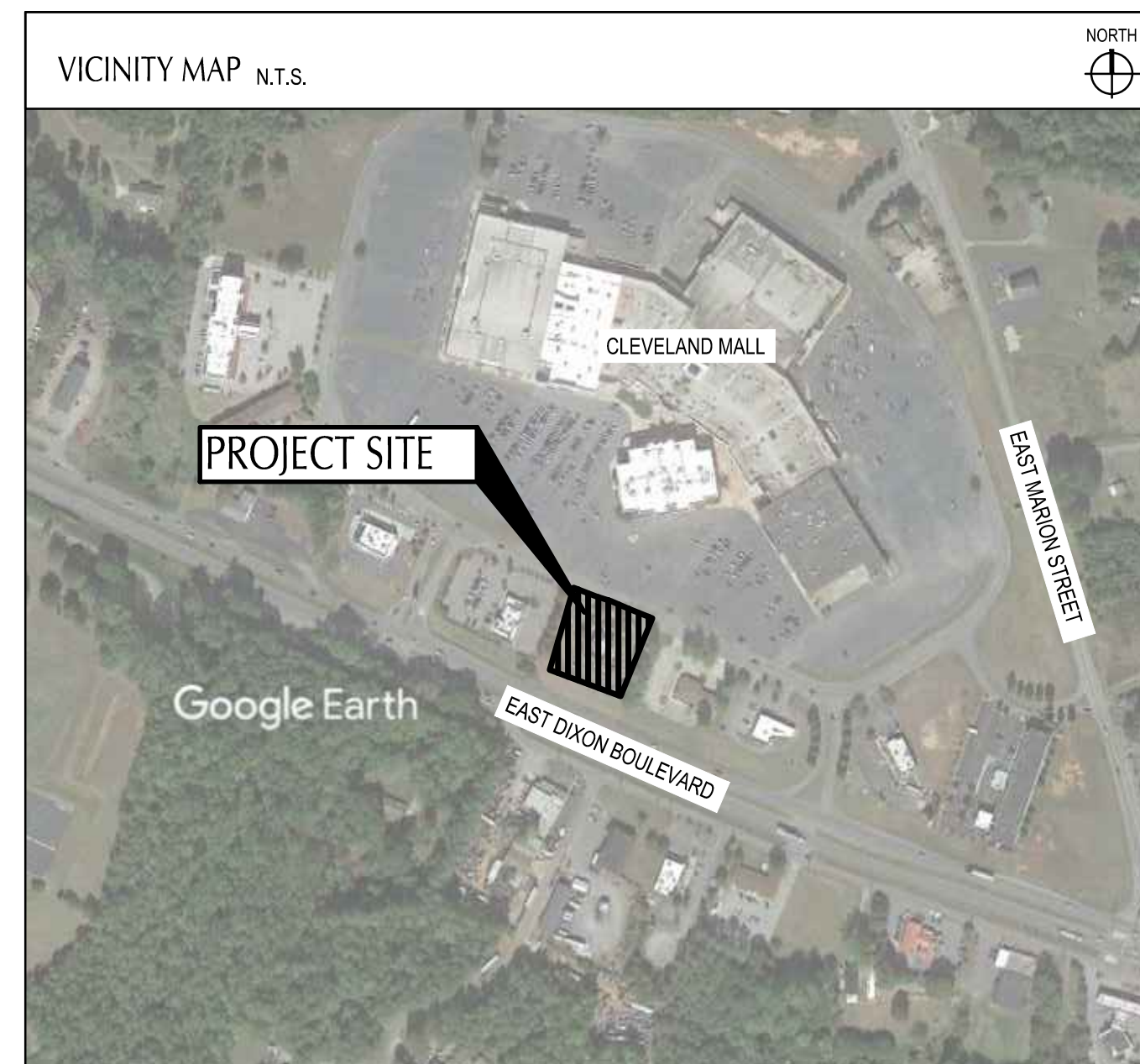


IMPROVEMENT PLANS

# TACO BELL

2005 EAST DIXON BOULEVARD  
SHELBY, NORTH CAROLINA  
JUNE, 2022



MAP DATA © 2019 GOOGLE EARTH

**PROJECT DESCRIPTION**

THIS PROJECT CONSISTS OF A PROPOSED TACO BELL ON A PREVIOUSLY DEVELOPED LOT. THE EXISTING LOT HAS A BUILDING WITH ASSOCIATED PARKING LOT. EXISTING BUILDING WILL BE DEMOLISHED AND PARKING LOT AROUND THE BUILDING WILL BE SAWCUT AND REMOVED FULL DEPTH. A PROPOSED TACO BELL AND A NEW PARKING LOT AROUND THE NEW BUILDING WILL BE CONSTRUCTED. REMAINDER OF THE EXISTING PARKING LOT WILL BE MILLED AND FILLED. EXISTING UTILITIES WILL BE REUSED AS NEEDED.

**NORTH CAROLINA SPECIFICATION**

THE STANDARD SPECIFICATIONS OF THE STATE OF NORTH CAROLINA, DEPARTMENT OF TRANSPORTATION, INCLUDING CHANGES AND SUPPLEMENTAL SPECIFICATIONS LISTED IN THE PROPOSAL SHALL GOVERN THIS IMPROVEMENT.

**PLAN REPRODUCTION WARNING**  
THE PLANS HAVE BEEN PREPARED FOR PRINTING ON ANSI D (22"x24") SHEETS. PRINTING ON OTHER SIZE SHEETS MAY DISTORT SCALES. REFER TO GRAPHIC SCALES.

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**OWNER AND DEVELOPER**  
YUM! BRANDS, INC.  
1900 COLONEL SANDERS LANE  
LOUISVILLE, KY 40213  
CONTACT: STEVE PULCHEON  
PH: (949) 863.3864

DATE	REMARKS
1 06.03.22	Issued for Permit
2 07.19.22	City Comments

CONTRACT DATE: 05.04.22  
BUILDING TYPE: END. 80FT  
PLAN VERSION: MARCH 2021  
BRAND DESIGNER: DICKSON  
SITE NUMBER: 315647  
STORE NUMBER: 458047  
PA/PM: SM  
DRAWN BY.: EA  
JOB NO.: 2021088.54

**TACO BELL**

2005 East Dixon Blvd.  
Shelby, NC 28152

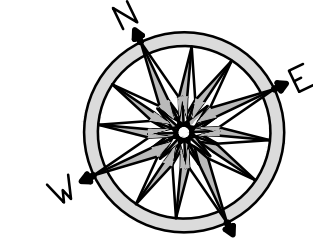
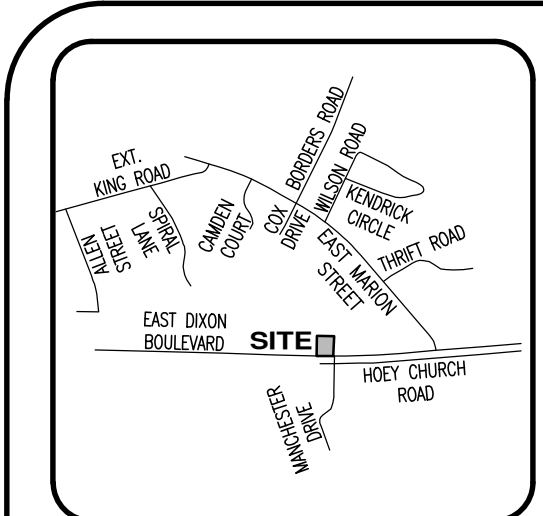


ENDEAVOR 2.0

TITLE SHEET

**TS-001**

PLOT DATE:



REFERENCE: NC GRID NAD 83/2011

**PARCEL ZONING:**  
THE SURVEYED PROPERTY IS ZONED: (GB-GENERAL BUSINESS)

THE FOLLOWING RESTRICTIONS AFFECT THE PROPERTY PER CURRENT ZONING:

- MIN. LOT AREA: NO MINIMUM
- MIN. LOT WIDTH: N/A
- MAX. BLDG. COVERAGE: 30 FEET
- MIN. FRONT SETBACK (FROM STREET RIGHT-OF-WAY): 5 FEET
- MIN. SETBACK (FROM SIDE PROPERTY LINE): 0 FEET
- MIN. SETBACK (FROM REAR PROPERTY LINE): 0 FEET
- MAX. BUILT-UP AREA (%): 0 FEET
- MAX. BLDG. HEIGHT: 0 FEET
- PARKING IS BASED UPON THE USE.

- PARKING SPACES: 49
  - REGULAR: 49
  - HANDICAP: 50
  - TOTAL PARKING: 50
- For property located within a watershed protection overlay district, see Section 10-1 for minimum lot area and built-upon area requirements. See note # 1 below for residential areas.
  - If located outside of a watershed protection overlay district and if public water and sewer service is available, there is no maximum built-upon area requirement. See Section 10-1 for maximum built-upon area requirements for lots located within a watershed protection overlay district.
  - Whenever a lot has a common boundary line with a lot in a residential district, the building setback shall increase one foot for every foot in building height between 35 feet and 80 feet. No additional building setback is required for buildings greater than 80 feet in height.

ZONING COMPLIANCE AND/OR RESTRICTIONS BASED ON CURRENT OR PLANNED USE MUST BE VERIFIED BY ZONING OFFICIALS.

ZONING CONTACT: ALAN TONEY (SENIOR PLANNER)  
CITY OF SHELBY (704) 484-6829

**TEXT LEGEND:**

- (M) - MEASURED
- (R) - RECORD
- BE - BEECH (TREE)
- BH - BOREHOLE
- BLDG. - BUILDING
- BR - BIRCH (TREE)
- C&C - CURB AND GUTTER
- C.P.A.D. - CONCRETE PAD
- CB - CATCH BASIN
- CC - CURB CUT
- CM - CREPE MYRTLE (TREE)
- CMP - CORRUGATED METAL PIPE
- CO - CLEAN OUT
- CONC. - CONCRETE
- COV. - COVERED
- CPP - CORRUGATED PLASTIC PIPE
- DB - DEED BOOK
- DI - DROP INLET
- DIP - DUCTILE IRON PIPE
- EIP - EXISTING IRON PIPE
- EIR - EXISTING IRON ROD
- EL - ELEVATION
- EN - EXISTING NAIL
- EU - END UNKNOWN
- FES - FLARED END SECTION
- FFE - FINISH FLOOR ELEVATION
- FH - FIRE HYDRANT
- GDP - GUARD POST
- GM - GAS METER
- GP - GUY POLE
- GR - GRATE
- GTHM - GREASE TRAP MANHOLE
- GW - GUY WIRE
- HVAC - HEATING/AIR UNIT
- HW - HEAD WALL
- INV - INVERT
- JBX - JUNCTION BOX

**TEXT LEGEND:**

- LC - LOCATION
- LP - LIGHT POLE
- LPST - LAMP POST
- MA - MAPLE (TREE)
- MFL - METAL FENCE
- NAVD - NORTH AMERICA VERTICAL DATUM
- NC - NORTH CAROLINA
- NCGS - NORTH CAROLINA GEODETIC SURVEY
- NIR - NEW IRON ROD
- OTCB - OPEN THROAT CATCH BASIN
- PB - PLAT BOOK
- PBX - POWER BOX
- PG - PAGE
- PLTR - PLANTER
- PM - POWER METER
- PO - POWER OUTLET
- POB - POINT OF BEGINNING
- PP - POWER POLE
- PVC - PLASTIC PIPE
- RD - ROOF DRAIN
- SB - SHRUB
- SBS - SHRUBS
- SDMH - STORM DRAIN MANHOLE
- SQ.FT. - SQUARE FEET
- SS - SANITARY SEWER MANHOLE
- TB - TALK BOX
- TEK - TELEPHONE BOX
- TW - TOP OF WALL
- VV - VALLEY CURB
- WB - WATER BOX
- WC - WILD CHERRY (TREE)
- WM - WATER METER
- WT - WATER VALVE

**SIGN LEGEND:**

- SG#1 - HANDICAP SPACE
- SG#2 - HANDICAP SPACE

**NOTES:**

- THIS MAP REPRESENTS A SURVEY OF AN EXISTING PARCEL OF LAND.
- SUBJECT PROPERTY ZONED: (GB-GENERAL BUSINESS)
- ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
- AT THE TIME OF THIS SURVEY, THERE WAS NO EVIDENCE FOUND OF ANY CEMETERIES OR BURIAL GROUNDS.
- AT THE TIME OF THIS SURVEY, THERE WAS NO EVIDENCE OF EARTH MOVING WORK AND/OR CONSTRUCTION.
- AT THE TIME OF THIS SURVEY, THE UNDERSIGNED SURVEYOR WAS NOT AWARE OF ANY CHANGES IN STREET RIGHT-OF-WAY LINES (COMPLETED OR PROPOSED).
- AT THE TIME OF THIS SURVEY, THERE WAS NO EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP, OR SANITARY LANDFILL.
- BEARINGS SHOWN ON THIS SURVEY ARE REFERENCED TO NCOS MONUMENT "MALL" NC GRID NAD83/2011.
- THIS SURVEY IS INTENDED ONLY FOR THE NAMED PARTY OR PARTIES AS SHOWN HEREON. NO WARRANTIES ARE HEREBY IMPLIED OR GRANTED TO ANY OTHER PARTY FOR ANY PURPOSE.
- UTILITY LOCATING SERVICE: ALLSTAR LOCATING 1-704-775-1500



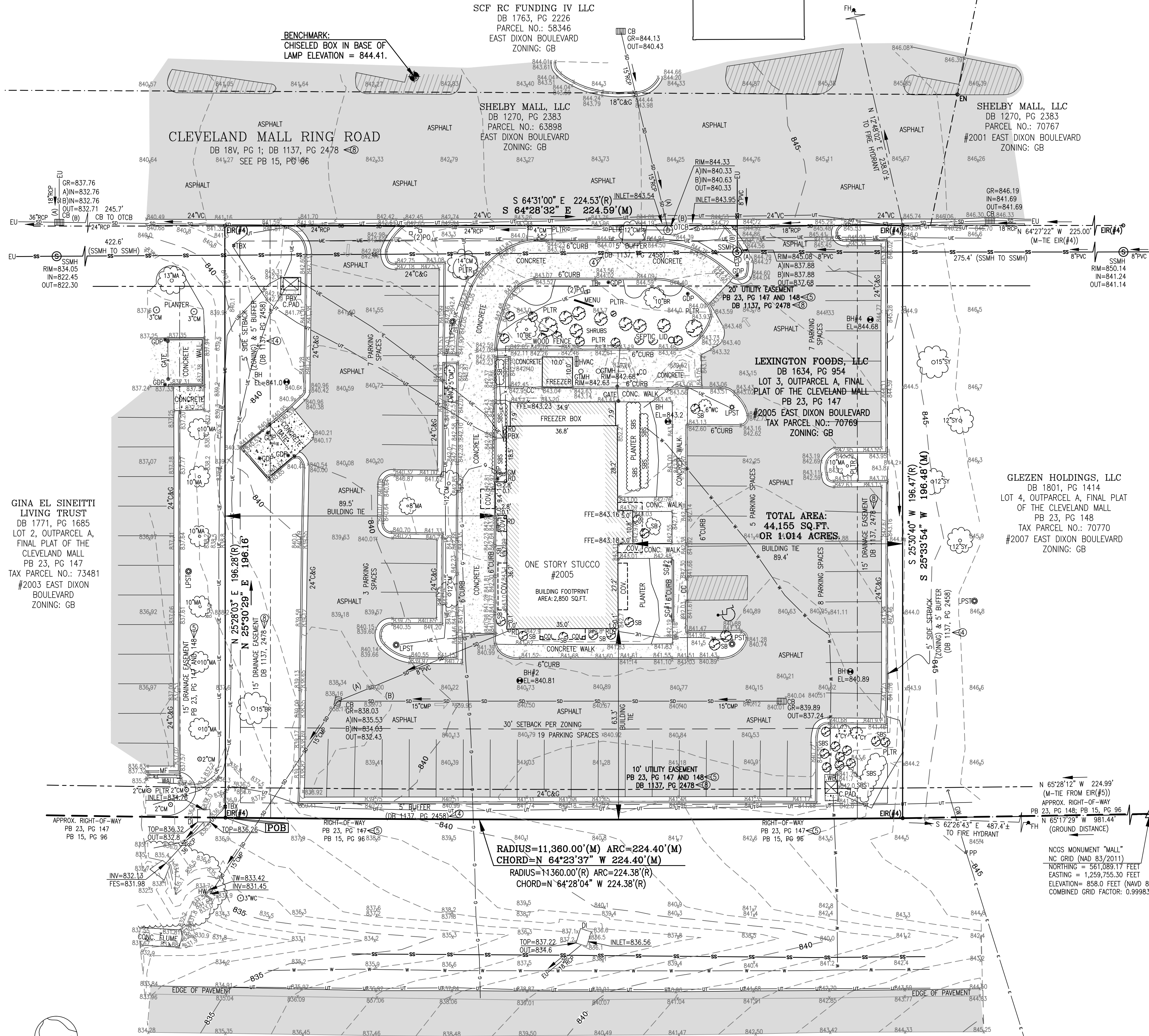
**TACO BELL**  
SITE NUMBER: 315647  
STORE NUMBER: 458047  
JOB NO.: 2021088.54  
2005 EAST DIXON BLVD.  
SHELBY, NC 28152

**LINE LEGEND:**

- PROPERTY LINE (NOT SURVEYED)
- RIGHT-OF-WAY
- RIGHT-OF-WAY (NOT SURVEYED)
- EASEMENT
- SETBACK
- CABLE TV LINE
- FIBER OPTIC LINE
- GAS LINE
- POWER LINE
- POWER LINE (UNDERGROUND)
- SANITARY SEWER PIPE
- STORM DRAIN PIPE
- TELEPHONE LINE (UNDERGROUND)
- TREES/WOODLINE
- WATER LINE
- FENCE

**FLOOD CERTIFICATION**  
THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO THE CURRENT FLOOD INSURANCE RATE MAP.  
COMMUNITY/PANEL: 37006A / 2556 J  
EFFECTIVE DATE: 02/20/2008  
FLOOD ZONE: X

GINA EL SINEITTI  
LIVING TRUST  
DB 1771, PG 1685  
LOT 2, OUTPARCEL A,  
FINAL PLAT OF THE  
CLEVELAND MALL  
PB 23, PG 147  
TAX PARCEL NO.: 73481  
#2003 EAST DIXON  
BOULEVARD  
ZONING: GB



**EAST DIXON BOULEVARD**  
(U.S. HIGHWAY 74 BYPASS)  
200' PUBLIC RIGHT-OF-WAY  
STATE HIGHWAY PROJECT 5.8021  
DB 17P, PG 303  
PB 15, PG 96

**REVISIONS**

**LEGAL DESCRIPTIONS**  
Taco Bell of America, LLC  
400 East Dixon Boulevard  
Shelby, Cleveland County, NC

**Record Legal Description**  
Lying and being situate in Cleveland County, North Carolina, and being more particularly described as follows: BEGINNING at an iron pin on the Northern right of way of US Highway 74 Bypass, said point being the common corner of Lots 2 and 3 of Outparcel "A" Cleveland Mall, thence North 25°26'03" East 198.28 feet to an iron pin on the private right of way of Cleveland Mall Ring Road, thence along said right of way, South 64°31'00" East 224.53 feet to an iron pipe, thence South 25°30'40" West 196.47 feet to an iron pipe on the Northern right of way of US Highway 74 Bypass, thence along and with said right of way which is a simple curve to the right having a radius of 11,360.00 feet to an arc length of 224.38 feet and a chord bearing and distance of North 64°28'04" West 224.38 feet to the point of BEGINNING, containing 44,161 square feet more or less and being all of Lot 3, Outparcel "A" Cleveland Mall, Cleveland County, North Carolina.  
TOGETHER WITH A NON-EXCLUSIVE easement for pedestrian and vehicular access contained in Deed recorded in Book 1137, page 2478, of the Cleveland County Registry.

**As-Surveyed Legal Description**  
That certain tract or parcel of land situated, lying and being in the City of Shelby, Cleveland County, North Carolina, and being more particularly described as follows:  
BEGINNING at an existing iron rod on the northerly margin of the right-of-way of East Dixon Boulevard (U.S. Highway 74 Bypass, 200' public right-of-way), said iron rod being the southeasterly corner of Lot 2, Outparcel A, as shown on the Final Plat of the Cleveland Mall as recorded in Plat Book 23, Page 147 of the Cleveland County Public Registry, and runs thence from said BEGINNING point with the easterly line of Lot 2 North 25°30'29" East a distance of 196.16 feet to an existing iron rod in the southerly line of the Cleveland Mall Ring Road as described in Deed Book 18V, Page 1 of said Registry; thence with the southerly line of the Cleveland Mall Ring Road South 64°28'32" East a distance of 224.59 feet to an existing iron rod at the northwesterly corner of Lot 4, Outparcel A, as shown on the Final Plat of the Cleveland Mall as recorded in Plat Book 23, Page 148 of said Registry; thence with the westerly line of Lot 4 South 25°33'54" West a distance of 196.48 feet to an existing iron rod on the northerly margin of the right-of-way of East Dixon Boulevard, thence with the northerly margin of the right-of-way of East Dixon Boulevard with the arc of a circular curve to the right having a radius of 11,360.00 feet for an arc distance of 224.40 feet (chord: North 64°23'37" West 224.40 feet) to the point and place of BEGINNING, containing 44,155 square feet or 1.014 acres, more or less, as shown on a survey prepared by James Mauney & Associates, P.A., dated April 13, 2022, as revised (Map File F-2258), and being all of Lot 3, Outparcel A, as shown on the said final "Final Plat of the Cleveland County Mall" as recorded in Plat Book 23, Page 147.

TOGETHER WITH A NON-EXCLUSIVE easement for pedestrian and vehicular access contained in Deed recorded in Deed Book 1137, Page 2478, of the Cleveland County Public Registry.

**ALTA/NSPS LAND TITLE SURVEY**  
SURVEY PREPARED FOR:  
**TACO BELL OF AMERICA, LLC**  
SITE ADDRESS: 2005 EAST DIXON BOULEVARD  
CITY OF SHELBY, CLEVELAND COUNTY, NORTH CAROLINA  
REFERENCE: DEED BOOK 1634, PAGE 954  
LOT 3, OUTPARCEL A, FINAL PLAT OF THE CLEVELAND MALL, PLAT BOOK 23, PAGE 147 AND 148  
TAX PARCEL: 70769  
CITY OF SHELBY, CLEVELAND COUNTY, NORTH CAROLINA  
**TOTAL AREA SURVEYED: 44,155 SQ.FT. OR 1.014 ACRES**  
TO: TACO BELL OF AMERICA, LLC, AND CHICAGO TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, 6-4a, 6-6, 7-6a, 8-10, 11-6a, 11-6b, 11-6c, 15 and 16-19 OF TABLE "A" THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 05th, 2022.  
DATE OF PLAT OR MAP: APRIL 13th, 2022  
I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DESCRIPTION RECORDED IN DEED BOOK 1634, PAGE 954). THE FIELD MEASUREMENTS AND INSTRUMENTS USED AS DRAWN ARE INDICATED AS DRAWN FROM INFORMATION SHOWN ON THE FACE OF THE SURVEY, THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:100,000; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 36.1600).  
THIS 13th DAY OF APRIL, 2022.

SIGNED: *James P. Cameron*  
JAMES P. CAMERON - PLS NO. L-3665

**SCHEDULE B - SECTION 2 EXCEPTIONS**

NOTES CORRESPONDING TO SCHEDULE B-PART II EXCEPTIONS  
CHICAGO TITLE INSURANCE COMPANY  
COMMITMENT NUMBER: 21-271446B  
COMMITMENT DATE: February 14, 2022, Printed March 9, 2022

- Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part II-Requirements are met. (NOT ADDRESSED ON SURVEY.)
- Taxes or assessments for the year 2022, and subsequent years, not yet due or payable. (NOT ADDRESSED ON SURVEY.)
- Any discrepancy, conflict, matters regarding access, shortage in area or boundary lines, encroachment, encumbrance, violation, variation, overlap, setback, easement or claim of easement, riparian right, and title to land with roads, ways, railroads, watercourses, burial grounds, marshes, dredged or filled areas or land below the mean highwater mark or within the bounds of any adjoining body of water, or other adverse circumstance affecting the Title that would be disclosed by a current inspection and accurate and complete land survey of the Land. Upon receipt of a current land survey and surveyor's report, this exception will be eliminated or amended in accordance with the facts shown thereby. (SURVEY MATTERS ARE SHOWN.)
- Covenants, conditions, restrictions, easements, and liens provided for in that Covenants, Conditions, and Restrictions Agreement filed for record in Book 1137, page 2458, and any related maps, plans, typewritten notes and other document(s) and amendments(s), but omitting any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law. (IN ADDITION TO OTHER MATTERS WHICH CANNOT BE SPECIFICALLY SHOWN ON THE SURVEY, DEED 1137-2458 RESERVES 5' UNDEVELOPED BUFFER STRIPS ALONG ALL PARCEL LINES. THE 5' BUFFERS ARE SHOWN.)
- Any right, easement, setback, interest, claim, encroachment, encumbrance, violation, variations or other adverse circumstance affecting the Title disclosed by plat(s) recorded in Plat Book 23, Page 147 and Plat Book 23, Page 148. (LOCATABLE MATTERS SHOWN ON PLAT 23, PAGES 147 & 148 ARE SHOWN.)
- Easement(s) to Southern Bell Telephone and Telegraph Company recorded in Book 4-1, page 213. (DEED BOOK 4-1, PAGE 213, AS PROVIDED BY THE TITLE COMPANY, DOES NOT CONTAIN AN EASEMENT TO SOUTHERN BELL AND IS NOT ADDRESSED ON THE SURVEY.)
- Easement(s) to Duke Power Company recorded in Book 4-R, page 153; Book 4-R, page 154; Book 4-R, page 155; Book 4-R, page 200; Book 4-R, page 225; Book 5-B, page 215; Book 5-B, page 365; Book 5-B, page 77; Book 5-W, page 421; Book 6-E, page 23; Book 6-E, page 401; Book 6-E, page 166; and Book 6-E, page 492. (EASEMENTS TO DUKE ENERGY RECORDED IN BOOK 4-R, PAGE 153; BOOK 4-R, PAGE 154; BOOK 4-R, PAGE 155; BOOK 4-R, PAGE 200; BOOK 4-R, PAGE 225; BOOK 5-B, PAGE 215; BOOK 5-B, PAGE 365; BOOK 5-B, PAGE 77; BOOK 5-W, PAGE 421; BOOK 6-E, PAGE 23; BOOK 6-E, PAGE 401; BOOK 6-E, PAGE 166; AND BOOK 6-E, PAGE 492 ARE GENERAL IN NATURE AND CANNOT BE SPECIFICALLY LOCATED.)
- Easements set forth in or reserved by that Deed recorded in Book 1137, page 2478; rights of others in and to the use of said easements contained therein. (LOCATABLE MATTERS DESCRIBED IN DEED 1137-2478 ARE SHOWN.)
- Access by way of U.S. Highway 74, a dedicated public street or highway, is not insured. (THERE IS NO DIRECT ACCESS FROM THE SITE TO U.S. HIGHWAY 74)
- Terms and provisions of the lease by and between Lexington Foods LLC and Taco Bell of America, LLC, a memorandum of which is recorded in Book \_\_\_\_\_ page \_\_\_\_\_ (NOT ADDRESSED ON SURVEY - NO RECORDED LEASE DOCUMENT PROVIDED)

**JAMES MAUNEY & ASSOCIATES, P.A.**  
PROFESSIONAL LAND SURVEYORS  
423 BEATTY DRIVE, SUITE E, BELMONT, NC 28012  
TEL: (704) 829-9623  
LICENSE NO. C-2373

CREW: MC  
DRAWN: TC  
REVISED:  
SCALE: 1"=20'  
DATE: 04/13/2022  
JOB: 8481  
FILE: F-2258





- NOTES:
- 1) SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
  - 2) ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
  - 3) TO PREVENT WATER PONDED BY THE SILT FENCE FROM FLOWING AROUND THE ENDS, EACH END SHALL BE CONSTRUCTED UPSLOPE SO THAT THE ENDS ARE AT A HIGHER ELEVATION.
  - 4) WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
  - 5) WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FT. (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
  - 6) THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 IN. ABOVE THE ORIGINAL GROUND SURFACE.
  - 7) THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6 INCH OVERLAP, AND SECURELY SEALED.
  - 8) POSTS SHALL BE A MINIMUM OF 5 FEET LONG, 2 INCHES IN DIAMETER AND SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND. WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.
  - 9) THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE CUT WITH A TRENCHER, CABLE LAYING MACHINE, OR OTHER SUITABLE DEVICE WHICH WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
  - 10) THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE AND SO THAT 8 IN. OF CLOTH ARE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6 IN. DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED.
  - 11) WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.
  - 12) THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
  - 13) SEAMS BETWEEN SECTION OF SILT FENCE SHALL BE OVERLAPPED WITH THE END STAKES OF EACH SECTION WRAPPED TOGETHER BEFORE DRIVING INTO THE GROUND.
  - 14) SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: A) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, B) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR C) OTHER PRACTICES SHALL BE INSTALLED.

- MAINTENANCE:
- SILT FENCE SHOULD BE INSPECTED REGULARLY AND FREQUENTLY AS WELL AS AFTER EACH RAINFALL EVENT TO ENSURE THAT THEY ARE INTACT AND THERE ARE NO GAPS AT THE FENCE-GROUND INTERFACE OR TEARS ALONG THE LENGTH OF THE FENCE. IF GAPS OR TEARS ARE FOUND, THEY SHOULD BE REPAIRED OR THE FABRIC REPLACED IMMEDIATELY. ACCUMULATED SEDIMENTS SHOULD BE REMOVED FROM THE FENCE BASE WHEN THE SEDIMENT REACHES ONE-THIRD TO ONE-HALF THE HEIGHT OF THE FENCE. SEDIMENT REMOVAL SHOULD OCCUR MORE FREQUENTLY IF ACCUMULATED SEDIMENT IS CREATING NOTICEABLE STRAIN ON THE FABRIC AND THERE IS THE POSSIBILITY OF THE FENCE FAILING FROM A SUDDEN STORM EVENT. WHEN THE SILT FENCE IS REMOVED, THE ACCUMULATED SEDIMENT SHOULD BE REMOVED.

COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

MATERIAL TYPE	3 mil HDPE	5 mil HDPE	5 mil HDPE	MULTI-FILAMENT POLYPROPYLENE (MPPP)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (MPPP)
MATERIAL CHARACTERISTICS	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
SOCK DIAMETERS	12" 18"	12" 18" 24"	12" 18" 24"	12" 18" 24"	12" 18" 24"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/8"
TENSILE STRENGTH		26 PSI	26 PSI	44 PSI	202 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	% AT 1000 HR.	23% AT 1000 HR.		100% AT 1000 HR.	100% AT 1000 HR.
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS

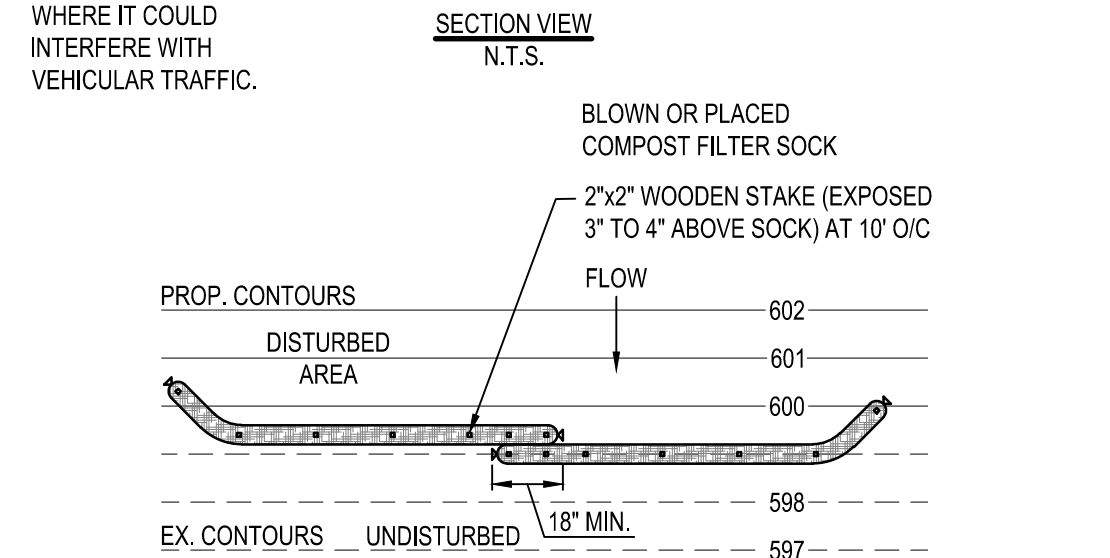
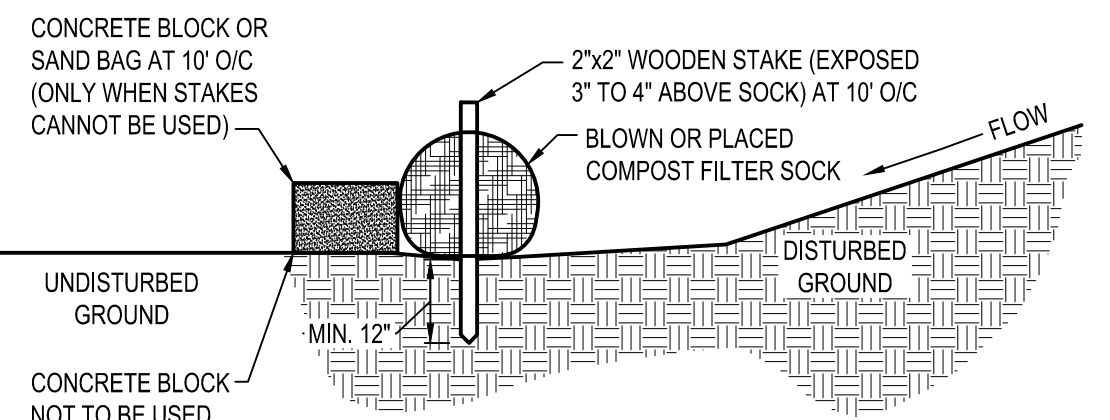
TWO-PLY SYSTEMS

INNER CONTAINMENT NETTING	OUTER FILTRATION MESH
HDPE BIAXIAL NET	COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER & NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)
CONTINUOUSLY WOUND FUSION-WELDED JUNCTURES	
3/4" X 3/4" MAX. APERTURE SIZE	
3/16" MAX. APERTURE SIZE	

SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS

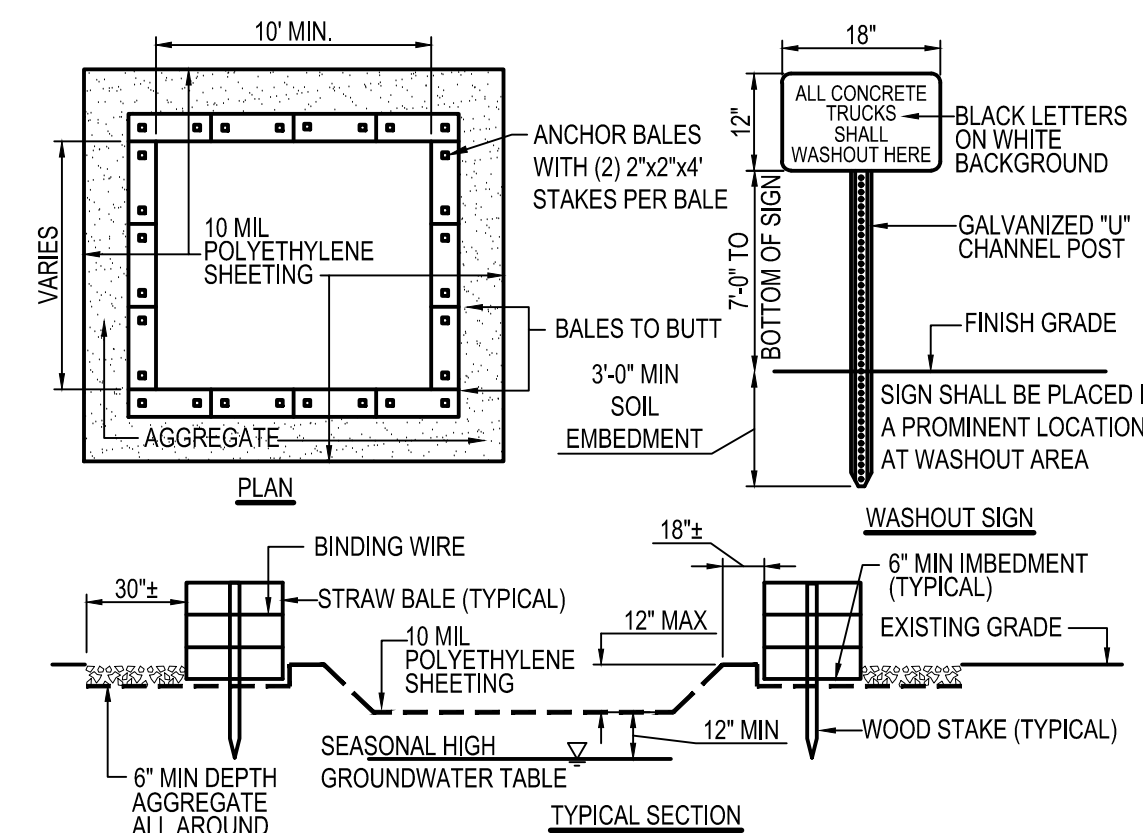
COMPOST SHALL MEET THE FOLLOWING STANDARDS:

ORGANIC MATTER CONTENT	80% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.0
MOISTURE CONTENT	35% - 55%
PARTICLE SIZE	98% PASS THROUGH 1" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 dS MAXIMUM



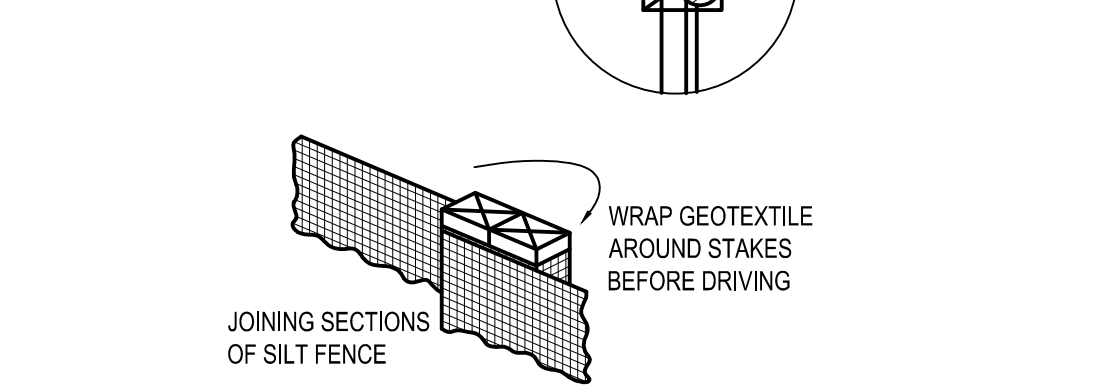
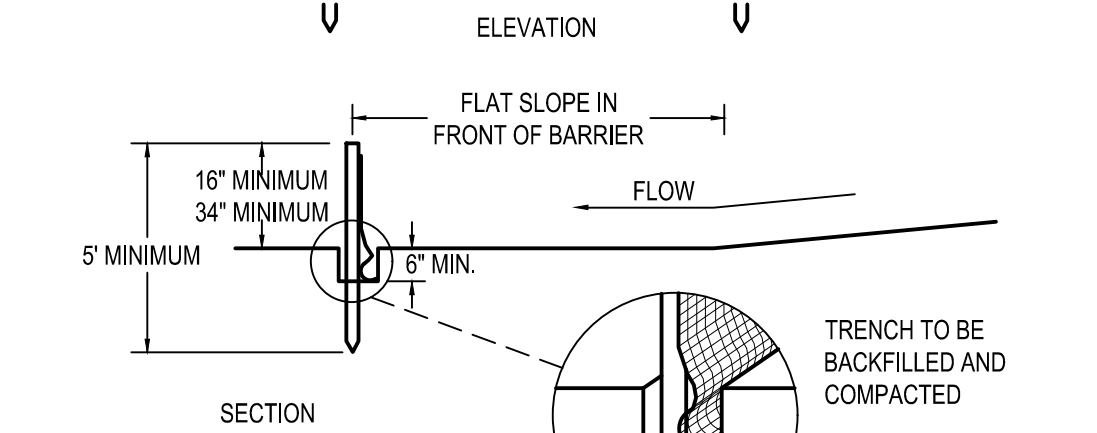
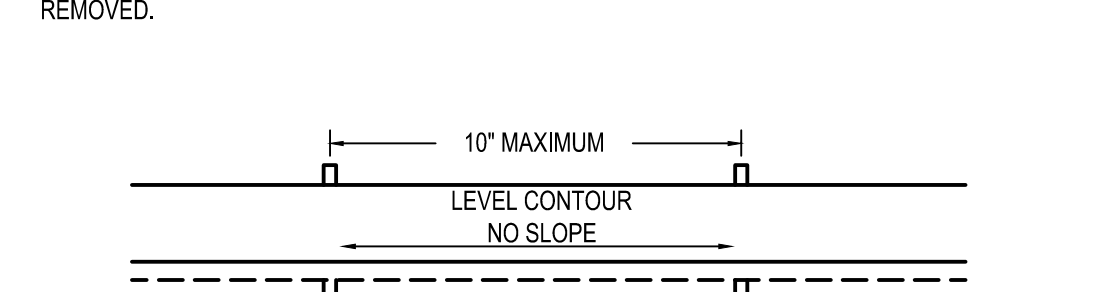
1. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT.
2. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
3. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
4. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH 1/2 INCH STORM RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
5. BIODEGRADABLE FILTER SOCK SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
6. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

A4 COMPOST FILTER SOCK  
N.T.S.



- NOTES:
1. CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
  2. CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
  3. WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL.
  4. WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
  5. ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
  6. AT LEAST WEEKLY REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.

A3 CONCRETE WASHOUT AREA  
N.T.S.



CRITERIA FOR GEOTEXTILE FABRIC SILT FENCE, PER CURRENT STATE'S DOT SPECIFICATIONS.

FABRIC PROPERTIES	VALUES	TEST METHOD
MINIMUM TENSILE STRENGTH	120 LB. MINIMUM	ASTM D 4632
MINIMUM BURST STRENGTH	200 PSI MINIMUM	
MINIMUM PERMITTIVITY	1x10 <sup>-2</sup> sec-1	ASTM D 4491
APPARENT OPENING SIZE	AOS < 0.84 mm	ASTM D 4751
UV EXPOSURE STRENGTH RETENTION	70%	ASTM G 4335
MAXIMUM ELONGATION AT 60 LBS.	50%	ASTM D 4632
MINIMUM PUNCTURE STRENGTH	50 LBS (220N)	ASTM D 4833
MINIMUM TEAR STRENGTH	40 LBS (180N)	ASTM D 4533

A5 SILT FENCE  
N.T.S.

DATE	REMARKS
1 06.03.22	Issued for Permit
2 07.19.22	City Comments

CONTRACT DATE: 05.04.22  
BUILDING TYPE: END. 80FT  
PLAN VERSION: MARCH 2021  
BRAND DESIGNER: DICKSON  
SITE NUMBER: 315647  
STORE NUMBER: 458047  
PAP/PM: SM  
DRAWN BY.: EA  
JOB NO.: 2021088.54

**TACO BELL**  
2005 East Dixon Blvd.  
Shelby, NC 28152

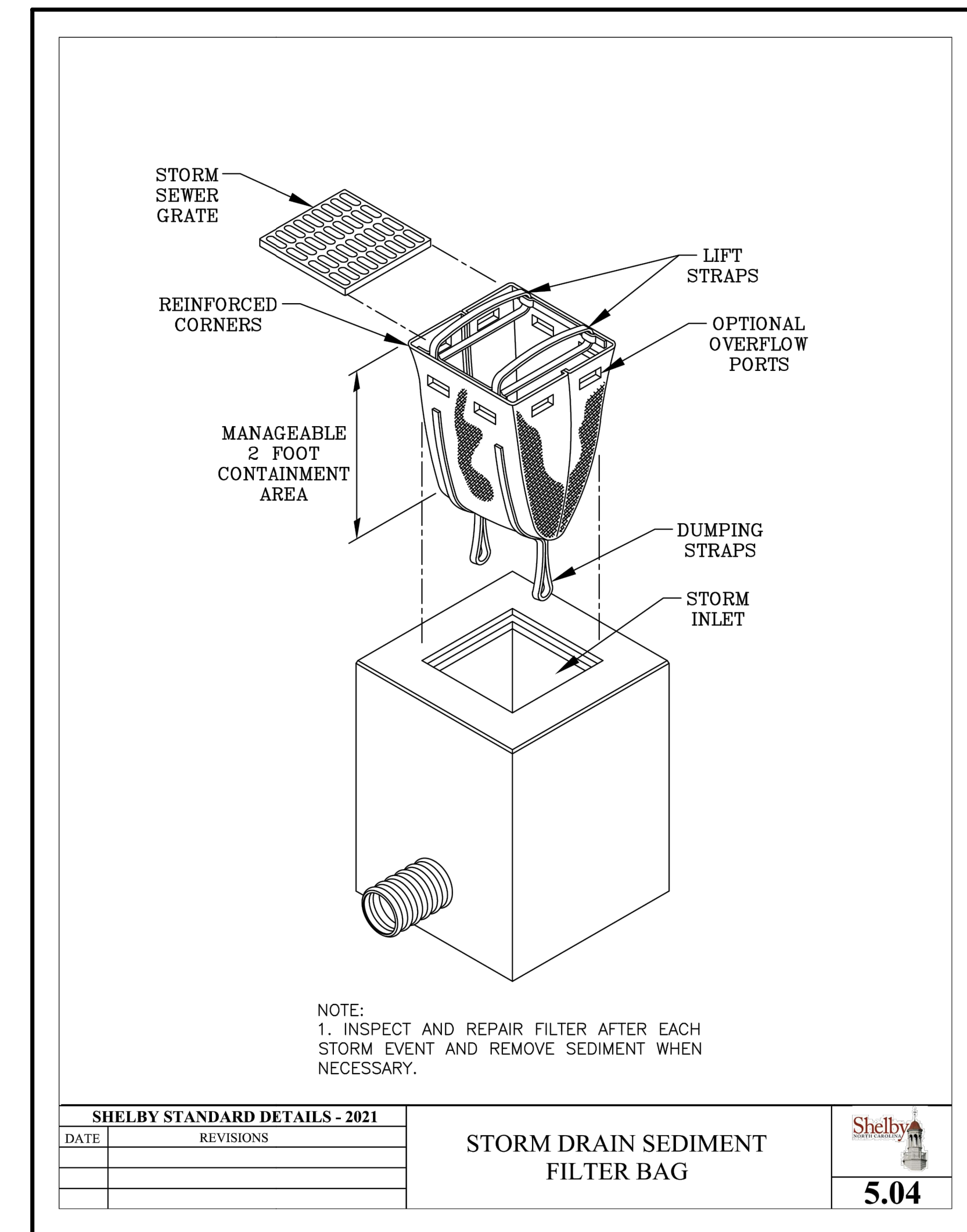
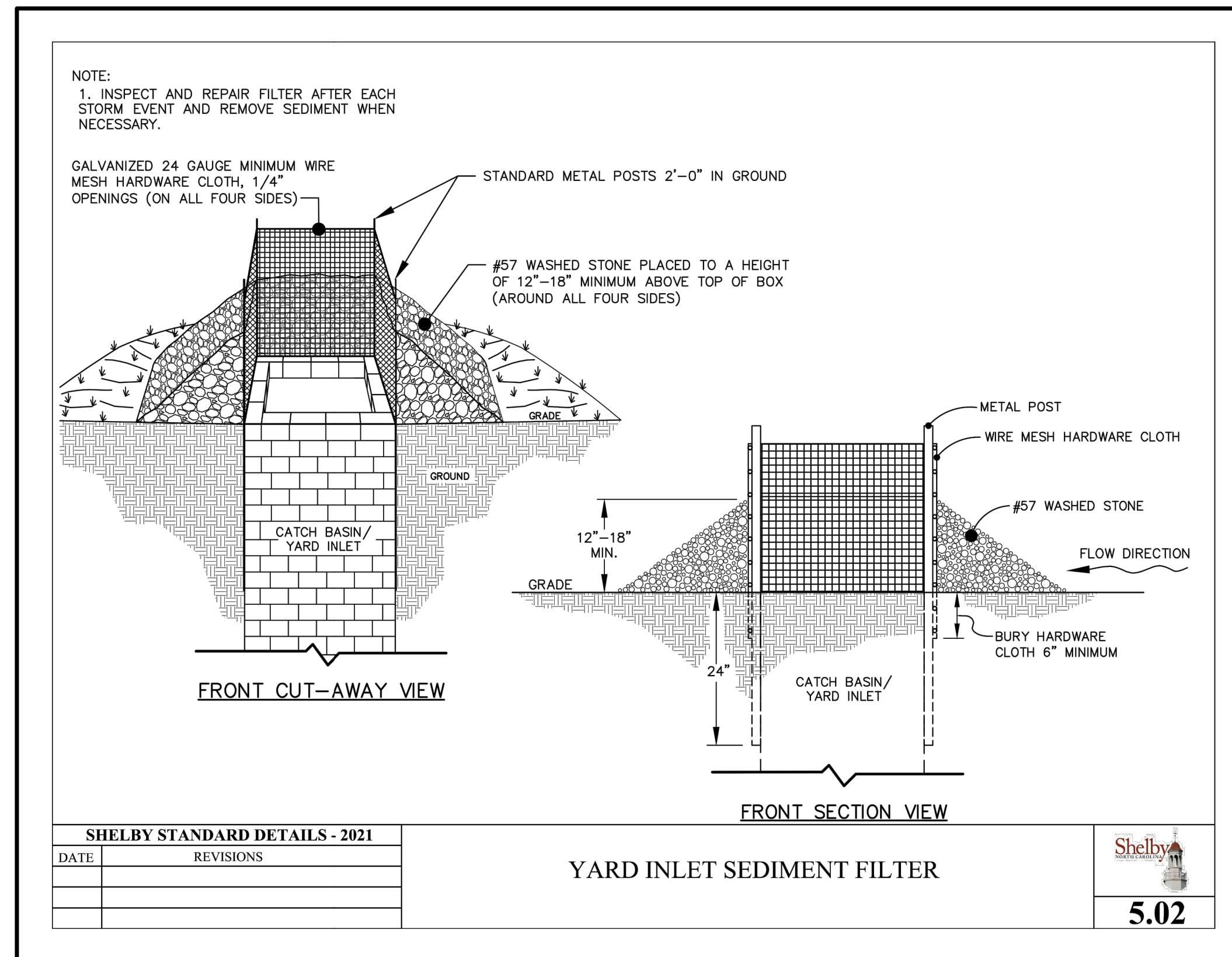


ENDEAVOR 2.0

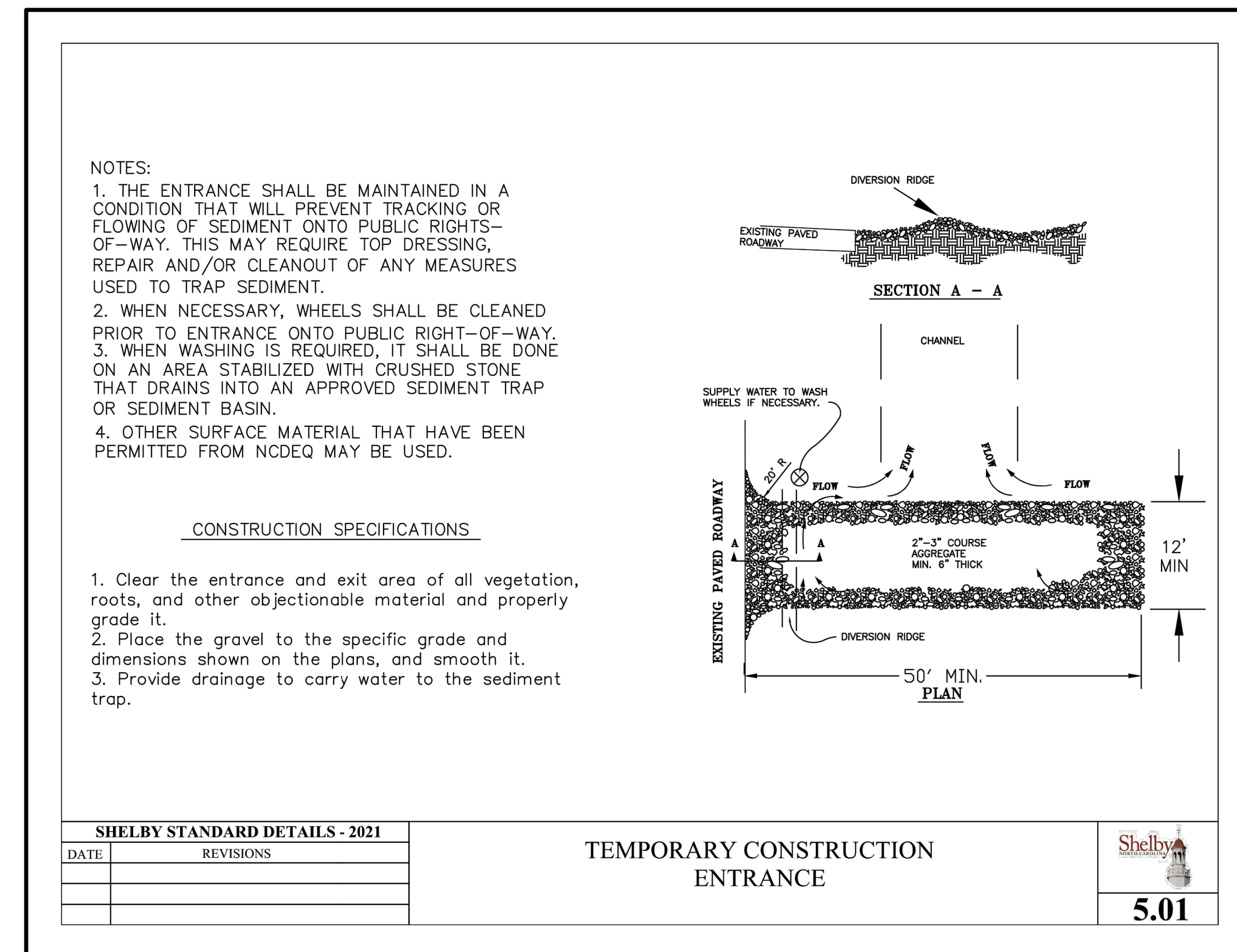
SWPP  
DETAILS

**C-011**

PLOT DATE:



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FOR REFERENCE ONLY

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TACO BELL

2005 East Dixon Blvd.  
Shelby, NC 28152



ENDEAVOR 2.0  
CITY OF SHELBY  
SWPP DETAILS

C-012

PLOT DATE:





GPD Engineering and Architecture
Professional Corporation - C3879

520 South Main Street, Suite 2531
Akron, OH 44311
330.572.2100 Fax 330.572.2101

FOR REFERENCE ONLY

Table with 2 columns: DATE, REMARKS. Row 1: 06.03.22, Issued for Permit. Row 2: 07.19.22, City Comments.

CONTRACT DATE: 05.04.22
BUILDING TYPE: END, 80FT
PLAN VERSION: MARCH 2021
BRAND DESIGNER: DICKSON
SITE NUMBER: 315647
STORE NUMBER: 458047
PAPM: SM
DRAWN BY.: EA
JOB NO.: 2021088.54

TACO BELL

2005 East Dixon Blvd.
Shelby, NC 28152



ENDEAVOR 2.0

NPDES NOTES

C-014

PLOT DATE:

PART IV STANDARD CONDITIONS FOR NPDES STORMWATER GENERAL PERMITS

SECTION A: COMPLIANCE AND LIABILITY

- 1. Continuation of Previously Permitted Projects
2. Projects Submitted Prior to the Permit's Effective Date
3. Duty to Comply
4. The CWA provides that any person who violates section(s) 301, 302, 306, 307, 308, 318 or 405 of the Act...

- (d) Unanticipated bypasses
(4) Noncompliance with the conditions of this permit that may endanger health or the environment
(5) Noncompliance with the conditions of this permit that may endanger health or the environment

- (6) Ground stabilization measures
(7) Stormwater discharge outfalls (SDOs)
(8) Perimeter of site
(9) Streams or other surface waters
(10) Other

- (a) Each EASC measure has been installed and does not significantly deviate from the locations, dimension and relative elevations shown on the approved EASC plan.
(b) A phase of grading has been completed.
(c) Ground cover is located and installed in accordance with the approved EASC Plan.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTIONS

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection.

Table 4: Self-Inspection Requirements. Columns: Inspect, Frequency (during normal business hours), Inspection Records must include.

- (f) Under state law, a civil penalty of not more than \$25,000 per violation may be assessed against any person who violates or fails to act in accordance with the terms, conditions, or requirements of a permit.
(g) Any person may be assessed an administrative penalty by the Administrator for violating section 301, 302, 306, 307, 308, 318 or 405 of this Act...

- (a) The discharge is a significant contributor of pollutants;
(b) The receiving stream is of a unique quality and the standard conditions may not provide adequate protection;
(c) Conditions at the permitted site change, altering the constituents and/or characteristics of the discharge such that the discharge no longer qualifies for a general permit;

- 15. Penalties for Falsification of Reports
16. Onshore or Offshore Construction
17. Duty to Reapply
18. Planned Changes
19. Anticipated Noncompliance

- 20. Property Rights
21. Severability
22. Duty to Provide Information
23. Inspection and Entry
24. Penalties for Tampering

- case of a second or subsequent conviction for a knowing endangerment violation, a person shall be subject to a fine of not more than \$500,000 or by imprisonment of not more than 30 years, or both.
(f) Under state law, a civil penalty of not more than \$25,000 per violation may be assessed against any person who violates or fails to act in accordance with the terms, conditions, or requirements of a permit.
(g) Any person may be assessed an administrative penalty by the Administrator for violating section 301, 302, 306, 307, 308, 318 or 405 of this Act...

- 30. Stormwater Associated with Industrial Activity
31. Stormwater Pollution Prevention Plan (SWPPP)
32. Temporary Stabilization
33. Toxic Pollution
34. Upset
35. Visible Sedimentation
36. 25-Year, 24-hour Storm Event

- 25. Secondary Containment
26. Section 313 Water Priority Chemical
27. Soil Stabilization
28. Stormwater Discharge Outfall (SDO)
29. Stormwater Runoff

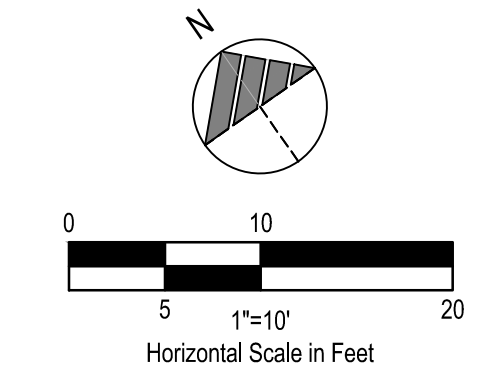
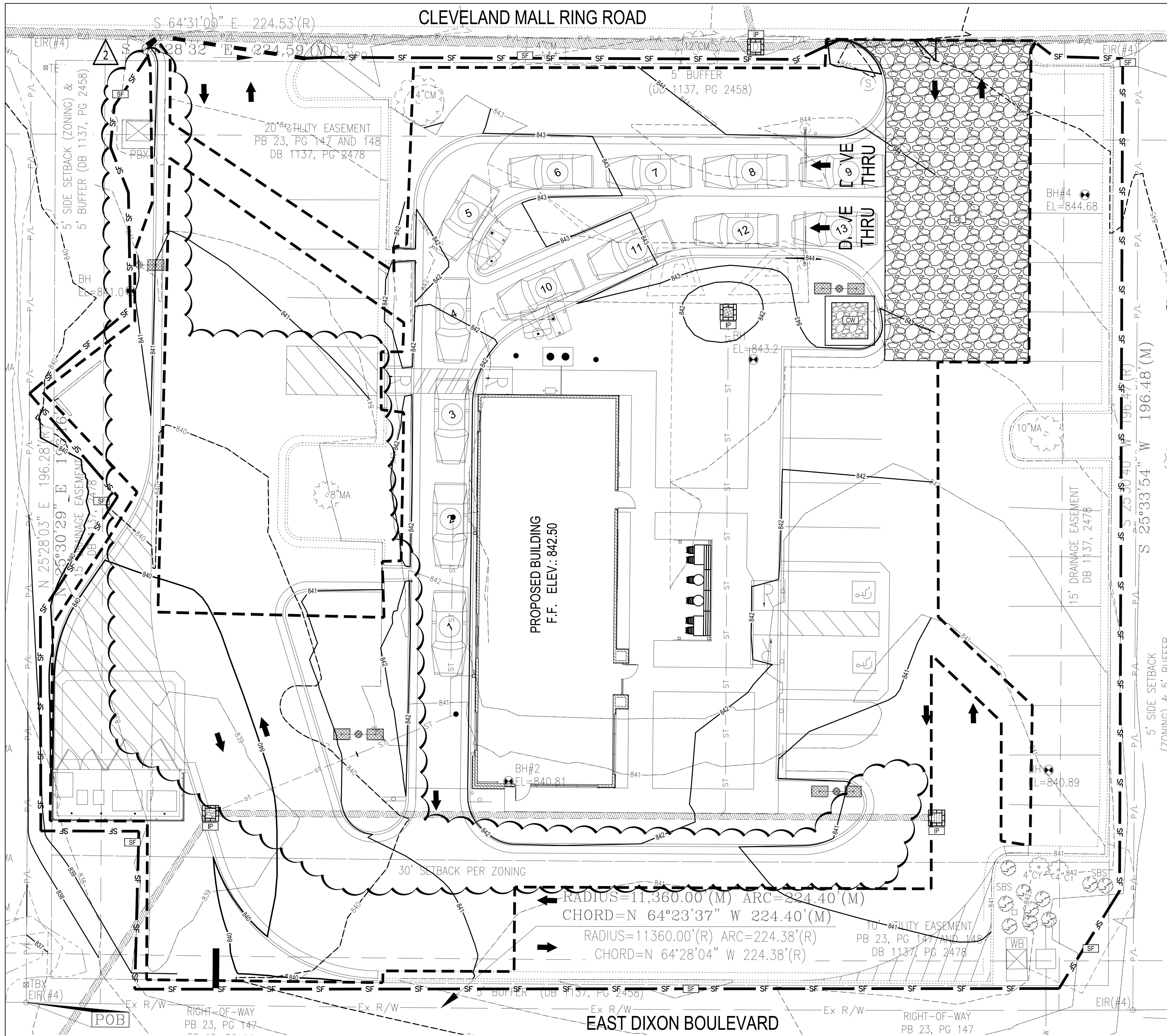
- 37. Clean Water Act
38. Common Plan of Development

- 39. Concrete Washout
40. Control Measure
41. Division or DEMLR
42. Director
43. EMC
44. Erosion and Sedimentation Control (EASC) Plan
45. Erosion and Sedimentation Control (EASC) Plan Authority
46. Erosion and Sediment Control (EASC) Measure
47. Ground Cover
48. Hazardous Substance
49. Landfill
50. Normal Business Hours

- 9. Annual Administering and Compliance Monitoring Fee Requirements
10. Availability of Reports
11. Onions

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SEE SHEET C-010 FOR CONSTRUCTION SEQUENCE

**LEGEND**

- (SEE SHEET C-001 FOR GENERAL LEGEND)
- PROPOSED SILT BARRIER REFER TO SWPP DETAILS
- PROPOSED SILT FENCE REFER TO SWPP DETAILS
- PROPOSED FILTER SOCK
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED CONSTRUCTION ENTRANCE REFER TO SWPP DETAILS
- PROPOSED CONCRETE WASHOUT FACILITY REFER TO SWPP DETAILS

**SWPP KEYNOTES**

- CONCRETE WASHOUT AREA
- SILT FENCE
- CONSTRUCTION ENTRANCE
- INLET PROTECTION

**PROJECT DESCRIPTION**

THIS PROJECT CONSISTS OF A PROPOSED TACO BELL ON A PREVIOUSLY DEVELOPED LOT. THE EXISTING LOT HAS A BUILDING WITH ASSOCIATED PARKING LOT. EXISTING BUILDING WILL BE DEMOLISHED AND PARKING LOT AROUND THE BUILDING WILL BE SAWCUT AND REMOVED FULL DEPTH. A PROPOSED TACO BELL AND A NEW PARKING LOT AROUND THE NEW BUILDING WILL BE CONSTRUCTED. REMAINDER OF THE EXISTING PARKING LOT WILL BE MILLED AND FILLED. EXISTING UTILITIES WILL BE REUSED AS NEEDED.

**PROJECT COMPLETION STATISTICS**

PARCEL SIZE:	1.01 ACRES
TOTAL DISTURBED AREA:	0.60 ACRES
EXISTING LAND USE FOR THE SITE IS A RESTAURANT.	
ESTIMATED PRE-CONSTRUCTION IMPERVIOUS AREA:	0.71 ACRES
ESTIMATED PRE-CONSTRUCTION IMPERVIOUS PERCENT:	70 %
PRE-CONSTRUCTION RUN-OFF COEFFICIENT:	0.77
PROPOSED LAND USE WILL BE A TACO BELL.	
ESTIMATED POST-CONSTRUCTION IMPERVIOUS AREA:	0.71 ACRES
ESTIMATED POST-CONSTRUCTION IMPERVIOUS PERCENT:	70 %
POST-CONSTRUCTION RUN-OFF COEFFICIENT:	0.77

**PROJECT LOCATION:**

LATITUDE	35.2678°	LONGITUDE	-81.4835°
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**EXISTING SITE SOIL TYPES:**

UB: URBAN LAND  
 UDC: UDORTHERTS, LOAMY.  
 REFERENCE: USDA NATIONAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY.

**WETLAND INFORMATION:**

THERE ARE NO KNOWN WETLANDS ON THIS SITE.

**FIRST AND SUBSEQUENT RECEIVING STREAM:**

INITIAL RECEIVING WATER IS CITY STORM SEWER SYSTEM AND THE SUBSEQUENT RECEIVING WATER IS THE TRIBUTARY TO BUFFALO CREEK.

**POST CONSTRUCTION WQv / BMP DESCRIPTION**

FOR REDEVELOPMENT PROJECTS DISTURBING LESS THAN 1.0 ACRE AND IS NOT PART OF LARGER COMMON PLAN OF DEVELOPMENT OR SALE IS EXEMPT FROM THE PROVISIONS OF THE CITY OF SHELBY STORMWATER ORDINANCE ADOPTED NOVEMBER 18, 2013 AND REVISED ON NOVEMBER 19, 2018, PER SECTION 1, xx-105 (B). SINCE THE DISTURBANCE FOR THIS DEVELOPMENT IS 0.6 ACRES, NO DETENTION AND WATER QUALITY ARE REQUIRED.

**OWNER CONTACT:**

YUM! BRANDS, INC.  
 STEVE PULCHEON  
 1900 COLONEL SANDERS LANE  
 LOUISVILLE, KY 40213  
 949.863.3864

**ANTICIPATED TIMING:**

CONSTRUCTION BEGIN: \_\_\_\_\_  
 CONSTRUCTION COMPLETE: \_\_\_\_\_

**CONTRACTOR: T.B.D.**

CONTACT: \_\_\_\_\_  
 PHONE NUMBER: \_\_\_\_\_

CONTRACTOR SHALL MAINTAIN A CONSTRUCTION LOG DOCUMENTING ALL GRADING AND STABILIZATION ACTIVITIES.

**BENCHMARKS:**

NCGS MONUMENT "MALL" NC GRID NAD83/2011.  
 BENCHMARK #1 - CHISELED BOX IN BASE OF LAMP.  
 ELEVATION = 844.41

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**TACO BELL**  
 2005 East Dixon Blvd.  
 Shelby, NC 28152



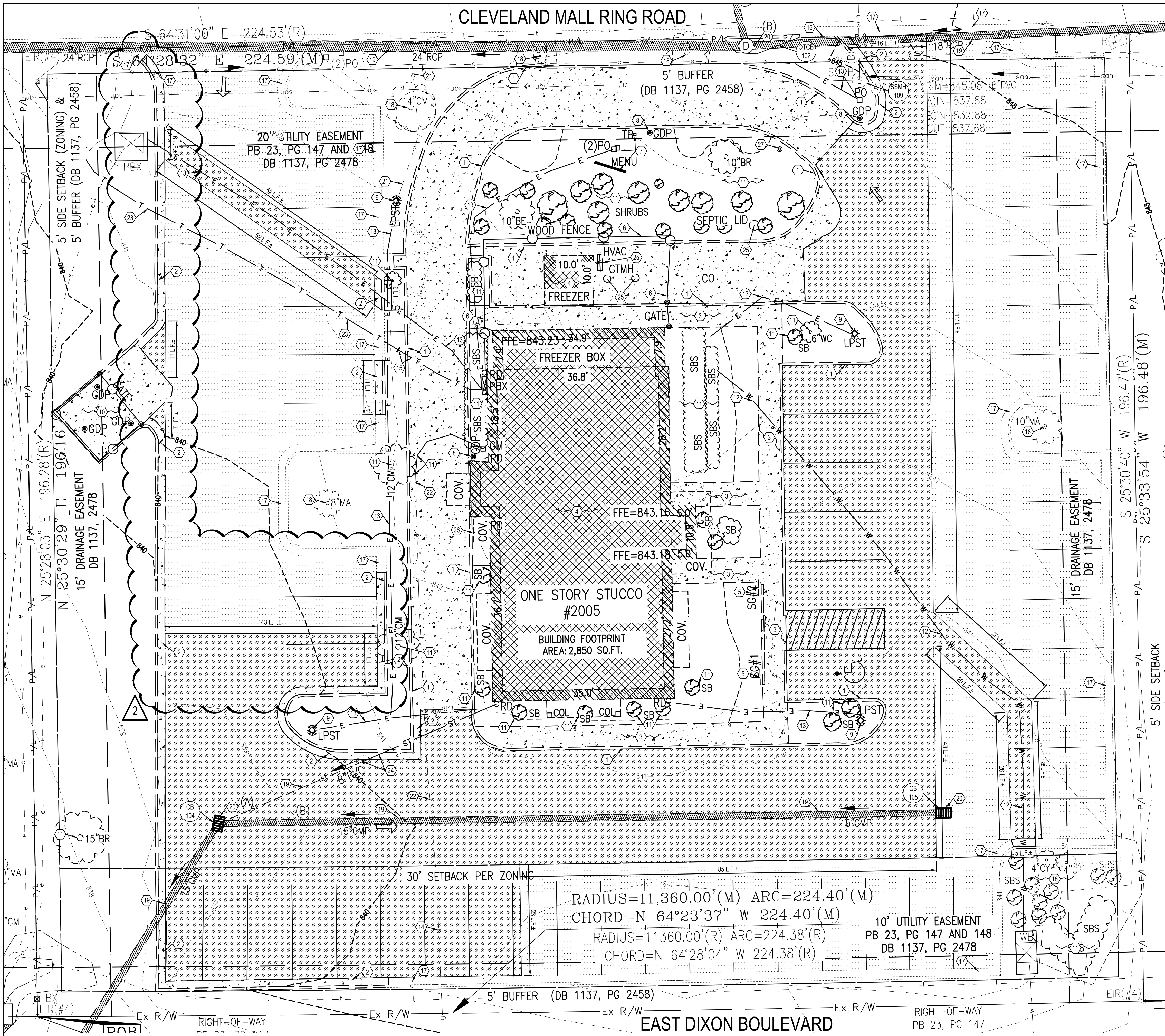
ENDEAVOR 2.0  
 SWPP  
 PLAN

**C-015**

PLOT DATE: \_\_\_\_\_



CLEVELAND MALL RING ROAD



- PLAN KEYNOTES (#)**
- EXISTING CURB TO BE REMOVED.
  - EXISTING CURB AND GUTTER TO BE REMOVED.
  - EXISTING WALK/CURBED WALK TO BE REMOVED.
  - EXISTING BUILDING/STRUCTURE WITH ASSOCIATED FOUNDATION TO BE REMOVED.
  - EXISTING SIGNAGE WITH ASSOCIATED FOUNDATION TO BE REMOVED.
  - EXISTING FENCE WITH ASSOCIATED FOUNDATION TO BE REMOVED.
  - EXISTING MENU BOARD AND SPEAKER WITH ASSOCIATED FOUNDATIONS TO BE REMOVED.
  - EXISTING BOLLARD WITH FOUNDATION TO BE REMOVED.
  - EXISTING LAMP POST WITH FOUNDATION TO BE REMOVED.
  - EXISTING DUMPSTER ENCLOSURE WITH ASSOCIATED BOLLARDS, FENCE, CONCRETE PAD AND FOUNDATION TO BE REMOVED.
  - EXISTING LANDSCAPING (INCLUDING BUSHES, TREES, ETC.) TO BE REMOVED.
  - EXISTING WATER SERVICE LINE TO BE REMOVED.
  - EXISTING ELECTRICAL LINES TO BE REMOVED. FOR SECONDARY LINE FROM TRANSFORMER, CONTRACTOR SHALL VERIFY EXISTING CONDUIT, IF NOT PRESENT OR IN POOR CONDITION, CONTRACTOR SHALL PROVIDE NEW CONDUIT PER UTILITY PROVIDER SPECIFICATIONS.
  - EXISTING GAS LINE TO BE REMOVED AND CAPPED, CONTRACTOR SHALL EXTEND EXISTING GAS CONNECTION TO THE PROPOSED BUILDING, CONTRACTOR SHALL COORDINATE ALL WORK WITH THE GAS COMPANY.
  - EXISTING TELEPHONE LINE TO BE REMOVED AND CAPPED.
  - EXISTING CURB TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
  - EXISTING CURB AND GUTTER TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
  - EXISTING LANDSCAPING (INCLUDING BUSHES, TREES, ETC.) TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
  - EXISTING STORM PIPE TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
  - EXISTING STORM DRAIN TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
  - CONTRACTOR TO VERIFY THE EXISTING ELECTRIC LINE ROUTING AND SHALL NOT INTERRUPT ANY SERVICE BEING PROVIDED TO OTHER LIGHT POLES OR NEIGHBORING PROPERTIES.
  - EXISTING GAS LINE TO REMAIN AND PROTECTED THROUGHOUT CONSTRUCTION.
  - EXISTING TELEPHONE LINE TO REMAIN AND PROTECTED THROUGHOUT CONSTRUCTION.
  - EXISTING STORM PIPE LINE TO BE REMOVED AND CAPPED.
  - EXISTING UTILITIES/UNDERGROUND UTILITIES/GREASE INTERCEPTOR/HVAC UNITS ETC. TO BE REMOVED.
  - EXISTING RAILING TO BE REMOVED.
  - EXISTING CLEARANCE BAR WITH ASSOCIATED FOUNDATION TO BE REMOVED.

**DEMOLITION NOTE:**  
ALL EXISTING SITE AND SURROUNDING FEATURES SUCH AS UTILITIES, PAVEMENT, CURB, LANDSCAPING, ETC. SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION UNLESS NOTED OTHERWISE, OR ARE REQUIRED TO BE MODIFIED OR REMOVED FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. ALL DISTURBED FEATURES SHALL BE RESTORED OR RELOCATED AS REQUIRED TO THE SATISFACTION OF THE OWNER. CONTRACTOR SHALL REPAIR/REPLACE ANY SURROUNDING FEATURES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.

**GENERAL SHEET NOTE:**  
CONTRACTOR TO LOCATE EXISTING SANITARY AND CAP AT MAIN.

**LEGEND**  
(SEE SHEET C-001 FOR GENERAL LEGEND)

	EXISTING ASPHALT TO BE REMOVED
	EXISTING ASPHALT TO BE MILLED AND FILLED (1.5")
	EXISTING CONCRETE TO BE REMOVED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED
	##L.F.± DENOTES LIMITS OF SAWCUT
	DEMOLITION KEYNOTE

**EXISTING STRUCTURES**

STRUCT. ID	STRUCTURE DETAILS
OTCB 102	EXISTING OPEN THROAT CATCH BASIN T/C = 844.33 INV. 15" RCP (S) = 840.33 INV. 18" RCP (SE) = 840.63 INV. 24" RCP (SW) = 840.33
CB 104	EXISTING CATCH BASIN T/C = 838.03 INV. 8" PVC (E) = 835.53 INV. 15" CMP (SE) = 834.03 INV. 15" CMP (SW) = 832.43
CB 105	EXISTING CATCH BASIN T/C = 839.89 INV. 15" CMP (NW) = 837.24
SSMH 109	EXISTING SANITARY SEWER MANHOLE T/C = 845.08 INV. 8" PVC (SE) = 837.88 INV. 8" PVC (NE) = 837.88 INV. 8" PVC (NW) = 837.68

**BENCHMARKS:**  
BASIS OF BEARING:  
NCGS MONUMENT "MALL" NC GRID NAD83/2011.  
BENCHMARK #1 - CHISELED BOX IN BASE OF LAMP.  
ELEVATION = 844.41  
REFER TO ALTA SURVEY FOR BENCHMARK LOCATION

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**TACO BELL**  
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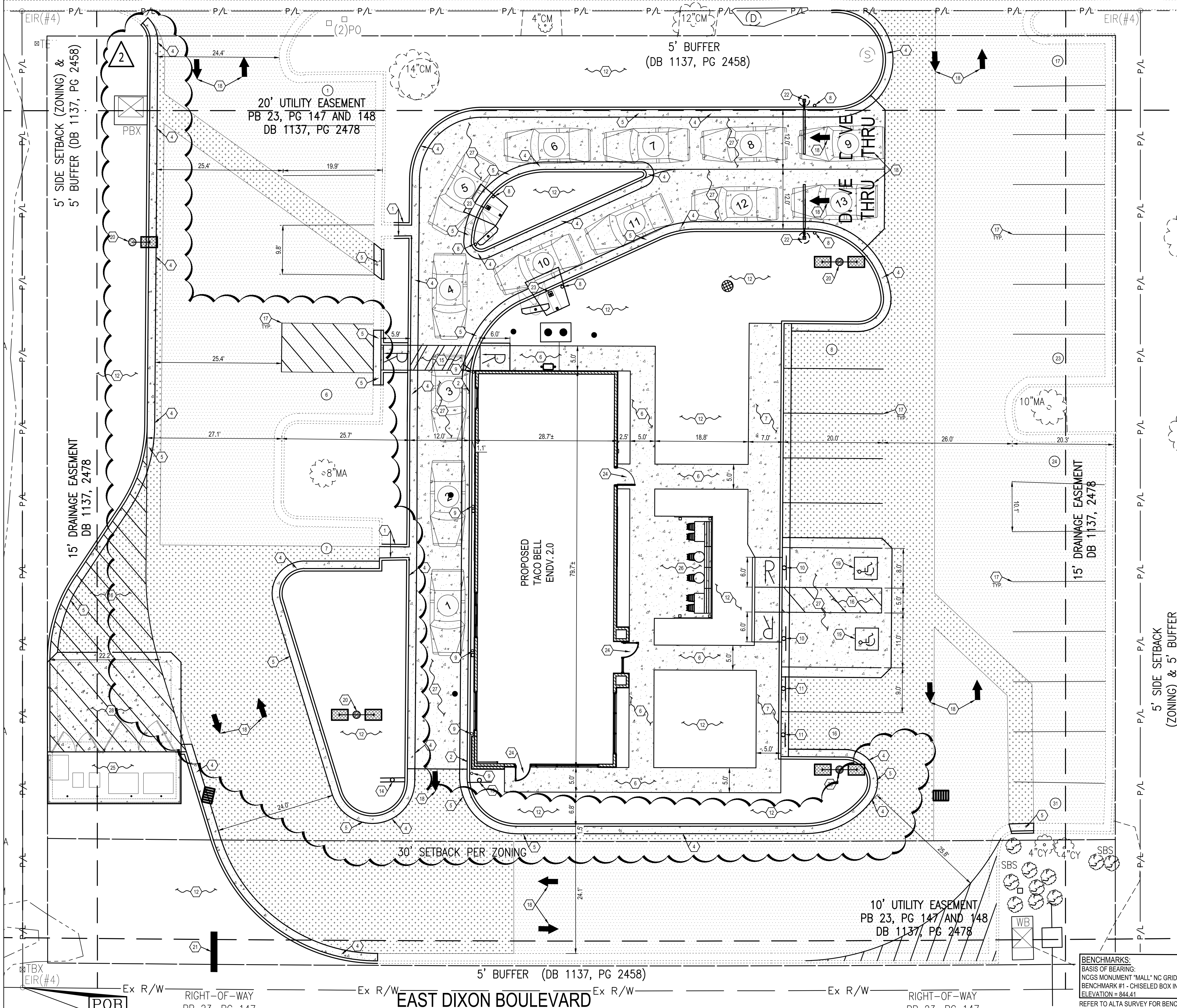
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DEMOLITION  
PLAN

**C-101**

PLOT DATE:



# CLEVELAND MALL RING ROAD



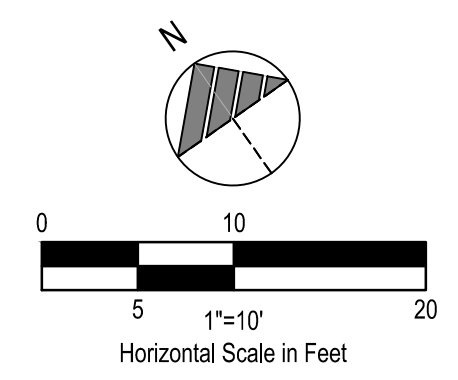
## PLAN KEYNOTES

1. PROPOSED CONCRETE CURB, SEE SHEET C-501.
2. PROPOSED CONCRETE CURB AT DRIVE THRU, SEE SHEET C-501.
3. NOT USED.
4. PROPOSED CURB AND GUTTER, SEE SHEET C-501.
5. PROPOSED CURB AND GUTTER (REVERSE PITCH), SEE SHEET C-501.
6. PROPOSED CONCRETE WALK, SEE SHEET C-501.
7. PROPOSED CONCRETE CURBED WALK, SEE SHEET C-501.
8. PROPOSED DETERRENT BOLLARD, SEE SHEET C-501.
9. PROPOSED DETERRENT BOLLARD IN CURB, SEE SHEET C-501.
10. PROPOSED HANDICAPPED PARKING SIGN, SEE SHEET C-502.
11. PROPOSED MOBILE ORDER PICK-UP SIGN, IN BOLLARD, CONTRACTOR TO INSTALL SIGN POST AND BOLLARD PER THE HANDICAP SIGN DETAIL. SIGN TO BE PROVIDED BY SIGN VENDOR.
12. PROPOSED LANDSCAPING AREA. SOD ALL DISTURBED AREAS EXCEPT WHERE PLANTING BEDS ARE INDICATED. SEE SHEET L-101.
13. PROPOSED 'DO NOT ENTER' SIGN PER NCDOT STANDARDS AND SHEET C-501.
14. PROPOSED 'DO NOT ENTER' AND 'STOP' SIGN PER NCDOT STANDARDS AND SHEET C-501.
15. PROPOSED CROSSWALK, SEE SHEET C-501.
16. PROPOSED PAINTED TRANSVERSE STRIPING, SEE SHEET C-501.
17. PROPOSED PAINTED 4" WIDE SOLID STRIPE - WHITE ON ASPHALT, YELLOW ON CONCRETE.
18. PROPOSED DIRECTIONAL PAVEMENT MARKINGS - WHITE ON ASPHALT, YELLOW ON CONCRETE, BLUE FOR ADA - SEE SHEET C-502.
19. PROPOSED PAINTED INTERNATIONAL ADA SYMBOL PER ADA SPECIFICATIONS AND SHEET C-502.
20. PROPOSED LIGHT POLE AND FOUNDATION. SEE ELECTRICAL DRAWINGS FOR SPECIFICATIONS.
21. PROPOSED POLE SIGN PER SIGN SUPPLIER SPECIFICATIONS.
22. PROPOSED EVOLUTION PORTAL CLEARANCE BAR, SEE SHEET C-503.
23. PROPOSED MENU BOARD AND ORDER CONFIRMATION BOARD INCLUDING SENSOR LOOP PER SIGN SUPPLIER SPECIFICATIONS. SIGN SUPPLIER TO PROVIDE A TEMPLATE FOR G.C. TO COORDINATE A MEETING WITH THE CONSTRUCTION/PROJECT MANAGER AND OPERATIONS TO VERIFY LOCATION AND PLACEMENT OF MENU BOARD AND ORDER CONFIRMATION BOARD PRIOR TO ANY CONSTRUCTION. SIGN SUPPLIER SHALL PROVIDE G.C. WITH FOUNDATION DETAILS. G.C. RESPONSIBLE FOR SIGN FOUNDATIONS/ELECTRICAL. SEE SHEET C-503.
24. PROPOSED FROST SLAB AT DOOR. SEE STRUCTURAL PLANS FOR DETAILS.
25. PROPOSED DUMPSTER ENCLOSURE WITH ASSOCIATED CONCRETE PAD. SEE ARCHITECTURAL PLANS FOR DETAILS.
26. PROPOSED PATIO AND ASSOCIATED ITEMS INCLUDING FENCE. CONTRACTOR SHALL COORDINATE A MEETING WITH THE CONSTRUCTION MANAGER TO VERIFY TYPE, LOCATION AND PLACEMENT OF FENCE PRIOR TO ANY CONSTRUCTION. OUTDOOR SEATING PER CONSTRUCTION MANAGER SPECIFICATIONS. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
27. PROPOSED LIGHT DUTY 5" P.C.C. PAVEMENT WITH W.W.F. 6" X 6" - W2.9 X W2.9 CENTERED (CONTROL JTS. 12-0" O.C.) OVER 6" CRUSHED AGGREGATE BASE COURSE (NCDOT 520) - APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT.
28. PROPOSED HEAVY DUTY 7" P.C.C. PAVEMENT WITH W.W.F. 6" X 6" - W2.9 X W2.9 CENTERED (CONTROL JTS. 12-0" O.C.) OVER 8" CRUSHED AGGREGATE BASE COURSE (NCDOT 520) - APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT.

## LEGEND

(SEE SHEET C-001 FOR GENERAL LEGEND)

- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED ASPHALT TO BE MILLED AND FILLED (1.5')
- CONSTRUCTION KEYNOTE
- PROPOSED PARKING SPACE NUMBER
- PROPOSED DRIVE THRU STACK CAR AND NUMBER
- PROPOSED ADA ACCESSIBLE RAMP PER ADA SPECIFICATIONS AND SHEET C-502
- PROPOSED UTILITY STRUCTURES. REFER TO UTILITY PLAN FOR MORE INFORMATION.



## ASPHALT PAVEMENT

MATERIAL	DEPTH (HVY. DUTY)	DEPTH (STD. DUTY)	NCDOT SPECIFICATIONS ITEM
A.C. SURFACE COURSE	1.5"	3"	SURFACE COURSE (S-9.5B)
A.C. INTERMEDIATE COURSE	2.5"	---	INTERMEDIATE COURSE (I-19.0B)
AGG. BASE COURSE	8"	6"	AGG. BASE COURSE (NCDOT 520)
SUBGRADE COMPACTION	PER SOILS REPORT	PER SOILS REPORT	PER SOILS REPORT

SOILS REPORT GOVERNS IF ANY DISCREPANCIES OCCUR. SEE TYPICAL SECTION SHEET C-501.

## BUILDING SETBACKS

	REQUIRED	PROVIDED
FRONT: E DIXON RD	30'	44'
REAR: ACCESS RD	0'	72'
SIDE: NORTHWEST	5'	90'
SIDE: SOUTHEAST	5'	102'

## PARKING SETBACKS

	REQUIRED	PROVIDED
FRONT: E DIXON RD	5'	33'
REAR: ACCESS RD	0'	5'
SIDE: NORTHWEST	0'	26'
SIDE: SOUTHEAST	0'	5'

## LANDSCAPE SETBACKS

	REQUIRED	PROVIDED
FRONT: E DIXON RD	5'	5'
REAR: ACCESS RD	0'	5'
SIDE: NORTHWEST	0'	5'
SIDE: SOUTHEAST	0'	5'

## PARKING SPACES

	REQUIRED	PROVIDED
NUMBER OF SPACES	19	31

PARKING REQUIREMENTS  
8 SPACES PER 1,000 S.F.  
THEREFORE: 2,300 / 1000 \* (8) = 19 SPACES REQUIRED.

## LAND USE DATA

	% OF SITE AREA	AREA PROVIDED
BUILDING	5.37%	0.05 AC.
PAVEMENT/IMPERVIOUS LANDSCAPING	63.37%	0.84 AC.
TOTAL	100%	1.01 AC.

CURRENT ZONING: GB - GENERAL BUSINESS



DATE	REMARKS
1 06.03.22	Issued for Permit
2 07.19.22	City Comments

CONTRACT DATE: 05.04.22  
BUILDING TYPE: END. 80FT  
PLAN VERSION: MARCH 2021  
BRAND DESIGNER: DICKSON  
SITE NUMBER: 315647  
STORE NUMBER: 458047  
PAP/PM: SM  
DRAWN BY: EA  
JOB NO.: 2021088.54

**TACO BELL**  
2005 East Dixon Blvd.  
Shelby, NC 28152



ENDEAVOR 2.0

SITE PLAN

C-111

PLOT DATE:



**BENCHMARKS:**  
BASIS OF BEARING:  
NCGS MONUMENT "MALL" NC GRID NAD83/2011.  
BENCHMARK #1 - CHISELED BOX IN BASE OF LAMP.  
ELEVATION = 844.41  
REFER TO ALTA SURVEY FOR BENCHMARK LOCATION

RIGHT-OF-WAY  
PB 23, PG 147

RIGHT-OF-WAY  
PB 23, PG 147

RIGHT-OF-WAY  
PB 23, PG 147

RIGHT-OF-WAY  
PB 23, PG 147

RIGHT-OF-WAY  
PB 23, PG 147

RIGHT-OF-WAY  
PB 23, PG 147

RIGHT-OF-WAY  
PB 23, PG 147

POB

POB

POB

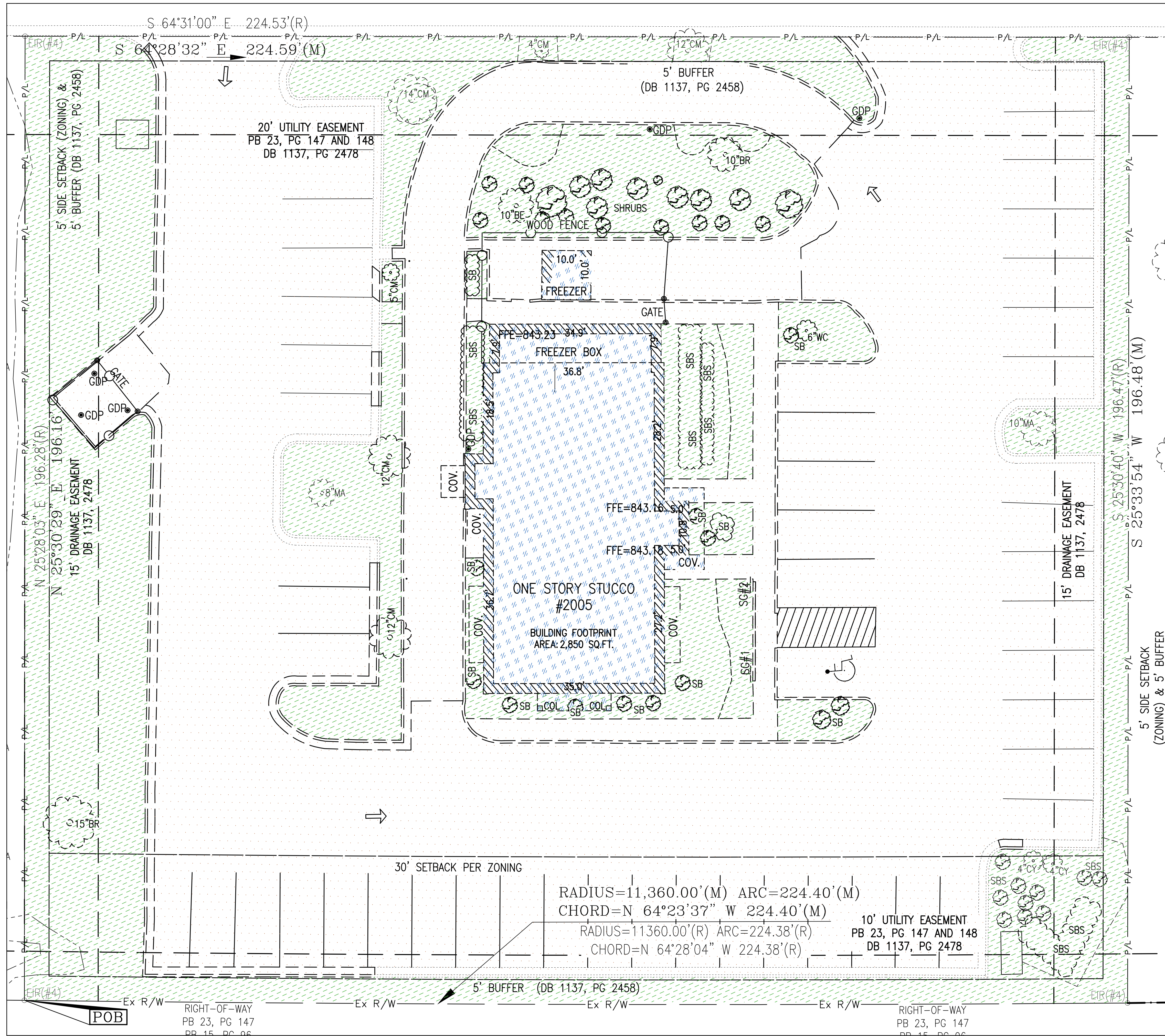
POB

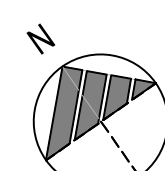
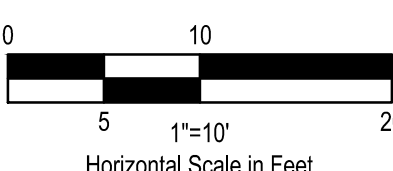
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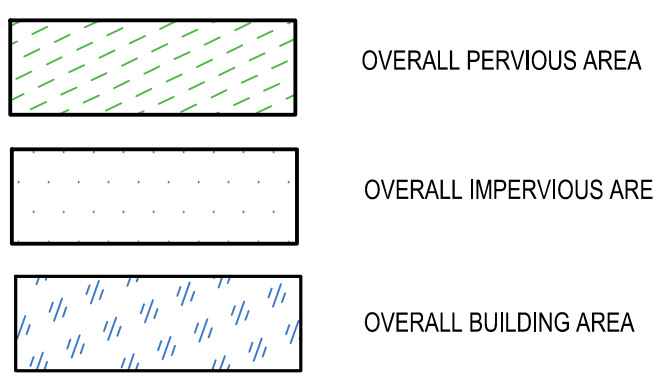
POB

POB

EAST DIXON BOULEVARD





**LAND USE DATA**


	% OF SITE AREA	AREA PROVIDED
BUILDING	6.92%	0.07 AC.
PAVEMENT/IMPERVIOUS	63.18%	0.64 AC.
LANDSCAPING	29.90%	0.30 AC.
<b>TOTAL</b>	<b>100%</b>	<b>1.01 AC.</b>

DATE	REMARKS
1 06.03.22	Issued for Permit
2 07.19.22	City Comments

CONTRACT DATE: 05.04.22  
 BUILDING TYPE: END. 80FT  
 PLAN VERSION: MARCH 2021  
 BRAND DESIGNER: DICKSON  
 SITE NUMBER: 315647  
 STORE NUMBER: 458047  
 PAV/PM: SM  
 DRAWN BY.: EA  
 JOB NO.: 2021088.54

**TACO BELL**


2005 East Dixon Blvd.  
 Shelby, NC 28152



ENDEAVOR 2.0  
 EXISTING PERVIOUS /IMPERVIOUS AREA  
 MAP

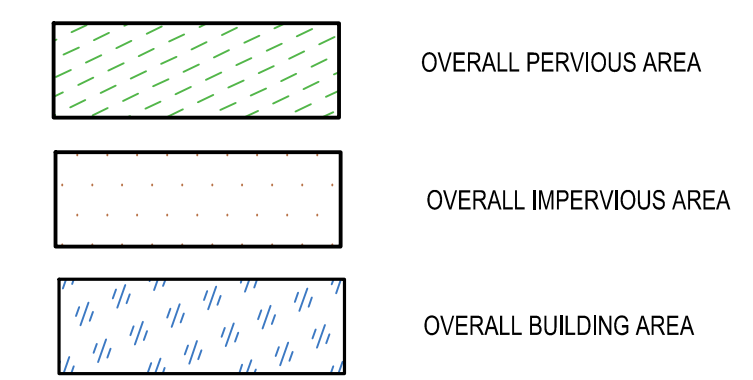
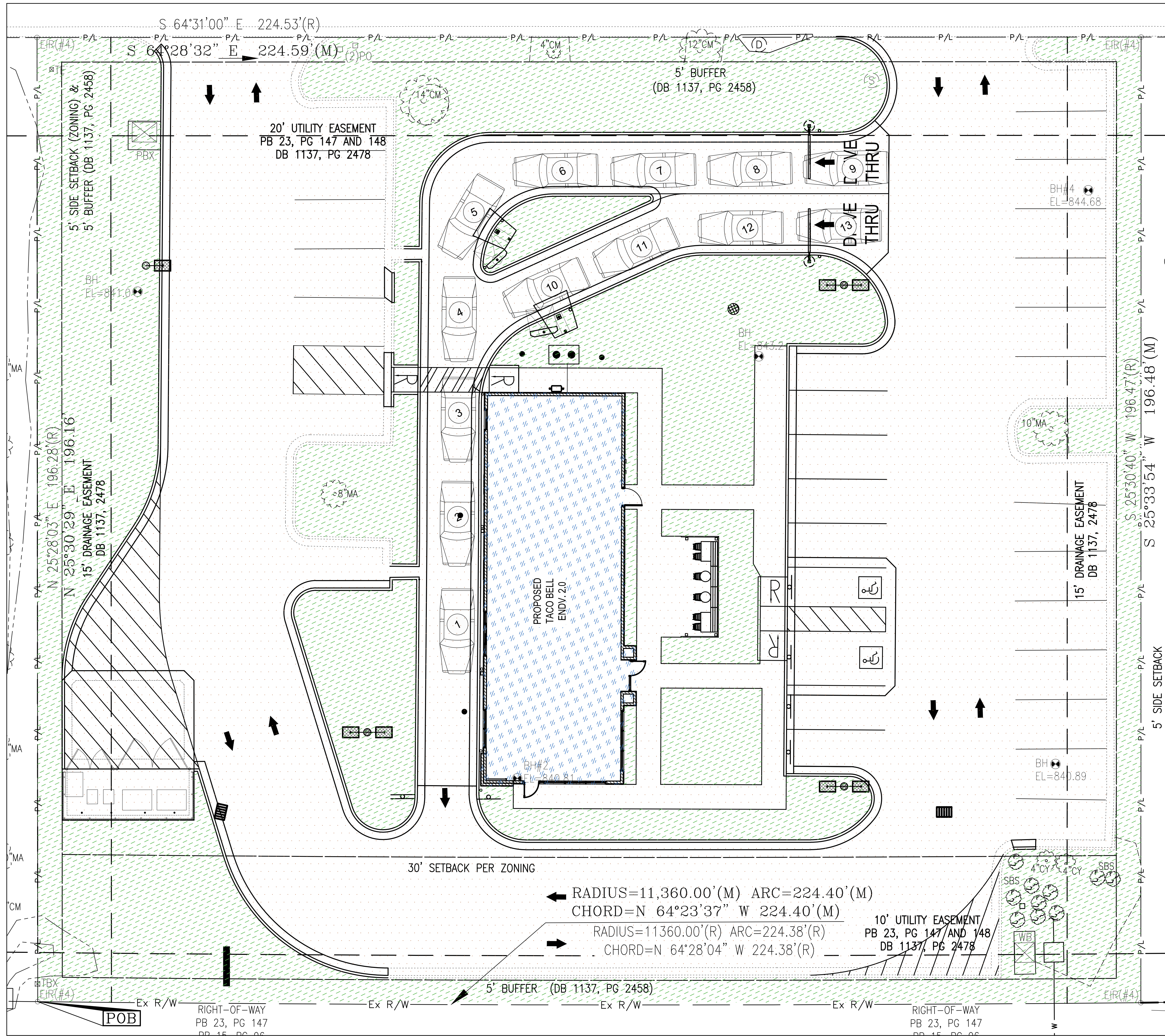
# C-112

PLOT DATE:



RIGHT-OF-WAY  
 PB 23, PG 147  
 DB 15, PG 06

RIGHT-OF-WAY  
 PB 23, PG 147  
 DB 15, PG 06



LAND USE DATA

	% OF SITE AREA	AREA PROVIDED
BUILDING	5.27%	0.05 AC.
PAVEMENT/IMPERVIOUS	63.37%	0.64 AC.
LANDSCAPING	31.68%	0.32 AC.
TOTAL	100%	1.01 AC.

DATE	REMARKS
1 06.03.22	Issued for Permit
2 07.19.22	City Comments

CONTRACT DATE: 05.04.22  
 BUILDING TYPE: END. 80FT  
 PLAN VERSION: MARCH 2021  
 BRAND DESIGNER: DICKSON  
 SITE NUMBER: 315647  
 STORE NUMBER: 458047  
 PAV/PM: SM  
 DRAWN BY.: EA  
 JOB NO.: 2021088.54

**TACO BELL**  
 2005 East Dixon Blvd.  
 Shelby, NC 28152

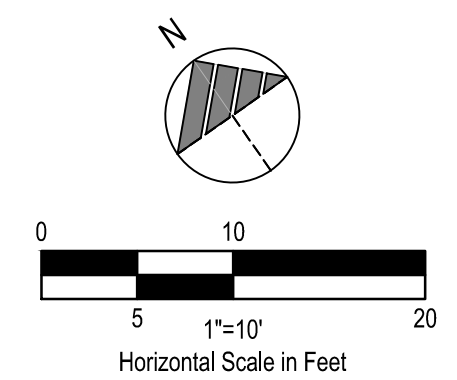
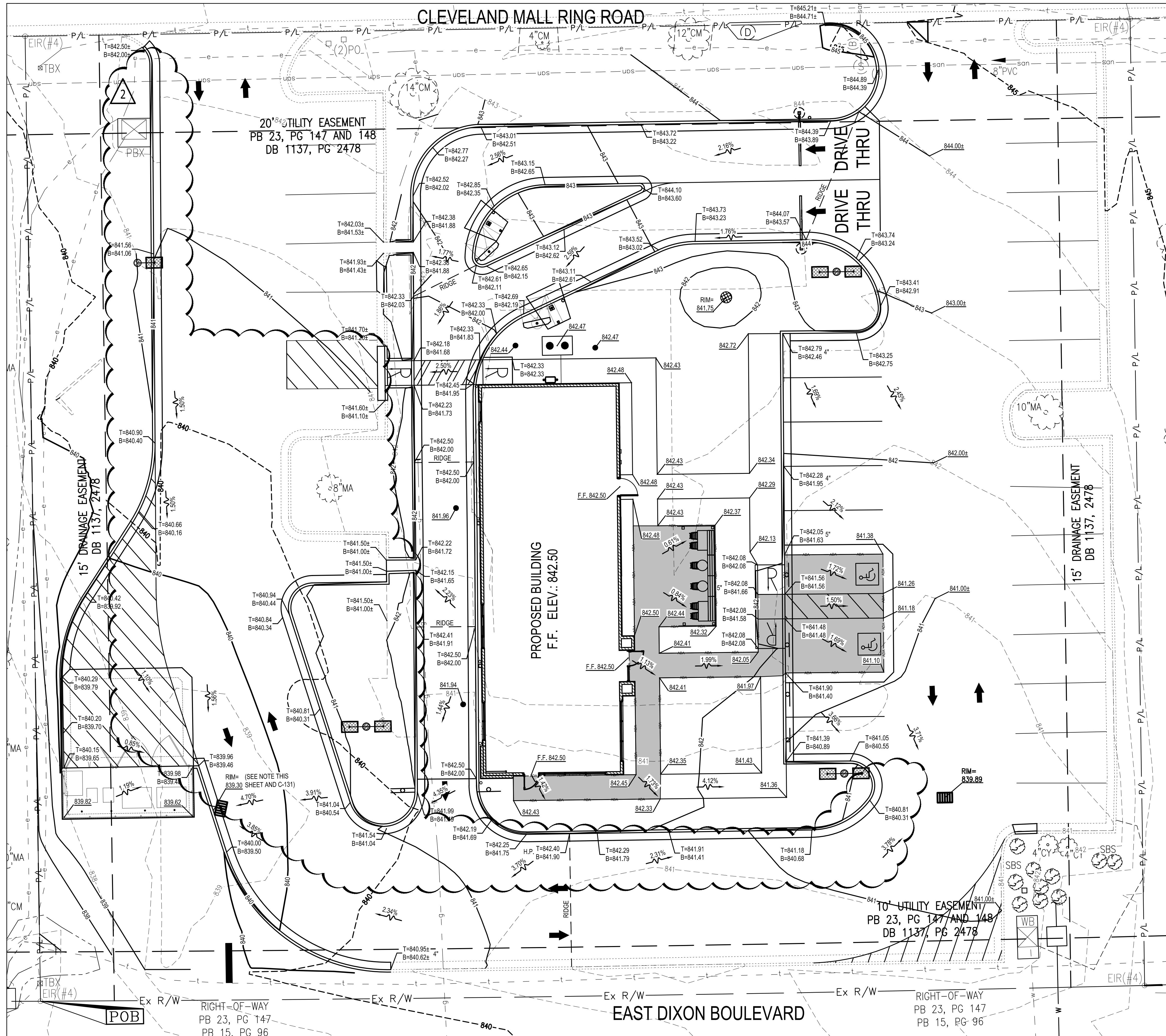


ENDEAVOR 2.0  
**PROPOSED PERVIOUS /IMPERVIOUS AREA MAP**

**C-113**

PLOT DATE:





**LEGEND**  
(SEE SHEET C-001 FOR GENERAL LEGEND)

	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION/ MATCH EXISTING GRADE
	PROPOSED ELEVATION @ FINISHED GROUND ELEVATION
	TOP OF CURB ELEVATION BOTTOM OF CURB/FINISHED PAVEMENT ELEVATION
	PROPOSED DRAINAGE SLOPE & DIRECTION
	PROPOSED ELEVATION KEYNOTE
	LIMITS OF ADA ROUTING

NOTE: EXISTING CATCH BASIN RIM TO BE ADJUSTED TO PROPOSED GRADE AND ALIGN FRAME WITH PROPOSED CURB.

DATE	REMARKS
1 06.03.22	Issued for Permit
2 07.19.22	City Comments

CONTRACT DATE: 05.04.22  
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 BRAND DESIGNER: DICKSON  
 SITE NUMBER: 315647  
 STORE NUMBER: 458047  
 PAVPM: SM  
 DRAWN BY.: EA  
 JOB NO.: 2021088.54

**TACO BELL**  
 2005 East Dixon Blvd.  
 Shelby, NC 28152



ENDEAVOR 2.0  
 GRADING  
 PLAN

**C-121**

PLOT DATE:

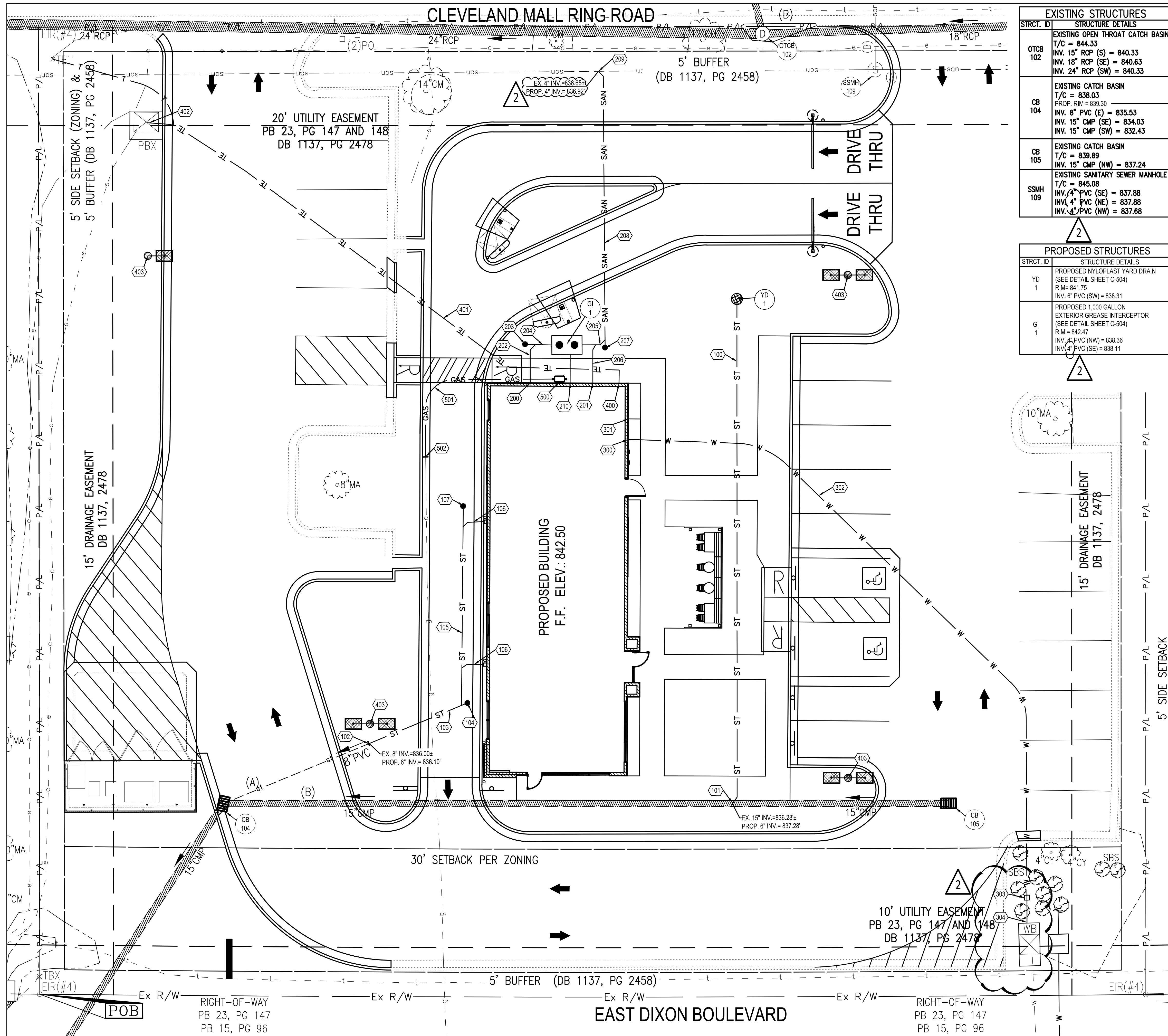


**BENCHMARKS:**  
 BASIS OF BEARING:  
 NCGS MONUMENT "MALL" NC GRID NAD83/2011.  
 BENCHMARK #1 - CHISELED BOX IN BASE OF LAMP.  
 ELEVATION = 844.41  
 REFER TO ALTA SURVEY FOR BENCHMARK LOCATION

RIGHT-OF-WAY  
 PB 23, PG 147  
 PB 15, PG 96

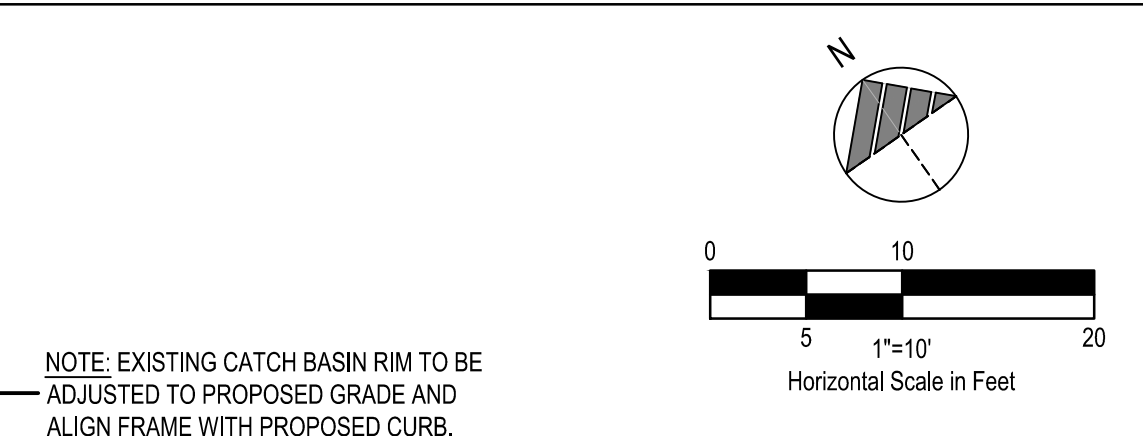
**EAST DIXON BOULEVARD**

RIGHT-OF-WAY  
 PB 23, PG 147  
 PB 15, PG 96



EXISTING STRUCTURES	
STRUCT. ID	STRUCTURE DETAILS
OTCB 102	EXISTING OPEN THROAT CATCH BASIN T/C = 844.33 INV. 15" RCP (S) = 840.33 INV. 18" RCP (SE) = 840.63 INV. 24" RCP (SW) = 840.33
CB 104	EXISTING CATCH BASIN T/C = 838.03 PROP. RIM = 839.30 INV. 8" PVC (E) = 835.53 INV. 15" CMP (SE) = 834.03 INV. 15" CMP (SW) = 832.43
CB 105	EXISTING CATCH BASIN T/C = 839.89 INV. 15" CMP (NW) = 837.24
SSMH 109	EXISTING SANITARY SEWER MANHOLE T/C = 845.08 INV. 4" PVC (SE) = 837.88 INV. 4" PVC (NE) = 837.88 INV. 4" PVC (NW) = 837.68

PROPOSED STRUCTURES	
STRUCT. ID	STRUCTURE DETAILS
YD 1	PROPOSED NYLOPLAST YARD DRAIN (SEE DETAIL SHEET C-504) RIM = 841.75 INV. 6" PVC (SW) = 838.31
GI 1	PROPOSED 1,000 GALLON EXTERIOR GREASE INTERCEPTOR (SEE DETAIL SHEET C-504) RIM = 842.47 INV. 4" PVC (NW) = 838.36 INV. 4" PVC (SE) = 838.11



- PLAN KEYNOTES (#)**
- STORM**
- PROPOSED 103 L.F. OF 6" PVC SDR 35 @ 1.00%.
  - PROPOSED WATERTIGHT 6" PVC CONNECTION TO EXISTING 15" PIPE. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS.
  - PROPOSED 6" PVC CONNECTION TO EXISTING 8" PVC PIPE. CONTRACTOR TO REMOVE EXISTING CAP AND PROVIDE A WATERTIGHT CONNECTION. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS.
  - PROPOSED 22 L.F. OF 6" PVC SDR 35 @ 1.00%.
  - PROPOSED STORM CLEANOUT AND WYE CONNECTION. SEE SHEET C-501. RIM = 841.94, INV. = 836.32.
  - PROPOSED 41 L.F. OF 6" PVC SDR 35 @ 1.00%.
  - PROPOSED 5 L.F. OF 6" PVC SDR 35 @ 1.00%.
  - PROPOSED STORM CLEANOUT AND WYE CONNECTION. SEE SHEET C-501. RIM = 841.96, INV. = 836.73.
- SANITARY**
- PROPOSED SANITARY CONNECTION TO GREASE INTERCEPTOR INV. = 838.50. COORDINATE WITH PLUMBING PLANS.
  - PROPOSED SANITARY CONNECTION INV. = 838.50. COORDINATE WITH PLUMBING PLANS.
  - PROPOSED 8 L.F. OF 4" PVC SDR 35 @ 1.00%.
  - PROPOSED STORM CLEANOUT AND WYE CONNECTION. SEE SHEET C-501. RIM = 842.44, INV. = 838.42.
  - PROPOSED 6 L.F. OF 4" PVC SDR 35 @ 1.00%.
  - PROPOSED 5 L.F. OF 4" PVC SDR 35 @ 1.00%.
  - PROPOSED 8 L.F. OF 4" PVC SDR 35 @ 5.00%.
  - PROPOSED STORM CLEANOUT AND WYE CONNECTION. SEE SHEET C-501. RIM = 842.47, INV. = 838.06.
  - PROPOSED 5 L.F. OF 4" PVC SDR 35 @ 2.00%.
  - PROPOSED CONNECTION TO EXISTING SANITARY MAIN. CONTRACTOR TO COORDINATE ALL WORK WITH CITY OF SHELBY.
  - PROPOSED 3" VENT PIPE FROM GREASE INTERCEPTOR.
- WATER**
- PROPOSED WATER CONNECTION. COORDINATE WITH PLUMBING PLANS.
  - PROPOSED 1.0" IRRIGATION TAP. COORDINATE WITH PLUMBING PLANS. IRRIGATION METER SHALL BE INSTALLED BY IRRIGATION CONTRACTOR PER CITY OF SHELBY STANDARDS AND SPECIFICATIONS.
  - PROPOSED 147 L.F. 1-1/2" TYPE K COPPER WATER SERVICE LINE.
  - PROPOSED BACKFLOW PREVENTER PER DETAIL ON SHEET C-504 AND CITY OF SHELBY STANDARDS AND SPECIFICATIONS.
  - PROPOSED CONNECTION TO EXISTING WATER METER. COORDINATE ALL WORK WITH CITY OF SHELBY.

- ELECTRIC AND COMMUNICATIONS**
- PROPOSED ELECTRIC METER PER ELECTRIC COMPANY SPECIFICATIONS. SEE BUILDING DRAWINGS FOR EXACT LOCATION. ELECTRIC SERVICE LINE TO BE COORDINATED WITH THE ELECTRIC COMPANY.
  - PROPOSED ELECTRIC AND TELECOMMUNICATIONS SERVICE CONNECTION TO BE COORDINATED WITH THE UTILITY COMPANIES.
  - PROPOSED ELECTRICAL CONNECTION TO EXISTING TRANSFORMER. COORDINATE ALL WORK WITH UTILITY COMPANY.
  - PROPOSED LIGHT POLE. SEE ELECTRICAL DRAWINGS FOR SPECIFICATIONS.

- GAS**
- PROPOSED GAS METER PER GAS COMPANY SPECIFICATIONS. SEE BUILDING DRAWINGS FOR EXACT LOCATION. GAS SERVICE LINE TO BE COORDINATED WITH THE GAS COMPANY.
  - PROPOSED 40 L.F. GAS SERVICE CONNECTION TO BE COORDINATED WITH THE GAS COMPANY.
  - PROPOSED GAS LINE CONNECTION TO EXISTING. CONTRACTOR TO REMOVE CAP FROM EXISTING GAS LINE TO MAKE THE PROPOSED CONNECTION. COORDINATE ALL WORK WITH THE GAS COMPANY.

- LEGEND**  
(SEE SHEET C-001 FOR GENERAL LEGEND)
- ST - PROPOSED STORM SEWER (12" AND SMALLER)
  - SAN - PROPOSED SANITARY SEWER
  - W - PROPOSED WATER SERVICE
  - GAS - PROPOSED GAS SERVICE
  - E - PROPOSED UNDERGROUND ELECTRIC SERVICE
  - TE - PROPOSED UNDERGROUND TELEPHONE & CABLE SERVICE
  - A # - APPURTENANCES
  - # - UTILITY CONSTRUCTION KEYNOTE

**BENCHMARKS:**  
BASIS OF BEARING:  
NCGS MONUMENT "MALL" NC GRID NAD83/2011.  
BENCHMARK #1 - CHISELED BOX IN BASE OF LAMP.  
ELEVATION = 844.41  
REFER TO ALTA SURVEY FOR BENCHMARK LOCATION



DATE	REMARKS
1 06.03.22	Issued for Permit
2 07.19.22	City Comments

CONTRACT DATE: 05.04.22  
BUILDING TYPE: END. 80FT  
PLAN VERSION: MARCH 2021  
BRAND DESIGNER: DICKSON  
SITE NUMBER: 315647  
STORE NUMBER: 458047  
PAP/M: SM  
DRAWN BY.: EA  
JOB NO.: 2021088.54

**TACO BELL**  
2005 East Dixon Blvd.  
Shelby, NC 28152

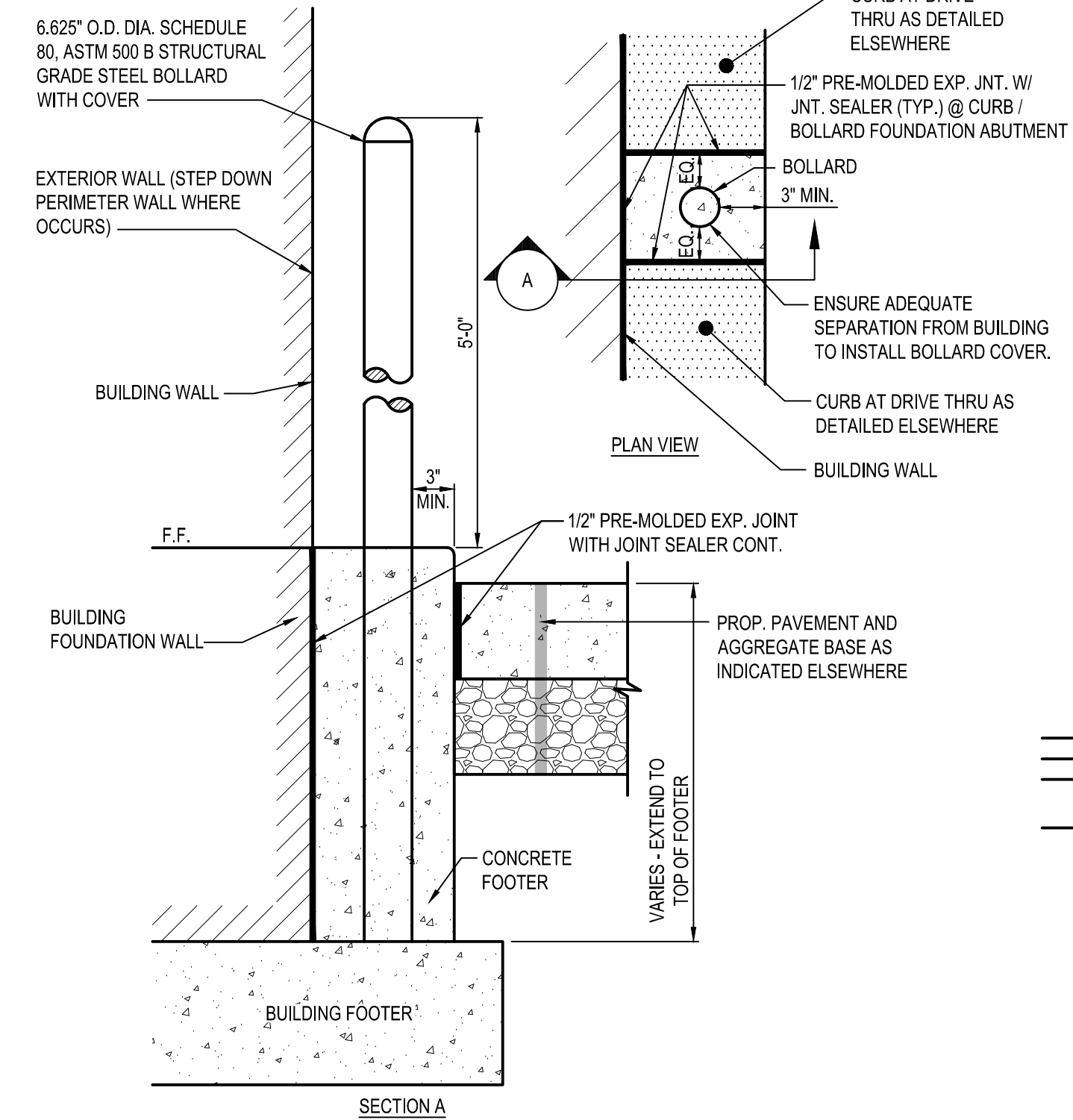


ENDEAVOR 2.0  
UTILITY PLAN

**C-131**

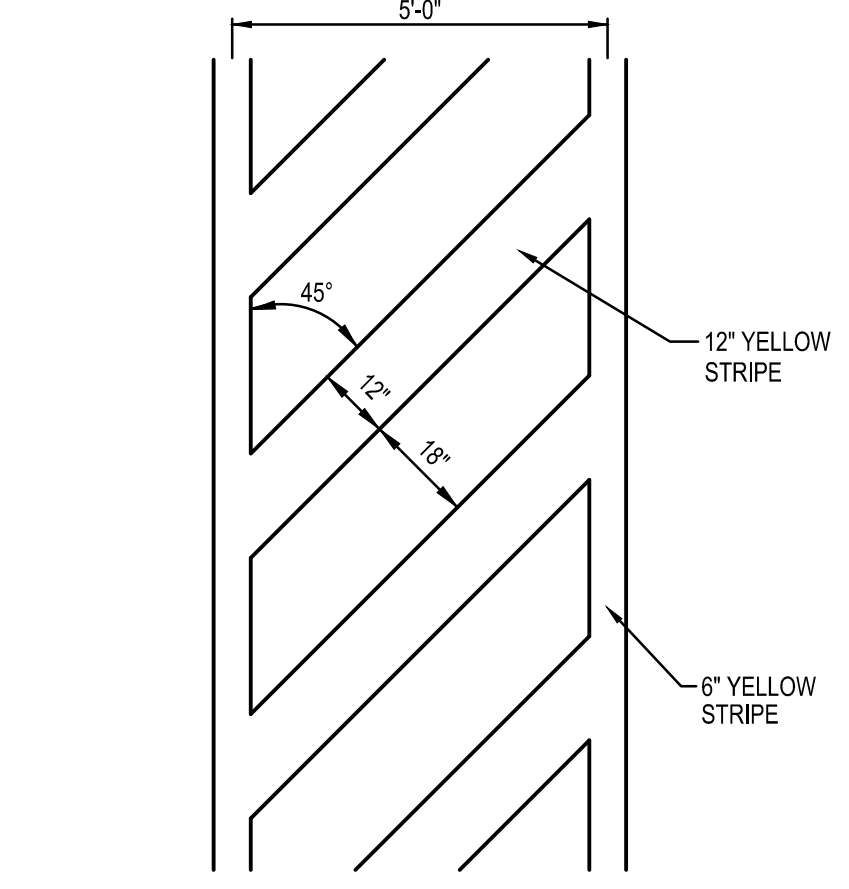
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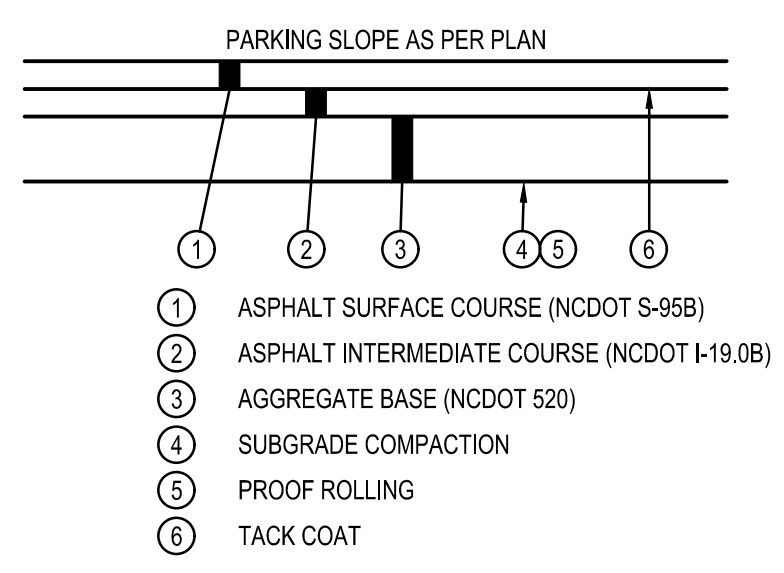


**NOTE:**  
1. CONTRACTOR SHALL UTILIZE GALVANIZED COATED OR FULLY PAINT STEEL PIPE WITH AN EXTERIOR RUST INHIBITIVE PAINT PRIOR TO INSTALLATION AND TOUCH UP AFTER INSTALLATION SUCH AS SHERWIN-WILLIAMS MACROPOXY 646 FAST CURE (B58W610), IN ACCORDANCE WITH MANUFACTURERS PREPARATION REQUIREMENTS. PROVIDE A YELLOW (BLUE FOR ADA) BOLLARD COVER SUCH AS A STREET SMART SOLUTIONS POST GUARD, DOME-TOP COVER BY US-POSTMAN.COM OR APPROVED EQUAL.

**C1** DETERRENT BOLLARD IN CURB  
N.T.S.

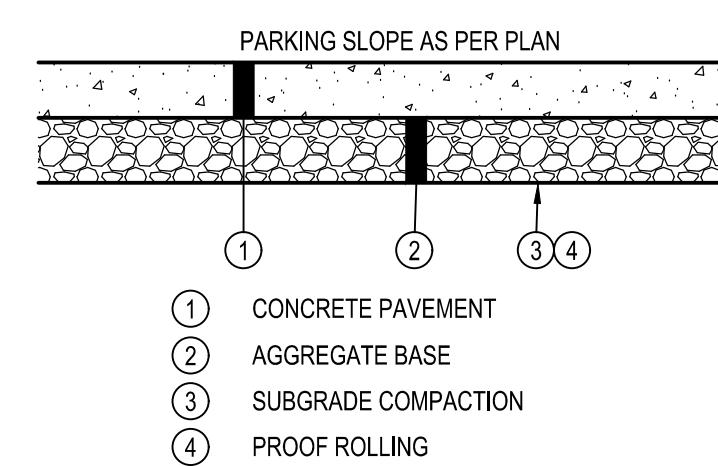


**D2** CROSSWALK STRIPING  
N.T.S.



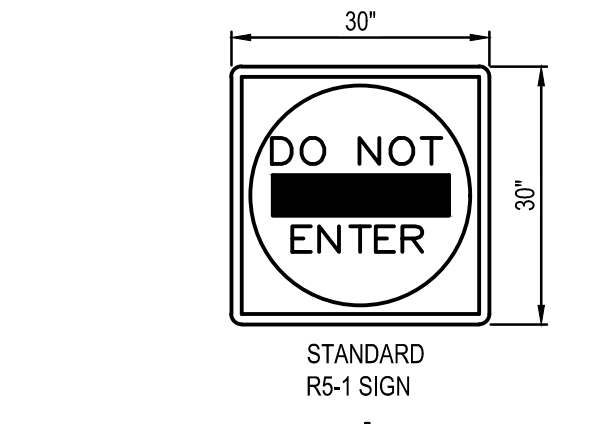
**NOTES:**  
1. APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT AND WHERE PROPOSED ASPHALT MEETS EXISTING ASPHALT INCLUDING SAW CUT JOINTS.  
2. SEE SITE PLAN FOR PAVEMENT THICKNESSES.  
3. NO RAP SHALL BE PERMITTED IN ASPHALT SURFACE COURSE.

**C2** TYPICAL PAVEMENT SECTION  
N.T.S.



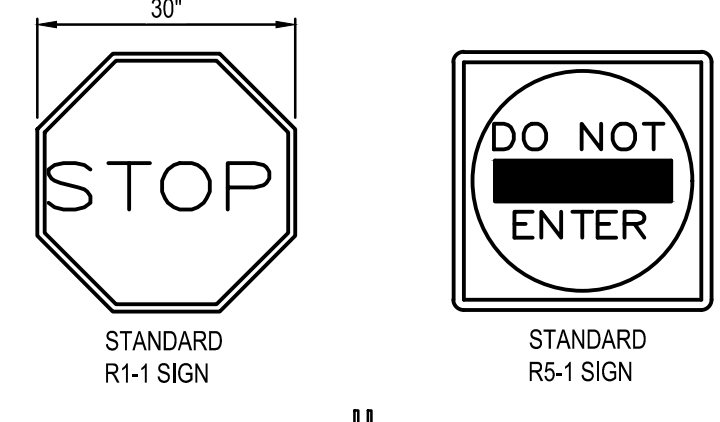
**NOTES:**  
1. APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT. APPLY CONCRETE SEALANT CONFORMING TO ASTM D6690 WHERE PROPOSED CONCRETE MEETS EXISTING CONCRETE.  
2. SEE SITE PLAN FOR PAVEMENT THICKNESSES AND REINFORCEMENT.  
3. CONCRETE PAVEMENT SHALL HAVE CONTROL JOINTS PER CONCRETE NOTES SHEET C-001.

**B2** TYPICAL CONCRETE PAVEMENT SECTION  
N.T.S.



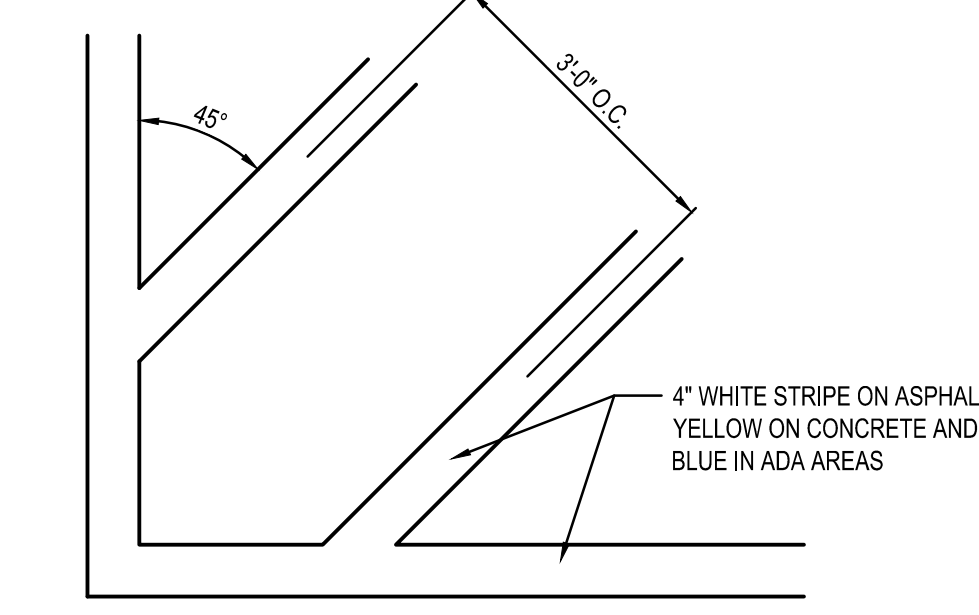
**NOTE:**  
ALL SIGNS NOTED SHALL CONFORM TO THE LATEST NCDOT SPECIFICATIONS.

**D3** DO NOT ENTER SIGN  
N.T.S.

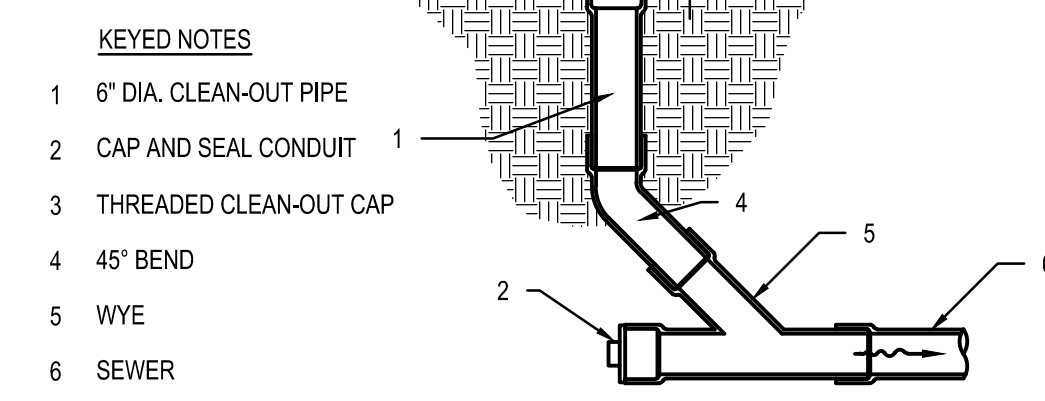


**NOTE:**  
ALL SIGNS NOTED SHALL CONFORM TO THE LATEST NCDOT SPECIFICATIONS.

**C3** DO NOT ENTER & STOP SIGN  
N.T.S.

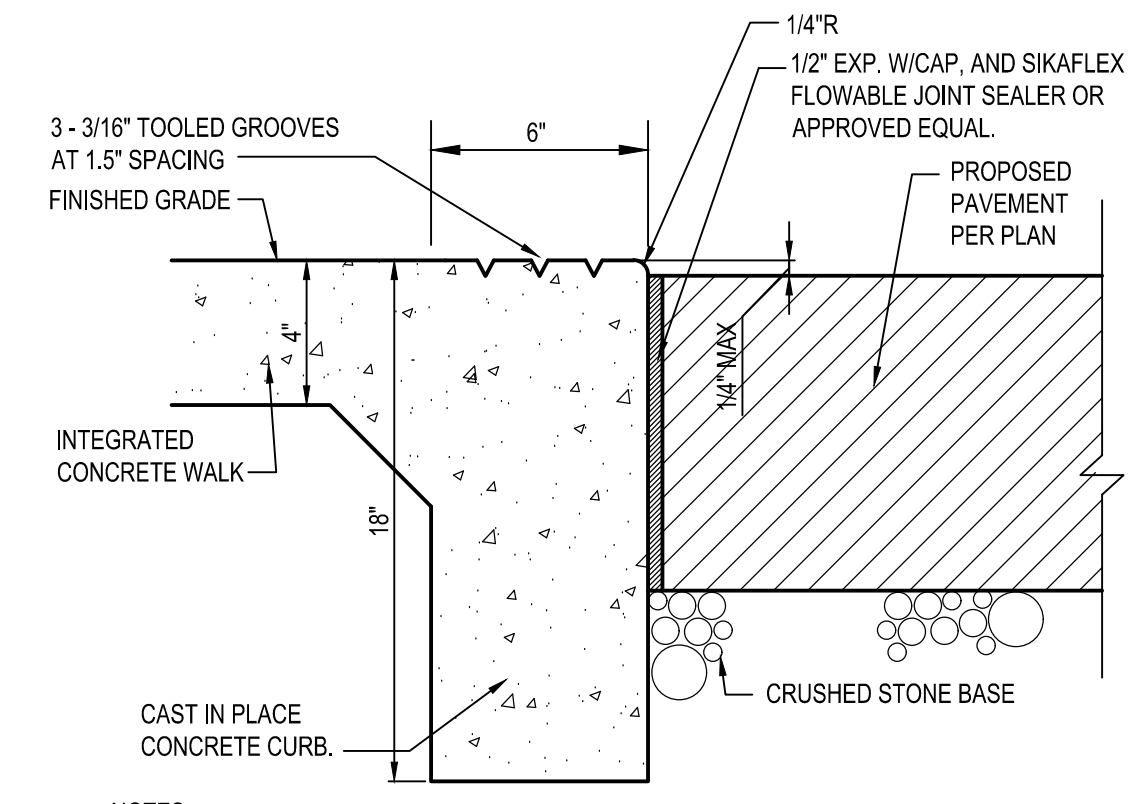


**B3** TRANSVERSE STRIPING  
N.T.S.



**KEYED NOTES:**  
1 6\"/>

**A4** CLEAN OUT (LAWN AREA)  
N.T.S.

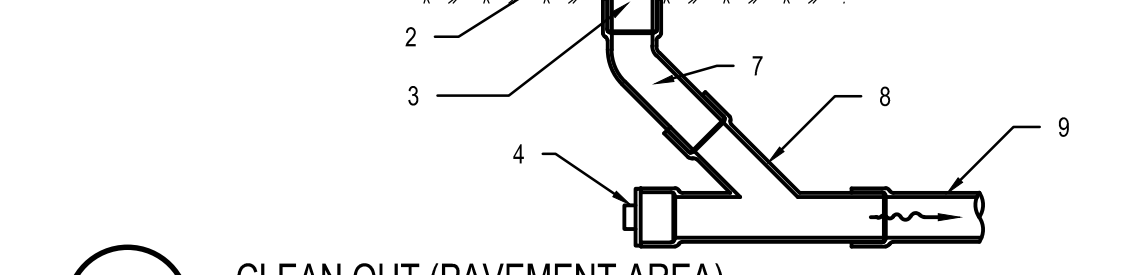


**NOTES:**  
1. REFER TO CONCRETE NOTES ON SHEET C-001 FOR CONCRETE SPECIFICATION.  
2. SIDEWALK WIDTH AS SHOWN ON SITE PLAN.

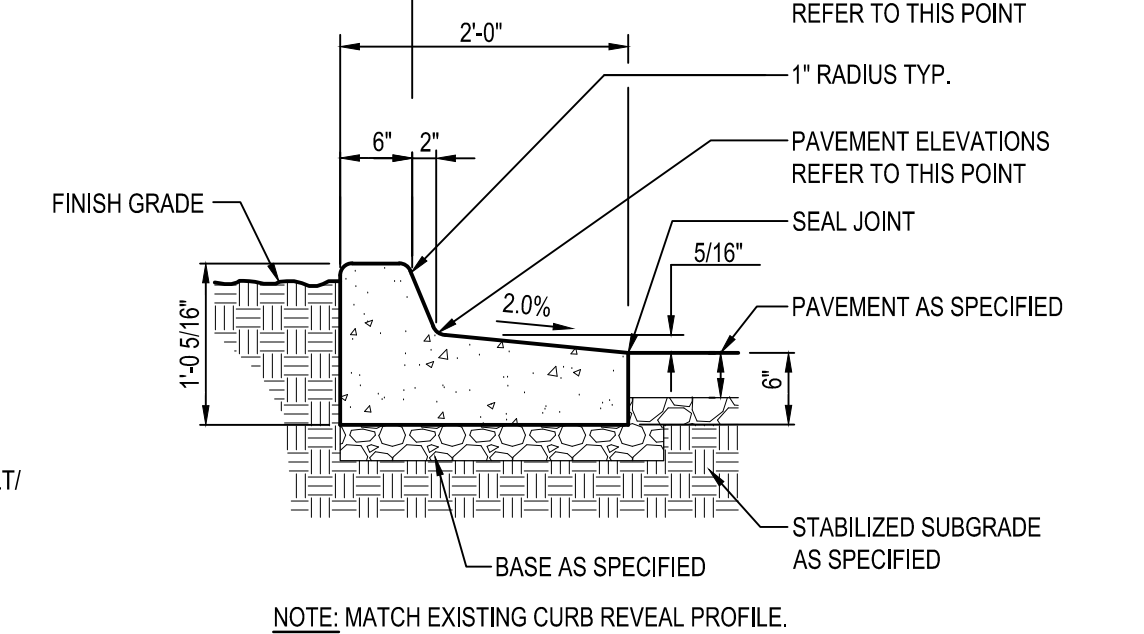
**D4** FLUSH CURB  
N.T.S.

**KEYED NOTES:**

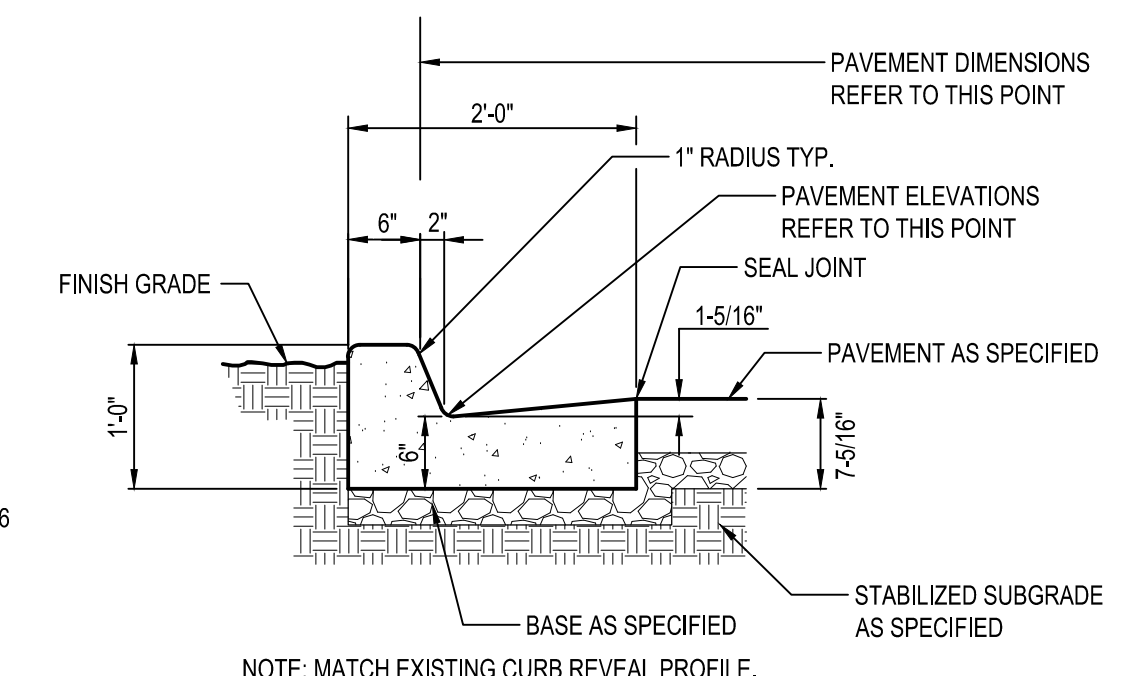
- 1 CONCRETE, MATCH PAVEMENT SPEC.
- 2 6\"/>
- 3 6\"/>
- 4 CAP AND SEAL CONDUIT
- 5 THREADED CLEAN-OUT CAP
- 6 CAST-IRON MONUMENT BOX, EJIW 1585 OR APPROVED EQUAL.
- 7 45\"/>
- 8 WYE
- 9 SEWER



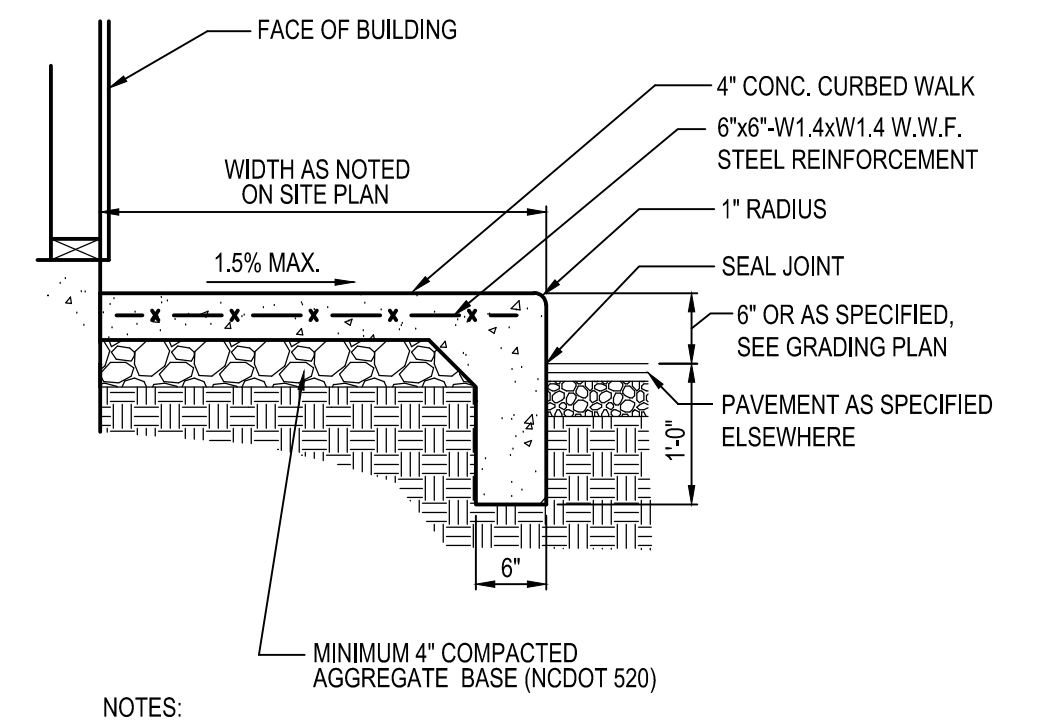
**C4** CLEAN OUT (PAVEMENT AREA)  
N.T.S.



**B4** CONCRETE CURB AND GUTTER REVERSE PITCH  
N.T.S.

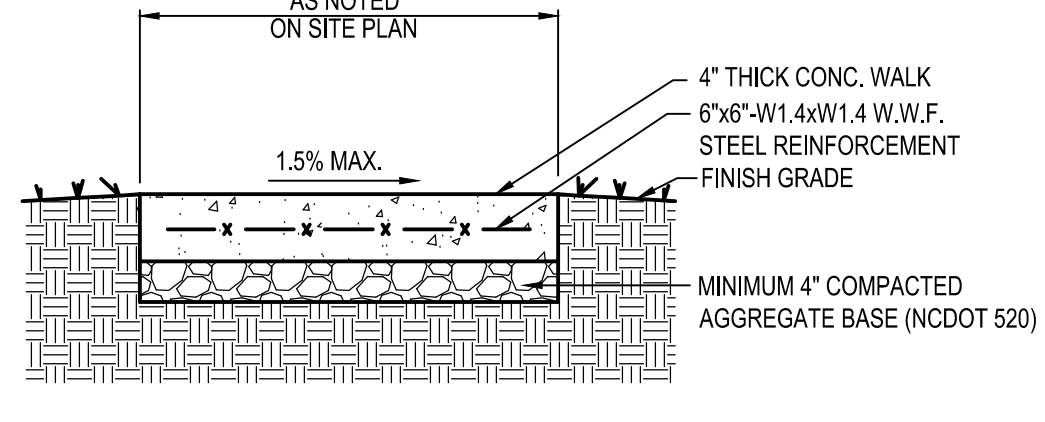


**A5** CONCRETE CURB AND GUTTER  
N.T.S.



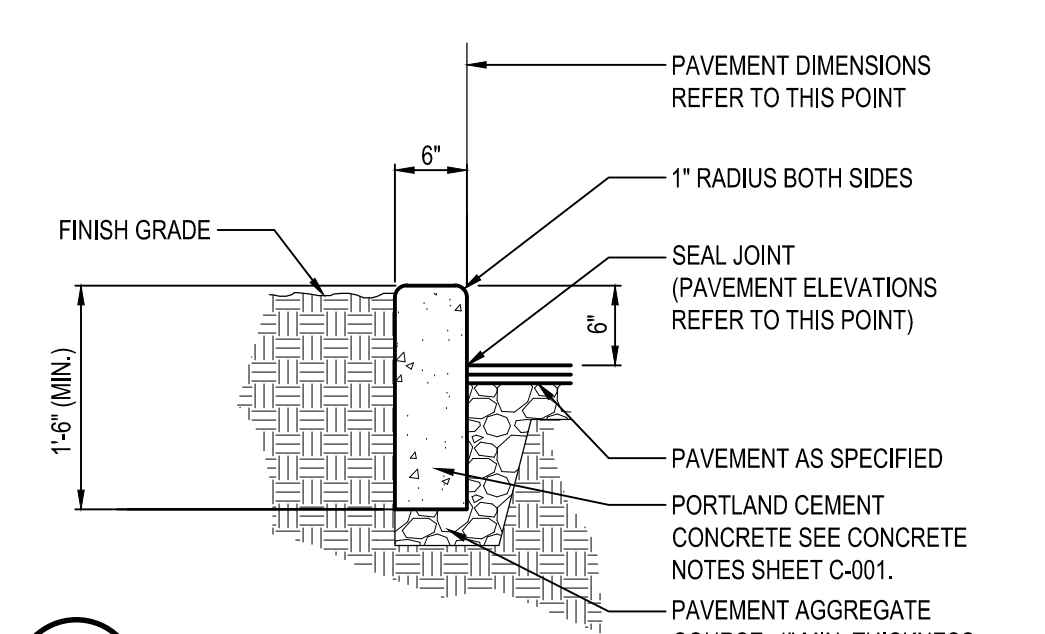
**NOTES:**  
1. CONTRACTOR SHALL INSTALL 1/2\"/>

**D5** CONCRETE CURBED WALK  
N.T.S.

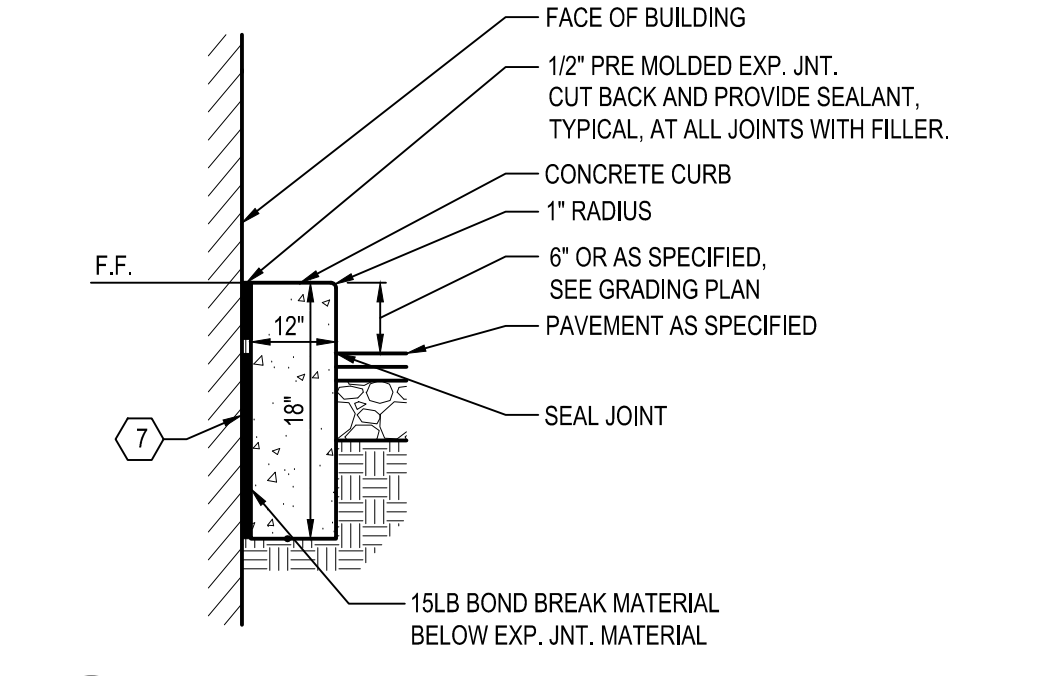


**NOTES:**  
1. CONTRACTOR SHALL INSTALL 1/2\"/>

**C5** CONCRETE WALK  
N.T.S.



**B5** CONCRETE CURB  
N.T.S.



**A5** CONCRETE CURB AT DRIVE THRU  
N.T.S.

DATE	REMARKS
1 06.03.22	Issued for Permit
2 07.19.22	City Comments

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PLAN VERSION: MARCH 2021  
BRAND DESIGNER: DICKSON  
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**TACO BELL**  
2005 East Dixon Blvd.  
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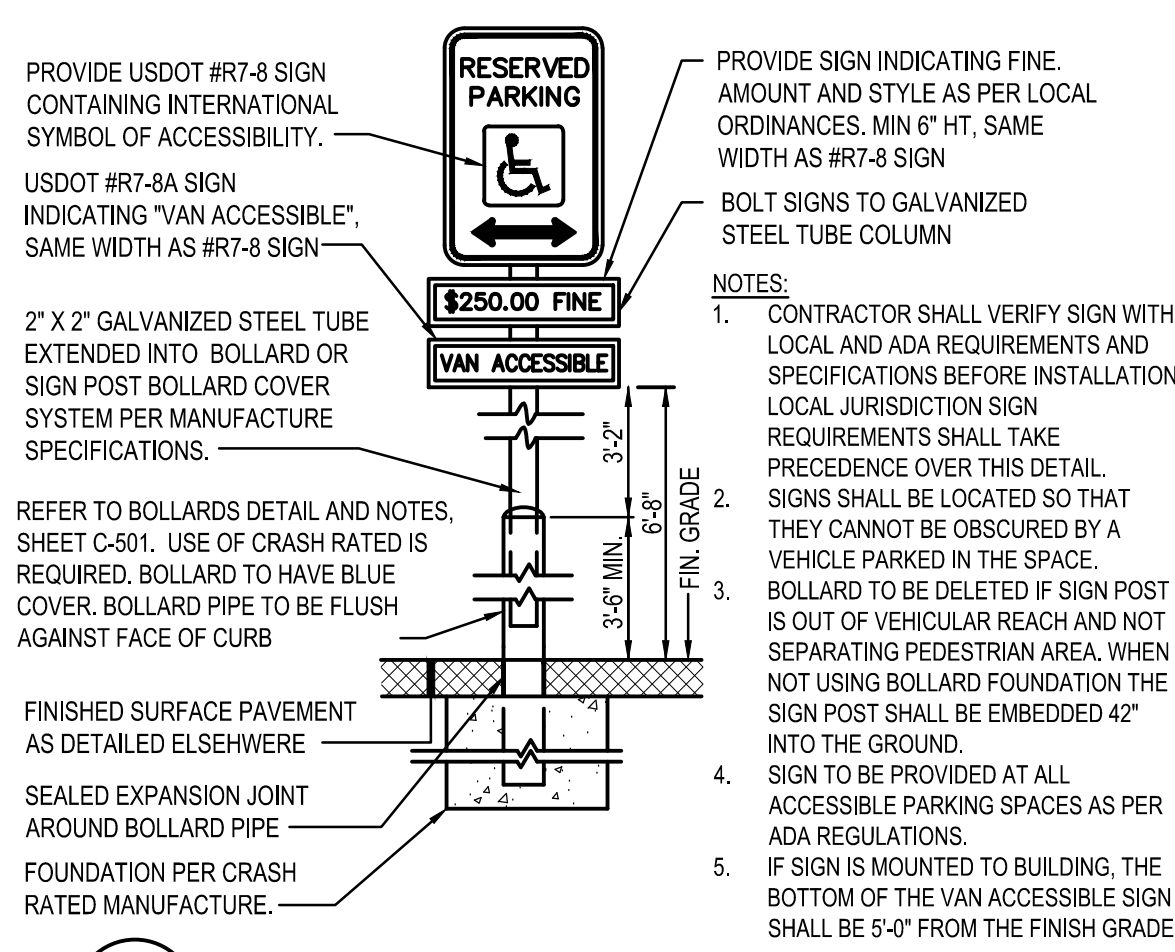


ENDEAVOR 2.0  
DETAILS

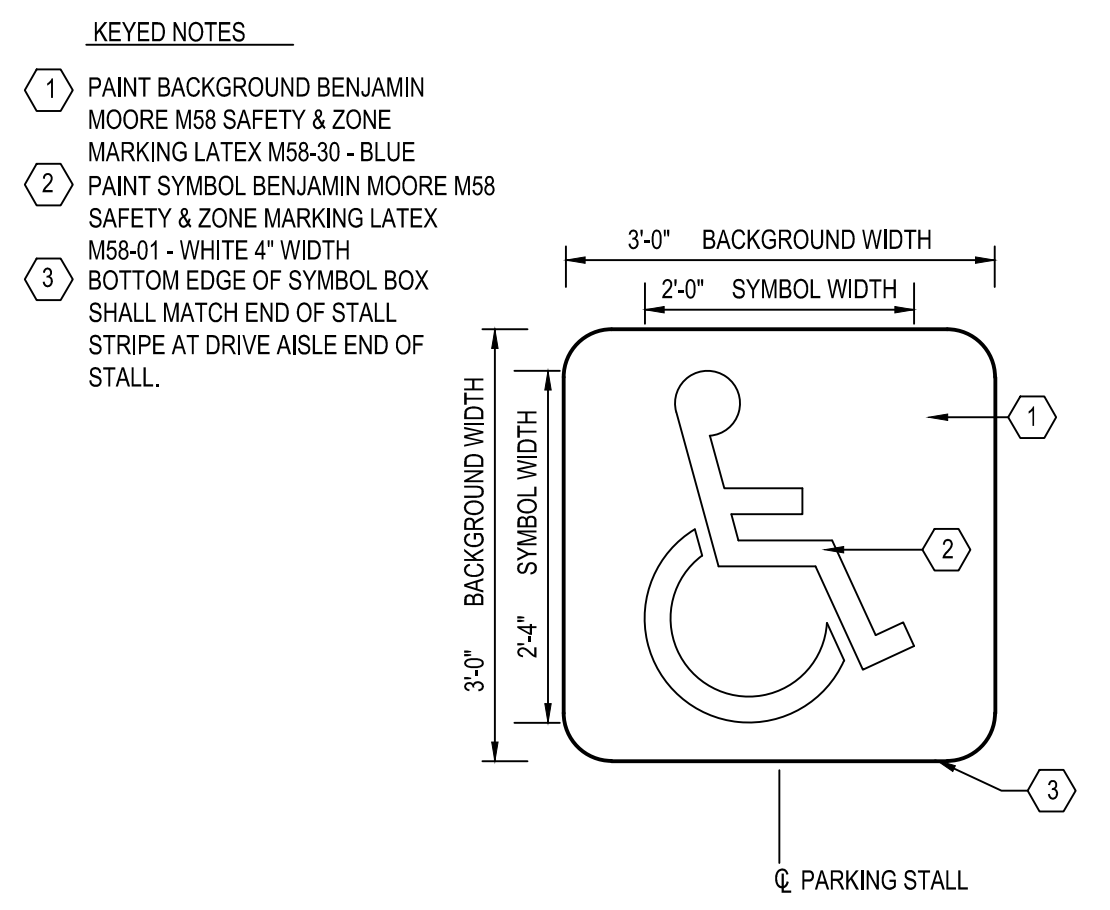
**C-501**

PLOT DATE:

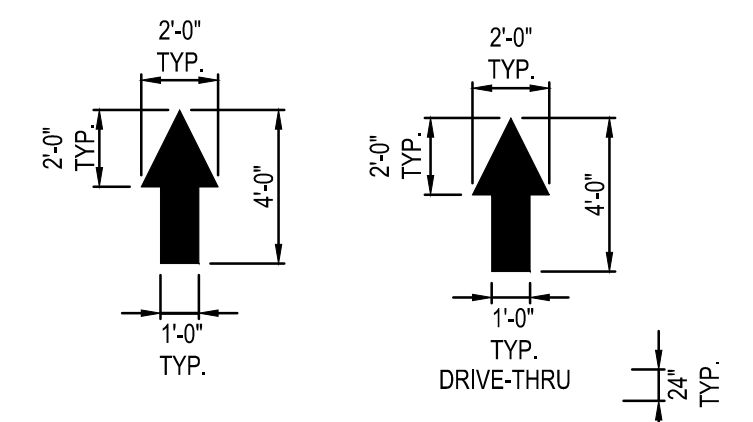
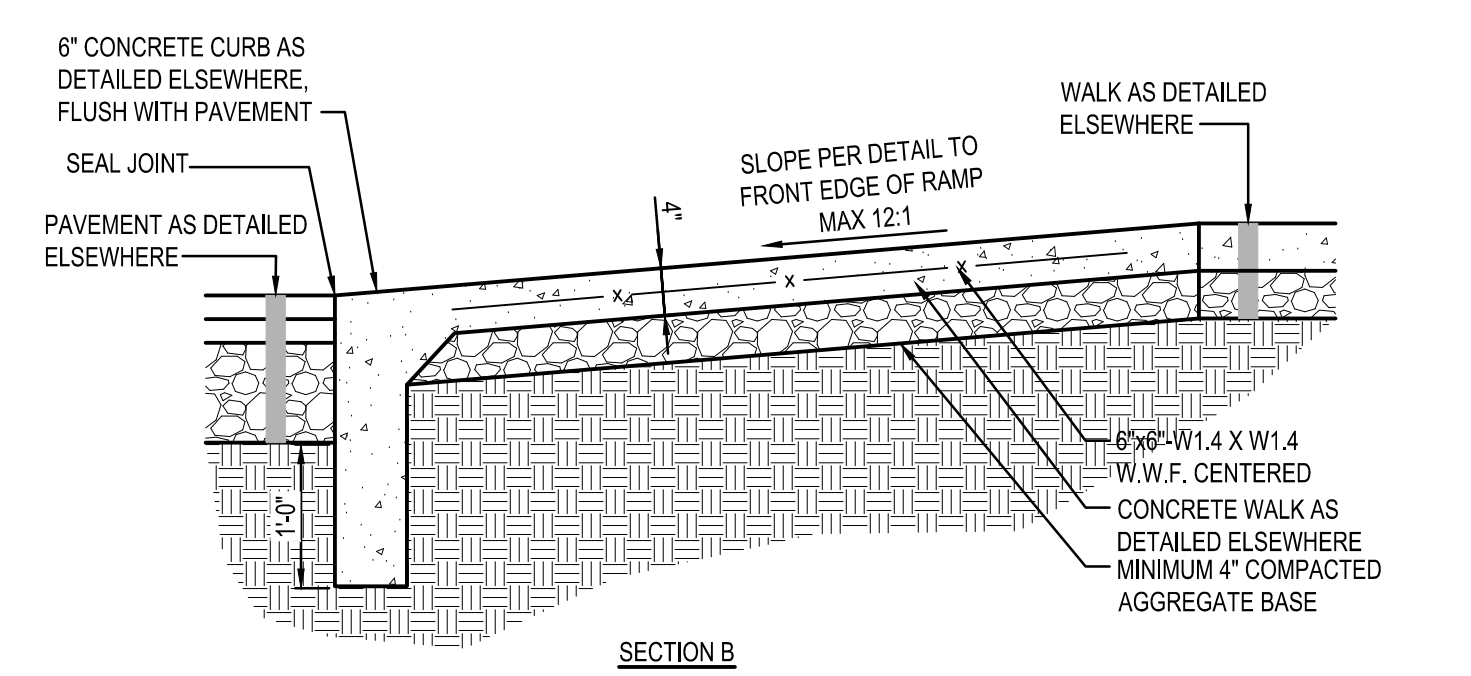
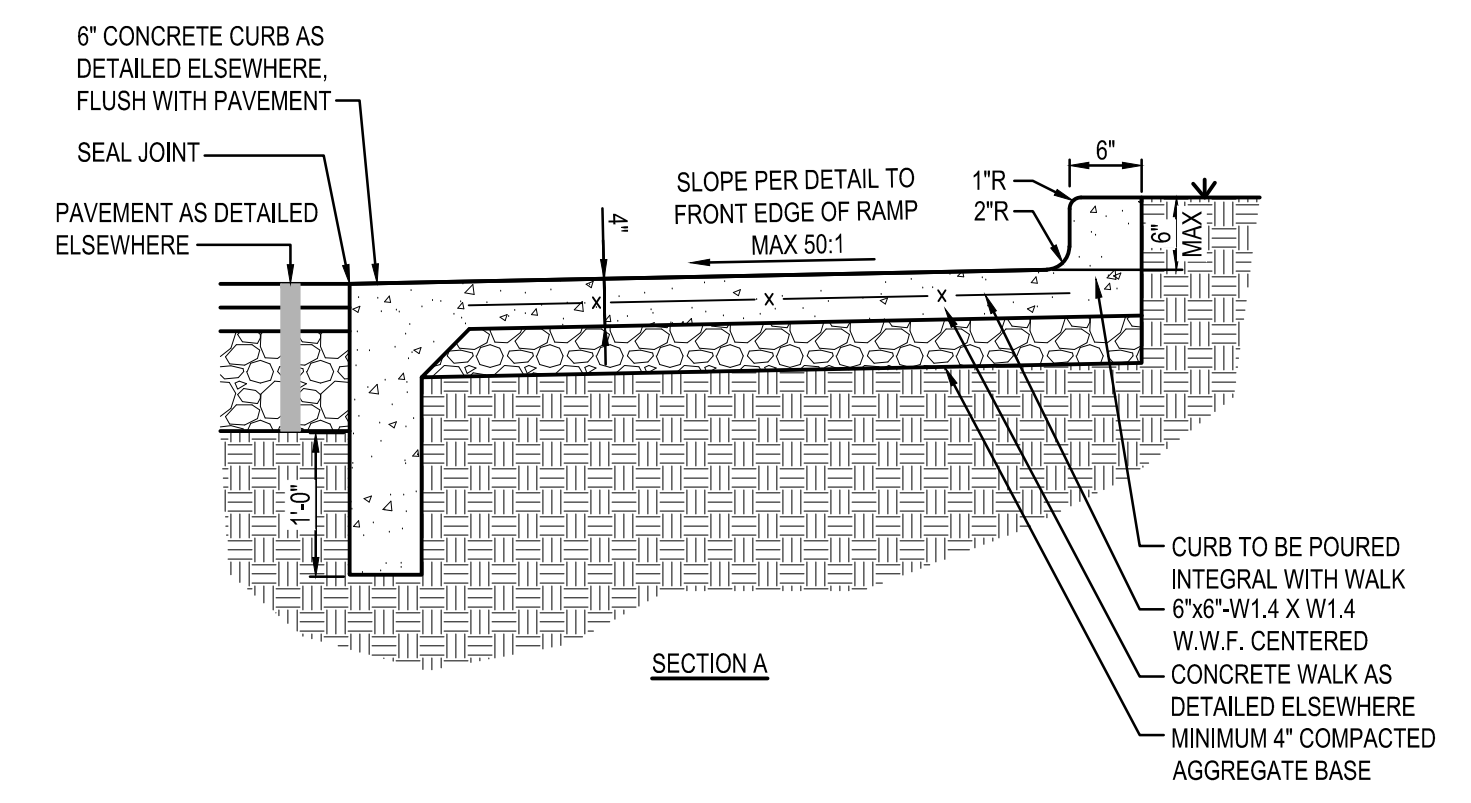
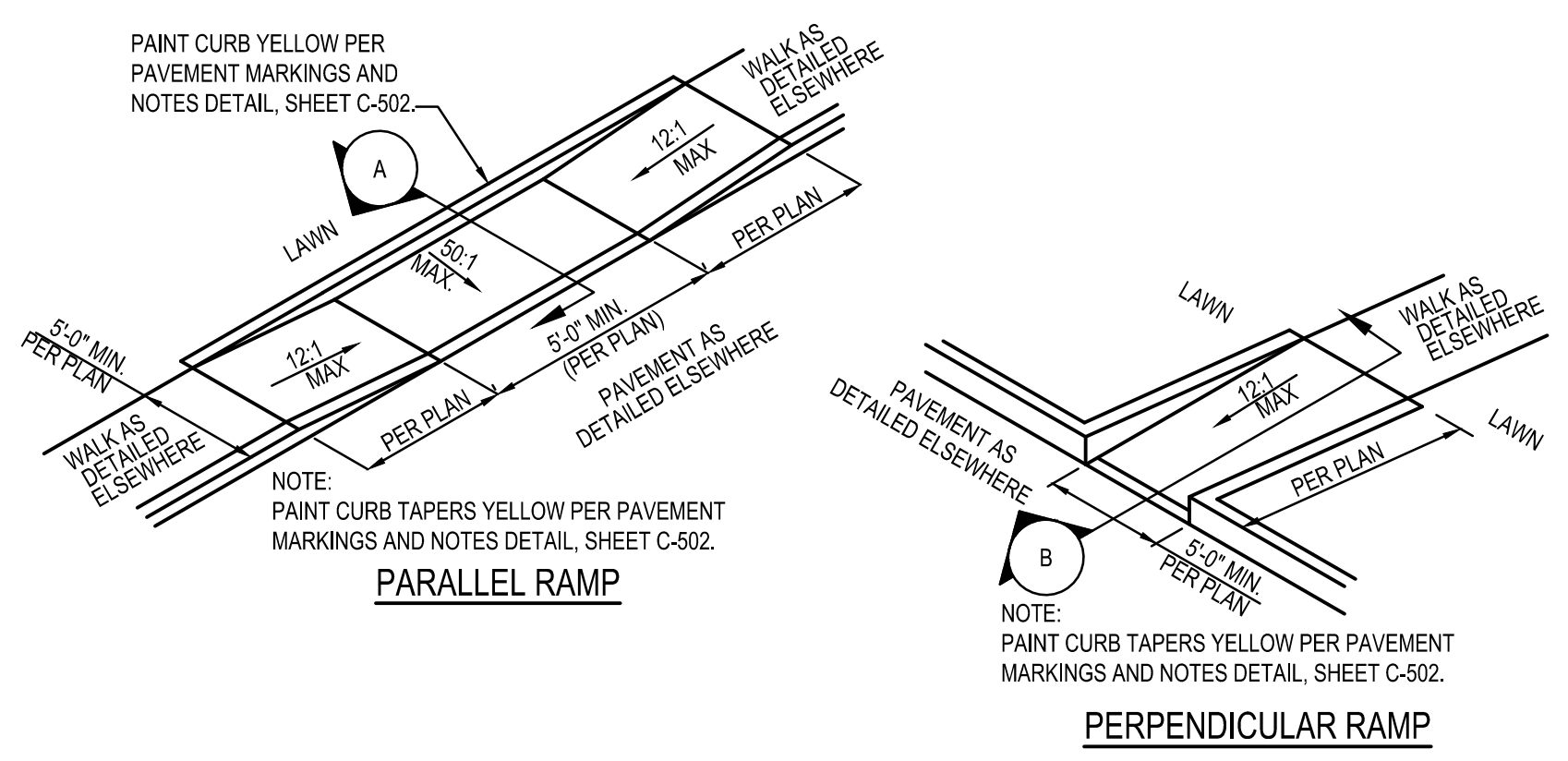




**C3 HANDICAPPED PARKING SIGN**  
N.T.S.



**C4 ADA PAVEMENT SYMBOL**  
N.T.S.



NOTES:

ALL PAVEMENT MARKINGS TO BE WHITE PAVEMENT PAINT, UNLESS STATED OTHERWISE. ALL PAVEMENT MARKINGS WITHIN ADA AREAS SHALL BE PAINTED BLUE EXCEPT FOR COLORS DEFINED ON THE ADA PAVEMENT SYMBOL.

MARKING (STRIPING) PAINT FOR PARKING SPACES, TRAFFIC ARROWS, ADA PARKING AND SYMBOLS, ETC., PER LOCAL REQUIREMENTS AND AS FOLLOWS:

PAINT SHALL BE WATER BASE FAST DRYING 100% ACRYLIC TYPE. WATER BASE TO MEET FEDERAL SPECIFICATION TYP-01952B. FOR COLD WEATHER APPLICATION PAINT PRODUCT SHALL BE IN ACCORDANCE WITH ASTM-D2369, D1394, D3723, D1475, D562 AND D711.

PROVIDE A NON-SLIP AGGREGATE ADDITIVE TO MARKING PAINT USED AT ADA ACCESS RAMP.

APPLY 2 COATS WITH STRAIGHT EDGES. YELLOW ON CONCRETE/WHITE ON ASPHALT EXCEPT WHEN MATCHING ADJACENT OR EXISTING COLOR WHEN THE PAVING IS AN EXPANSION OR SEGMENT OF A LARGER LOT. CONTRACTOR SHALL APPLY THE SECOND COAT NO SOONER THAN 30 DAYS OF APPLYING THE FIRST COAT.

**A3 PAVEMENT MARKINGS & NOTES**  
N.T.S.

**A4 ADA ACCESSIBLE RAMP**  
N.T.S.

DATE	REMARKS
06.03.22	Issued for Permit
07.19.22	City Comments

CONTRACT DATE: 05.04.22  
BUILDING TYPE: END. 80FT  
PLAN VERSION: MARCH 2021  
BRAND DESIGNER: DICKSON  
SITE NUMBER: 315647  
STORE NUMBER: 458047  
PAP/M: SM  
DRAWN BY.: EA  
JOB NO.: 2021088.54

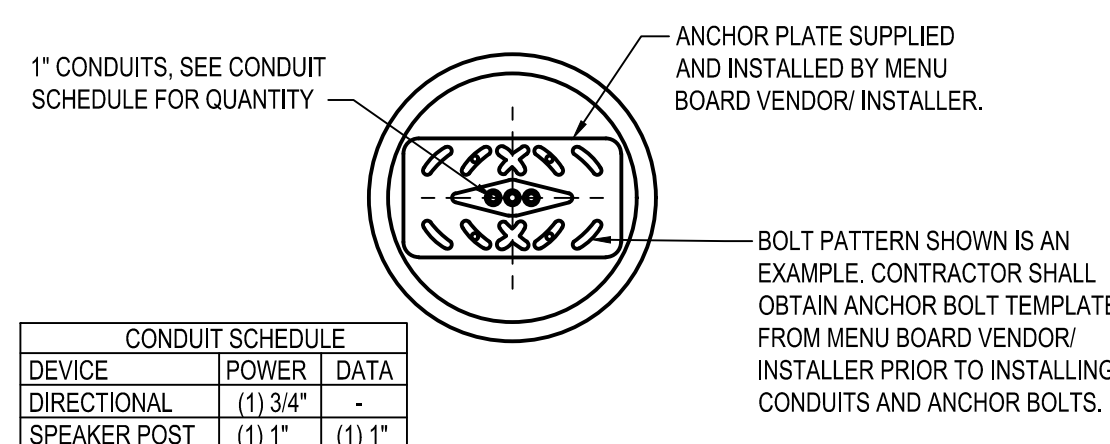
**TACO BELL**  
2005 East Dixon Blvd.  
Shelby, NC 28152



ENDEAVOR 2.0  
DETAILS

**C-502**

PLOT DATE:

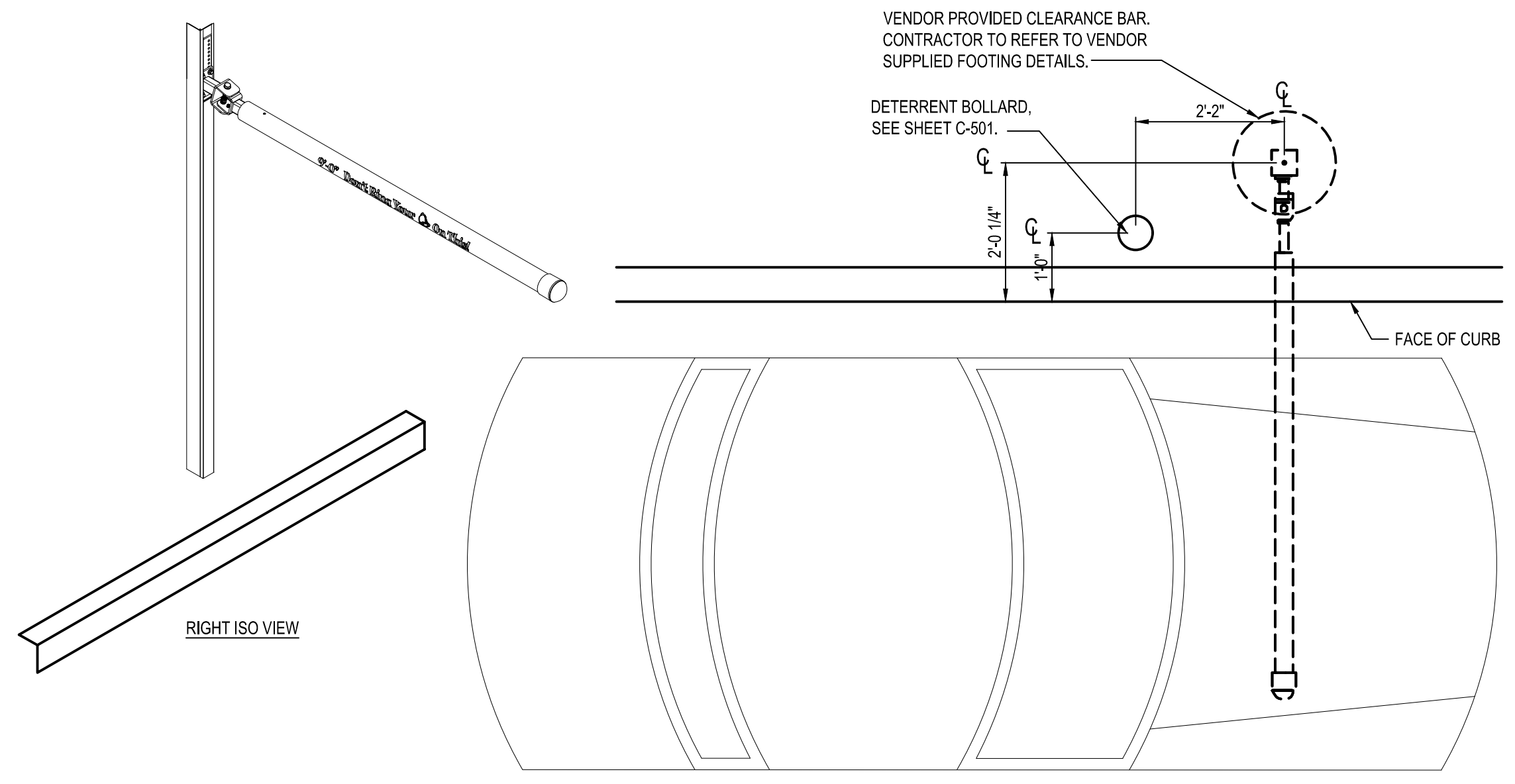


CONDUIT SCHEDULE		
DEVICE	POWER	DATA
DIRECTIONAL	(1) 3/4"	-
SPEAKER POST	(1) 1"	(1) 1"
MENU BOARD	(1) 1"	(2) 1"
PREVIEW BOARD (OPTIONAL)	(1) 1"	(2) 1"

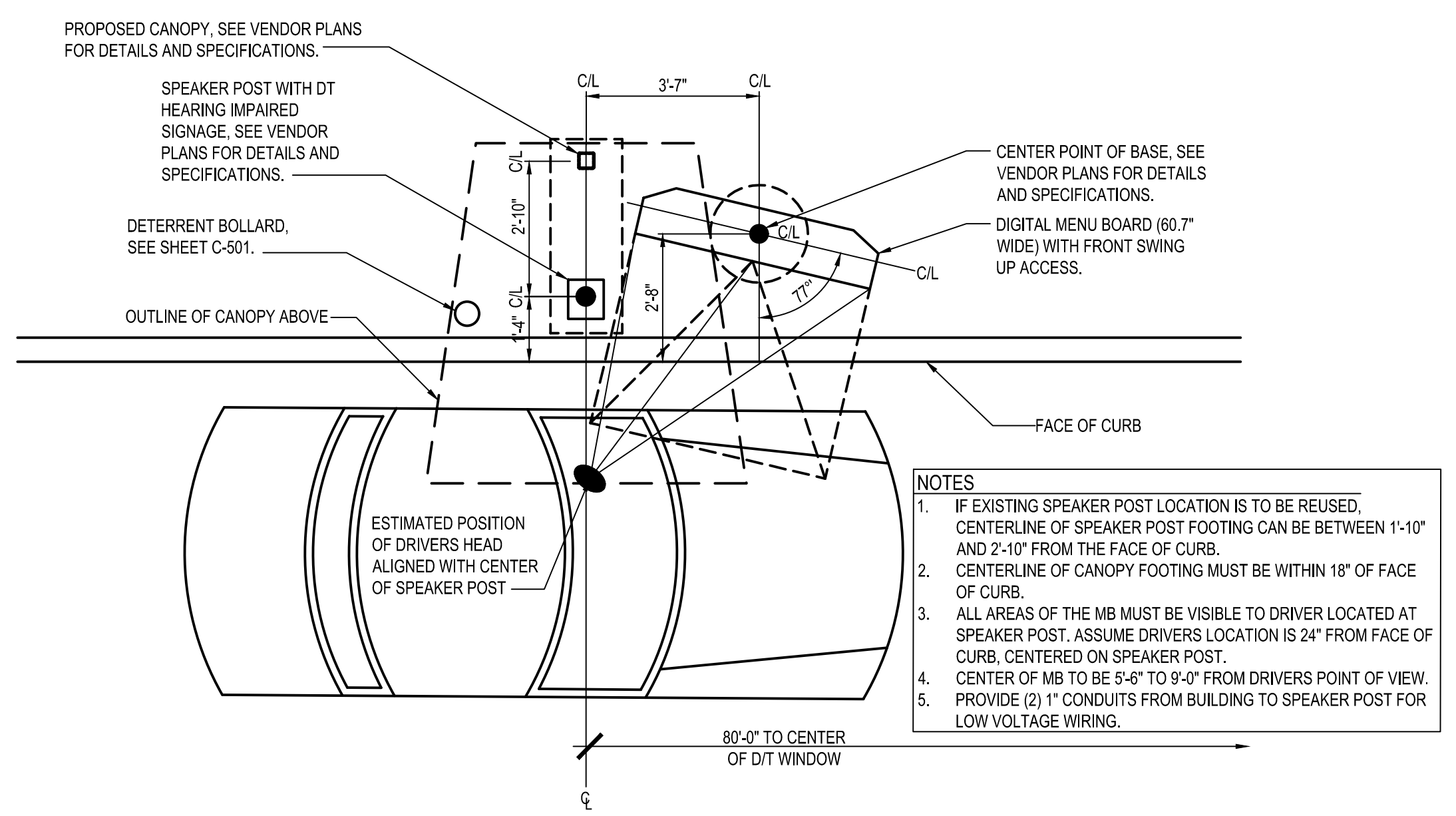
NOTE:  
ALL CONDUIT TO BE MIN. 12" BELOW GRADE OR LOCAL FROST DEPTH AND PROJECT 3" ABOVE FOUNDATION.



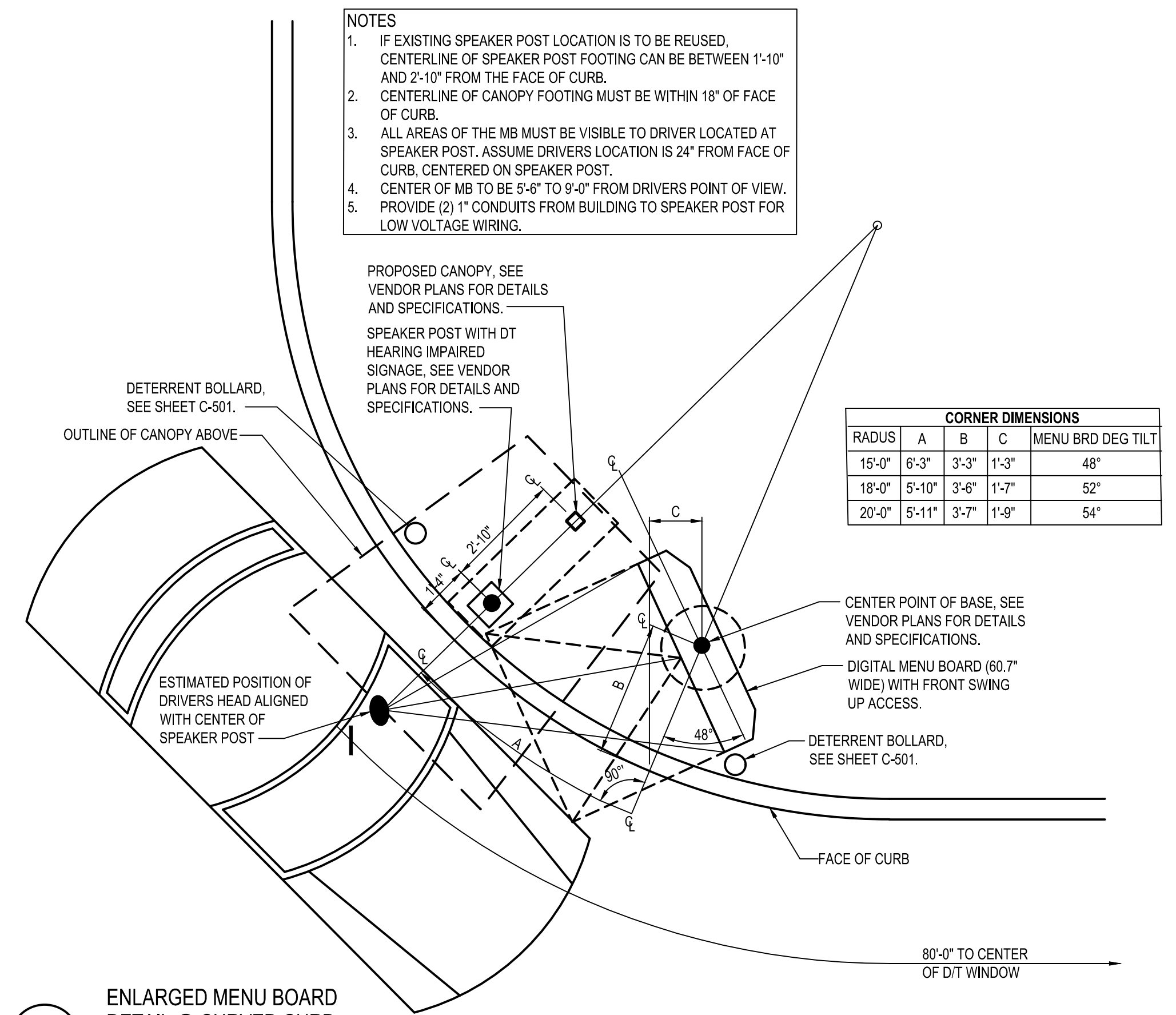
**B2** FOUNDATION CONDUIT DETAIL  
N.T.S.



**B3** PORTAL PLACEMENT DETAIL  
N.T.S.



**A2** ENLARGED MENU BOARD DETAIL @ STRAIGHT CURB  
N.T.S.



**A3** ENLARGED MENU BOARD DETAIL @ CURVED CURB  
N.T.S.

CORNER DIMENSIONS				
RADIUS	A	B	C	MENU BRD DEG TILT
15'-0"	6'-3"	3'-3"	1'-3"	48°
18'-0"	5'-10"	3'-6"	1'-7"	52°
20'-0"	5'-11"	3'-7"	1'-9"	54°

DATE	REMARKS
1 06.03.22	Issued for Permit
2 07.19.22	City Comments

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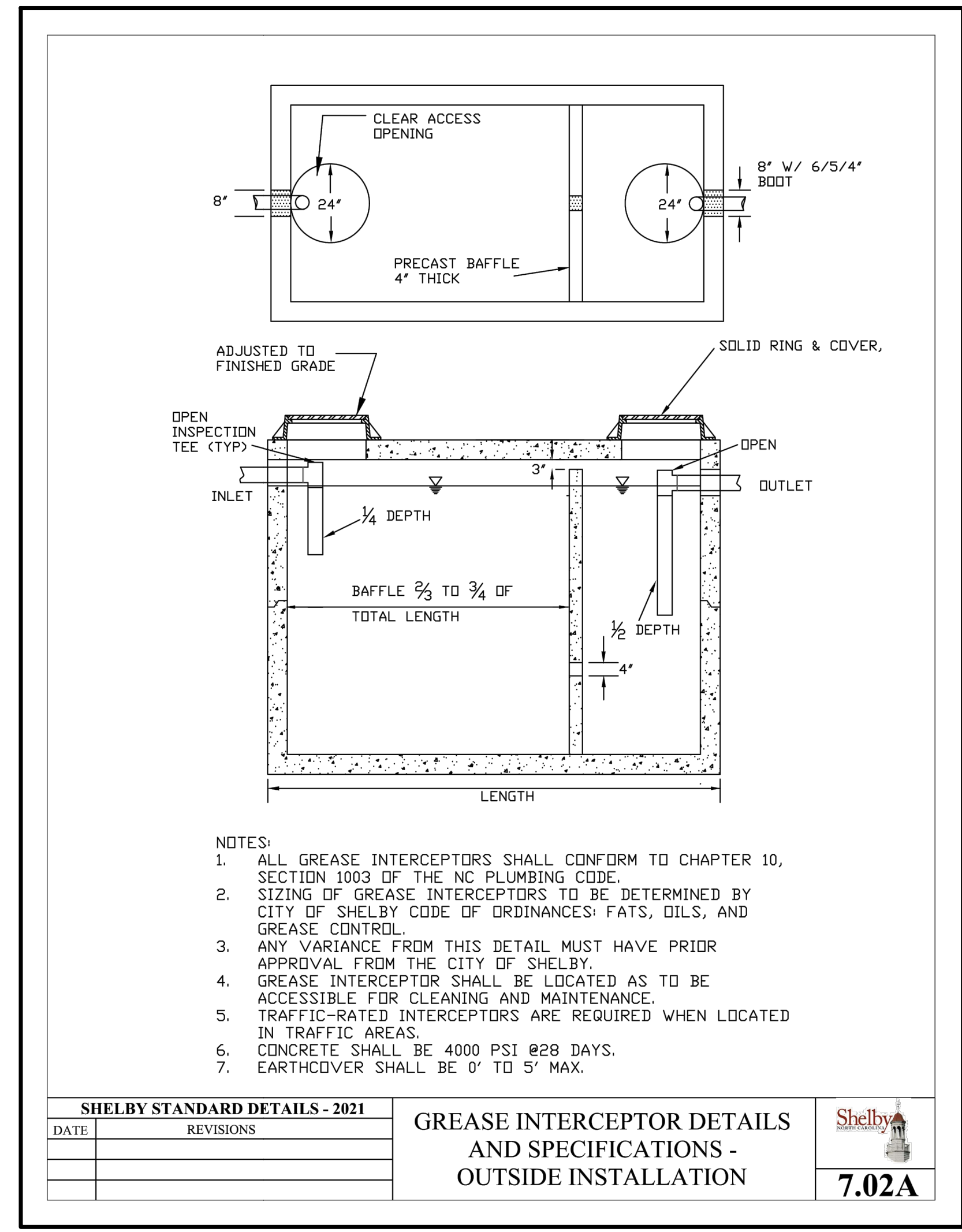
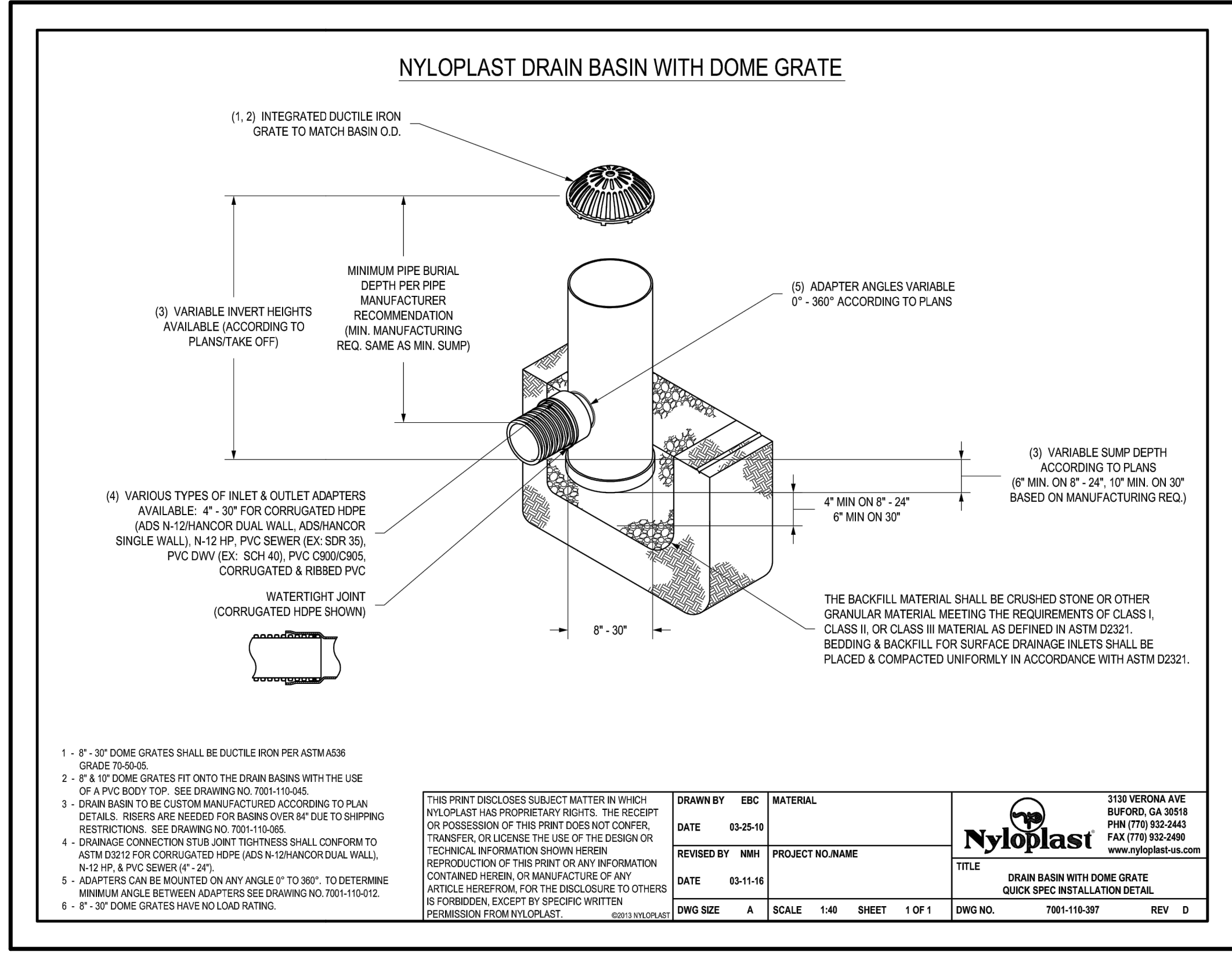
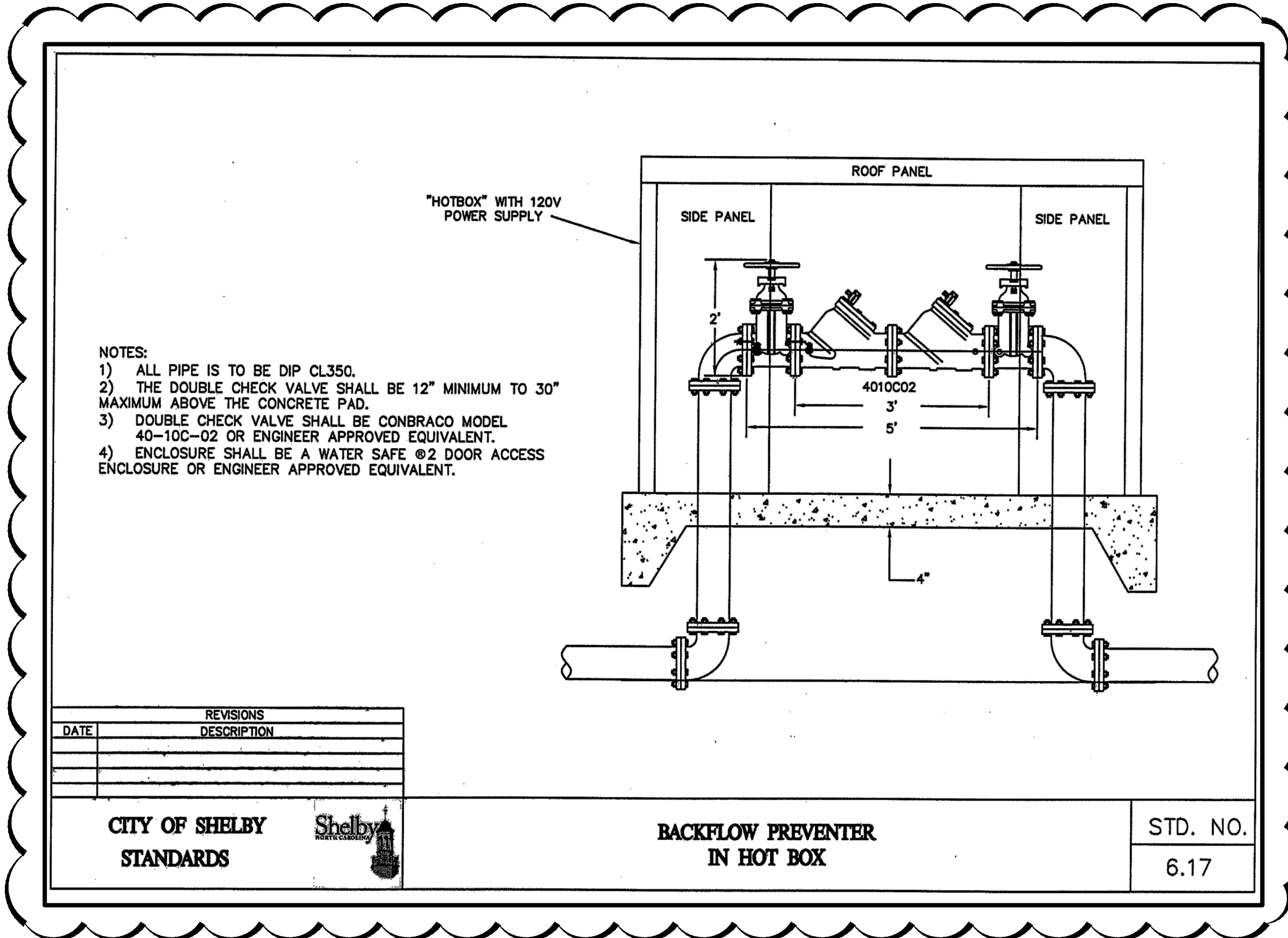
DETAILS

**C-503**

PLOT DATE:

This document has not been reviewed by the stamping party. Therefore, the stamping party makes no representation(s) with respect to its contents, and shall not be liable for such. Any reliance on this stamp shall be at the relying party(ies)'s own risk and hereby waives any and all claim(s) related to the existence of the stamp or otherwise.

2



FOR REFERENCE ONLY

DATE	REMARKS
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2 07.19.22	City Comments

CONTRACT DATE: 05.04.22  
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PLAN VERSION: MARCH 2021  
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PA/PM: SM  
DRAWN BY.: EA  
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**TACO BELL**  
2005 East Dixon Blvd.  
Shelby, NC 28152



ENDEAVOR 2.0  
CITY OF SHELBY  
DETAILS

**C-504**

PLOT DATE:

## SCOPE OF WORK

1. THIS WORK SHALL CONSIST OF PERFORMING CLEARING AND GRUBBING, SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
2. QUANTITY TAKEOFF IS SUPPLIED FOR CONTRACTOR'S ASSISTANCE ONLY. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL PLANT MATERIALS AS PER PLAN.
3. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR WITHIN EASEMENT OR RIGHT-OF-WAY LIMITS.

## PRESERVATION/PROTECTION (IF APPLICABLE)

1. CONTRACTOR SHALL MAINTAIN AND PRESERVE TREES AND SHRUBS NOT BEING REMOVED, INCLUDING THEIR ROOTS. TREE PROTECTION FENCING SHALL BE USED AT THE DRIP LINE OF ALL TREES AND SHRUBS WITHIN 50 FEET OF CONSTRUCTION EXCEPT AS SHOWN ON PLAN. FENCING SHALL REMAIN IN PLACE UNTIL FINAL PLANT INSPECTION FOLLOWING CONSTRUCTION. MATERIALS SHALL NOT BE STOCKPILED WITHIN THIS DEFINED AREA AND VEHICLES AND OTHER EQUIPMENT SHALL BE OPERATED TO AVOID SOIL COMPACTION.
2. FEEDER ROOTS SHOULD NOT BE CUT IN AN AREA EQUAL TO TWICE THE TREE CIRCUMFERENCE (MEASURED 6" ABOVE THE GROUND LINE IN INCHES) EXPRESSED IN FEET. (EXAMPLE: A CIRCUMFERENCE OF 10" WOULD HAVE A NO CUT ZONE OF 20 FEET IN ALL DIRECTIONS FROM THE TREE). THIS SHOULD APPLY TO UTILITY SERVICES, IF FEASIBLE. THE ONLY EXCEPTION TO THIS REQUIREMENT WILL BE THOSE SPECIFICALLY ALLOWED BY THE LANDSCAPE ARCHITECT, SPECIFICATIONS OR AS INDICATION ON THE PLANS.
3. TREE TRUNKS AND EXPOSED ROOTS DAMAGED DURING EQUIPMENT OPERATIONS SHALL BE TREATED IN ACCORDANCE WITH THE ARBOR CULTURAL STANDARDS OF THE CITY.

## PLANT MATERIALS

1. GENERAL - ALL MATERIALS SHALL BE OF ITS KIND AVAILABLE AND SHALL HAVE BEEN GROWN IN A CLIMATE SIMILAR TO THAT ON SITE.
2. PLANTS - ALL PLANTS SHALL BE HEALTHY, OF NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS. QUALITY AND SIZE OF PLANT MATERIAL SHALL CONFORM TO ANSI Z60.1 "AMERICAN STANDARDS FOR NURSERY STOCK".
3. VARIETIES AND SIZES OF PLANTS SHALL BE AS SHOWN ON DRAWINGS.
4. PLANTS SHALL BE IN A HEALTHY, VIGOROUS CONDITION, FREE OF DEAD OR BROKEN BRANCHES, SCARS THAT ARE NOT COMPLETELY HEALED, FROST CRACKS, DISFIGURING KNOTS, BROKEN OR ABRADED BARK, REDUNDANT LEADERS OR BRANCHES, OR ABERRATIONS OF ANY KIND. PLANTS SHALL NOT HAVE MULTIPLE LEADERS, UNLESS THIS IS THE NATURAL FORM.
5. BALLED AND BURLAPPED (B&B) PLANTS SHALL BE DUG WITH A FIRM ROOT BALL OF NATURAL EARTH, OF A SIZE IN PROPORTION TO THE PLANT'S SIZE, AS MEASURED BY CALIPER, HEIGHT, OR SPREAD. BALLED AND BURLAPPED PLANTS SHALL BE HANDLED ONLY BY THE ROOT BALL, NOT BY THE TRUNK OR BRANCHES, AS THIS MAY BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM. CONTAINER PLANTS SHALL HAVE BEEN ESTABLISHED FOR A MINIMUM OF ONE FULL GROWING SEASON IN THEIR CONTAINERS BEFORE INSTALLATION. CONTAINER PLANTS SHALL BE HANDLED ONLY BY THE CONTAINER, NOT BY THE STEMS OR BRANCHES, AS THIS MAY PULL THE PLANT OUT OF THE CONTAINER AND BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM.
6. PLANTS SHALL BE PROTECTED FROM DRYING OUT DURING SHIPPING WITH TARPULINS OR OTHER COVERINGS. PLANTS SHALL BE PROTECTED FROM DRYING OUT AFTER DELIVERY BY PLANTING IMMEDIATELY; IF THIS IS NOT POSSIBLE, THE ROOT BALL SHALL BE COVERED WITH PEAT MOSS OR EARTH, AND WATERED FREQUENTLY TO KEEP IT MOIST UNTIL PLANTING.
7. DO NOT HANDLE, MOVE, BIND, TIE OR OTHERWISE TREAT PLANTS SO AS TO DAMAGE THE ROOT BALL, ROOTS, TRUNK, OR BRANCHES IN ANY WAY.

## TOPSOIL

1. TOPSOIL HAS BEEN (OR WILL BE) STOCKPILED FOR REUSE IN LANDSCAPE WORK. IF QUANTITY OF STOCKPILED TOPSOIL IS INSUFFICIENT, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED TO COMPLETE LANDSCAPE WORK. IMPORTED TOPSOIL SHALL CONSIST OF LOOSE, FRIABLE, LOAMY TOPSOIL WITHOUT ADMIXTURE OF SUBSOIL OR REFUSE. ACCEPTABLE TOPSOIL SHALL CONTAIN NOT LESS THAN 3 PERCENT NOR MORE THAN 20 PERCENT ORGANIC MATTER.
2. PLANTING BACKFILL FOR PARKING LOT ISLANDS SHALL CONSIST OF A HOMOGENEOUS MIXTURE OF 3 PARTS TOPSOIL TO ONE PART SPHAGNUM PEAT INSTALLED OVER A 6" THICKNESS OF NO. 57 AGGREGATE.

## SOIL CONDITIONING

1. OBTAIN LABORATORY ANALYSIS OF STOCKPILED AND IMPORTED TOPSOIL COMPLETE WITH RECOMMENDATIONS FOR SOIL AMENDMENT.
2. BEFORE MIXING, CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEIOUS MATERIALS HARMFUL OR TOXIC TO PLANT GROWTH.
3. MIX SPECIFIED SOIL AMENDMENTS AND FERTILIZERS WITH TOPSOIL AT RATES SPECIFIED BY THE LAB REPORT. DELAY MIXING OF FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
4. FOR PLANTING BEDS AND LAWNS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING. MIX LIME WITH DRY SOIL PRIOR TO MIXING OF FERTILIZER.
5. PREVENT LIME FROM CONTACTING ROOTS OF ACID-LOVING PLANTS.
6. APPLY PHOSPHORIC ACID FERTILIZER (OTHER THAN THAT CONSTITUTING A PORTION OF COMPLETE FERTILIZERS) DIRECTLY TO SUBGRADE BEFORE APPLYING PLANTING SOIL AND TILLING.

## PLANTING SOIL

1. PLANTING SOIL MIX SHALL BE CLEAR OF ALL STONES AND DEBRIS 1" OR LARGER, AND CONSIST OF THE FOLLOWING: 25% ORGANIC COMPOST, 75% ACCEPTABLE TOPSOIL.

## OTHER MATERIALS

1. BED EDGING - EDGING SHALL BE 4" STEEL EDGING WITH THREE (3) METAL ANCHOR STAKES PER 20 FOOT SECTION. ALL MASS PLANTING BEDS SHALL HAVE EDGING PLACED BETWEEN MULCH AREA AND ANY ADJACENT TURF AREA.
2. MULCH- ORGANIC MULCH FREE FROM DELETERIOUS MATERIALS AND SUITABLE FOR TOP DRESSING OF TREES, SHRUBS, OR PLANTS AND CONSISTING OF THE FOLLOWING:
  - a. GRAVEL MULCH AREA: RED GRANITE. SHALL BE INSTALLED WITHIN SPECIFIED GRAVEL MULCH AREAS PER THE PLAN. RED GRANITE MULCH SHALL BE INSTALLED AT 3" INCHES DEPTH.
  - b. NON-DRYED, DOUBLE SHREDDED HARDWOOD SHALL BE INSTALLED IN ALL OTHER LANDSCAPE BEDS OUTSIDE OF THE RIVER ROCK MULCH AREA AT A DEPTH OF 3 INCHES.
3. WEED BARRIER - POLYETHYLENE FILTER FABRIC DESIGNED TO PERMIT WATER INFILTRATION WHILE PREVENTING WEED GROWTH-TO BE INSTALLED IN ALL PLANTING BEDS.

## GENERAL WORK PROCEDURES

1. LANDSCAPE WORK SHALL BE ACCORDING TO THE WORKMANLIKE STANDARDS ESTABLISHED FOR LANDSCAPE CONSTRUCTION AND PLANTING IN THE NORTH CAROLINA STANDARDIZED LANDSCAPE SPECIFICATIONS (ASLA) AND ANY LOCAL LANDSCAPE ORDINANCES.
2. CONTRACTOR SHALL OBTAIN A COPY OF LOCAL ORDINANCES REGARDING ACCEPTABLE PLANT AND PLANTING DETAILS AND ABIDE BY THOSE ORDINANCES AND DETAILS.
3. ENGINEER RESERVES THE RIGHT TO REJECT ALL PLANT MATERIAL DEEMED NOT ACCEPTABLE.
4. ANY PROPOSED PLANT SUBSTITUTIONS SHALL BE EQUIVALENT IN FORM, HABIT, STRUCTURE, BRANCHING AND LEAF TYPE AND MUST BE ISSUED TO THE LANDSCAPE ARCHITECT FOR APPROVAL, IN WRITING, PRIOR TO INSTALLATION.

## WEEDING

1. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.

## PLANTING

1. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE OWNER BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
2. PLANTING PITS SHALL BE AS PER DETAILS.
3. PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLANT. COMPLETE BACKFILLING AND WATER THOROUGHLY.
4. PREPARE RAISED EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH PLANT.
5. WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
6. INSTALL BED EDGING AND MULCH.
7. REMOVE ALL SALES TAGS, STRINGS, STRAPS, WIRE, ROPE OR OTHER MATERIALS THAT MAY INHIBIT PLANT GROWTH BOTH ABOVE AND BELOW THE SURFACE OF THE SOIL.
8. REMOVE ANY BROKEN, SUCKERING, DISEASED, CRISSCROSSED OR AESTHETICALLY DISPLEASING BRANCHES BACK TO LIVE LEADER OR SIDE LATERAL WITH A FLUSH CUT.
9. MULCH TREES AND SHRUBS AND OTHER AREAS NOTED ON THE PLANTING PLAN WITH A 3" LAYER OF MULCH AS SPECIFIED IN NOTE 2 OF "OTHER MATERIALS".

## FINISH GRADING

1. ALL AREAS WILL BE GRADED BY THE CONTRACTOR TO SUBSTANTIALLY PLUS/MINUS 0.1 FOOT OF FINISH GRADE.
2. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN, UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.
3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
4. PARKING LOT ISLAND SHALL BE BACKFILLED AS PART OF THIS CONTRACT.

## GROUND COVER

1. SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.
2. MULCH GROUND COVER WITH 2" THICKNESS OF SPHAGNUM PEAT.
3. IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.
4. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.

## GUARANTEE

1. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF PROJECT ACCEPTANCE BY THE OWNER.

## LANDSCAPE NOTES & PLANTING SPECIFICATIONS

### CLEANUP

1. UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. AN 'ACCEPTABLE CONDITION' SHALL BE AS DEFINED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

### MAINTENANCE

(MAINTENANCE PERIOD TO COMMENCE AFTER FINAL INSPECTION.)

1. MAINTENANCE PERIOD FOR THIS CONTRACT SHALL BE 90 CALENDAR DAYS COMMENCING AFTER FINAL INSPECTION OF CONSTRUCTION.
2. MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED.
3. MAINTAIN LAWNS BY WATERING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
4. MAINTAIN THE LANDSCAPING BY KEEPING ALL PLANTS DISEASE-FREE AND PLANTING BEDS GROOMED, EXCEPT IN NATURALLY OCCURRING VEGETATION AREAS.
5. REPLACE ANY REQUIRED PLANTING(S), WHICH SEVERELY DECLINE OR DIE AFTER THE DATE OF PLANTING. SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT APPROPRIATE PLANTING SEASON.

### SEEDING

1. GRASS SEED SHALL BE FRESH, CLEAN, DRY, NEW-CROP SEED COMPLYING WITH THE ASSOCIATION OF OFFICIAL SEED ANALYSTS "RULES FOR TESTING SEEDS" FOR PURITY AND GERMINATION TOLERANCES.
2. ALL AREAS TO BE SEEDED SHALL RECEIVE NO LESS THAN FIVE POUNDS OF SEED PER ONE THOUSAND SQUARE FEET. APPLY SEED AND PROTECT WITH STRAW MULCH AS REQUIRED FOR NEW LAWNS. GRASS SEED MIX SHALL CONSIST OF THE FOLLOWING:

PROPORTION	NAME	MIN.% GERM.	MIN.% PURE SEED	MAX.% WEED SEED
30%	KENTUCKY BLUEGRASS (POA PRATENSIS)	80	85	0.50
30%	CREeping RED FESCUE (FESTUCA RUBRA)	85	98	0.50
20%	PERENNIAL RYE GRASS (LOLIUM PERENNE)	90	98	0.50
20%	ANNUAL RYEGRASS (LOLIUM MULTIFLORUM)	85	92	1.00

### SODDING

1. SOD SHALL BE FIRST GRADE CERTIFIED KY 31 TALL FESCUE BLEND CONTAINING NOT MORE THAN 30 PERCENT OF OTHER GRASSES AND CLOVERS, AND FREE FROM ALL NOXIOUS WEEDS. SOD SHALL BE RECENTLY MOWED TO A HEIGHT OF NOT LESS THAN 3 INCHES. IT SHALL BE CUT INTO STRIPS OF NOT LESS THAN 3 FEET AND NOT OVER 6 FT. WITH A UNIFORM WIDTH OF NOT OVER 24 INCHES.
2. THE SOD SHALL BE CUT TO A DEPTH EQUAL TO THE GROWTH OF THE FIBROUS ROOTS BUT IN NO CASE LESS THAN 1 INCH. SOD SHALL BE DELIVERED TO THE JOB WITHIN 24 HOURS AFTER BEING CUT AND SHALL BE INSTALLED WITHIN 48 HOURS AFTER BEING CUT.
3. BEFORE SOD IS PLACED, THE SOD BED WILL HAVE BEEN EXCAVATED TO SUCH A DEPTH THAT WHEN THE SOD IS IN PLACE THE TOP OF THE SOD WILL BE FLUSH WITH THE SURROUNDING GRADE. NO SOD SHALL BE PLACED WHEN THE TEMPERATURE IS BELOW 32 DEGREES F. NO FROZEN SOD SHALL BE PLACED NOR SHALL ANY SOD BE PLACED ON FROZEN SOIL.
4. WHEN SOD IS PLACED BETWEEN THE DATES OF JUNE 1ST AND OCTOBER 15TH, IT SHALL BE COVERED IMMEDIATELY WITH A STRAW MULCH 1 INCH THICK (LOOSE MEASUREMENT). AFTER LAYING, THE SOD SHALL BE WATERED THOROUGHLY AND TAMPED WITH APPROVED SOD TAMPERS SUFFICIENTLY TO BRING THE SOD INTO CLOSE CONTACT WITH THE SOD BED AND INSURE TIGHT JOINTS BETWEEN THE SECTIONS OR STRIPS.
5. THE CONTRACTOR SHALL KEEP ALL SODDED AREAS INCLUDING SUBGRADE, THOROUGHLY MOIST FOR 30 DAYS AFTER SODDING.
6. THE CONTRACTOR SHALL REPAIR ANY AREAS DAMAGED FOLLOWING INSTALLATION AS DIRECTED BY THE ENGINEER. SOD SHALL BE IN PLACE AT LEAST 30 DAYS BEFORE FINAL ACCEPTANCE.

### PLANTING SCHEDULE

1. ALL PLANTING IS RECOMMENDED TO BE DONE WITHIN THE FOLLOWING DATES. WHEN PLANTING OUTSIDE THESE DATES, WRITTEN DOCUMENTATION SHALL BE PROVIDED THAT SURVIVAL OR REPLACEMENT WILL BE ENSURED. NO PLANTING SHALL BE DONE IN FROZEN SOIL.

NORMAL PLANTING SEASONS	SPRING	FALL
ALL TREES AND SHRUBS	MARCH 15-MAY 15	OCTOBER 1-DECEMBER 1
EVERGREENS	APRIL 1-MAY 15	OCTOBER 1-NOVEMBER 15
GROUNDCOVERS	APRIL 1-JUNE 1	WHEN SOD IS WORKABLE
SEED AND MULCH		SEPTEMBER 1-APRIL 15

### GENERAL NOTE

1. ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE WITHIN THE RIGHT-OF-WAY SHALL BE FINE GRADED TO MAINTAIN POSITIVE DRAINAGE, HAVE A 4" LAYER OF TOPSOIL APPLIED AND BE SEEDED ACCORDING TO SPECIFICATIONS ON THIS SHEET.

### PLANT LIST

Symbol	Botanical Name	Common Name	Quantity	Size	Condition	Remarks
Bx	Buxus microphylla 'Bulthouse'	Sprinter Boxwood	12	24" Ht., No. 5	B&B	3' o/c
Cc	Caryopteris x cladonensis 'MiniBleu'	Petit Bleu Bluebeard	29	No. 3	Cont.	2.5' o/c
Dg	Deutzia gracilis 'Duncan'	Chardonnay Pearls Deutzia	39	24" Ht., No. 5	Cont.	3' o/c
Fg	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	15	No. 1	Cont.	2' o/c
Hb	Hemerocallis 'Going Bananas'	Going Bananas Daylily	27	No. 1	Cont.	2' o/c
La	Lavandula angustifolia 'Arm Tipp01'	Big Time Blue English Lavender	23	No. 2	Cont.	2' o/c
Pi	Prunus laurocerasus 'Schipkaensis'	Schipka Laurel	21	36" Ht.	B&B	4' o/c
Yf	Yucca filamentosa 'Color Guard'	Colorguard Yucca	5	No. 5	Cont.	Per Plan



GPD Engineering and Architecture  
Professional Corporation - C3879

520 South Main Street, Suite 2531  
Akron, OH 44311  
330.572.2100 Fax 330.572.2101

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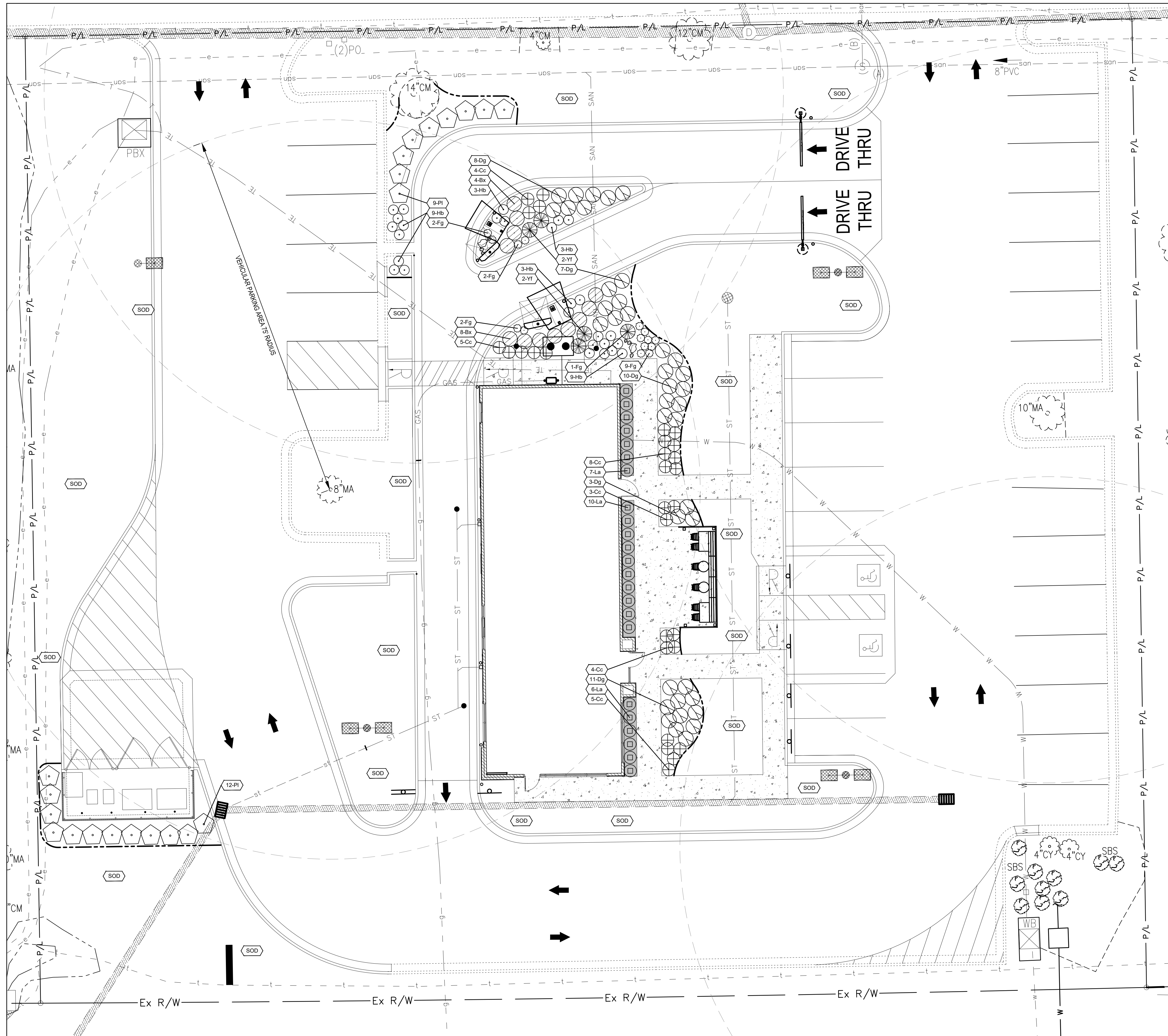


ENDEAVOR 2.0

LANDSCAPE  
NOTES

L-001

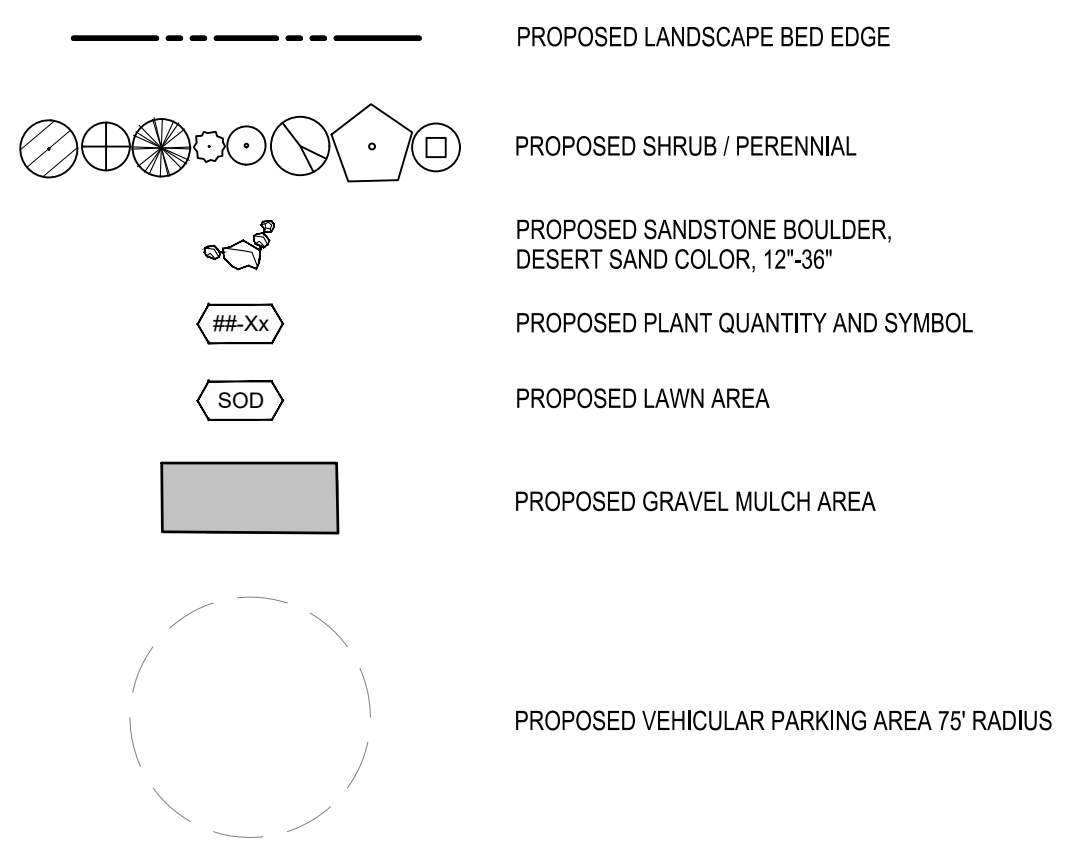
PLLOT DATE:



**LANDSCAPE NOTES**

1. SEE SHEET L-101 FOR PLANT SCHEDULE.
2. MULCH PER LANDSCAPE SPECIFICATIONS.
3. ALL DISTURBED AREAS NOT TO BE PAVED OR MULCHED SHALL BE SODDED PER SPECIFICATIONS.
4. ALL DISTURBED AREAS WITHIN THE R.O.W. NOT TO BE PAVED, SHALL BE SEEDED PER THE SPECIFICATIONS.

**LANDSCAPE LEGEND**



**LANDSCAPE REQUIREMENTS**

- STREET YARD**  
 REQUIRED: ONE LARGE MATURING TREE FOR EVERY 50 LF  
 $141 \text{ LF} / 50 = 2.8, 3 \text{ TREES}$
- EXISTING:  
 (1) 12" TREE  
 (1) 4" TREE  
 (1) 14" TREE  
 TOTAL: 6 TREES
- VEHICULAR PARKING AREAS**  
 REQUIRED: ONE LARGE MATURING TREE FOR EACH 2,000 SF OF VEHICULAR USE AREA (VUA)  
 $13,010 \text{ SF OF VUA} / 2,000 = 6.5, 7 \text{ TREES}$
- EXISTING:  
 (1) 8" TREE  
 (1) 10" TREE  
 (2) 4" TREES  
 TOTAL: 9 TREES

DATE	REMARKS
1 06.03.22	Issued for Permit
2 07.19.22	City Comments

CONTRACT DATE: 05.04.22  
 BUILDING TYPE: END. 80FT  
 PLAN VERSION: MARCH 2021  
 BRAND DESIGNER: DICKSON  
 SITE NUMBER: 315647  
 STORE NUMBER: 458047  
 PAV/PM: SM  
 DRAWN BY.: JRA  
 JOB NO.: 2021088.54

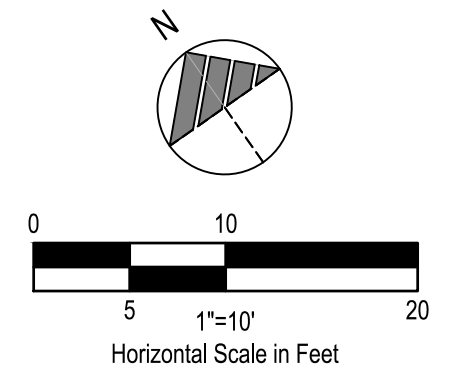
**TACO BELL**  
 2005 East Dixon Blvd.  
 Shelby, NC 28152



ENDEAVOR 2.0  
 LANDSCAPE  
 PLAN

**L-101**

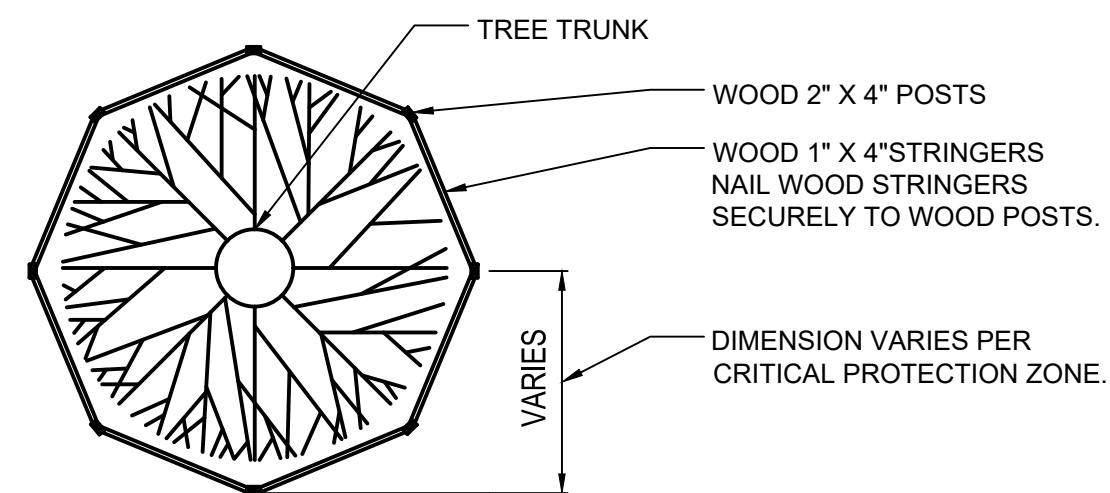
PLOT DATE:





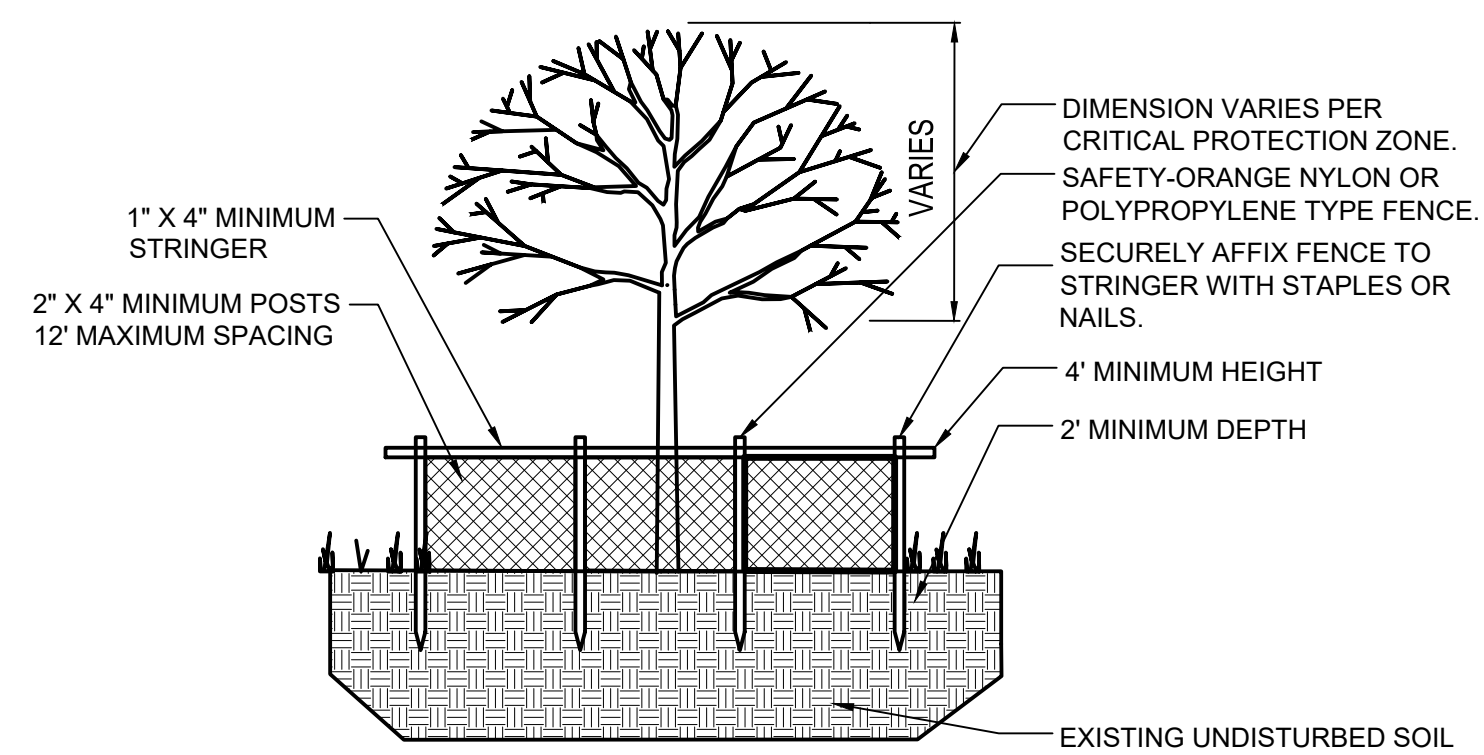
GPD Engineering and Architecture  
Professional Corporation - C3879

520 South Main Street, Suite 2531  
Akron, OH 44311  
330.572.2100 Fax 330.572.2101

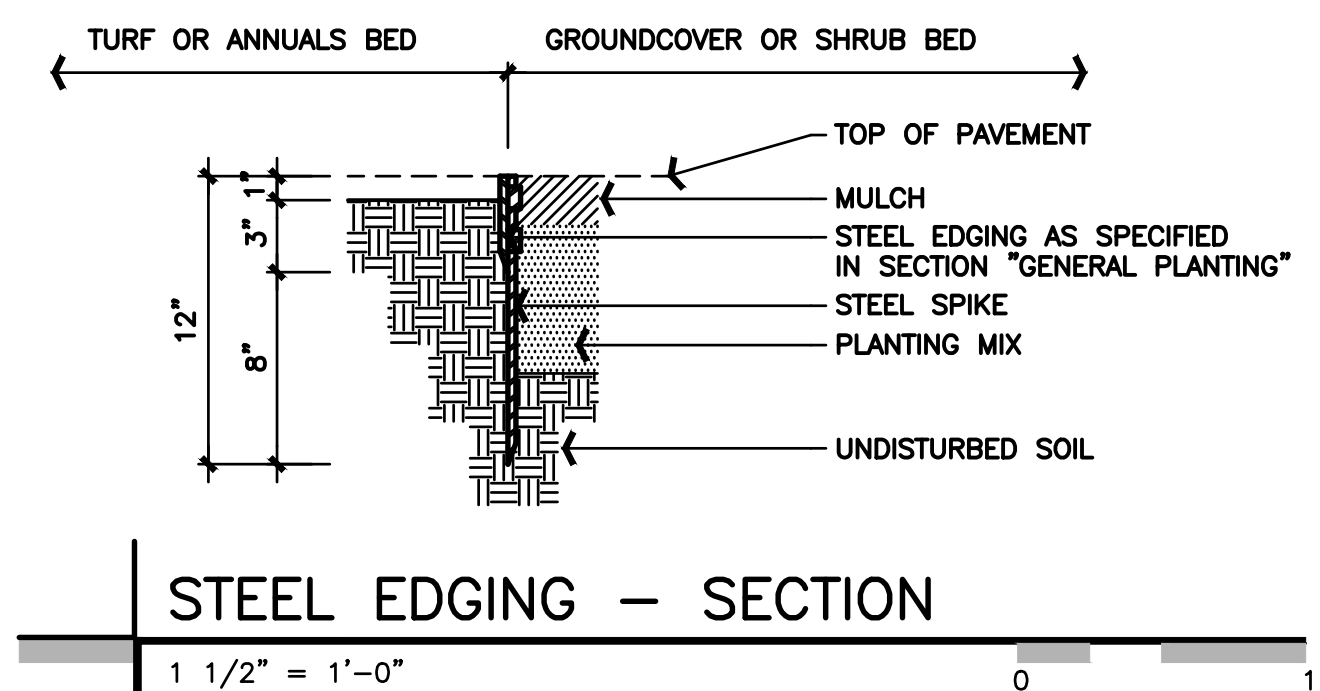


NOTE: FOR GROUPS OF TREES PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY.

\*TREE PROTECTION BARRICADES SHALL BE LOCATED TO PROTECT A MINIMUM OF 75% OF THE CRITICAL PROTECTION ZONE.

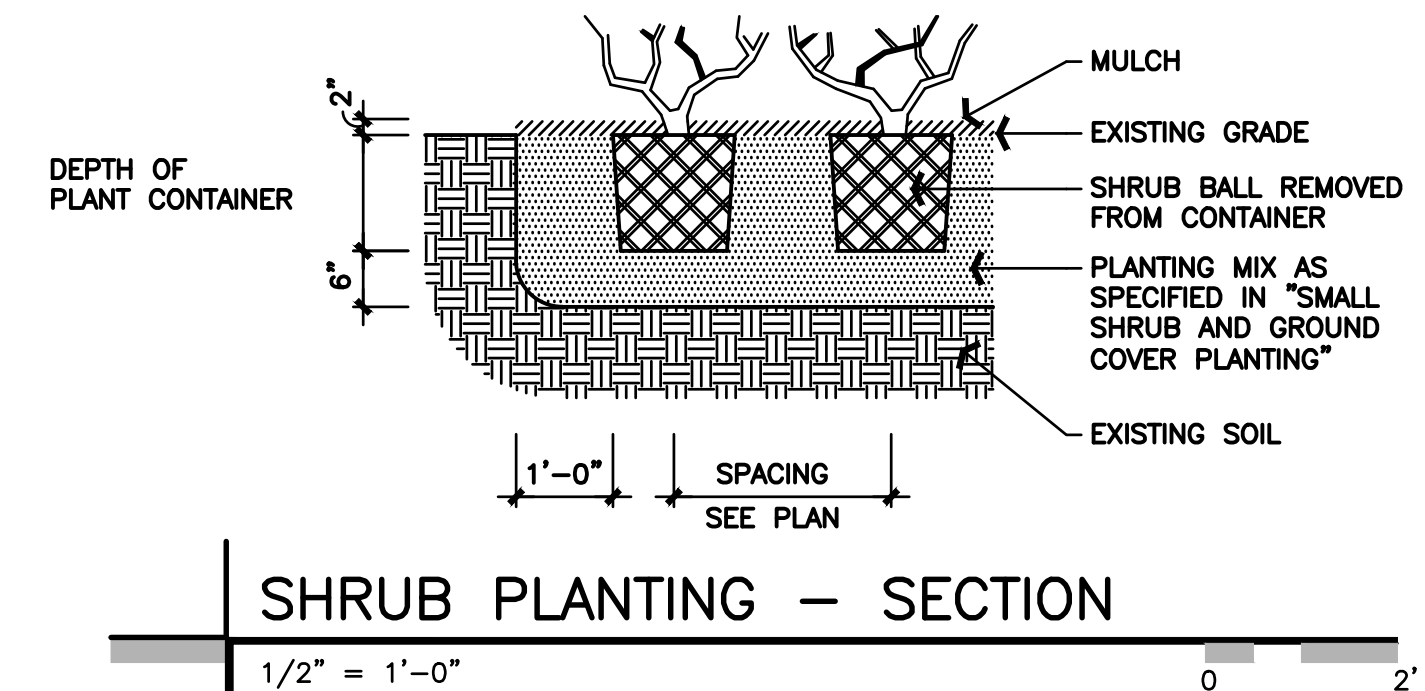


1 TREE PROTECTION DETAIL  
N.T.S.



STEEL EDGING - SECTION

1 1/2" = 1'-0"



SHRUB PLANTING - SECTION

1/2" = 1'-0"

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TACO BELL

2005 East Dixon Blvd.  
Shelby, NC 28152



ENDEAVOR 2.0

LANDSCAPE  
DETAILS

L-501

PLOT DATE: