANS ARE BASED ON THIS ADDED TO CONCRETE ON SITE WHICH EXCEEDS THE MAXIMUM ALLOWED W/C RATIO AS INDICATED BY THE WRITTEN BATCH PLANT TICKET FROM THE SUPPLIER. SUPERPLASTICIZER AND/OR OTHER WITH THE SITE'S POSSIBLE BELOW GRADE FEATURES, INCLUDING BUT NOT LIMITED TO, ADMIXTURES MAY BE UTILIZED TO ACHIEVE DESIRED WORKABILITY OR TO ACCOUNT FOR ROOMS, VAULTS, UTILITIES, ETC. AND SHALL CONDUCT A WALK THROUGH WITH THE ADVERSE PLACEMENT CONDITIONS. ADMIXTURES SHALL BE UTILIZED ONLY IN ACCORDANCE WITH FOR THE PERTINENT ITEM. OWNER'S REPRESENTATIVE. CONTRACTOR SHALL CONTACT THE VARIOUS UTILITY THE MANUFACTURES WRITTEN INSTRUCTIONS AND MEET THE REQUIREMENTS OF ASTM C494 COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO AND/OR ASTM C1017. 4. UTILITY SERVICE PROVIDERS RULES AND REQUIREMENTS TAKE PRECEDENCE OVER ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR REPAIR TO DAMAGE INFORMATION HEREIN. IF DISCREPANCY ARISES, CONTRACTOR SHALL FULLY COORDINATE CAUSED BY THEIR WORK FORCE TO FACILITIES WHICH ARE NOT INTENDED TO BE DISTURBED 10. CONTRACTOR SHALL HAVE A MIN. 5 YEARS EXPERIENCE WITH SUCCESSFUL PLACEMENT OF WITH UTILITY SERVICE PROVIDER PRIOR TO START OF CONSTRUCTION. CONCRETE UTILIZING POZZOLAN MATERIALS. MIX DESIGNS WHICH UTILIZED POZZOLAN
- 15. ALL DIMENSIONS, GRADES, AND UTILITY LOCATIONS SHOWN ON THESE PLANS WERE BASED ON THE SURVEY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION/PROJECT MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO INFORMATION SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- 16. IN SOME CASES, THE DEVELOPER OR OWNER MAY HAVE PROVIDED THEIR OVERALL AGGREGATES SHALL NOT BE PERMITTED IN ANY CONCRETE MIX. DEVELOPMENT PLANS FOR THE PROJECT DESIGN RATHER THAN A FIELD SURVEY. (SEE SITE PLAN FOR NOTES WHEN THIS IS THE CASE). ALL DIMENSIONS, GRADES, AND UTILITY 12. LIQUID MEMBRANE FORMING CURING COMPOUNDS SHALL BE PER ASTM C1315 TYPE II CLASS A IN LOCATIONS SHOWN ON THESE PLANS WERE BASED ON THE ALTA SURVEY. THE ACCORDANCE WITH ACI 308. LIQUID MEMBRANE FORMING CURING COMPOUNDS SHALL BE WHITE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. PIGMENTED AND TWO COATS APPLIED IN TWO PERPENDICULAR UNIFORM APPLICATIONS PER CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR MANUFACTURES RECOMMENDATIONS WITHIN THE ALLOWABLE TIME PERIODS. APPLICATIONS TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY CHANGES. NO EXTRA SHALL BE PHOTOGRAPH DOCUMENTED FOR EVEN AND CONSISTENT COVERAGE SIMILAR TO THE COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE APPEARANCE OF A BLANK WHITE SHEET OF COPY PAPER. NO POOLING OF MATERIAL SHALL BE DUE TO INFORMATION SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS ACCEPTED. NOT BEEN GIVEN.
- 17. THE CONTRACTOR SHALL RUN AN INDEPENDENT VERTICAL CONTROL TRAVERSE TO CHECK BENCHMARKS AND A HORIZONTAL CONTROL TRAVERSE THROUGH THE REFERENCED PROJECT CONTROL DATUM TO CONFIRM GEOMETRIC DATA. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

CONCRETE NOTES AND SPECIFICATIONS

2. ALL EXTERIOR CONCRETE CURBS SHALL HAVE JOINTS PER ACI 330. CURB JOINTS ARE TO ALIGN WITH CONCRETE PAVEMENT JOINTS WHERE APPLICABLE, TYPICALLY BEING 10 FT TO 12 FT. ALL EXTERIOR VEHICULAR CONCRETE PAVEMENT AND FLATWORK SHALL HAVE CONTROL JOINTS PER TABLE BELOW AND EXPANSION JOINTS PER ACI 330 TYPICAL RECOMMENDATIONS.

SLAB THICKNESS - " T "	MAXIMUM JOINT SPACING
LESS THAN 4 INCHES	8 FEET
4 - < 5 INCHES	10 FEET
5 - < 6 INCHES	12.5 FEET
6 INCHES - < 8 INCHES	15 FEET
8 INCHES - 10 INCHES	15 FEET

- 3. ALL JOINTS, INCLUDING SAWED JOINTS, SHALL BE SEALED. JOINTS SHALL BE CLEANED AND DRIED PRIOR TO SEALING. JOINT SEALING MATERIALS SHALL COMPLY WITH ASTM D 6690 FOR HOT APPLIED ELASTOMERIC, ASTM D 5893 TYPE NS FOR SILICONE RUBBER, AND TT-S-00230C FOR SINGLE COMPONENT ELASTOMERIC. SEALER WIDTH, DEPTH, AND PREPARED APPLICATION SURFACES SHALL BE PER MANUFACTURES RECOMMENDATIONS. JOINT FILLER MATERIAL SHALL CONFORM TO ASTM D1751 OR ASTM D8139 AND EXTEND THE FULL DEPTH OF CONTACTING SURFACE.
- 4. ALL CONCRETE PANELS SHALL BE SQUARE WITH A LENGTH TO WIDTH RATIO NO GREATER THAN 1.25 TO 1 AND HAVE A MEDIUM BROOM FINISH (TRANSVERSE, SLIP RESISTANT FOR PEDESTRIAN PATHWAYS) WHICH SHALL BE TO MINIMUM STRENGTH PRIOR TO OPENING FOR VEHICULAR TRAFFIC AREAS. STAGGERED/OFFSET JOINT, INTERIOR CORNERS, ANGLES LESS THAN 60 DEGREES, SLABS LESS THAN 18-INCHES WIDE, AND ODD SHAPES SHALL NOT BE PERMITTED. BLOCKOUTS AROUND ALL PAVEMENT CASTINGS SHALL BE PROVIDED IN ACCORDANCE WITH ACI RECOMMENDATIONS.
- 5. ALL JOINTING (IF) SHOWN HEREIN IS ONLY A GENERAL GUIDELINE OF DESIGN INTENT. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR FINAL LAYOUT OF THE JOINTING WHICH COINCIDES WITH THEIR MEANS AND METHODS TO ENSURE NO UNDESIRED CRACKS FORM THROUGH ANY PLACED CONCRETE. JOINTS SHALL BE APPROPRIATELY PLACED AS SOON AS POSSIBLE TO KEEP UNNECESSARY CRACKS FROM DEVELOPING. CONTRACTOR SHALL SUBMIT SHOP DRAWING OF THEIR PAVEMENT JOINT LAYOUT TO OWNER / CONSTRUCTION MANAGER PRIOR TO PLACEMENT FOR RECORD. THE CONTRACTOR SHALL REPLACE ANY CRACKED CONCRETE, WHICH HAS NOT BEEN PLACED/FINISHED IN ACCORDANCE WITH ACI STANDARDS, TO THE NEXT JOINT PAST THE EFFECTED AREA AT NO ADDITIONAL COST TO THE PROJECT WITHIN ONE YEAR OF PROJECT COMPLETION.

6. DESIGN INTENT CONCRETE AND SHALL CONFORM TO THE FOLLOWING MINIMUM AND MAXIMUM VALUESTDENCTH PER MIX DESIGN MINIMUM 4000 PSI

VALU		PER MIX DESIGN, MINIMUM 4000 PSI
b.	PORTLAND CEMENT CONTENT	550 LB / CY (ASTM C150 TYPE I/II)
с.	POZZOLAN MATERIALS	SILICA FUME MAY REPLACE MAX. 7% CEMENT
	(SEE NOTES BELOW)	FLY ASH OR SLAG CEMENT MAY REPLACE
		MAX. 20% CEMENT
d.	MAX W/C RATIO	PER MIX DESIGN, MAXIMUM 0.45
e.	ENTRAINED AIR	6.5% AVG ± 1.5% (7.0% TARGET) ASTM C260
f.	SLUMP	4" MAX WITHOUT WATER REDUCER
g.	SLUMP WITH HRWR OR MID RANGE WR	6" TO 8"
h.	WATER REDUCER	NORMAL TYPE A (ASTM C494)
i.	RETARDER	NORMAL TYPE B OR D AS NEEDED (REQUIRED
		IF CONCRETE TEMPERATURE EXCEEDS 85F)
j.	CONCRETE TEMPERATURE AT PLACEMENT	50F-90F
k.	ACCELERATOR	NON-CHLORIDE TYPE ONLY - CALCIUM
		CHLORIDE IS PROHIBITED
Ι.	FIBERS TO BE USED	POLYPROPYLENE OR POLYETHYLENE
	FOR SHRINKAGE CRACK CONTROL	MICRO SYNTHETIC FIBERS @ 1.5 LBS / CY
	- (CURBS, WALKS, STEPS, RAMPS)	(FIBERMESH 300 OR APPROVED EQUAL)
	- FOR USE AS W.W.F. REPLACEMENT	MACRO SYNTHETIC FIBERS @ 4.0 LBS / CY
	(VEHICULAR TRAFFIC PAVEMENT)	(TUF-STRAND SF OR APPROVED EQUAL)

- 8. ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615, ASTM A1064, ASTM A307, AND ASTM A775. WHEN USED, ALL W.W.F. SLAB REINFORCEMENT SHALL BE SUPPORTED ON CHAIRS AND BE FLAT SHEETS ONLY. ZINC REPAIR MATERIAL SHALL CONFORM TO ASTM A780.
- MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL DOT SPECIFICATIONS AND ACI STANDARDS. FLY ASH SHALL MEET THE REQUIREMENTS OF ASTM C618, CLASS C OR CLASS F, EXCEPT THE LOSS ON IGNITION MUST NOT EXCEED 5%. SLAG CEMENT ACCORDING TO ASTM C989, GRADE 100 MINIMUM. SILICA FUME SHALL BE DRY DENSIFIED MEETING THE REQUIREMENTS OF ASTM C1240. USE OF MATERIALS SHALL BE IN ACCORDANCE WITH ACI 211.1.
- 11. AGGREGATES SHALL BE LOW-SHRINKAGE / WELL GRADED PER ASTM C33 AND THE LOCAL DOT SPECIFICATIONS WHICH ARE RESISTANT TO FREEZE / THAW, SULFATE ATTACK, AND ARE NOT ALKALI-CARBONATE AGGREGATES OR SUSCEPTIBLE TO ALKALI-AGGREGATE REACTIVITY. SLAG
- 13. CONCRETE SEALER SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. A WRITTEN STATEMENT FROM THE MANUFACTURE FOR THE SEALER AND CURING COMPOUND SHALL BE PROVIDED GUARANTEEING COMPATIBILITY.
- 14. REFER TO ACI INDUSTRY STANDARDS FOR CONCRETE PLACEMENT AND INSTALLATION. CONTRACTOR SHALL INCLUDE PROVISIONS IN ACCORDANCE WITH ACI 305R AND 306R FOR HOT AND COLD WEATHER PLACEMENT WHEN PROJECT SCHEDULE TIMING FALLS WITHIN THE REQUIRED TEMPERATURE RANGES PER ACI AND THE LOCAL DOT.

GRADING PLAN NOTES

- 4. STRIP BUILDING AND PAVEMENT AREAS OF ALL ORGANIC TOPSOILS, STOCKPILE SUITABLE TOPSOILS FOR RESPREADING ONTO LANDSCAPE AREAS. ALL EXCESS EXCAVATED MATERIALS SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE. SEE GEOTECHNICAL REPORT FOR STRIPPING AND TOPSOIL REQUIREMENTS.
- 5. OBTAIN APPROVED BORROW SOIL MATERIALS OFF-SITE WHEN SUFFICIENT SATISFACTORY SOIL MATERIALS ARE NOT AVAILABLE ON-SITE.
- 6. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. UNLESS OTHERWISE SPECIFIED IN THE PLANS, SPECIFICATIONS, OR GEOTECHNICAL REPORT THE SITE GRADING, EXCAVATION, AND EMBANKMENT SHALL BE IN ACCORDANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.
- 7. AT A MINIMUM ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY PER A.S.T.M. TEST D-698. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 3% ABOVE NOR 3% BELOW OPTIMUM. THE CONTRACTOR SHALL FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND RETAIN A QUALIFIED SOILS ENGINEER REGISTERED WITHIN THE STATE TO ENSURE COMPLIANCE WITH THE GEOTECHNICAL REPORT. MAKE GEOTECHNICAL RECOMMENDATIONS BASED ON FIELD CONDITIONS, AND ENSURE THAT ALL SHORING AND DEWATERING MEANS AND METHODS WILL NOT COMPROMISE THE STABILITY OF EXISTING OR PROPOSED FOOTINGS/FOUNDATIONS. THE OWNER SHALL RECEIVE ALL COMPACTION REPORTS PREPARED BY THE CONTRACTOR'S GEOTECHNICAL ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. NOTIFY PROJECT CONSTRUCTION MANAGER IF ANY UNSUITABLE SOILS ARE FOUND.
- 8. FOLLOWING GRADING OF SUBSOIL TO SUBGRADE ELEVATIONS THE CONTRACTOR SHALL PLACE TOPSOIL TO A 6" DEPTH (UNLESS OTHERWISE SPECIFIED IN LANDSCAPING DETAILS) IN ALL DISTURBED AREAS WHICH ARE NOT TO BE PAVED. SMOOTHLY FINISH GRADE TO MEET SURROUNDING LAWN AREAS AND ENSURE POSITIVE DRAINAGE. STOCKPILED TOPSOIL SHALL BE SCREENED PRIOR TO RESPREADING. TOPSOIL SHALL BE FREE OF SUBSOIL, DEBRIS, BRUSH AND STONES LARGER THAN 1" IN ANY DIMENSION. ROCK HOUNDING IN PLACE WILL NOT BE PERMITTED. ALL EXCESS TOPSOIL SHALL BE LEGALLY DISPOSED OF OFF SITE.
- 9. ELEVATIONS GIVEN ARE AT BOTTOM FACE OF CURB AND/OR FINISHED PAVEMENT GRADE UNLESS OTHERWISE SPECIFIED ON GRADING PLAN. ALL PAVEMENT SHALL BE LAID ON A STRAIGHT, EVEN, AND UNIFORM GRADE WITH A MINIMUM OF 1% SLOPE TOWARD THE COLLECTION POINTS UNLESS OTHERWISE SPECIFIED ON THE GRADING PLAN. DO NOT ALLOW NEGATIVE GRADES OR PONDING OF WATER.
- 10. SLOPE BUILDING SIDEWALK AWAY FROM THE BUILDING AT A MAXIMUM OF 1.5% (UNLESS OTHERWISE INDICATED ON THE GRADING PLAN).
- 11. WHEN CONSTRUCTING ASPHALTIC CONCRETE PAVEMENTS, CONTRACTOR SHALL PROVIDE BUTT END JOINT TO MEET EXISTING PAVEMENT IN ELEVATION AT DRIVE RETURNS AND ENSURE POSITIVE DRAINAGE.

GENERAL UTILITY NOTES

- 1. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES IMMEDIATELY AFTER BID IS AWARDED AND ENSURE THE UTILITY COMPANIES HAVE THE ESSENTIALS REQUIRED FOR COMPLETE SERVICE INSTALLATION. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER OF ANY TIME FRAMES ESTABLISHED BY UTILITY COMPANIES WHICH WILL NOT MEET OPENING DATE
- 2. CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, INVERT ELEVATION, AND CONDITION OF EXISTING UTILITIES WHICH ARE INTENDED TO BE UTILIZED AS A CONNECTION POINT FOR ALL PROPOSED UTILITIES PRIOR TO ANY CONSTRUCTION. CONTRACTOR TO ENSURE EXISTING UTILITIES ARE IN GOOD CONDITION AND FREE FLOWING (IF APPLICABLE). IF ELEVATIONS, SIZE, OR LOCATION DIFFER FROM WHAT IS SHOWN ON PLANS, CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER IMMEDIATELY.
- 3. WHERE PLANS PROVIDE FOR PROPOSED WORK TO BE CONNECTED TO, OR CROSS OVER AN EXISTING SEWER OR UNDERGROUND UTILITY, THE CONTRACTOR SHALL LOCATE THE EXISTING PIPES OR UTILITIES BOTH AS TO LINE AND GRADE BEFORE STARTING THE PROPOSED WORK. IF IT IS DETERMINED THAT THE ELEVATION OF THE EXISTING CONDUIT, OR EXISTING APPURTENANCE RESULTS IN A CHANGE IN THE PLAN, THE CONSTRUCTION MANAGER SHALL BE NOTIFIED BEFORE STARTING CONSTRUCTION OF ANY PORTION OF THE PROPOSED WORK WHICH WOULD BE AFFECTED BY THE INTERFERENCE WITH AN EXISTING FACILITY. PAYMENT FOR ALL THE OPERATIONS DESCRIBED ABOVE SHALL BE INCLUDED IN THE CONTRACT PRICE

SANITARY SEWER NOTES

- 1. SANITARY SEWER LATERAL INVERT AT BUILDING SHALL BE A MINIMUM OF 4.0' BELOW FINISH FLOOR.
- 2. CLEAN-OUTS TO BE INSTALLED AT ALL PIPE BENDS AND ANGLES, UNLESS A MANHOLE IS INDICATED.
- 3. THE CONTRACTOR SHALL HIRE A LOCAL PLUMBER LICENSED WITH THE LOCAL SANITARY JURISDICTION TO MAKE ALL CONNECTIONS FROM THE BUILDING TO THE EXISTING SEWER. CONTRACTOR SHALL SECURE A SANITARY SEWER CONNECTION PERMIT PRIOR TO ANY CONSTRUCTION. THE CONTRACTORS PRICE FOR SANITARY SEWER INSTALLATION SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE LOCAL SANITARY JURISDICTION TO PROVIDE A COMPLETE WORKING SERVICE. COORDINATE ALL WORK WITH CITY OF SHELBY, CAMERON HOWELL @ 704.669.6554.
- 4. ALL SANITARY PIPE MATERIAL SHALL BE 6" PVC, SDR 35 CONFORMING TO ASTM D 3034, WITH JOINTS PER ASTM 3212 UNLESS OTHERWISE REQUIRED BY THE LOCAL JURISDICTION.

IN PLANS.

STORM SEWER NOTES

1. ALL STORM SEWER PIPE 12" OR GREATER IN DIAMETER SHALL BE CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) SMOOTH INTERIOR PIPE (UNLESS OTHERWISE NOTED ON PLAN). HDPE PIPE SHALL CONFORM TO ASTM D 3350 AND JOINTS PER ASTM F477. STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE PVC. SDR 35. PER ASTM D 3034 AND JOINTS PER ASTM D 3212. (OR APPROVED EQUAL).

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRENCHING, BACKFILLING AND PIPE INSTALLATION, PIPE MATERIAL AND TAP CONNECTION. COORDINATE ALL WORK WITH CITY OF SHELBY, TYLER BROOKS @ 704.669.2064.

3. ALL DRAINAGE STRUCTURES AT PAVEMENT SUMPS SHALL HAVE FINGER DRAINS PER DETAILS

WATER NOTES

1. WATER SERVICE MATERIALS SHALL BE COPPER TYPE "K" UNLESS OTHERWISE NOTED ON PLANS. DIAMETER SHALL BE AS NOTED ON THESE PLANS AND SHALL BE INSTALLED WITH A MINIMUM COVER OF 1.5" OR BELOW FROST LINE, WHICHEVER IS GREATER.

CONSTRUCTION AND MATERIALS PROVIDED BY THE WATER COMPANY: a. TAP MAIN. b. FURNISH AND INSTALL CURB STOP & BOX AND WATER METER.

c. COORDINATE ALL WORK WITH THE CITY OF SHELBY, CAMERON HOWELL @ 704.669.6554.

3. CONSTRUCTION AND MATERIALS PROVIDED BY THE CONTRACTOR: a. FURNISH AND INSTALL COPPER SERVICE LINE FROM METER TO BUILDING. b. ALL TRENCHING AND BACKFILLING.

4. CONTRACTOR SHALL PROVIDE 100% IRRIGATION PER CONSTRUCTION/PROJECT MANAGER AND CITY/VILLAGE/TOWNSHIP REQUIREMENTS. COORDINATE SLEEVE LOCATIONS WITH THE CONSTRUCTION/PROJECT MANAGER AND IRRIGATION CONSULTANT PRIOR TO PAVEMENT AND CURB INSTALLATION.





520 South Main Street, Suite 2531 Akron, OH 44311 330.572.2100 Fax 330.572.2101

JOB NO .: TACO BELL

2005 East Dixon Blvd. Shelby, NC 28152

DATE

CONTRACT DATE:

BUILDING TYPE:

PLAN VERSION:

SITE NUMBER:

PA/PM:

DRAWN BY.

STORE NUMBER

BRAND DESIGNER:

1 06.03.22 Issued for Permit

2 07.19.22 City Comments

REMARKS

05.04.22

END. 80FT

MARCH 2021

DICKSON

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458047

2021088.54

SM

EA



ENDEAVOR 2.0

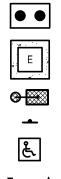
GENERAL NOTES

PLOT DATE:

EXISTING TEXT LEGEND (M) - MEASURED

- RECORD BE – BEECH (TREE) BH - BOREHOLE BLDG. - BUILDING BR – BIRCH (TREE) C&G - CURB AND GUTTER C.PAD - CONCRETE PAD CB — CATCH BASIN CC – CURB CUT CM – CREPE MYRTLE (TREE) CMP - CORRUGATED METAL PIPE CO - CLEAN OUT CONC. - CONCRETE COV. – COVERED CPP - CORRUGATED PLASTIC PIPE DB – DEED BOOK DI - DROP INLET DIP - DUCTILE IRON PIPE EIP - EXISTING IRON PIPE EIR - EXISTING IRON ROD - ELEVATION EN - EXISTING NAIL EU - END UNKNOWN FES - FLARED END SECTION FFE - FINISH FLOOR ELEVATION FH - FIRE HYDRANT
- GDP GUARD POST GM - GAS METER
- GP GUY POLE
- GR GRATE GTMH - GREASE TRAP MANHOLE
- GW GUY WIRE HVAC – HEATING/AIR UNIT
- HW HEAD WALĹ INV – INVERT
- JBX JUNCTION BOX

PROPOSED GENERAL LEGEND



PROPOSED PAINTED ADA SYMBOL

- PROPOSED DIRECTIONAL PAVEMENT MARKINGS
- PROPOSED EDGE OF PAVEMENT PROPOSED CURB
 - PROPOSED CURB & GUTTER
- PROPOSED TRANSVERSE STRIPING
 - PROPOSED CROSSWALK STRIPING

GENERAL NOTES

- ALL WORK SPECIFIED AS A DEPARTMENT OF TRANSPORTATION ITEM SHALL BE GOVERNED BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS AS WELL AS THE CURRENT EDITION OF THE LOCAL JURISDICTION STORM WATER MANAGEMENT MANUAL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO POSSESS AND TO BE FAMILIAR a. PREVENT SPILLS WITH APPLICABLE SECTIONS. REFER TO ENCLOSED GENERAL SWM PERMIT.
- THESE CONTRACT DRAWINGS SHALL BE MADE AVAILABLE ON SITE AT ALL TIMES AND PRESENTED UPON REQUEST. IF UNFORESEEN STORM WATER POLLUTION IS ENCOUNTERED, ADDITIONAL STORM d. WATER POLLUTION PREVENTION (SWPP) MEASURES SHALL BE IMPLEMENTED TO MANAGE THE CURRENT SITE CONDITIONS WHICH MAY BE REQUESTED BY THE OWNER, COUNTY ENGINEER, PROJECT ENGINEER OR SOIL AND WATER CONSERVATION SERVICE REPRESENTATIVE AT ANYTIME. SUCH REQUESTS AND CHANGE IN SITE CONDITIONS SHALL BE IMPLEMENTED IMMEDIATELY AT CONTRACTOR'S EXPENSE.
- ALL STORM WATER POLLUTION PREVENTION PRACTICES SHALL BE INSTALLED BEFORE ANY OTHER 2. ANY DISCHARGE OF PETROLEUM OR PETROLEUM PRODUCTS OF LESS THAN 25 GALLONS ONTO A EARTH MOVING OCCURS.
- . SEDIMENT BARRIERS SHALL BE INSTALLED DOWNSLOPE OF DISTURBED AREAS. SEDIMENT BARRIERS SHALL BE INSTALLED ALONG LEVEL CONTOURS. MAXIMUM CONTRIBUTING DRAINAGE AREA TO SEDIMENT BARRIERS SHALL BE PER THE CURRENT STATE'S EPA OR THE LOCAL AUTHORITY REQUIREMENTS. COMPOSITE FILTER SOCKS USED IN LIEU OF SILT FENCE SHALL BE A MINIMUM OF 12 INCHES IN DIAMETER.
- SILT BARRIERS SHALL BE INSTALLED AROUND ALL EXISTING AND NEW STORM INLETS, CATCH BASINS AND YARD DRAINS. INSTALL ROCK CHECK DAMS FOR HEADWALL INLETS FOR STORM WATER POLLUTION PREVENTION.
- 3. STORM WATER POLLUTION PREVENTION MEASURES SHALL BE INSTALLED AROUND ALL DIRT OR TOPSOIL STOCKPILES AND OTHER TEMPORARILY DISTURBED AREAS AS MAY BE SHOWN ON THESE PLANS AND/OR AS DIRECTED BY THE ENGINEER OR THE LOCAL AUTHORITY HAVING JURISDICTION.
- SILT BARRIERS, CONSTRUCTION ENTRANCES, AND SILT PERIMETER CONTROLS SHALL REMAIN IN PLACE UNTIL A GOOD STAND OF GRASS HAS BEEN OBTAINED AND/OR PAVING OPERATIONS ARE COMPLETE. CONTRACTOR SHALL KEEP SILT FROM ENTERING ANY STORM DRAINAGE SYSTEM. ONCE SITE HAS BEEN COMPLETELY STABILIZED, ANY SILT IN PIPES AND DRAINAGE SWALES SHALL BE REMOVED WITHIN 10 DAYS.
- 3. ALL EXISTING WATER COURSES WITHIN THE PROJECT LIMITS SHALL BE TEMPORARILY PROTECTED DURING LAND CLEARING AND GRADING OPERATIONS. SOILS WITHIN 50 FEET OF SAID WATER COURSES SHALL BE STABILIZED WITHIN 2 DAYS OF THE INITIAL CLEARING / GRADING OPERATION.
-). CONSTRUCTION ENTRANCE SHALL BE UTILIZED. IF CONDITIONS ARE SUCH THAT MUD IS COLLECTING ON VEHICLE TIRES, THE TIRES MUST BE CLEANED BEFORE THE VEHICLES ENTER THE PUBLIC ROADWAY. THE SITE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOW OF MUD ONTO THE PUBLIC RIGHT-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO THE ROADWAY MUST BE REMOVED PROMPTLY.
- 0. IF FOR ANY REASON, THE PROJECT IS SUSPENDED, THE CONTRACTOR SHALL ENSURE THAT ALL INSTALLED EROSION MEASURES ARE FUNCTIONING AND PROPERLY MAINTAINED DURING THIS PERIOD, AND THAT ALL BARE SOILS ARE SEEDED AND MULCHED WITH TEMPORARY SEED MIXTURE.
- I. CONCRETE WASHOUT FACILITY (IF APPLICABLE) SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLAN DETAILS AND LOCAL GOVERNING AUTHORITY REGULATIONS AND INSTRUCTIONS.
- 12. IMPLEMENTATION OF EROSION AND SEDIMENT CONTROLS SHALL CONFORM TO STATE OF NORTH CAROLINA CONSTRUCTION GENERAL PERMIT #NCG 010000 AND THE CITY OF SHELBY CODIFIED ORDINANCES. IF A CONFLICT EXISTS BETWEEN THE TWO REGARDING EROSION AND SEDIMENT CONTROL IMPLEMENTATION, THE MORE RESTRICTIVE SHALL APPLY.
- 13. DISTURBED AREAS WITHIN 50' OF A STREAM SHALL HAVE PERMANENT STABILIZATION APPLIED WITHIN 2 DAYS OF FINAL GRADE.
- 14. DISTURBED AREAS WHICH WILL REMAIN DORMANT FOR OVER 1 YEAR OR ARE AT FINAL GRADE SHALL HAVE PERMANENT STABILIZATION APPLIED WITHIN 7 DAYS OF LAST EARTHWORK DISTURBANCE.

INSPECTION NOTES

- . CONTRACTOR SHALL INSPECT ALL SWPP MEASURES DAILY AND LOGGED BY THE CONTRACTOR FOR INSPECTION. LOGGING SHALL BE WEEKLY AND AFTER EVERY 1/2" RAINFALL EVENT. REPAIR AS NECESSARY TO PREVENT EROSION. SILTATION SHALL BE REMOVED FROM AREAS WHERE FAILURES 10. CONTAMINATED SOILS: IF SUBSTANCES SUCH AS OIL, DIESEL FUEL, HYDRAULIC FLUID, ANTIFREEZE, HAVE OCCURRED AND CORRECTIVE ACTION TAKEN WITHIN 24 HOURS TO MAINTAIN ALL SWPP.
- . CONTRACTORS INSPECTOR SHALL BE A QUALIFIED INDIVIDUAL. ONLY A QUALIFIED INSPECTION PERSONNEL IS TO PERFORM THE INSPECTIONS. SITE INSPECTIONS SHALL BE DONE WEEKLY AND WITHIN 24 HRS AFTER EVERY RAINFALL EVENT EXCEEDING 1/2" OF RAINFALL. ALL NECESSARY REPAIRS SHOULD BE IMPLEMENTED IMMEDIATELY AFTER SUCH INSPECTIONS.
- CONTRACTOR'S INSPECTOR SHALL BE RESPONSIBLE FOR PREPARING AND SIGNING WEEKLY AND ALL INTERMEDIATE EROSION CONTROL INSPECTION REPORTS AFTER EVERY INSPECTION, WHICH INCLUDE BUT NOT LIMITED TO (DISTURBED AREAS, MATERIAL STORAGE AREAS, EROSION AND SEDIMENT CONTROLS; DISCHARGE LOCATIONS AND VEHICLE ENTRANCE/EXIT LOCATIONS). SUCH REPORTS SHALL BE MADE AVAILABLE TO OWNER, ENGINEER AND CITY / STATE OFFICIALS UPON THEIR REQUEST.
- REPORTS SHALL BE KEPT FOR 3 YEARS AFTER TERMINATION OF THE CONSTRUCTION ACTIVITIES.
- 5. CONTRACTOR MAY SUBMIT A WAIVER REQUEST TO THE LOCAL AND STATE GOVERNING AUTHORITIES FOR A REDUCTION TO MONTHLY INSPECTIONS IF THE SITE WILL BE STABILIZED AND DORMANT FOR A LONG PERIOD, AND/OR THE RUNOFF IS UNLIKELY DUE TO WEATHER CONDITIONS FOR AN EXTENDED PERIOD OF TIME (FROZEN GROUND).
- 5. FOR BMPS THAT REQUIRE REPAIR OR MAINTENANCE NON SEDIMENT POND BMPS ARE TO BE REPAIRED WITHIN 3 DAYS OF INSPECTION AND SEDIMENT PONDS ARE TO BE REPAIRED OR CLEANED OUT WITHIN 10 DAYS OF INSPECTION.
- FOR BMPS THAT DO NOT MEET THE INTENDED FUNCTION, A NEW BMP SHALL BE INSTALLED WITHIN 10 DAYS OF THE INSPECTION.
- FOR MISSING BMPS REQUIRED, THE MISSING BMPS SHALL BE INSTALLED WITHIN 10 DAYS OF THE INSPECTION.

SPILLS AND CONTAMINATION

- 1. CONSTRUCTION PERSONNEL, INCLUDING SUBCONTRACTORS WHO MAY USE OR HANDLE HAZARDOUS OR TOXIC MATERIALS, SHALL BE MADE AWARE OF THE FOLLOWING GENERAL GUIDELINES REGARDING DISPOSAL AND HANDLING OF HAZARDOUS AND CONSTRUCTION WASTES:
- USE PRODUCTS UP
- FOLLOW LABEL DIRECTIONS FOR DISPOSAL
- REMOVE LIDS FROM EMPTY BOTTLES AND CANS WHEN DISPOSING IN TRASH С
- RECYCLE WASTES WHENEVER POSSIBLE
- DON'T POUR INTO WATERWAYS, STORM DRAINS OR ONTO THE GROUND DON'T POUR DOWN THE SINK, DOOR DRAIN OR SEPTIC TANKS
- DON'T BURY CHEMICALS OR CONTAINERS
- DON'T BURN CHEMICALS OR CONTAINERS
- DON'T MIX CHEMICALS TOGETHER
- PERVIOUS SURFACE SHALL BE LEGALLY REMOVED AND PROPERLY TREATED OR PROPERLY DISPOSED OF, OR OTHERWISE REMEDIATED, SO THAT NO CONTAMINATION FROM THE DISCHARGE REMAINS ON-SITE. SPILLS OF 25 GALLONS OR MORE OF PETROLEUM PRODUCTS SHALL BE REPORTED TO THE NORTH CAROLINA EPA, THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE WITHIN 30 MINUTES OF THE DISCOVERY OF THE RELEASE. ALL SPILLS WHICH CONTACT WATERS OF THE STATE MUST BE REPORTED TO THE CURRENT STATE'S EPA.
- 3. SPILL REPORTING REQUIREMENTS: SPILLS ON PAVEMENT SHALL BE ABSORBED WITH SAWDUST OR KITTY LITTER AND DISPOSED OF WITH THE TRASH AT A LICENSED SANITARY LAND FILL. HAZARDOUS OR INDUSTRIAL WASTES SUCH AS MOST SOLVENTS, GASOLINE, OIL-BASED PAINTS, AND CEMENT CURING COMPOUNDS REQUIRE SPECIAL HANDLING. SPILLS SHALL BE REPORTED TO THE NORTH CAROLINA EPA.
- 4. CONTAINERS SHALL BE PROVIDED FOR THE PROPER COLLECTION OF ALL WASTE MATERIAL INCLUDING CONSTRUCTION DEBRIS, TRASH, PETROLEUM PRODUCTS AND ANY HAZARDOUS MATERIALS USED ON-SITE, CONTAINERS SHALL BE COVERED AND NOT LEAKING, ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THAT MATERIAL, CONSTRUCTION DEMOLITION AND DEBRIS (CD&D) WASTE MUST BE DISPOSED OF AT THE NORTH CAROLINA EPA APPROVED CD&D LAND FILL.
- 5. PROCESS WASTE WATER/LEACHATE MANAGEMENT : EPA'S CONSTRUCTION GENERAL PERMIT ONLY ALLOWS THE DISCHARGE OF STORM WATER AND DOES NOT INCLUDE OTHER WASTE STREAMS/DISCHARGES SUCH AS VEHICLE AND/OR EQUIPMENT WASHING, ON-SITE SEPTIC LEACHATE CONCRETE WASH OUTS, WHICH ARE CONSIDERED PROCESS WASTEWATERS, ALL PROCESS WASTEWATERS MUST BE COLLECTED AND PROPERLY DISPOSED AT AN APPROVED DISPOSAL FACILITY. IN THE EVENT, LEACHATE OR SEPTAGE IS DISCHARGED; IT MUST BE ISOLATED FOR COLLECTION AND PROPER DISPOSAL AND CORRECTIVE ACTIONS TAKEN TO ELIMINATE THE SOURCE OF WASTE WATER.
- 6. WASTES GENERATED BY CONSTRUCTION ACTIVITIES (I.E. CONSTRUCTION MATERIALS SUCH AS PAINTS, SOLVENTS, FUELS, CONCRETE, WOOD, ETC) MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS. HAZARDOUS AND TOXIC SUBSTANCES ARE USED ON VIRTUALLY ALL CONSTRUCTION SITES. GOOD MANAGEMENT OF THESE SUBSTANCES IS ALWAYS NEEDED.
- NO CONSTRUCTION RELATED WASTE MATERIALS ARE TO BE BURIED OR BURNED ON-SITE.
- HANDLING CONSTRUCTION CHEMICALS: MIXING, PUMPING, TRANSFERRING OR OTHER HANDLING OF CONSTRUCTION CHEMICALS SUCH AS FERTILIZER, LIME, ASPHALT, CONCRETE DRYING COMPOUNDS, AND ALL OTHER POTENTIALLY HAZARDOUS MATERIALS SHALL BE PERFORMED IN AN AREA AWAY FROM ANY WATERCOURSE, DITCH OR STORM DRAIN.
- . EQUIPMENT FUELING AND MAINTENANCE, OIL CHANGING, ETC., SHALL BE PERFORMED AWAY FROM WATERCOURSES, DITCHES OR STORM DRAINS, IN AN AREA DESIGNATED FOR THAT PURPOSE. THE DESIGNATED AREA SHALL BE EQUIPPED FOR RECYCLING OIL AND CATCHING SPILLS. SECONDARY CONTAINMENT SHALL BE PROVIDED FOR ALL FUEL OIL STORAGE TANKS. THESE AREAS MUST BE INSPECTED EVERY SEVEN DAYS AND WITHIN 24 HRS. OF A 0.5 INCH OR GREATER RAIN EVENT TO ENSURE THERE ARE NO EXPOSED MATERIALS WHICH WOULD CONTAMINATE STORM WATER. SITE OPERATORS MUST BE AWARE THAT SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) REQUIREMENTS MAY APPLY. AN SPCC PLAN IS REQUIRED FOR SITES WITH ONE SINGLE ABOVE GROUND TANK OF 660 GALLONS OR MORE, ACCUMULATIVE ABOVE GROUND STORAGE OF 1330 GALLONS OR MORE, OR 42,000 GALLONS OF UNDERGROUND STORAGE. CONTAMINATED SOILS MUST BE PROPERLY DISPOSED OF IN ACCORDANCE WITH LOCAL GOVERNING AUTHORITY REGULATIONS. SPCC PLAN AND APPROVALS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- ETC. ARE SPILLED, LEAKED, OR RELEASED ONTO THE SOIL, THE SOIL SHOULD BE DUG UP AND DISPOSED OF AT LICENSED SANITARY LAND FILL OR OTHER APPROVED PETROLEUM CONTAMINATED SOIL REMEDIATION FACILITY (NOT A CONSTRUCTION / DEMOLITION DEBRIS LAND FILL). NOTE THOSE STORM WATER RUNOFFS ASSOCIATED WITH CONTAMINATED SOILS ARE NOT BE AUTHORIZED UNDER CURRENT REGULATIONS OF CONSTRUCTION ACTIVITIES.
- 11. CONTRACTOR SHALL TAKE PREVENTIVE MEASURES FOR WATER DISCHARGES FROM CONTAMINATED SOILS BY ANY MEANS POSSIBLE, INCLUDING THE FOLLOWING: 11.1. THE USE OF BERMS, TRENCHES, AND PITS TO COLLECT CONTAMINATED RUNOFF AND PREVENT
- DISCHARGES. 11.2. PUMPING RUNOFF INTO A SANITARY SEWER (WITH PRIOR WRITTEN APPROVAL OF THE
- SANITARY SEWER SERVICE OPERATOR) OR INTO A CONTAINER FOR TRANSPORT TO AN APPROPRIATE TREATMENT/DISPOSAL FACILITY.
- 11.3. COVERING AREAS OF CONTAMINATION WITH TARPS OR OTHER METHODS THAT PREVENT STORMWATER FROM COMING INTO CONTACT WITH CONTAMINATED MATERIALS.

TEMPORARY SEEDING

- . STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE REST OF THE CONSTRUCTION SITE.
- 2. TEMPORARY SEEDING / STABILIZATION SHALL BE APPLIED WITHIN THE FOLLOWING TIME FRAMES FOR VARIOUS AREAS OF THE SITE:
- 2.1. ANY DISTURBED AREA WITHIN 50 FEET OF A WATERCOURSE AND NOT AT FINAL GRADE SHALL BE SEEDED AND MULCHED WITHIN 2 DAYS OF THE MOST RECENT DISTURBANCE, IF THAT AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS.
- ALL CONSTRUCTION ACTIVITIES IN ANY DISTURBED AREA, INCLUDING SOIL STOCKPILES THAT WILL BE 2. PUMPING OF WATER TO AN EXISTING SEDIMENT BASIN OR TRAP SUCH THAT THE ENTIRE VOLUME OF 2.2. IDLE FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A WATERCOURSE SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF THE MOST RECENT
- DISTURBANCE IN THE AREA. 2.3. DISTURBED AREAS THAT WILL BE IDLE OVER THE WINTER SHALL BE SEEDED AND MULCHED PRIOR TO NOVEMBER 1.
- THE SEED BED SHOULD BE PULVERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. TEMPORARY SEEDING SHOULD NOT BE POSTPONED IF IDEAL SEED BED PREPARATION IS NOT POSSIBLE.
- 4. TEMPORARY VEGETATION SEEDING RATES SHALL ESTABLISH ADEQUATE STANDS OF VEGETATION, WHICH MAY REQUIRE USE OF SOIL AMENDMENTS. BASE RATES FOR LIME AND FERTILIZER SHALL BE USED.
- 5. ALL SEED MIXES AND SEEDING RATES USED SHALL BE APPROVED BY THE LOCAL GOVERNING AUTHORITY AND THE OWNER.
- SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SPREADER, DRILL, CULTIPACKER, SEEDER, OR HYDROSEEDER. WHEN FEASIBLE, SEED THAT HAS BEEN BROADCAST SHALL BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPED INTO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON-SITE AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.
- APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH, WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM SEEDING DATES ON FAVORABLE, VERY FLAT SOIL CONDITIONS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION. IF MULCH IS USED, FOLLOW THE REQUIREMENTS AND INSTRUCTIONS IN THE MULCH APPLICATION.

- MULCH AND OTHER APPROPRIATE VEGETATIVE PRACTICES SHALL BE APPLIED TO DISTURBED AREAS WITHIN 7 DAYS OF GRADING IF THE AREA IS TO REMAIN DORMANT (UNDISTURBED) FOR MORE THAN 21 DAYS OR ON AREAS AND PORTIONS OF THE SITE WHICH CAN BE BROUGHT TO FINAL GRADE.
- 2. MULCH SHALL CONSIST OF ONE OF THE FOLLOWING:
- 2.1. STRAW SHALL BE UNROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/AC. OR 90 LB./1,000 SQ. FT. (TWO TO THREE BALES) THE STRAW MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQ. FT. SECTIONS AND PLACE TWO 45-LB BALES OF STRAW IN EACH SECTION.
- 2.2. WOOD CELLULOSE FIBER SHOULD BE USED AT 2,000 LB.AC, OR 46 LB/1,000 SQ. FT.
- ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS AND ROLLED EROSION CONTROL PRODUCTS 2.3. APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD MULCH/CHIPS APPLIED AT 10-20 TONS/AC
- 3. MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR RUNOFF. THE FOLLOWING ARE ACCEPTABLE METHODS FOR ANCHORING MULCH.
- 3.1. USE A DISK, CRIMPER, OR SIMILAR TYPE TOOL SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT BE LEFT GENERALLY LONGER THAN 6 INCHES.
- 3.2. USE MULCH NETTINGS ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, FOLLOWING ALL PLACEMENT AND ANCHORING REQUIREMENTS. USE IN AREAS OF WATER CONCENTRATION AND STEEP SLOPES TO HOLD MULCH IN PLACE.
- FOR STRAW MULCH, SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSET, 3.3. TERRA TACK OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER. ALL APPLICATIONS OF SYNTHETIC BINDERS MUST BE CONDUCTED IN SUCH A MANNER WHERE THERE IS NO CONTACT WITH WATERS OF THE STATE.
- WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. THE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB/AC. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB/100 GAL. OF WOOD CELLULOSE FIBER.

DUST CONTROL NOTES

- 1. DUST CONTROL SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. IF POSSIBLE GRADING SHALL BE DONE BY PHASING IN ORDER TO MINIMIZE THE AMOUNT OF LAND DISTURBANCE AT ONE TIME. IF PHASING IS NOT AN OPTION. DUST SHALL BE CONTROLLED WITH WATER DURING EARTHWORK OPERATIONS, AFTER EARTHWORK OPERATIONS, THE EXPOSED SOILS SHALL BE COVERED WITH STRAW OR MULCH UNTIL SEEDED.
- 2. DUST CONTROL OR DUST SUPPRESSANTS MAY BE USED TO PREVENT NUISANCE CONDITIONS WHEN APPROVED BY THE LOCAL AUTHORITY HAVING JURISDICTION. WHEN USED, SUPPRESSANTS SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND IN A MANNER, WHICH PREVENTS A DISCHARGE TO WATERS OF THE STATE. SUFFICIENT DISTANCE MUST BE PROVIDED BETWEEN APPLICATIONS AND NEARBY BRIDGES, CATCH BASINS, AND OTHER WATERWAYS. APPLICATION (EXCLUDING WATER) MAY NOT OCCUR WHEN RAIN IS IMMINENT AS NOTED IN THE SHORT TERM FORECAST. OIL MAY NOT BE APPLIED FOR DUST CONTROL.
- 3. SUGGESTED METHODS OF CONSTRUCTION DUST CONTROL MAY INCLUDE THE FOLLOWING: 3.1. CONSTRUCTION SEQUENCING AND DISTURBING ONLY SMALL AREAS AT A TIME CAN GREATLY REDUCE PROBLEMATIC DUST FROM THE SITE. IF LAND MUST BE DISTURBED, ADDITIONAL TEMPORARY STABILIZATION MEASURES SHOULD BE CONSIDERED PRIOR TO DISTURBANCES.
- APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMAIN IDLE FOR OVER 14 DAYS. SAVING EXISTING TREES AND LARGE SHRUBS WILL ALSO REDUSE SOIL AND AIR MOVEMENT ACROSS DISTURBED AREAS.
- SPRAY DISTURBED SITE WITH WATER UNTIL THE SURFACE IS WET BEFORE AND DURING GRADING AND REPEAT AS NEEDED, ESPECIALLY ON HAUL ROADS AND OTHER HEAVY TRAFFIC ROUTES. WATERING SHALL BE DONE AT A RATE THAT PREVENTS DUST BUT DOES NOT CAUSE SOIL EROSION. WETTING AGENTS MAY BE UTILIZED ACCORDING TO MANUFACTURERS INSTRUCTIONS.
- GRADED ROADWAYS AND OTHER SUITABLE AREAS MAY BE STABALIZED USING CRUSHED STONE OR 3.4 COARSE GRAVEL AS SOON AS PRACTICABLE AFTER REACHING AN INTERIM OR FINAL GRADE. CRUSHED STONE OR COARSE GRAVEL CAN BE USED AS A PERMANENT COVER TO PROVIDE CONTROL OF SOIL EMISSIONS.
- 3.5. EXISTING WINDBREAK VEGETATION SHALL BE MARKED AND PRESERVED TO THE EXTENT POSSIBLE. SNOW FENCING OR OTHER SUITABLE BARRIER MAY BE PLACED PERPENDICULAR TO PREVAILING AIR CURRENTS AT INTERVALS OF ABOUT 15 TIMES THE BARRIER HEIGHTS TO CONTROL AIR CURRENTS AND BLOWING SOIL.
- 3.6. WHEN TEMPORARY DUST CONTROL MEASURES ARE USED; REPETITIVE TREATMENT SHOULD BE APPLIED AS NEED TO ACCOMPLISH SATISFACTORY CONTROL.
- PAVED AREAS THAT HAVE ACCUMULATED SEDIMENT FROM CONSTRUCTION SHOULD BE CLEANED 37 DAILY, OR AS NEEDED, UTILIZING A STREET SWEEPER OR BUCKET-TYPE ENDLOADER OR SCRAPER.

DEWATERING

DEWATERING REFERS TO THE ACT OF REMOVING AND DISCHARGING WATER FROM EXCAVATED AREAS ON CONSTRUCTION SITES, UTILITY LINE CONSTRUCTION OR FROM SEDIMENT TRAPS OR BASINS ON CONSTRUCTION SITES. GIVEN THE UNIQUE CONDITIONS AT ANY PARTICULAR CONSTRUCTION SITE, ANY OR ALL OF THE PRACTICES MAY APPLY. IN ALL CASES, EVERY EFFORT SHALL BE MADE TO ELIMINATE SEDIMENT POLLUTION ASSOCIATED WITH DEWATERING.

PRACTICES FOR DEWATERING EXCAVATED AREAS

- 1. PUMPING OF WATER TO AN EXISTING SEDIMENT BASIN OR TRAP IN WHICH THE ENTIRE VOLUME OF WATER FROM THE AREA TO BE DEWATERED CAN BE CONTAINED WITHOUT DISCHARGE TO RECEIVING WATERS.
- WATER FROM THE AREA TO BE DEWATERED CAN BE MANAGED WITHOUT EXCEEDING THE DESIGN OUTFLOW FROM THE SEDIMENT CONTROL STRUCTURE.
- 3. USE OF A STRAW BALE/SILT FENCE PIT OR TRAP AS DESCRIBED HEREIN AND APPROVED BY THE LOCAL GOVERNING AUTHORITY.
- 4. PUMPING WATER THROUGH A GEOTEXTILE BAG MADE SPECIFICALLY FOR THIS PURPOSE. 5. A WELL-VEGETATIVE FILTER STRIP, CAPABLE OF WITHSTANDING THE VELOCITY OF DISCHARGED WATER WITHOUT ERODING, INCLUDING THE INSTALLATION OF ENERGY DISSIPATION (HAYBALES, RIPRAP OR SHEET
- OF PLYWOOD) AT THE PUMP DISCHARGE. 6. USE A SUMP PIT TO REDUCE THE PUMPING OF MUD.

DEWATERING OF SEDIMENT TRAPS AND BASINS. IN ALL CASES, WATER REMOVED FROM TRAPS AND BASINS SHALL BE DISCHARGED SO THAT IT PASSES THROUGH A SEDIMENT CONTROL DEVICE APPROVED BY THE LOCAL GOVERNING AUTHORITY PRIOR TO ENTERING RECEIVING WATERS. PRACTICES FOR DEWATERING OF TRAPS AND BASINS MAY INCLUDE SOME OR ALL OF THE FOLLOWING AS MAY BE APPROVED AND APPLICABLE. IN ALL CASES, THE DEWAERING OPERATIONS UTILIZED MUST BE CONTINUOUSLY MONITORED BY THE CONTRACTOR.

1. USE OF A STRAW BALE/SILT FENCE PIT OR TRAP.

- 1.1. AN EXCAVATED BASIN (APPLICABLE TO "STRAW BALE/SILT FENCE PIT") MAY BE LINED WITH FILTER FABRIC TO HELP REDUCE SCOUR AND TO PREVENT EROSION OF SOIL FROM WITHIN THE STRUCTURE. IT MAY ALSO BE HELPFUL TO DIRECT THE DISCHARGE ONTO A HAY OR STRAW BALE OR RIPRAP.
- 1.2. MEASURES SHALL CONSIST OF STRAW BALES, SILT FENCE AND A STONE OUTLET CONSISTING OF A COMBINATION OF 4-8 INCH RIPRAP AND ½ TO 2 INCH AGGREGATE AND A WET STORAGE PIT ORIENTED AS SHOWN IN DRAWING.
- 1.3. THE EXCAVATED AREA SHOULD BE A MINIMUM OF 3 FEET BELOW THE BASE OF THE PERIMETER MEASURES (STRAW BALES OR SILT FENCE).
- 1.4. ONCE THE WATER LEVEL NEARS THE CREST OF THE STONE WEIR (EMERGENCY OVERFLOW), THE PUMP MUST BE STOPPED WHILE THE STRUCTURE DRAINS DOWN TO THE ELEVATION OF THE WET STORAGE
- 1.5. THE WET STORAGE PIT MAY BE DEWATERED ONLY AFTER A MINIMUM OF 6 HOURS OF SEDIMENT SETTLING TIME. THIS EFFLUENT SHOULD BE PUMPED ACROSS A WELL-VEGETATED AREA OR THROUGH A SILT FENCE PRIOR TO ENTERING A WATERCOURSE.
- ONCE THE DEVICE HAS BEEN REMOVED, GROUND CONTOURS SHALL BE RETURNED TO ORIGINAL CONDITION.
- 2. PUMPING WATER THROUGH A GEOTEXTILE BAG MADE SPECIFICALLY FOR THIS PURPOSE. 21 THE BAG SHALL BE INSTALLED ON A VERY SLIGHT SLOPE SO INCOMING WATER FLOWS DOWNHILL
- THROUGH THE BAG WITHOUT CREATING MORE EROSION. 2.2 THE INLET OPENING OF THE DEWATERING DEVICE SHALL HAVE A FILL SPOUT LARGE ENOUGH TO ACCOMMODATE THE DISCHARGE HOSE AND SHALL USE TWO STAINLESS STEEL STRAPS TO SECURE THE HOSE AND PREVENT PUMPED WATER FROM ESCAPING WITHOUT BEING FILTERED.
- 2.3. THE BAG SHOULD BE PLACED ON AN AGGREGATE OR HAY BALE BED TO MAXIMIZE WATER FLOW THROUGH THE ENTIRE SURFACE AREA OF THE BAG.
- 2.4. THE FILTER BAG IS FULL WHEN IT NO LONGER CAN EFFICIENTLY FILTER SEDIMENT OR PASS WATER AT A REASONABLE RATE.
- FLOW RATES VARY DEPENDING ON THE SIZE OF THE DEWATERING DEVICE, AMOUNT OF SEDIMENT DISCHARGED INTO THE DEWATERING DEVICE, THE TYPE OF GROUND, ROCK, OR OTHER SUBSTANCE UNDER THE BAG AND THE DEGREE OF THE SLOPE ON WHICH THE BAG LIES. THE FILTER BAG SHOULD BE SIZED TO ACCOMMODATE THE ANTICIPATED FLOW RATES FROM THE TYPE OF PUMP USED. IN ALL CASES FOLLOW THE MANUFACTURERS RECOMMENDATIONS FOR PUMPING FLOW RATES.
- THE FILTER BAG CAN BE LEFT IN PLACE AFTER CUTTING THE TOP OFF AND SEEDING AND MULCHING THE ACCUMULATED SEDIMENT OR REMOVED AND DISPOSED OF OFFSITE IN AN APPROVED LANDFILL.
- 3. A WELL-VEGETATIVE FILTER STRIP, CAPABLE OF WITHSTANDING THE VELOCITY OF DISCHARGED WATER WITHOUT ERODING, INCLUDING THE INSTALLATION OF ENERGY DISSIPATION (HAYBALES, RIPRAP OR SHEET OF PLYWOOD) AT THE PUMP DISCHARGE. SUCH OTHER METHODS AS MAY BE APPROVED BY THE LOCAL GOVERNING AUTHORITY.
- 4. REGARDLESS OF THE TYPE OF TREATMENT, ALWAYS USE A FLOATING SUCTION HOSE TO PUMP THE CLEANER WATER FROM THE TOP OF THE POND. AS THE CLEANER WATER IS PUMPED, THE SUCTION HOSE WILL LOWER AND EVENTUALLY ENCOUNTER SEDIMENT-LADEN WATER. AT THIS POINT CEASE PUMPING OPERATIONS AND REMOVE THE REMAINDER OF THE TRAPPED SEDIMENT WITH MACHINERY. EVEN WHEN PUMPING FROM THE TOP OF THE WATER COLUMN, PROVISIONS MUST STILL BE MADE TO FILTER WATER AS REQUIRED IN THIS SECTION PRIOR TO DISCHARGING TO A STREAM. DURING THE DEWATERING, PERSONNEL SHOULD BE ASSIGNED TO MONITOR PUMPING OPERATIONS AT ALL TIMES TO ENSURE THAT SEDIMENT POLLUTION IS ABATED. PUMPING SEDIMENT-LADEN WATER INTO THE WATERS OF THE STATE WITHOUT FILTRATION IS PROHIBITED.
- 5. THE DEWATERING DEVICE MUST BE SIZED (AND OPERATED) TO ALLOW PUMPED WATER TO FLOW THROUGH THE FILTERING APPARATUS WITHOUT EXCEEDING THE CAPACITY OF THE STRUCTURE.

CONSTRUCTION SEQUENCE

. DURING PRECONSTRUCTION MEETING ALL EROSION & SEDIMENT CONTROL FACILITIES & PROCEDURES SHALL BE DISCUSSED. A GENERAL CONSTRUCTION SEQUENCE FOLLOWS AND MAY NEED TO BE UPDATED BY THE CONTRACTOR TO SUIT THE SPECIFICS OF THE SITE AND INTENDED CONTRACTOR SPECIFIC SEQUENCING. 1.1. INSTALL CONSTRUCTION ENTRANCE AS DETAILED ON PLANS. TEMPORARY CONSTRUCTION FENCING SHALL BE INSTALLED AROUND PERIMETER OF CONSTRUCTION SITE. WHERE THERE IS EXISTING FENCE ALONG THE PERIMETER OF THE SITE, IT CAN BE UTILIZED. FENCING SHALL BE USED TO RESTRICT OUTSIDE TRAFFIC TO SITE.

DELIVER CONSTRUCTION TRAILER TO SITE AND INSTALL TEMPORARY POWER AND TELEPHONE, IF REQUIRED. TEMPORARY UTILITY SERVICES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. STAKE AND/OR FLAG LIMITS OF CLEARING.

CLEAR & GRUB, AS NECESSARY, FOR INSTALLATION OF PERIMETER CONTROLS. INSTALL SILT PERIMETER CONTROLS AS SHOWN ON PLANS. SILT PERIMETER CONTROLS SHALL BE INSTALLED LEVEL ALONG THE CONTOURS, WITH ENDS TURNED UPSLOPE TO PREVENT CONCENTRATED FLOW AT THE SILT PERIMETER CONTROLS.

INSTALL TEMPORARY SILT INLET PROTECTION ON ALL EXISTING CATCH BASINS AND INLETS, AS DESIGNATED IN THE PLANS. REMOVAL OF SILT INLET PROTECTION FROM DESIGNATED INLETS CAN ONLY OCCUR WHEN A STRUCTURE IS REMOVED, AND AS REQUIRED BY THE PROGRESSION OF THE DEMOLITION AND CONSTRUCTION.

CLEAR & GRUB, AS NECESSARY, FOR INSTALLATION OF TEMPORARY SEDIMENT TRAP/BASIN. INSTALL TEMPORARY SEDIMENT TRAP/BASIN, IF REQUIRED, AS DETAILED IN THE PLANS. CONSTRUCT AND MAINTAIN TEMPORARY DIVERSION SWALE AND / OR DIVERSION BERM DURING FILLING & GRADING ACTIVITIES

CLEAR & GRUB THE REMAINING SITE AS NECESSARY. TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR REUSE, OR REMOVED TO AN APPROVED OFFSITE SPOIL AREA. UTILIZE DUST CONTROL MEASURES AS REQUIRED TO MINIMIZE AIR-BORNE POLLUTION BY METHODS

APPROVED BY THE AUTHORIZING EPA OFFICE. 1.9. BEGIN FILLING & GRADING AS REQUIRED TO REACH SUBGRADE.

1.10. ONCE PAVEMENT GRADES HAVE BEEN ESTABLISHED, AS DESIGNATED ON THE PLANS, THE

CONTRACTOR SHALL UTILIZE THESE AREAS FOR STRUCTURE CONSTRUCTION. 1.11. CONSTRUCT UNDERGROUND UTILITY WORK INCLUDING STORM DRAINAGE FACILITIES. UPON INSTALLATION OF STORM DRAINAGE CATCH BASINS, YARD DRAINS AND INLETS, INSTALL REQUIRED

INLET PROTECTION. 1.12. DO NOT REPLACE ANY TOPSOIL, SEED OR INSTALL FINAL PAVEMENT PRIOR TO COMPLETION OF BUILDING SHELL. SHOULD SITEWORK BE COMPLETED PRIOR TO THIS DATE, MULCH DISTURBED AREAS TO BE PLANTED AND INSTALL STONE SUBBASE IN DISTURBED AREAS TO BE PAVED.

1.13. FOLLOWING COMPLETION OF BUILDING SHELL AND PAVEMENT INSTALLATION, BEGIN LANDSCAPE INSTALLATION. 1.14. COMPLETE SITEWORK, PAVEMENT MARKINGS AND FINAL CLEAN-UP. RESEED ANY AREAS THAT MAY

REQUIRE ATTENTION IMMEDIATELY. NOTE THAT LAWN AREAS WILL NOT BE DEEMED STABLE UNTIL A MINIMUM 80% VEGETATIVE DENSITY HAS BEEN ACHIEVED.

1.15. MAINTAIN EROSION & SEDIMENTATION CONTROL MEASURES UNTIL THE SITE HAS BEEN COMPLETELY STABILIZED. ALL AREAS OF VEGETATIVE SURFACE, WHETHER PERMANENT OR TEMPORARY, SHALL BE CONSIDERED TO BE IN PLACE AND FUNCTIONAL WHEN THE REQUIRED UNIFORM RATE OF COVERAGE (80%) IS OBTAINED.

1.16. REMOVE SEDIMENT CONTROLS



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	DATE	REMARKS
1	06.03.22	Issued for Permit
2	07.19.22	City Comments
CON	ITRACT DAT	E: 05.04.22
BUILDING TYPE: END. 80FT		
PLAN VERSION: MARCH 202		MARCH 2021
BRAND DESIGNER: DICKSC		ER: DICKSON
SITE NUMBER: 31564		
STO	RE NUMBEF	R: 458047
PA/PM: SM		
DRA	DRAWN BY.: EA	
JOB	NO.:	2021088.54
	тло	

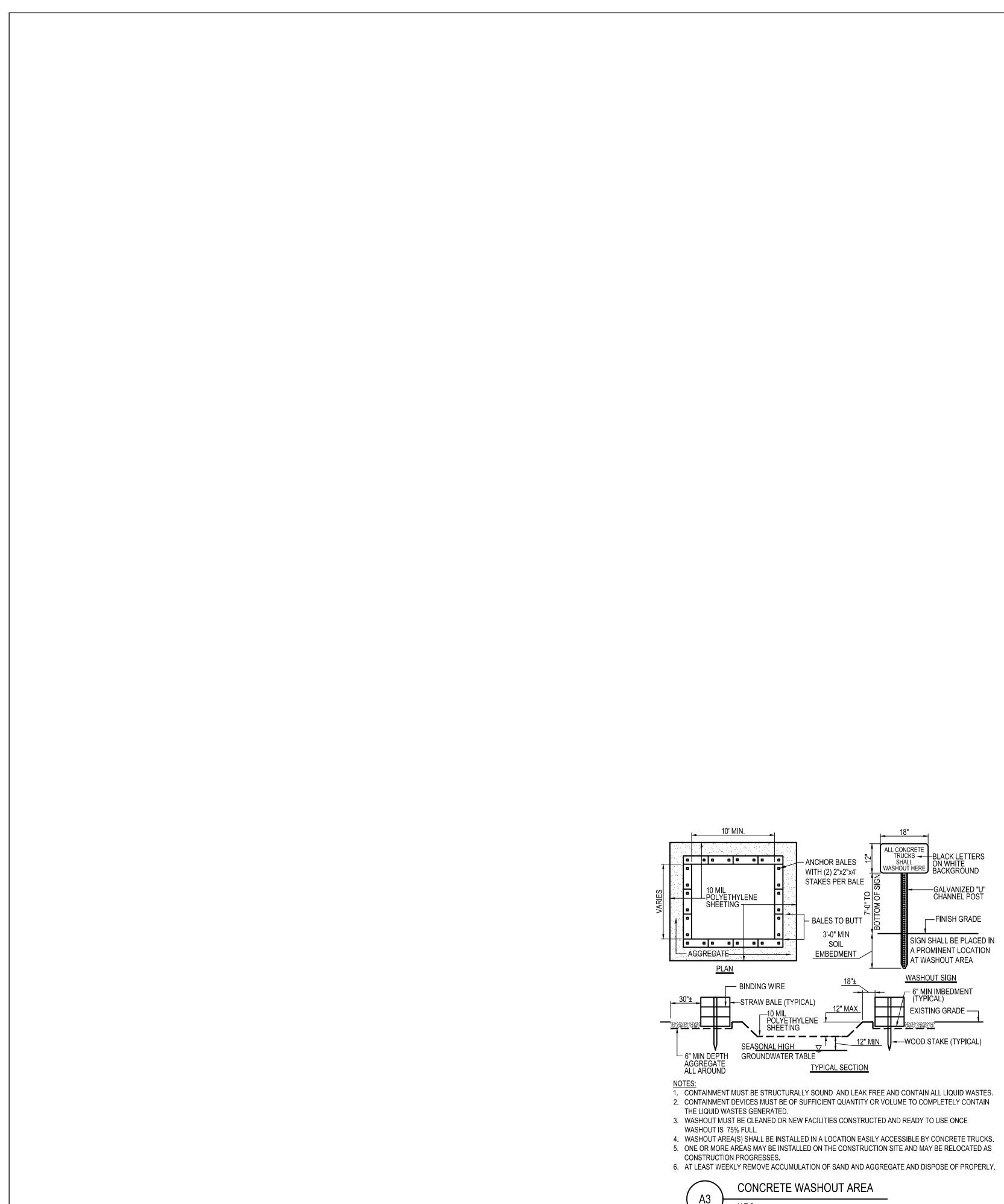
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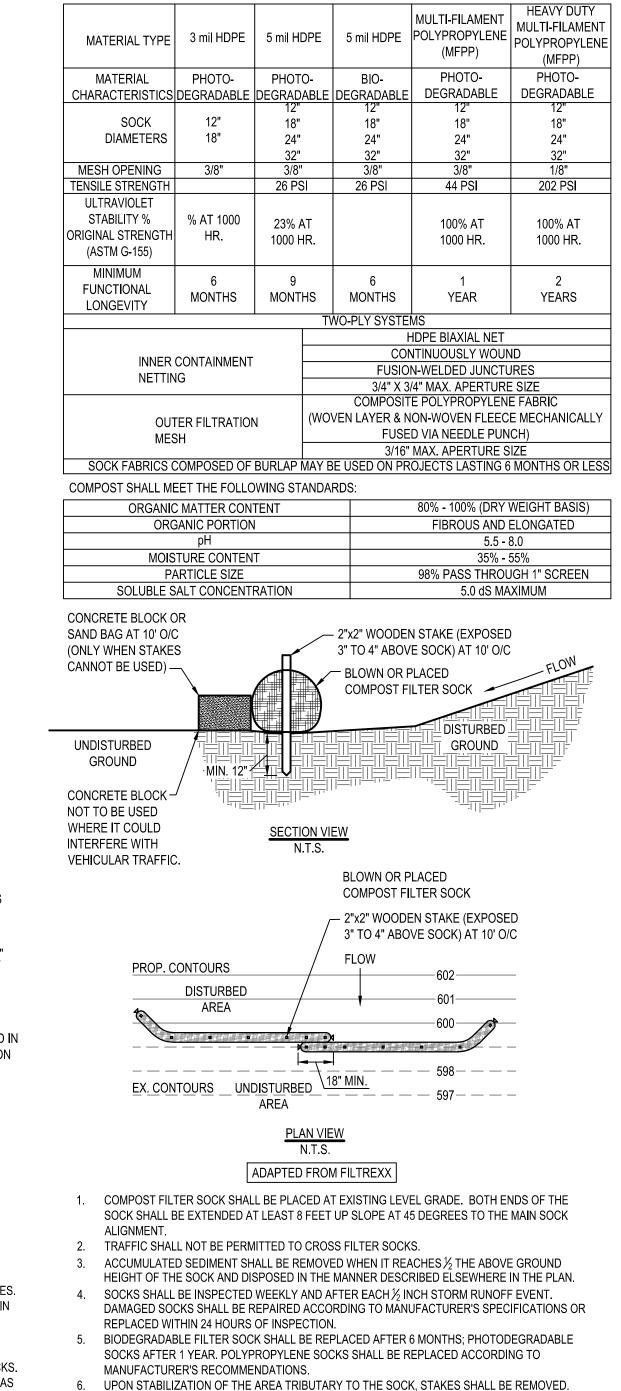
2005 East Dixon Blvd. Shelby, NC 28152



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SWPP NOTES





THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE

MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

COMPOST FILTER SOCK

A4

N.T.S.

COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

N.T.S.

NOTES:

1) SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.

2) ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.

3) TO PREVENT WATER PONDED BY THE SILT FENCE FROM FLOWING AROUND THE ENDS. EACH END SHALL BE CONSTRUCTED UPSLOPE SO THAT THE ENDS ARE AT A HIGHER ELEVATION.

4) WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.

5) WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FT. (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.

6) THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 IN. ABOVE THE ORIGINAL GROUND SURFACE.

7) THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6 INCH OVERLAP, AND SECURELY SEALED.

8) POSTS SHALL BE A MINIMUM OF 5 FEET LONG, 2 INCHES IN DIAMETER AND SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND. WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.

9) THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE CUT WITH A TRENCHER, CABLE LAYING MACHINE, OR OTHER SUITABLE DEVICE WHICH WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.

10) THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE AND SO THAT 8 IN. OF CLOTH ARE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6 IN. DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED.

11) WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.

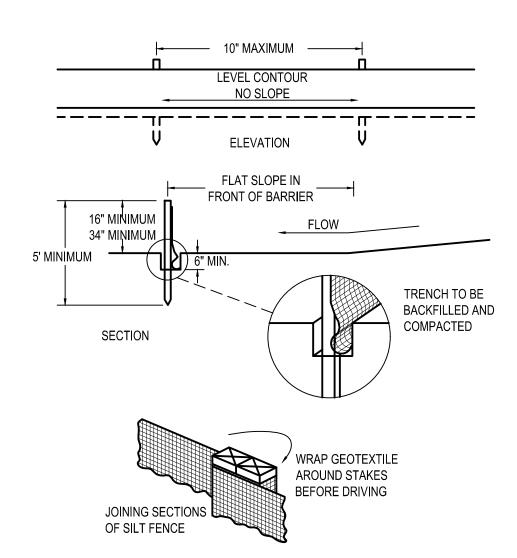
12) THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.

13) SEAMS BETWEEN SECTION OF SILT FENCE SHALL BE OVERLAPPED WITH THE END STAKES OF EACH SECTION WRAPPED TOGETHER BEFORE DRIVING INTO THE GROUND.

14) SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: A) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, B) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR C) OTHER PRACTICES SHALL BE INSTALLED.

MAINTENANCE:

SILT FENCE SHOULD BE INSPECTED REGULARLY AND FREQUENTLY AS WELL AS AFTER EACH RAINFALL EVENT TO ENSURE THAT THEY ARE INTACT AND THERE ARE NO GAPS AT THE FENCE-GROUND INTERFACE OR TEARS ALONG THE LENGTH OF THE FENCE. IF GAPS OR TEARS ARE FOUND, THEY SHOULD BE REPAIRED OR THE FABRIC REPLACED IMMEDIATELY. ACCUMULATED SEDIMENTS SHOULD BE REMOVED FROM THE FENCE BASE WHEN THE SEDIMENT REACHES ONE-THIRD TO ONE-HALF THE HEIGHT OF THE FENCE. SEDIMENT REMOVAL SHOULD OCCUR MORE FREQUENTLY IF ACCUMULATED SEDIMENT IS CREATING NOTICEABLE STRAIN ON THE FABRIC AND THERE IS THE POSSIBILITY OF THE FENCE FAILING FROM A SUDDEN STORM EVENT. WHEN THE SILT FENCE IS REMOVED, THE ACCUMULATED SEDIMENT SHOULD BE REMOVED.



CRITERIA FOR GEOTEXTILE FABRIC SILT FENCE, PER CURRENT STATE'S DOT SPECIFICATIONS.

FABRIC PROPERTIES	VALUES	TEST METHOD
MINIMUM TENSILE STRENGTH	120 LB. MINIMUM	ASTM D 4632
MINIMUM BURST STRENGTH	200 PSI MINIMUM	
MINIMUM PERMITTIVITY	1x10-2sec-1	ASTM D 4491
APPARENT OPENING SIZE	AOS <u><</u> 0.84 mm	ASTM D 4751
UV EXPOSURE STRENGTH RETENTION	70%	ASTM G 4335
MAXIMUM ELONGATION AT 60 LBS.	50%	ASTM D 4632
MINIMUM PUNCTURE STRENGTH	50 LBS (220N)	ASTM D 4833
MINIMUM TEAR STRENGTH	40 LBS (180N)	ASTM D 4533

SILT FENCE

N.T.S.

A5

GPD Engineering and Architecture Professional Corporation - C3879

> 520 South Main Street, Suite 2531 Akron, OH 44311 330.572.2100 Fax 330.572.2101

	DATE	REMARKS
1	06.03.22	Issued for Permit
2	07.19.22	City Comments
CON	ITRACT DAT	E: 05.04.22
BUILDING TYPE:		END. 80FT
PLAN VERSION: MARCH 202		
BRAND DESIGNER: DICKSO		ER: DICKSON
SITE NUMBER:		315647
STO	RE NUMBEF	R: 458047
PA/F	PM:	SM
DRA	WN BY.:	EA
JOB	NO.:	2021088.54

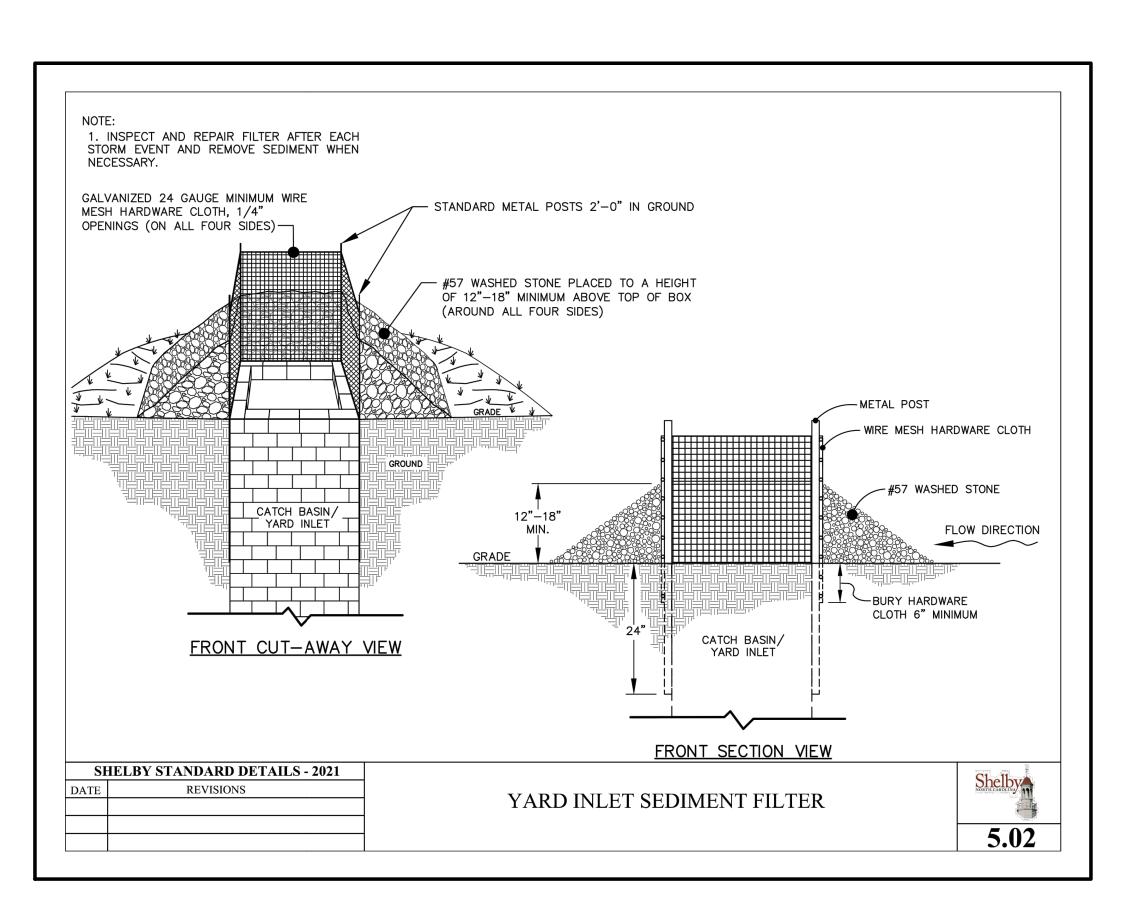
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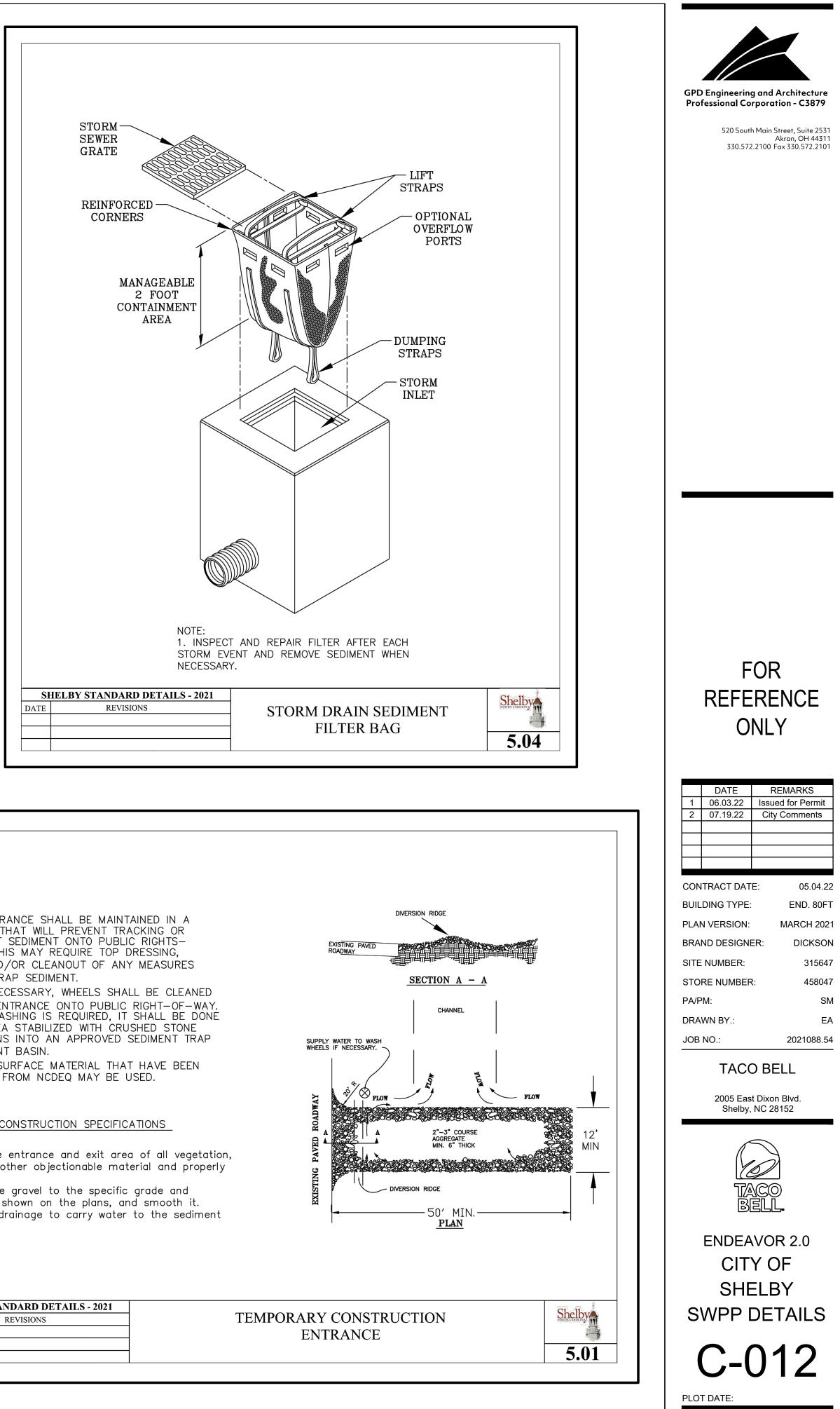
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SWPP DETAILS PLOT DATE:





This document has not been reviewed by the stamping party. Therefore, the stamping party makes no representation(s) with respect to its contents, and shall not be liable for such. Any reliance on this stamp shall be at the relying party(ies)'s own risk and hereby waives any and all claim(s) related to the existence of the stamp or otherwise.

STATE OF NORTH CAROLINA	
DEPARTMENT OF ENVIRONMENTAL QUALITY	
DIVISION OF ENERGY, MINERAL, AND LAND RESOURCES	
GENERAL PERMIT NO. NCG010000	
TO DISCHARGE STORMWATER UNDER THE	
NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM	

Construction Activities that are also Subject to the

North Carolina Sedimentation Pollution Control Act of 1973 In compliance with the provisions of North Carolina General Statute (G.S.) 143-215.1, other lawful standards and regulations promulgated and adopted by the North Carolina Environmental Management Commission and the Federal Water Pollution Control Act, as amended, this permit is hereby issued to all owners or operators, hereinafter permittees, which are covered by this permit as evidenced by receipt of a Certificate of Coverage by the Environmental Management Commission to allow the discharge of stormwater to the surface waters of North Carolina or to a separate storm sewer system conveying discharges to surface waters in accordance with the terms and conditions set forth herein.

Coverage under General Permit No. NCG010000, hereafter referred to as NCG01, is applicable to: All owners or operators of stormwater point source discharges associated with construction activities including clearing, grading, or excavation activities resulting in the disturbance of land greater than or equal to one acre, or that are part of a common plan of development of that size *that are also subject to the North* Carolina Sedimentation Pollution Control Act of 1973 (SPCA), are hereby authorized to discharge stormwater to the surface waters in accordance with the terms and conditions set forth herein. Failure to receive coverage under this permit or violations of any of the conditions listed may result in assessment of state or federal civil or criminal penalties for each day of each violation.

The General Permit shall become effective on April 1, 2019. The General Permit shall expire at midnight on March 31, 2024.

Signed this day March 29, 2019.

S. Daniel Smith

terim Director, Division of Energy, Mineral and Land Resources By the Authority of the Environmental Management Commission

	Permit No. NCG010000
should be made at least 180 days prior to the time the permit is neede (see Part IV Section B of this permit).	d unless waived by the Director

PART II - STORMWATER POLLUTION PREVENTION PLAN

The Stormwater Pollution Prevention Plan for this permit shall include the approved Erosion and Sedimentation Control (E&SC) Plan as well as any requirements in this Part that exceed the approved E&SC Plan. Items that are required in the SWPPP but are not part of the approved E&SC Plan may include, at a minimum, Section E, Item (2) [Required Timeframes for Temporary Ground Stabiliz Section F [Materials Handling]. DEMLR provides two sample plan sheets that permittees may add to their E&SC Plan set to fulfill Sections E(2) and F of this permit at https://deq.nc.gov/NCG01. Recommendations for preparing the E&SC plan as well as for designing, constructing, and maintaining the erosion and sedimentation control practices are contained in the North Carolina Erosion and Sediment Control Planning and Design Manual.

SECTION A: REQUIRED COMPONENTS OF THE STORMWATER POLLUTION PREVENTION PLAN

The E&SC Erosion and Sedimentation Control Plan shall include, at a minimum, the following components and those components shall be in compliance with all conditions of this permit. Hard and/or digital copies shall be submitted in accordance with the specifications of the E&SC plan authority.

- 1. Location Information
- Project location & labeled vicinity map (roads, streets, landmarks) North arrow and scale Identification of the River Basin
- A copy of site disturbed area located on applicable USGS quadrangle and hardbound copy of the NRCS Soils maps to scale Latitude and longitude (in decimal degrees) at the project entrance
- 2. Narrative and Construction Sequence
- Narrative describing the nature & purpose of the construction activity Construction sequence related to erosion and sediment control (including installation of critical measures prior to the initiation of the land-disturbing activity & removal of measures after areas they serve are permanently stabilized). Address all phases of construction and necessary
- iated with temporary stream bypasses and/or crossings Estimated start and end dates
- 3. General Site Features
- Property lines Existing and proposed contours (topographic lines)
- Stockpiled topsoil or subsoil locations Limits of disturbed area (with acreage labeled) within which all construction, material storage,
- grading, and related activities occur, including the following items as applicable: Access to E&SC measures, lots that will be disturbed, and utilities that may extend offsite. Temporary access and haul roads, other than public roads, constructed or used in connection with the land-disturbing activity

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SECTION D: CONSTRUCTION ACTIVITY BUFFERS

The requirements in Section D below shall not apply to a land-disturbing activity in connection with the ruction of facilities to be located on, over, or under a lake or natural watercourse (NCGS 113A-57). 1. Buffers in Non-Trout Waters

Unless wider buffers are required per NC rules or statutes, the width of the buffer shall be sufficient to confine visible sedimentation to the 25 percent of the strip closest to the land-disturbing activity The width of a buffer adjacent to a non-trout water shall be measured from the edge of the water to the nearest edge of the disturbed area.

Recommended buffer widths to achieve this standard are shown in Table 2 below.

Slope of Buffer (%)	Recommended Width of Undisturbed Vegetation Adjacent to Non-Trout Waters
0-1	15 feet
1-3	20 feet
3-5	25 feet
>5	25 feet + (% of slope - 5)

2. Buffers in Trout Waters Unless wider buffers are required per NC rules or statutes, the minimum width for an undisturbed buffer adjacent to trout waters shall be 25 feet. The width of a buffer adjacent to a trout water shall be measured horizontally from the top of bank to the nearest edge of the land-disturbing activity. However, the Sedimentation Control Commission may approve plans that include land-disturbing activity along trout waters when the duration of said disturbance would be temporary and the extent of said disturbance would be minimal. (NCGS 113A-57(1)).

SECTION E: GROUND STABILIZATION

1. Ground Stabilization Timelines Ground stabilization shall be achieved on any area of a site where land disturbing activities have ceased within the timeframes listed in Table 3 below. It is recommended to stabilize the ground more quickly if practicable. Extensions of time may be approved by the E&SC plan authority based on weather or other site-specific conditions that make compliance impracticable. Portions of a site that are lower in elevation and not expected to discharge during construction may be exempt from the temporary ground cover requirements if identified on the E&SC plan and approved by the E&SC plan authority.

Permit No. NCG010000 TABLE OF CONTENTS PART I NCG01 PERMIT COVERAGE STORMWATER POLLUTION PREVENTION PLAN PART II Section A: Required Components of the Erosion and Sedimentation Control Plan 1. Location Information 2. Narrative and Construction Sequence 3. General Site Features 4. Site Drainage Features 5. Plans Showing E&SC Measures 6. Calculations 7. Vegetative Stabilization Shown on Plans 8. Documentation Section B: Design and Construction Standards for Erosion and Sediment Control Measures 1. Objective of E&SC Measures 2. Area to Be Covered by the E&SC Plan 3. Angle for Graded Slopes 4. Upslope Areas 5. Design Standard for E&SC Measures 6. Calculation Method 7. Stormwater Outlets 8. Stormwater Conveyances 9. Sediment Basin Outlet Structures 9. Lower Portions of the Site Additional Design and Construction Standards in High Quality Water Section C: (HQW) Zones 1. Extent of the HQW Zone 2. Disturbed Area Limits in HQW Zones 3. Additional Sediment Basin Requirements in HQW Zones 4. Open Channels in HQW Zones Section D: Construction Activity Buffers 1. Buffers in Non-Trout Waters 2. Buffers in Trout Waters Permit No. NCG010000 Borrow and waste areas created by the applicant. If the land-disturbing activity and any related borrow or waste activity are not conducted by the same person, they shall be isidered separate land-disturbing activities Offsite borrow pits if the borrow pit is a construction support activity to the development Planned and existing building locations and elevations, if applicable Planned & existing road locations & elevations, including temporary access roads, if applicable Profiles of streets, utilities, and permanent ditch lines, if applicable Lot lines and/or building numbers, if applicable Easements and drainageways, particularly required for offsite affected areas, if applicable Location and details associated with any onsite stone crushing or other processing of material excavated, if applicable. A mining permit will be required if the affected area associated with excavation, processing, stockpiles and transport of such materials comprises one or more acres, and materials will be leaving the development tract 4. Site Drainage Features Existing and planned drainage patterns (include off-site areas that drain through project and address temporary and permanent conveyance of stormwater over graded slopes) Drainage area map Surface waters, including the limits of wetlands, streams, lakes and ponds and all required local or state buffer zones as well as impact maps by the construction activity to these sensitive areas. Method used to determine acreage of land being disturbed and drainage areas to all proposed E&SC measures (e.g. delineation map) Size, pipe material and location of culverts and sewers Soil information throughout the site and below culvert storm outlets, including soil type and special characteristics _____ Name and classification of receiving water course where discharges are to occur 5. Plans Showing E&SC Measures Legend (provide appropriate symbols for all measures and reference them to the construction Location of temporary and permanent E&SC measures Location of permanent stormwater quality and quantity control measures Construction drawings and details for temporary and permanent measures, including outlet structures. Show measures to scale on plan and include proposed contours where necessary Ensure design storage requirements are maintained through all phases of construction. Specifications for ground stabilization Maintenance requirements for measures Contact person responsible for maintenance, if the permittee wishes to designate one. If not, the financially responsible organization will be the contact for maintenance A note stating that material handling procedures for the items required in Part II, Section F will be followed. Standard details for structural BMPs to be installed to manage the anticipated materials listed in Part II, Section F such as construction debris management, concrete washout, paint washout, petroleum product storage and pesticide/herbicide handling, along with spill prevention practices. 6. Calculations ____ Calculations for peak discharges of runoff from each outlet at pre-development, during construction and at completion. Provide all supporting data for the computation methods used (rainfall data for required storm events, time of concentration/storm duration, and runoff coefficients).

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Table 3: Required Ground Stabilization Timeframes

Permit No. NCG010000

Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe Variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	 If slopes are 10' or less in length and are a steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	 7 days for slopes greater than 50' in lengt and with slopes steeper than 4:1 7 days for perimeter dikes, swales, ditche perimeter slopes, and HQW Zones 10 days for the Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	 7 days for perimeter dikes, swales, ditche perimeter slopes, and HQW Zones 10 days for the Falls Lake Watershed unle there is zero slope.

2. Permanent Ground Stabilization Timeline

After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

SECTION F: MATERIALS HANDLING

Any structural controls installed to manage construction materials stored or used on site shall be ncluded in the field copy of the E&SC plan. Requirements for handling materials on construction sites shall be as follows:

- 1. Polyacrylamides (PAMS) and Flocculants Polyacrylamides (PAMS) and flocculants shall be:
- (a) stored in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures designed to protect adjacent surface waters, (b) selected from the NC DWR List of Approved PAMS/Flocculants list, available at: https://files.nc.gov/ncdeq/Water%20Quality/Environmental%20Sciences/ATU/ApprovedPAM S4 1 2017.pdf, and

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Section E: Ground Stabilization 5. Test Procedures 1. Ground Stabilization Timelines 6. Duty to Mitigate 2. Permanent Ground Stabilization Timeline Section F: Materials Handling 1. Polyacrylamides (PAMS) and Flocculants 10. Property Rights 2. Equipment Fluids 11. Severability 3. Waste Materials 4. Herbicide, Pesticide, and Rodenticides 5. Concrete Materials 6. Earthen Material Stock Piles Section G: Operation and Maintenance 17. Duty to Reapply 1. Plan Deviations 18. Planned Changes 2. Operation and Maintenance 3. Corrective Actions 4. Maintenance of Sediment Basins Section B: Permit Administration 5. Bypass of E&SC Measures 1. General Permit Expiration 6. Upset of E&SC Measures 2. Transfers 7. Compliance with the Turbidity Standard 4. When an Individual Permit May be Requested PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING Section A: Self-Inspection 6. Signatory Requirements Section B: Recordkeeping Termination 1. E&SC Plan Documentation 8. Certificate of Coverage Actions 2. Additional Documentation to be Kept on Site 3. Documentation to be Kept for Three Years Section C: Reporting 11. Omissions 1. Occurrences that Must be Reported 2. Reporting Timeframes and Other Requirements PART V DEFINITIONS PART IV STANDARD CONDITIONS FOR NPDES STORMWATER GENERAL PERMITS Section A: Compliance and Liability 1. Continuation of Previously Permitted Projects 2. Projects Submitted Prior to this Permit's Effective Date 3. Duty to Comply 4. Non-Stormwater Discharges Permit No. NCG010000 _____ Design calculations for culverts and storm sewers (include headwater, tailwater and outlet Discharge and velocity calculations for open channel and ditch flows (easement & rights-of-way) Design calculations for cross sections and method of stabilization for existing and planned 4. Upslope Areas channels (include temporary linings). Include appropriate permissible velocity and shear stress. Design calculations and construction details for energy dissipaters below culvert and storn

Permit No. NCG010000

- ewer outlets (include stone/material specs & apron dimensions). Avoid discharges on fill Design calculations and dimensions for sediment traps and basins
- Total and disturbed drainage areas for silt fencing and other sediment controls
- 7. Vegetative Stabilization Shown on Plans
- Area & acreage to be stabilized with vegetation Method of soil preparation
- Seed type & rates (temporary & permanent) Fertilizer type and rates
- Mulch type and rates (include mulch anchoring methods)
- 8. Documentation
- Completed, signed & notarized Financial Responsibility/Ownership Form
- Certificate of assumed name, if the owner is a partnership Name of Registered Agent (if applicable)
- Copy of the most current Deed for the site. Please make sure the deed(s) and ownership nformation are consistent between the plan sheets, local records and this form.
- Provide latitude & longitude (in decimal degrees) at the project entrance. Army Corps 404 permit and Water Quality 401 certification, if required for project, or a
- complete application if these items are not vet issued. DWR Buffer Authorization, if required for project Copies of any recorded easements and/or agreements with adjoining property owners for
- landlocked parcels
- SECTION B: DESIGN AND CONSTRUCTION STANDARDS FOR EROSION AND SEDIMENT CONTROL MEASURES
- 1. Objective of E&SC Measures
- E&SC Measures shall be designed and constructed to prevent off-site sedimentation damage.
- 2. Area to Be Covered by the E&SC Plan The E&SC plan shall include the limits of disturbed area within which all construction, material storage, grading, and related activities occur, including the following items as applicable:
- (a) Access to E&SC measures, lots that will be disturbed, and utilities that may extend offsite, (b) Temporary access and haul roads, other than public roads, constructed or used in connection
- with the land-disturbing activity (c) Borrow and waste areas created by the applicant. If the land-disturbing activity and any related borrow or waste activity are not conducted by the same person, they shall be considered
- separate land-disturbing activities (d) Offsite borrow pits if the borrow pit is a construction support activity to the development
- 3. Angle for Graded Slopes
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- (c) used at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- 2. Equipment Fluids (a) Fuels, lubricants, coolants, and hydraulic fluids, and other petroleum products shall be
- handled and disposed of in a manner so as not to enter surface or ground waters and in accordance with applicable state and federal regulations. Equipment used on the site must be operated and maintained properly to prevent discharge of fluids.
- (b) Equipment, vehicle, and other wash waters shall not be treated in a sediment basin or ediment trap. Alternative controls should be provided such that there is no discharge of soaps, solvents, or detergents.
- 3. Waste Materials
- (a) Building material and land clearing waste shall be disposed of in accordance with North Carolina General Statutes, Chapter 130A, Article 9 - Solid Waste Management, and rules governing the disposal of solid waste (15A NCAC 13B). Areas dedicated for managing building material and land clearing waste shall be at least 50 feet away from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available.
- (b) Paint and other liquid building material waste shall not be dumped into storm drains. It is recommended to locate paint washouts at least 50 away from storm drain inlets unless there is no alternative. Other options are to install lined washouts to use portable, removable bags or
- (c) Hazardous or toxic waste shall be managed in accordance with the federal Resource Conservation and Recovery Act (RCRA) and NC Hazardous Waste Rules at 15A NCAC, Subchapter 13A.
- (d) Litter and sanitary waste shall be managed in a manner to prevent it from entering waters and shall be disposed of offsite
- Herbicide, Pesticide, and Rodenticides Herbicide, pesticide, and rodenticides shall be stored and applied in accordance with the Federal Insecticide, Fungicide, and Rodenticide Act and label restrictions.
- 5. Concrete Materials Concrete materials onsite, including excess concrete, shall be controlled and managed to avoid contact with surface waters, wetlands or buffers. No concrete or cement slurry shall be discharged from the site. (Note that discharges from onsite concrete plants require coverage under a separat
- NPDES permit NCG140000.) Any hardened concrete residue will be disposed of, or recycled on site, in accordance with local and state solid waste regulations 6. Earthen Material Stock Piles
- Earthen material stock piles shall be located at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- SECTION G: OPERATION AND MAINTENANCE 1. Modifications to the E&SC Plan
- Modifications to the approved E&SC plan that require changes to the E&SC measure designs, the drainage areas, or the disturbed areas draining to E&SC measures shall be approved by the E&SC plan authority. Deviations from the approved E&SC plan, or approved revised E&SC plan, shall constitute a violation of this permit unless the deviation is to correct an emergency situation where sediment is being discharged off the site. The E&SC plan authority may allow deviations from the E&SC plan on a case-by-case basis if the deviations are minor adjustments to Page 9 of 26

7. Need to Halt or Reduce Not a Defense 8. Civil and Criminal Liability 9. Oil and Hazardous Substance Liability 12. Duty to Provide Information 13. Inspection and Entry 14. Penalties for Tampering 15. Penalties for Falsification of Reports 16. Onshore or Offshore Construction 19. Anticipated Noncompliance

- 3. When an Individual Permit May be Required
- 5. Impacts or Potential Impacts to Surface Waters or Wetlands
- 7. General Permit Modification, Revocation and Reissuance, or
- 9. Annual Administering and Compliance Monitoring Fee Requirements
- 10. Availability of Reports

Permit No. NCG010000

Permit No. NCG010000

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- The angle for graded slopes and fills shall be no greater than the angle that can be retained by vegetative cover or other erosion control devices or structures. (NCGS 113A-57(2))
- unoff originating upslope of the disturbed areas shall be either diverted away from the construction activity or E&SC measures shall be sized sufficiently to handle the runoff. Any diversion measures shall be shown on the plans.
- 5. Design Standard for E&SC Measures Plans shall include measures necessary to prevent erosion at the limit of disturbance during the 10year storm or the 25-year storm in HQW Zones and the Falls Lake Watershed.
- 6. Calculation Method Hydrologic calculations for designing E&SC measures shall be in accordance with the procedures in the United States Department of Agriculture, Natural Resources Conservation Service's "National Engineering Field Manual Handbook 630" which is herein incorporated by reference including subsequent amendments and editions, and may be accessed at: https://www.nrcs.usda.gov/wps/portal/nrcs/detailfull/national/water elprdb1043063 or according to procedures adopted by any other agency of this state or the United States or any generally recognized organization or association
- 7. Stormwater Conveyances Any increase in stormwater runoff velocity resulting from a land-disturbing activity shall not result in accelerated erosion of the receiving stormwater conveyance during the 10-year storm or the 25-
- year storm in HQW Zones. The following additional requirements apply to stormwater
- (a) The velocity in the receiving stormwater conveyance shall not exceed the maximum permissible velocity per Table 1 except for sinuous channels. For sinuous channels, multiply allowable velocity in Table 1 by 0.95 for slightly sinuous, by 0.9 for moderately sinuous channels, and by 0.8 for highly sinuous channels

Table 1: Maximum Permissible Velocities

St	Maximum Permissible Velocity		
Stormwater conveyance in-situ material	Feet per second	Meters per second 0.8	
Fine sand (noncolloidal) Sandy loam (noncolloidal)	2.5		
Silt loam (noncolloidal)	3.0	0.9	
Ordinary firm loam Alluvial silts (noncolloidal)	3.5	1.1	
Fine gravel Stiff clay (very colloidal) Alluvial silts (colloidal)	5.0	1.5	
Graded, silt to cobbles (colloidal) Cobbles and shingles	5.5	1.7	
Coarse gravel (noncolloidal) Shale and hard pans	6.0	1.8	

(b) Conveyances may be stabilized by planting vegetation, enlarging cross sections, and/or providing erosion-resistant lining. Any erosion-resistant linings shall be shown on the plans. 8. Sediment Basin Outlet Structures

- Sediment basins and traps with drainage areas of one acre or greater shall use outlet structures that withdraw water from the surface. Page 5 of 26
- address minor deficiencies. A minor adjustment shall be the addition of E&SC measures (e.g. silt fence, inlet protection, check dams, rolled erosion control practices, etc.), or the relocation of E&SC measures that would improve the overall stormwater management and sediment control onsite. Minor adjustments shall be noted on the approved E&SC plan and maintained at the job
- 2. Operation and Maintenance The permittee shall install and maintain all temporary and permanent E&SC measures as required by this permit and the approved E&SC plan.
- 3. Corrective Actions If self-inspections required by this permit identify a need for maintenance of control measures, modifications or additions to control measures, or corrective actions to control sediment or other pollutants, these actions shall be performed as soon as possible considering adverse weather and
- 4. Draw Down of Sediment Basins for Maintenance or Close Out Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended col weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:
- (a) The E&SC Plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items, (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part
- III, Section C, Item (2)(c) and (d) of this permit, (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from
- stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems, (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent
- feasible at the outlet of the dewatering treatment devices described in Item(c) above, (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the
- discharge points of all dewatering devices, and (f) Sediment removed from dewatering treatment devices described in Item(c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States
- 5. Bypass of E&SC Measures Diversions of stormwater from E&SC measures when the design storm has not been exceeded are not allowed. Bypasses of E&SC measures shall be reported in accordance with Part III, Section C, Item (2)(c) and (d) of this permit.
- 6. Unavoidable Bypass for Public Safety A bypass may be allowed by the Director if the Director determines that all of the following
- conditions were met: (a) The bypass is unavoidable to prevent loss of life, personal injury or severe property damage, (b) There were no feasible alternatives to the bypass, such as the use of auxiliary control facilities, retention of stormwater or maintenance during normal periods of equipment downtime or dry weather. This condition is not satisfied if adequate backup controls should

have been installed in the exercise of reasonable engineering judgement to prevent a bypass Page 10 of 26

PART I - NCG01 PERMIT COVERAGE

Permit No. NCG010000

This permit applies to all owners or operators of stormwater discharges associated with construction activities such as clearing, grading, and excavation, that result in the disturbance of a land area greater than or equal to one acre, or that are part of a common plan of development of that size or greater **that** are also subject to the North Carolina Sedimentation Pollution Control Act of 1973 (SPCA). This permit may also be issued to stormwater discharges from like activities deemed by the Division of Energy, Mineral, and Land Resources (DEMLR) to be similar to these operations in process or stormwater discharges. This permit shall not apply to land-disturbing activities that are covered under the NCG020000 (Mining Activities) permit or the NCG120000 (Landfills) permit.

The SPCA requires that the persons engaged in subject construction activities develop and adhere to an Erosion and Sedimentation Control (E&SC) Plan. The Sedimentation Control Commission and DEML have created and adopted a North Carolina Erosion and Sediment Control Planning and Design Manual describing recommended sedimentation control techniques for construction activities

A person seeking coverage under this permit shall take the following steps in the following order: 1. Develop an E&SC plan that adheres to the SWPPP requirements of this permit, the SPCA and 15A NCAC 04B .0101-.0132. The North Carolina Erosion and Sediment Control Planning and Design Manual shall be used as guidance in meeting the applicable requirements. 2. Obtain approval of the E&SC plan by either DEMLR or the appropriate state delegated local

entity (hereafter known as the "E&SC plan authority"). 3. Submit an electronic Notice of Intent (e-NOI) to DEMLR with documentation of the E&SC plan approval scanned and uploaded. The e-NOI is available at https://deq.nc.gov/NCG01. Ir addition, pay the general annual permit fee provided for in § 143-215.3D. DEMLR shall email the COC within three business days (or 24 business hours for a project being reviewed under DEMLR's Express review program) after the submittal of a complete and correct e-NOI and the receipt of the general permitting fee.

4. Commence the construction activity after receipt of the COC. 5. Abide by the conditions of both the NCG01 permit and the E&SC plan until completion of the

onstruction activity and establishment of permanent ground stabilizatio 6. Contact the E&SC plan authority after construction is complete and the site is permanently stabilized, contact the E&SC plan authority for the final/close out inspection of the E&SC plan. 7. Submit an electronic Notice of Termination (e-NOT) with a scan of the close-out inspection report uploaded. The e-NOT is available at https://deg.nc.gov/NCG01. DEMLR shall email confirmation of the close-out of the COC within three business days after the submittal of a complete and correct e-NOT

The discharges allowed by this General Permit shall not cause or contribute to violations of North Carolina Water Quality Standards for surface waters and wetlands (15A NCAC 02B .0200). Discharges allowed by this permit must meet all applicable water quality certification or permit requirements a outlined in 15A NCAC 02H .0500 and 02H .1300. This permit does not relieve the permittee from responsibility for compliance with any other applicable federal, state, or local law, rule, standard, ordinance, order, judgment, or decree. This General Permit does not cover any other point source discharge to surface waters of the state, nor does it cover activities or discharges that are covered by an individual NPDES permit.

Any owner or operator of a subject construction activity not wishing to be covered or limited by this General Permit may apply for an individual NPDES permit in accordance with NPDES procedures in 15A NCAC 02H .0100, stating the reasons supporting the request. Any application for an individual permit

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9. Lower Portions of the Site Portions of a site that are lower in elevation than adjacent discharge locations and are not expected to discharge during construction may be exempt from the temporary ground cover requirements if identified on the approved E&SC plan or added by the E&SC plan authority.

SECTION C: ADDITIONAL DESIGN AND CONSTRUCTION STANDARDS IN HIGH **QUALITY WATER (HQW) ZONES**

1. Extent of the HOW Zone

HQW Zones are those areas in the 20 Coastal Counties that are within 575 feet of High Quality Waters and for the remainder of the state, areas that are within one mile of and drain to HQWs.

2. Disturbed Area Limits in HQW Zones Disturbed areas in HQW zones shall be limited at any time to a maximum total area within the boundaries of the tract of 20 acres. Only the portion of the construction activity within a HQW zone shall be subject to the 20-acre limit. Larger disturbed areas may be allowed with the written approval of the Director upon providing adequate engineering justification with a specific onstruction sequence that addresses phasing, limited exposure, weekly submitted self-inspection reports and/or more conservative design than the 25-year storm. The Director may also include other conditions as necessary based on specific site conditions.

3. Additional Sediment Basin Requirements in HOW Zones

diment basins that discharge to HQW Zones shall be designed and constructed to meet the following criteria unless the permittee demonstrates to the E&SC plan authority that meeting each of the basin design conditions below would result in design or operational hardships. Alternative ol measures, such as quicker application of ground cover or use of sediment flocculants, shall be allowed as a substitute on a case-by-case basis if it can be shown that use of the alternate practices is expected to result in an equal or better sediment discharge reduction from the site.

(a) Use a surface withdrawal mechanism except when the basin drainage area is less than 1.0 acre. (b) Have a minimum of 1800 cubic feet per of storage area per acre of disturbed area. (c) Have a minimum surface area of 325 square feet per cfs for the peak flow from the 25-year

(d) Have a minimum dewatering time of 48 hours.

(e) Incorporate three baffles unless the basin is less than 20 feet in length, in which case two baffles are sufficient.

4. Open Channels in HOW Zones

Newly constructed open channels in HQW zones shall be designed and constructed with side slopes no steeper than two horizontal to one vertical if a vegetative cover is used for stabilization unless soil conditions permit a steeper slope or where the slopes are stabilized by using mechanical devices, structural devices or other acceptable ditch liners. The angle for side slopes shall be sufficient to restrain accelerated erosion.

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Permit No. NCG010000

which occurred during normal periods of equipment downtime or preventative

maintenance, and (c) the permittee submitted a notice of the bypass per the record-keeping requirements in Part

III, Section C, Item (2)(c) and (d) of this permit. 7. Upset of E&SC Measures

Diversions of stormwater from E&SC measures may be considered as an upset if the permittee can demonstrate that all of the following conditions have been met. In any enfo proceeding, the permittee seeking to establish the occurrence of an upset has the burden of

(a) The permittee submitted notice of the upset as required in this general permit and identifies

the cause(s) of the upset. (b) The permittee demonstrates that the upset was not caused by operational error, improperly designed treatment or control facilities, lack of preventive maintenance, or careless or

improper operation.

(c) The permittee agrees to take remedial measures if necessary.

This document has not been reviewed by the stamping party. Therefor the stamping party makes no representation(s) with respect to its contents, and shall not be liable for such. Any reliance on this stamp shall be at the relying party(ies)'s own risk and hereby waives any and al claim(s) related to the existence of the stamp or otherwise.

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GPD Engineering and Architecture Professional Corporation - C3879

> 520 South Main Street, Suite 2531 Akron, OH 44311 330.572.2100 Fax 330.572.2101

	DATE	REMARKS
1	06.03.22	Issued for Permit
2	07.19.22	City Comments
CON	ITRACT DAT	E: 05.04.22
BUILDING TYPE:		END. 80FT
PLAN VERSION:		MARCH 2021
BRAND DESIGNE		ER: DICKSON
SITE NUMBER:		315647
STORE NUMBER		R: 458047
PA/PM:		SM
DRAWN BY .:		EA
JOB NO.:		2021088.54
JOB	NO.:	2021088.54

TACO BELL

2005 East Dixon Blvd. Shelby, NC 28152



ENDEAVOR 2.0

NPDES NOTES

Permit No. NCG010000

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTIONS

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Table 4: Self-Inspection Requirements (during normal Inspection records must include: Inspect business hours) (1) Rain gauge Daily Daily rainfall amount If no daily rain gauge observations are made during weekend or maintained in good working holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those un attended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division. (2) E&SC At least once per Identification of the measures inspected 2. Date and time of the inspection, Measures 7 calendar days and within 24 3. Name of the person performing the inspection 4. Indication of whether the measures were operating hours of a rain event > 1.0 inch 5. Description of maintenance needs for the measure, in 24 hours Description, evidence, and date of corrective actions taken. 3) Stormwater At least once per Identification of the discharge outfalls inspected 7 calendar days Date and time of the inspection, discharge outfalls (SDOs) and within 24 3. Name of the person performing the inspection 4. Evidence of indicators of stormwater pollution such as oil hours of a rain event > 1.0 inch sheen, floating or suspended solids or discoloration, Indication of visible sediment leaving the site, in 24 hours 6. Description, evidence, and date of corrective actions taken (4) Perimeter At least once per If visible sedimentation is found outside site limits, then a record of the following shall be made: 7 calendar days 1. Actions taken to clean up or stabilize the sediment that has left and within 24 hours of a rain the site limits, event > 1.0 inch 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future in 24 hours (5) Streams or At least once per If the stream or wetland has increased visible sedimentation or a wetlands onsite 7 calendar days stream has visible increased turbidity from the construction and within 24 activity, then a record of the following shall be made: or offsite 1. Description, evidence and date of corrective actions taken, and (where hours of a rain Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit $event \ge 1.0$ inch accessible) in 24 hours of this permit.

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case of a second or subsequent conviction for a knowing endangerment violation, a person shall be subject to a fine of not more than \$500,000 or by imprisonment of not more than 30 years, or both. An organization, as defined in section 309(c)(3)(B)(iii) of the CWA, shall, upon onviction of violating the imminent danger provision, be subject to a fine of not more than \$1,000,000 and can be fined up to \$2,000,000 for second or subsequent convictions. [40 CFR 122.41(a)(2)]

- (f) Under state law, a civil penalty of not more than \$25,000 per violation may be assessed against any person who violates or fails to act in accordance with the terms, conditions, or requirements of a permit. [North Carolina General Statutes § 143-215.6A]
- (g) Any person may be assessed an administrative penalty by the Administrator for violating section 301, 302, 306, 307, 308, 318 or 405 of this Act, or any permit condition or limitation mplementing any of such sections in a permit issued under section 402 of this Act. Administrative penalties for Class I violations are not to exceed \$20,628 per violation, with the maximum amount of any Class I penalty assessed not to exceed \$51,570. Penalties for Class II riolations are not to exceed \$20,628 per day for each day during which the violation continues, with the maximum amount of any Class II penalty not to exceed \$257,848. [33 USC 1319(g)(2) and 40 CFR 122.41(a)(3)]
- 4. Non-Stormwater Discharges If a storm event monitored in accordance with this general permit coincides with a non-stormwater discharge, the permittee shall separately monitor all parameters as required under all other applicable discharge permits and provide this information with the stormwater discharge monitoring report.
- 5. Test Procedures est procedures for the analysis of pollutants shall conform to the EMC regulations published pursuant to NCGS 143-215.63 et. seq, the Water and Air Quality Reporting Acts, and to regulations ublished pursuant to Section 304(g), 33 USC 1314, of the Federal Water Pollution Control Act, as Amended, and Regulation 40 CFR 136.

To meet the intent of the monitoring required by this general permit, all test procedures must produce minimum detection and reporting levels and all data generated must be reported down to the minimum detection or lower reporting level of the procedure. If no approved methods are etermined capable of achieving minimum detection and reporting levels below general permit discharge requirements, then the most sensitive (method with the lowest possible detection and eporting level) approved method must be used.

- 6. Duty to Mitigate The permittee shall take all reasonable steps to minimize or prevent any discharge in violation of this general permit which has a reasonable likelihood of adversely affecting human health or the environment. [40 CFR 122.41(d)]
- 7. Need to Halt or Reduce Not a Defense t shall not be a defense for a permittee in an enforcement action that it would have been necessary to halt or reduce the permitted activity in order to maintain compliance with the condition of this general permit. [40 CFR 122.41[c)]
- 8. Civil and Criminal Liability Except as provided in Part II, Section B of this general permit regarding bypassing of stormwater control facilities, nothing in this permit shall be construed to relieve the permittee from any responsibilities, liabilities, or penalties for noncompliance pursuant to NCGS 143-215.3, 143-215.6A. 143-215.6B, 143-215.6C, or Section 309 of the Federal Act, 33 USC 1319. Furthermore, the

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9. Annual Administering and Compliance Monitoring Fee Requirements mittee must pay the administering and compliance monitoring fee within 30 (thirty) days after being billed by the Division. Failure to pay the fee in timely manner in accordance with 15A NCAC 2H .0105(b)(2) may cause this Division to initiate action to revoke coverage under the general

10. Availability of Reports Except for data determined to be confidential under NCGS 143-215.3(a)(2) or Section 308 of the Federal Act, 33 USC 1318, all reports prepared in accordance with the terms shall be available for public inspection at the offices of the Division. As required by the Act, analytical data shall not be considered confidential. Knowingly making any false statement on any such report may result in the imposition of criminal penalties as provided for in NCGS 143-215.6B or in Section 309 of the Federal

11. Omissions Where the Permittee becomes aware that it failed to submit any relevant facts in a Notice of Intent to be covered under this general permit, or submitted incorrect information in that Notice of Intent application or in any report to the Director, it shall promptly submit such facts or information. [40 CFR 122.41(l)(8)]

This document has not been reviewed by the stamping party. Therefor the stamping party makes no representation(s) with respect to its contents, and shall not be liable for such. Any reliance on this stamp shall be at the relying party(ies)'s own risk and hereby waives any and all claim(s) related to the existence of the stamp or otherwise.

(6) Ground stabilization measures	After each phase of grading	 The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover).
		 Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The items listed in Table 5 pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours. Table 5: Recordkeeping Requirements Item to Document Documentation Requirements

(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.		
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan o complete, date and sign an inspection report to indicate completion of the construction phase.		
(c) Ground cover is located and installed in accordance with the approved E&SC Plan.	Initial and date a copy of the approved E&SC plan of complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.		
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.		
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.		

2. Additional Documentation to be Kept on Site

- addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspections at all times during normal business hours, unless the Division provides a
- site-specific exemption based on unique site conditions that make this requirement not practical: (a) This General Permit as well as the Certificate of Coverage, after it is received.
- (b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a simil

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inspection form that includes all the required elements. Use of electronically-available records

Permit No. NCG010000

- nittee is responsible for consequential damages, such as fish kills, even though the responsibility for effective compliance may be temporarily suspended.
- 9. Oil and Hazardous Substance Liability Nothing in this general permit shall be construed to preclude the institution of any legal action or
- relieve the permittee from any responsibilities, liabilities, or penalties to which the permittee is o may be subject to under NCGS 143-215.75 et seq. or Section 311 of the Federal Act, 33 USC 1321. **10. Property Rights**
- The issuance of this general permit does not convey any property rights in either real or personal property, or any exclusive privileges, nor does it authorize any injury to private property or any on of personal rights, nor any infringement of Federal, State or local laws or regulations [40 CFR 122.41(g)]. 11. Severability
- The provisions of this general permit are severable, and if any provision of this general permit, or the application of any provision of this general permit to any circumstances, is held invalid, the pplication of such provision to other circumstances, and the remainder of this general permit, shall not be affected thereby [NCGS 150B-23].
- 12. Duty to Provide Information

he permittee shall furnish to the Division, within a reasonable time, any information which the Division may request to determine whether cause exists for modifying, revoking and reissuing, or terminating the general permit issued pursuant to this general permit or to determine compliance with this general permit. The permittee shall also furnish to the Division upon request, copies of records required to be kept by this general permit [40 CFR 122.41(h)].

13. Inspection and Entry The permittee shall allow the Director, an authorized representative (including an authorized

- contractor acting as a representative of the Director), or an authorized representative of a municipal onerator or the separate storm sewer system receiving the discharge (if applicable), upon the resentation of credentials and other documents as may be required by law, to:
- (a) Enter upon the permittee's premises where a regulated facility or activity is located or ducted, or where records must be kept under the conditions of this general permit;
- (b) Have access to and copy, at reasonable times, any records that must be kept under the
- conditions of this general permit; (c) Inspect at reasonable times any facilities, equipment (including monitoring and control
- equipment), practices, or operations regulated or required under this general permit; and otherwise authorized by the Clean Water Act, any substances or parameters at any location. [40 CFR 122.41(i)]

14. Penalties for Tampering The Clean Water Act provides that any person who falsifies, tampers with, or knowingly renders inaccurate, any monitoring device or method required to be maintained under this general permit shall, upon conviction, be punished by a fine of not more than \$10,000 per violation, or by imprisonment for not more than two years per violation, or by both. If a conviction of a person is for a violation committed after a first conviction of such person under this paragraph, punishment is a ne of not more than \$20,000 per day of violation, or by imprisonment of not more than 4 years, or both [40 CFR 122.41].

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PART V DEFINITIONS

Permit No. NCG010000

1. Act See Clean Water Act.

- 2. Adverse Weather
- e conditions that are dangerous or create inaccessibility for personnel, such as local flooding, high winds, electrical storms, winter weather conditions, or situations that otherwise make inspections impractical. When adverse weather or site conditions prevent or restrict access to omplete a regular or rain event inspection, this should be clearly documented on the next issued report. Documentation should include the inspector's name, the date and time, and a written narrative of the adverse weather or site condition. Adverse weather or site conditions do not exempt the permittee from having to file an inspection report in accordance with Section II. B of this
- 3. Allowable Non-Stormwater Discharges This general permit regulates stormwater discharges. Non-stormwater discharges which shall be allowed in the stormwater conveyance system are:
- (a) All other discharges that are authorized by a non-stormwater NPDES permit. (b) Uncontaminated groundwater, foundation drains, air-conditioner condensate without added chemicals, springs, discharges of uncontaminated potable water, waterline and fire hydrant flushings, water from footing drains, and irrigation waters, flows that do not result in a water quality standards violation.
- (c) Discharges resulting from fire-fighting or fire-fighting training, or emergency shower or eye wash as a result of use in the event of an emergency. 4. Best Management Practices (BMPs)
- res or practices used to reduce the amount of pollution entering surface waters. BMPs may take the form of a process, activity, or physical structure
- The known diversion of stormwater from any portion of a stormwater control facility including the collection system, which is not a designed or established operating mode for the facility. 6. Certificate of Coverage
- The cover sheet that accompanies a general permit upon issuance and lists the facility name, location, receiving stream, river basin, effective date of coverage under the general permit and is signed by the Director
- 7. Clean Water Act The Federal Water Pollution Control Act, also known as the Clean Water Act (CWA), as amended, 33 USC 1251, et. seq.
- 8. Common Plan of Development A contiguous area where multiple separate and distinct land disturbing activities may be taking place at different times and on different schedules under one common plan. The "common plan" of development or sale is broadly defined as any announcement or piece of documentation (inc sign, public notice or hearing, sales pitch, advertisement, drawing, permit application, zoning request, computer design, etc.) or physical demarcation (including boundary signs, lot stakes, surveyor markings, etc.) indicating construction activities are planned to occur on a specific plot regardless of ownership of the parcels..

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as the hard-copy records 3. Documentation to be Retained for Three Years All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

in lieu of the required paper copies will be allowed if shown to provide equal access and utility

- SECTION C: REPORTING
- 1. Occurrences that Must be Reported
- Permittees shall report the following occurrences (a) Visible sediment deposition in a stream or wetland.
- (b) Oil spills if:
- They are 25 gallons or more, • They are less than 25 gallons but cannot be cleaned up within 24 hours,
- They cause sheen on surface waters (regardless of volume), or • They are within 100 feet of surface waters (regardless of volume).
- (c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act Ref: 40 CFR 110.3and 40 CFR 117.3) or section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- (d) Anticipated bypasses and unanticipated bypasses.
- (e) Noncompliance with the conditions of this permit that may endanger health or the
- 2. Reporting Timeframes and Other Requirements er a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other quirements listed in Table 6 below. Occurrences outside normal business hours may also b reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.
- Table 6: Reporting Requirement Reporting Timeframes (After Discovery) and Other Requirements (a) Visible sediment
 Within 24 hours, an oral or electronic notification.
 Within 7 calendar days, a report that contains a description of the stream or wetland sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a caseby-case basis. If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional quirements are needed to assure compliance with the federal or state paired-waters conditions. • Within 24 hours, an oral or electronic notification. The notification shall (b) Oil spills and release of hazardous include information about the date, time, nature, volume and location of substances per Item the spill or release. 1(b)-(c) above • A report at least ten days before the date of the bypass, if possible. The (c) Anticipated ypasses [40 CFR report shall include an evaluation of the anticipated quality and effect of 122.41(m)(3)] the bypass.

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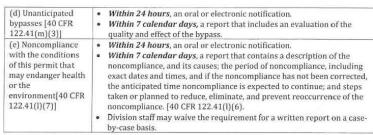
- 15. Penalties for Falsification of Reports The Clean Water Act provides that any person who knowingly makes any false statement, representation, or certification in any record or other document submitted or required to be maintained under this general permit, including monitoring reports or reports of compliance or prompliance shall, upon conviction, be punished by a fine of not more than \$10,000 per violation, or by imprisonment for not more than two years per violation, or by both [40 CFR 122.41].
- 16. Onshore or Offshore Construction This general permit does not authorize or approve the construction of any onshore or offshore physical structures or facilities or the undertaking of any work in any navigable waters.
- 17. Duty to Reapply Dischargers covered by this general permit need not submit a new Notice of Intent (NOI) or renewal
- request unless so directed by the Division. If the Division chooses not to renew this general permi he permittee will be notified to submit an application for an individual permit. [15A NCAC 02H
- 18. Planned Changes The permittee shall give notice to the Director as soon as possible of any planned changes at the permitted facility which could significantly alter the nature or quantity of pollutants discharged [40 CFR 122.41(I)]. This notification requirement includes pollutants which are not specifically listed in the general permit or subject to notification requirements under 40 CFR Part 122.42 (a).
- 19. Anticipated Noncompliance The permittee shall give advanced notice to the Director of any planned changes at the permitted facility which may result in noncompliance with the general permit. [40 CFR 122.41(l)(2)]
- SECTION B: PERMIT ADMINISTRATION
- 1. General Permit Expiration General permits will be effective for a term not to exceed five years, at the end of which the Division may renew them after all public notice requirements have been satisfied. If a general permit is enewed, existing permittees do not need to submit a renewal request or pay a renewal fee unless directed by the Division. New applicants seeking coverage under a renewed general permit must ubmit a Notice of Intent to be covered and obtain a Certificate of Coverage under the renewed general permit. [15A NCAC 02H .0127(e)]
- This general permit is not transferable to any person without prior written notice to and approval n the Director in accordance with 40 CFR 122.61. The Director may co accordance with NCGS 143-215.1, in particular NCGS 143-215.1(b)(4) b.2., and may require nodification or revocation and reissuance of the Certificate of Coverage, or a minor modification, to identify the new permittee and incorporate such other requirements as may be necessary under the CWA [40 CFR 122.41(l)(3), 122.61] or state statute. The Permittee is required to notify the Division in writing in the event the permitted facility is sold or closed.
- 3. When an Individual Permit May be Required he Director may require any owner/operator authorized to discharge under a certificate of coverage issued pursuant to this general permit to apply for and obtain an individual permit or an lternative general permit. Any interested person may petition the Director to take action under this paragraph. [15A NCAC 02H .0127(i)-(j)] Cases where an individual permit may be required include, but are not limited to, the following:

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- 9. Concrete Washout
- Wastewater resulting from the washing of equipment such as trucks, chutes, hoses, mixers, hoppers, wheelbarrows, and tools that are used to produce, handle, or store concrete and other cementitious materials such as mortar, plaster, stucco, or grout.
- 10. Control Measure Any BMP or other structural or non-structural practice or procedure used to prevent or reduce the discharge of pollutants including practices to control erosion and sedimentation.
- 11. Division or DEMLR The Division of Energy, Mineral, and Land Resources of the NC Department of Environmental Quality (DEQ).

will be the Division.

- The Director of the Division of Energy, Mineral, and Land Resources of the NC Department of onmental Quality (DEQ).
- 13. EMC The North Carolina Environmental Management Commission.
- 14. Erosion and Sedimentation Control (E&SC) Plan A plan developed in compliance with the North Carolina Sedimentation Pollution Control Act of 1973 in G.S. 113A-50 et seq. to prevent sediment resulting from accelerated erosion from being ransported off the site of the land-disturbing activity or in waters.
- 15. Erosion and Sedimentation Control (E&SC) Plan Authority The entity responsible for reviewing and approving the Erosion and Sediment Control Plan. Within some local governments' jurisdictions, this will be a delegated program. Elsewhere, it
- 16. Erosion and Sediment Control (E&SC) Measure
- emporary and permanent practices and devices to prevent sediment resulting from accelerated erosion from being transported off the site of the land-disturbing activity or in waters of the State of North Carolina. E&SC measures, include, but are not limited to, sedimentation traps, edimentation ponds, rock dams, temporary diversions, temporary slope drains, rock check dams, sediment fence or barriers, all forms of inlet protection, storm drainage facilities, energy ssipaters and stabilization methods of open channels.
- 17. Ground Cover Any vegetative growth or other material which, when applied to the soil surface, renders the soil surface stable against accelerated erosion.
- 18. Hazardous Substance Any substance designated under 40 CFR Part 116 pursuant to Section 311 of the Clean Water Act. 19. Landfill
- A disposal facility or part of a disposal facility where waste is placed in or on land and which is not a land treatment facility, a surface impoundment, an injection well, a hazardous waste long-term storage facility or a surface storage facility.
- **20. Normal Business Hours** hese are generally considered to be between the hours of 6 a.m. and 6 p.m., or when workers are normally present on the construction site. Weekends, state and federal holidays are not considered normal business hours unless construction activities are taking place on the site during those times.



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- (a) The discharger is a significant contributor of pollutants; (b) The receiving stream is of a unique quality and the standard conditions may not provide
- adequate protection; (c) Conditions at the permitted site change, altering the constituents and/or characteristics of the
- discharge such that the discharge no longer qualifies for a general permit;
- (d) The discharge violates the terms or conditions of this general permit (e) A change has occurred in the availability of demonstrated technology or practices for the
- control or abatement of pollutants applicable to the point source;
- (f) Effluent limitations are promulgated for the point sources covered by this general permit; (g) A water quality management plan containing requirements applicable to such point sources is
- approved after the issuance of this general permit; (h) The Director determines at his or her own discretion that an individual permit is required.
- 4. When an Individual Permit May be Requested Any permittee operating under this general permit may request to be excluded from the coverage of this general permit by applying for an individual permit. When an individual permit is issued to an owner/operator the applicability of this general permit is automatically terminated on the effective date of the individual permit. [15A NCAC 02H .0127(h)]
- 5. Impacts or Potential Impacts to Surface Waters or Wetlands
- If evidence indicates that the stormwater discharges from the site are impacting or have the potential to impact surface waters or wetlands, then the Division may take appropriate actions cluding any or all of the following:
- a) take compliance and enforcement action: b) require the permittee to include and implement appropriate control and restoration
- c) require the permittee to develop and implement additional site-specific stormwater
- d) require the permittee to obtain an individual permit
- 6. Signatory Requirements

21. Notice of Intent

Il applications, reports, or information submitted to the Permitting Issuing Authority shall be signed and certified. [40 CFR 122.41(k)] (a) All Notices of Intent to be covered under this general permit shall be signed as follows: • For a corporation: by a responsible corporate officer. For the purpose of this Section, a icer means: (a) a president, se president of the corporation in charge of a principal business function, or any other person who performs similar policy or decision making functions for the corporation, or (b) the manager of one or more manufacturing, production, or operating facilities. provided, the manager is authorized to make management decisions which govern the operation of the regulated facility including having the explicit or implicit duty of making major capital investment recommendations, and initiating and directing other comprehensive measures to assure long term environmental compliance with environmental laws and regulations; the manager can ensure that the necessary systems re established or actions taken to gather complete and accurate information for permit application requirements; and where authority to sign documents has been assigned or delegated to the manager in accordance with corporate procedures.

• For a partnership or sole proprietorship: by a general partner or the proprietor, respectively; or

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- The state application form which, when submitted to the Division, officially indicates the facility's notice of intent to seek coverage under a general permit.
- 22. Permanent Stabilization When all soil disturbing activity is completed and exposed soils have been stabilized with a vegetative cover with a density of at least 80% or covered with a structural stabilization method. Permanent perennial vegetation may include the use of sod, shrubs and ground cover plants mixed with mulching, aggregate or other landscaping techniques. Structural methods include concrete, asphalt, retaining wall or other stabilization techniques.
- 23. Permittee The person, firm or organizational entity that signed as the financially responsible party on the Erosion and Sedimentation Control Plan.
- 24. Point Source Discharge of Stormwater Any discernible, confined and discrete conveyance including, but not specifically limited to, any pipe, ditch, channel, tunnel, conduit, well, or discrete fissure from which stormwater associated with industrial activity is or may be discharged to waters of the state.
- 25. Secondary Containment Spill containment for the contents of the single largest tank within the containment structure plus sufficient freeboard to allow for the 25-year, 24-hour storm event.

26. Section 313 Water Priority Chemical chemical or chemical category which

- (a) Is listed in 40 CFR 372.65 pursuant to Section 313 of Title III of the Superfund Amendments and Reauthorization Act (SARA) of 1986, also titled the Emergency Planning and Community Right-to-Know Act of 1986; (b) Is present at or above threshold levels at a facility subject to SARA title III, Section 313
- eporting requirements; and
- (c) Meets at least one of the following criteria:
- Is listed in appendix D of 40 CFR part 122 on Table II (organic priority pollutants), Table III (certain metals, cyanides, and phenols) or Table IV (certain toxic pollutants and hazardous substances); • Is listed as a hazardous substance pursuant to section 311(b)(2)(A) of the CWA at 40 CFR
- 116.4: or
- Is a pollutant for which EPA has published acute or chronic water quality criteria. 27. Soil Stabilization
- The use of vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.
- 28. Stormwater Discharge Outfall (SDO) "he point of departure of stormwater from a discernible, confined, or discrete conveyance, including but not limited to, storm sewer pipes, drainage ditches, channels, spillways, or channelized collection areas, from which stormwater flows directly or indirectly into waters
- 29. Stormwater Runoff The flow of water which results from precipitation and which occurs immediately following rainfall or as a result of snowmelt.

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PART IV STANDARD CONDITIONS FOR NPDES

STORMWATER GENERAL PERMITS

SECTION A: COMPLIANCE AND LIABILITY

1. Continuation of Previously Permitted Projects Projects and their corresponding activities permitted under the previous version of the NC general permit for construction activities will automatically be considered covered under this general permit without the submittal of a Notice of Intent form. In addition, an annual general permit fee shall not be required for projects covered under the previous version of the NC general permit for construction activities.

2. Projects Submitted Prior to this Permit's Effective Date Complete project applications that were received prior to the effective date of this permit but

not approved by the E&SC plan authority until after approval of this NPDES permit, can rely on design and management practices effective at the time of application submittal. 3. Duty to Comply

The permittee must comply with all conditions of this general permit. Any permit noncompliance constitutes a violation of the Clean Water Act (CWA) and is grounds for enforcement action; for permit termination, revocation and reissuance, or modification; or denial of a permit upon renewal application. [40 CFR 122.41]

- (a) The permittee shall comply with standards or prohibitions established under section 307(a) of the CWA for toxic pollutants within the time provided in the regulations that establish these standards or prohibitions, even if the general permit has not yet been modified to incorporate the requirement. [40 CFR 122.41]
- (b) The CWA provides that any person who violates section[s] 301, 302, 306, 307, 308, 318 or 405 of the Act, or any permit condition or limitation implementing any such sections in a permit issued under section 402, or any requirement imposed in a pretreatment program approved under sections 402(a)(3) or 402(b)(8) of the Act, is subject to a civil penalty not to exceed \$37,500 per day for each violation. [33 USC 1319(d) and 40 CFR 122.41(a)(2)]
- (c) The CWA provides that any person who negligently violates sections 301, 302, 306, 307, 308, 318, or 405 of the Act, or any condition or limitation implementing any of such sections in a permit issued under section 402 of the Act, or any requirement imposed in a pretreatme program approved under section 402(a)(3) or 402(b)(8) of the Act, is subject to criminal penalties of \$2,500 to \$25,000 per day of violation, or imprisonment of not more than 1 year, or both. In the case of a second or subsequent conviction for a negligent violation, a person shall be subject to criminal penalties of not more than \$50,000 per day of violation, or by imprisonment of not more than 2 years, or both. [33 USC 1319(c)(1) and 40 CFR 122.41(a)(2)] (d) Any person who knowingly violates such sections, or such conditions or limitations is subject
- to criminal penalties of \$5,000 to \$50,000 per day of violation, or imprisonment for not more than 3 years, or both. In the case of a second or subsequent conviction for a knowing violation, a person shall be subject to criminal penalties of not more than \$100,000 per day of violation, or imprisonment of not more than 6 years, or both. [33 USC 1319(c)(2) and 40 CFR 122.41(a)(2)] (e) Any person who knowingly violates section 301, 302, 303, 306, 307, 308, 318 or 405 of the Act,
- or any permit condition or limitation implementing any of such sections in a permit issued under section 402 of the Act, and who knows at that time that he thereby places another person in imminent danger of death or serious bodily injury, shall, upon conviction, be subject to a fine of not more than \$250,000 or imprisonment of not more than 15 years, or both. In the Page 16 of 26

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 For a municipality, State, Federal, or other public agency: by either a principal executive officer or ranking elected official. [40 CFR 122.22

(b) All reports required by the general permit and other information requested by the Director shall be signed by a person described in paragraph a. above or by a duly authorized representative of that person. A person is a duly authorized representative only if:

- The authorization is made in writing by a person described above; The authorization specified either an individual or a position having responsibility for the overall operation of the regulated facility or activity, such as the position of plant manager, operator of a well or well field, superintendent, a position of equivalent responsibility, or an individual or position having overall responsibility for environmental matters for the company. (A duly authorized representative may thus be either a named individual or any individual occupying a named position.); and
- The written authorization is submitted to the Director. [40 CFR 122.22]
- (c) If an authorization under paragraph (b) of this section is no longer accurate because a different individual or position has responsibility for the overall operation of the facility, a new authorization satisfying the requirements of paragraph (b) of this section must be submitted to the Director prior to or together with any reports, information, or applications to be signed by an authorized representative. [40 CFR 122.22]
- (d) Any person signing a document under paragraphs a. or b. of this section shall make the following certification [40 CFR 122.22]. NO OTHER STATEMENTS OF CERTIFICATION WILL BE ACCEPTED:

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations

7. General Permit Modification, Revocation and Reissuance, or Termination

The issuance of this general permit does not prohibit the Division from reopening and modifying the general permit, revoking and reissuing the general permit, or terminating the general permit as llowed by the laws, rules, and regulations contained in Title 40, Code of Federal Regulations, Parts 122 and 123; Title 15A of the North Carolina Administrative Code, Subchapter 2H .0100; and North Carolina General Statute 143-215.1 et al.

After public notice and opportunity for a hearing, the general permit may be terminated for cause. The filing of a request for a general permit modification, revocation and reissuance, or termination does not stay any general permit condition. The **Certificate of Coverage** shall expire when the general permit is terminated.

8. Certificate of Coverage Actions

The general permit may be modified, revoked and reissued, or terminated for cause. The notification of planned changes or anticipated noncompliance does not stay any general permit condition [40 CFR 122.41(f)].

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Permit No. NCG010000

30. Stormwater Associated with Industrial Activity

The discharge from any point source which is used for collecting and conveying stormwater and which is directly related to manufacturing, processing or raw material storage areas at an industrial site. Facilities considered to be engaged in "industrial activities" include those activities defined in 40 CFR 122.26(b)(14). The term does not include discharges from facilities or activities excluded from the NPDES program.

31. Stormwater Pollution Prevention Plan (SWPPP) The elements of the State's stormwater pollution prevention program that provide the technologybased requirements designed to protect the state's waters from the adverse impacts of sediments. In North Carolina, the SWPPP for construction activities includes the Erosion and Sedimentation Control Plan, Ground Stabilization, Materials Handling, and Disturbed Area Limit for Special and

32. Temporary Stabilization

Threatened Waters.

When the establishment of ground cover over all disturbed areas (such as mulching, rolled erosion control products, vegetation, or other material) renders the surface stable against accelerated erosion. Stabilization shall be achieved with the establishment of a uniform and evenly-distributed (i.e., without large bare areas) ground cover with a cover density of at least 80%.

33. Toxic Pollutant Any pollutant listed as toxic under Section 307(a)(l) of the Clean Water Act.

34. Upset

An exceptional incident in which there is unintentional and temporary noncompliance with technology-based permit effluent limitations because of factors beyond the reasonable control of the permittee. An upset does not include noncompliance to the extent caused by operational error, improperly designed treatment or control facilities, inadequate treatment or control facilities, lack of preventive maintenance, or careless or improper operation.

35. Visible Sedimentation

Solid particulate matter, both mineral and organic, that has been or is being transported by water, air, gravity, or ice from its site of origin that can be seen with the unaided eye.

36. 25-year, 24-hour Storm Event The maximum 24-hour precipitation event expected to be equaled or exceeded, on the average, once in 25 years.



GPD Engineering and Architecture Professional Corporation - C3879

> 520 South Main Street, Suite 2531 Akron, OH 44311 330.572.2100 Fax 330.572.2101

	DATE	REMARKS	
1	06.03.22	Issued for Permit	
2	07.19.22	City Comments	
CON	ITRACT DAT	E: 05.04.22	
BUILDING TYPE:		END. 80FT	
PLAN VERSION:		MARCH 2021	
BRAND DESIGNE		ER: DICKSON	
SITE NUMBER:		315647	
STORE NUMBER		R: 458047	
PA/PM:		SM	
DRAWN BY.:		EA	
JOB NO.:		2021088.54	

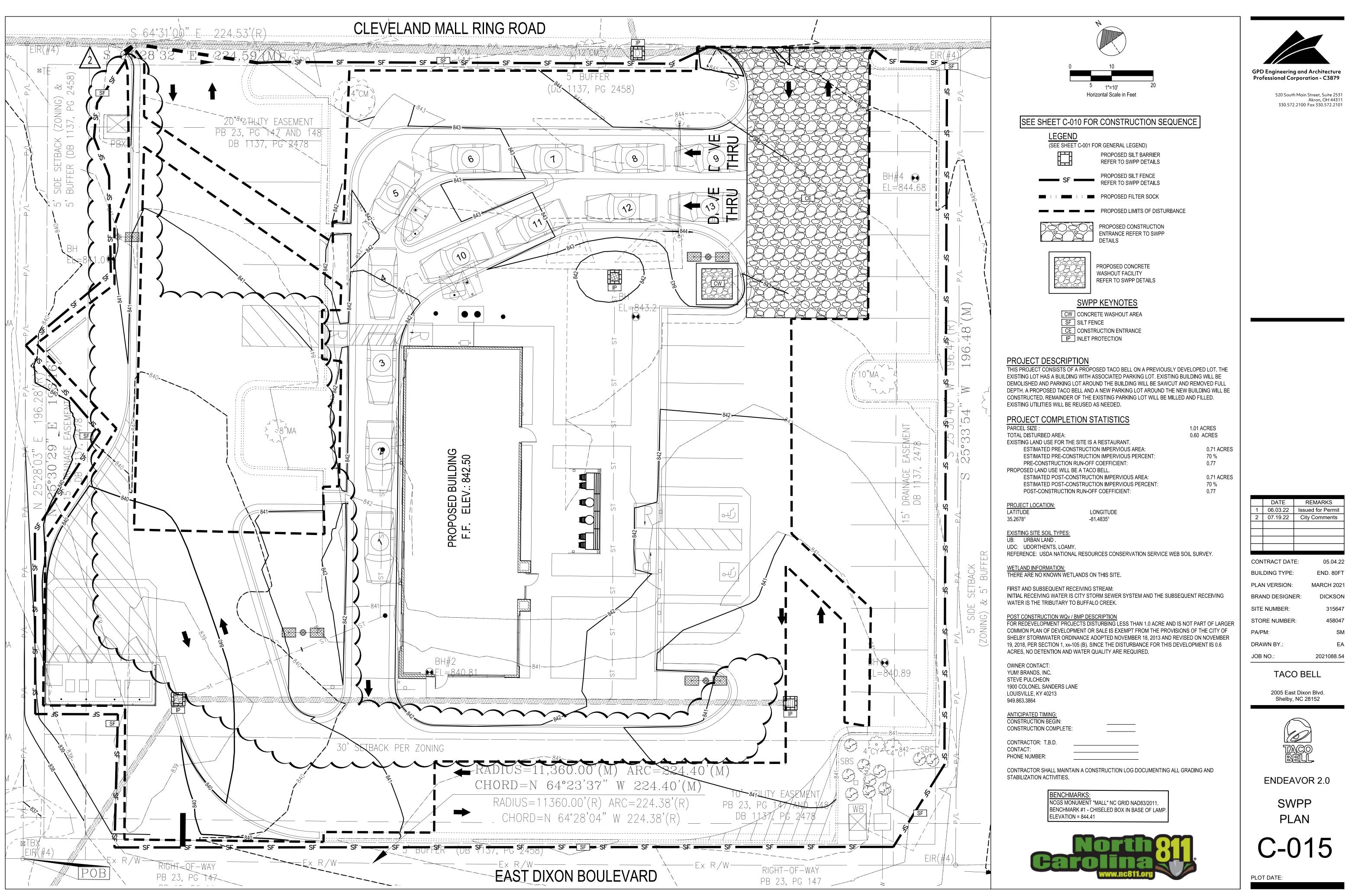
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2005 East Dixon Blvd. Shelby, NC 28152



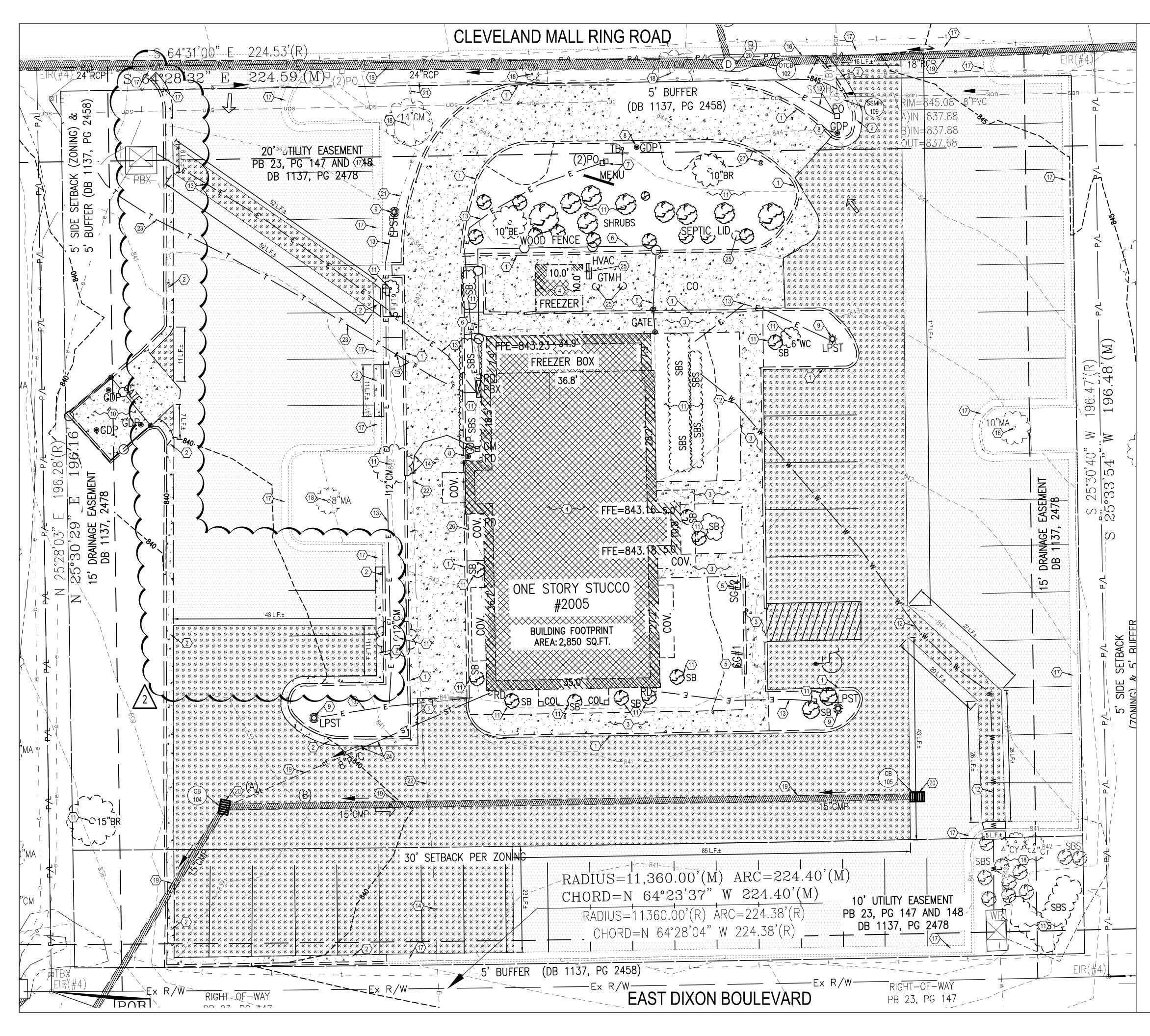
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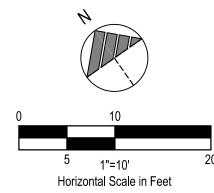




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бτο	RE NUMBEF	R: 458047
PA/F	PM:	SM
DRAWN BY.:		EA
IOR	NO ·	2021088 54

REMARKS 1 06.03.22 Issued for Permit





PLAN KEYNOTES (#)

- EXISTING CURB TO BE REMOVED.
- EXISTING CURB AND GUTTER TO BE REMOVED
- EXISTING WALK/CURBED WALK TO BE REMOVED.
- EXISTING BUILDING/STRUCTURE WITH ASSOCIATED FOUNDATION TO BE REMOVED.
- EXISTING SIGNAGE WITH ASSOCIATED FOUNDATION TO BE REMOVED.
- EXISTING FENCE WITH ASSOCIATED FOUNDATION TO BE REMOVED. EXISTING MENU BOARD AND SPEAKER WITH ASSOCIATED FOUNDATIONS TO BE REMOVED.
- EXISTING BOLLARD WITH FOUNDATION TO BE REMOVED.
- EXISTING LAMP POST WITH FOUNDATION TO BE REMOVED. 10. EXISTING DUMPSTER ENCLOSURE WITH ASSOCIATED BOLLARDS, FENCE, CONCRETE PAD AND FOUNDATION TO BE REMOVED.
- 11. EXISTING LANDSCAPING (INCLUDING BUSHES, TREES, ETC.) TO BE REMOVED.
- 12. EXISTING WATER SERVICE LINE TO BE REMOVED.
- 13. EXISTING ELECTRICAL LINES TO BE REMOVED. FOR SECONDARY LINE FROM TRANSFORMER CONTRACTOR SHALL VERIFY EXISTING CONDUIT, IF NOT PRESENT OR IN POOR CONDITION, CONTRACTOR SHALL PROVIDE NEW CONDUIT PER UTILITY PROVIDER SPECIFICATIONS. EXISTING GAS LINE TO BE REMOVED AND CAPPED, CONTRACTOR SHALL EXTEND EXISTING
- GAS CONNECTION TO THE PROPOSED BUILDING, CONTRACTOR SHALL COORDINATE ALL WORK WITH THE GAS COMPANY. 15. EXISTING TELEPHONE LINE TO BE REMOVED AND CAPPED.
- 16. EXISTING CURB TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION
- 17. EXISTING CURB AND GUTTER TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- EXISTING LANDSCAPING (INCLUDING BUSHES, TREES, ETC.) TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 19. EXISTING STORM PIPE TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 20. EXISTING STORM DRAIN TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 21. CONTRACTOR TO VERIFY THE EXISTING ELECTRIC LINE ROUTING AND SHALL NOT INTERRUP
- ANY SERVICE BEING PROVIDED TO OTHER LIGHT POLES OR NEIGHBORING PROPERTIES. 22. EXISTING GAS LINE TO REMAIN AND PROTECTED THROUGHOUT CONSTRUCTION.
- 23. EXISTING TELEPHONE LINE TO REMAIN AND PROTECTED THROUGHOUT CONSTRUCTION.
- 24. EXISTING STORM PIPE LINE TO BE REMOVED AND CAPPED. 25. EXISTING UTILITIES/UNDERGROUND UTILITIES/GREASE INTERCEPTOR/HVAC UNITS ETC. TO BE REMOVED.
- 26. EXISTING RAILING TO BE REMOVED.
- 27. EXISTING CLEARANCE BAR WITH ASSOCIATED FOUNDATION TO BE REMOVED.

DEMOLITION NOTE:

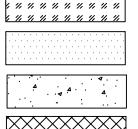
ALL EXISTING SITE AND SURROUNDING FEATURES SUCH AS UTILITIES, PAVEMENT, CUF LANDSCAPING, ETC. SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION UNLESS NOTED OTHERWISE, OR ARE REQUIRED TO BE MODIFIED OR REMOVED FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. ALL DISTURBED FEATURES SHALL BE RESTORED OR RELOCATED AS REQUIRED TO THE SATISFACTION OF THE OWNER. CONTRACTOR SHALL REPAIR/REPLACE ANY SURROUNDING FEATURES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER

GENERAL SHEET NOTE:

CONTRACTOR TO LOCATE EXISTING SANITARY AND CAP AT MAIN.

LEGEND (SEE SHEET C-001 FOR GENERAL LEGEND)

EXISTING ASPHALT TO BE REMOVED



• # # # # # # # # # #

EXISTING ASPHALT TO BE MILLED AND FILLED (1.5")

EXISTING BUILDING/STRUCTURE TO BE REMOVED

EXISTING CONCRETE TO BE REMOVED

DENOTES LIMITS OF SAWCUT

 $\langle \# \rangle$

DEMOLITION KEYNOTE

\	Demoernonnernore		
EXISTING STRUCTURES			
STRCT. ID	STRUCTURE DETAILS		
otcb 102	EXISTING OPEN THROAT CATCH BASIN T/C = 844.33 INV. 15" RCP (S) = 840.33 INV. 18" RCP (SE) = 840.63 INV. 24" RCP (SW) = 840.33		
CB 104	EXISTING CATCH BASIN T/C = 838.03 INV. 8" PVC (E) = 835.53 INV. 15" CMP (SE) = 834.03 INV. 15" CMP (SW) = 832.43		
CB 105	EXISTING CATCH BASIN T/C = 839.89 INV. 15" CMP (NW) = 837.24		
SSMH 109	EXISTING SANITARY SEWER MANHOLE T/C = 845.08 INV. 8" PVC (SE) = 837.88 INV. 8" PVC (NE) = 837.88 INV. 8" PVC (NW) = 837.68		
BENCHM BASIS OF E			

NCGS MONUMENT "MALL" NC GRID NAD83/2011. BENCHMARK #1 - CHISELED BOX IN BASE OF LAMP ELEVATION = 844.41

REFER TO ALTA SURVEY FOR BENCHMARK LOCATION





Professional Corporation - C3879

520 South Main Street, Suite 2531 Akron, OH 44311 330.572.2100 Fax 330.572.2101

1	06.03.22	Issued for Permit		
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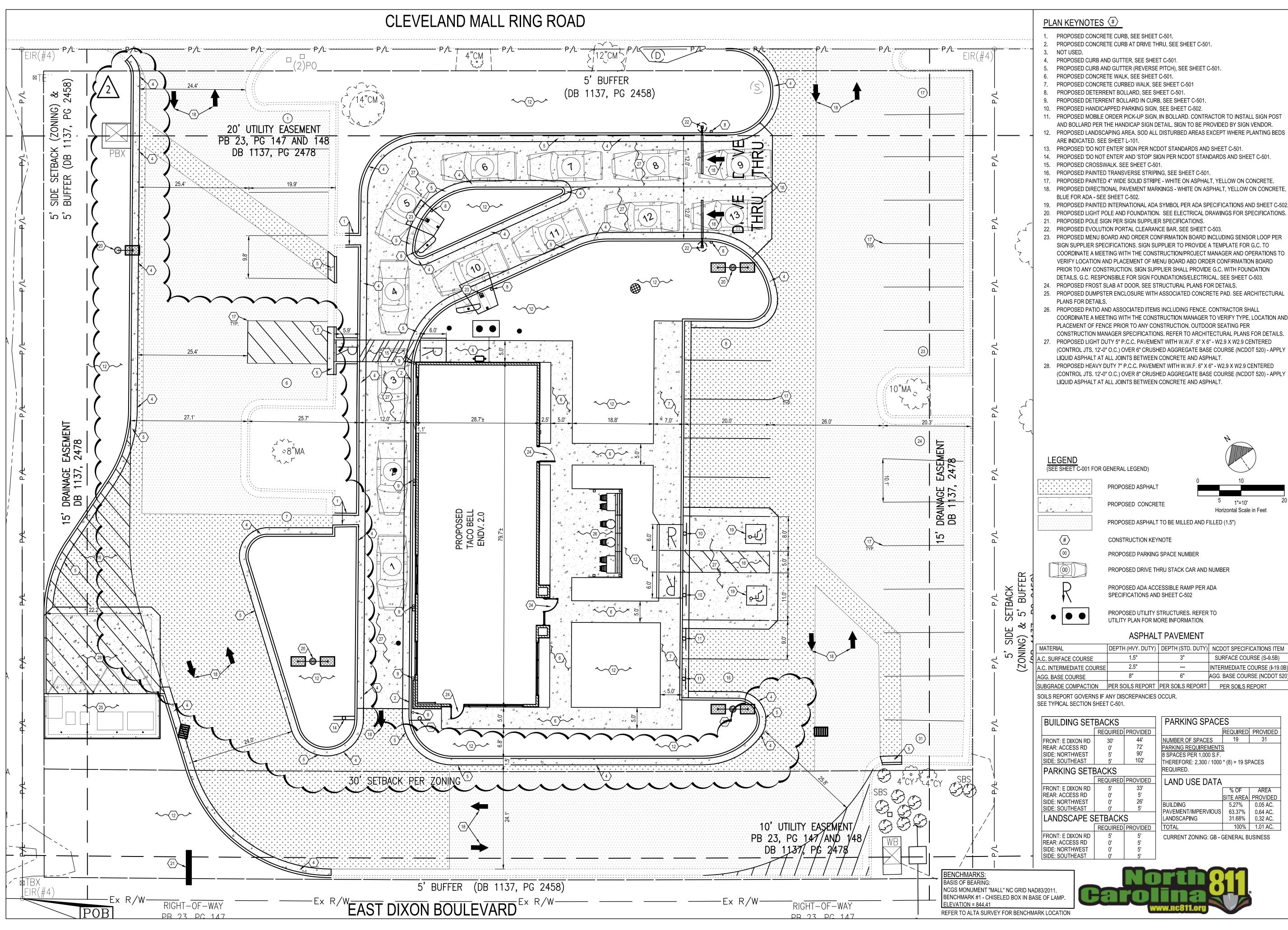
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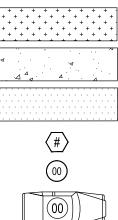
PLAN

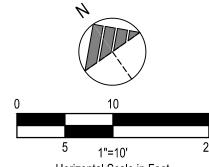
C-101



- AND BOLLARD PER THE HANDICAP SIGN DETAIL. SIGN TO BE PROVIDED BY SIGN VENDOR. 12. PROPOSED LANDSCAPING AREA. SOD ALL DISTURBED AREAS EXCEPT WHERE PLANTING BEDS
- 14. PROPOSED 'DO NOT ENTER' AND 'STOP' SIGN PER NCDOT STANDARDS AND SHEET C-501.
- 17. PROPOSED PAINTED 4" WIDE SOLID STRIPE WHITE ON ASPHALT, YELLOW ON CONCRETE. 18. PROPOSED DIRECTIONAL PAVEMENT MARKINGS - WHITE ON ASPHALT, YELLOW ON CONCRETE,
- 19. PROPOSED PAINTED INTERNATIONAL ADA SYMBOL PER ADA SPECIFICATIONS AND SHEET C-502.

- 23. PROPOSED MENU BOARD AND ORDER CONFIRMATION BOARD INCLUDING SENSOR LOOP PER SIGN SUPPLIER SPECIFICATIONS. SIGN SUPPLIER TO PROVIDE A TEMPLATE FOR G.C. TO COORDINATE A MEETING WITH THE CONSTRUCTION/PROJECT MANAGER AND OPERATIONS TO VERIFY LOCATION AND PLACEMENT OF MENU BOARD ABD ORDER CONFIRMATION BOARD PRIOR TO ANY CONSTRUCTION. SIGN SUPPLIER SHALL PROVIDE G.C. WITH FOUNDATION DETAILS. G.C. RESPONSIBLE FOR SIGN FOUNDATIONS/ELECTRICAL. SEE SHEET C-503.
- 25. PROPOSED DUMPSTER ENCLOSURE WITH ASSOCIATED CONCRETE PAD. SEE ARCHITECTURAL
- 26. PROPOSED PATIO AND ASSOCIATED ITEMS INCLUDING FENCE. CONTRACTOR SHALL COORDINATE A MEETING WITH THE CONSTRUCTION MANAGER TO VERIFY TYPE, LOCATION AND
- 27. PROPOSED LIGHT DUTY 5" P.C.C. PAVEMENT WITH W.W.F. 6" X 6" W2.9 X W2.9 CENTERED (CONTROL JTS. 12'-0" O.C.) OVER 6" CRUSHED AGGREGATE BASE COURSE (NCDOT 520) - APPLY
- 28. PROPOSED HEAVY DUTY 7" P.C.C. PAVEMENT WITH W.W.F. 6" X 6" W2.9 X W2.9 CENTERED (CONTROL JTS. 12'-0" O.C.) OVER 8" CRUSHED AGGREGATE BASE COURSE (NCDOT 520) - APPLY







MATERIAL	DEPTH (HVY. DUTY)	DEPTH (STD. DUTY)	NCDOT SPECIFICATIONS ITEM
A.C. SURFACE COURSE	1.5"	3"	SURFACE COURSE (S-9.5B)
A.C. INTERMEDIATE COURSE	2.5"		INTERMEDIATE COURSE (I-19.0B)
AGG. BASE COURSE	8"	6"	AGG. BASE COURSE (NCDOT 520)
SUBGRADE COMPACTION	PER SOILS REPORT	PER SOILS REPORT	PER SOILS REPORT

O O I LO I LEI O			
SEE TYPICA	L SECTION	SHEET	C-501.

BUILDING SETBACKS		PARKING SPACES			
	REQUIRED	PROVIDED		REQUIRED	PROVIDED
FRONT: E DIXON RD	30'	44'	NUMBER OF SPACES	19	31
REAR: ACCESS RD	0'	72'	PARKING REQUIREMENTS	5	
SIDE: NORTHWEST	5'	90'	8 SPACES PER 1,000 S.F.	-	
SIDE: SOUTHEAST	5'	102'	THEREFORE: 2,300 / 1000	* (8) = 19 SF	PACES
PARKING SET	BACKS		REQUIRED.	()	
	REQUIRED	-	LAND USE DATA		
FRONT: E DIXON RD	5'	33'		% OF	AREA
REAR: ACCESS RD	0'	5'		SITE AREA	PROVIDED
SIDE: NORTHWEST	0'	26'	BUILDING	5.27%	0.05 AC.
SIDE: SOUTHEAST	0'	5'	PAVEMENT/IMPERVIOUS		0.64 AC
LANDSCAPE S	ETBACK	S	LANDSCAPING	31.68%	0.32 AC.
	REQUIRED	PROVIDED	TOTAL	100%	1.01 AC.
FRONT: E DIXON RD	5'	5'	CURRENT ZONING: GB - (GENERAL B	USINESS
REAR: ACCESS RD	0'	5'			
SIDE: NORTHWEST	0'	5'			
SIDE: SOUTHEAST	0'	5'			



GPD Engineering and Architecture Professional Corporation - C3879

520 South Main Street, Suite 2531 Akron, OH 44311 330.572.2100 Fax 330.572.2101

1	06.03.22	Issued for Permit		
2	07.19.22	City Comments		
CONTRACT DATE: 05.04.22				
BUIL	DING TYPE:	END. 80FT		
PLAN VERSION:		MARCH 2021		
BRAND DESIGNER		ER: DICKSON		
SITE	NUMBER:	315647		
STORE NUMBER:		R: 458047		
PA/PM:		SM		
DRAWN BY .:		EA		

REMARKS

DATE

TACO BELL

2021088.54

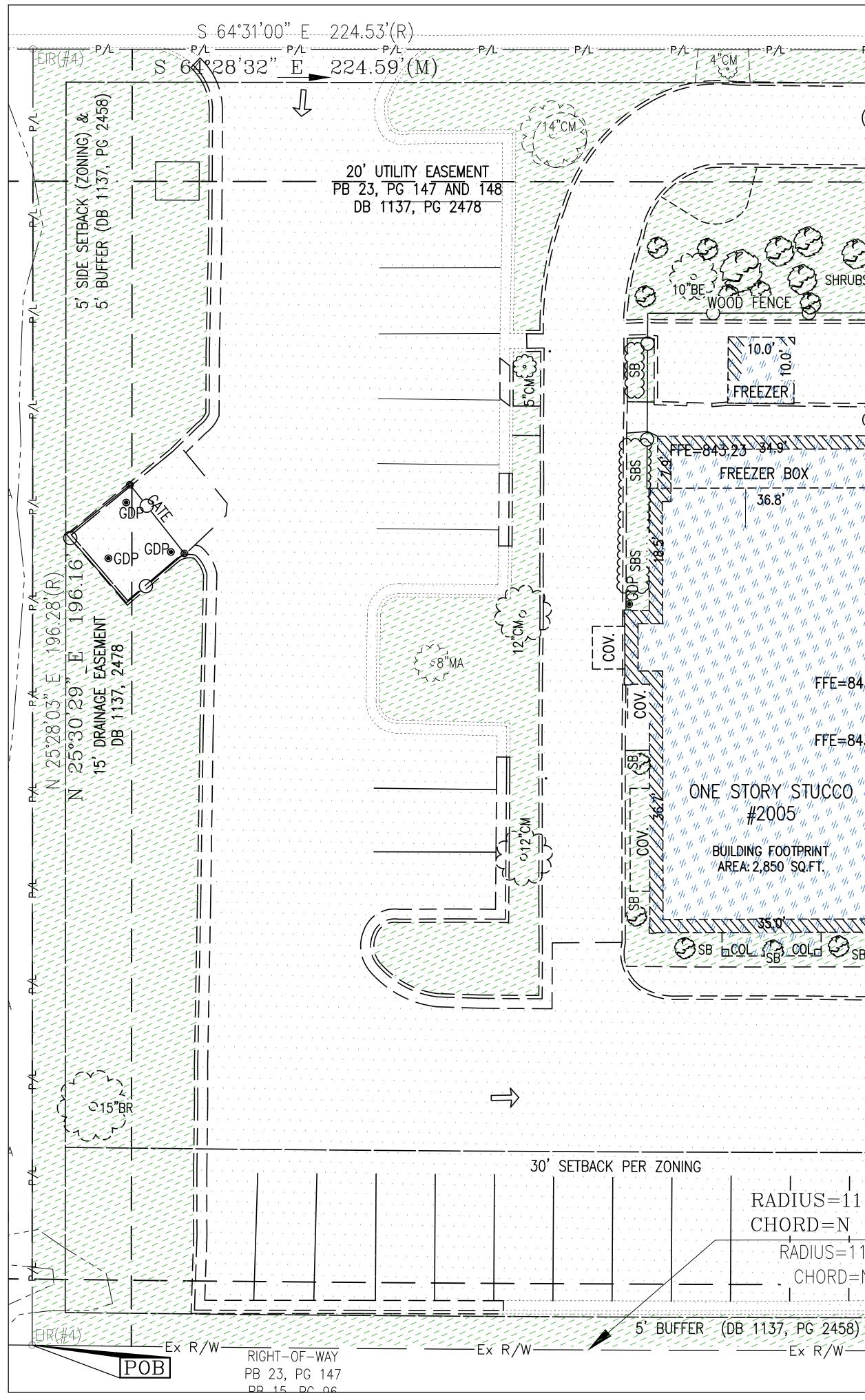
JOB NO .:

2005 East Dixon Blvd. Shelby, NC 28152

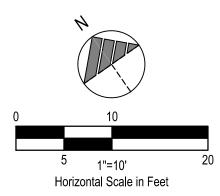


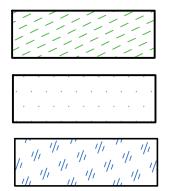
ENDEAVOR 2.0

SITE PLAN C-111



É 🐳 5' BUFFER (DB 1137, PG 2458) G 10.0' FREEZER GAT 472 843,23 **34,**92 () () () () () 5 6 WC Z FREEZER ار کے 48 36.8' 196.4 Z, Á, EASEMENT 2478 22°33 FFE=843.06 \$.0 DRAINAGE DB 1137, $|\Omega|$ /FFE==843, 18 501 COV./ ONE STORY STUCCO ີດ #2005 BUILDING FOOTPRINT, AREA: 2,850 SQ/FT. SETBACK 5 BUFFER 5G# (JSB SB COL SB COLD SB 5' SIDE S (ZONING) & () SB 4"(4"(RADIUS=11,360.00'(M) ARC=224.40'(M) CHORD=N 64°23'37" W 224.40'(M) 10' UTILITY EASEMENT PB 23, PG 147 AND 148 O OF RADIUS=11360.00'(R) ARC=224.38'(R) SBS ____ DB_1137, PG_2478 CHORD=N 64°28'04" W 224.38'(R) -Éx Ŕ/Ŵ--Éx Ŕ/Ŵ-RIGHT-OF-WAY PB 23, PG 147





OVERALL PERVIOUS AREA

OVERALL IMPERVIOUS AREA

OVERALL BUILDING AREA

LAND USE DATA

	% OF	AREA
	SITE AREA	PROVIDED
BUILDING	6.92%	0.07 AC.
PAVEMENT/IMPERVIOUS	63.18%	0.64 AC.
LANDSCAPING	29.90 %	0.30 AC.
TOTAL	100%	1.01 AC.





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<u> </u>				
CON	ITRACT DAT	E: 05.04.22		
BUILDING TYPE: END. 80				
PLA	N VERSION:	MARCH 2021		
BRAND DESIGNER:		ER: DICKSON		
SITE	NUMBER:	315647		
STO	RE NUMBER	458047		
PA/F	PM:	SM		
DRAWN BY .:		EA		
JOB NO.:		2021088.54		

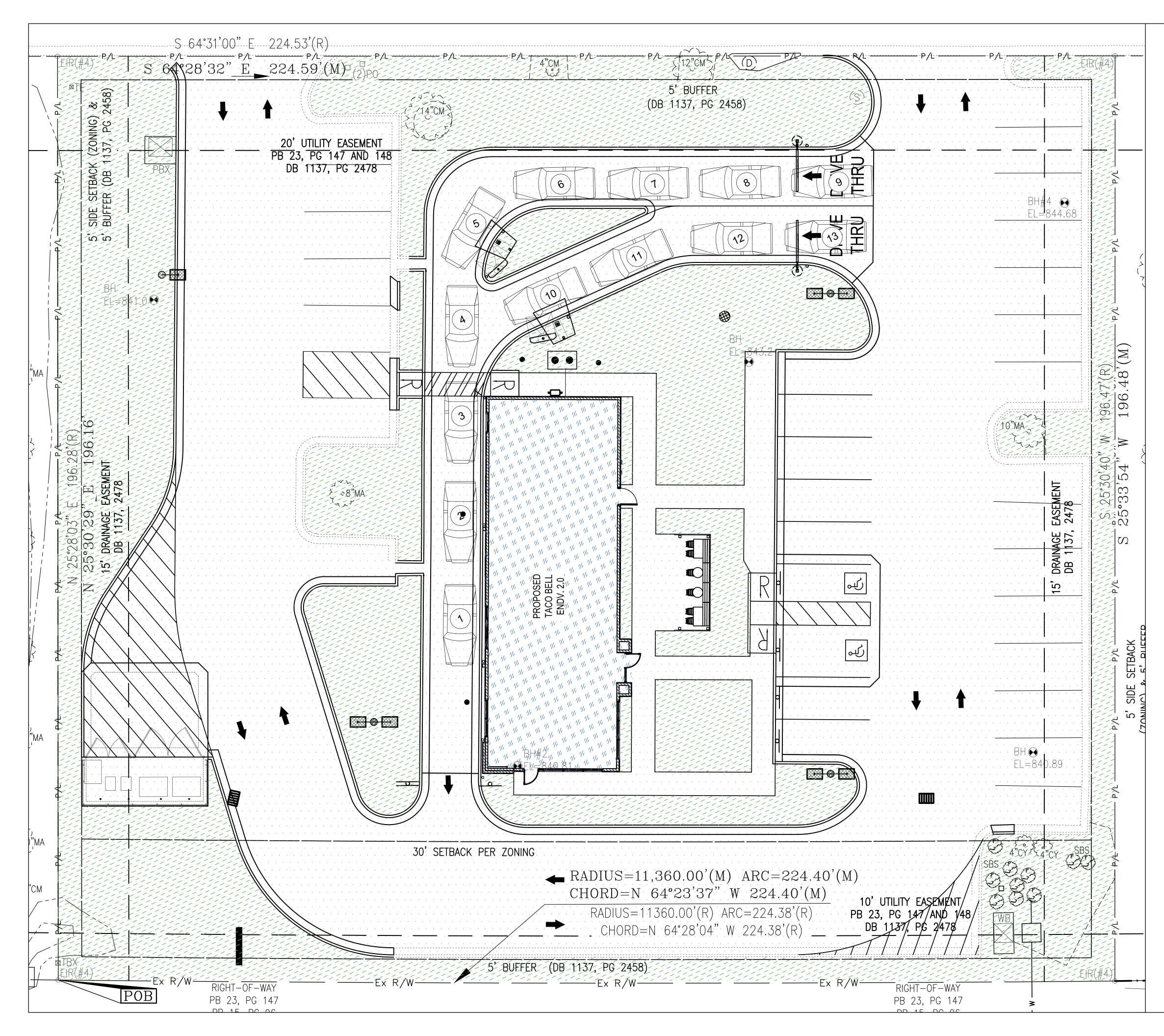
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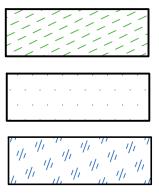
2005 East Dixon Blvd. Shelby, NC 28152



ENDEAVOR 2.0 EXISTING PERVIOUS /IMPERVIOUS AREA MAP

C-112 PLOT DATE:





OVERALL PERVIOUS AREA

OVERALL IMPERVIOUS AREA

OVERALL BUILDING AREA

LAND USE DATA

	% OF	AREA
	SITE AREA	PROVIDED
BUILDING	5.27%	0.05 AC.
PAVEMENT/IMPERVIOUS	63.37%	0.64 AC.
LANDSCAPING	31.68%	0.32 AC.
TOTAL	100%	1.01 AC.



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DRAWN BY .:		EA		
JOB	NO.:	2021088.54		

TACO BELL

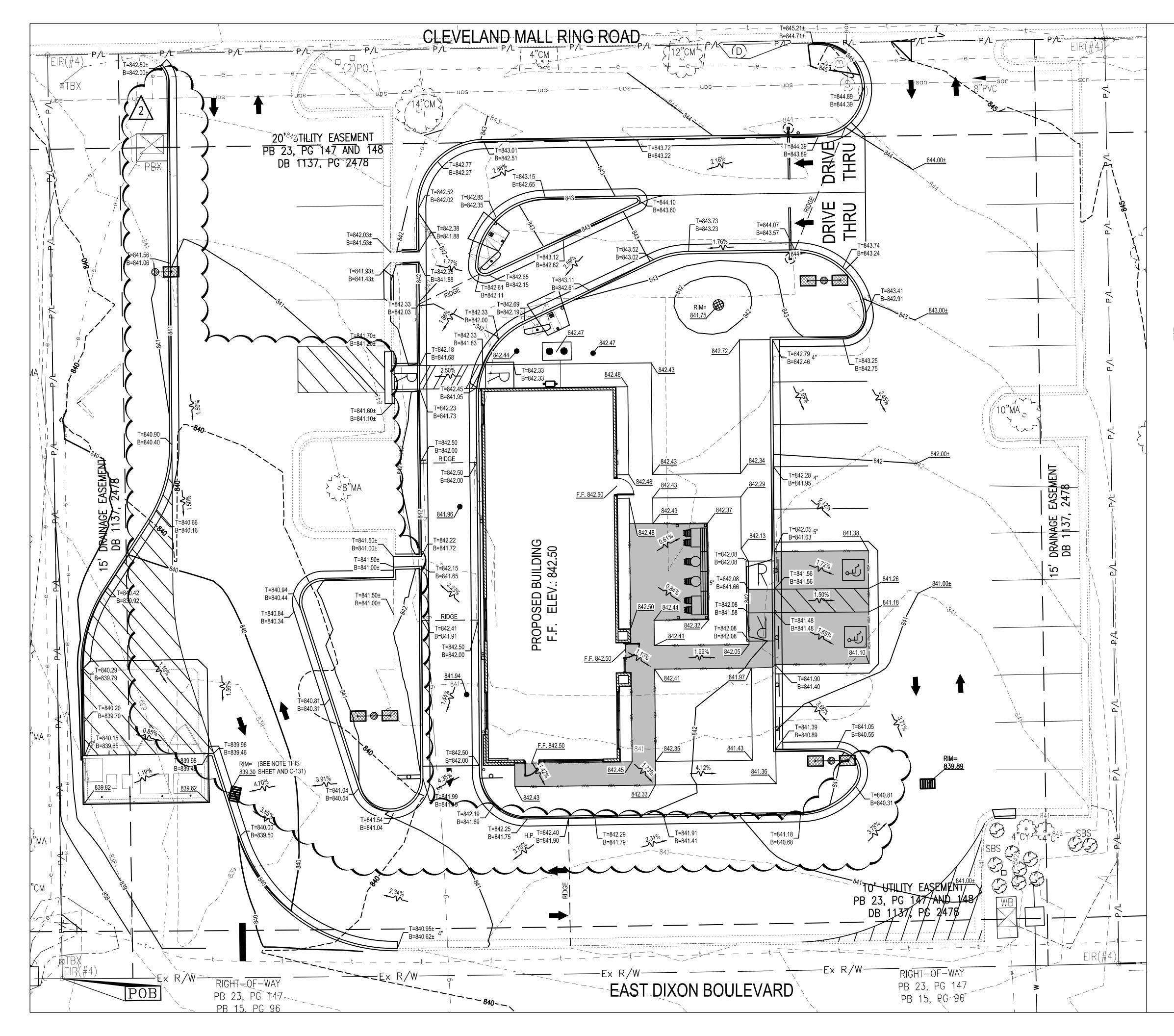
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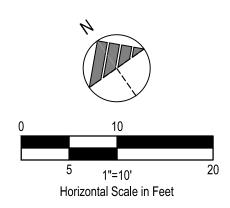


ENDEAVOR 2.0 PROPOSED PERVIOUS /IMPERVIOUS AREA MAP

C-113

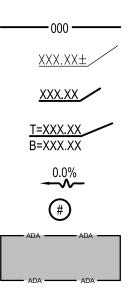






<u>LEGEND</u>

(SEE SHEET C-001 FOR GENERAL LEGEND)



PROPOSED CONTOUR

LIMITS OF ADA ROUTING

EXISTING SPOT ELEVATION/ MATCH EXISTING GRADE PROPOSED ELEVATION @ FINISHED GROUND ELEVATION TOP OF CURB ELEVATION BOTTOM OF CURB/FINISHED PAVEMENT ELEVATION PROPOSED DRAINAGE SLOPE & DIRECTION PROPOSED ELEVATION KEYNOTE

NOTE: EXISTING CATCH BASIN RIM TO BE ADJUSTED TO PROPOSED GRADE AND ALIGN FRAME WITH PROPOSED CURB.



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ENDEAVOR 2.0

GRADING PLAN

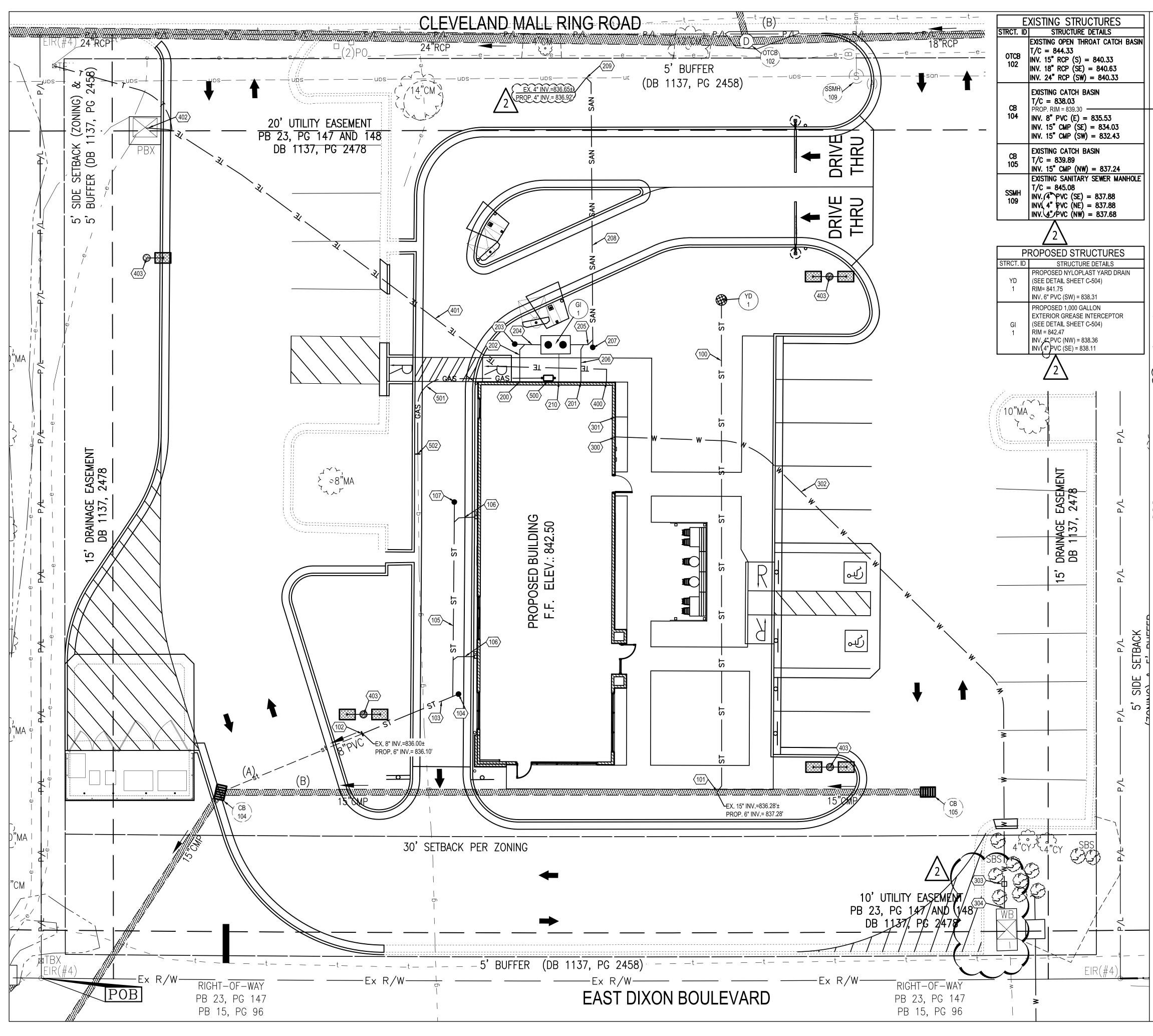


BENCHMARKS: BASIS OF BEARING: NCGS MONUMENT "MALL" NC GRID NAD83/2011. BENCHMARK #1 - CHISELED BOX IN BASE OF LAMP

ELEVATION = 844.41

REFER TO ALTA SURVEY FOR BENCHMARK LOCATION





⁵ 1"=10' Horizontal Scale in Feet

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NOTE: EXISTING CATCH BASIN RIM TO BE - ADJUSTED TO PROPOSED GRADE AND ALIGN FRAME WITH PROPOSED CURB.

<u>PLAN KEYNOTES (#)</u>

STORM

- 100. PROPOSED 103 L.F. OF 6" PVC SDR 35 @ 1.00%.
- 101. PROPOSED WATERTIGHT 6" PVC CONNECTION TO EXISTING 15" PIPE. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS. 102. PROPOSED 6" PVC CONNECTION TO EXISTING 8" PVC PIPE. CONTRACTOR TO REMOVE
- EXISTING CAP AND PROVIDE A WATERTIGHT CONNECTION. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS 103. PROPOSED 22 L.F. OF 6" PVC SDR 35 @ 1.00%.
- 104. PROPOSED STORM CLEANOUT AND WYE CONNECTION, SEE SHEET C-501. RIM = 841.94, INV.= 836.32.
- 105. PROPOSED 41 L.F. OF 6" PVC SDR 35 @ 1.00%.
- 106. PROPOSED 5 L.F. OF 6" PVC SDR 35 @ 1.00%.
- 107. PROPOSED STORM CLEANOUT AND WYE CONNECTION, SEE SHEET C-501. RIM = 841.96, INV.= 836.73.

- SANITARY 200. PROPOSED SANITARY CONNECTION TO GREASE INTERCEPTOR INV.= 838.50. COORDINATE WITH PLUMBING PLANS.
- 201. PROPOSED SANITARY CONNECTION INV.=838.50. COORDINATE WITH PLUMBING PLANS. 202. PROPOSED 8 L.F. OF 4" PVC SDR 35 @ 1.00%) 203. PROPOSED STORM CLEANOUT AND WYE CONNECTION, SEE SHEET C-501.

- 203. PROPOSED STORM CLEANOUT AND WHE CONNECTION, SEE SHEET C-301. RIM = 842.44, INV.= 838.42. 204. PROPOSED 6 L.F. OF 4" PVC SDR 35 @ 1.00%) 205. PROPOSED 5 L.F. OF 4" PVC SDR 35 @ 1.00%) 206. PROPOSED 8 L.F. OF 4" PVC SDR 35 @ 5.00%) 207. PROPOSED STORM CLEANOUT AND WYE CONNECTION SEE SHEET C-501. DIM = 842.47, INV.= 803.02
- RIM = 842.47, INV.= 838.06. 208. PROPOSED 57 L.F. OF 4" PVC SDR 35 @ 2.00% Z 209. PROPOSED CONNECTION TO EXISITING SANITARY MAIN. CONTRACTOR TO COORDINATE ALL
- WORK WITH CITY OF SHELBY. 210. PROPOSED 3" VENT PIPE FROM GREASE INTERCEPTOR.

WATER

- 300. PROPOSED WATER CONNECTION. COORDINATE WITH PLUMBING PLANS.
 301. PROPOSED 1.0" IRRIGATION TAP, COORDINATE WITH PLUMBING PLANS. IRRIGATION METER (WILL BE INSTALLED BY IRRIGATION CONTRACTOR PER CITY OF SHELBY STANDARDS AND SPECIFICATIONS)
 302. PROPOSED 147 L.F. 1-1/2" TYPE K COPPER WATER SERVICE LINE.
 303. PROPOSED BACKFLOW PREVENTER PER DETAIL ON SHEET C-504 AND CITY OF SHELBY
- STANDARDS AND SPECIFICATIONS.
- 304. PROPOSED CONNECTION TO EXISTING WATER METER. COORDINATE ALL WORK WITH CITY OF (Stell man and the second sec

ELECTRIC AND COMMUNICATIONS

- 400. PROPOSED ELECTRIC METER PER ELECTRIC COMPANY SPECIFICATIONS. SEE BUILDING DRAWINGS FOR EXACT LOCATION. ELECTRIC SERVICE LINE TO BE COORDINATED WITH THE ELECTRIC COMPANY
- 401. PROPOSED ELECTRIC AND TELECOMMUNICATIONS SERVICE CONNECTION TO BE
- COORDINATED WITH THE UTILITY COMPANIES. PROPOSED ELECTRICAL CONNECTION TO EXISTING TRANSFORMER. COORDINATE ALL WO
- WITH UTILITY COMPANY. 403. PROPOSED LIGHT POLE. SEE ELECTRICAL DRAWINGS FOR SPECIFICATIONS.

<u>GAS</u>

- 500. PROPOSED GAS METER PER GAS COMPANY SPECIFICATIONS. SEE BUILDING DRAWINGS FOR EXACT LOCATION. GAS SERVICE LINE TO BE COORDINATED WITH THE GAS COMPANY. PROPOSED 40 L.F. GAS SERVICE CONNECTION TO BE COORDINATED WITH THE GAS COMPANY.
- PROPOSED GAS LINE CONNECTION TO EXISTING. CONTRACTOR TO REMOVE CAP FROM EXISTING GAS LINE TO MAKE THE PROPOSED CONNECTION. COORDINATE ALL WORK WITH THE GAS COMPANY.

LEGEND

(SEE SHEET C-001 FOR GENERAL LEGEND)

ST	PROPOSED STORM SEWER (12"	AND SMALLER
SAN	PROPOSED SANITARY SEWER	
W	PROPOSED WATER SERVICE	
GAS	PROPOSED GAS SERVICE	
— Е —	PROPOSED UNDERGROUND ELECTRIC SERVICE	
TE	PROPOSED UNDERGROUND TELEPHONE & CABLE SERVICE	
A #	APPURTENANCES	
(#)	UTILITY CONSTRUCTION KEYNO	TE

BENCHMARKS: BASIS OF BEARING:

NCGS MONUMENT "MALL" NC GRID NAD83/2011.

BENCHMARK #1 - CHISELED BOX IN BASE OF LAMP. ELEVATION = 844.41

REFER TO ALTA SURVEY FOR BENCHMARK LOCATION



	DATE	REMARKS
1	06.03.22	Issued for Permit
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BRAND DESIGNER:	DICKSON
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STORE NUMBER:	458047
PA/PM:	SM
DRAWN BY.:	EA
JOB NO.:	2021088.54

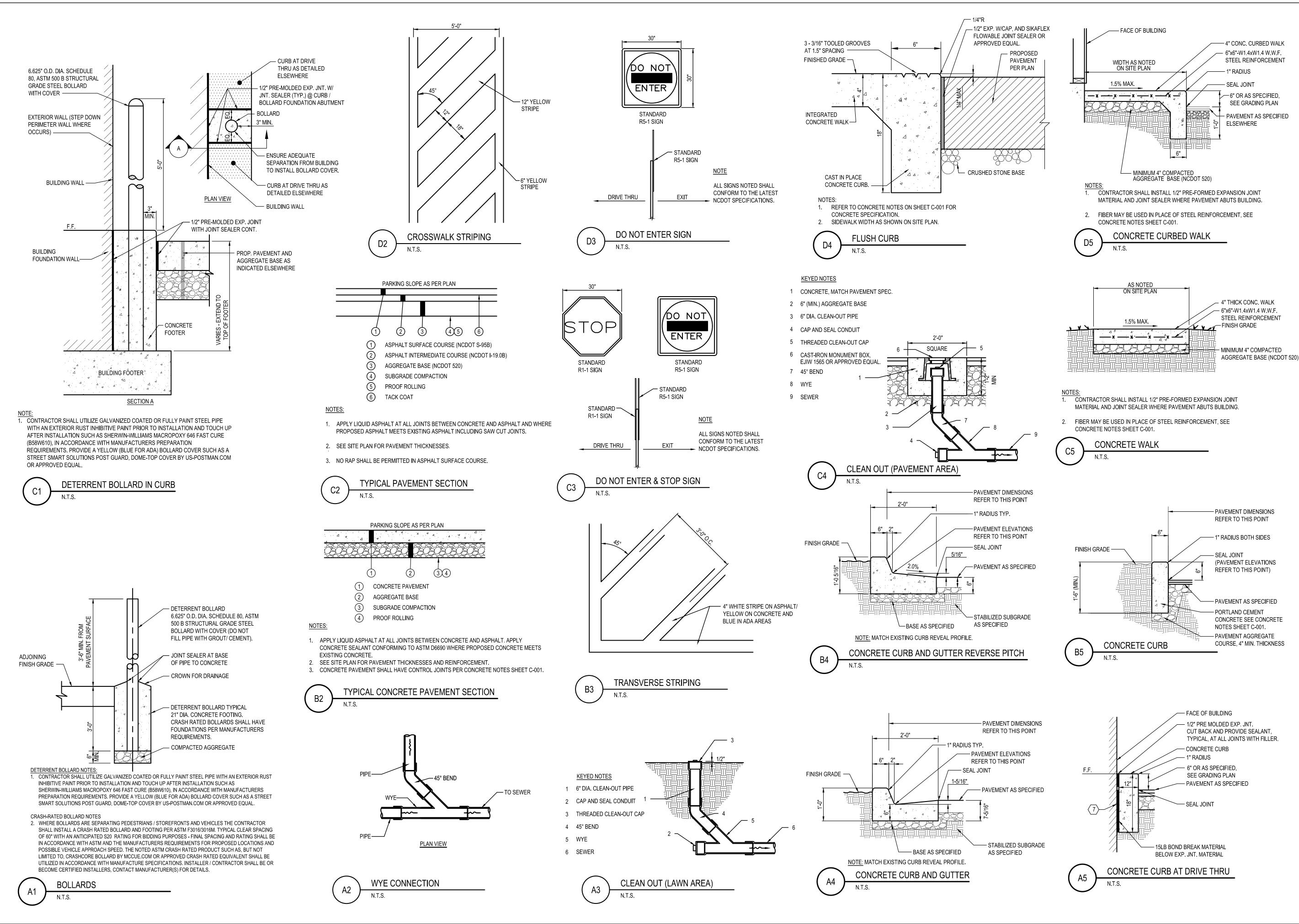
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ENDEAVOR 2.0

UTILITY PLAN C-131





PLOT DATE:

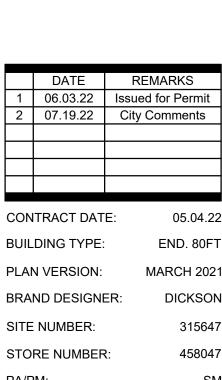
DETAILS

ENDEAVOR 2.0

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05.04.22 END. 80FT MARCH 2021 DICKSON 315647 458047 PA/PM: SM DRAWN BY. ΕA JOB NO .: 2021088.54



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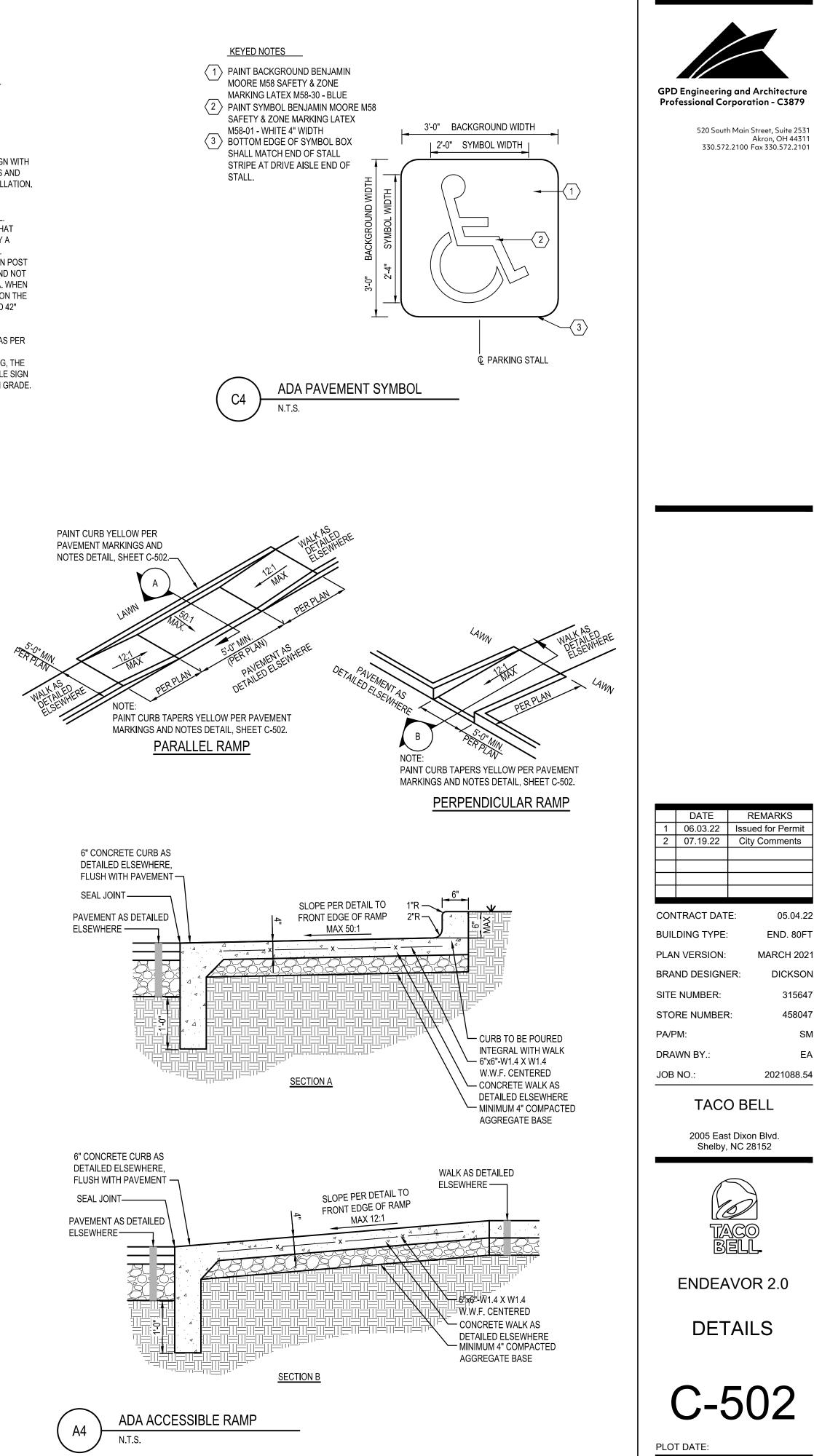
520 South Main Street, Suite 2531

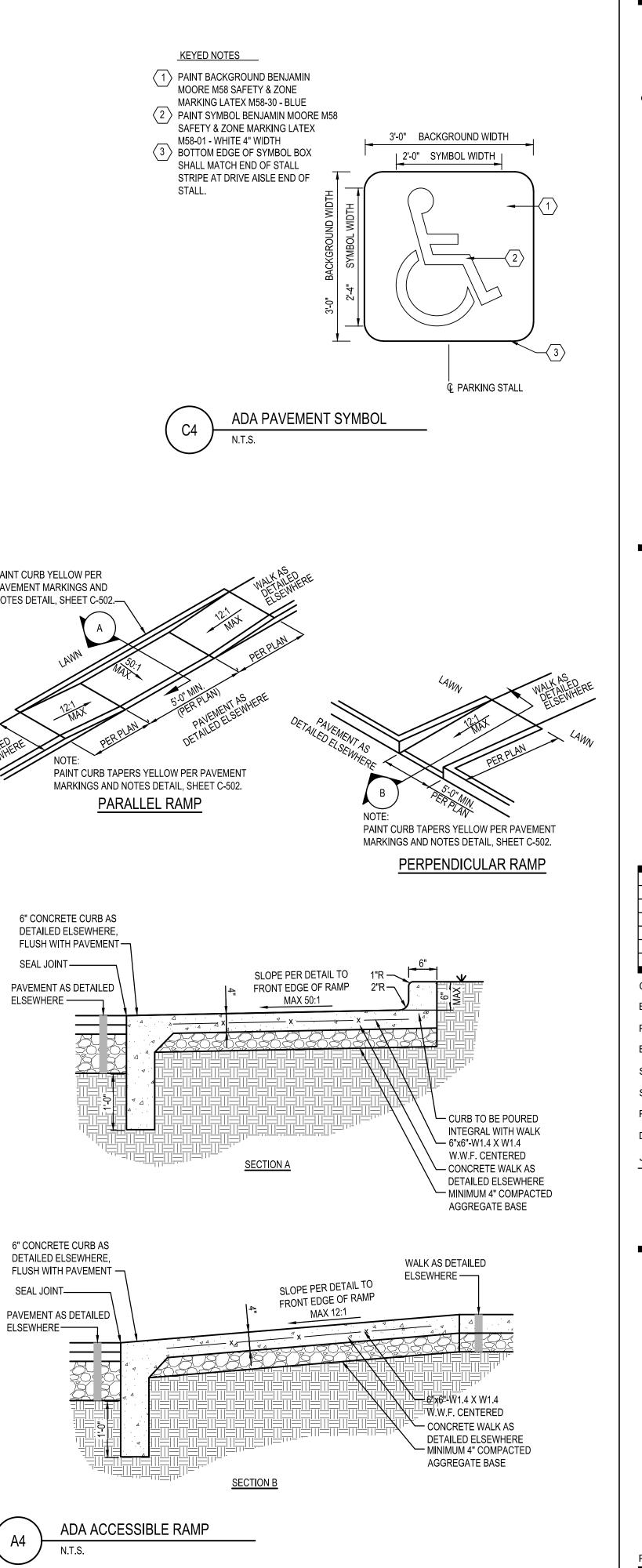
330.572.2100 Fax 330.572.2101

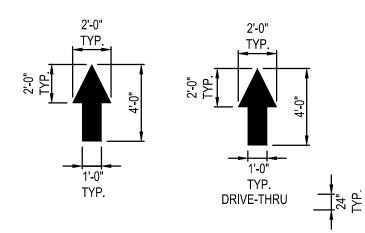
Akron, OH 44311



CONTAINING INTERNATIONAL PARKING / AMO	DVIDE SIGN INDICATING FINE. OUNT AND STYLE AS PER LOCAL DINANCES. MIN 6" HT, SAME	$\langle 1$
JSDOT #R7-8A SIGN	DTH AS #R7-8 SIGN	2
	LT SIGNS TO GALVANIZED EEL TUBE COLUMN	
SAME WIDTH AS #R7-8 SIGN		3
2" X 2" GALVANIZED STEEL TUBE EXTENDED INTO BOLLARD OR SIGN POST BOLLARD COVER SYSTEM PER MANUFACTURE SPECIFICATIONS.	CONTRACTOR SHALL VERIFY SIGN WITH LOCAL AND ADA REQUIREMENTS AND SPECIFICATIONS BEFORE INSTALLATION. LOCAL JURISDICTION SIGN REQUIREMENTS SHALL TAKE	
EFER TO BOLLARDS DETAIL AND NOTES, HEET C-501. USE OF CRASH RATED IS EQUIRED. BOLLARD TO HAVE BLUE OVER. BOLLARD PIPE TO BE FLUSH	PRECEDENCE OVER THIS DETAIL. SIGNS SHALL BE LOCATED SO THAT THEY CANNOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE. BOLLARD TO BE DELETED IF SIGN POST IS OUT OF VEHICULAR REACH AND NOT	
GAINST FACE OF CURB	SEPARATING PEDESTRIAN AREA. WHEN NOT USING BOLLARD FOUNDATION THE SIGN POST SHALL BE EMBEDDED 42"	
	INTO THE GROUND.	
SEALED EXPANSION JOINT 4.	SIGN TO BE PROVIDED AT ALL ACCESSIBLE PARKING SPACES AS PER ADA REGULATIONS.	
	IF SIGN IS MOUNTED TO BUILDING, THE BOTTOM OF THE VAN ACCESSIBLE SIGN	
RATED MANUFACTURE.	SHALL BE 5'-0" FROM THE FINISH GRADE.	
C3 HANDICAPPED PARKING SIGN		
N.T.S.		
-		







NOTES:

ALL PAVEMENT MARKINGS TO BE WHITE PAVEMENT PAINT, UNLESS STATED OTHERWISE. ALL PAVEMENT MARKINGS WITHIN ADA AREAS SHALL BE PAINTED BLUE EXCEPT FOR COLORS DEFINED ON THE ADA PAVEMENT SYMBOL.

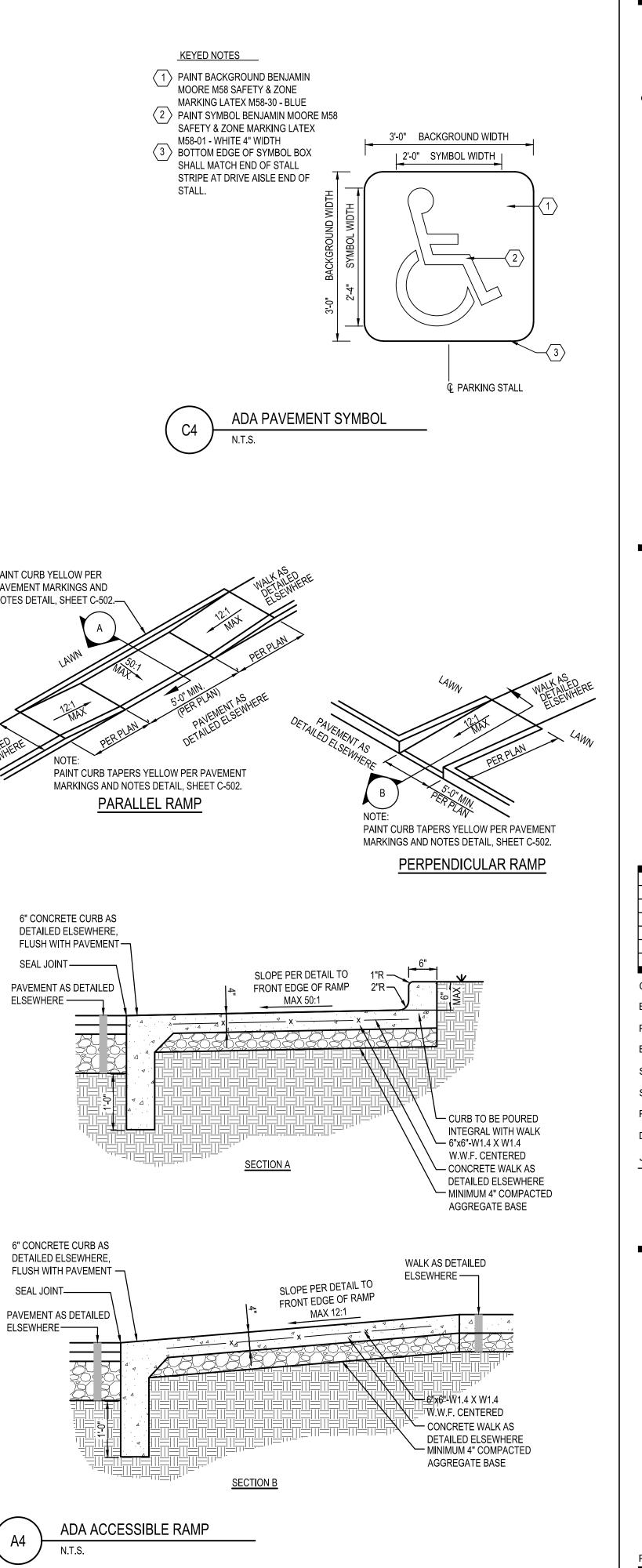
MARKING (STRIPING) PAINT FOR PARKING SPACES, TRAFFIC ARROWS, ADA PARKING AND SYMBOLS, ETC., PER LOCAL REQUIREMENTS AND AS FOLLOWS:

PAINT SHALL BE WATER BASE FAST DRYING 100% ACRYLIC TYPE: WATER BASE TO MEET FEDERAL SPECIFICATION TTP-01952B. FOR COLD WEATHER APPLICATION PAINT PRODUCT SHALL BE IN ACCORDANCE WITH ASTM-D2369, D1394, D3723, D1475, D562 AND D711.

PROVIDE A NON-SLIP AGGREGATE ADDITIVE TO MARKING PAINT USED AT ADA ACCESS RAMPS.

APPLY 2 COATS WITH STRAIGHT EDGES, YELLOW ON CONCRETE/WHITE ON ASPHALT EXCEPT WHEN MATCHING ADJACENT OR EXISTING COLOR WHEN THE PAVING IS AN EXPANSION OR SEGMENT OF A LARGER LOT. CONTRACTOR SHALL APPLY THE SECOND COAT NO SOONER THAN 30 DAYS OF APPLYING THE FIRST COAT.



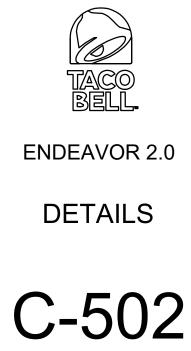


REMARKS DATE 1 06.03.22 Issued for Permit 2 07.19.22 City Comments CONTRACT DATE: 05.04.22 BUILDING TYPE: END. 80FT PLAN VERSION: MARCH 2021 BRAND DESIGNER: DICKSON SITE NUMBER: 315647 STORE NUMBER: 458047 PA/PM: SM DRAWN BY .: EA JOB NO.: 2021088.54

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1" CONDUITS, SEE CONDUIT SCHEDULE FOR QUANTITY

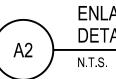
DIRECTIONAL (1) 3/4" -PREVIEW BOARD (1) 1" (2) 1" (OPTIONAL)

NOTE: ALL CONDUIT TO BE MIN. 12" BELOW GRADE OR LOCAL FROST DEPETH AND PROJECT 3" ABOVE FOUNDATION.

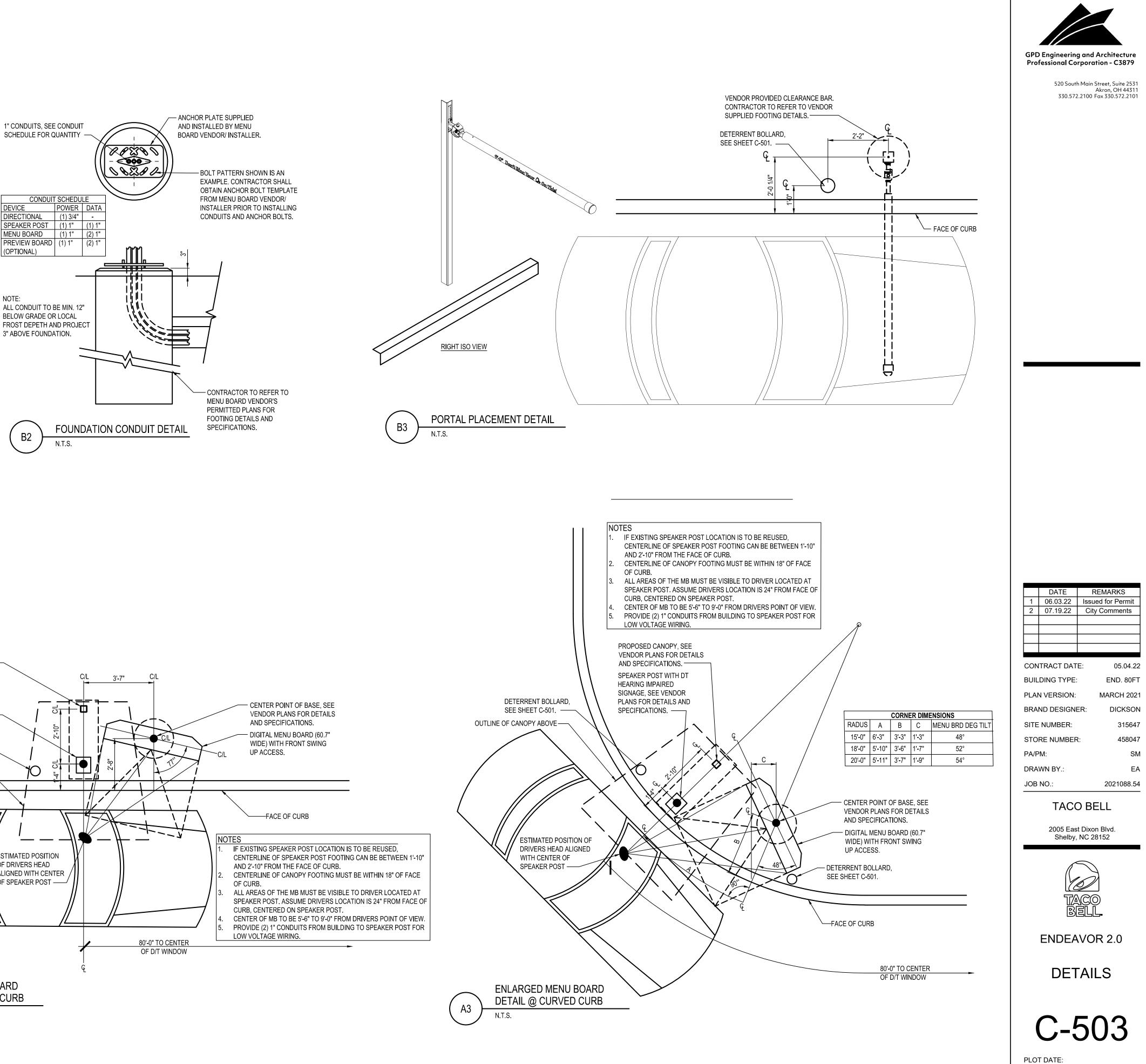
B2

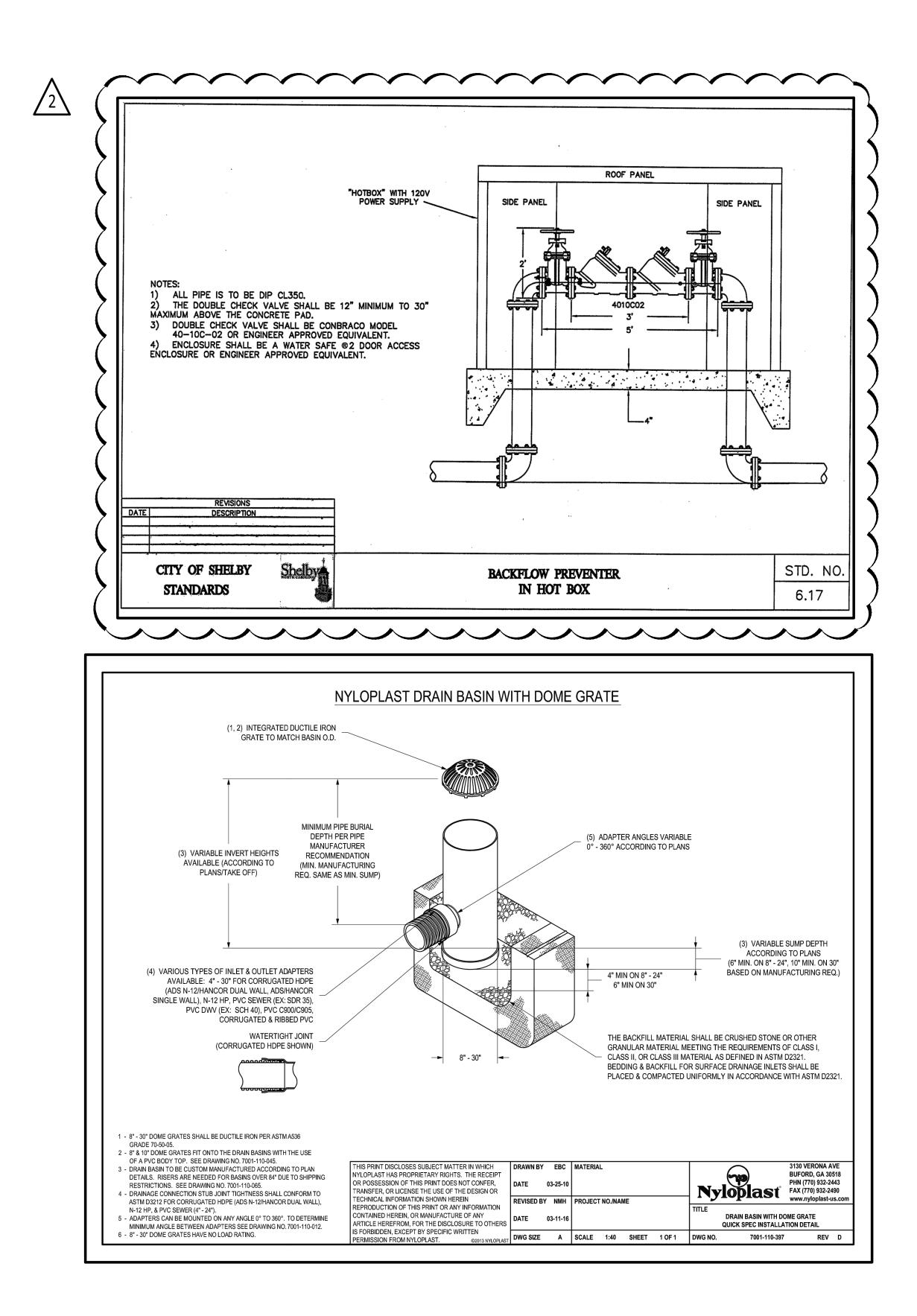
FOR DETAILS AND SPECIFICATIONS. -SPEAKER POST WITH DT HEARING IMPAIRED SIGNAGE, SEE VENDOR PLANS FOR DETAILS AND SPECIFICATIONS. -DETERRENT BOLLARD, SEE SHEET C-501. ____ 10 OUTLINE OF CANOPY ABOVE ESTIMATED POSITION OF DRIVERS HEAD ALIGNED WITH CENTER OF SPEAKER POST —

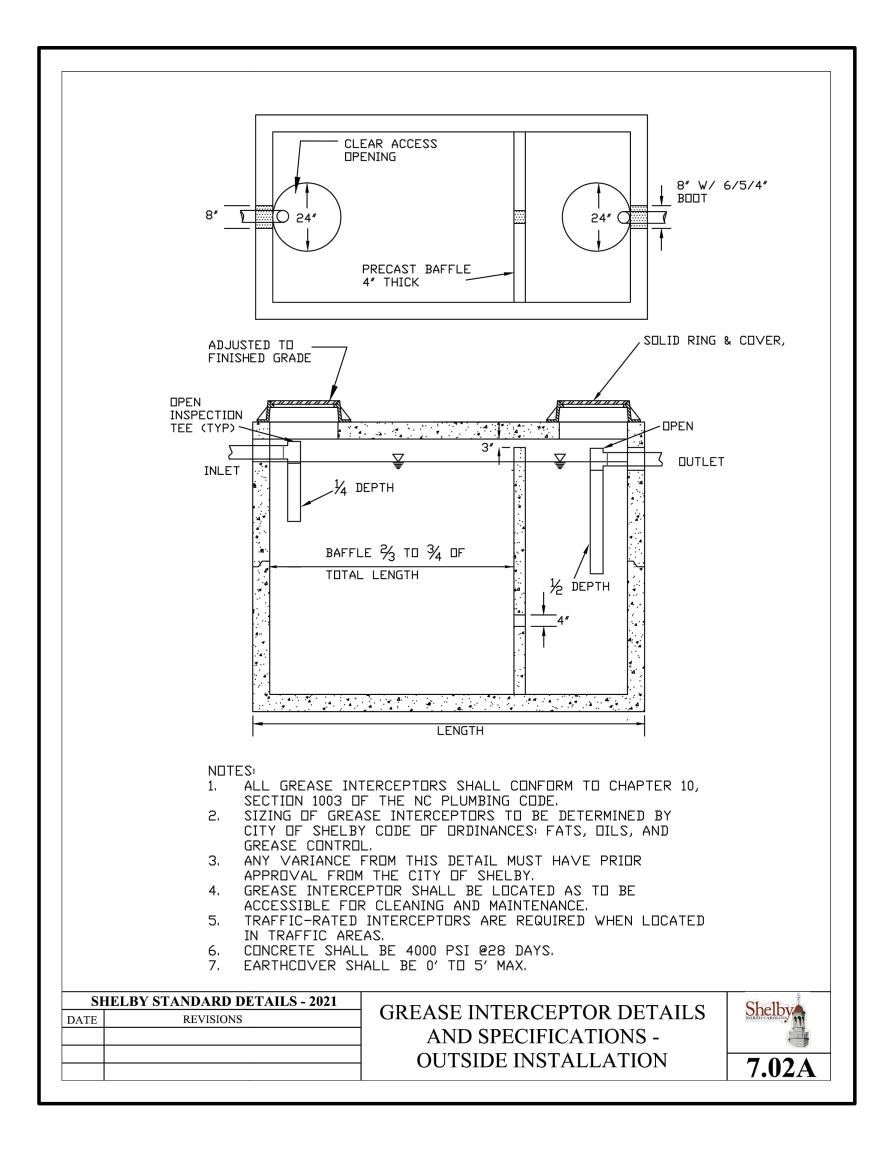
PROPOSED CANOPY, SEE VENDOR PLANS



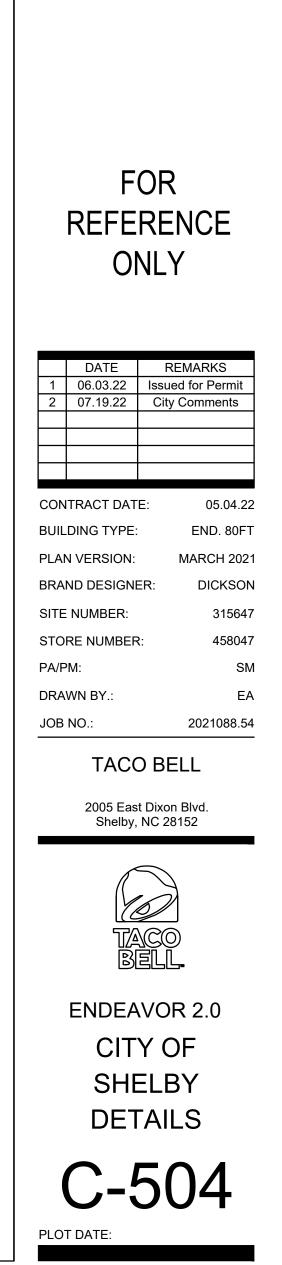
ENLARGED MENU BOARD DETAIL @ STRAIGHT CURB







This document has not been reviewed by the stamping party. Therefore, the stamping party makes no representation(s) with respect to its contents, and shall not be liable for such. Any reliance on this stamp shall be at the relying party(ies)'s own risk and hereby waives any and all claim(s) related to the existence of the stamp or otherwise.





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SCOPE OF WORK

- THIS WORK SHALL CONSIST OF PERFORMING CLEARING AND GRUBBING, SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
- QUANTITY TAKEOFF IS SUPPLIED FOR CONTRACTOR'S ASSISTANCE ONLY. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL PLANT MATERIALS AS PER PLAN.
- NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR WITHIN EASEMENT OR RIGHT-OF-WAY LIMITS.

PRESERVATION/PROTECTION (IF APPLICABLE)

- CONTRACTOR SHALL MAINTAIN AND PRESERVE TREES AND SHRUBS NOT BEING REMOVED, INCLUDING THEIR ROOTS. TREE PROTECTION FENCING SHALL BE USED AT THE DRIP LINE OF ALL TREES AND SHRUBS WITHIN 50 FEET OF CONSTRUCTION EXCEPT AS SHOWN ON PLAN. FENCING SHALL REMAIN IN PLACE UNTIL FINAL PLANT INSPECTION FOLLOWING CONSTRUCTION. MATERIALS SHALL NOT BE STOCKPILED WITHIN THIS DEFINED AREA AND VEHICLES AND OTHER EQUIPMENT SHALL BE OPERATED TO AVOID SOIL COMPACTION.
- FEEDER ROOTS SHOULD NOT BE CUT IN AN AREA EQUAL TO TWICE THE TREE CIRCUMFERENCE GENERAL WORK PROCEDURES (MEASURED 6" ABOVE THE GROUND LINE IN INCHES) EXPRESSED IN FEET. (EXAMPLE: A CIRCUMFERENCE OF 10" WOULD HAVE A 'NO CUT' ZONE OF 20 FEET IN ALL DIRECTIONS FROM 1. LANDSCAPE WORK SHALL BE ACCORDING TO THE WORKMANLIKE STANDARDS ESTABLISHED THE TREE). THIS SHOULD APPLY TO UTILITY SERVICES, IF FEASIBLE. THE ONLY EXCEPTION TO THIS REQUIREMENT WILL BE THOSE SPECIFICALLY ALLOWED BY THE LANDSCAPE ARCHITECT, SPECIFICATIONS OR AS INDICATION ON THE PLANS.
- TREE TRUNKS AND EXPOSED ROOTS DAMAGED DURING EQUIPMENT OPERATIONS SHALL BE TREATED IN ACCORDANCE WITH THE ARBOR CULTURAL STANDARDS OF THE CITY.

PLANT MATERIALS

- GENERAL ALL MATERIALS SHALL BE OF ITS KIND AVAILABLE AND SHALL HAVE BEEN GROWN IN A CLIMATE SIMILAR TO THAT ON SITE.
- PLANTS ALL PLANTS SHALL BE HEALTHY, OF NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS. QUALITY AND SIZE OF PLANT MATERIAL SHALL CONFORM TO ANSI Z60.1 "AMERICAN STANDARDS FOR NURSERY STOCK".
- VARIETIES AND SIZES OF PLANTS SHALL BE AS SHOWN ON DRAWINGS.
- PLANTS SHALL BE IN A HEALTHY. VIGOROUS CONDITION. FREE OF DEAD OR BROKEN BRANCHES, SCARS THAT ARE NOT COMPLETELY HEALED, FROST CRACKS, DISFIGURING KNOTS, BROKEN OR ABRADED BARK, REDUNDANT LEADERS OR BRANCHES, OR ABERRATIONS OF ANY KIND. PLANTS SHALL NOT HAVE MULTIPLE LEADERS, UNLESS THIS IS THE NATURAL FORM.
- BALLED AND BURLAPPED (B&B) PLANTS SHALL BE DUG WITH A FIRM ROOT BALL OF NATURAL EARTH, OF A SIZE IN PROPORTION TO THE PLANT'S SIZE, AS MEASURED BY CALIPER, HEIGHT, OR SPREAD. BALLED AND BURLAPPED PLANTS SHALL BE HANDLED ONLY BY THE ROOT BALL, NOT BY THE TRUNK OR BRANCHES, AS THIS MAY BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM. CONTAINER PLANTS SHALL HAVE BEEN ESTABLISHED FOR A MINIMUM OF ONE FULL GROWING SEASON IN THEIR CONTAINERS BEFORE INSTALLATION. CONTAINER PLANTS SHALL BE HANDLED ONLY BY THE CONTAINER, NOT BY THE STEMS OR BRANCHES, AS THIS MAY PULL THE PLANT OUT OF THE CONTAINER AND BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM.
- PLANTS SHALL BE PROTECTED FROM DRYING OUT DURING SHIPPING WITH TARPAULINS OR OTHER COVERINGS. PLANTS SHALL BE PROTECTED FROM DRYING OUT AFTER DELIVERY BY PLANTING IMMEDIATELY; IF THIS IS NOT POSSIBLE, THE ROOT BALL SHALL BE COVERED WITH 6. INSTALL BED EDGING AND MULCH. PEAT MOSS OR EARTH, AND WATERED FREQUENTLY TO KEEP IT MOIST UNTIL PLANTING.
- DO NOT HANDLE, MOVE, BIND, TIE OR OTHERWISE TREAT PLANTS SO AS TO DAMAGE THE ROOT BALL, ROOTS, TRUNK, OR BRANCHES IN ANY WAY.

TOPSOIL

- TOPSOIL HAS BEEN (OR WILL BE) STOCKPILED FOR REUSE IN LANDSCAPE WORK. IF QUANTITY OF STOCKPILED TOPSOIL IS INSUFFICIENT, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED TO COMPLETE LANDSCAPE WORK. IMPORTED TOPSOIL SHALL CONSIST OF LOOSE, FRIABLE, LOAMY TOPSOIL WITHOUT ADMIXTURE OF SUBSOIL OR REFUSE. ACCEPTABLE TOPSOIL SHALL CONTAIN NOT LESS THAN 3 PERCENT NOR MORE THAN 20 PERCENT ORGANIC MATTER.
- PLANTING BACKFILL FOR PARKING LOT ISLANDS SHALL CONSIST OF A HOMOGENEOUS MIXTURE OF 3 PARTS TOPSOIL TO ONE PART SPHAGNUM PEAT INSTALLED OVER A 6" THICKNESS OF NO. 57 AGGREGATE.

SOIL CONDITIONING

- OBTAIN LABORATORY ANALYSIS OF STOCKPILED AND IMPORTED TOPSOIL COMPLETE WITH 3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF RECOMMENDATIONS FOR SOIL AMENDMENT.
- BEFORE MIXING, CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL OR TOXIC TO PLANT GROWTH.
- MIX SPECIFIED SOIL AMENDMENTS AND FERTILIZERS WITH TOPSOIL AT RATES SPECIFIED BY THE LAB REPORT. DELAY MIXING OF FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
- FOR PLANTING BEDS AND LAWNS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING. MIX LIME WITH 3. IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER DRY SOIL PRIOR TO MIXING OF FERTILIZER.
- 5. PREVENT LIME FROM CONTACTING ROOTS OF ACID-LOVING PLANTS.
- 6. APPLY PHOSPHORIC ACID FERTILIZER (OTHER THAN THAT CONSTITUTING A PORTION OF COMPLETE FERTILIZERS) DIRECTLY TO SUBGRADE BEFORE APPLYING PLANTING SOIL AND TILLING.

PLANTING SOIL

PLANTING SOIL MIX SHALL BE CLEAR OF ALL STONES AND DEBRIS 1" OR LARGER, AND CONSIST OF THE FOLLOWING: 25% ORGANIC COMPOST, 75% ACCEPTABLE TOPSOIL.

OTHER MATERIALS

- BED EDGING EDGING SHALL BE 4" STEEL EDGING WITH THREE (3) METAL ANCHOR STAKES PER 20 FOOT SECTION. ALL MASS PLANTING BEDS SHALL HAVE EDGING PLACED BETWEEN MULCH AREA AND ANY ADJACENT TURF AREA.
- 2. MULCH: ORGANIC MULCH FREE FROM DELETERIOUS MATERIALS AND SUITABLE FOR TOP DRESSING OF TREES, SHRUBS, OR PLANTS AND CONSISTING OF THE FOLLOWING:
 - GRAVEL MULCH AREA: RED GRANITE. SHALL BE INSTALLED WITHIN SPECIFIED GRAVEL MULCH AREAS PER THE PLAN. RED GRANITE MULCH SHALL BE INSTALLED AT 3" INCHES DEPTH.
 - NON-DRYED, DOUBLE SHREDDED HARDWOOD SHALL BE INSTALLED IN ALL OTHER b. LANDSCAPE BEDS OUTSIDE OF THE RIVER ROCK MULCH AREA AT A DEPTH OF 3 INCHES.
- MAINTAIN LAWNS BY WATERING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS 3. WEED BARRIER - POLYETHYLENE FILTER FABRIC DESIGNED TO PERMIT WATER INFILTRATION ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, WHILE PREVENTING WEED GROWTH-TO BE INSTALLED IN ALL PLANTING BEDS. ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

- FOR LANDSCAPE CONSTRUCTION AND PLANTING IN THE NORTH CAROLINA STANDARDIZED LANDSCAPE SPECIFICATIONS (ASLA) AND ANY LOCAL LANDSCAPE ORDINANCES.
- 2. CONTRACTOR SHALL OBTAIN A COPY OF LOCAL ORDINANCES REGARDING ACCEPTABLE PLANT AND PLANTING DETAILS AND ABIDE BY THOSE ORDINANCES AND DETAILS.
- 3. ENGINEER RESERVES THE RIGHT TO REJECT ALL PLANT MATERIAL DEEMED NOT ACCEPTABLE.
- ANY PROPOSED PLANT SUBSTITUTIONS SHALL BE EQUIVALENT IN FORM, HABIT, STRUCTURE, BRANCHING AND LEAF TYPE AND MUST BE ISSUED TO THE LANDSCAPE ARCHITECT FOR APPROVAL, IN WRITING, PRIOR TO INSTALLATION.

WEEDING

1. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.

PLANTING

- POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE OWNER BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
- 2. PLANTING PITS SHALL BE AS PER DETAILS.
- PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLANT. COMPLETE BACKFILLING AND WATER THOROUGHLY.
- 4. PREPARE RAISED EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH PLANT.
- 5. WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
- 7. REMOVE ALL SALES TAGS, STRINGS, STRAPS, WIRE, ROPE OR OTHER MATERIALS THAT MAY INHIBIT PLANT GROWTH BOTH ABOVE AND BELOW THE SURFACE OF THE SOIL.
- 8. REMOVE ANY BROKEN, SUCKERING, DISEASED, CRISSCROSSED OR AESTHETICALLY DISPLEASING BRANCHES BACK TO LIVE LEADER OR SIDE LATERAL WITH A FLUSH CUT
- 9. MULCH TREES AND SHRUBS AND OTHER AREAS NOTED ON THE PLANTING PLAN WITH A 3" LAYER OF MULCH AS SPECIFIED IN NOTE 2 OF "OTHER MATERIALS".

FINISH GRADING

- 1. ALL AREAS WILL BE GRADED BY THE CONTRACTOR TO SUBSTANTIALLY PLUS/MINUS 0.1 FOOT OF FINISH GRADE.
- 2. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN, UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.
- SURFACE WATER.
- 4. PARKING LOT ISLAND SHALL BE BACKFILLED AS PART OF THIS CONTRACT.

GROUND COVER

- 1. SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.
- 2. MULCH GROUND COVER WITH 2" THICKNESS OF SPHAGNUM PEAT.
- GROUND COVER.
- 4. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.

GUARANTEE

1. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF PROJECT ACCEPTANCE BY THE OWNER.

LANDSCAPE NOTES & PLANTING SPECIFICATIONS

CLEANUP

1. UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. AN 'ACCEPTABLE CONDITION' SHALL BE AS DEFINED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

MAINTENANCE

(MAINTENANCE PERIOD TO COMMENCE AFTER FINAL INSPECTION.)

- MAINTENANCE PERIOD FOR THIS CONTRACT SHALL BE 90 CALENDAR DAYS COMMENCING AFTER FINAL INSPECTION OF CONSTRUCTION.
- MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED.
- 4. MAINTAIN THE LANDSCAPING BY KEEPING ALL PLANTS DISEASE-FREE AND PLANTING BEDS GROOMED, EXCEPT IN NATURALLY OCCURRING VEGETATION AREAS.
- REPLACE ANY REQUIRED PLANTING(S), WHICH SEVERELY DECLINE OR DIE AFTER THE DATE OF PLANTING. SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT APPROPRIATE PLANTING SEASON.

SEEDING

- GRASS SEED SHALL BE FRESH, CLEAN, DRY, NEW-CROP SEED COMPLYING WITH THE ASSOCIATION OF OFFICIAL SEED ANALYSTS' "RULES FOR TESTING SEEDS" FOR PURITY AND GERMINATION TOLERANCES.
- 2. ALL AREAS TO BE SEEDED SHALL RECEIVE NO LESS THAN FIVE POUNDS OF SEED PER ONE THOUSAND SQUARE FEET. APPLY SEED AND PROTECT WITH STRAW MULCH AS REQUIRED FOR NEW LAWNS. GRASS SEED MIX SHALL CONSIST OF THE FOLLOWING:

PROPORTION	NAME		MIN.% PURE SEED	MAX.% WEED SEED
30%	KENTUCKY BLUEGRASS (POA PRATENSIS)	80	85	0.50
30%	CREEPING RED FESCUE (FESTUCA RUBRA)	85	98	0.50
20%	PERENNIAL RYE GRASS (LOLIUM PERENNÉ)	90	98	0.50
20%	ANNUAL RYEGRASS (LOLIUM MULTIFLORUM)	85	92	1.00

SODDING

- 1. SOD SHALL BE FIRST GRADE CERTIFIED KY 31 TALL FESCUE BLEND CONTAINING NOT MORE THAN 30 PERCENT OF OTHER GRASSES AND CLOVERS, AND FREE FROM ALL NOXIOUS WEEDS. SOD SHALL BE RECENTLY MOWED TO A HEIGHT OF NOT LESS THAN 3 INCHES. IT SHALL BE CUT INTO STRIPS OF NOT LESS THAN 3 FEET AND NOT OVER 6 FT. WITH A UNIFORM WIDTH OF NOT OVER 24 INCHES.
- 2. THE SOD SHALL BE CUT TO A DEPTH EQUAL TO THE GROWTH OF THE FIBROUS ROOTS BUT IN NO CASE LESS THAN 1 INCH. SOD SHALL BE DELIVERED TO THE JOB WITHIN 24 HOURS AFTER BEING CUT AND SHALL BE INSTALLED WITHIN 48 HOURS AFTER BEING CUT.
- BEFORE SOD IS PLACED, THE SOD BED WILL HAVE BEEN EXCAVATED TO SUCH A DEPTH THAT WHEN THE SOD IS IN PLACE THE TOP OF THE SOD WILL BE FLUSH WITH THE SURROUNDING GRADE. NO SOD SHALL BE PLACED WHEN THE TEMPERATURE IS BELOW 32 DEGREES F. NO FROZEN SOD SHALL BE PLACED NOR SHALL ANY SOD BE PLACED ON FROZEN SOIL.
- WHEN SOD IS PLACED BETWEEN THE DATES OF JUNE 1ST AND OCTOBER 15TH, IT SHALL BE COVERED IMMEDIATELY WITH A STRAW MULCH 1 INCH THICK (LOOSE MEASUREMENT). AFTER LAYING, THE SOD SHALL BE WATERED THOROUGHLY AND TAMPED WITH APPROVED SOD TAMPERS SUFFICIENTLY TO BRING THE SOD INTO CLOSE CONTACT WITH THE SOD BED AND INSURE TIGHT JOINTS BETWEEN THE SECTIONS OR STRIPS.
- 5. THE CONTRACTOR SHALL KEEP ALL SODDED AREAS INCLUDING SUBGRADE, THOROUGHLY MOIST FOR 30 DAYS AFTER SODDING.
- THE CONTRACTOR SHALL REPAIR ANY AREAS DAMAGED FOLLOWING INSTALLATION AS DIRECTED BY THE ENGINEER. SOD SHALL BE IN PLACE AT LEAST 30 DAYS BEFORE FINAL ACCEPTANCE.

PLANTING SCHEDULE

1. ALL PLANTING IS RECOMMENDED TO BE DONE WITHIN THE FOLLOWING DATES. WHEN PLANTING OUTSIDE THESE DATES. WRITTEN DOCUMENTATION SHALL BE PROVIDED THAT SURVIVAL OR REPLACEMENT WILL BE ENSURED. NO PLANTING SHALL BE DONE IN FROZEN SOIL.

ALL TREES AND SHRUBS	<u>SPRING</u> MARCH 15-MAY 15 APRIL 1-MAY 15 APRIL 1-JUNE1	FALL OCTOBER 1-DECEMBER 1 OCTOBER 1-NOVEMBER 15 WHEN SOD IS WORKABLE
GROUNDCOVERS A SEED AND MULCH	APRIL 1-JUNE1	WHEN SOD IS WORKABLE SEPTEMBER 1-APRIL 15

GENERAL NOTE

1. ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE WITHIN THE RIGHT-OF-WAY SHALL BE FINE GRADED TO MAINTAIN POSITIVE DRAINAGE, HAVE A 4" LAYER OF TOPSOIL APPLIED AND BE SEEDED ACCORDING TO SPECIFICATIONS ON THIS SHEET.

PLANT	LIST					
Symbol	Botanical Name	Common Name	Quantity	Size	Condition	Remarks
Bx	Buxus microphylla 'Bulthouse'	Sprinter Boxwood	12	24" Ht., No. 5	B&B	3' o/c
Сс	Carytopteris x cladonensis 'MiniBleu'	Petit Bleu Bluebeard	29	No. 3	Cont.	2.5' o/c
Dg	Deutzia gracilis 'Duncan'	Chardonnay Pearls Deutzia	39	24" Ht., No. 5	Cont.	3' o/c
Fg	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	15	No. 1	Cont.	2' o/c
Hb	Hemerocallis 'Going Bananas'	Going Bananas Daylily	27	No. 1	Cont.	2' o/c
La	Lavandula angustifolia 'Armtipp01'	Big Time Blue English Lavender	23	No. 2	Cont.	2' o/c
PI	Prunus laurocerasus 'Schipkaensis'	Schipka Laurel	21	36" Ht.	B&B	4' o/c
Yf	Yucca filamentosa 'Color Guard'	Colorguard Yucca	5	No. 5	Cont.	Per Plan



GPD Engineering and Architecture **Professional Corporation - C3879**

> 520 South Main Street, Suite 2531 Akron, OH 44311 330.572.2100 Fax 330.572.2101

	DATE	REMARKS		
1	06.03.22 Issued for Perm			
2	07.19.22	City Comments		
CON	ITRACT DAT	E: 05.04.22		
BUIL	DING TYPE:	END. 80FT		
PLA	VERSION:	MARCH 2021		
BRA	ND DESIGN	ER: DICKSON		
SITE	NUMBER:	315647		
sто	RE NUMBEF	R: 458047		
PA/P	PM:	SM		
DRA	WN BY.:	JRA		
JOB	NO.:	2021088.54		
TACO BELL				

2005 East Dixon Blvd.

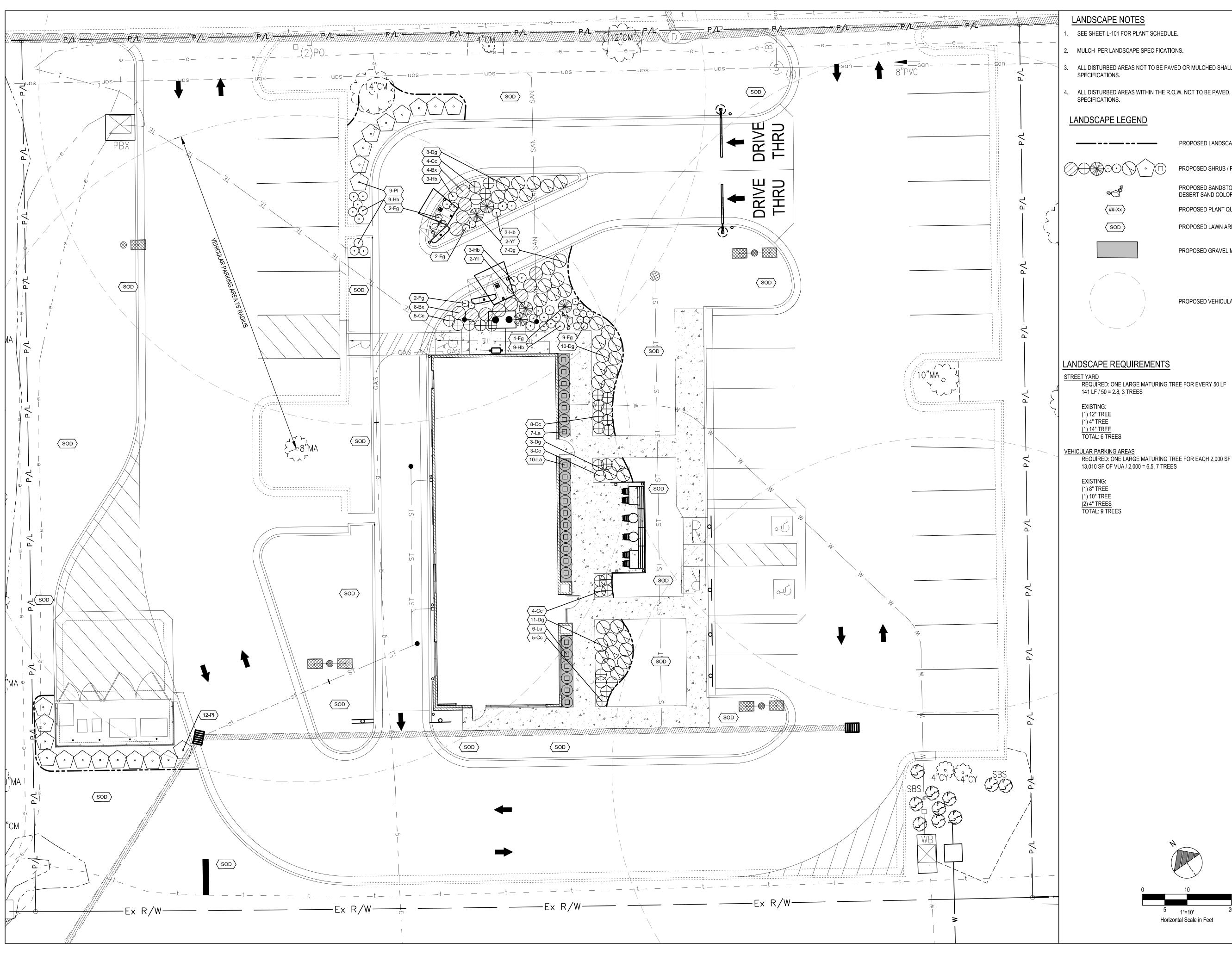
Shelby, NC 28152

ENDEAVOR 2.0

LANDSCAPE

NOTES

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- ALL DISTURBED AREAS NOT TO BE PAVED OR MULCHED SHALL BE SODDED PER
- ALL DISTURBED AREAS WITHIN THE R.O.W. NOT TO BE PAVED, SHALL BE SEEDED PER THE

PROPOSED LANDSCAPE BED EDGE

PROPOSED SHRUB / PERENNIAL

PROPOSED SANDSTONE BOULDER, DESERT SAND COLOR, 12"-36" PROPOSED PLANT QUANTITY AND SYMBOL

PROPOSED LAWN AREA

PROPOSED GRAVEL MULCH AREA

PROPOSED VEHICULAR PARKING AREA 75' RADIUS

REQUIRED: ONE LARGE MATURING TREE FOR EACH 2,000 SF OF VEHICULAR USE AREA (VUA) 13,010 SF OF VUA / 2,000 = 6.5, 7 TREES



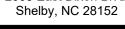
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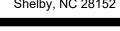
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DRAWN BY.:			JRA
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TACO BELL

2005 East Dixon Blvd. Shelby, NC 28152





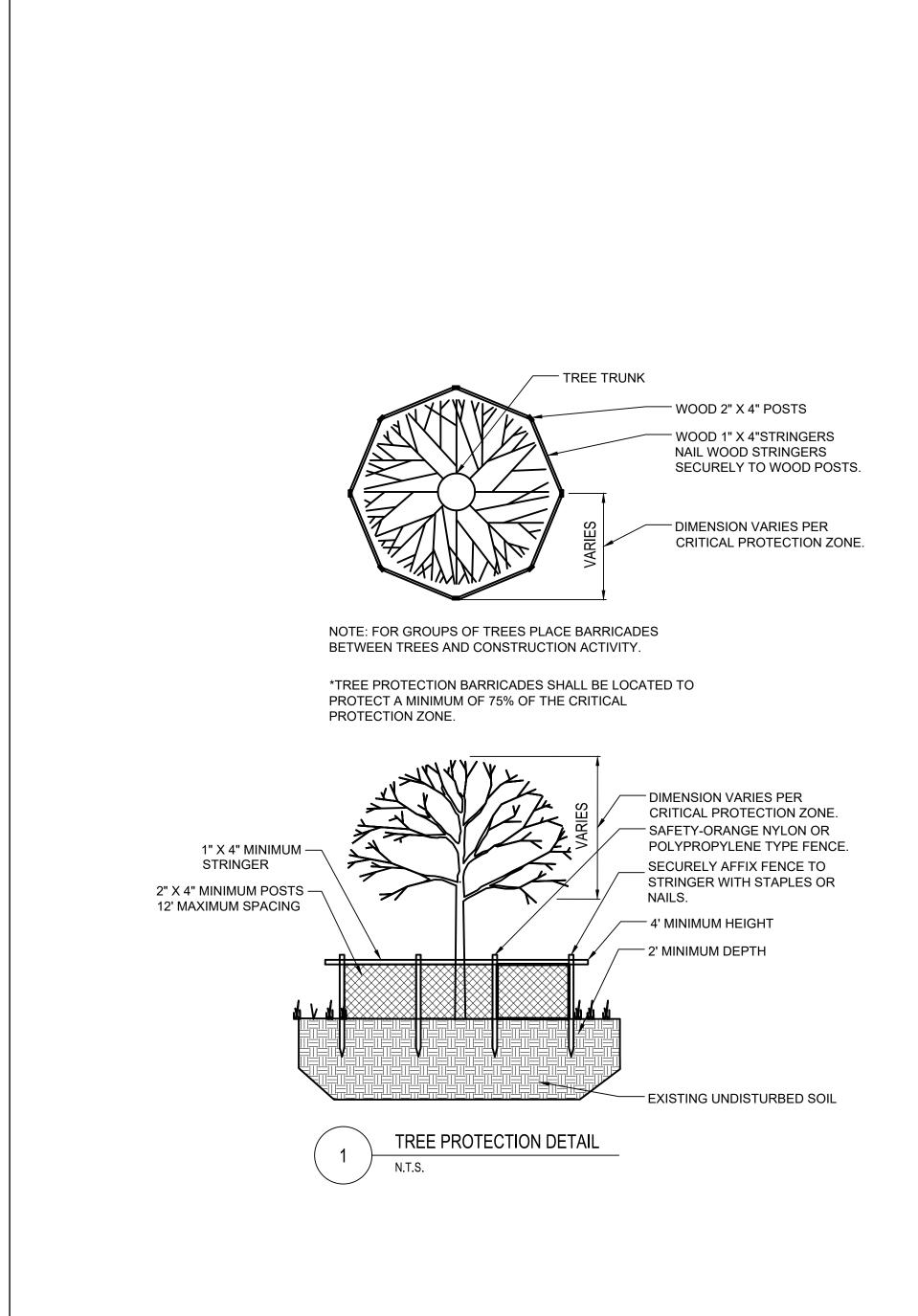
TACO BELL

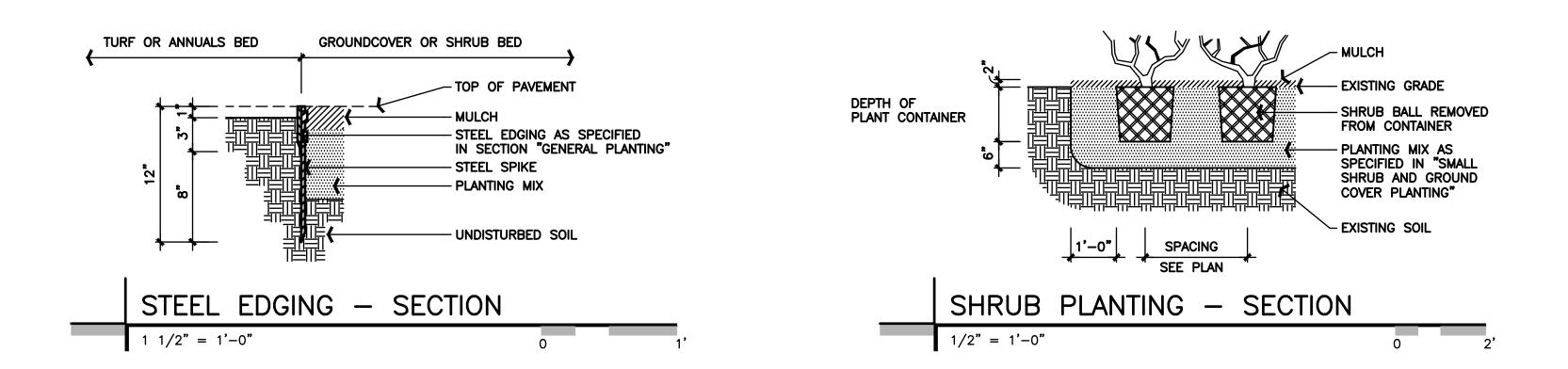
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LANDSCAPE

PLAN

L-101







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ENDEAVOR 2.0

LANDSCAPE

DETAILS

L-501