

LOCUS MAP
NOT TO SCALE

SITE DEVELOPMENT PLANS FOR 525 HOOKSETT ROAD

MAP 916, LOT 41A
MANCHESTER, NH 03103

OWNER/APPLICANT:
LINEAR REALTY PROPERTIES
5 BURLINGTON WOODS DRIVE, SUITE 107
BURLINGTON, MA 01803

ARCHITECT(S):

TACO BELL:
KATHLEEN DAY
8535 FERRY ROAD
WAYNESVILLE, OH 45068
PHONE: (617) 331-2545

AROMA JOE'S:
ROLLOUT CONNECTION
7221 W. PARKLAND COURT
MILWAUKEE, WI 53223
PHONE: (262) 361-4857

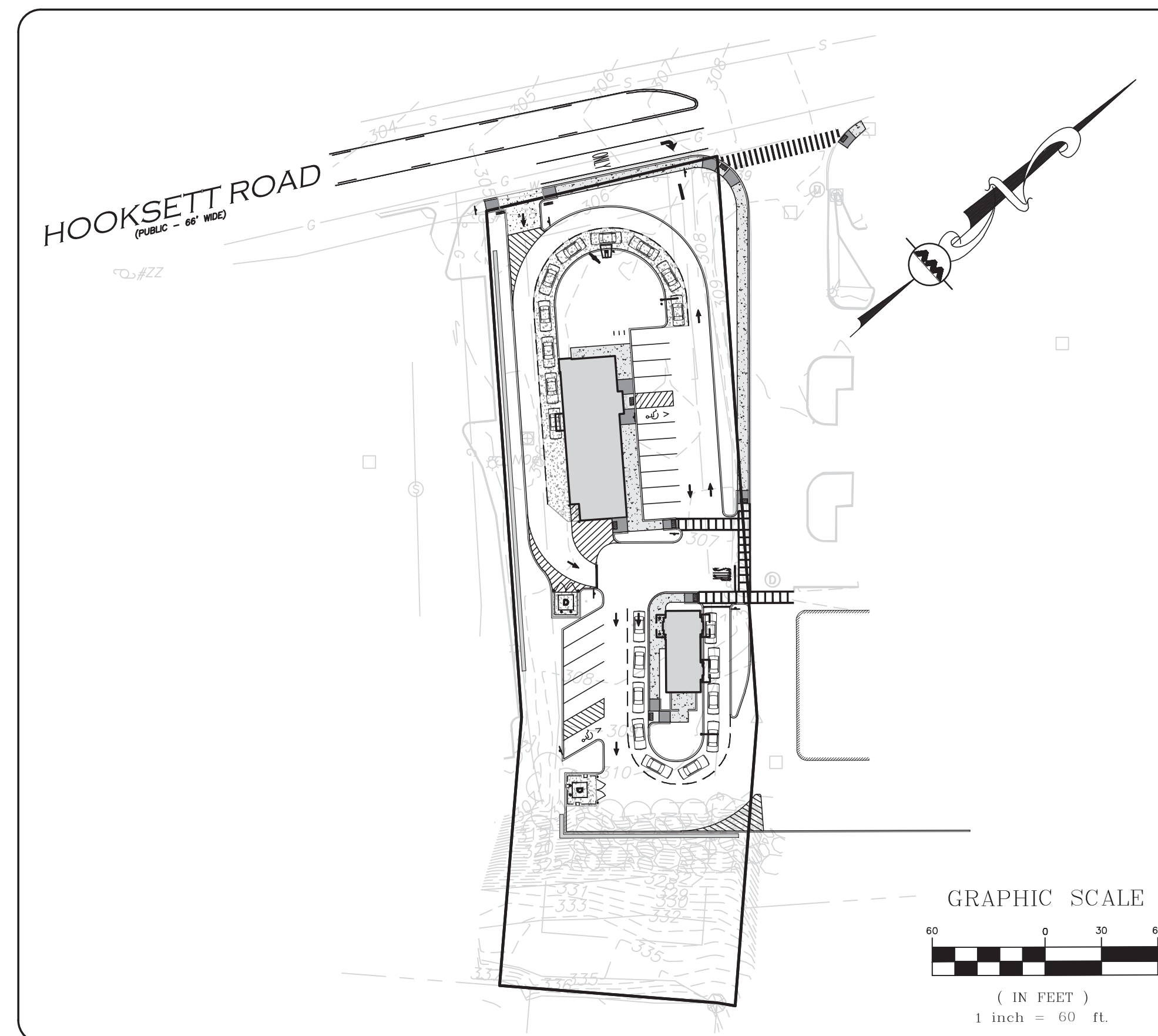
CIVIL ENGINEER / LANDSCAPE ARCHITECT / SURVEYOR:
ALLEN & MAJOR ASSOCIATES, INC.
400 HARVEY ROAD
MANCHESTER, NH 03103
PHONE: (603) 627-5500

TRAFFIC ENGINEER:
VANASSE & ASSOCIATES, INC.
35 NEW ENGLAND BUSINESS CENTER DRIVE, SUITE 140
ANDOVER, MA 01810
PHONE: (978) 474-8800

IT IS HEREBY AGREED THAT, AS THE OWNER/DEVELOPER OF THE PROPERTY, I WILL CONSTRUCT THE PROJECT AS APPROVED AND AS SHOWN ON THE ENCLOSED SET OF PLANS. FURTHER, I AGREE TO MAINTAIN THE SITE IMPROVEMENTS FOR THE DURATION OF THE USE IN ACCORDANCE WITH THE LONG-TERM MAINTENANCE AGREEMENT.

LINEAR RETAIL PROPERTIES REPRESENTATIVE

DATE



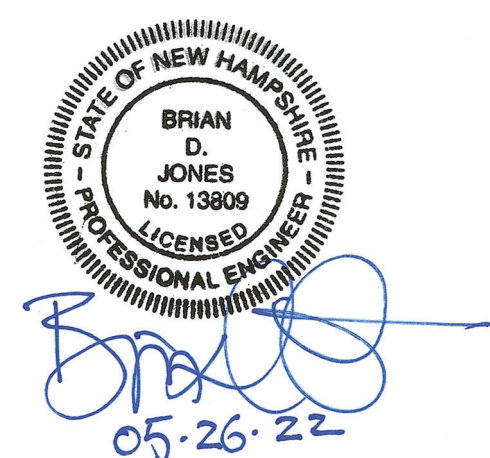
LIST OF DRAWINGS					
DRAWING TITLE	SHEET NO.	ISSUED	REVISION 1	REVISION 2	REVISION 3
EXISTING CONDITIONS	V-101	03-15-22	05-04-22	05-26-22	-
EROSION CONTROL PLAN	C-101	03-15-22	04-06-22	05-26-22	-
LAYOUT & MATERIALS PLAN	C-102	03-15-22	04-06-22	04-12-22	05-26-22
GRADING & DRAINAGE PLAN	C-103	03-15-22	04-06-22	05-26-22	-
UTILITIES PLAN	C-104	03-15-22	04-06-22	05-26-22	-
LIGHTING PLAN	C-105	03-15-22	04-06-22	-	-
TRUCK TURNING PLAN	C-106	03-15-22	04-06-22	-	-
DETAILS	C-501	03-15-22	-	-	-
DETAILS	C-502	03-15-22	05-26-22	-	-
DETAILS	C-503	03-15-22	05-26-22	-	-
DETAILS	C-504	03-15-22	05-26-22	-	-
DETAILS	C-505	03-15-22	05-26-22	-	-
LANDSCAPING PLAN	L-101	03-15-22	04-06-22	-	-
LANDSCAPING DETAILS	L-501	03-15-22	-	-	-
TACO BELL ELEVATIONS	ELEV	02-25-22	04-11-22	-	-
TACO BELL FLOOR PLAN	A1.0	02-25-22	-	-	-
AROMA JOE'S ELEVATIONS	ELEV	03-15-22	-	-	-
AROMA JOE'S FLOOR PLAN	A101	03-15-22	04-06-22	-	-

CITY NOTES:

1. PLANNING BOARD APPROVAL OF THIS PLANNED DEVELOPMENT IS LIMITED TO THE REPRESENTATIONS SHOWN WITHIN THIS SET OF DRAWINGS AND DOES NOT ENDORSE ANY SUBSEQUENT PLANS THAT MAY BE PREPARED FOR CONDOMINIUM APPROVAL BY THE STATE. MODIFICATIONS TO THESE PLANS, INCLUDING, BUT NOT LIMITED TO, BUILDING ADDITIONS, ACCESSORY STRUCTURES, AND LIMITED COMMON AREAS ARE SUBJECT TO PLANNING BOARD REVIEW AND APPROVAL. ANY PROPOSED DIVISION OF THIS PARCEL OF LAND THAT MAY BE HELD IN COMMON OWNERSHIP AND SUBSEQUENTLY DIVIDED INTO PARTS AMONG THE SEVERAL OWNERS MAY BE DEEMED A SUBDIVISION AND SUBJECT TO PLANNING BOARD APPROVAL.
2. ALL CONDITIONS SUBSEQUENT TO APPROVAL SHALL BE COMPLETED WITHIN TWO YEARS OF THE DATE OF FINAL APPROVAL.
3. NO CERTIFICATE OF OCCUPANCY SHALL BE AUTHORIZED UNTIL ALL REQUIRED IMPROVEMENTS HAVE BEEN COMPLETED, UNLESS ADDRESSED BY THE PROVISION OF A FINANCIAL GUARANTEE, PURSUANT TO THE REQUIREMENTS OF SECTION 4.14 OF THE MANCHESTER SUBDIVISION AND SITE PLAN REVIEW REGULATIONS.
4. ALL STORMWATER STRUCTURES SHALL BE INSPECTED AND CLEANED FOLLOWING SITE STABILIZATION AND PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, WHERE APPLICABLE. A REPORT INCLUDING THE INSPECTION FINDINGS AND CLEANING ACTIVITIES SHALL BE SUBMITTED TO DPW.



CITY OF MANCHESTER APPROVAL STAMP



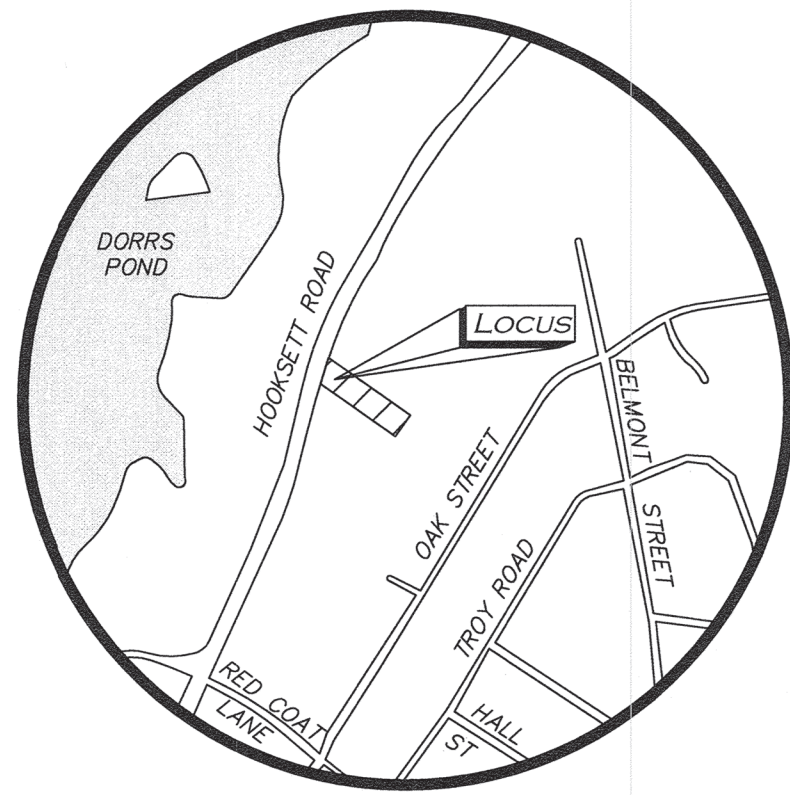
PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

PREPARED BY:

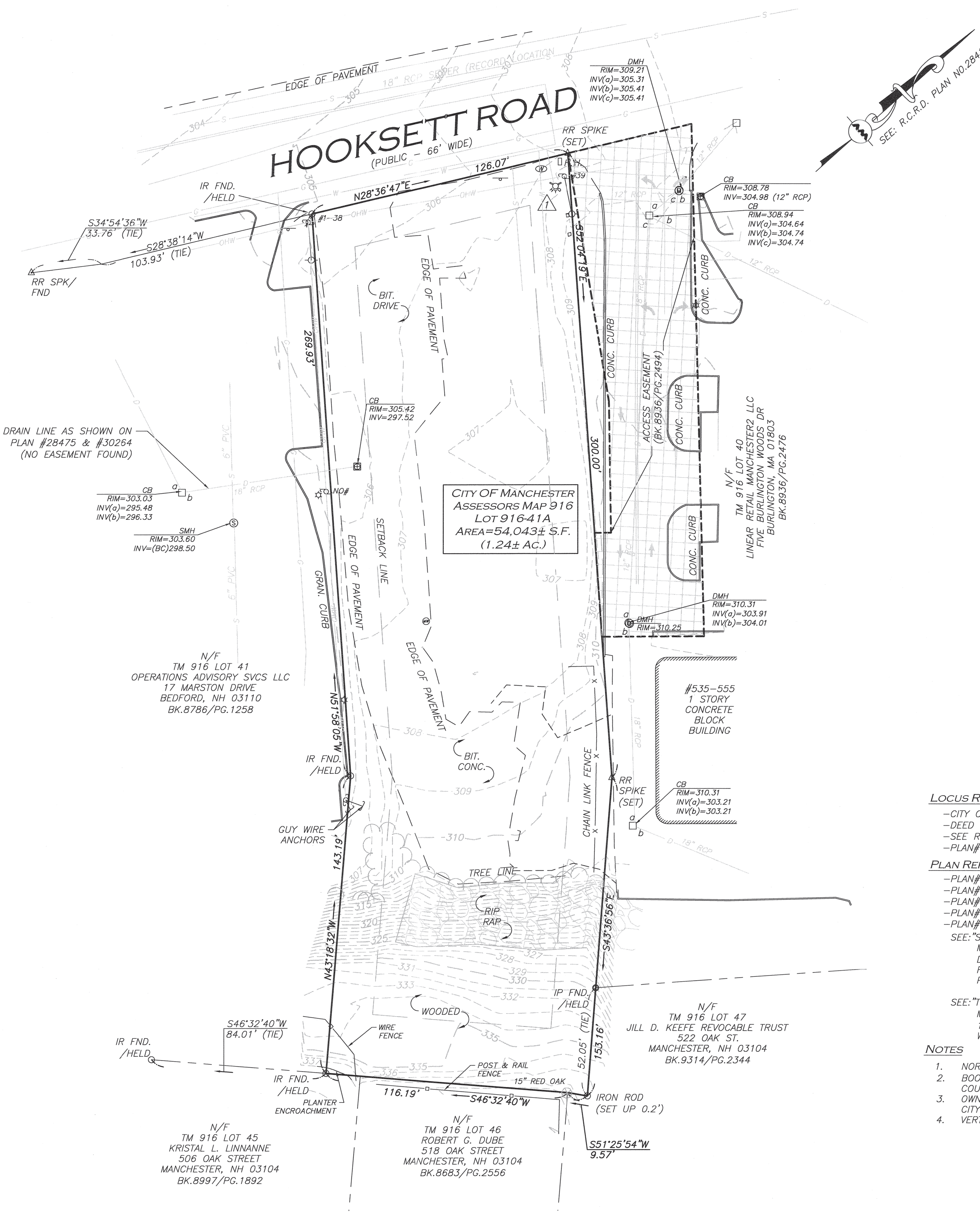
ALLEN & MAJOR ASSOCIATES, INC.
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ISSUED FOR PLANNED DEVELOPMENT REVIEW: MARCH 15, 2022
REVISION 1: APRIL 6, 2002
REVISION 2: APRIL 12, 2022
REVISION 3: MAY 26, 2022

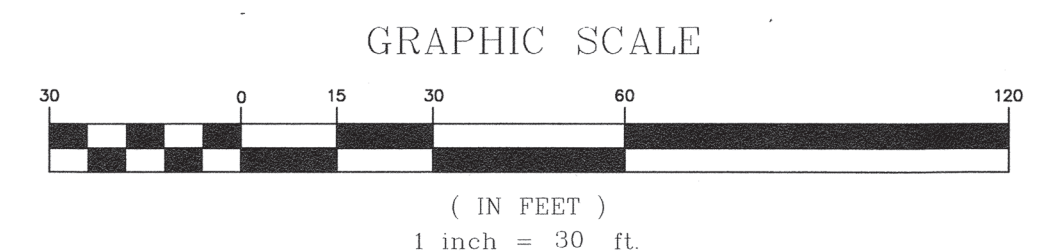


LOCUS MAP
(NOT TO SCALE)



LEGEND	
IRON ROD (IR)	○
IRON PIPE (IP)	△
RAILROAD SPIKE	□
CATCH BASIN (CB)	⊠
UTILITY POLE	⊙
DRAIN MANHOLE (DMH)	⊕
GUY POLE	⊗
MONITOR WELL	⊖
WATER SERVICE	⊘
FIRE HYDRANT	⊙
LIGHT	⊙
TREE	⊙
SIGN	⊙
HAND HOLE	⊙
ELECTRIC METER	⊙
GUY WIRE	⊙
BUILDING	▭
EASEMENT LINE	▭
PROPERTY LINE	▭
ABUTTERS LINE	▭
TREE LINE	▭
WATER LINE	▭
SEWER LINE	▭
DRAIN LINE	▭
GAS LINE	▭
OVERHEAD WIRES	▭
EDGE OF PAVEMENT	▭
CURB	▭
CHAIN LINK FENCE	▭
WOOD FENCE	▭
1' CONTOUR	▭
5' CONTOUR	▭
BITUMINOUS	▭
CONCRETE	▭
GRANITE	▭
FOUND	▭
NOW OR FORMERLY	▭
BOOK	▭
PAGE	▭

- LOCUS REFERENCES**
- CITY OF MANCHESTER ASSESSORS MAP 916, LOT 41A
 - DEED BOOK 9035, PAGE 1188
 - SEE RESTRICTION AGREEMENT IN BOOK 9035, PAGE 1193
 - PLAN# 12153
- PLAN REFERENCES**
- PLAN# 30420
 - PLAN# 30264
 - PLAN# 28475
 - PLAN# 16421
 - PLAN# 12153
- SEE: "SITE PLAN MAPLE TREE MALL 545 DANIEL WEBSTER HIGHWAY MANCHESTER, NEW HAMPSHIRE OWNER & APPLICANT: KOPKA DEVELOPMENT, SCALE: 1"=30', DATED: JUNE, 1985," PLAN RECORDED AT MANCHESTER, NH DEPT. OF PUBLIC WORKS, PLAN PREPARED BY: DIPRETE-MARCHIONDA & ASSOC.
- SEE: "TOPOGRAPHIC SURVEY WEBSTER HEIGHTS, INC. BELMONT ST. MANCHESTER, NH, SCALE: 1"=50', DATED: REV. SEPT. 13, 1965," RECORDED AT MANCHESTER, NH DEPT. OF PUBLIC WORKS, PREPARED BY: HILLS & HESSLEIN.
- NOTES**
- NORTH ARROW TAKEN FROM PLAN# 28415.
 - BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS.
 - OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT CITY OF MANCHESTER ASSESSORS INFORMATION.
 - VERTICAL DATUM IS NAVD 88 ESTABLISHED USING RTK GPS OBSERVATION.



BENCHMARK SUMMARY		
TBM #	DESCRIPTION	ELEV.
△	HYDRANT FLANGE BOLT HYDRANT	309.30

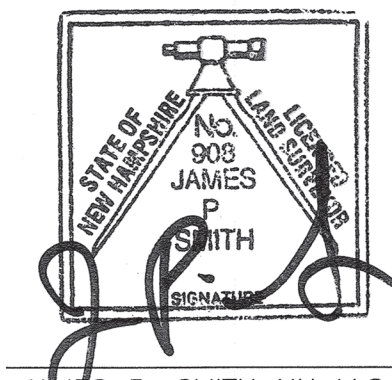
ZONING TABLE - GENERAL BUSINESS	
ITEM	REQUIRED
LOT AREA (MIN)	12,500 S.F.
LOT FRONTAGE (MIN)	100'
LOT COVERAGE (MAX)	75%
FRONT YARD SETBACK (MIN)	20'
SIDE YARD SETBACK (MIN)	20'
REAR YARD SETBACK (MIN)	30'
MAXIMUM BUILDING HEIGHT	50'-4 STORIES

UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN JULY 18, 2017 AND SEPTEMBER 8, 2021 AND HAD AN ERROR OF CLOSURE OF NO GREATER THAN 1/10,000.

ALLEN & MAJOR ASSOCIATES, INC.



JAMES P. SMITH NH LLS #908 DATE

B	5/31/22	UPDATE DRAIN INVERT ELEVATION
A	05/04/22	MOVE WATER LINE
REV	DATE	DESCRIPTION

APPLICANT/OWNER:
LINEAR RETAIL PROPERTIES, LLC
5 BURLINGTON WOODS DR., S. 107
BURLINGTON, MA. 01803

PROJECT:
525 HOOKSETT ROAD
AKA DANIEL WEBSTER HWY.
MANCHESTER, NH

PROJECT NO.	1583-55	DATE:	3/15/22
SCALE:	1" = 30'	DWG. NAME:	S-1583-55B-EC
DRAFTED BY:	AJR	CHECKED BY:	JPS

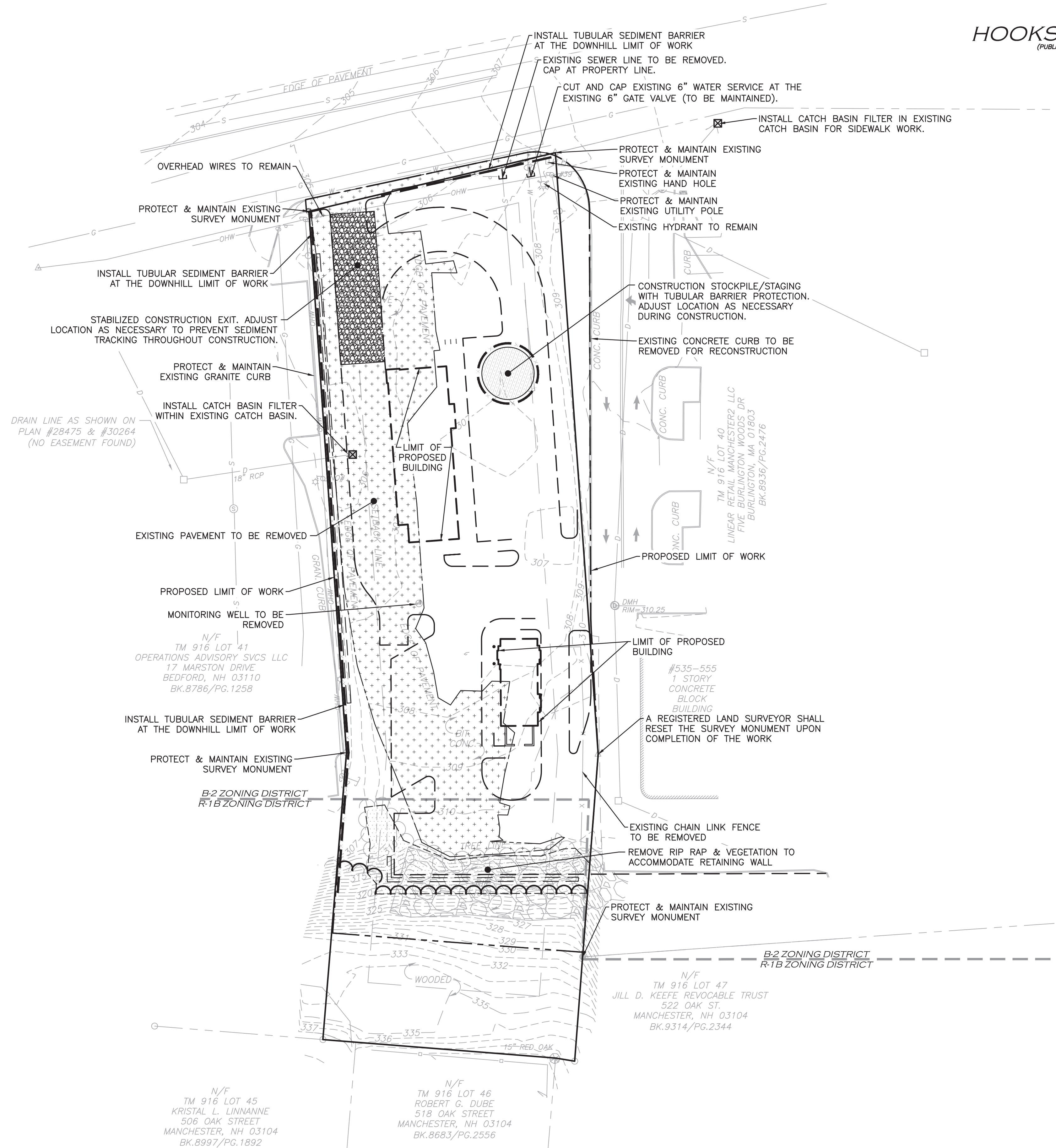
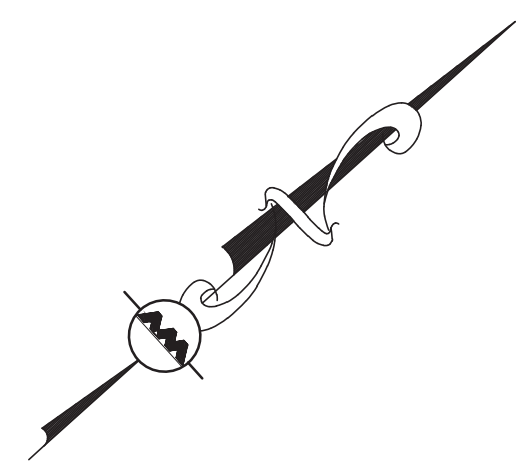
PREPARED BY:

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DRAWING TITLE:	SHEET No.
EXISTING CONDITIONS	V-101

HOOKSETT ROAD
(PUBLIC - 66' WIDE)



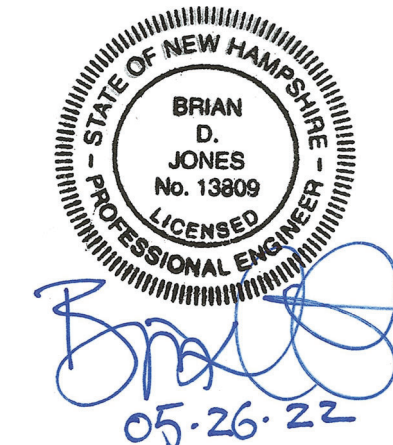
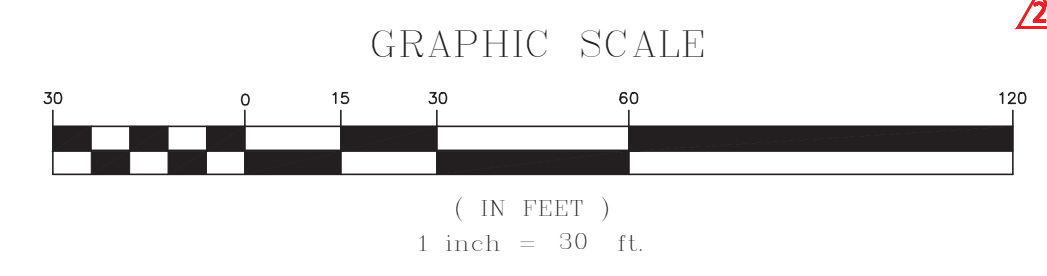
LEGEND	
LIMIT OF DISTURBANCE	---
PAVEMENT TO BE REMOVED	[Pattern]
UTILITY CUT AND CAP	E-
TUBULAR BARRIER	---
CATCH BASIN FILTER	[Symbol]
STABILIZED ENTRANCE	[Pattern]
STOCKPILE/STAGING AREA	[Pattern]
LIMIT OF 'CLEAR AND GRUB'	---

GENERAL NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
2. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. GRADING / DEMOLITION OUTSIDE OF THE PROJECT BOUNDARIES (IF ANY) REQUIRES A TEMPORARY CONSTRUCTION/GRADING EASEMENT FROM THE LANDOWNER (BY OTHERS).
4. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
5. EXISTING CONDITIONS INFORMATION WAS COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES, INC. IN SEPTEMBER OF 2021.
6. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

CITY NOTES:

1. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE, THE PROPERTY OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY.
2. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 0.25 INCHES. THE INSPECTIONS SHALL VERIFY THAT THE STRUCTURAL BMPs SHOWN AND DESCRIBED ON THE PLANS ARE IN GOOD CONDITION AND ARE MINIMIZING EROSION. A MAINTENANCE AND INSPECTION REPORT SHALL BE MADE WITH EACH INSPECTION. COMPLETED INSPECTION FORMS SHALL BE KEPT ON SITE FOR THE DURATION OF THE PROJECT AND BE MADE AVAILABLE FOR REVIEW BY THE CITY OF MANCHESTER UPON REQUEST.
3. THE CONTRACTOR SHALL VERIFY EROSION CONTROL MEASURES, WHICH ARE PLACED IN OR NEAR CITY RIGHTS-OF-WAY, ARE PROPERLY MAINTAINED JUST PRIOR TO AND/OR DURING LARGE STORM EVENTS IN ORDER TO PREVENT POTENTIAL STREET FLOODING DURING THE CONSTRUCTION DURATION. THE CONTRACTOR SHALL ENSURE THAT PERIMETER CONTROLS MANAGE ALL STORMWATER LEAVING THE SITE DURING CONSTRUCTION, INCLUDING SHEET FLOW ONTO ADJACENT PROPERTIES AND ANY CITY PROPERTIES.
4. A NOTICE OF INTENT (NOI) SHALL BE PREPARED AND SUBMITTED TO THE EPA UNDER THE NPDES CGP. A SWPPP SHALL BE PREPARED AND MAINTAINED ON SITE. THE NOI AND SWPPP SHALL ALSO BE SUBMITTED TO DPW.
5. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND EROSION CONTROL INSPECTION RECORDS SHALL BE MAINTAINED ON SITE AT ALL TIMES DURING CONSTRUCTION. DPW STAFF SHOULD ALSO BE COPIED ON PERMIT COMPLIANCE INCLUDING SUBMISSION OF THE SWPPP AND HAVE ACCESS TO EROSION INSPECTION DOCUMENTS DURING CONSTRUCTION.



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	04-06-22	REVISED COFFEE SHOP BUILDING

APPLICANT/OWNER:
LINEAR RETAIL PROPERTIES, LLC
5 BURLINGTON WOODS DR. S. 107
BURLINGTON, MA 01803

PROJECT:
525 HOOKSETT ROAD
AKA DANIEL WEBSTER HWY.
MAP-LOT: 916-41A
MANCHESTER, NH 03104

PROJECT NO.	1583-55B	DATE:	03-15-2022
SCALE:	1" = 30'	DWG. NAME:	C-1583-55B
DRAFTED BY:	BDJ	CHECKED BY:	BDJ

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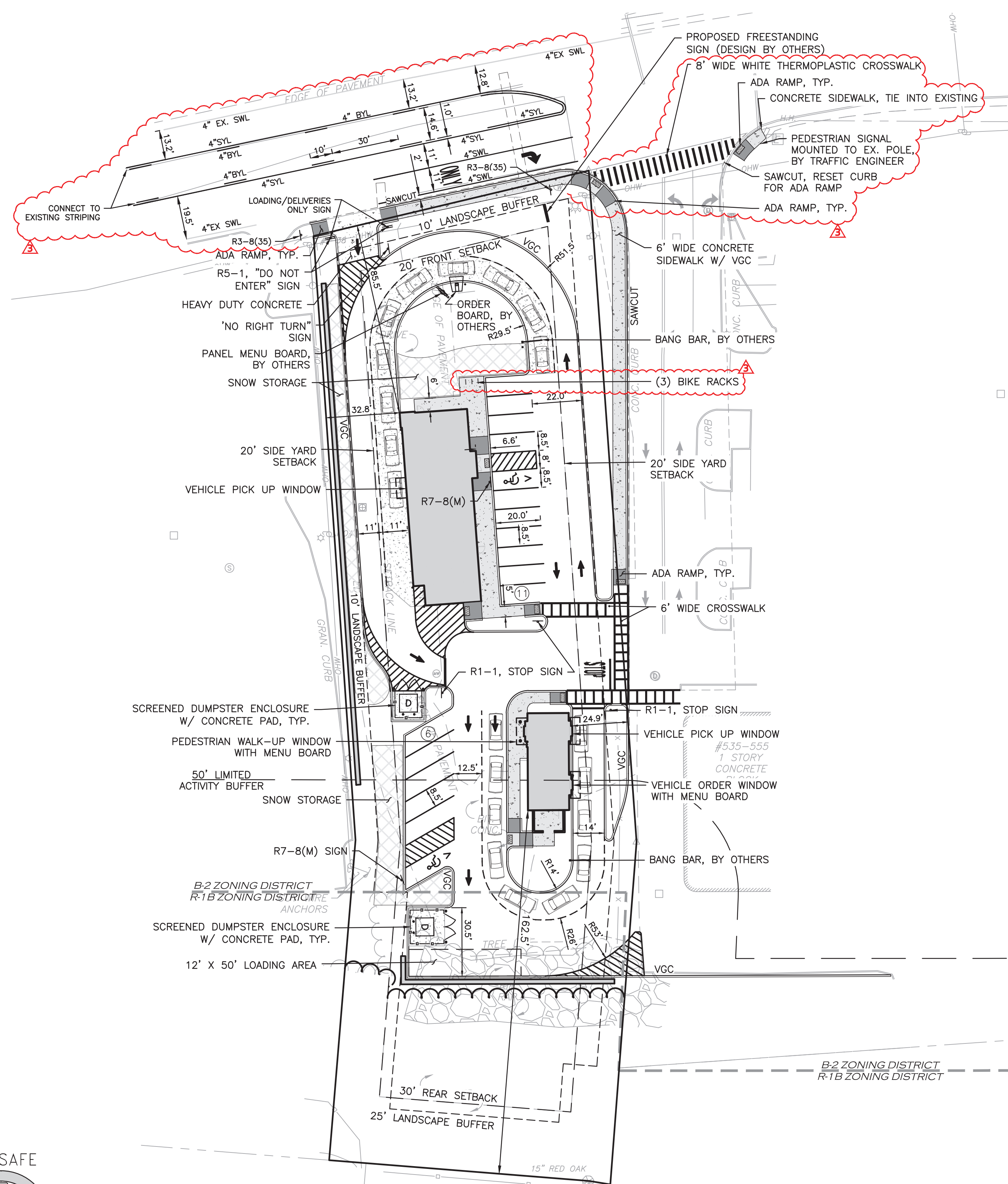
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DRAWING TITLE:	SHEET No.
EROSION CONTROL PLAN	C-101

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BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233



**#525 HOOKSETT ROAD
DIMENSIONAL REQUIREMENTS: B-2 (GEN. BUSINESS)**

ITEM	REQUIRED	PROPOSED
LOT AREA (MIN.)	12,500 SF	54,043 SF
LOT FRONTAGE (MIN.)	100 FT	126.07 FT
FRONT YARD BUILDING SETBACK	20 FT	85.5 FT
SIDE YARD BUILDING SETBACK	20 FT	24.9 FT
REAR YARD BUILDING SETBACK	30 FT	162.5 FT
MAX LOT COVERAGE	75%	53.4%
BUILDING HEIGHT (MAX.)	4 STORIES (50 FT)	1 STORY
LANDSCAPE PERIMETER (RESIDENTIAL)	25 FT	25 FT
LANDSCAPE PERIMETER (COMMERCIAL)	10 FT	0 FT
INTERIOR LANDSCAPING	5%	9.7%

- LIST OF VARIANCES GRANTED NOVEMBER 10, 2021:
- SECTION 5.10.G.6, TABLE OF PRINCIPAL USES FOR A RESTAURANT WITH DRIVE-THROUGH WITHIN THE R1-B DISTRICT.
 - SECTION 6.08.B.5.6, AND 8, FOR SITE IMPROVEMENTS WITHIN THE 50' LIMITED USE BUFFER TO THE R1-B ZONE LINE.
 - SECTION 9.09.A.1. FOR A FREESTANDING SIGN WITHIN ONE HUNDRED FIFTY FEET (150') OF ANOTHER FREESTANDING SIGN.
 - SECTION 10.07.G. FOR LESS THAN 10' WIDE LANDSCAPE BUFFER.

OFF-STREET PARKING SUMMARY

USE:
RESTAURANT WITH DRIVE-THRU WINDOW SERVICE
1 SPACE PER 3 SEATS + 10 STACKING SPACES
OR 1 SPACE PER 250 SQUARE FEET GROSS FLOOR AREA + 10 STACKING

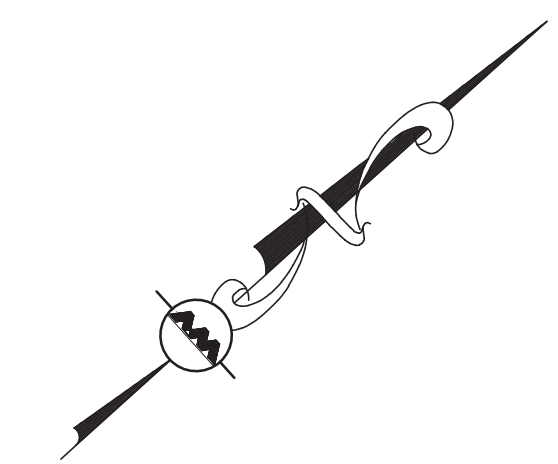
REQUIRED:
RESTAURANT (50 SEATS): (50 SEATS/3) = 16.7 PARKING SPACES
COFFEE SHOP (NO SEATS): (833 S.F./250) = 3.3 PARKING SPACES
TOTAL PARKING REQUIRED: = 20.0 PARKING SPACES

RESTAURANT: = 10 STACKING SPACES
COFFEE SHOP: = 10 STACKING SPACES

ADA REQUIRED: THERE ARE BETWEEN 26 TO 50 PARKING SPACES, REQUIRING 2 TOTAL PARKING STALLS TO BE ACCESSIBLE AND 1 BEING VAN ACCESSIBLE.

PROVIDED:
17* PARKING SPACES, OF WHICH 2 ARE VAN ACCESSIBLE
10 STACKING SPACES FOR EACH BUILDING

*A CONDITIONAL USE PERMIT HAS BEEN REQUESTED FOR A REDUCTION IN THE REQUIRED PARKING FROM 20 SPACES TO 17 SPACES.

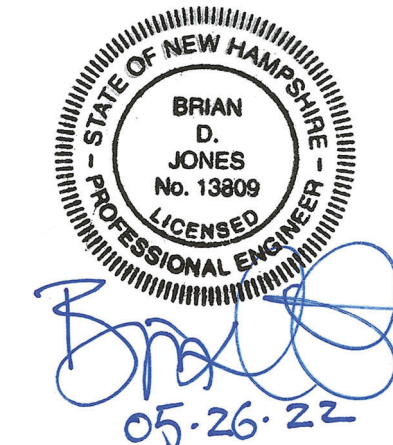
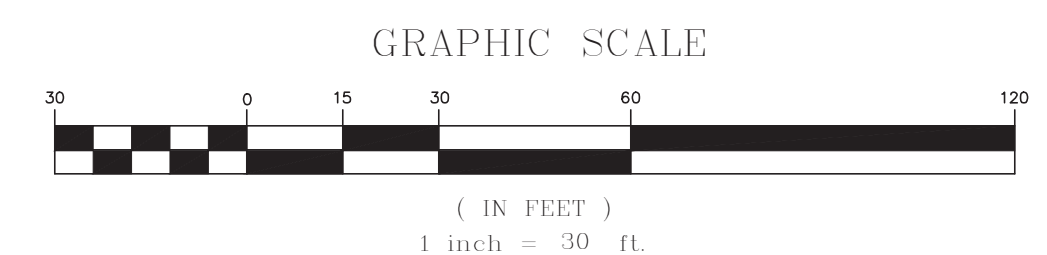


LEGEND

PROPERTY LINE	---
SIGN	—
BOLLARD	•
BUILDING	[Solid Grey Box]
BUILDING ARCHITECTURE	[Hatched Box]
BUILDING INTERIOR WALLS	[Dotted Box]
VERTICAL GRANITE CURB	[Vertical Line]
RETAINING WALL	[Horizontal Line]
PARKING STRIPING	[Hatched Box]
ROADWAY STRIPING	[Hatched Box]
TRAFFIC ARROWS	[Arrow]
HEAVY DUTY CONCRETE	[Dotted Box]
SIDEWALK	[Hatched Box]
ADA ACCESSIBLE RAMP	[Ramp Symbol]
ADA DET. WARNING SURFACE	[Square Symbol]
SNOW STORAGE	[Hatched Box]
SETBACK LINE	---
SAW-CUT LINE	---
PARKING COUNT	(10)
BROKEN YELLOW LINE	BYL
SOLID YELLOW LINE	SYL
SOLID WHITE LINE	SWL

PLAN NOTES:

- EXISTING CONDITIONS WERE COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES AS WELL AS AVAILABLE RECORD PLANS OBTAINED FROM THE CITY OF MANCHESTER AND OTHER SOURCES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL ALSO CONTACT THE CITY DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF LOCAL UTILITIES.
- THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS BUILT BY A LICENSED LAND SURVEYOR.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	05-26-22	REVS PER CITY DEPT. COMMENTS
2	04-12-22	REVISED PARKING SUMMARY
1	04-06-22	REVISED COFFEE SHOP BUILDING

APPLICANT/OWNER:
LINEAR RETAIL PROPERTIES, LLC
5 BURLINGTON WOODS DR. S. 107
BURLINGTON, MA 01803

PROJECT:
525 HOOKSETT ROAD
AKA DANIEL WEBSTER HWY.
MAP-LOT: 916-41A
MANCHESTER, NH 03104

PROJECT NO.	1583-55B	DATE:	03-15-2022
SCALE:	1" = 30'	DWG. NAME:	C-1583-55B
DRAFTED BY:	BDJ	CHECKED BY:	BDJ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
400 HARVEY ROAD
MANCHESTER, NH 03101
TEL: (603) 627-5500
FAX: (603) 627-5501

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: **LAYOUT & MATERIALS PLAN** SHEET No. **C-102**



HORIZON	DEPTH	TEXTURE	COLOR	STRUCTURE	NOTES
PAVEMENT	0-3"	-	-	-	-
GRAVEL BASE	3-18"	-	-	-	BANK RUN GRAVEL
FILL	18-36"	-	-	-	SIMILAR TO "C" HORIZ.
Ab (BURIED)	36-48"	SANDY LOAM	10YR 2/1	MASSIVE, FRIABLE	BURIED TOPSOIL
Bw	48-54"	SANDY LOAM	2.5Y 4/3	MASSIVE, FRIABLE	-
C	54-113"	FINE SANDY LOAM	2.5Y 4/4	MASSIVE FIRM	-

ESHWT: 84" (ELEVATION=299.25)
 WEEP: 96"
 BEDROCK/REFUSAL: NONE

HORIZON	DEPTH	TEXTURE	COLOR	STRUCTURE	NOTES
PAVEMENT	0-3"	-	-	-	-
GRAVEL BASE	3-18"	-	-	-	BANK RUN GRAVEL
FILL	18-60"	-	-	-	SAND MIXED WITH TOPSOIL
C	60-114"	MEDIUM SAND	10YR 5/8	SINGLE GRAIN LOOSE	-

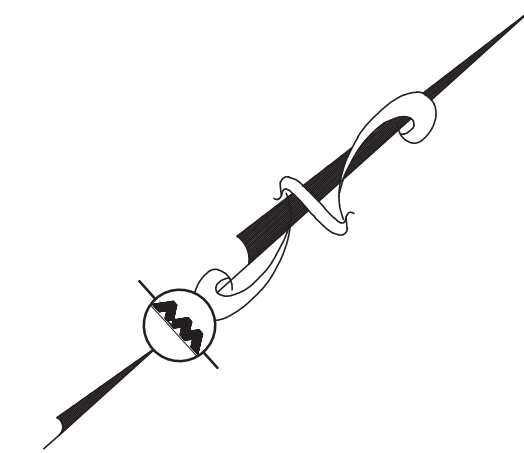
ESHWT: 92" (ELEVATION=298.33)
 WEEP: 110"
 BEDROCK/REFUSAL: NONE

HORIZON	DEPTH	TEXTURE	COLOR	STRUCTURE	NOTES
PAVEMENT	0-3"	-	-	-	-
GRAVEL BASE	3-18"	-	-	-	BANK RUN GRAVEL
FILL	18-60"	-	-	-	SAND MIXED WITH TOPSOIL
C	60-115"	MEDIUM SAND	10YR 5/8	SINGLE GRAIN LOOSE	-

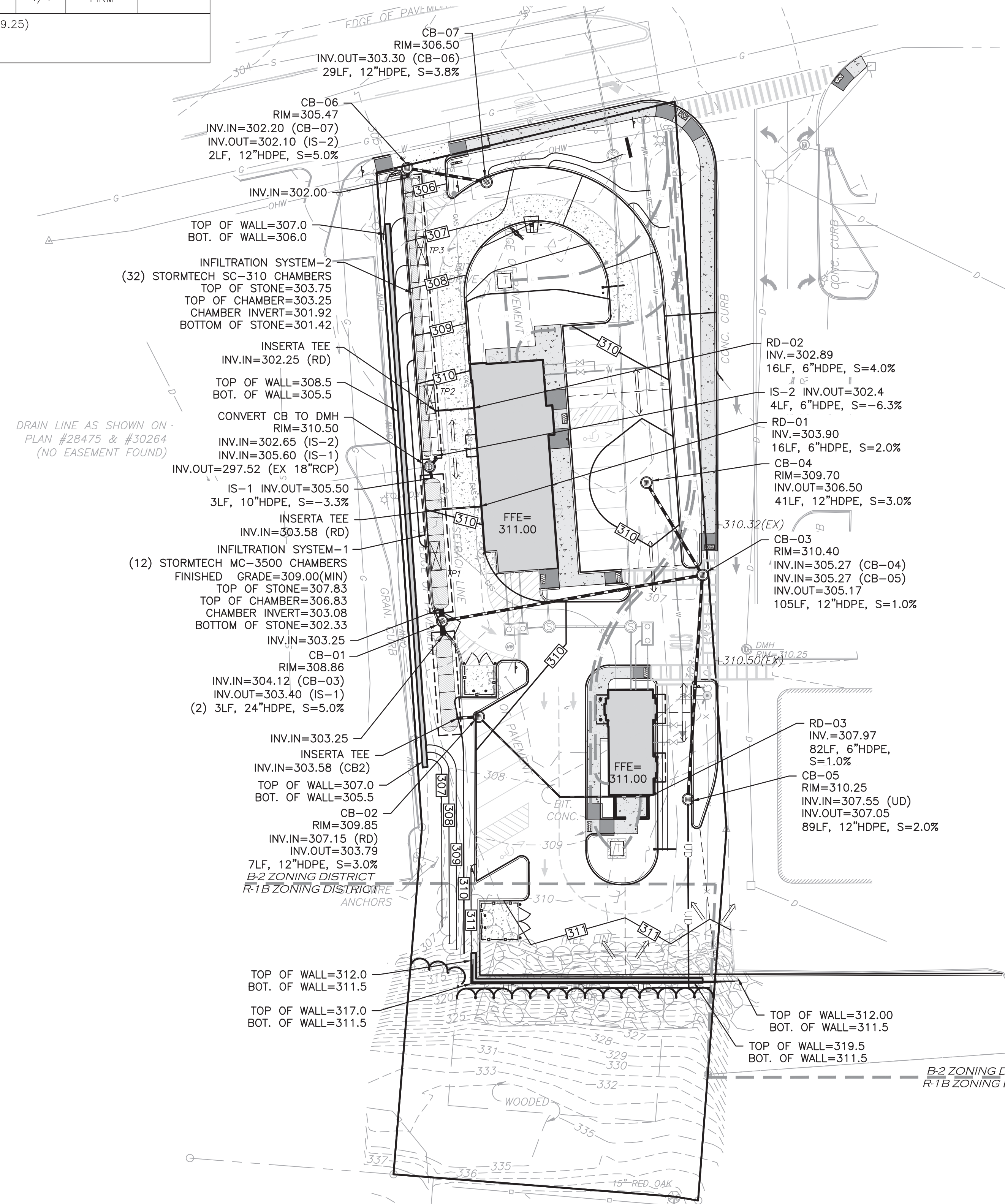
ESHWT: 94" (ELEVATION=298.37)
 WEEP: 112"
 BEDROCK/REFUSAL: NONE

HOOKSETT ROAD

(PUBLIC - 66' WIDE)



LEGEND	
DRAIN MANHOLE	⊙
CATCH BASIN	⊗
DRAIN LINE	—
5' CONTOUR	— 310 —
1' CONTOUR	— 307 —
SPOT GRADE	x 305.50
INFILTRATION SYSTEM	—
INFILTRATION CHAMBER	—
ISOLATOR ROW	—
UNDERDRAIN	— UD —
FLOW DIRECTION	→
TEST PIT	⊠ TP



PLAN NOTES:

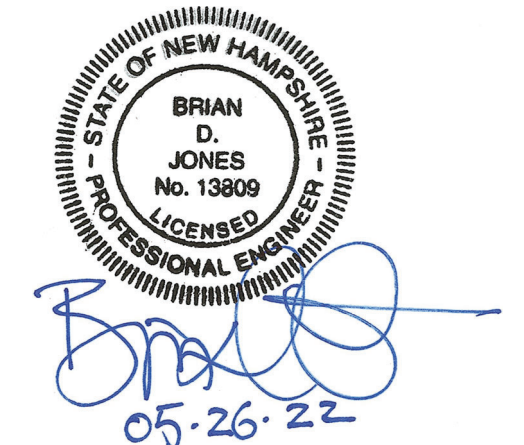
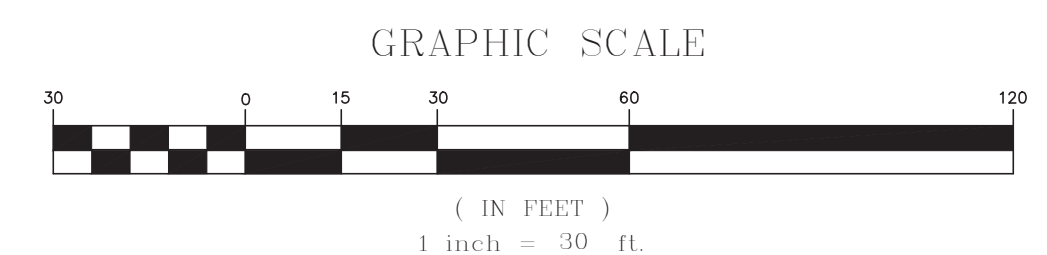
- TOP AND BOTTOM OF WALL ELEVATIONS INDICATE APPROXIMATE SPOT FINISHED GRADE ELEVATIONS. EXACT ELEVATIONS OF THE WALL BLOCKS WILL VARY AND BE PER THE WALL MANUFACTURER. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER-OF-RECORD FOR REVIEW AND APPROVAL.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- VERTICAL DATUM IS NAVD88. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- PIPE DIMENSIONS ARE MEASURED FROM THE OUTSIDE WALL OF THE STRUCTURE.
- ROOF DRAIN LOCATIONS TO BE BASED ON FINAL BUILDING PLANS. CONNECTION POINTS SHALL BE AS SHOWN HEREON.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM DRAIN MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS, H-20 MINIMUM.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL DRAINAGE SHALL CONFORM TO LOCAL REQUIREMENTS.
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CITY NOTES

- ALL IMPROVEMENTS AND STRUCTURES SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, INSPECTED, AND APPROVED BY THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, WHERE APPLICABLE. ALL STORMWATER STRUCTURES SHALL BE INSPECTED AND CLEANED FOLLOWING SITE STABILIZATION AND PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, WHERE APPLICABLE. A REPORT INCLUDING FINDINGS AND CLEANING ACTIVITIES SHALL BE SUBMITTED TO DPW.
- THE CONTRACTOR SHALL STAKE OUT AND PROTECT THE PROPOSED INFILTRATION SYSTEMS DURING ALL CONSTRUCTION ACTIVITIES. SEE NOTES BELOW.
- DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

INFILTRATION SYSTEM PROTECTION NOTES

- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
- AFTER THE INFILTRATION SYSTEM AREA IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
- DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	04-06-22	REVISED COFFEE SHOP BUILDING

APPLICANT/OWNER:
LINEAR RETAIL PROPERTIES, LLC
 5 BURLINGTON WOODS DR. S. 107
 BURLINGTON, MA 01803

PROJECT:
525 HOOKSETT ROAD
AKA DANIEL WEBSTER HWY.
 MAP-LOT: 916-41A
 MANCHESTER, NH 03104

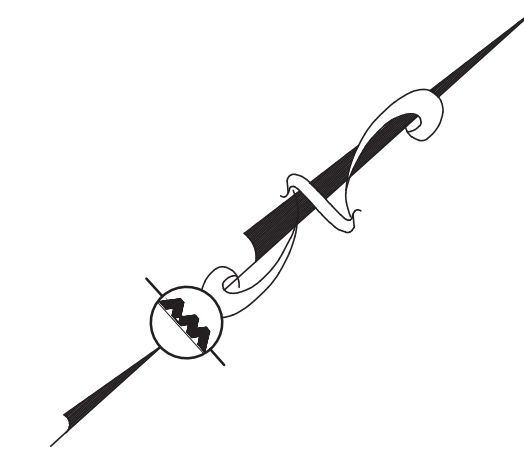
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DRAWING TITLE:	SHEET No.
GRADING & DRAINAGE PLAN	C-103

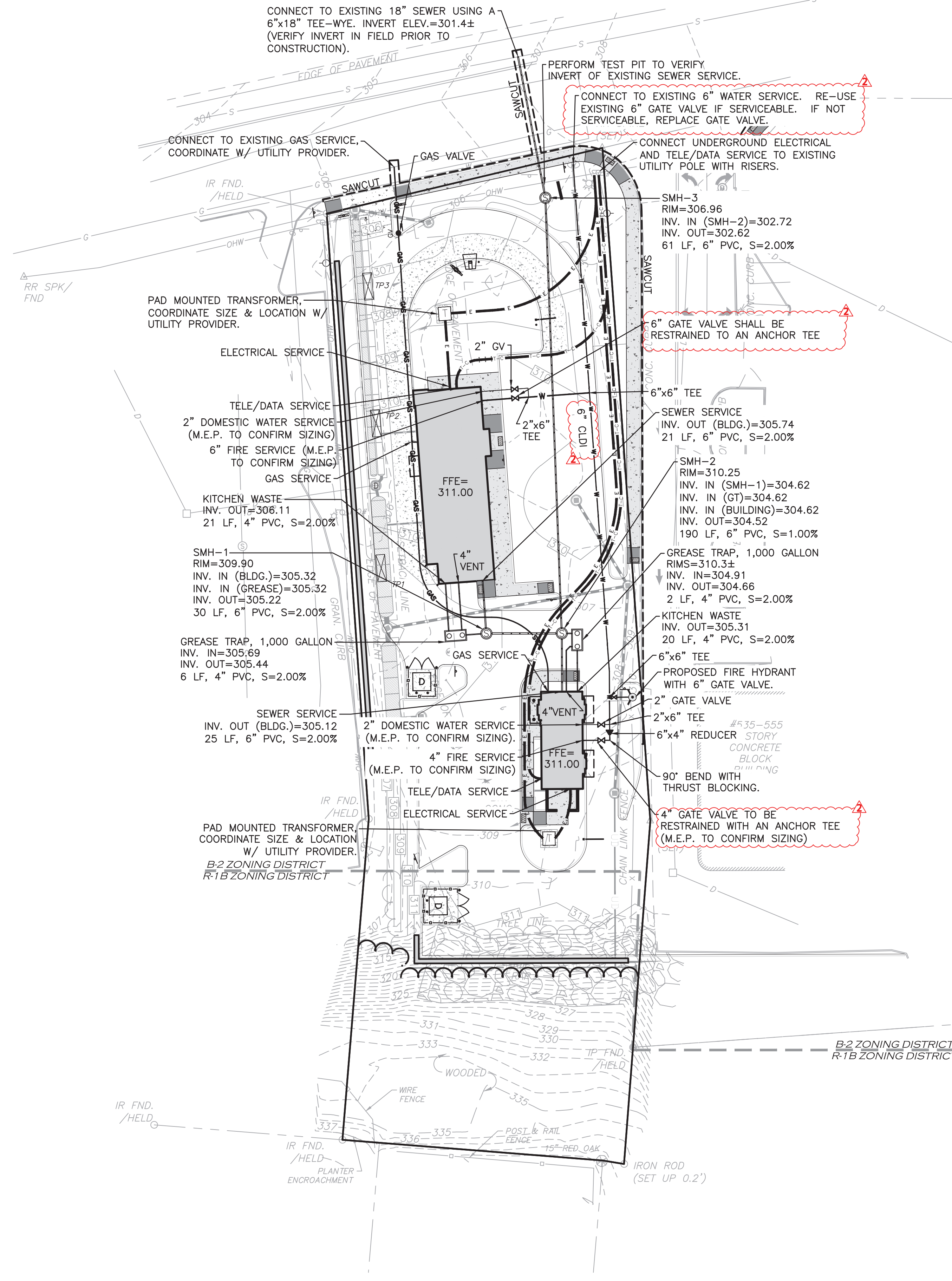
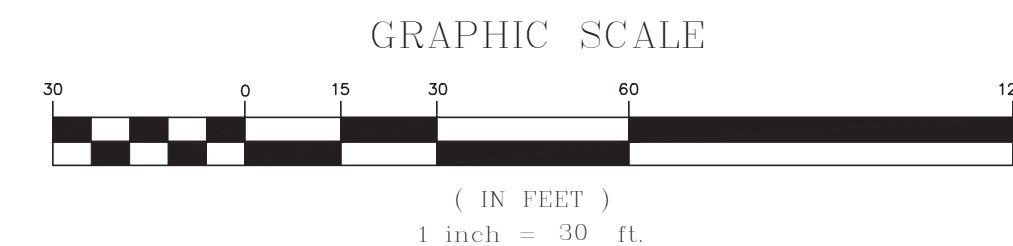
HOOKSETT ROAD (PUBLIC - 66' WIDE)



LEGEND	
SEWER MANHOLE	
SEWER LINE	
WATER LINE	
WATER VALVE	
WATER LINE REDUCER	
GAS LINE	
GAS VALVE	
GREASE TRAP	
ELECTRICAL CONDUIT	
TELE/CABLE CONDUIT	
HYDRANT	

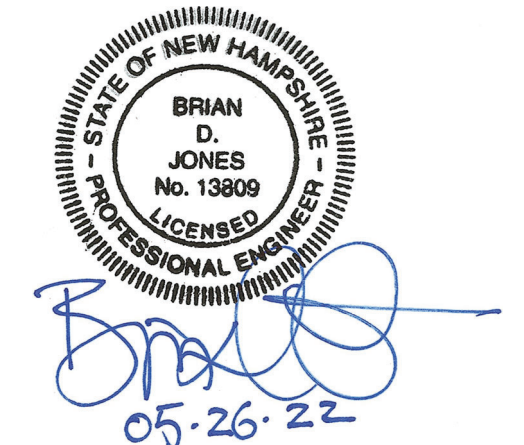
UTILITY NOTES:

- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND ARE SEPARATED BY LESS THAN 18" OF VERTICAL CLEARANCE, THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 8 LINEAR FEET CENTERED ON THE CROSSING.
- THE CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION AND SIZE OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE MUNICIPALITY, NHDOT, NHDES, MUTCD, AND AASHTO.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE TO OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE EDGE OF THE STRUCTURE.
- LOCATION OF PROPOSED ELECTRICAL/COMMUNICATION SERVICE IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE.
- LOCATION OF PROPOSED GAS/PROPANE LINE IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.
- POWER FEEDS AND INTERCONNECTIONS FOR SITE LIGHTING TO BE COORDINATED WITH THE ELECTRICAL ENGINEER.
- ALL ELEVATIONS REFER TO NAVD 88.
- ALL WORK MUST CONFORM TO THE CITY OF MANCHESTER DEPARTMENT OF PUBLIC WORKS STANDARDS SPECIFICATIONS AND ANY WORK WITHIN THE CITY RIGHT-OF-WAY REQUIRES AN EXCAVATION PERMIT.



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CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	04-06-22	REVISED COFFEE SHOP BUILDING

APPLICANT/OWNER:
LINEAR RETAIL PROPERTIES, LLC
5 BURLINGTON WOODS DR. S. 107
BURLINGTON, MA 01803

PROJECT:
525 HOOKSETT ROAD
AKA DANIEL WEBSTER HWY.
MAP-LOT: 916-41A
MANCHESTER, NH 03104

PROJECT NO.	1583-55B	DATE:	03-15-2022
SCALE:	1" = 30'	DWG. NAME:	C-1583-55B
DRAFTED BY:	BDJ	CHECKED BY:	BDJ

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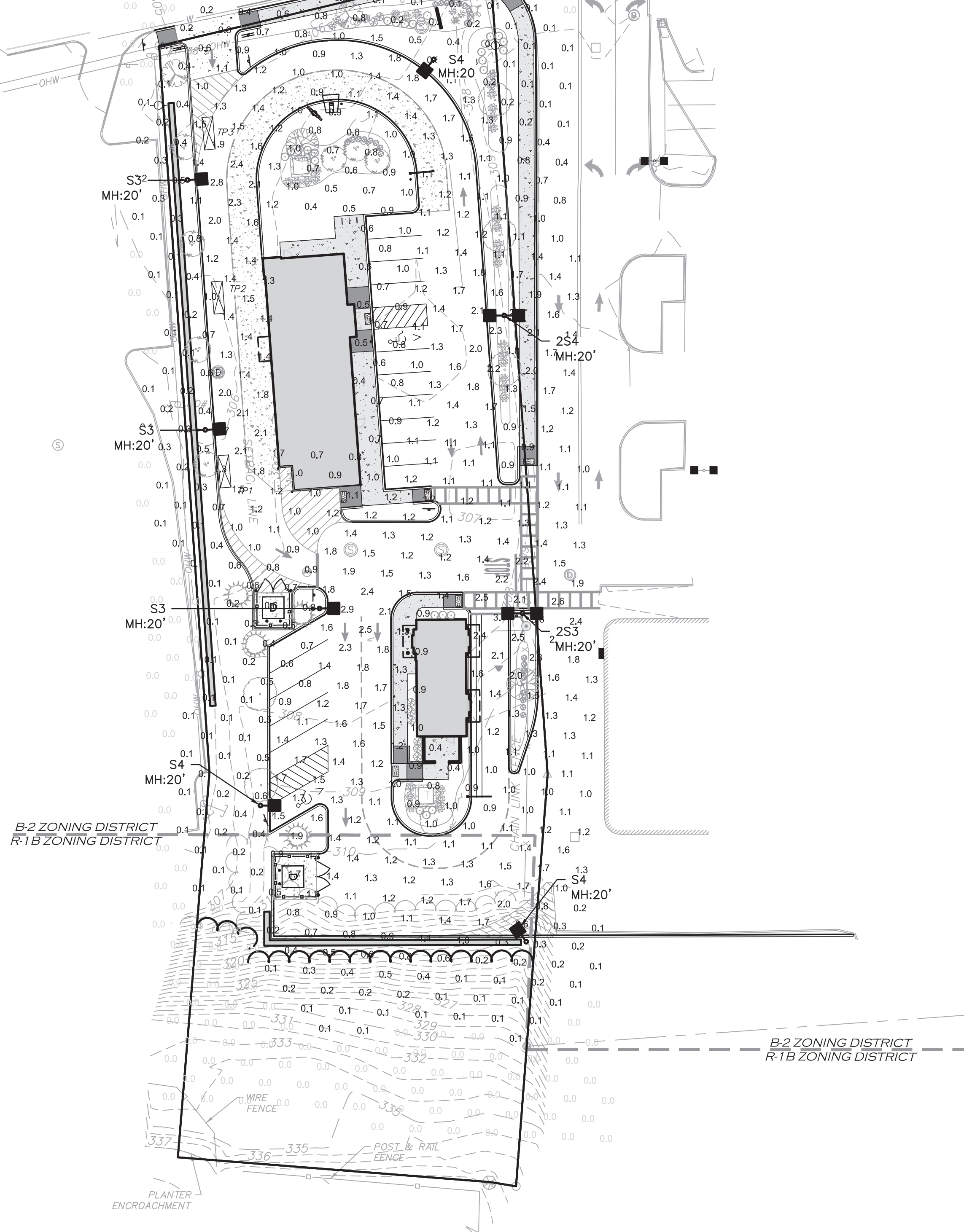
400 HARVEY ROAD
MANCHESTER, NH 03101
TEL: (603) 627-5500
FAX: (603) 627-5501

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE:	SHEET No.
UTILITIES PLAN	C-104

HOOKSETT ROAD (PUBLIC 66'-WIDE)



LEGEND

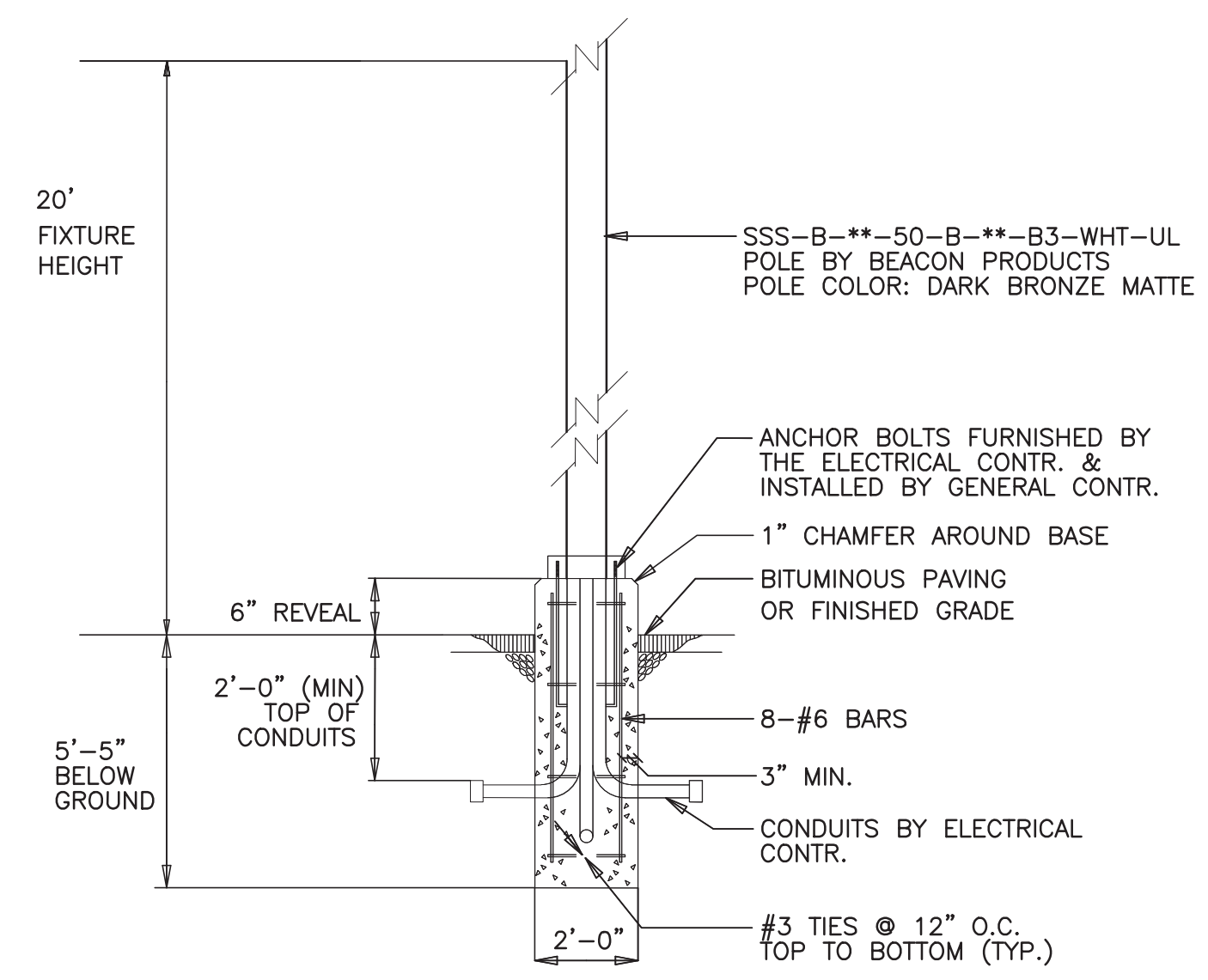
- TYPE 'A' DOUBLE POLE LIGHT
- TYPE 'B' SINGLE POLE LIGHT
- TYPE 'C' & "D" WALL MOUNT
- LIGHTING LEVELS
GIVEN IN FOOT-CANDLES 0.0 0.1 0.2 0.4 0.6

NOTES:

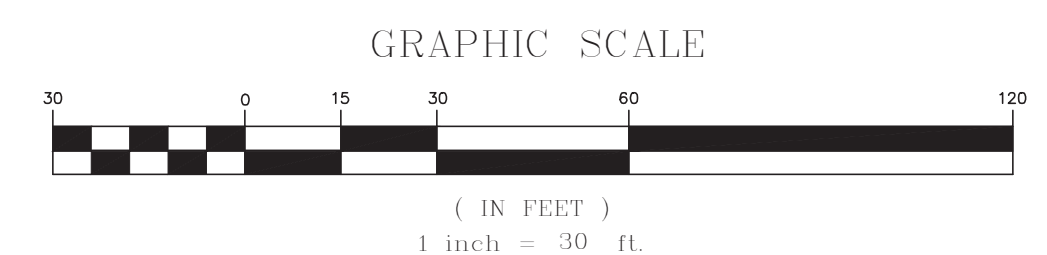
1. LIGHTING VENDOR INFORMATION:
SWANEY LIGHTING ASSOCIATES
CONTACT: CHRIS PECHALK
OFFICE: 207-883-7100
CELL: 603-380-3400
2. LIGHTS WITHIN THE PARKING AREAS AND ACCESS DRIVES SHALL OPERATE ON A PHOTO-CELL & PROGRAMABLE TIMER.
3. SITE LIGHTING SHALL BE EQUIPPED WITH "wiScope" CONNECTIVITY THROUGHOUT.
4. CONTROLS FOR ALL EXTERIOR LIGHTING BY BUILDING CONTRACTOR.
5. WIRING OF BUILDING MOUNTED FIXTURES BY BUILDING CONTRACTOR.
6. SIZING AND LAYOUT OF THE WIRING OF THE SITE LIGHTING FIXTURES SHALL BE BY THE SITE ELECTRICAL CONTRACTOR.
7. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL ALSO CONTACT THE CITY DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF LOCAL UTILITIES.
8. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



POLE LIGHT FIXTURE (LED)
HUBBLE LIGHTING - BEACON VIPER



PRE-CAST CONCRETE BASE DETAIL
NOT TO SCALE

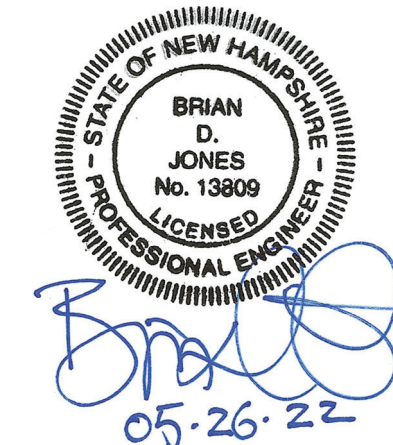


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1-888-344-7233

LUMINAIRE SCHEDULE							
LABEL	QTY	WATTS	LUMENS	LLF	ARRANGEMENT	HEIGHT	Description
2S3	1	65	6802	0.9	Back-Back	20'	TWIN - VP-S-36L-65-3K7-3
2S4	1	80.5	7908	0.9	Back-Back	20'	TWIN - VP-S-36L-80-3K7-4W
S3	3	65	6802	0.9	Single	20'	VP-S-36L-65-3K7-3
S4	3	80.5	7908	0.9	Single	20'	VP-S-36L-80-3K7-4W

CALCULATION SUMMARY					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
SITE	0.79	3.6	0.0	N.A.	N.A.



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

1 04-06-22 REVISED COFFEE SHOP BUILDING

REV	DATE	DESCRIPTION
1	04-06-22	REVISED COFFEE SHOP BUILDING

APPLICANT/OWNER:
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5 BURLINGTON WOODS DR. S. 107
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MANCHESTER, NH 03104

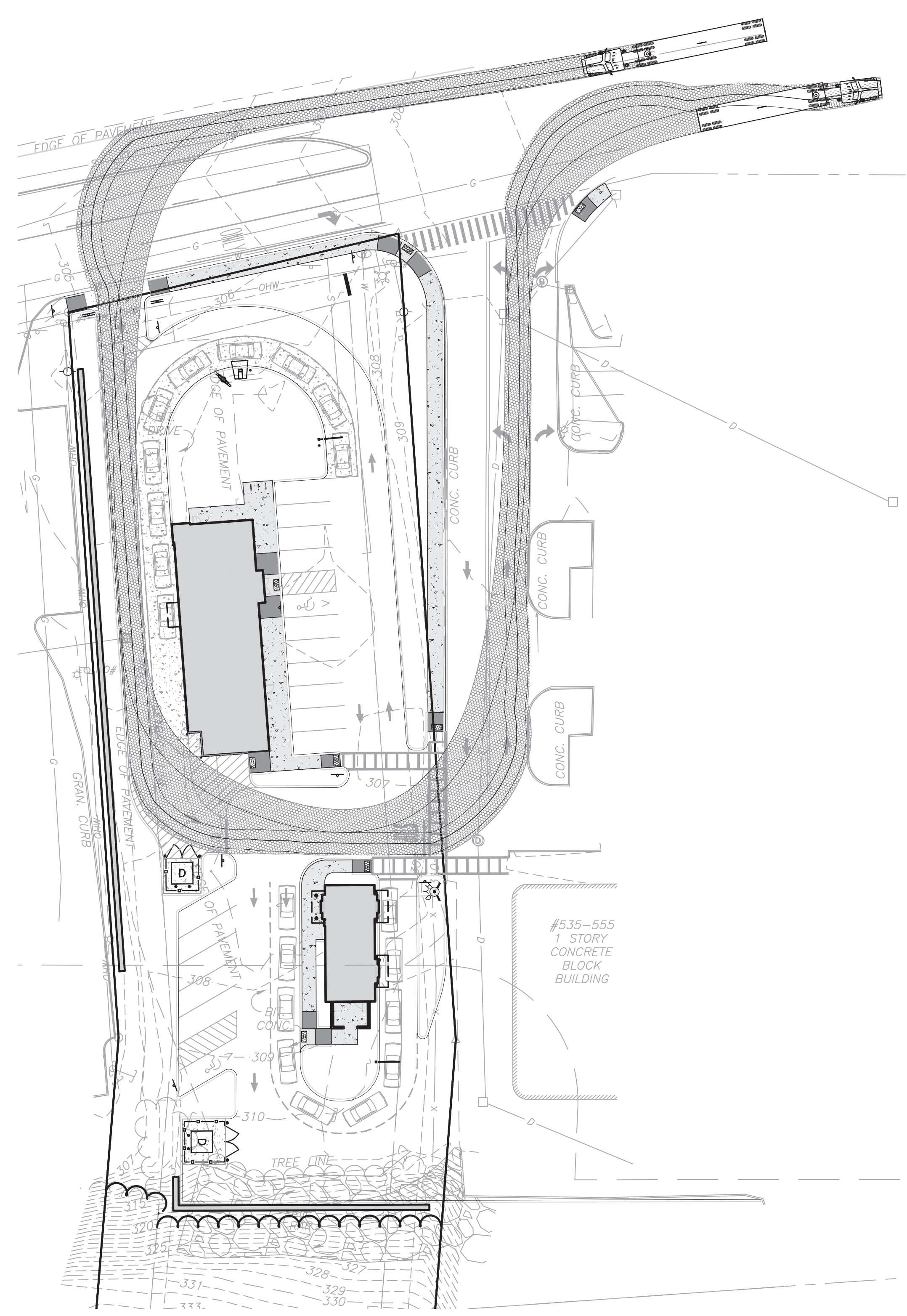
PROJECT NO.	1583-55B	DATE:	03-15-2022
SCALE:	1" = 30'	DWG. NAME:	C-1583-55B
DRAFTED BY:	BDJ	CHECKED BY:	BDJ

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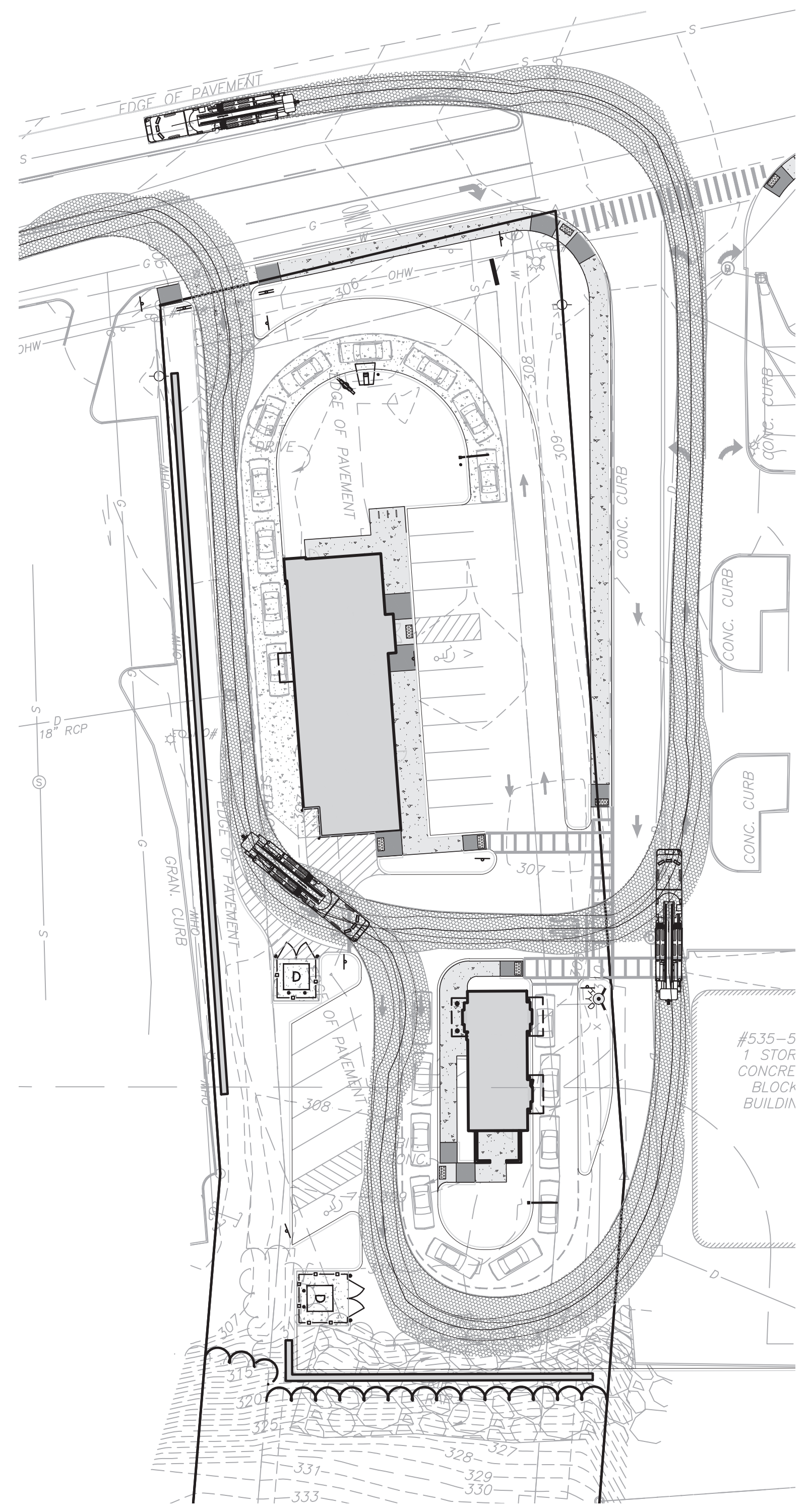
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DRAWING TITLE: **LIGHTING PLAN** SHEET No. **C-105**



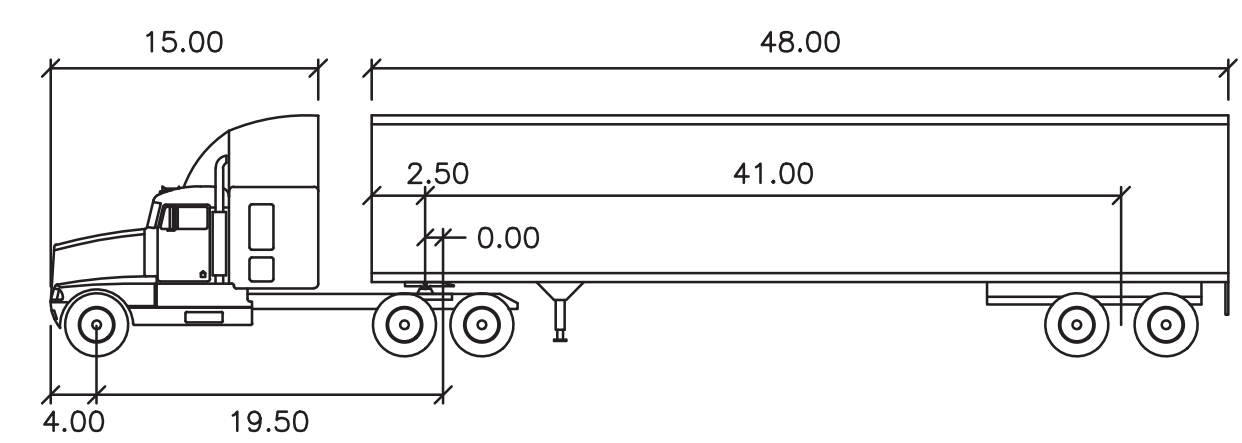
WB-62 TURNING FIGURE
SCALE: 1"=30'

1



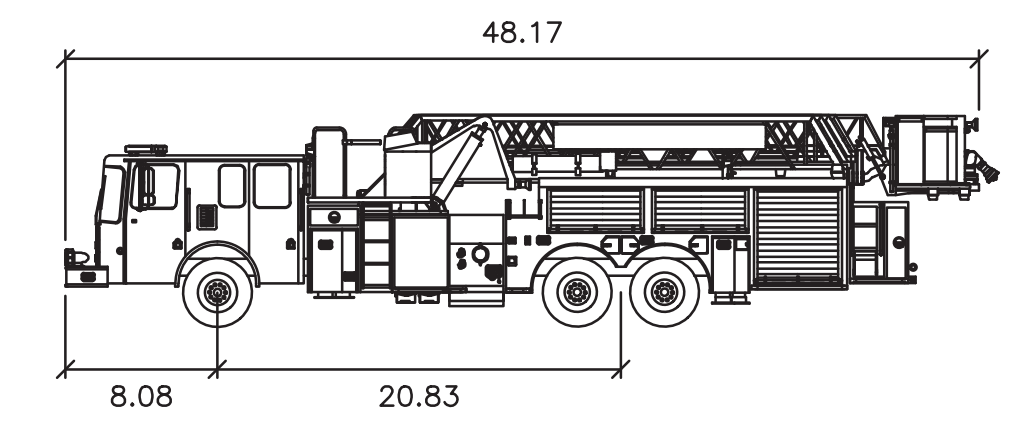
FIRE TRUCK TURNING FIGURE
SCALE: 1"=30'

2



WB-62

FEET			
TRACTOR WIDTH	: 8.00	LOCK TO LOCK TIME	: 6.0
TRAILER WIDTH	: 8.50	STEERING ANGLE	: 28.4
TRACTOR TRACK	: 8.00	ARTICULATING ANGLE	: 70.0
TRAILER TRACK	: 8.50		

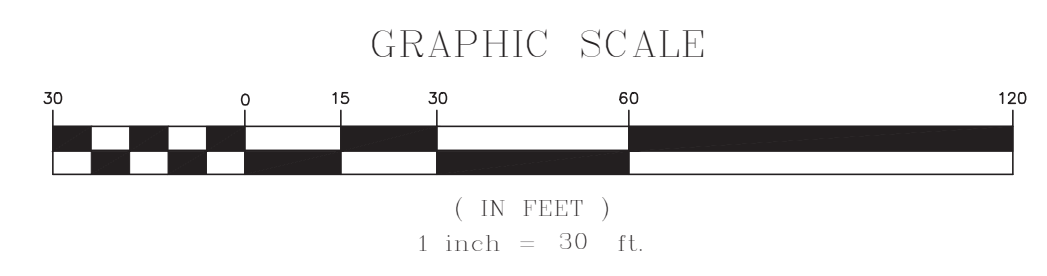


SMEAL PLATFORM MM 100FT

FEET	
WIDTH	: 8.33
TRACK	: 7.92
LOCK TO LOCK TIME	: 6.0
STEERING ANGLE	: 45.0

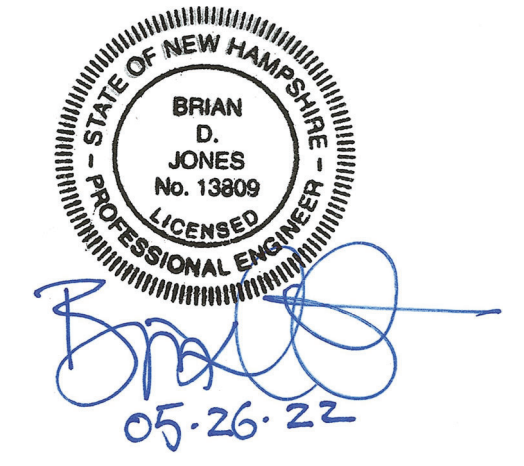
PLAN NOTES:

1. THE FIRE TRUCK MOVEMENT SHOWN IS THE ROUTE FROM THE MANCHESTER FIRE DEPARTMENT WEBSTER STREET STATION 5.
2. EXISTING CONDITIONS WERE COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES AS WELL AS AVAILABLE RECORD PLANS OBTAINED FROM THE CITY OF DOVER AND OTHER SOURCES.
3. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



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1-888-344-7233



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
LINEAR RETAIL PROPERTIES, LLC
5 BURLINGTON WOODS DR. S. 107
BURLINGTON, MA 01803

PROJECT:
525 HOOKSETT ROAD
AKA DANIEL WEBSTER HWY.
MAP-LOT: 916-41A
MANCHESTER, NH 03104

PROJECT NO. 1583-55B DATE: 03-15-2022

SCALE: 1" = 30' DWG. NAME: C-1583-55B

DRAFTED BY: BDJ CHECKED BY: BDJ

PREPARED BY:

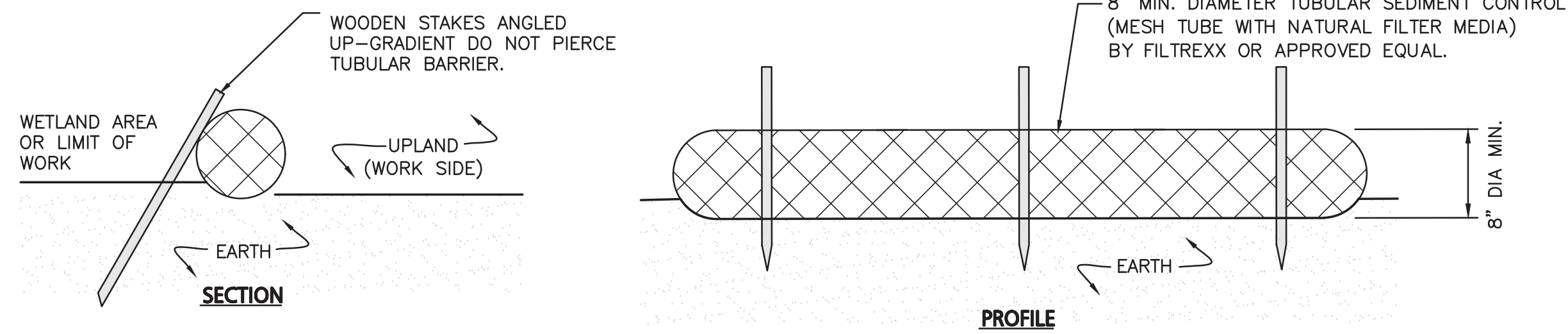
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400 HARVEY ROAD
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TEL: (603) 627-5500
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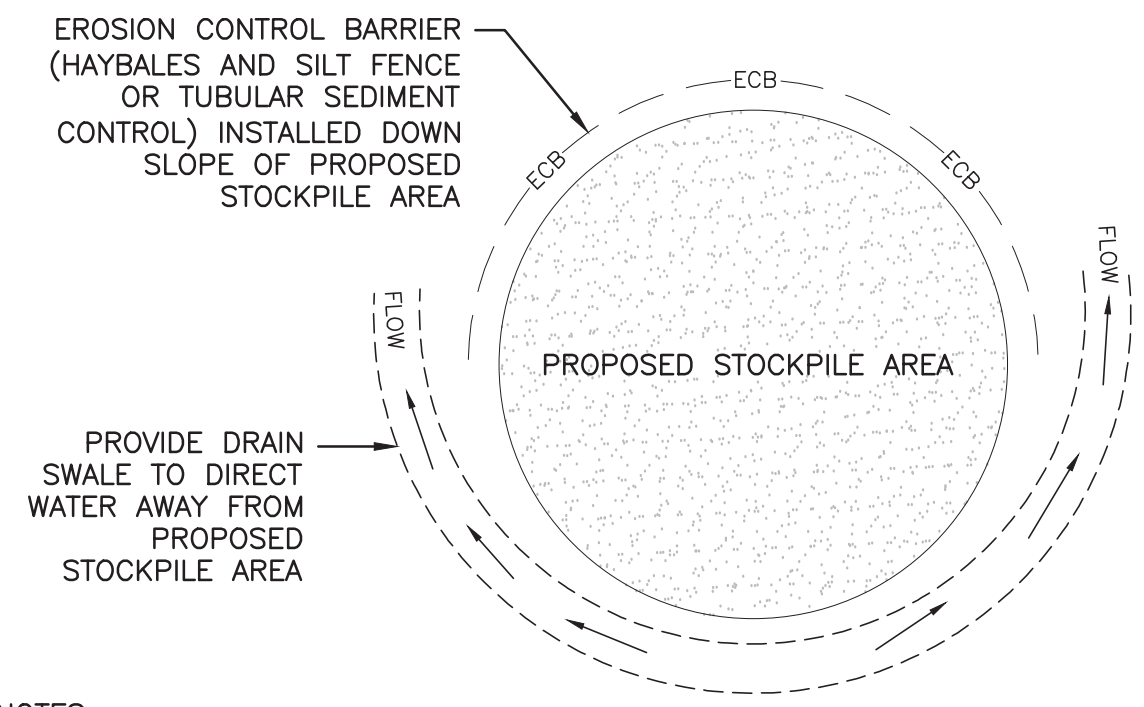
DRAWING TITLE: SHEET No.

TRUCK TURNING PLAN **C-106**



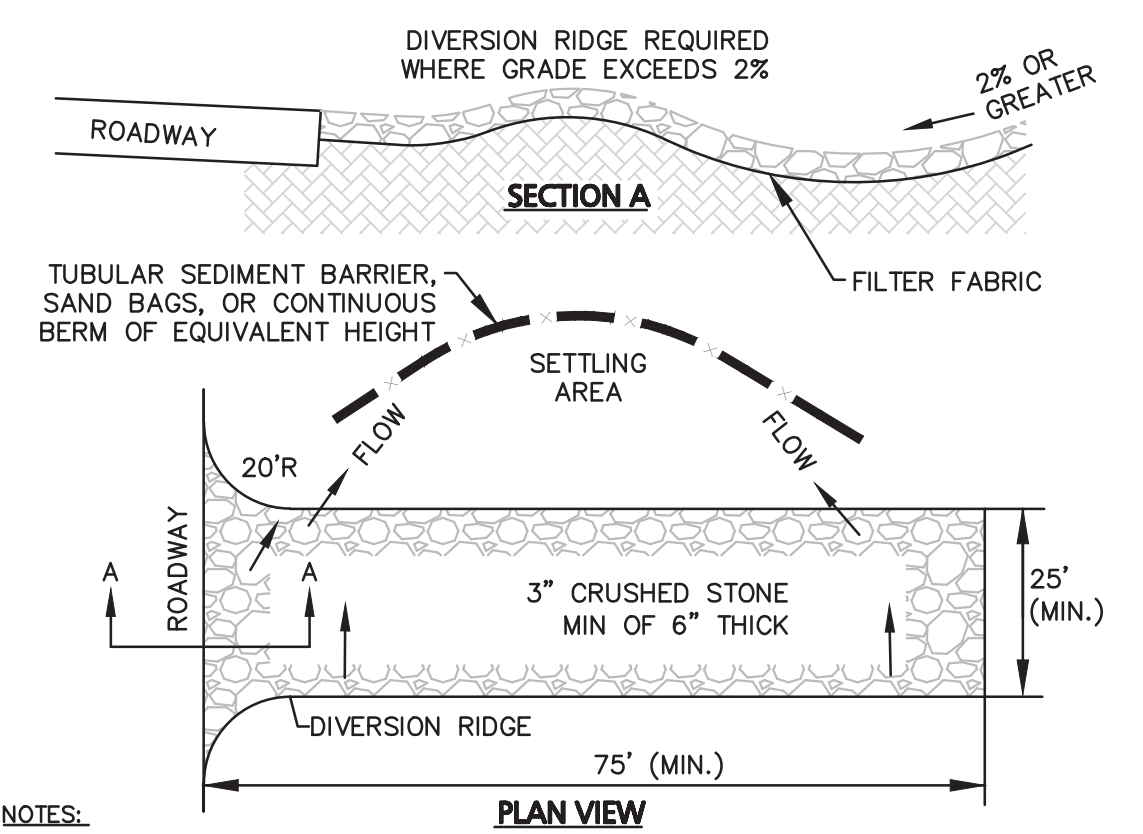
- NOTES:
1. TUBULAR SEDIMENT CONTROL SHALL BE 8" MIN. DIAMETER MESH TUBE WITH NATURAL FILTER MEDIA BY FILTREXX OR APPROVED EQUAL.
 2. ALL MATERIALS TO MEET MANUFACTURERS SPECIFICATIONS.
 3. INSTALL WOODEN STAKES ANGLED UP-GRADE EVERY 8' ON CENTER
 4. OVERLAP TUBULAR BARRIER SEGMENTS A MINIMUM OF 12".
 5. THE CONTRACTOR SHALL MAINTAIN THE TUBULAR BARRIERS IN A FUNCTIONAL CONDITION AT ALL TIMES. THE CONTROLS SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR.
 6. WHERE THE TUBULAR BARRIERS REQUIRE REPAIR OR SEDIMENT REMOVAL, IT WILL BE COMPLETED BY THE CONTRACTOR AT NO ADDITIONAL COST.
 7. AT A MINIMUM, THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE WHEN THEY REACH 1/3 THE EXPOSED HEIGHT OF THE BARRIER.

TUBULAR SEDIMENT BARRIER
NOT TO SCALE **1**



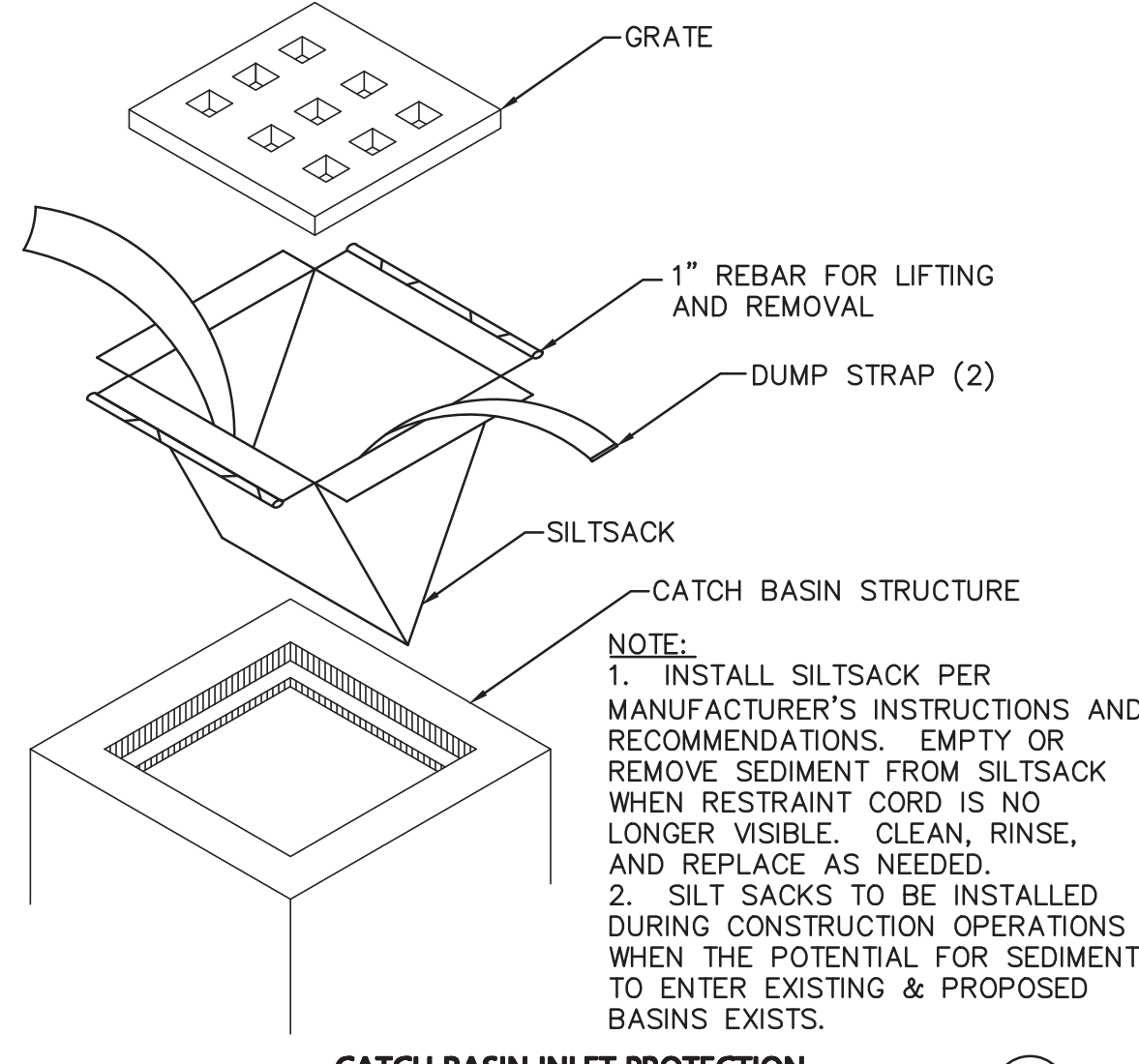
- NOTES:
1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH HAY AND MULCH (AT 100LBS/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
 2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDED WITH WINTER RYE (FOR FALL SEEDING AT 3LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH HAY MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

STOCKPILE PROTECTION
NOT TO SCALE **2**



- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

STABILIZED CONSTRUCTION EXIT
NOT TO SCALE **3**

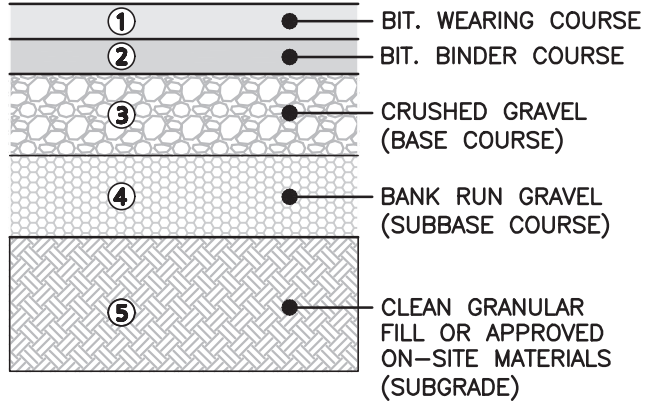


- NOTE:
1. INSTALL SILTSACK PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. EMPTY OR REMOVE SEDIMENT FROM SILTSACK WHEN RESTRAINT CORD IS NO LONGER VISIBLE. CLEAN, RINSE, AND REPLACE AS NEEDED.
 2. SILT SACKS TO BE INSTALLED DURING CONSTRUCTION OPERATIONS WHEN THE POTENTIAL FOR SEDIMENT TO ENTER EXISTING & PROPOSED BASINS EXISTS.

CATCH BASIN INLET PROTECTION
NOT TO SCALE **4**

STANDARD DUTY FLEXIBLE PAVEMENT DESIGN SECTION

LAYER NUMBER	LAYER DESCRIPTION	LAYER THICKNESS (INCHES)
1	BITUMINOUS WEARING COURSE (3" AGGREGATE - NHDOT PRE-APPROVED MIX DESIGN)	1.5"
2	BITUMINOUS BINDER COURSE (3" AGGREGATE - NHDOT PRE-APPROVED MIX DESIGN)	2.5"
3	CRUSHED GRAVEL (BASE COURSE) (NHDOT ITEM 304.3)	6.0"
4	GRAVEL BORROW (SUBBASE COURSE) (NHDOT ITEM 304.2)	8.0"
5	CLEAN GRANULAR FILL MATERIAL OR APPROVED ON-SITE MATERIALS (SUBGRADE)	AS NECESSARY

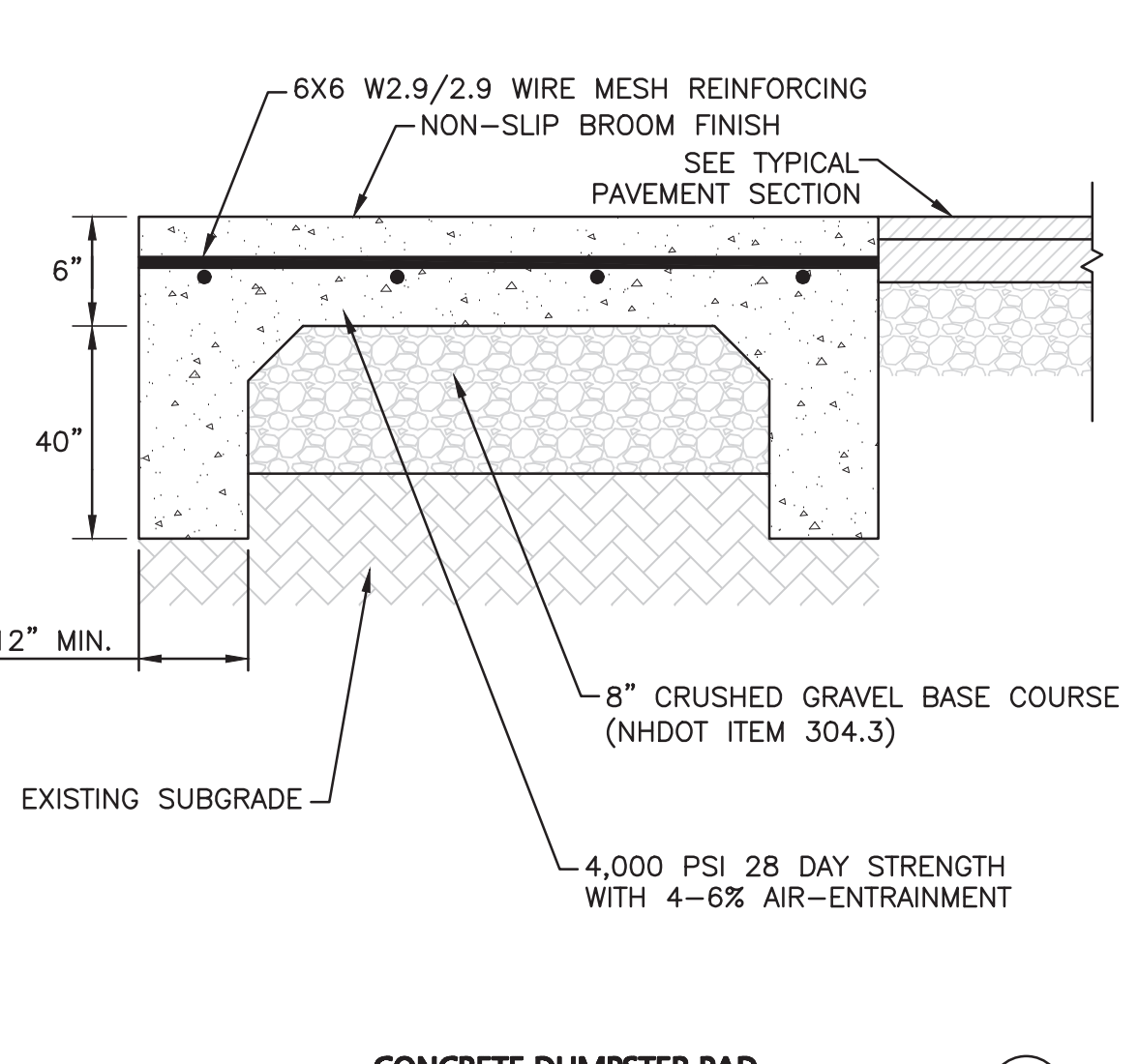


GRADATION SPECIFICATION

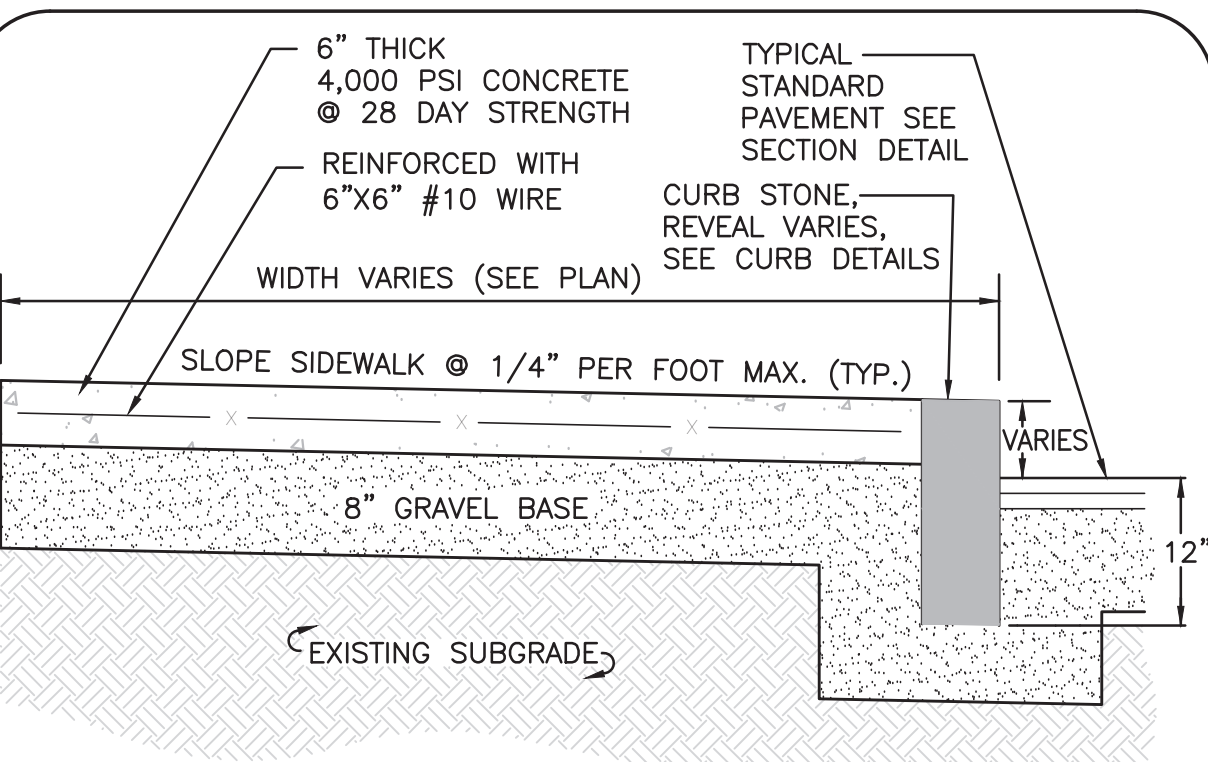
SIEVE SIZE	PERCENT PASSING BY WEIGHT		
	CLEAN GRANULAR FILL	BASE COURSE	SELECT GRANULAR FILL
8"	100	100	100
3"	70-100	100	70-100
1 1/2"	40-100	40-80	40-90
No. 4	25-100	30-70	25-80
No. 10	15-95	20-60	15-70
No. 40	10-70	10-30	5-40
No. 200	0-15	3-10	0-12

- NOTES:
1. PAVEMENT DESIGN SHALL BE REVIEWED BY THE PROJECT GEOTECHNICAL ENGINEER. THE GEOTECHNICAL REPORT IS CONSIDERED PART OF THE CONSTRUCTION DOCUMENTS.
 2. TOPSOIL SHALL BE REMOVED BENEATH ALL PAVEMENT AREAS TO EXPOSE THE NATURALLY-OCCURRING SOILS OR ACCEPTABLE ON-SITE FILL MATERIALS.
 3. THE SUBGRADE SHOULD BE PROFFROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER USING AT LEAST 4 PASSES OF A 10-TON VIBRATORY ROLLER. AREAS OF THE SUBGRADE THAT 'WEAVE' OR 'ROLL' EXCESSIVELY SHOULD BE OVER EXCAVATED AND REPLACED WITH DRIER CLEAN GRANULAR FILL MATERIAL.
 4. THE PAVEMENT SUBGRADE CONSISTING OF THE SPECIFIED CLEAN GRANULAR FILL SHALL BE PLACED IN 12" MAXIMUM LIFTS AND COMPACTED TO A DRY DENSITY OF AT LEAST 95 PERCENT OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM DESIGNATION D-1557.

PAVEMENT SECTIONS
NOT TO SCALE **5**

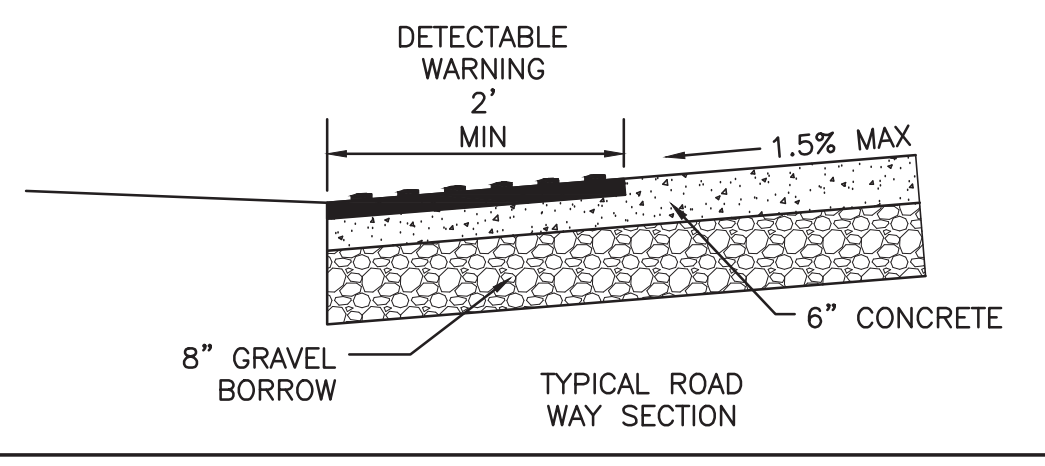
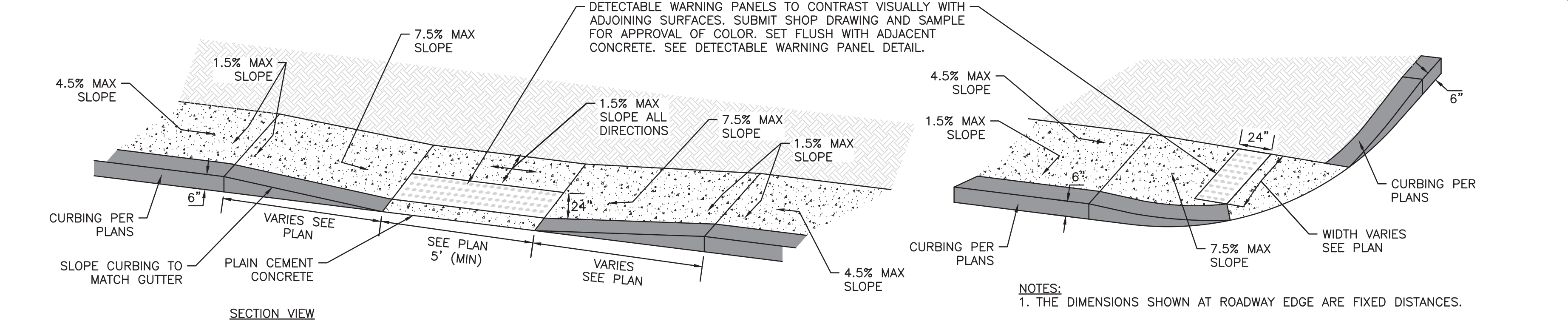


CONCRETE DUMPSTER PAD
NOT TO SCALE **6**



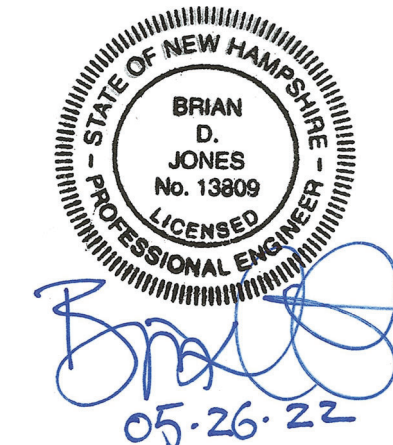
- NOTES:
1. MAXIMUM SIDEWALK LONGITUDINAL SLOPE IS 4.5%.
 2. MAXIMUM SIDEWALK CROSS SLOPE IS 1.5%.
 3. SIDEWALK TO HAVE TOOLED JOINTS IN A 5' X 5' (TYP) GRID WITH EXPANSION JOINTS 15' ON CENTER AND PREMOLDED FILLER.
 4. TOOLED JOINT 6" FROM FACE OF CURB.
 5. SEE PLAN FOR ELEVATIONS AT CURB.
 6. LIFT WWF TO CENTER OF SLAB WITH HOOKS AFTER CONCRETE PLACEMENT.
 7. DOWEL SIDEWALK INTO FOUNDATION AT DOORS.

CONCRETE SIDEWALK WITH VERTICAL GRANITE CURB
NOT TO SCALE **7**



ADA ACCESSIBLE CURB CUT AND TRANSITION
NOT TO SCALE **8**

- NOTES:
1. THE DIMENSIONS SHOWN AT ROADWAY EDGE ARE FIXED DISTANCES.
 2. RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION.
 3. PORTLAND CEMENT CONCRETE RAMPS ARE TO BE TEXTURED BY BROOMING IN A DIRECTION PARALLEL TO THE LENGTH OF THE RAMP.
 4. IN NO CASE ARE THE RAMPS TO BE PLACED BEHIND THE STOP LINE.
 5. THE DIMENSIONS ARE SUBJECT TO CHANGE IN THE FIELD IF EXISTING APPURTENANCES OR CONDITIONS WILL MAKE THE RAMP LOCATIONS IMPRACTICAL OR UNSAFE. CONSULT CIVIL ENGINEER PRIOR TO MAKING ANY MODIFICATIONS.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

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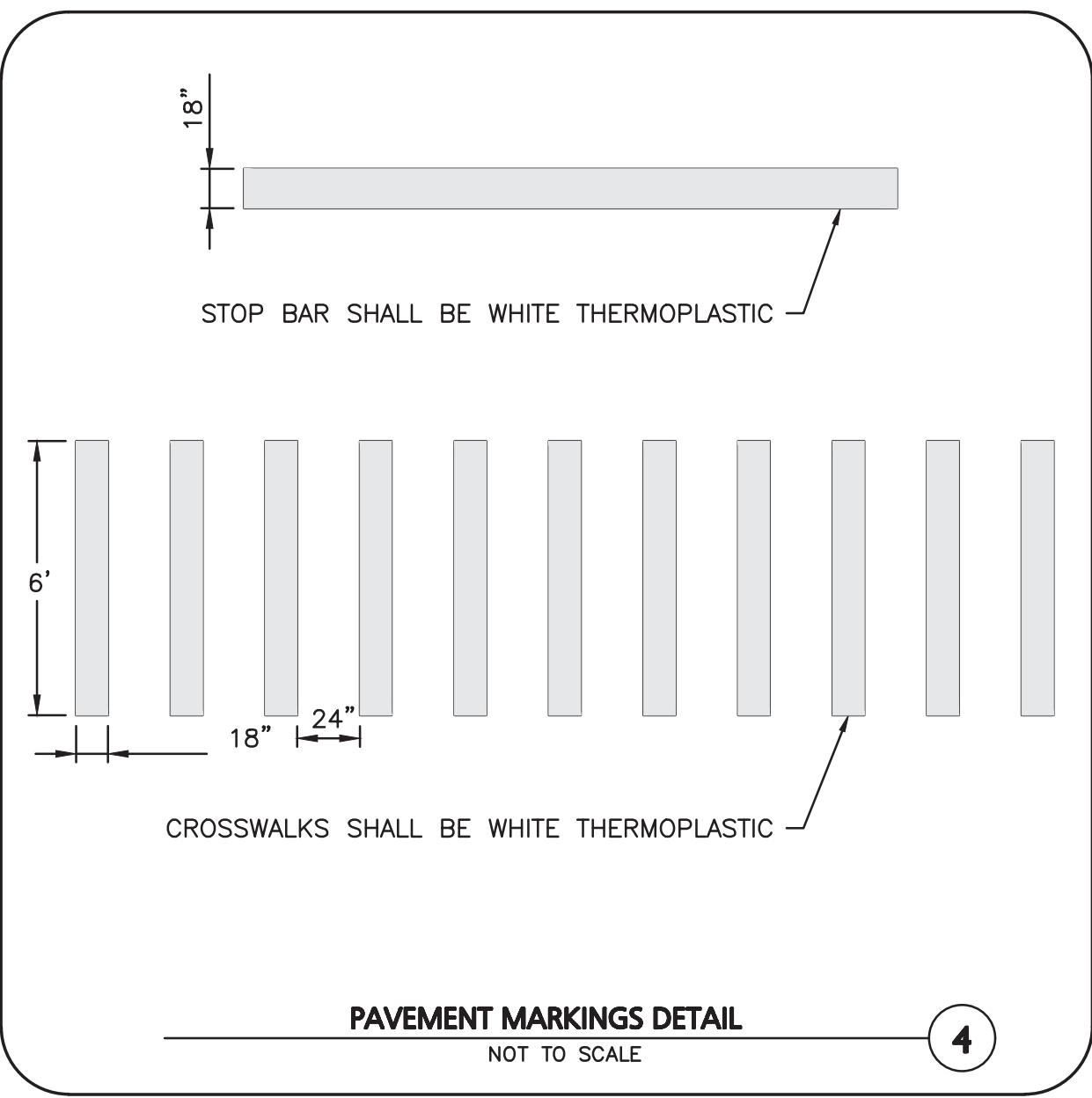
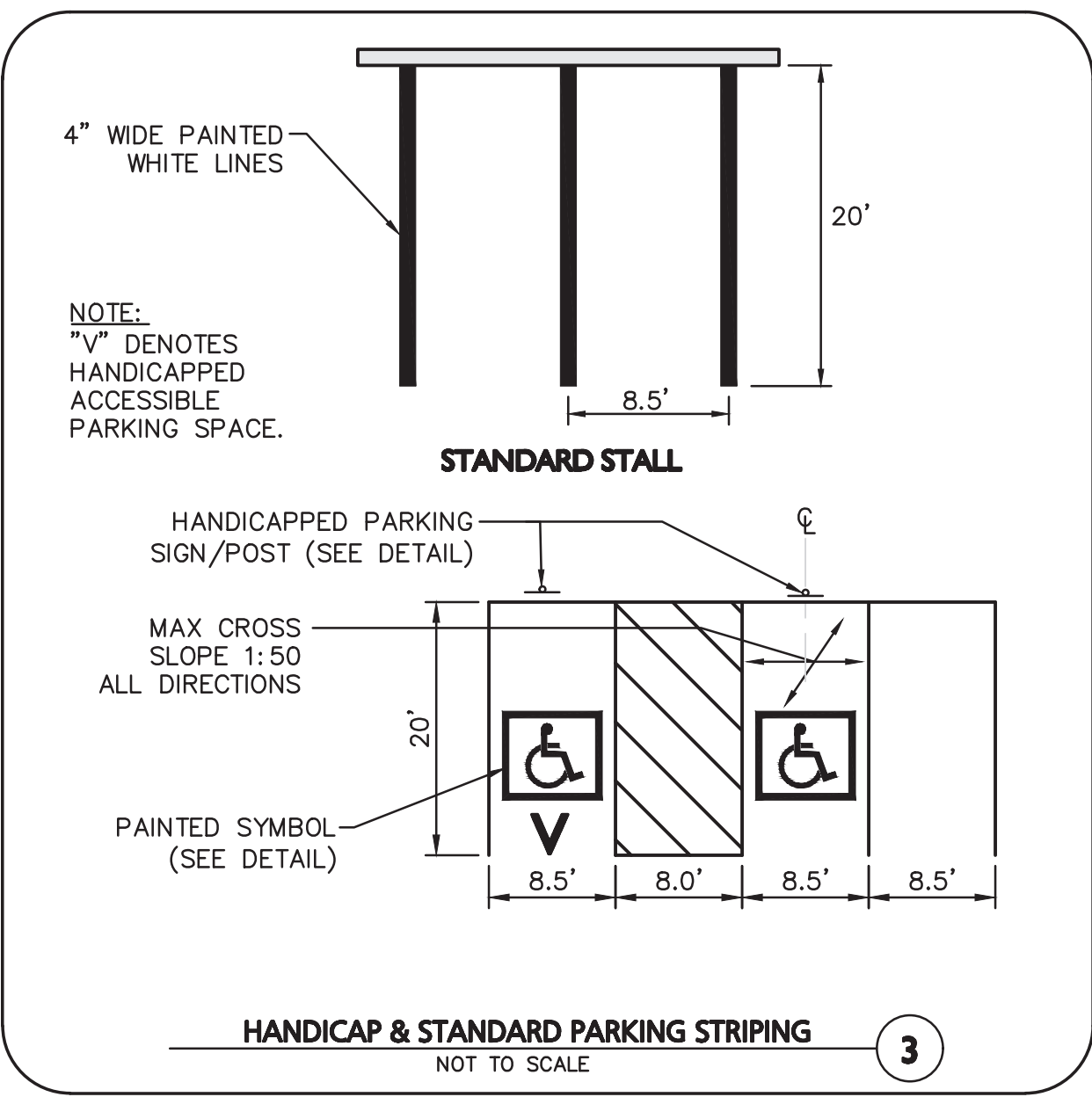
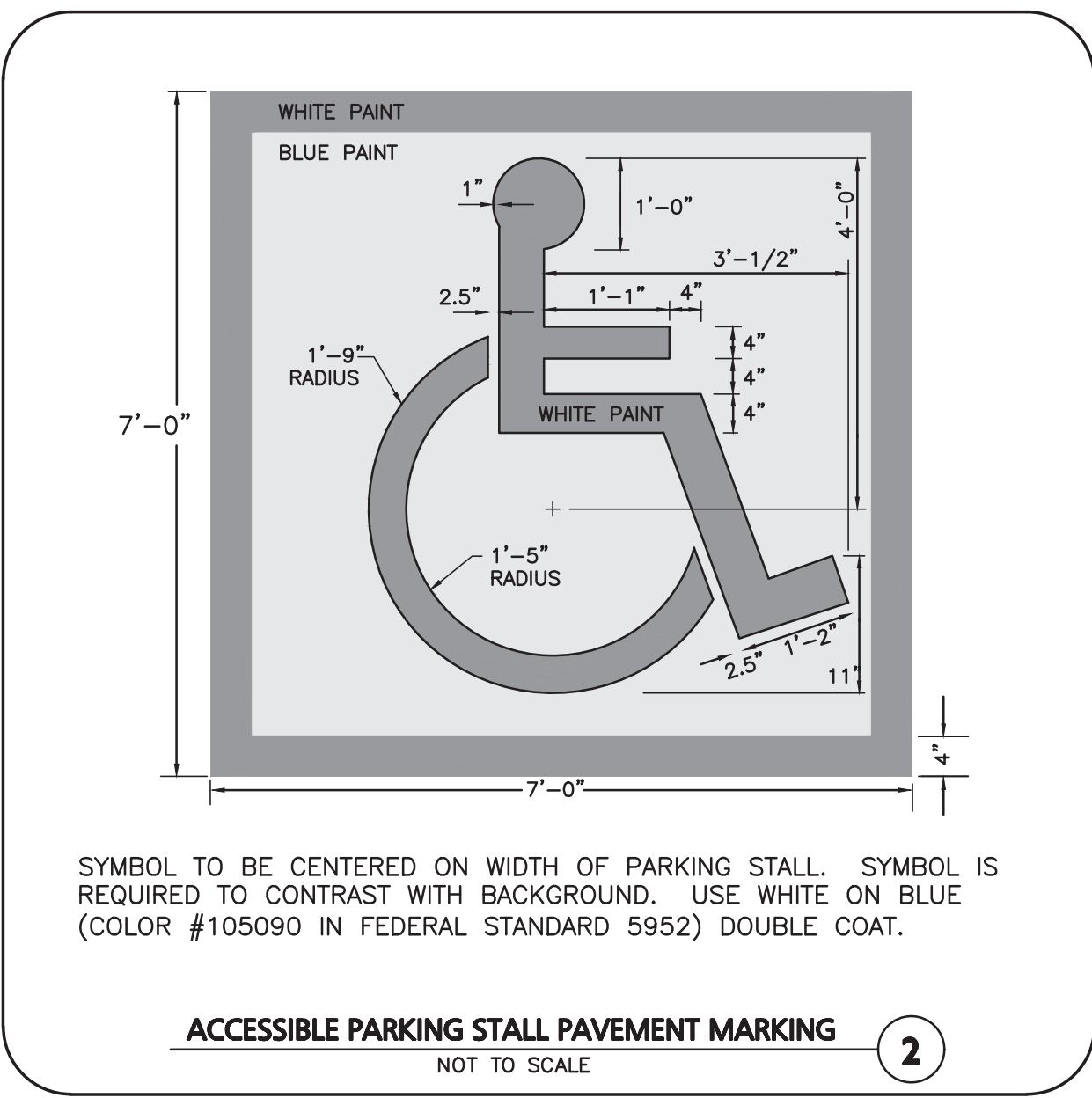
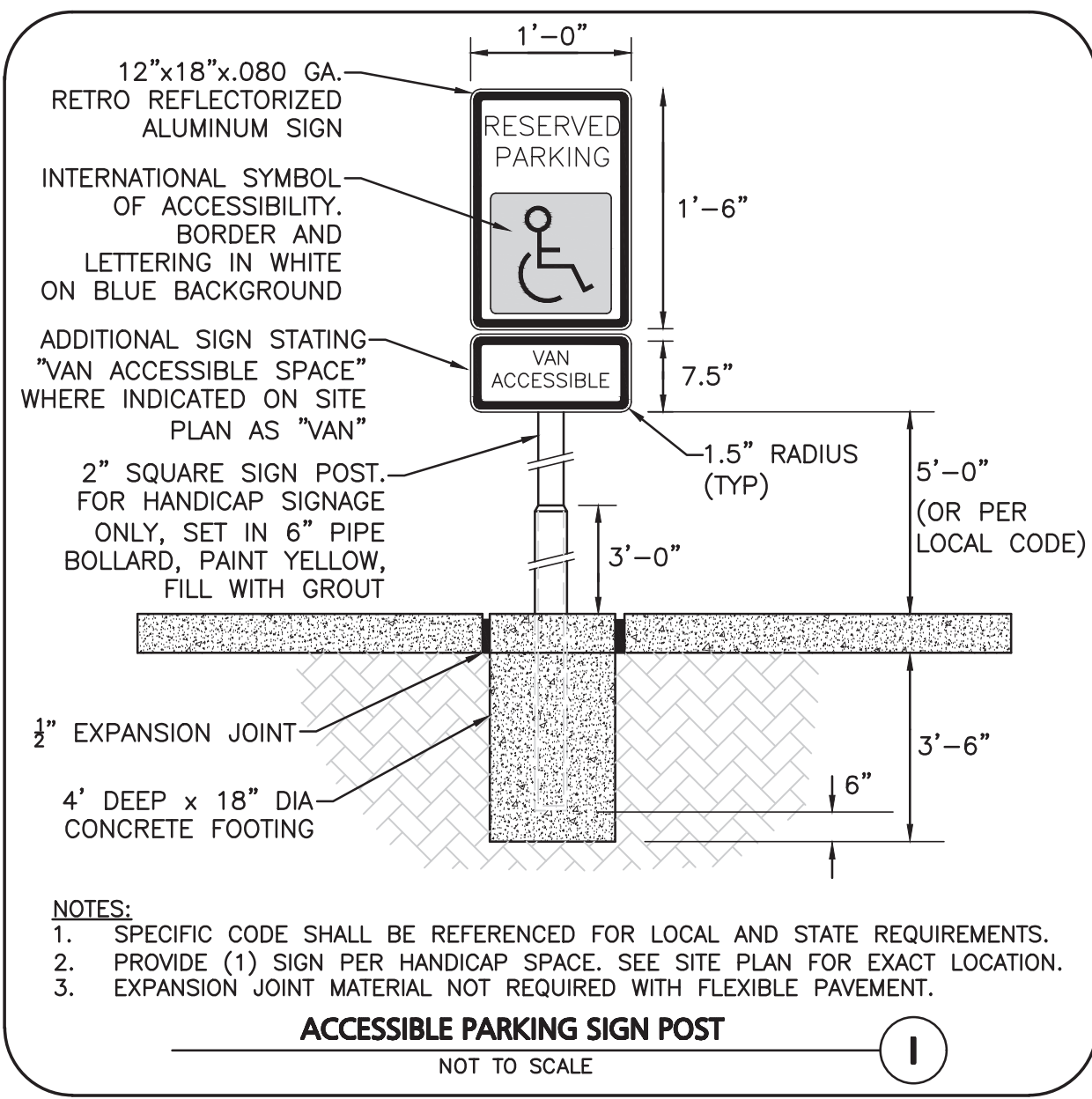
PREPARED BY:

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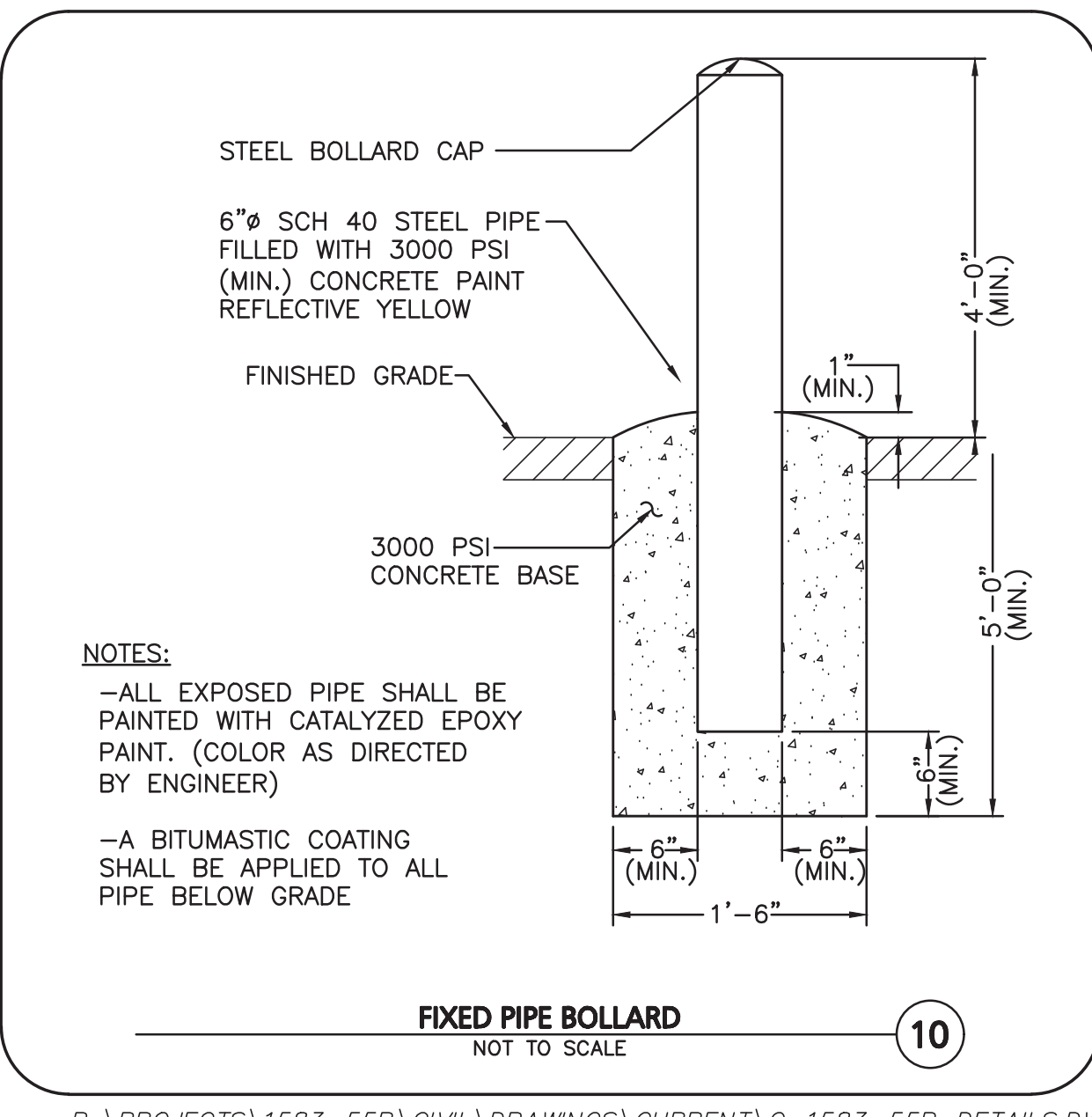
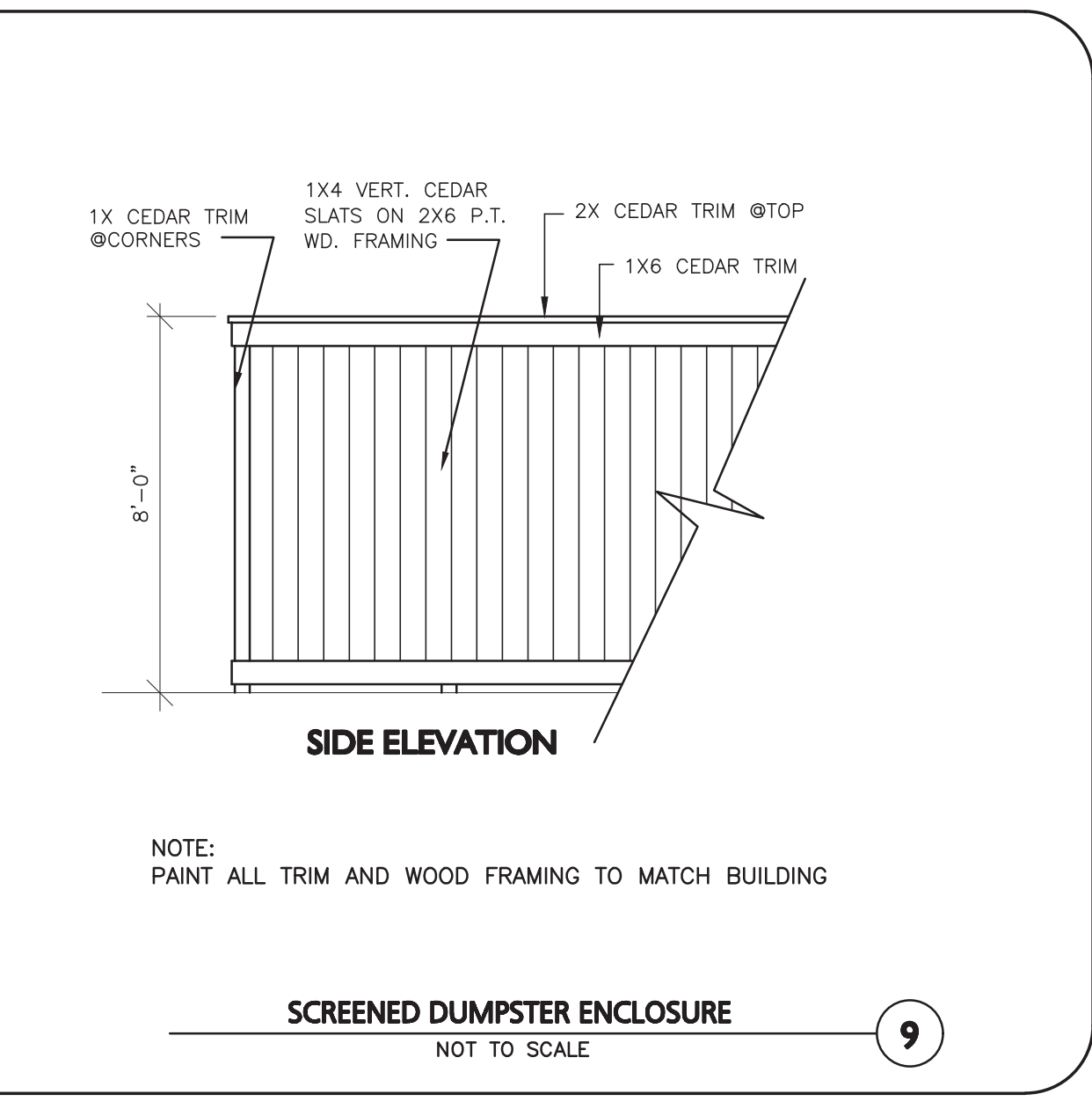
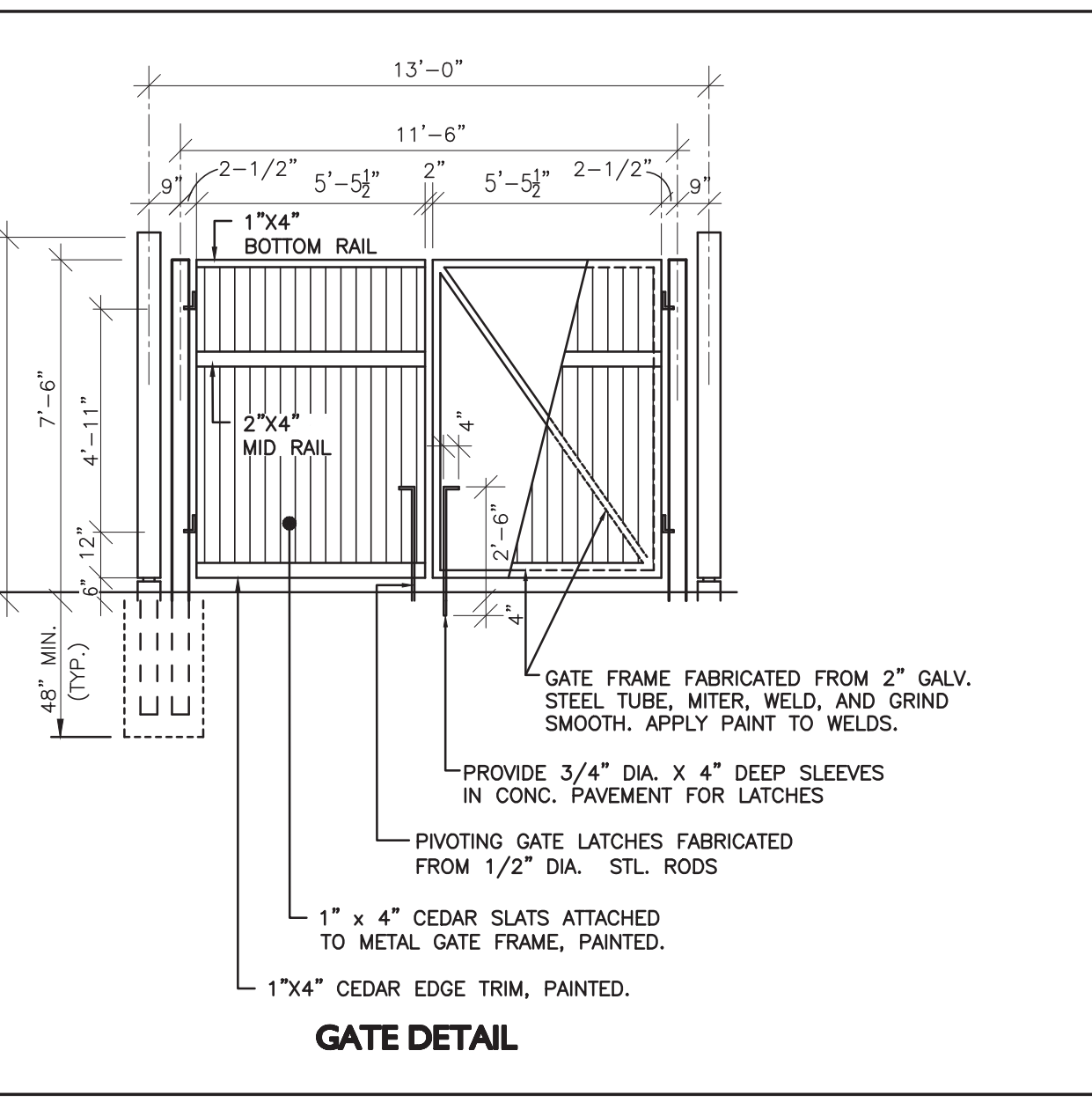
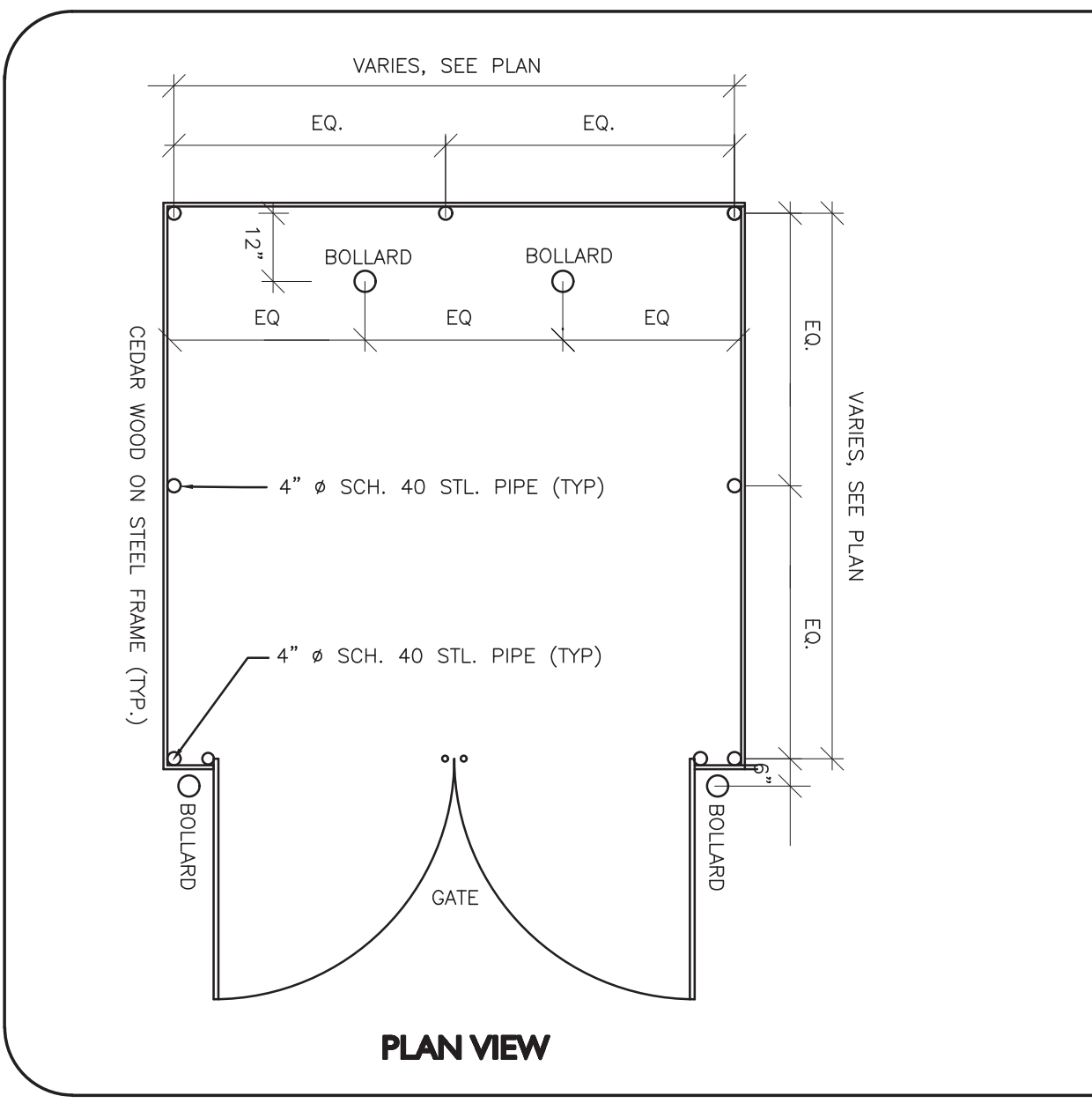
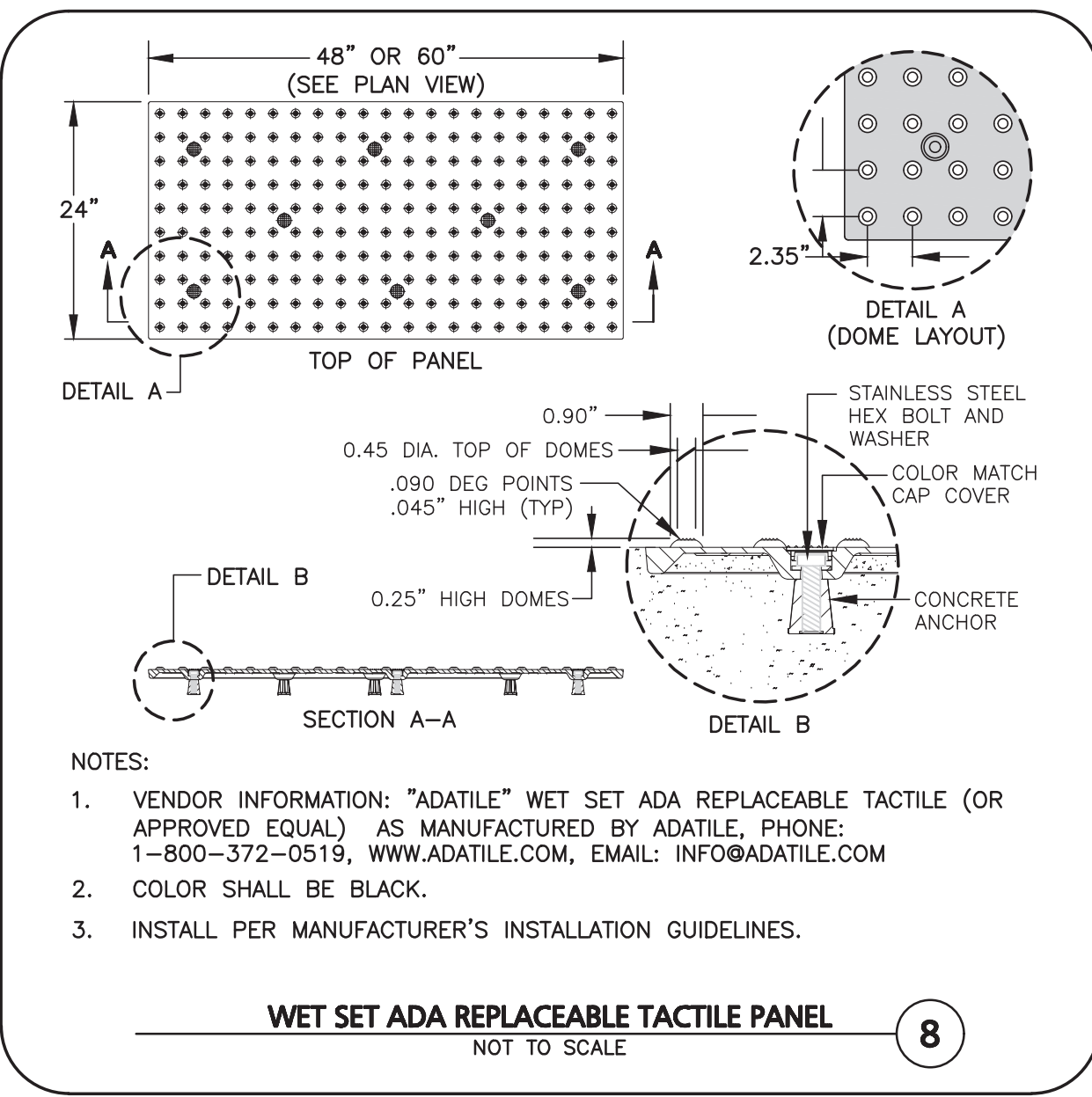
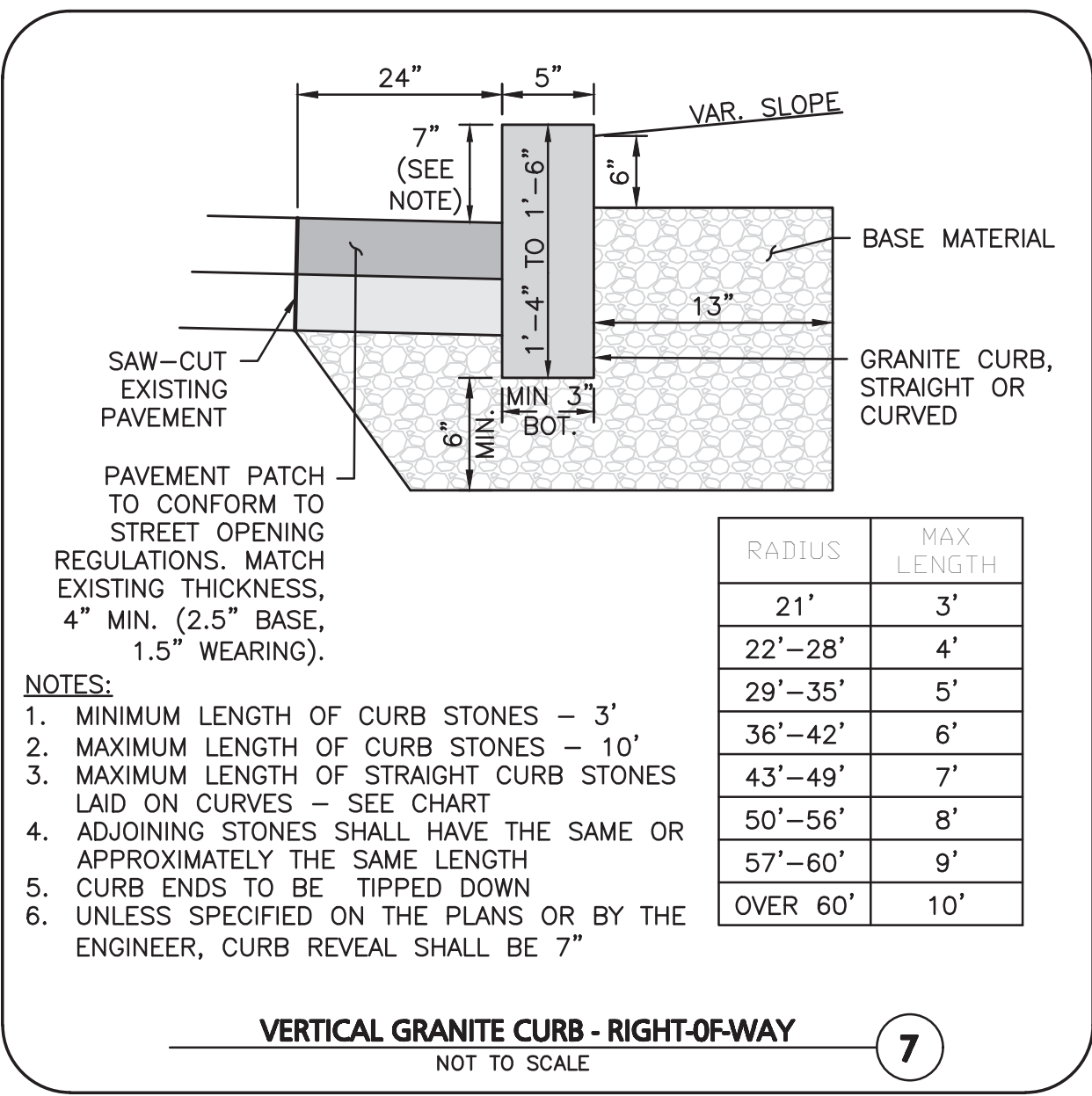
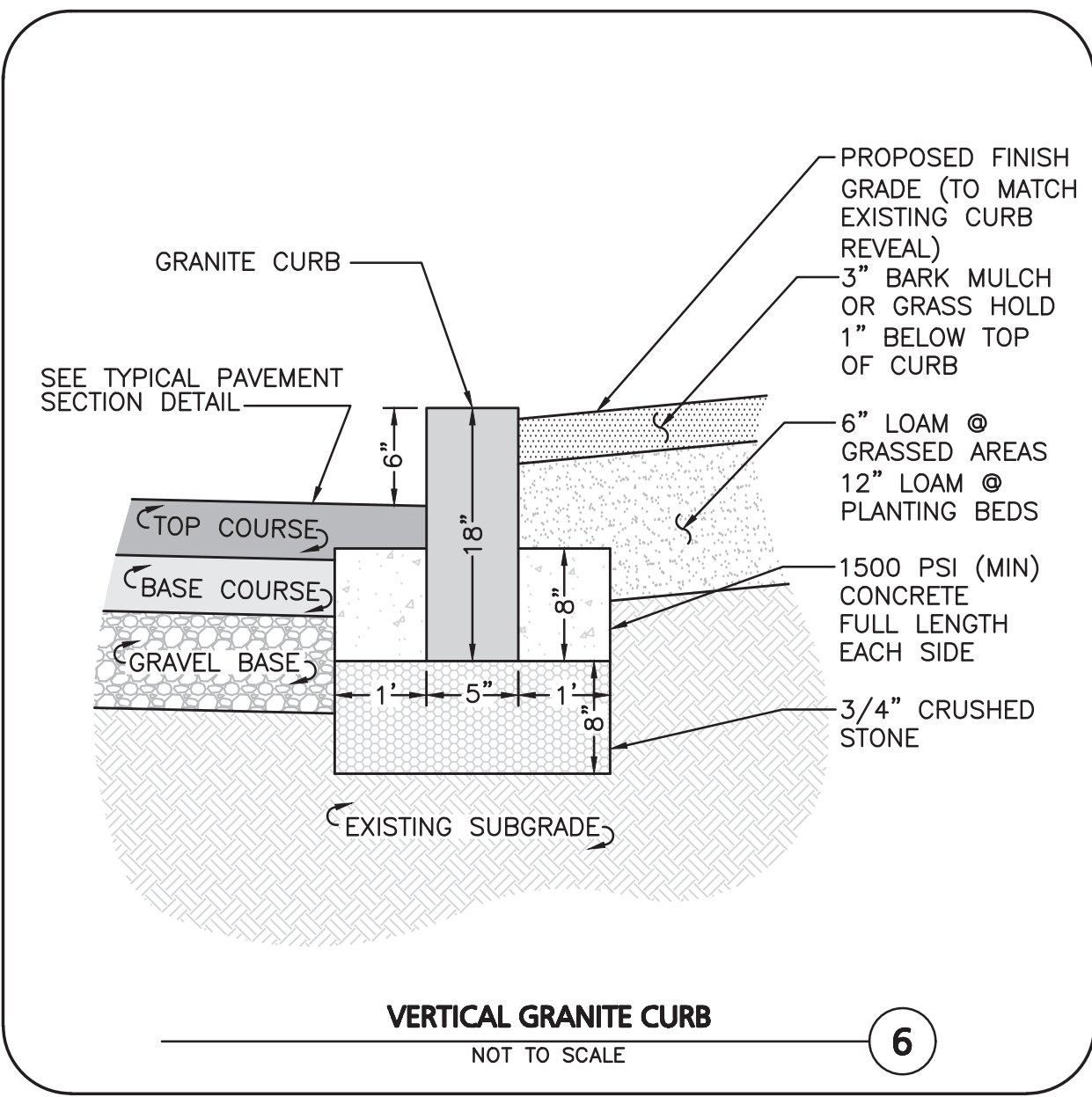
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DRAWING TITLE: **DETAILS** SHEET No. **C-501**



MUTCD NUMBER	SIGN	SIZE (MIN)	MOUNTING HEIGHT	DESCRIPTION	RETRO-REFLECTIVE
R1-1	STOP	30"x30"	7' - 0"	WHITE ON RED	YES
R7-8(M) (MODIFIED)	Handicap Sign	12"x24"	7' - 0"	GREEN & BLUE ON WHITE	YES
-	Loading & Deliveries Only	24"x30"	7' - 0"	RED ON WHITE	YES
R1-2	Yield	30" SIDES	7' - 0"	WHITE ON RED	YES
R5-1	Do Not Enter	30"x30"	7' - 0"	RED ON WHITE	YES
R3-8d	Right Turn Only	30"x30"	7' - 0"	RED ON WHITE	YES

SIGN TABLE
NOT TO SCALE



STATE OF NEW HAMPSHIRE
BRIAN D. JONES
No. 13909
LICENSED PROFESSIONAL ENGINEER
05-26-22
PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

PROJECT NO. 1583-55B DATE: 03-15-2022
SCALE: AS SHOWN DWG. NAME: C-1583-55B
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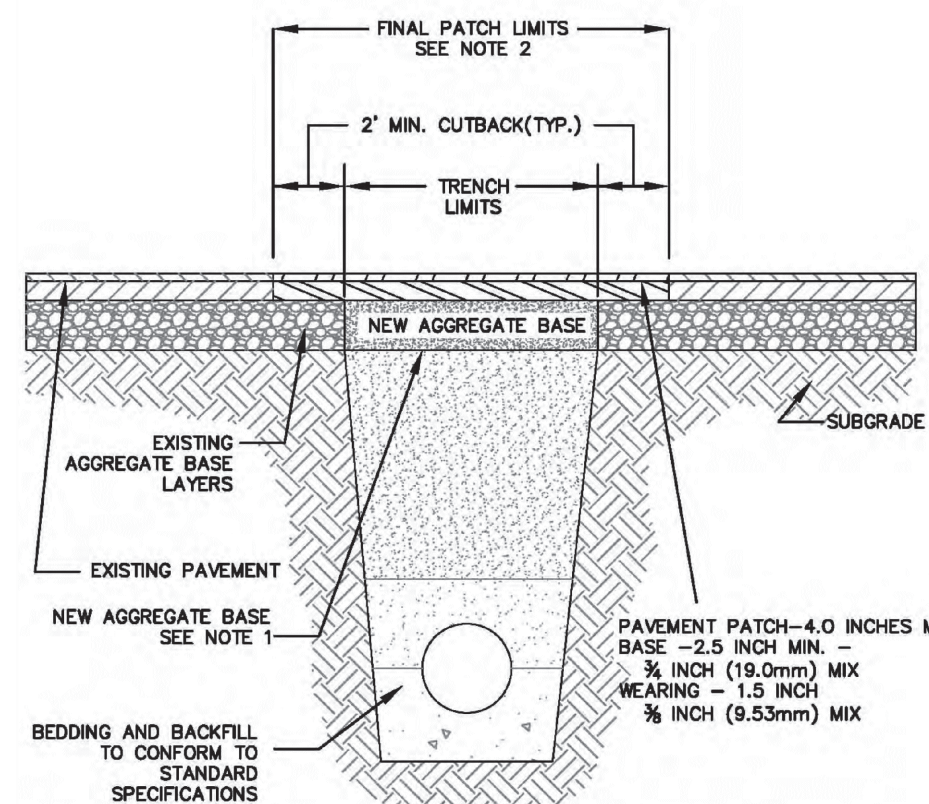
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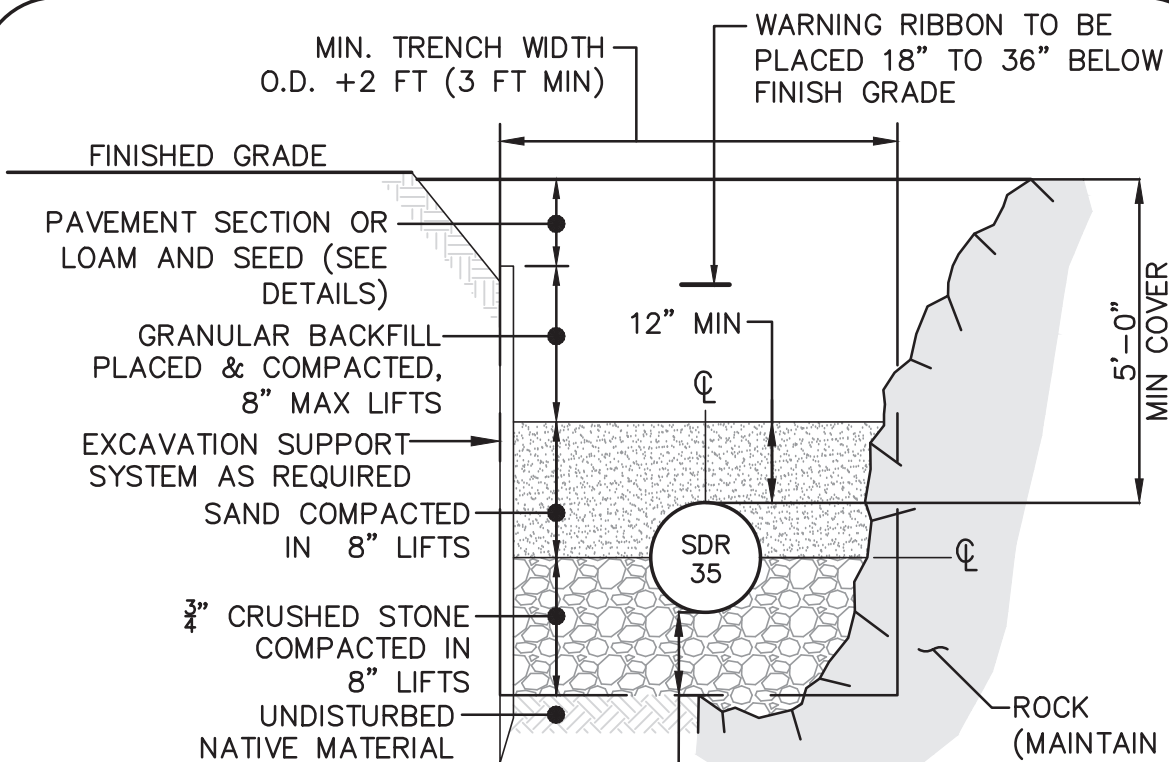
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DRAWING TITLE: DETAILS SHEET No. C-502



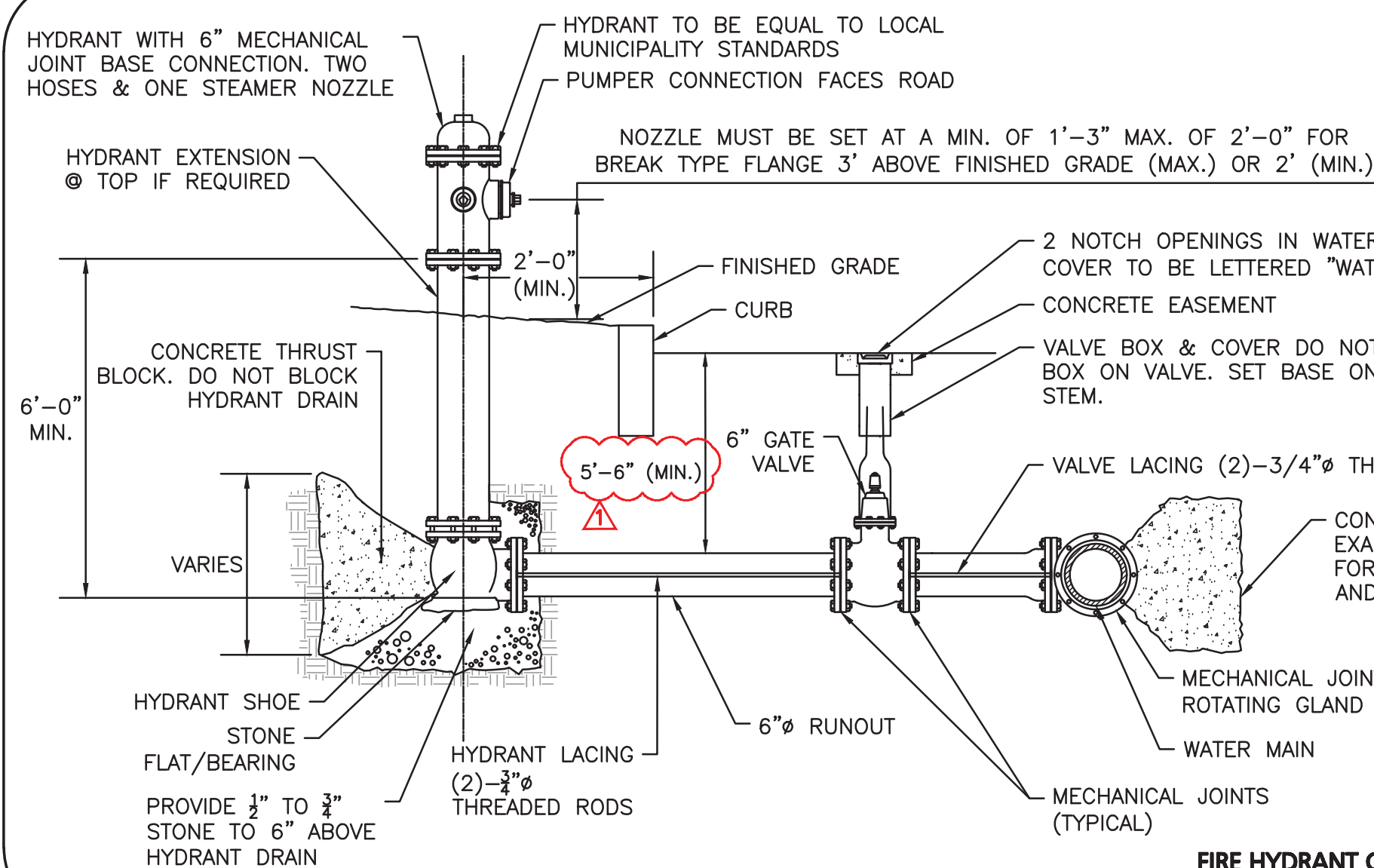
1. AGGREGATE BASE LAYER SHALL BE 12 INCHES GRAVEL TOPPED WITH 9 INCHES CRUSHED GRAVEL. IN LIEU OF THE 21 INCHES OF "GRAVEL" MATERIAL, 18 INCHES OF CRUSHED GRAVEL MAY BE ALLOWED.
2. UNLESS DIRECTED BY THE ENGINEER, FINAL PATCH DIMENSIONS SHALL BE OF SUFFICIENT WIDTH TO ALLOW PLACEMENT OF ASPHALT BY MACHINE METHOD.
3. TRENCH WIDTH SHALL BE A NO LESS THAN 20 INCHES WIDE TO ALLOW ADEQUATE COMPACTION OF TRENCH BACKFILL BY MECHANICAL MEANS.
4. CUTBACK SHALL BE A MINIMUM OF 2 FEET AT TRENCH WALL OVER UNDISTURBED SUBGRADE MATERIAL.

*DETAIL REFERENCES CITY OF MANCHESTER DETAIL "STANDARD TRENCH PATCH, FIGURE 5-4"
TRENCH PATCH WITHIN RIGHT OF WAY
 NOT TO SCALE



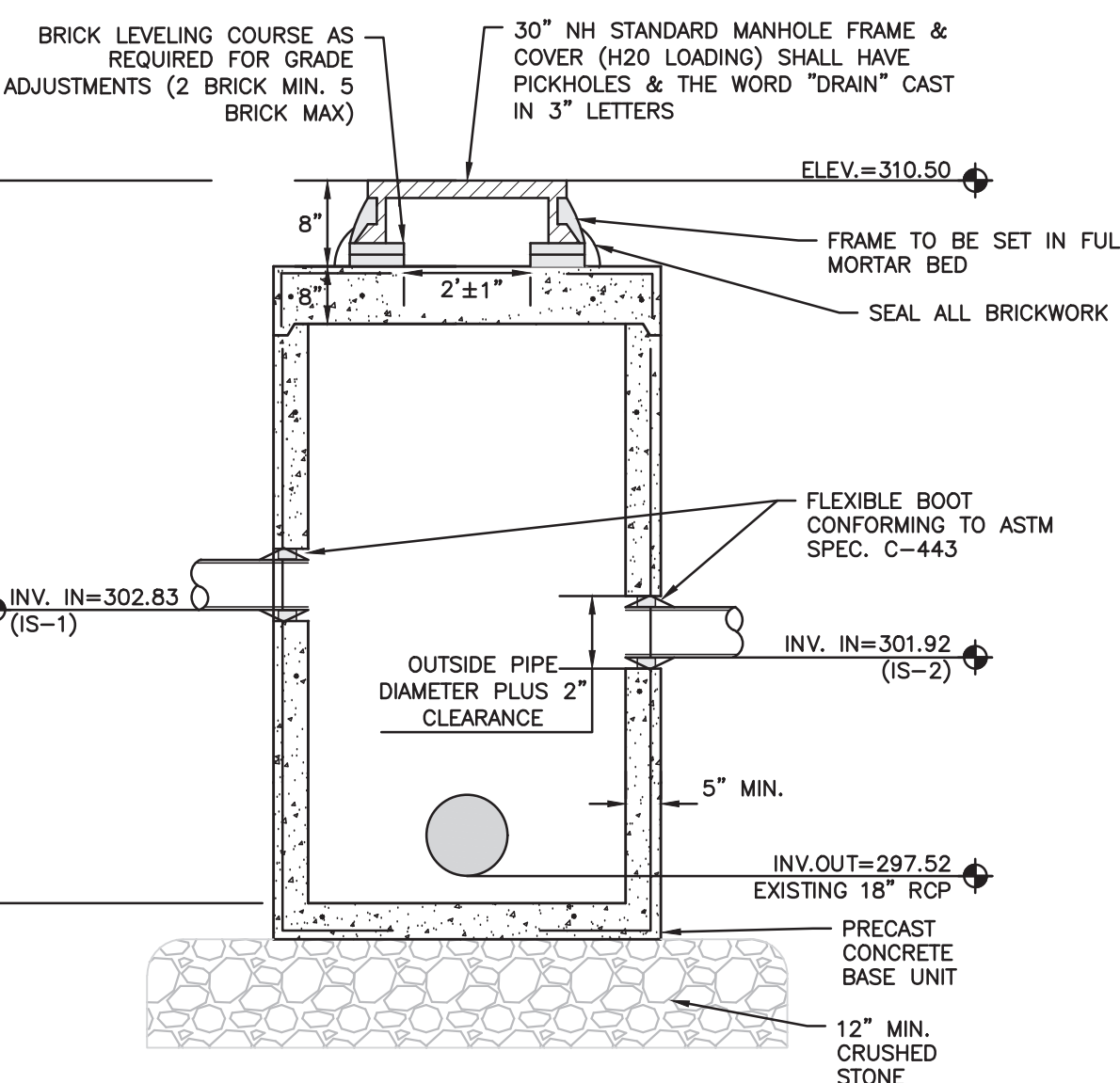
- NOTES:
1. WHERE BACKFILL IS DESIGNATED AS COMPACTED, THIS MEANS 90 TO 95% STANDARD PROCTOR, AASHTO T-99. ALL FILL PLACED BELOW PIPES AND STRUCTURES MUST MEET THIS REQUIREMENT.
 2. FOR ALL TRENCHES WITH A GRADE GREATER THAN 4% AND/OR WHERE GROUNDWATER IS APPARENT, INSTALL CLAY DAMS AROUND THE PIPE AT 100' INTERVALS.
 3. CRUSHED STONE SHALL BE CLEAN, HARD, FREE FROM COATINGS AND THOROUGHLY WASHED WITH A GRADATION BY WEIGHT OF 100% PASSING A 1" SQUARE OPENING, AND 0 TO 5% PASSING A 1/4" SQUARE OPENING.

SEWER TRENCH DETAIL
 NOT TO SCALE



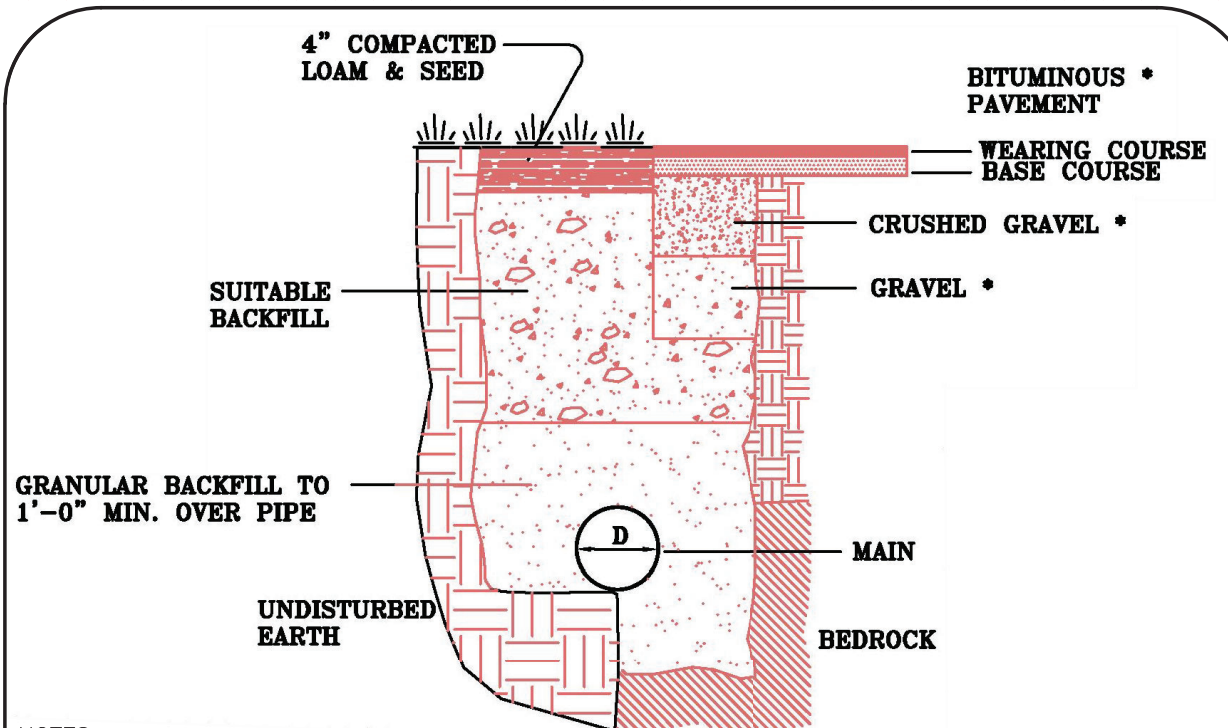
- NOTES:
1. ALL HYDRANTS, VALVES AND LOCAL CONNECTIONS SHALL COMPLY WITH THE SPECIFICATIONS OF THE LOCAL MUNICIPALITY.
 2. PIPING TO BE RESTRAINED WITH RODDING OR RETAINING GLANDS.
 3. GATE VALVE INSTALLATION IS TYPICAL FOR ALL GATES SHOWN ON THE DRAWINGS.

FIRE HYDRANT CONNECTION WITH MECHANICAL JOINT
 NOT TO SCALE



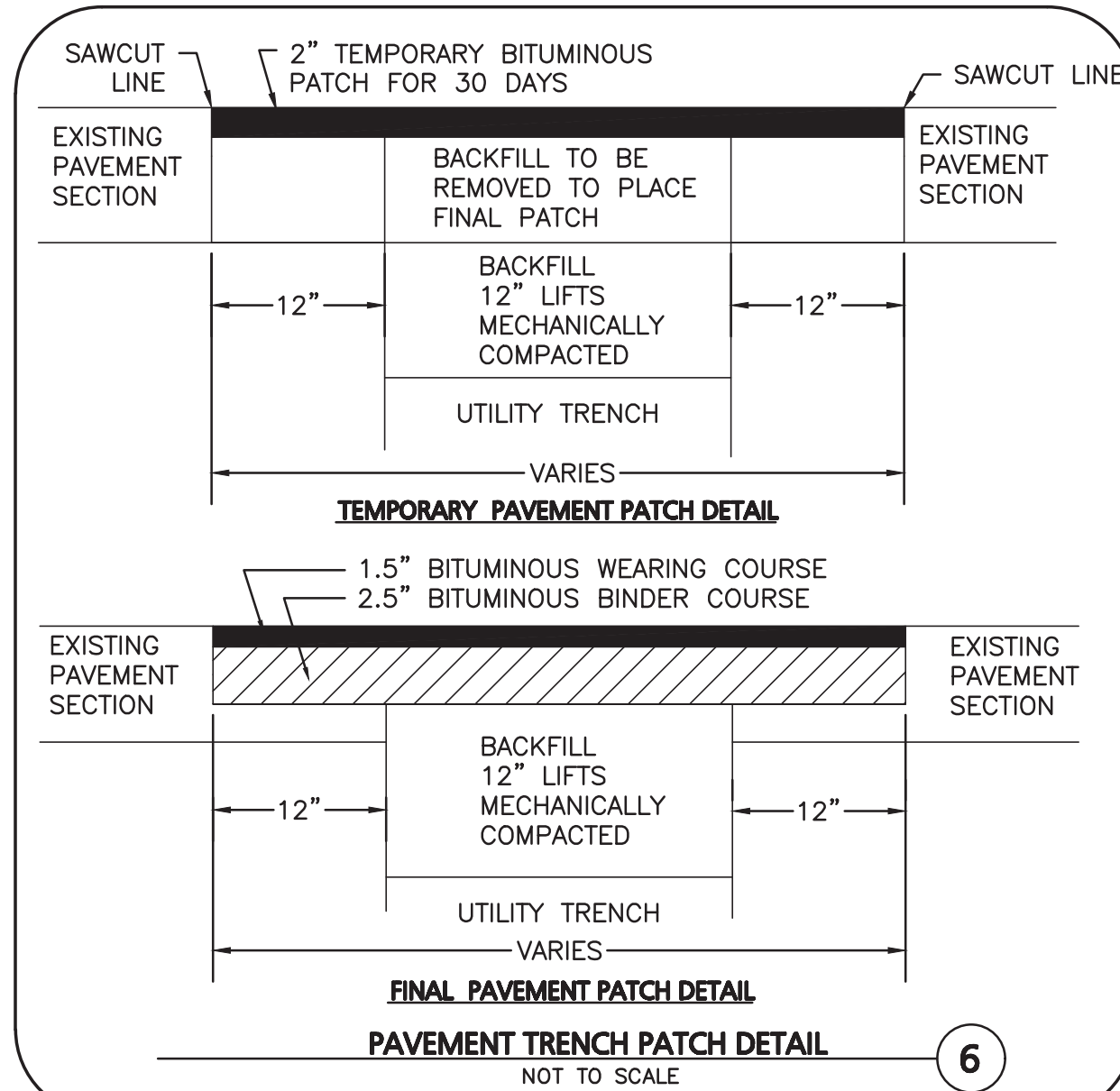
- NOTES:
1. MANHOLE TO BE CAPABLE OF AASHTO H-20 LOADING WITHOUT FAILURE.
 2. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MIN. 10 SQ. IN. STEEL PER VERTICAL FOOT, PLACED ACCORDING TO AASHTO DESIGNATION M-199
 3. BASE SECTION SHALL BE MONOLITHIC
 4. ANY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW CUTTING AND/OR CORING. THE USE OF JACKHAMMERS, HAMMERS, AND CHISELS WILL NOT BE ALLOWED.

EXISTING CB CONVERTED TO DMH
 NOT TO SCALE

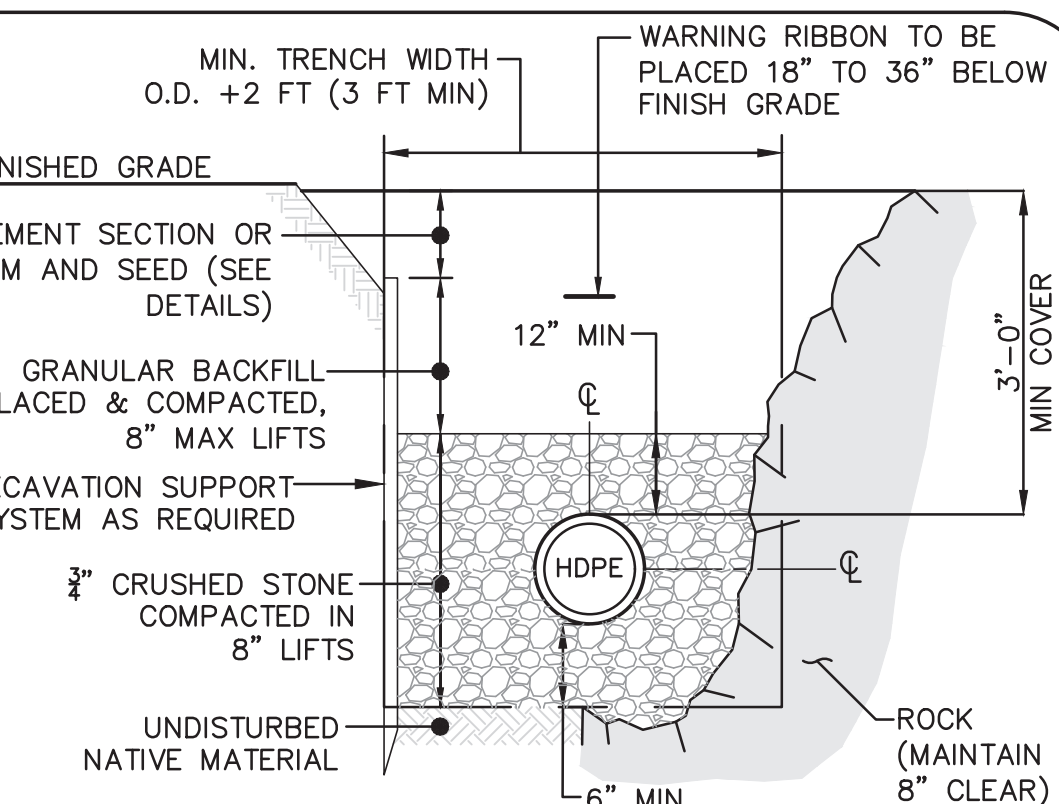


- NOTES:
1. DETAIL REFERENCES CITY OF MANCHESTER WATER WORKS DETAIL "SD1, TYPICAL TRENCH DETAIL, REVISED AS OF 2/5/15.
 2. 5'-6" MINIMUM PIPE DEPTH.
 3. PIPE SHALL HAVE 1'-0" MINIMUM CLEARANCE TO BEDROCK.
 4. TRENCH WIDTH FOR ROCK EXCAVATION = DIAMETER + 2'-0".
 5. PIPE WITHIN THE RIGHT-OF-WAY SHALL BE 8' NORTH OR WEST OF THE CENTERLINE.
 6. PIPE SHALL BE POLY WRAPPED IN ACCORDANCE WITH AWWA SPECIFICATION C105.

MANCHESTER WATER WORKS TRENCH DETAIL
 NOT TO SCALE

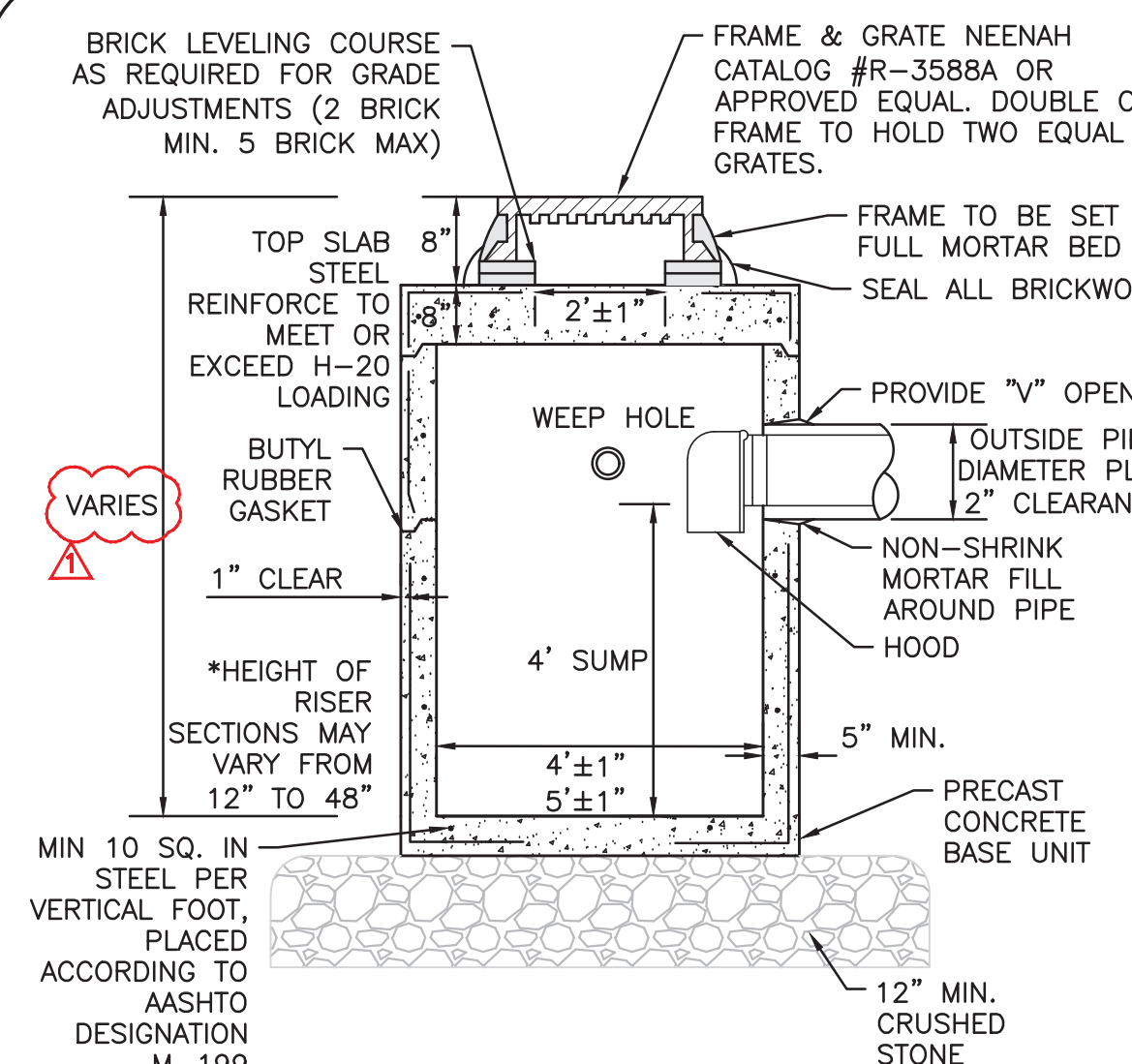


TEMPORARY PAVEMENT PATCH DETAIL
FINAL PAVEMENT PATCH DETAIL
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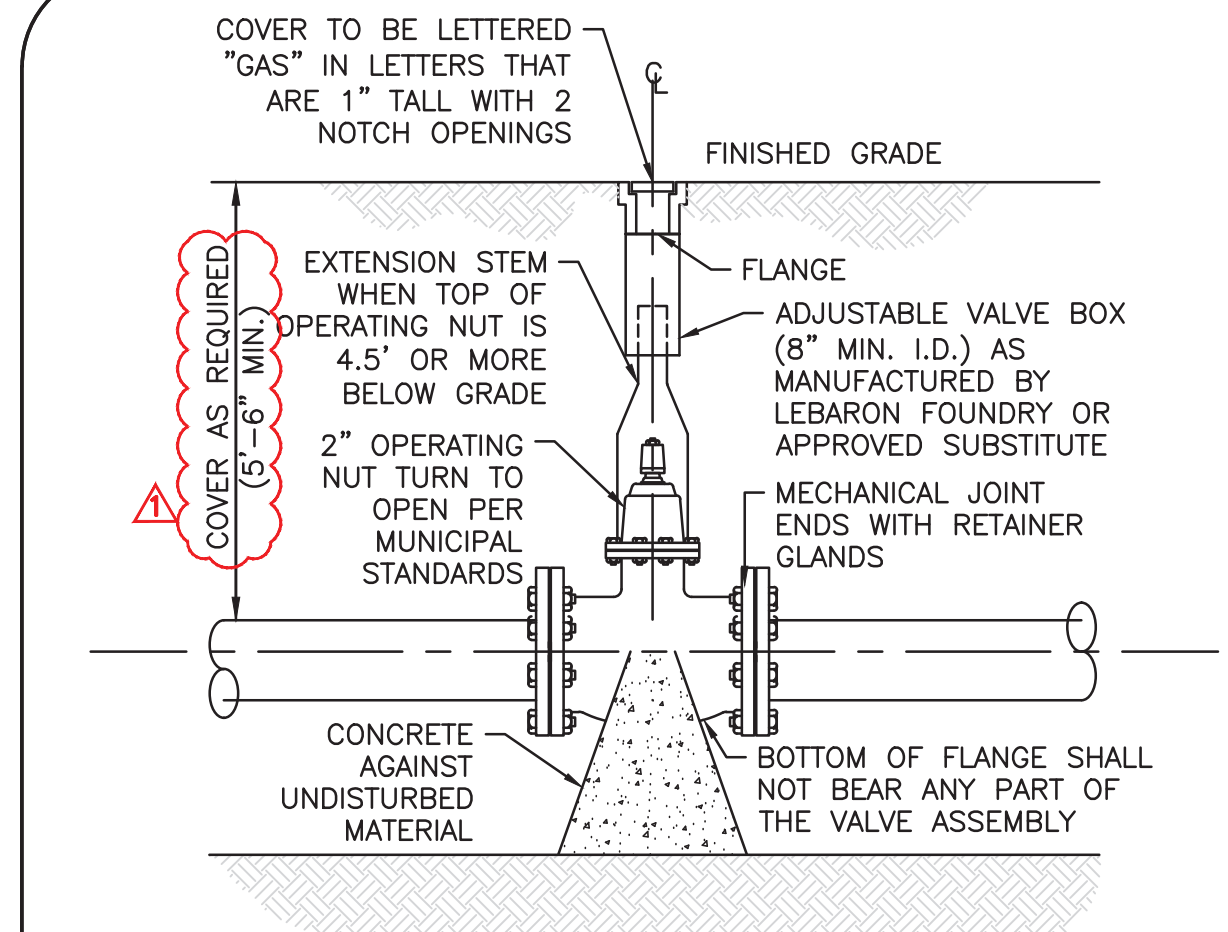


- NOTES:
1. WHERE BACKFILL IS DESIGNATED AS COMPACTED, THIS MEANS 90 TO 95% STANDARD PROCTOR, AASHTO T-99. ALL FILL PLACED BELOW PIPES AND STRUCTURES MUST MEET THIS REQUIREMENT.
 2. FOR ALL TRENCHES WITH A GRADE GREATER THAN 4% AND/OR WHERE GROUNDWATER IS APPARENT, INSTALL CLAY DAMS AROUND THE PIPE AT 100' INTERVALS.
 3. CRUSHED STONE SHALL BE CLEAN, HARD, FREE FROM COATINGS AND THOROUGHLY WASHED WITH A GRADATION BY WEIGHT OF 100% PASSING A 1" SQUARE OPENING, AND 0 TO 5% PASSING A 1/4" SQUARE OPENING.
 4. ALL DRAIN PIPE SHALL BE DUAL WALLED HDPE PIPE WITH SMOOTH INTERIOR, SUCH AS ADS N-12 OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.

DRAIN TRENCH DETAIL
 NOT TO SCALE

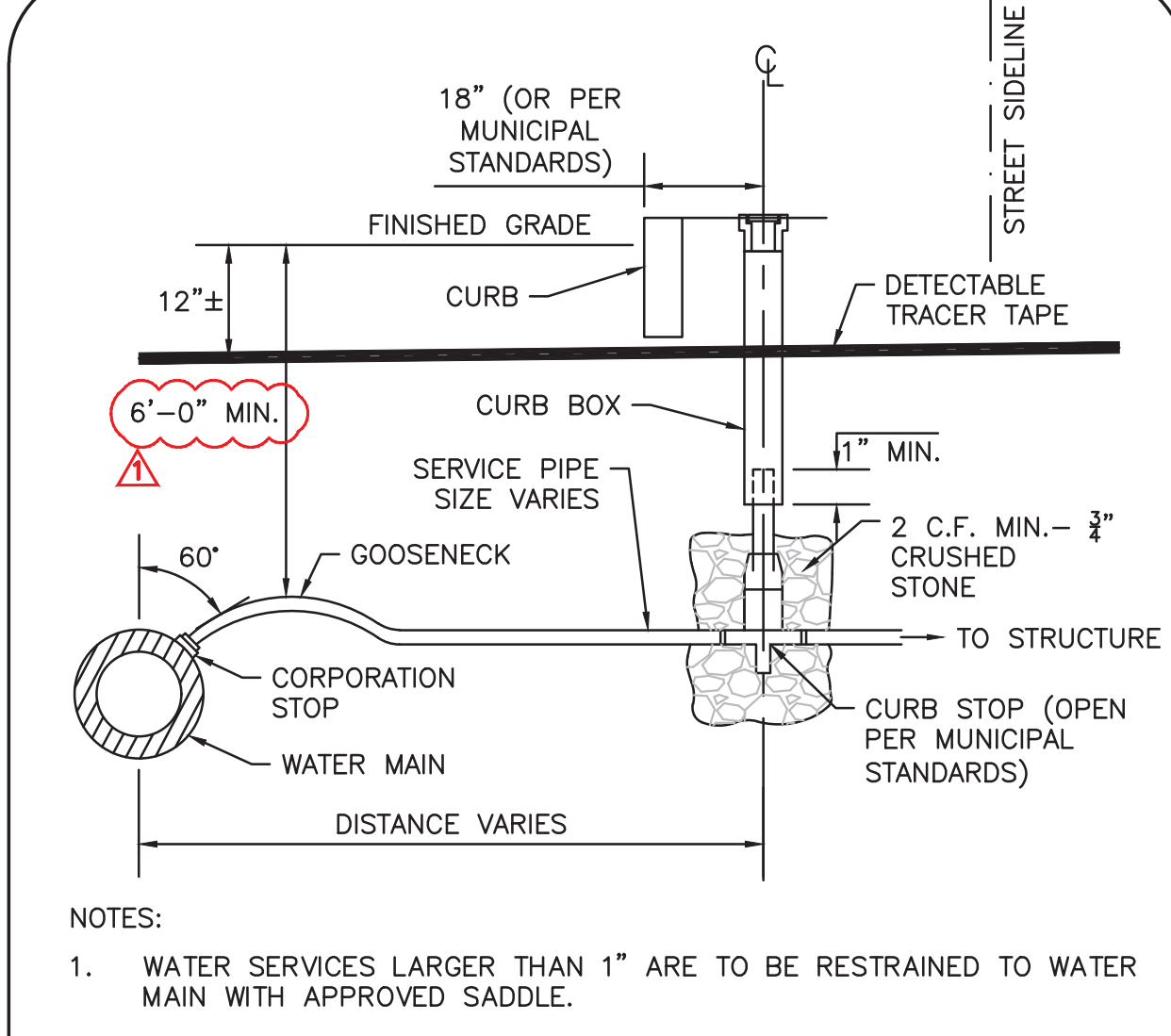


CATCH BASIN
 NOT TO SCALE

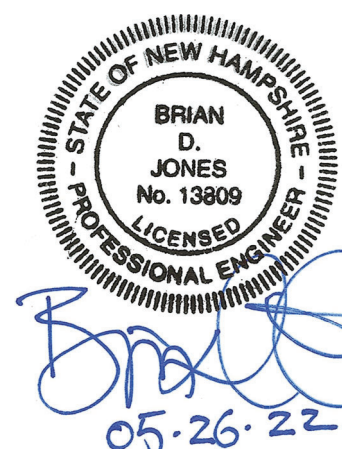


- NOTE:
1. CONTRACTOR MAY USE ANCHOR TEES AT HIS OPTION.
 2. HYDRANTS AND VALVES TO OPERATE PER MUNICIPAL STANDARDS

GATE VALVE
 NOT TO SCALE



TYPICAL WATER SERVICE CONNECTION
 NOT TO SCALE



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.
 05-26-22

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 DRAFTED BY: BDJ CHECKED BY: BDJ

ALLEN & MAJOR ASSOCIATES, INC.
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 environmental consulting • landscape architecture
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 MANCHESTER, NH 03101
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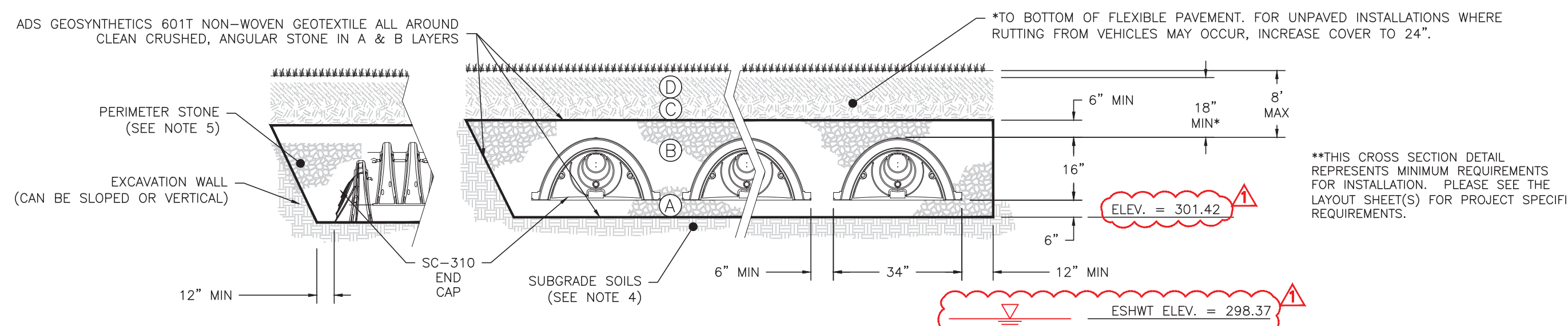
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DRAWING TITLE: DETAILS SHEET No. C-503

ACCEPTABLE FILL MATERIALS: STORMTECH SC-310 CHAMBER SYSTEMS

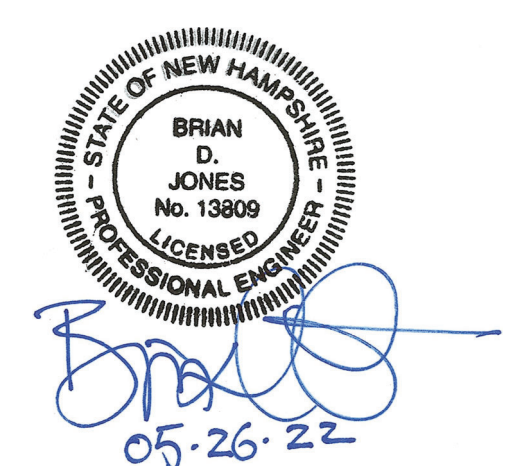
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145' A-1, A-2-4, A-3 OR AASHTO M43' 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43' 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43' 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



- NOTES:**
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLETHYLENE) OR ASTM F2418-16a (POLYPROPYLENE), "STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - SC-310 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - THE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION,
 - a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2922 SHALL BE GREATER THAN OR EQUAL TO 400 LBS./IN./IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

TYPICAL STORMTECH SC-310 DETAIL & NOTES 1
NOT TO SCALE



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	05-26-22	REVS PER CITY DEPT. COMMENTS

APPLICANT/OWNER:
LINEAR RETAIL PROPERTIES, LLC
 5 BURLINGTON WOODS DR. S. 107
 BURLINGTON, MA 01803

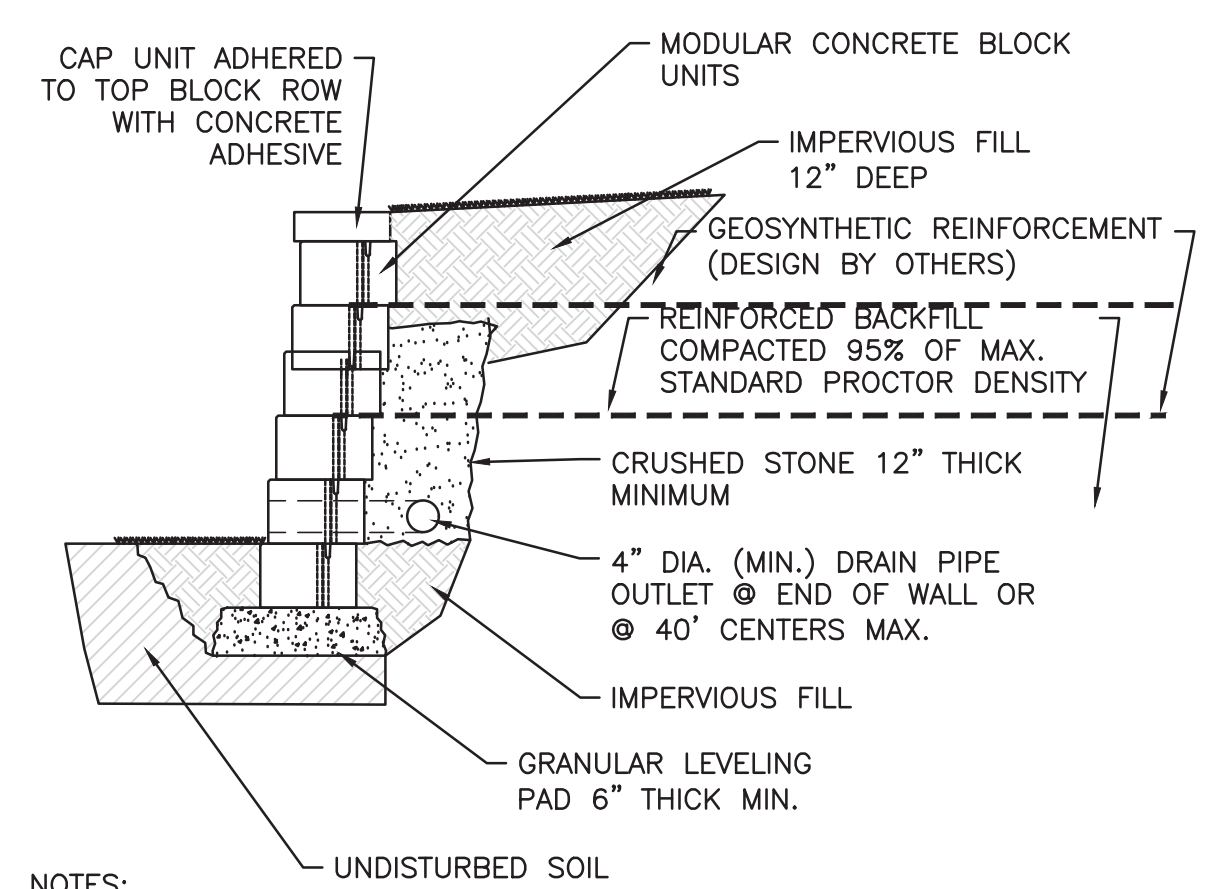
PROJECT:
525 HOOKSETT ROAD
AKA DANIEL WEBSTER HWY.
 MAP-LOT: 916-41A
 MANCHESTER, NH 03104

PROJECT NO.	1583-55B	DATE:	03-15-2022
SCALE:	AS SHOWN	DWG. NAME:	C-1583-55B
DRAFTED BY:	BDJ	CHECKED BY:	BDJ



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DRAWING TITLE: **DETAILS** SHEET No. **C-504**



- NOTES:**
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE STRUCTURAL DESIGN OF THE MODULAR BLOCK RETAINING WALLS.
 - WALLS THREE FEET OR GREATER IN HEIGHT SHALL BE DESIGNED BY A NEW HAMPSHIRE REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.
 - STAMPED WALLS DESIGNS SHALL BE PROVIDED FOR REVIEW AND APPROVAL BY THE CITY OF MANCHESTER BUILDING DEPARTMENT.
 - WALL DESIGNS AND CALCULATIONS SHALL BE PROVIDED TO THE PROJECT GEOTECHNICAL ENGINEER TO CONFIRM THAT GEOTECHNICAL RECOMMENDATIONS HAVE BEEN PROPERLY INCLUDED.
 - WALL DESIGNS AND CALCULATIONS SHALL BE PROVIDED TO THE PROJECT CIVIL ENGINEER TO CONFIRM ELEVATIONS AND ALIGNMENT HAVE BEEN PROPERLY INCLUDED.
 - SMALL BLOCK UNITS SHALL BE THE SQUARE FOOT PRODUCT BY VERSA-LOK OR APPROVED EQUAL.
 - WALL HEIGHT WITHOUT REINFORCEMENT SHALL BE LIMITED TO 3' EXPOSED FACE.
 - INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

TYPICAL "SMALL BLOCK" RETAINING WALL 5
NOT TO SCALE

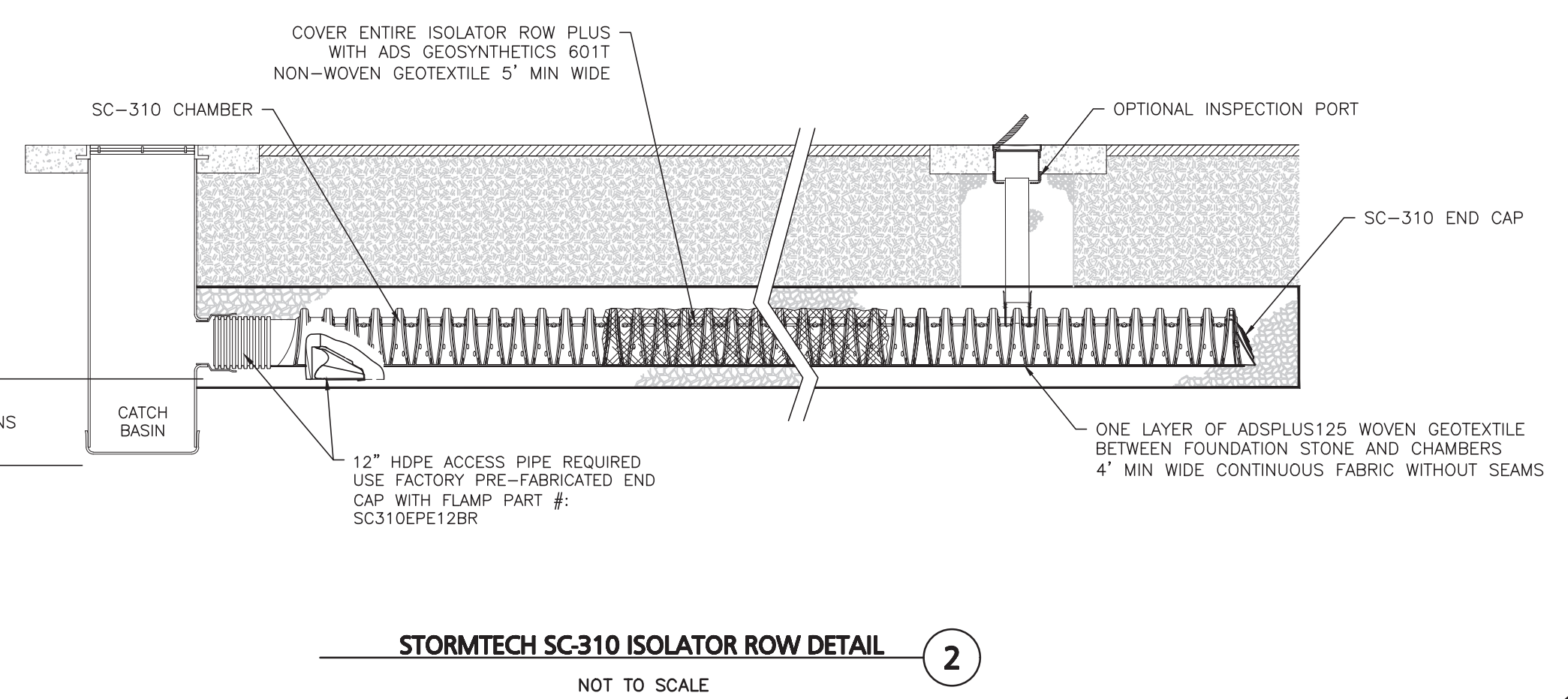
INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT**
 A. INSPECTION PORTS (IF PRESENT)
 A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 B. ALL ISOLATOR PLUS ROWS
 B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
 B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
 i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS**
 A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE IS PREFERRED
 B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.**
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.**

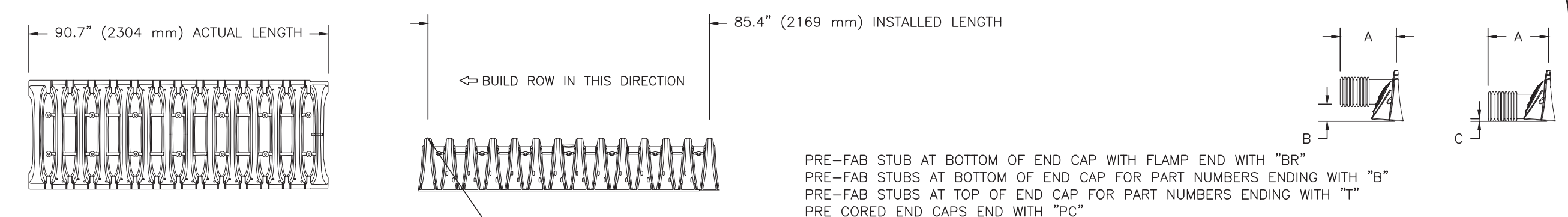
NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

STORMTECH CHAMBERS INSPECTION AND MAINTENANCE 4
NOT TO SCALE



STORMTECH SC-310 ISOLATOR ROW DETAIL 2
NOT TO SCALE



PART #	STUB	A	B	C
SC310EPE06T / SC310EPE06TPC	6" (150 mm)	9.6" (244 mm)	5.8" (147 mm)	---
SC310EPE06B / SC310EPE06BPC	---	---	---	0.5" (13 mm)
SC310EPE08T / SC310EPE08TPC	8" (200 mm)	11.9" (302 mm)	3.5" (89 mm)	---
SC310EPE08B / SC310EPE08BPC	---	---	---	0.6" (15 mm)
SC310EPE10T / SC310EPE10TPC	10" (250 mm)	12.7" (323 mm)	1.4" (36 mm)	---
SC310EPE10B / SC310EPE10BPC	---	---	---	0.7" (18 mm)
SC310EPE12B	12" (300 mm)	13.5" (343 mm)	---	0.9" (23 mm)
SC310EPE12BR	12" (300 mm)	13.5" (343 mm)	---	0.9" (23 mm)

ALL STUBS, EXCEPT FOR THE SC310EPE12B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

* FOR THE SC310EPE12B THE 12" (300 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 0.25" (6 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL

NOMINAL CHAMBER SPECIFICATIONS
 SIZE (W X H X INSTALLED LENGTH) 34.0" X 16.0" X 85.4" (864 mm X 406 mm X 2169 mm)
 CHAMBER STORAGE 14.7 CUBIC FEET (0.42 m³)
 MINIMUM INSTALLED STORAGE* 31.0 CUBIC FEET (0.88 m³)
 WEIGHT 35.0 lbs. (16.8 kg)

*ASSUMES 6" (152 mm) ABOVE, BELOW, AND BETWEEN CHAMBERS

STORMTECH SC-310 TECHNICAL SPECIFICATIONS 3
NOT TO SCALE

NOTES

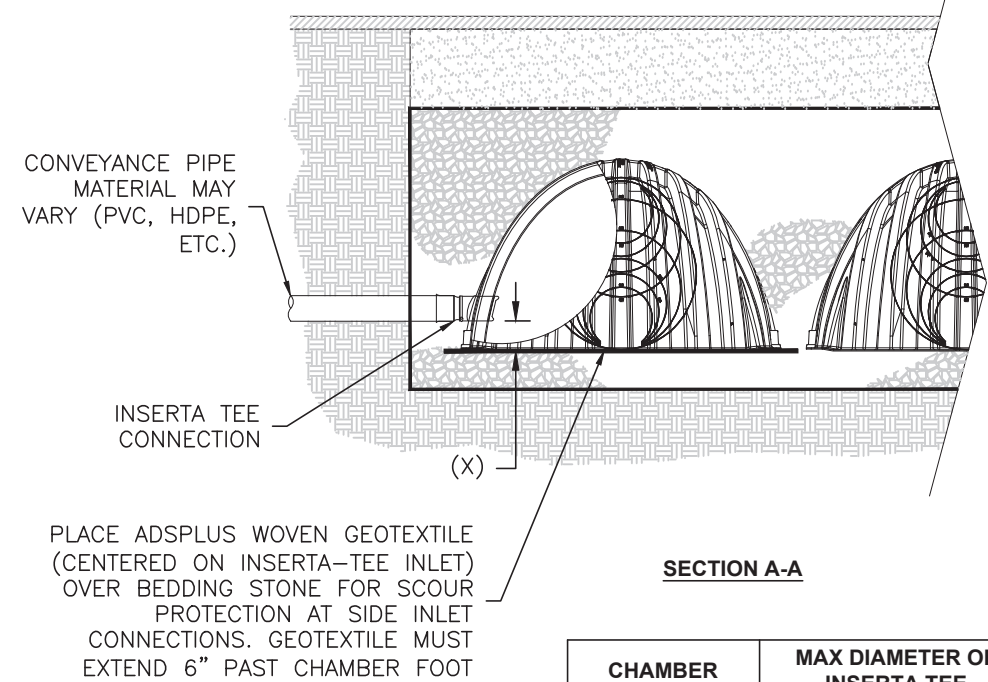
- CONTRACTOR TO SUBMIT SHOP DRAWINGS TO SITE ENGINEER FOR REVIEW AND APPROVAL.
- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING CHAMBERS.
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- THE USE OF EQUIPMENT OVER MC-3500 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER Tired LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- FULL 36" OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

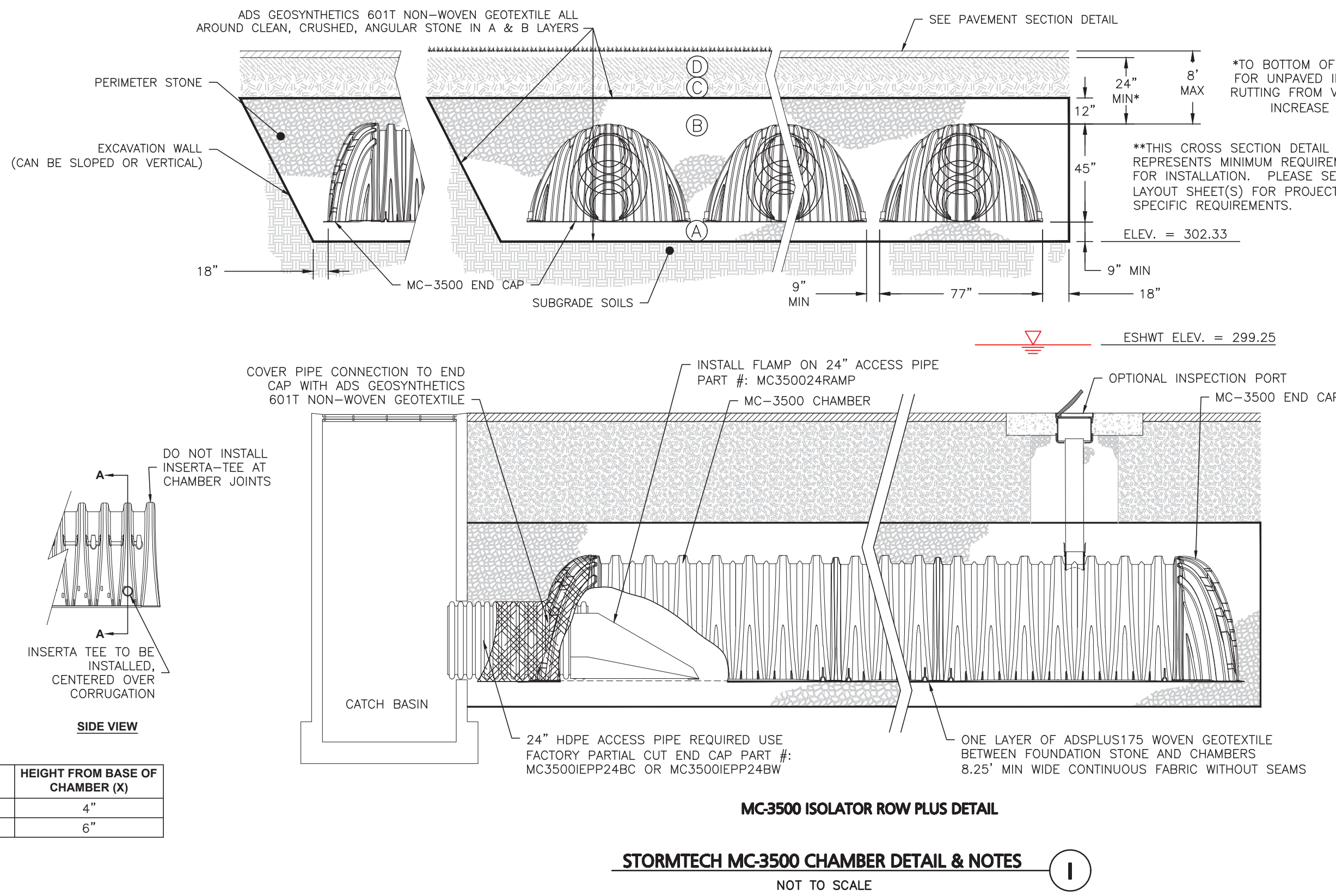


NOTE: PART NUMBERS WILL VARY BASED ON INLET PIPE MATERIALS. CONTACT STORMTECH FOR MORE INFORMATION.

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

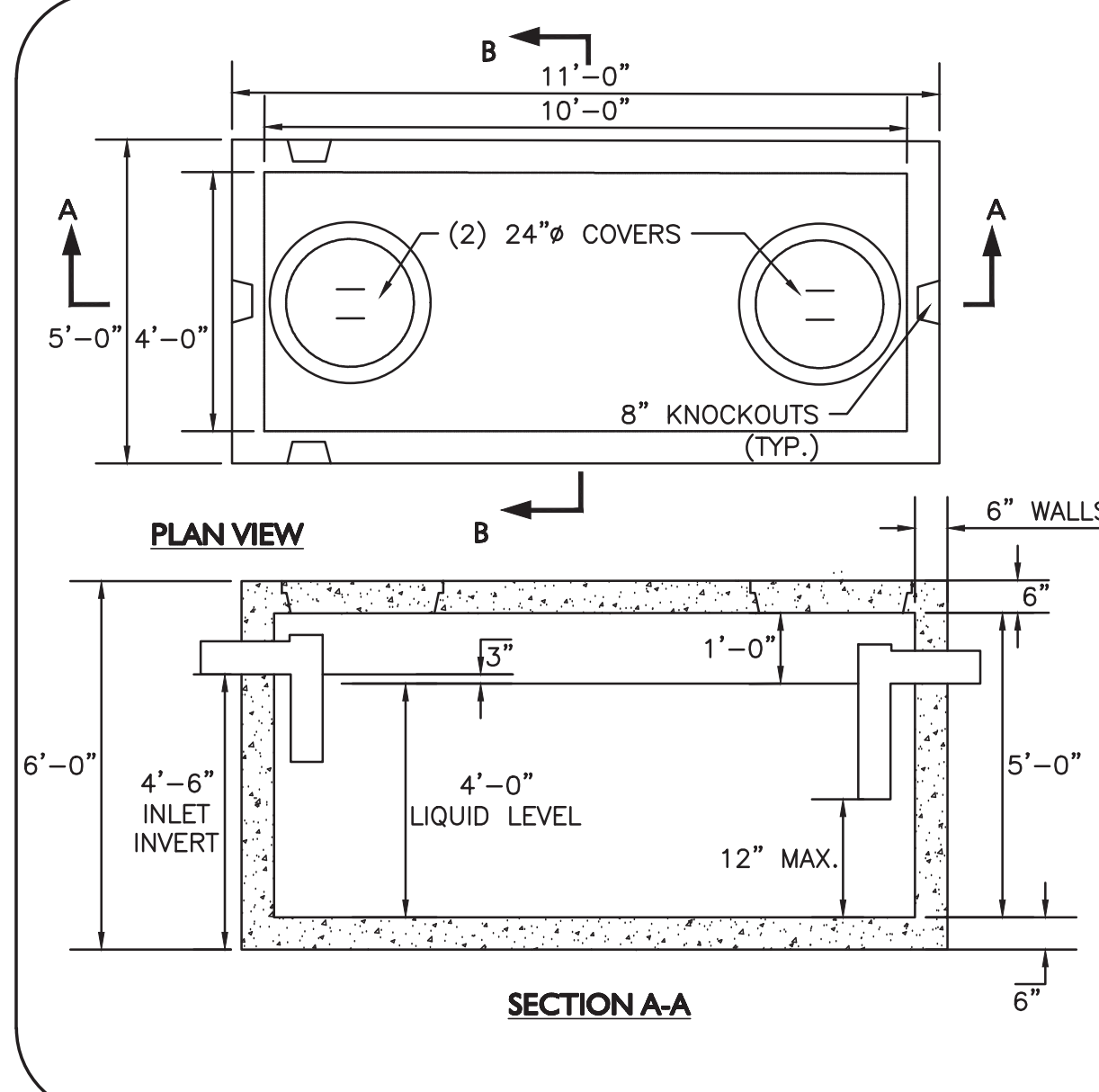
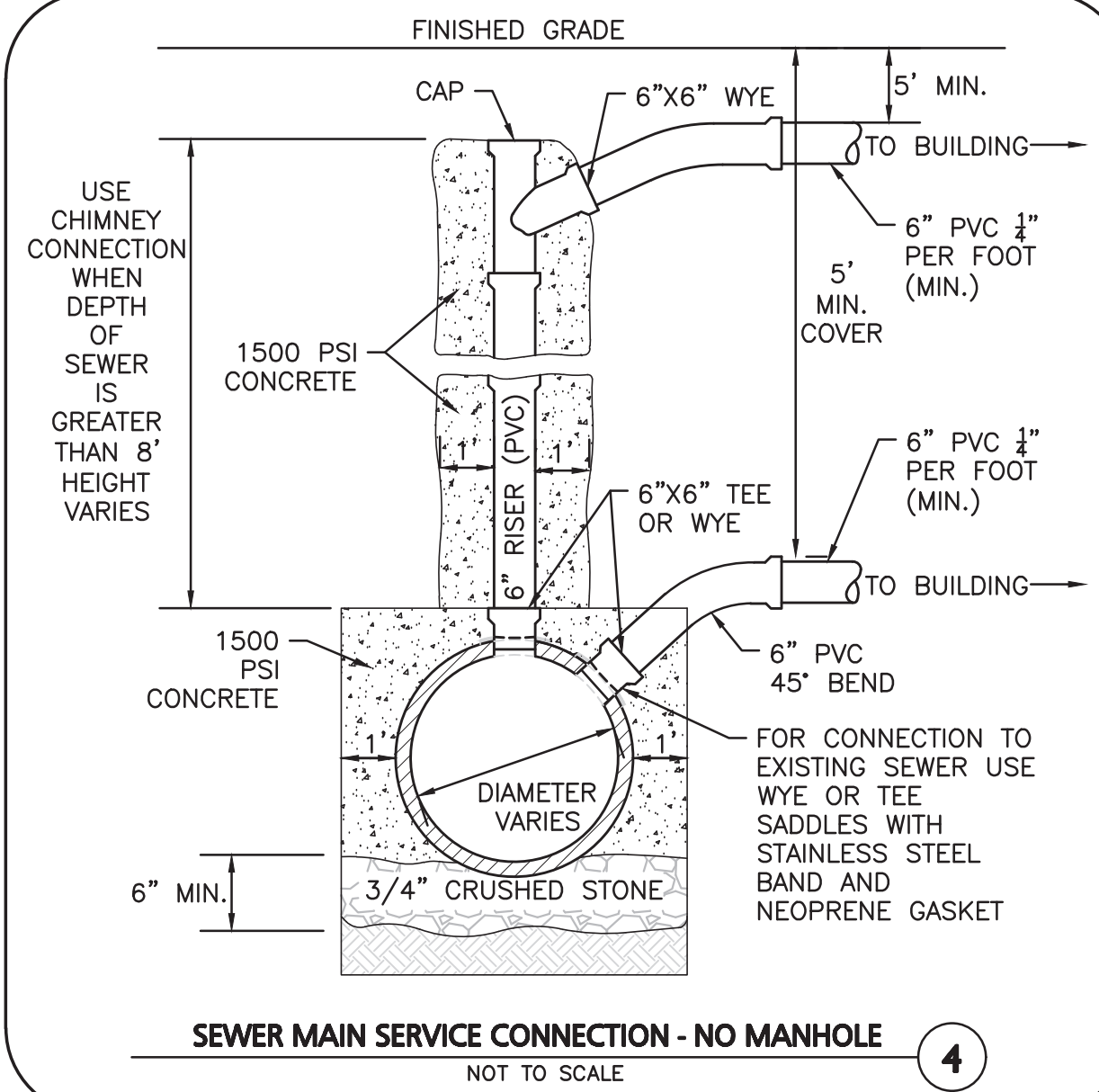
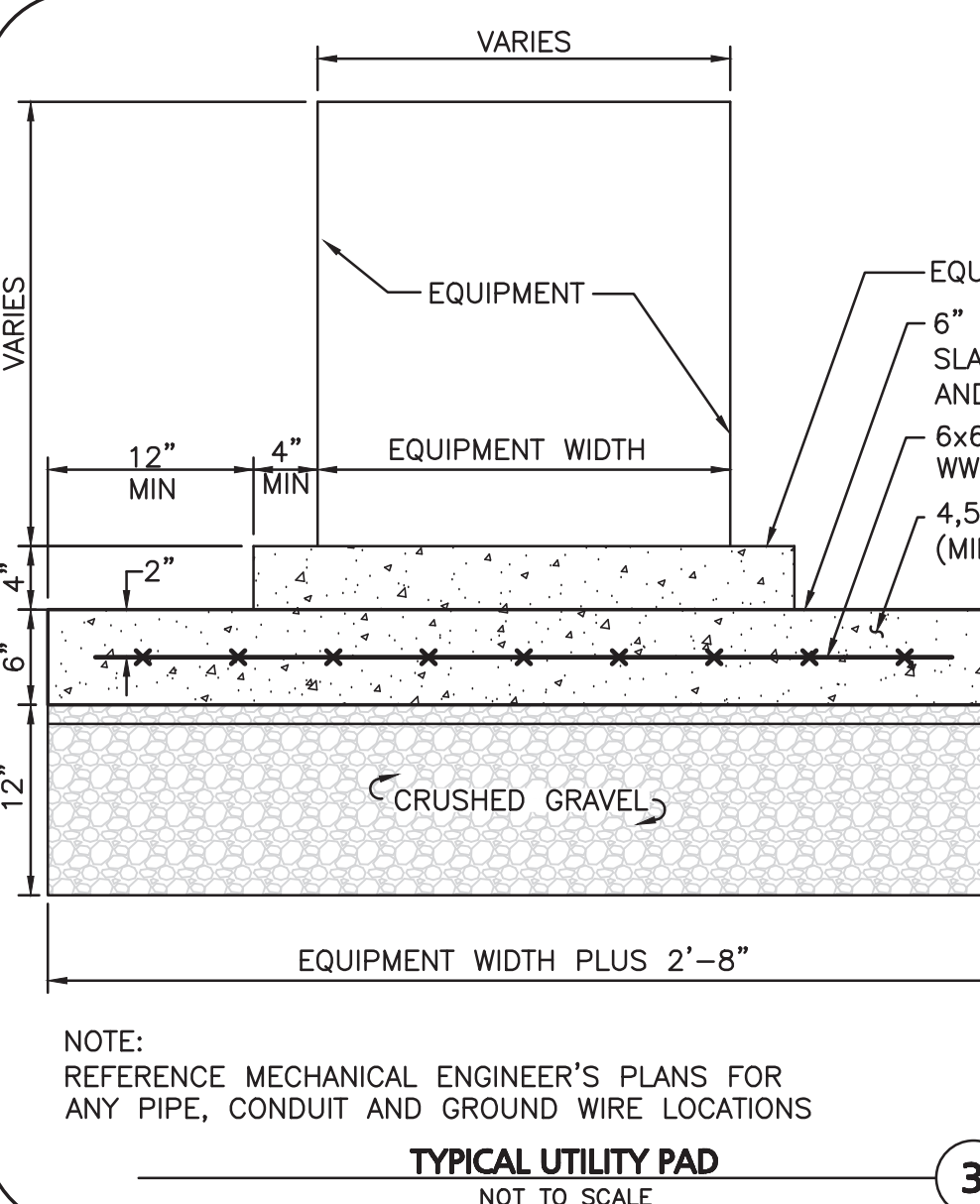
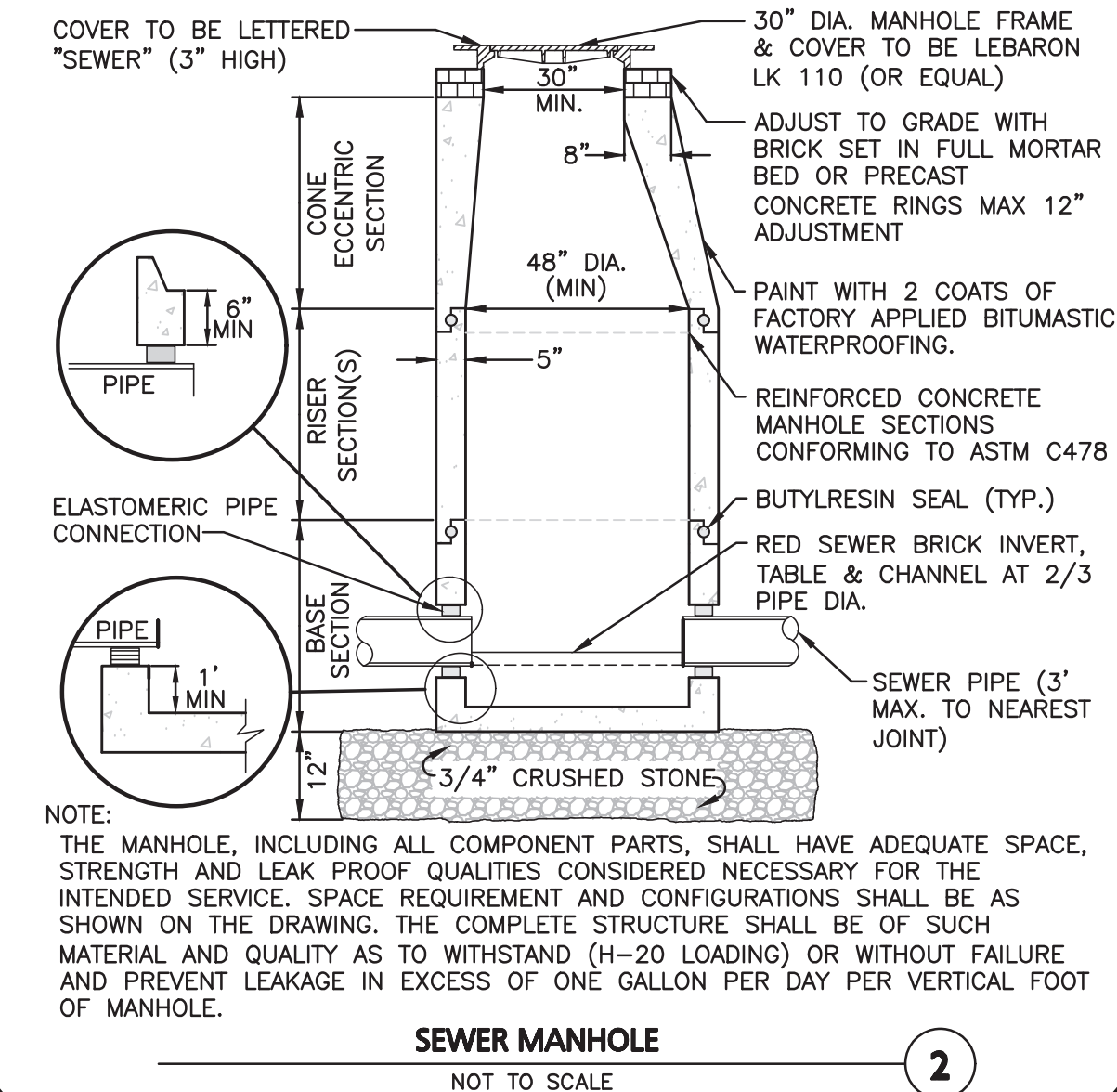
	MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE.	AASHTO M1451 A-1, A-2-4, A-3 OR AASHTO M431 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M431 3, 4	NO COMPACTION REQUIRED
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M431 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE.2,3

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (MAX) LIFTS USING TWO FOOT COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

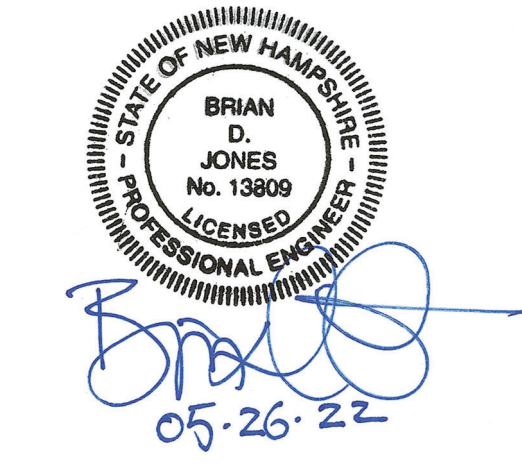


NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45x76 DESIGNATION SS.
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBS/IN/IN, AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.



- MANUFACTURER'S NOTES:
- CONCRETE: 5,000 PSI MINIMUM STRENGTH @ 28 DAYS.
 - STEEL REINFORCING-ASTM A-615, GRADE 60.
 - COVER TO STEEL-1" MINIMUM.
 - TANKS ARE DESIGNED TO MEET ASTM C858 AND ACI 318 WITH ASHTO HS-20 LOADING.
 - EARTH COVER: 1 TO 5 FEET MAX.
 - CONSTRUCTION JOINT SEALED WITH 1" DIA. BUTYL RUBBER OR EQUIVALENT.
 - APPROX. WEIGHTS: TOP SLAB = 2.3 TONS; BOTTOM SECTION = 8.5 TONS.
- ADDITIONAL NOTES:
- ALL PIPE GOING TO, WITHIN, AND TO 10 FEET BEYOND THE CONCRETE STRUCTURE, INCLUDING THE 4" VENT PIPE, SHALL BE THE RESPONSIBILITY OF THE PLUMBING PROFESSIONAL.
 - ALL PIPE, INCLUDING THE 4" VENT PIPE TO THE ROOF, SHALL BE CAST IRON.
 - THE PLUMBING PROFESSIONAL SHOULD COORDINATE INSTALLATION OF THE TANK, ACCESS MANHOLES, AND DETAILS OF EXCAVATION, BACKFILLING, AND WATERPROOFING WITH THE CIVIL ENGINEER.
 - ADJUST TO GRADE WITH MINIMUM 12" OF CONCRETE BRICK AND MORTAR (RED BRICK SHALL NOT BE USED).
 - BUTYL RUBBER JOINT SEALANT SHALL BE USED AT ALL JOINTS.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	REVS PER CITY DEPT.	COMMENTS
	05-26-22		

APPLICANT/OWNER:
LINEAR RETAIL PROPERTIES, LLC
5 BURLINGTON WOODS DR. S. 107
BURLINGTON, MA 01803

PROJECT:
525 HOOKSETT ROAD
AKA DANIEL WEBSTER HWY.
MAP-LOT: 916-41A
MANCHESTER, NH 03104

PROJECT NO.	1583-55B	DATE:	03-15-2022
SCALE:	AS SHOWN	DWG. NAME:	C-1583-55B
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400 HARVEY ROAD
MANCHESTER, NH 03101
TEL: (603) 627-5500
FAX: (603) 627-5501

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DRAWING TITLE:	SHEET No.
DETAILS	C-505

TOWN OF MANCHESTER, NH SITE PLAN REGULATIONS SUMMARY:

VIII. DESIGN CRITERIA FOR SITE PLANS AND PLANNED DEVELOPMENTS
8.3 LANDSCAPING, SCREENING AND BUFFER AREA REQUIREMENTS.

- REQUIRED:** (E) MINIMUM SIZES FOR PLANT MATERIAL, UNLESS INDICATED ELSEWHERE IN THESE REGULATIONS:
 (I) DECIDUOUS SHADE TREES 3-INCH CALIPER
 (II) DECIDUOUS ORNAMENTAL 2-INCH CALIPER
 (III) EVERGREEN TREES 6 FEET IN HEIGHT
 (IV) STREET TREES, 3-3½-INCH CALIPER
- PROPOSED:** TREES PROPOSED ARE AT A MINIMUM SIZE OF:
 (I) DECIDUOUS SHADE TREES 3-INCH CALIPER
 (II) DECIDUOUS ORNAMENTAL 2-INCH CALIPER
 (III) EVERGREEN TREES 6 FEET IN HEIGHT
 (IV) STREET TREES, 3-3½-INCH CALIPER

SEED MIX:

NEW ENGLAND WETLAND PLANTS
 820 WEST STREET, AMHERST, MA 01002
 PHONE: 413-548-8000 FAX 413-549-4000
 EMAIL: INFO@NEWP.COM WEB ADDRESS: WWW.NEWP.COM

NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DRY SITES

BOTANICAL NAME	COMMON NAME	WETLAND INDICATOR
ELYMUS CANADENSIS	CANADA WILD RYE	FACU+
FESTUCA RUBRA	RED FESCUE	FACU
LOLIUM MULTIFLORUM	ANNUAL RYEGRASS	
LOLIUM PERENNE	PERENNIAL RYEGRASS	
PANICUM VIRGATUM	SWITCH GRASS	FAC
SORGHASTRUM NUTANS	INDIAN GRASS	UPL
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	FACU
AGROSTIS PERENNANS	UPLAND BENTGRASS	FACU

THE NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DRY SITES PROVIDES AN APPROPRIATE SELECTION OF NATIVE AND NATURALIZED GRASSES TO ENSURE THAT DRY AND RECENTLY DISTURBED SITES WILL BE QUICKLY REVEGETATED AND THE SOIL SURFACE STABILIZED. IT IS AN APPROPRIATE SEED MIX FOR ROAD CUTS, PIPELINES, STEEPER SLOPES, AND AREAS REQUIRING QUICK COVER DURING THE ECOLOGICAL RESTORATION PROCESS. THE MIX MAY BE APPLIED BY HYDRO-SEEDING, BY MECHANICAL SPREADER, OR ON SMALL SITES IT CAN BE SPREAD BY HAND. LIGHTLY RAKE, OR ROLL TO ENSURE PROPER SOIL-SEED CONTACT. BEST RESULTS ARE OBTAINED WITH A SPRING OR LATE SUMMER SEEDING. LATE SPRING THROUGH MID-SUMMER SEEDING WILL BENEFIT FROM A LIGHT MULCHING OF WEED-FREE STRAW TO CONSERVE MOISTURE. IF CONDITIONS ARE DRIER THAN USUAL, WATERING WILL BE REQUIRED. FERTILIZATION IS NOT REQUIRED UNLESS THE SOILS ARE PARTICULARLY INFERTILE. PREPARATION OF A CLEAN WEED FREE SEED BED IS NECESSARY FOR OPTIMAL RESULTS.

APPLY: 35 LBS/ACRE :1250 SQ FT/LB

EROSION CONTROL BLANKET FOR SLOPES SEE LANDSCAPE NOTES

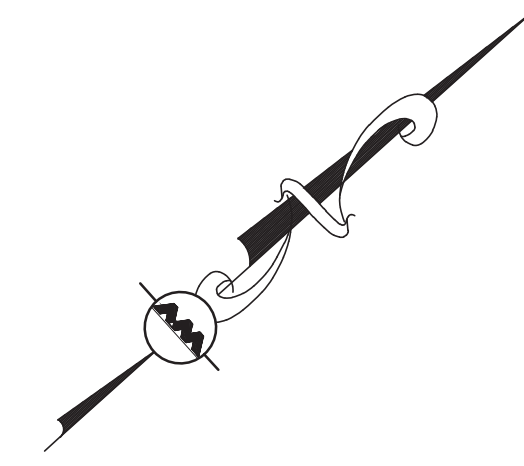
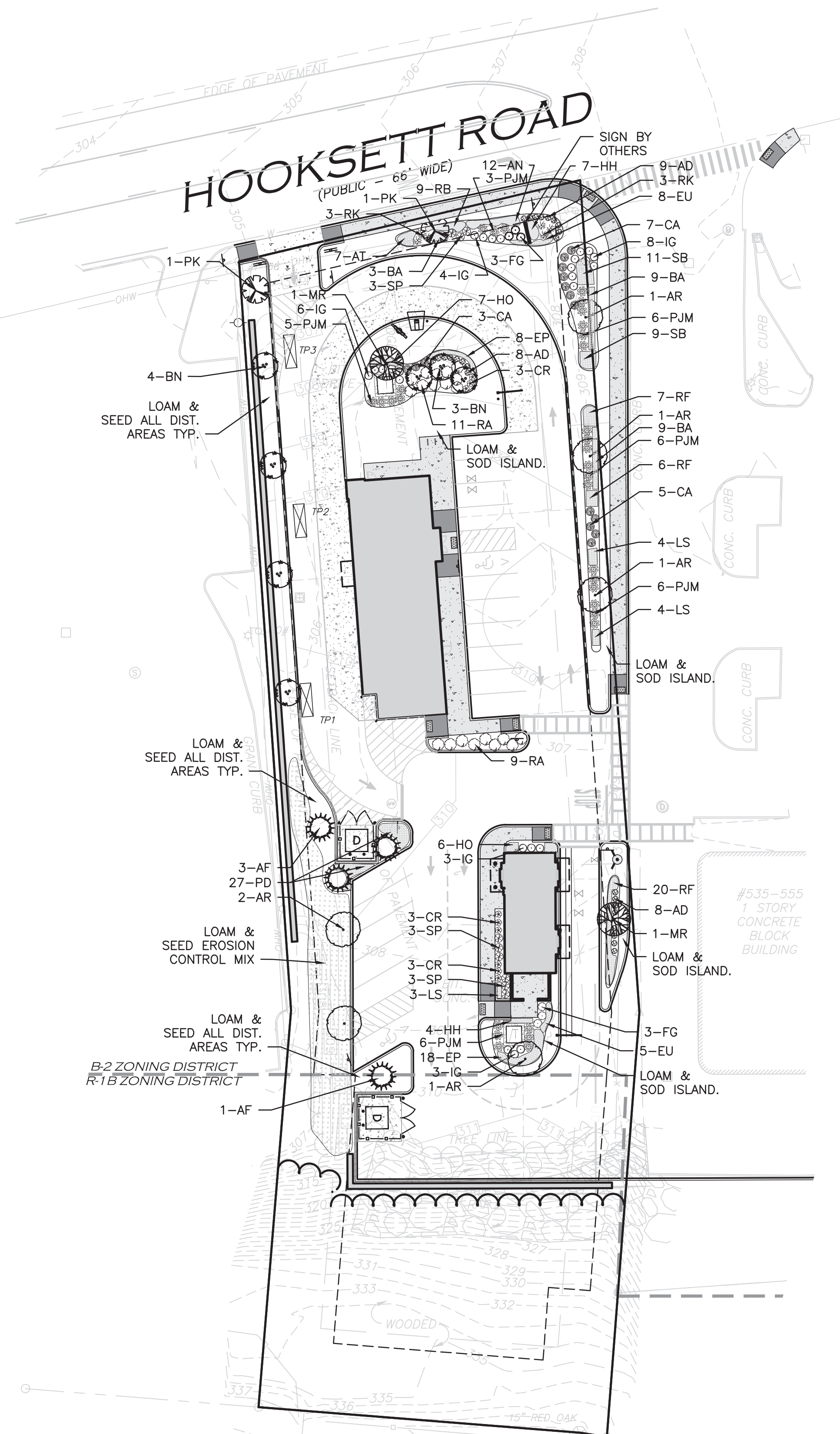
GENERAL NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL LANDSCAPED AREAS WITH SHRUBS, TREES, AND PERENNIALS TO HAVE 12" MINIMUM DEPTH OF TOPSOIL. THE 12" OF TOPSOIL AROUND TREES AND SHRUBS DOES NOT INCLUDE AMENDED PLANTING SOIL WITHIN TREE / SHRUB PIT FOR FULL DEPTH OF ROOTBALLS. SEE PLANTING DETAILS FOR PLANTING DEPTH AT SHRUBS AND TREES. ALL AREAS OF LOAM AND SEED TO HAVE 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL TO BE TESTED BY CONTRACTOR, AND APPROVED BY A&M PRIOR TO PURCHASE AND OR PLACEMENT. GENERAL CONTRACTOR, DEMOLITION CONTRACTOR, AND LANDSCAPE CONTRACTOR TO COORDINATE PROPER DEPTH OF EXISTING MATERIAL REMOVAL ACROSS SITE SO THAT 12 INIMUM AND 6" MINIMUM DEPTHS OF PROPOSED TOPSOIL NOTED ABOVE ARE MET AT NO ADDITIONAL COST TO OWNER. SEE TOPSOIL DETAIL.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

DIG SAFE



BEFORE YOU DIG
 CALL 811 OR
 1-888-DIG-SAFE
 1-888-344-7233



LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- FLOWERING TREE
- SHRUBS
- MULCH BED
- PERENNIALS/GROUNDCOVER
- WILDFLOWER SEED MIX
- EROSION CONTROL SEED MIX

PLANTING SCHEDULE - TREES, SHRUBS, GROUNDCOVERS & PERENNIALS

DECIDUOUS/EVERGREEN TREES

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	COMMENTS
AR	6	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	3-3.5" CAL.	AS SHOWN	B&B
BP	8	BETULA NIGRA 'DURAHEAT'	DURAHEAT RIVER BIRCH	12-14' HT.	AS SHOWN	B&B - MULTISTEM
MR	2	MALUS TRANSITORIA 'ROYAL RAINDROPS'	ROYAL RAINDROPS CRABAPPLE	2.5-3" CAL.	AS SHOWN	B&B
PK	2	PRUNUS SERRULATA 'KWANZAN'	KWANZAN CHERRY	3-3.5" CAL.	AS SHOWN	B&B
AF	4	ABIES FRASERI	FRASER FIR	7-8' HT.	AS SHOWN	B&B

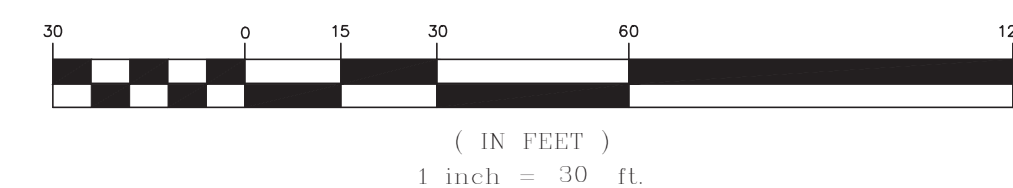
SHRUBS / GRASSES

AD	25	AZALEA 'DELAWARE WHITE'	DELAWARE WHITE AZALEA	#5	AS SHOWN	POT
CA	15	CORNUS SERICEA 'KELSEY'	KELSEY DWARF RED TWIGGED DOGWOOD	#6	AS SHOWN	POT
CR	9	CORNUS ALBA 'IVORY HALO'	IVORY HALO DOGWOOD	#5	AS SHOWN	POT
FG	6	FOTHERGILLA GARDENII 'BLUE SHADOW'	DWARF BLUE SHADOW FOTHEREGILLA	#5	AS SHOWN	POT
IG	24	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	#5	AS SHOWN	POT
PJM	32	RHODODENDRON 'PJM'	PJM RHODODENDRON	#5	AS SHOWN	POT
RA	20	RHUS AROMATICA 'GROW LOW'	GROW LOW SUMAC	#3	AS SHOWN	POT
RK	6	ROSA KNOCKOUT YELLOW	KNOCKOUT YELLOW ROSE	#3	AS SHOWN	POT
SP	9	SYRINGA P. 'MISS KIM'	MISS KIM LILAC	#5	AS SHOWN	POT

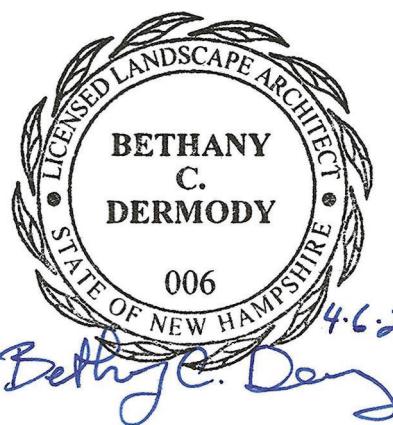
PERENNIALS / GRASSES

AN	9	ASTER NOVAE ANGLIAE 'OCTOBER SKIES'	NEW ENGLAND ASTER	#2	24" O.C.	STAGGERED
AT	7	ASCLEPIAS TUBEROSA	BUTTERFLYWEED	#2	24" O.C.	STAGGERED
BA	21	BAPTISIA AUSTRALIS	BLUE FALSE INDIGO	#2	24" O.C.	STAGGERED
EP	26	ECHINACEA PURPUREA 'POWPOW WILDBERRY'	POW WOW WILDBERRY CONEFLOWER	#2	24" O.C.	STAGGERED
EU	13	EUPATORIUM 'LITTLE JOE'	'LITTLE JOE' JOE PYE WEEED	#2	24" O.C.	STAGGERED
HH	11	HELIOPSIS HELIANTHOIDES 'TUSCAN SUN'	TUSCAN SUN OXEYE SUNFLOWER	#2	24" O.C.	STAGGERED
HO	13	HOSTA 'GUACAMOLE'	GUACAMOLE HOSTA	#2	24" O.C.	STAGGERED
LS	11	LIATRIS SPICATA 'KOBOLD'	KOBOLD GAYFEATHER	#2	24" O.C.	STAGGERED
PD	27	PENSTEMON DIGITALIS 'HUSKER RED'	FOXGLOVE BEARDTONGUE 'HUSKER RED'	#2	24" O.C.	STAGGERED
RF	33	RUDBECKIA FULGIDA	ORANGE CONEFLOWER	#2	24" O.C.	STAGGERED
SB	20	SALVIA 'BLUE HILL'	BLUE HILL SAGE	#2	24" O.C.	STAGGERED

GRAPHIC SCALE



"I, BETHANY DERMODY, HEREBY CERTIFY THAT I AM THE DESIGNER OF THIS LANDSCAPE PLAN AND THAT I AM A PROFESSIONAL LANDSCAPE ARCHITECT LICENSED BY THE STATE OF NEW HAMPSHIRE."



PROFESSIONAL LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	04-06-22	REVISED COFFEE SHOP BUILDING

APPLICANT/OWNER:
LINEAR RETAIL PROPERTIES, LLC
 5 BURLINGTON WOODS DR. S. 107
 BURLINGTON, MA 01803

PROJECT:
525 HOOKSETT ROAD
AKA DANIEL WEBSTER HWY.
MAP-LOT: 916-41A
MANCHESTER, NH 03104

PROJECT NO.	1583-55B	DATE:	03-15-2022
SCALE:	1" = 30'	DWG. NAME:	C-1583-55B
DRAFTED BY:	BDJ	CHECKED BY:	BDJ

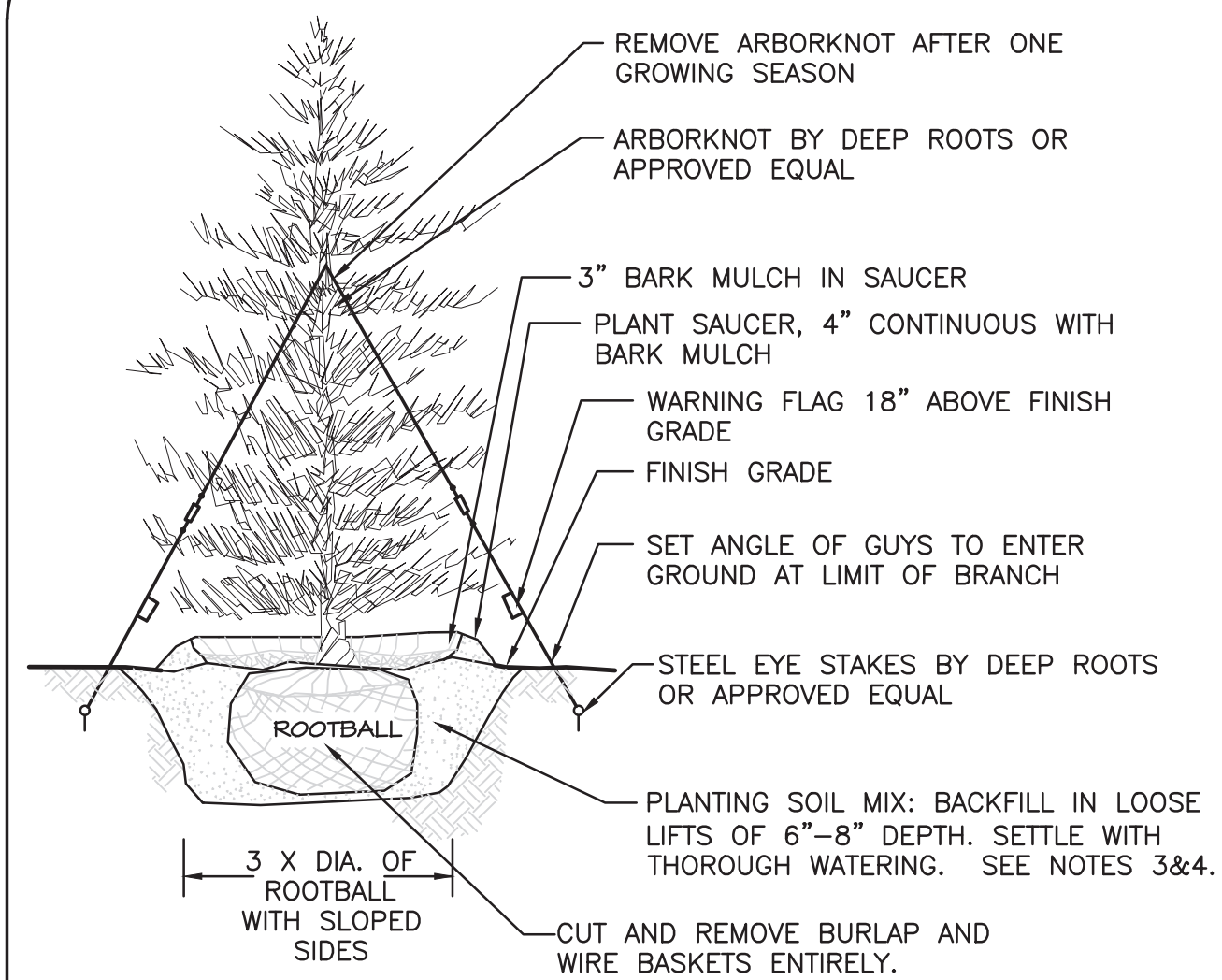
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 environmental consulting • landscape architecture
 www.allenmajor.com
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 MANCHESTER, NH 03101
 TEL: (603) 627-5500
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DRAWING TITLE:	SHEET No.
LANDSCAPING PLAN	L-101

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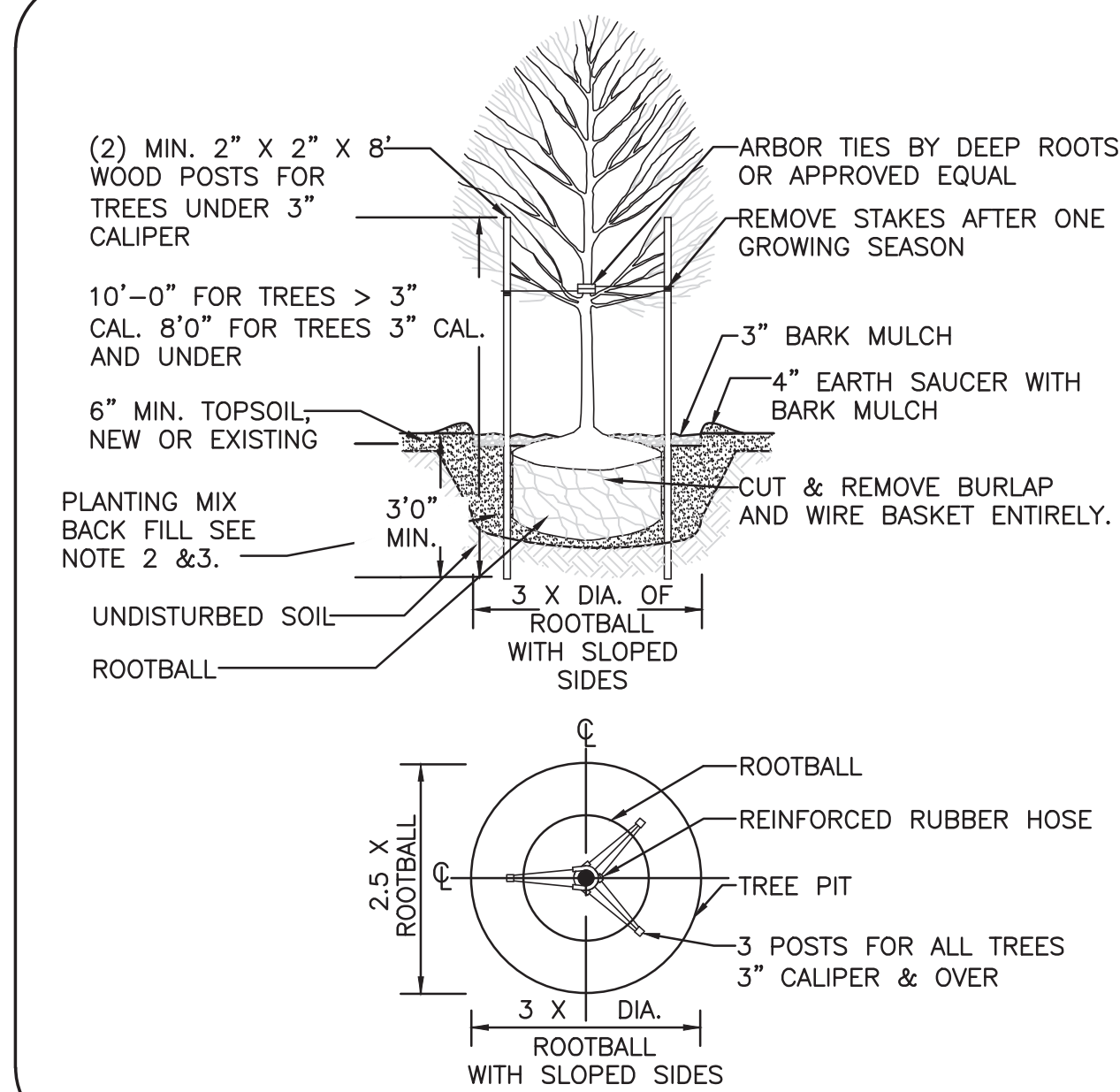


NOTES

- TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO NURSERY OR FIELD GRADE. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL TOP OF ROOTBALL AREA.
- INSTALL THREE GUYS PER TREE; EQUALLY SPACED AROUND BALL.
- ATTACH GUYS AT 2/3 HEIGHT OF TREE.
- BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
- ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

EVERGREEN TREE DETAIL
NOT TO SCALE

1



NOTES:

- ALL TREES SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL ROOTBALL AREA.
- BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
- ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

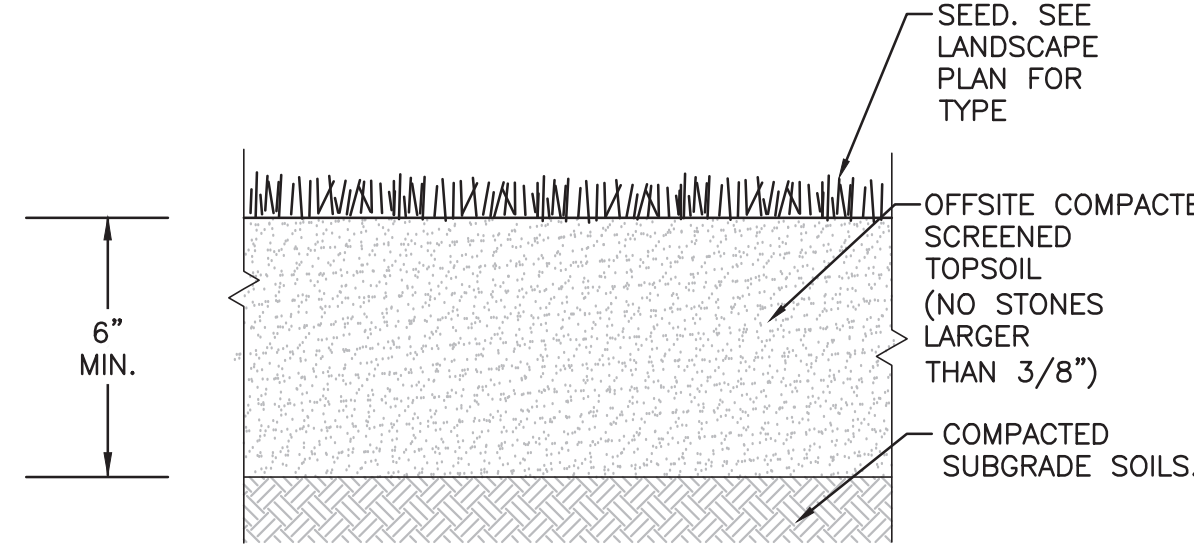
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LOAM AND STANDARD SEEDING NOTES:

CONTRACTOR SHALL SEED ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER MATERIALS, AND AT AREAS SHOWN ON THE PLAN PER SPECIFICATIONS BELOW

SCIENTIFIC NAME	COMMON NAME	PROPORTION BY WEIGHT	PERCENT PURITY	PERCENT GERMINATION
FESTUCA RUBRA "RUBRA"	CREeping RED FESCUE	37%	95%	90%
PAO PRAENTENSIS "BARON"	BARON KENTUCKY BLUEGRASS	40%	85%	90%
LOLIUM PERENNE "PALMER"	PALMER PERENNIAL RYEGRASS	15%	95%	90%
FESTUCA RUBRA COMMUTATA WILMA	WILMA CHEWINGS	8%	95%	80%

- SEED TO BE SPREAD AT MINIMUM RATE OF 5 LBS. PER 1000 SQ. FT.
- SEEDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RESEEDING OF BARE SPOTS. IF UNABLE TO SEED WITHIN THESE TIMEFRAMES, CONTRACTOR TO INSTALL EROSION CONTROL MATS ON ALL SLOPES 3:1 AND OVER, HYDROSEED ALL EXPOSED AREAS, ADD SOIL STABILIZER "FLUX TERRA HP-FGM SOIL STABILIZER" AS MANUFACTURED BY "PROFILE" TO HYDROSEED (AT RATE OF 3,000 LBS PER ACRE), AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR TO COMPLETE ALL ABOVE "OUT OF SEASON" REQUIREMENTS AND THEN ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SEEDING ALL DISTURBED, ERODED, OR BARE SPOTS WITHIN NEXT CLOSEST PLANTING SEASON IN FALL OR SPRING AT NO ADDITIONAL COST TO OWNER. CONTRACTOR RESPONSIBLE FOR ALL MAINTENANCE UNTIL FINAL ACCEPTANCE OF LAWN AREAS INCLUDING: WATERING, ADDING FERTILIZERS AND LIME AND MOWING AT NO ADDITIONAL COST TO OWNER.
- COMMERCIAL FERTILIZER SHALL BE APPLIED AT THE RATE OF 25 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. LIME TO BE SPREAD AT THE RATE OF 100 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FERTILIZER CONTAINING AT LEAST 50% OF THE NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIZE SOURCES OF UREAFORM. IT SHALL CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT: NITROGEN (N) 10%, PHOSPHORUS (P) 6%, POTASH (K) 4%. LIME SHALL BE AN APPROVED AGRICULTURAL LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES. LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE.
- LAWN AREAS TO BE SEED BY SOWING EVENLY WITH AN APPROVED MECHANICAL SEEDER AT THE RATE OF TEN POUNDS PER 1000 SQUARE FEET.
- CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.



TEXTURE CLASS	% OF TOTAL WEIGHT
SAND	45% - 65%
SILT	15% - 35%
CLAY	5% - 20%

SIEVE	% PASSING
3/8"	100
NO. 4	85-100
NO. 40	60-85
NO. 100	38-60
NO. 200	10-35
20 um	LESS THAN 5%

NOTES:

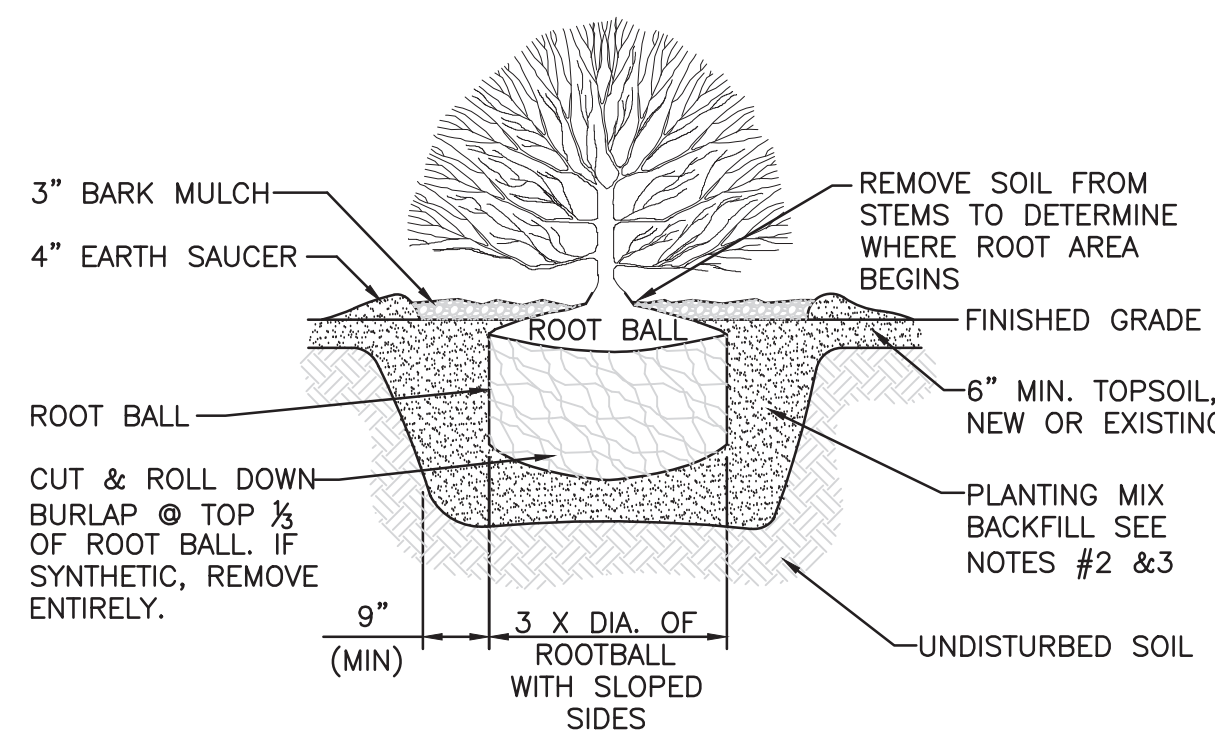
- TOP OF LOAM (TOPSOIL) IS FINISH GRADE.
- ALL TOPSOIL (BOTH ONSITE AND OFFSITE SOURCES) SHALL BE COMPOSED OF A NATURAL, FERTILE, FRIABLE SOIL TYPICAL OF CULTIVATED TOPSOILS OF THE LOCALITY. OFFSITE SOIL SHALL BE SUITABLE FOR THE GERMINATION OF SEEDS AND SUPPORT OF VEGETATIVE GROWTH, WITH ADDITIVES, IF REQUIRED, TO ACHIEVE PARTICLE DISTRIBUTION AND ORGANIC CONTENT BELOW. TOPSOIL SHALL BE TAKEN FROM A WELL-DRAINED, ARIABLE SITE, FREE OF SUBSOIL, LARGE STONES, EARTH CLODS, STICKS, STUMPS, CLAY LUMPS, ROOTS, OTHER OBJECTIONABLE, EXTRANEIOUS MATTER OR DEBRIS NOR CONTAIN TOXIC SUBSTANCES.
- THE CONTRACTOR SHALL PROVIDE THE OWNER / LANDSCAPE ARCHITECT WITH TOPSOIL TEST RESULTS (RECOMMEND UMASS AMHERST SOIL TESTING LAB) FOR APPROVAL PRIOR TO OBTAINING AND PLACING THE SOIL. IF ANY TOPSOIL IS PURCHASED OR PLACED PRIOR TO APPROVAL BY OWNER / LANDSCAPE ARCHITECT, IT IS AT CONTRACTORS RISK, AND IT CAN BE REMOVED AT NO ADDITIONAL COST TO THE OWNER. IF THE PLANTING SOIL (BOTH ONSITE AND OFFSITE SOURCES) DOES NOT FALL WITHIN THE REQUIRED SIEVE ANALYSIS, TEXTURAL CLASS, ORGANIC CONTENT, OR PH RANGE, IT SHALL BE ADJUSTED TO MEET THE SPECIFICATIONS THROUGH THE ADDITION OF SAND, COMPOST, LIMESTONE, OR ALUMINUM SULFATE TO BRING IT WITHIN THE SPECIFIED LIMITS AT NO ADDITIONAL COST TO THE OWNER.
- TOPSOIL SHALL HAVE A PH VALUE BETWEEN 5.5 AND 6.5. TOPSOIL SHALL CONTAIN BETWEEN 4% AND 8% ORGANIC MATTER OF TOTAL DRY WEIGHT AND SHALL CONFORM TO THE FOLLOWING GRADATION AND TEXTURE CLASS ABOVE.

TOPSOIL FOR LAWN, TREES, SHRUBS, & PERENNIALS
NOT TO SCALE

2

NOTES:

- ALL SHRUBS SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. SET SHRUB 1"-2" ABOVE FINISH GRADE.
- BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
- ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.
- SHRUB BEDS TO HAVE 24" MIN. OF CONTINUOUS PLANTING SOIL.



SHRUB PLANTING DETAIL
NOT TO SCALE

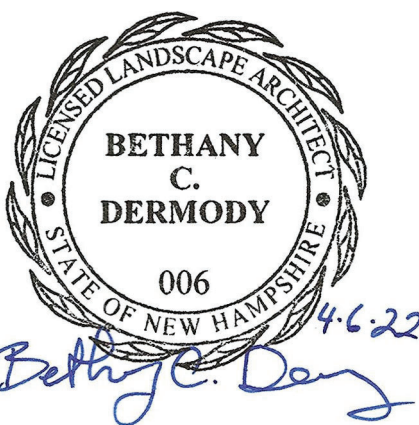
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LANDSCAPE NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MANCHESTER, NH, SPECIFICATIONS.
- PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE"(1-888-DIG-SAFE) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA, ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
- ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 4" OF LOAM AND SEED. LAWNS WITH OVER 3:1 SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
- ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- TREES SHALL HAVE A MINIMUM CALIPER OF 2 1/2" ONE FOOT ABOVE THE ROOT CROWN
- ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH, AND GROUND COVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH.
- ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
- CONTRACTOR RESPONSIBLE FOR WATERING, AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
- ALL PARKING ISLANDS PLANTED WITH SHRUBS SHALL HAVE 24" OF TOP SOIL. FINISH GRADE SHALL BE EQUAL TO THE TOP OF CURB.
- SOIL SAMPLES AND TESTS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER.
- REFER TO NEW ENGLAND WETLAND PLANS, INC (WWW.NEWP.COM) FOR CURRENT SEED MIXES & APPLICATION RATES.
- ALL PROPOSED LANDSCAPE AREAS INCLUDING MOWED LAWNS, TREES, SHRUB BEDS, AND PERENNIALS SHALL BE PROVIDED WITH WATER EFFICIENT UNDERGROUND IRRIGATION. DESIGN AND INSTALLATION OF IRRIGATION SYSTEM TO BE PERFORMED BY AN APPROVED IRRIGATION DESIGN BUILD CONTRACTOR OR BY AN APPROVED EQUAL. TO BE DETERMINED BY THE OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT. IRRIGATION SYSTEM IS TO BE DESIGNED FOR EFFICIENT WATER USAGE INCLUDING: USE OF DRIP IRRIGATION FOR SHRUBS AND PERENNIALS, IRRIGATION SYSTEM WITH HEAD-TO-HEAD COVERAGE, A CENTRAL SHUT-OFF VALVE, SEPARATE ZONES FOR EACH TYPE OF BEDDING AREA BASED ON WATERING NEEDS, AND A RAIN SENSOR TO SHUT OFF IRRIGATION DURING RAIN EVENTS.

LOAM AND SOD NOTES:

- CONTRACTOR SHALL SOD AREAS NOTED ON THE PLANS.
- SOD IS TO BE A BLEND OF FOUR TO FIVE CURRENT AND IMPROVED HYBRID BLUEGRASS AND FESCUE MIXES APPROPRIATE FOR BOTH SEMI-SHADED AND AREAS OF SUN. HYBRIDS MAY INCLUDE: BLACKSTONE KENTUCKY BLUEGRASS, AWARD KENTUCKY BLUEGRASS, CHALLENGER KENTUCKY BLUEGRASS, BLACKBURG II KENTUCKY BLUEGRASS OR COMPARABLE AND EQUAL BLUEGRASS HYBRIDS.
- SOD SHALL BE HIGH QUALITY, NURSERY GROWN ON CULTIVATED MINERAL AGRICULTURAL SOILS. SOD SHALL BE MOIST AND MACHINE CUT AT A UNIFORM SOIL THICKNESS OF AT LEAST 5/8" AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL INCLUDE TOP GROWTH AND THATCH. SOD SHALL BE FREE OF DISEASES, WEEDS, BARE SPOTS, OR INSECTS.
- SODDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RE-SODDING OF BARE SPOTS. IF UNABLE TO SOD WITHIN THESE TIMEFRAMES, CONTRACTOR TO INSTALL EROSION CONTROL MATS ON ALL SLOPES 3:1 AND OVER, HYDROSEED ALL EXPOSED AREAS, ADD SOIL STABILIZER "FLUX TERRA HP-FGM SOIL STABILIZER" AS MANUFACTURED BY "PROFILE" TO HYDROSEED (AT RATE OF 3,000 LBS PER ACRE). CONTRACTOR TO COMPLETE ALL ABOVE "OUT OF SEASON" REQUIREMENTS AND THEN ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SODDING ALL DISTURBED, ERODED, OR BARE SPOTS WITHIN NEXT CLOSEST PLANTING SEASON IN FALL OR SPRING.
- COMMERCIAL FERTILIZER SHALL BE APPLIED AT THE RATE OF 25 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. LIME TO BE SPREAD AT THE RATE OF 100 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FERTILIZER CONTAINING AT LEAST 50% OF THE NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIZE SOURCES OF UREAFORM. IT SHALL CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT: NITROGEN (N) 10%, PHOSPHORUS (P) 6%, POTASH (K) 4%. LIME SHALL BE AN APPROVED AGRICULTURAL LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES. LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE.
- CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RE-SODDING OF LAWN BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.



PROFESSIONAL LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
LINEAR RETAIL PROPERTIES, LLC
5 BURLINGTON WOODS DR. S. 107
BURLINGTON, MA 01803

PROJECT:
525 HOOKSETT ROAD
AKA DANIEL WEBSTER HWY.
MAP-LOT: 916-41A
MANCHESTER, NH 03104

PROJECT NO.	1583-55B	DATE:	03-15-2022
SCALE:	AS SHOWN	DWG. NAME:	C-1583-55B
DRAFTED BY:	BDJ	CHECKED BY:	BDJ

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
400 HARVEY ROAD
MANCHESTER, NH 03101
TEL: (603) 627-5500
FAX: (603) 627-5501

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

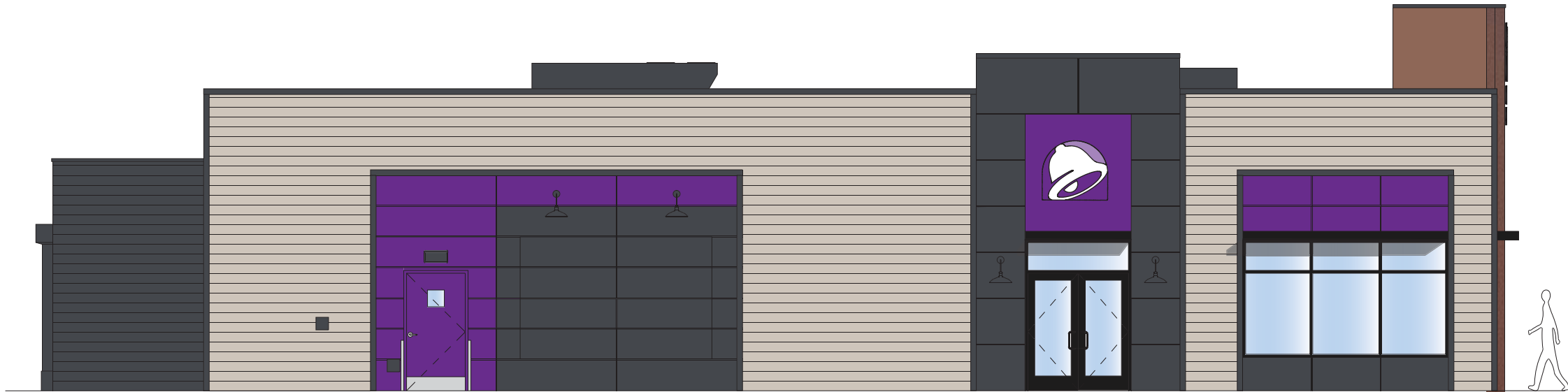
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DRAWING TITLE: **LANDSCAPE DETAILS** SHEET No. **L-501**



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kathleen day, architect
 8535 ferry road
 waynesville, nh 45068
 617.331.2545
 kathleendayarchitect@gmail.com



SHERWIN WILLIAMS
 MODERN GRAY (SW7632)



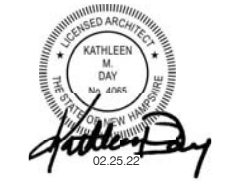
SHERWIN WILLIAMS
 CYBERSPACE (SW7076)



SHERWIN WILLIAMS
 PURPLE (SW/TB2603C)



DARK BRONZE
 ALUMINUM STOREFRONT



- △
- △
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CONTRACT DATE: xx.xx.xx
 BUILDING TYPE: ENDEAVOR 50
 PLAN VERSION:
 SITE NUMBER: TBD
 STORE NUMBER: TBD

TACO BELL
 525 Hookset Road
 Manchester, New Hampshire

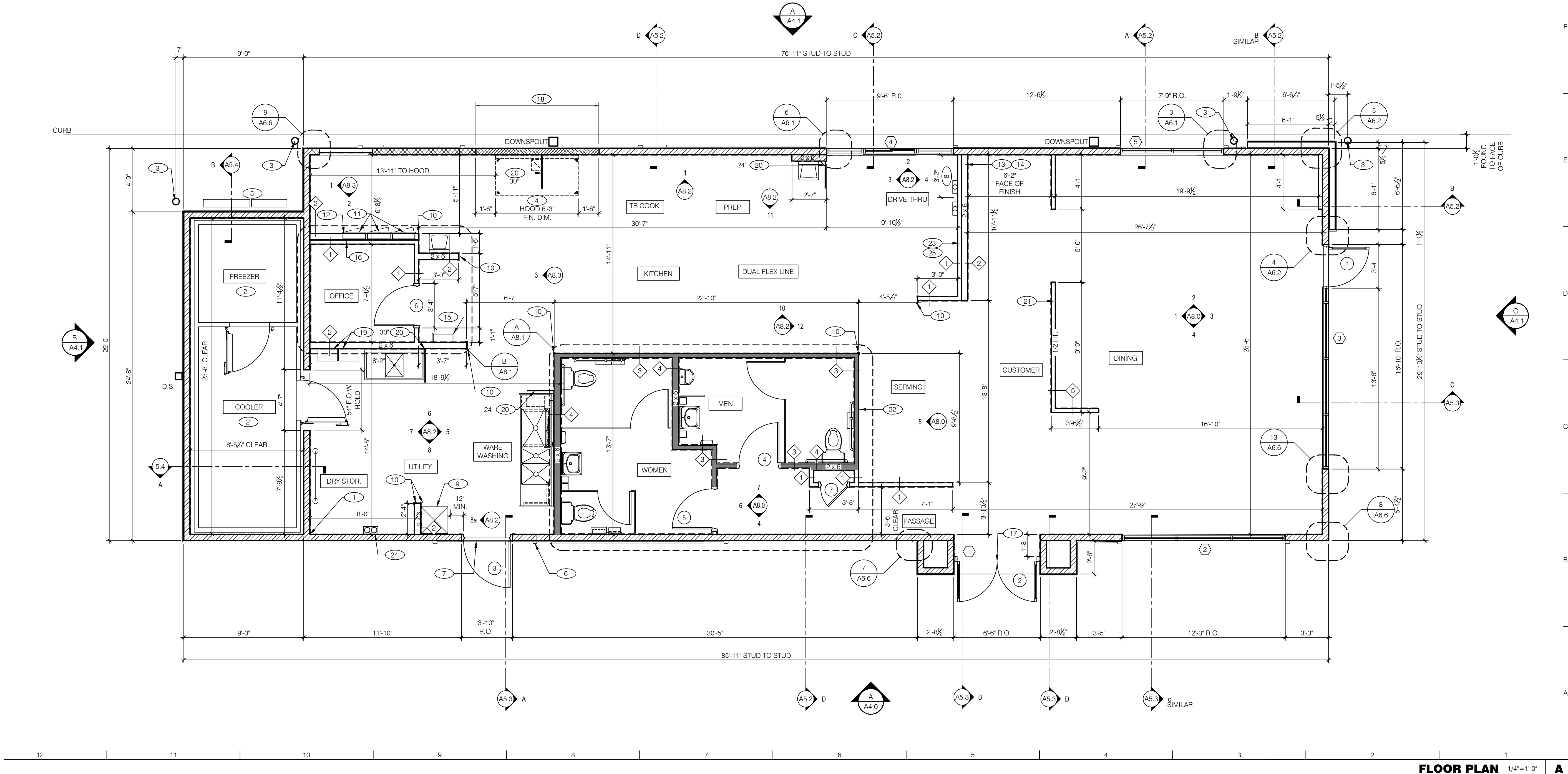
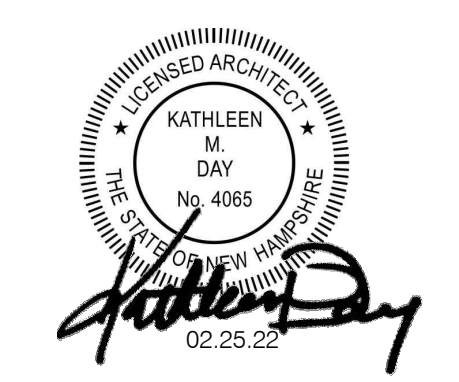


**ELEVATION
 RENDERINGS**

ELEV

PERMIT PLOT DATE:





WALL LEGEND		E	
	TYPICAL EXTERIOR WALL: 2x6 WD STUDS AT 16" O.C. W/ SHEATHING AS SCHEDULED (SEE STRUCT. DWGS.) AND R-19 KRAFT-FACED FIBERGLASS BATT INSULATION U.O.N. GC SHALL PROVIDE 2 LAYERS OF GRADE 'D' 60 lb BUILDING PAPER.		INTERIOR SOUND-RATED WALL: TYPICAL INTERIOR WALL W/ 3-1/2" UNFACED FIBERGLASS BATT INSULATION.
	EXTERIOR WALL AT PLUMBING: (2) 2x6 WD STUDS AT 16" O.C. W/ SHEATHING AS SCHEDULED (SEE STRUCT. DWGS.) AND R-19 KRAFT-FACED FIBERGLASS BATT INSULATION U.O.N. GC SHALL PROVIDE 2 LAYERS OF GRADE 'D' 60 lb BUILDING PAPER.		HOOD WALL: EXTERIOR WALL WITH 20 GA. S.S. PANEL BEHIND HOOD. EXTEND MIN. 18" BEYOND END OF HOOD. REFER TO DETAIL 2/A3.0 FOR EXTENT OF S.S. PANEL.
	TYPICAL INTERIOR WALL: WD STUDS AT 16" O.C. AS INDICATED		HALF INTERIOR WALL: WD STUDS AT 16" O.C. AS INDICATED
	WALL SUBSTRATES: - DINING ROOM: 1/2" GYPSUM WALLBOARD FROM T.O. CURB TO 6" ABOVE CEILING HEIGHT U.O.N. (NOTE: THE CEMENT BOARD SPECIFICATION IS DESIGNED TO ALLOW THE G.C. FLEXIBILITY.) - KITCHEN WALLS AND DINING ROOM CLOSET: 1/2" CEMENT WALLBOARD FROM T.O. SLAB TO 12" A.F.F. 1/2" CDX PLYWOOD W/FRP SURFACE FINISH TO 12" A.F.F. IF DOUBLE SIDED SHEAR WALL PLYWD IS SPECIFIED THE PLYWOOD SHALL BE CONTINUOUS FROM SILL PLATE TO TOP PLATE. - RESTROOM WALLS: 5/8" CEMENT WALLBOARD FROM T.O. SLAB OR T.O. CONCRETE CURB TO 48" A.F.F., WITH 5/8" HI-IMPACT BRAND XP WALLBOARD TYPE X CORE FROM T.O. CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.O.N. NO SUBSTITUTIONS ALLOWED. FINISH AS SCHEDULED. - ALL OTHER FRAME WALL CONDITIONS: 1/2" CEMENT WALLBOARD FROM T.O. SLAB OR T.O. CONCRETE CURB TO 48" A.F.F., WITH 1/2" GYPSUM WALLBOARD FROM T.O. CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.O.N. FINISH AS SCHEDULED.		DASHED LINE INDICATES INTERIOR SUBSTRATE LOCATION.

FLOOR PLAN NOTES		D	
DIMENSIONS:		A. ALL DIMENSIONS ARE TO FACE OF STUD U.O.N. REFER TO FOUNDATION PLAN FOR FACE OF CONC. DIMENSIONS.	
B. DIMENSIONS NOTED AS "CLEAR" OR "HOLD" ARE MIN. REQ'D. NET CLEARANCE FROM FACE OF WALL / WAINSCOT FINISH. VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FRAMING.		WINDOWS / DOORS:	
A. SEE SHT. A1.1 FOR WINDOW TYPES AND DOOR SCHEDULE.		B. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING.	
FINISH SUBSTRATES:		A. PROVIDE 1/2" THICK CEMENTITIOUS BD. FROM FLOOR SLAB TO 12" A.F.F. MIN. IN LIEU OF GYP. BD. AT ALL WALLS EXCEPT SHEARWALL SURFACES. U.O.N.	
B. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH 'NSF INTERNATIONAL' APPROVED SEALANTS.		C. ALL BACK OF HOUSE AND OFFICE WALLS SHALL HAVE 1/2" CDX PLYWOOD SUBSTRATE. U.O.N.	
DECOR:		A. SEE A2.0 FOR SEATING PLAN AND DETAILS.	
B. SEE A7.0 FOR FLOOR FINISHES.		C. SEE A8.0 - A8.3 FOR WALL FINISHES.	
D. SEE A7.1 FOR CEILING FINISHES.		GENERAL:	
A. PROVIDE THREE FIRE EXTINGUISHERS - (2) 10 lb. BC and (1) 10 lb. ABC - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHALL OR LOCAL AUTHORIZING AGENT.		B. DRAWINGS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE.	
C. ALL ATTACHMENTS MADE THROUGH E.I.F.S. SHALL BE BUSHED TO PREVENT DAMAGE TO THE FINISH. PER 9/A6.2.		D. ALL PENETRATIONS THROUGH EXTERIOR FINISHES SHALL BE SEALED USING MFRS. APPROVED METHOD.	

KEY NOTES		B	
1	STARTING POINT. ALL SUB-TRADES SHALL USE THIS POINT AS A BEGINNING LAY-OUT (INSIDE FACE OF EXT. WALL STUDS).	15	ROOF LADDER SEE 4/A6.0
2	NO FRP BEHIND W-059 WALK-IN COOLER/FREEZER.	16	ADD SECOND 2X4 WALL ON OFFICE SIDE.
3	PIPE BOLLARD. SEE DETAIL 5/SD1.0.	17	FULL LENGTH ASTRAGAL WEATHER STRIPPING BETWEEN DOORS
4	HOOD WALL, SEE WALL LEGEND.	18	METAL STUDS REQUIRED.
5	ELECTRICAL MAIN SWITCH BOARD. REFER TO ELECT. DWGS.	19	WALL MOUNTED TANKLESS WATER HEATER - SEE PLUMB.
6	CO2 FILL BOX LOCATION SEE- 17/A6.1.	20	SPLASH GUARD. SEE DETAIL 9/A6.3.
7	RESIN TO METAL THRESHOLD.	21	LOW WALL BY G.C. SEE 4/A6.4 AND 8/A8.0
8	KEEP CLEAR FOR UTILITIES & SYRUP LINES. SEE DETAIL 7&11/A6.4 FOR STUD LAYOUT REQUIREMENTS.	22	SERVICE WALL. REFER TO 5/A8.0
9	MOP SINK. REFER TO SHEET A2.0, A2.1 & A8.3. S.S. BACKSPASH PER A8.2.	23	SHEAR WALL - SEE 7/A6.4 AND STRUCTURAL.
10	S.S. CORNER GUARD / WALL CAP [TM-2], TYP. ALL CORNERS IN BACK-OF-HOUSE FROM REAR WALL TO THE KITCHEN SIDE OF THE SERVICE COUNTER. SEE DETAIL 11/A6.3.	24	8"D x 18"W x 30"H S.S. SYRUP LINE CHASE (ABOVE). SEE DETAIL 11/A6.4 - SIM
11	ELECT. PANELS RECESSED IN 2x6 WALL.	25	FUR OUT WALL AS INDICATED WITH 2X4 WOOD STUDS @ 16" O.C.
12	LIGHTING CONTROL PANEL RECESSED. REFER TO ELECT. DWGS.		
13	SYRUP LINE CHASE (ABOVE). SEE DETAIL 11/A6.4.		
14	14"x14" HORIZONTAL OPENING FOR SYRUP TUBES. COORDINATE WALL PENETRATION WITH COUNTER INSTALLER. SEAL CHASE TO COUNTER. SEE 8/A6.4.		

CONTRACT DATE: xx.xx.xx
 BUILDING TYPE: ENDEAVOR 50
 PLAN VERSION:
 SITE NUMBER: TBD
 STORE NUMBER: TBD

TACO BELL
 525 Hooksett Road
 Manchester, New Hampshire

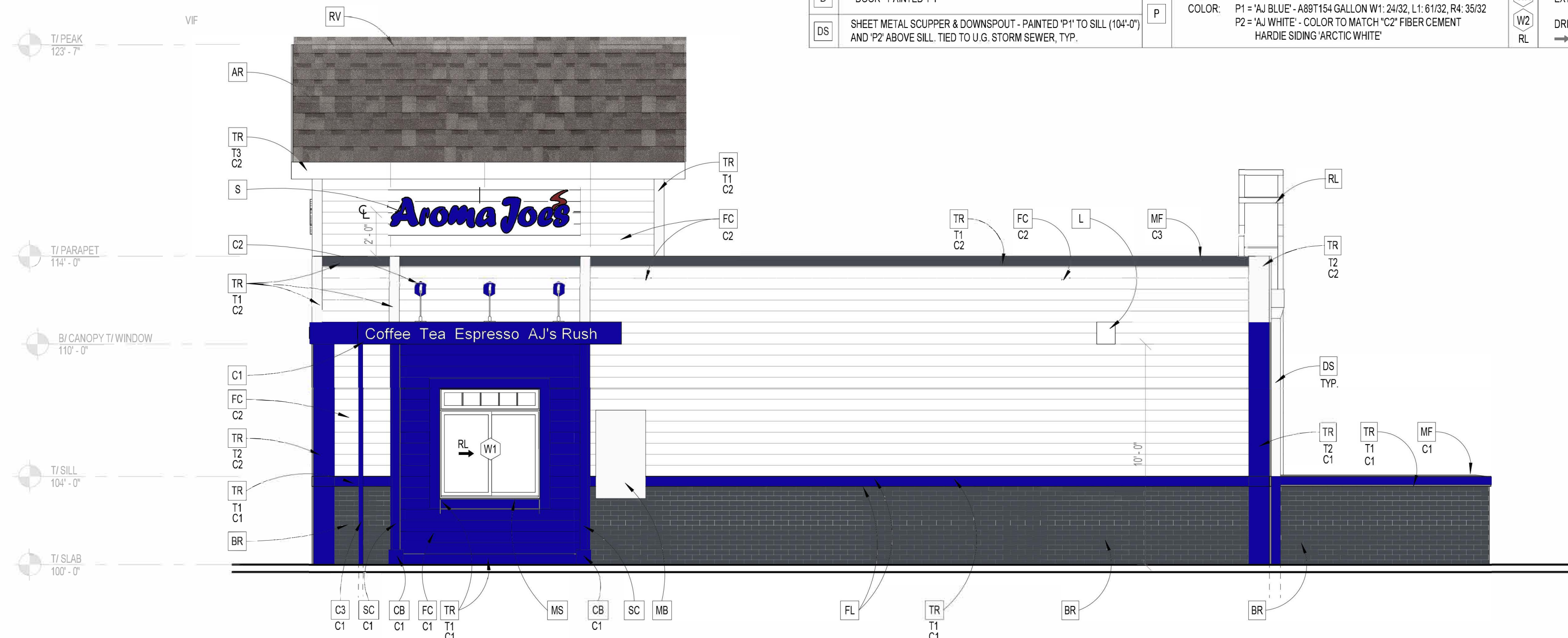


FLOOR PLAN

A1.0

PERMIT PLOT DATE:

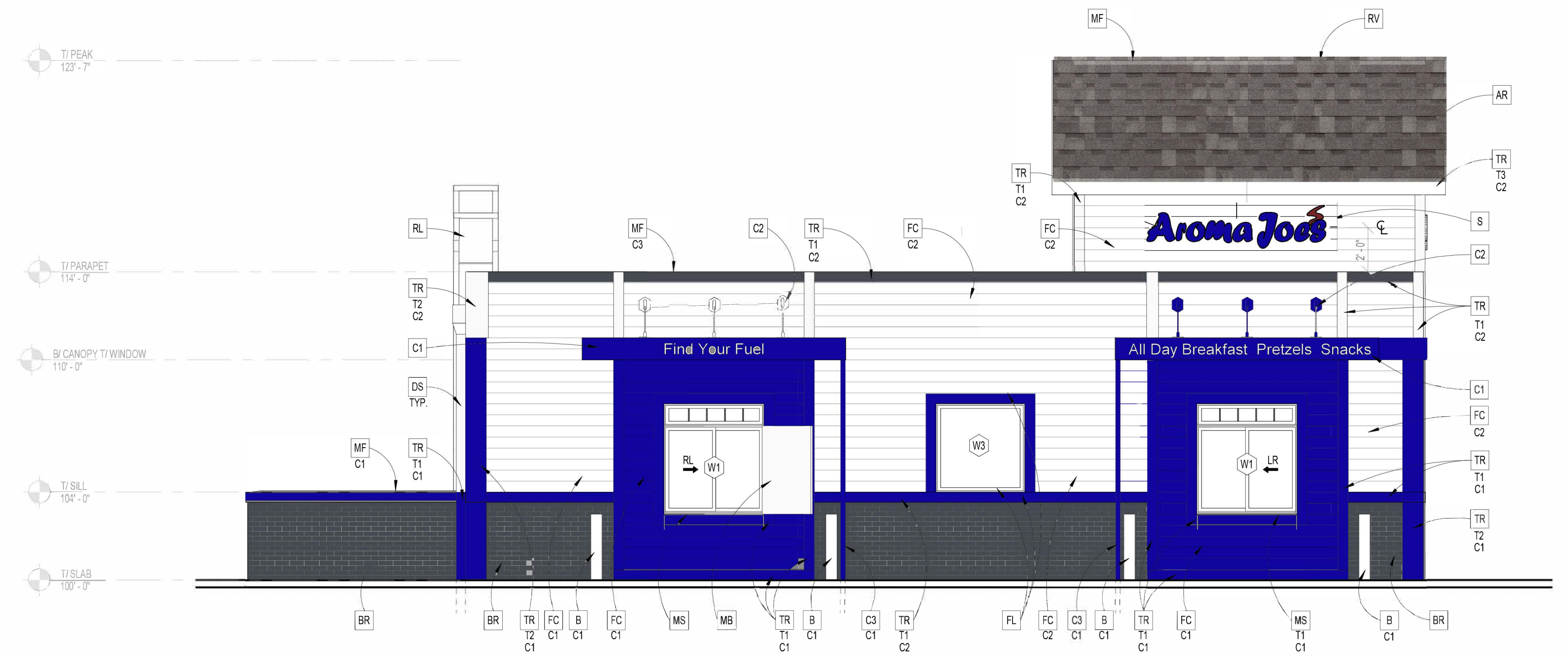
KEYNOTE LEGEND					
AR	ASPH/FLTB GLASS ARCHITECTURAL SHINGLES KO CAMBRIDGE AR - CHARCOAL GRAY	FC	HARDIE LAP SIDING SERIES: CITYSCAPE COLOR: C1 = 7 1/4" (8' EXPOSURE) MATCH 'P1' C2 = 7 1/4" (8' EXPOSURE) ARCTIC WHITE	RH	36" X 36" ROOF HATCH
B	BOLLARD - PAINTED HIGH REFLECTIVE WHITE	FL	FLASHING, TYP.	RL	ALUMINUM ROOF LADDER
BR	THIN BRICK BY ACME BRICK SERIES: TH NBR CK COLOR: GRAYWOOD SIZE: MODULAR	L	WALL SCONCE LIGHT FIXTURE - SEE ELECTRICAL	RV	RIDGE VENT
C1	ALUMINUM CANOPY SYSTEM (COLOR MATCH 'P1')	MB	MENU BOARD	S	SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT
C2	CANOPY TIE-BACK (COLOR MATCH 'P1')	MF	METAL FASCIA - REFER TP SECTIONS FOR ADDITIONAL INFO COLOR: C1 = MATCH 'P1' C2 = 'AJ WHITE' C3 = 'AJ GREY'	SC	STEEL COLUMN, PAINTED 'P1'
C3	CANOPY DOWN SPOUT & BRACKETS (COLOR MATCH 'P1') TIED TO U.G. STORM SEWER, TYP.	MS	8" STAINLESS STEEL SHELF - PROVIDE BLOCKING	TR	PVC TRM BY BORAL T (TYPE): T1 = 5/4X6 T2 = 5/4X12 T3 = 1X10 C (COLOR): C1 = MATCH 'P1' C2 = 'AJ WHITE'
CB	CONCRETE BASE (COLOR MATCH 'P1')	P	PAINT COLOR: P1 = 'AJ BLUE' - A881154 GALLON W1: 24/32, L1: 61/32, R4: 35/32 P2 = 'AJ WHITE' - COLOR TO MATCH 'C2' FIBER CEMENT HARDIE SIDING ARCTIC WHITE	WX	EXTERIOR WINDOW ASSEMBLY - SEE WINDOW FRAME LEGEND ON A601
D	DOOR - PAINTED 'P1'			W2	DRIVE-THRU WINDOW RL = RIGHT TO LEFT LF = LEFT TO RIGHT
DS	SHEET METAL SCUPPER & DOWNSPOUT - PAINTED 'P1' TO SILL (104'-0") AND 'P2' ABOVE SILL, TIED TO U.G. STORM SEWER, TYP.				



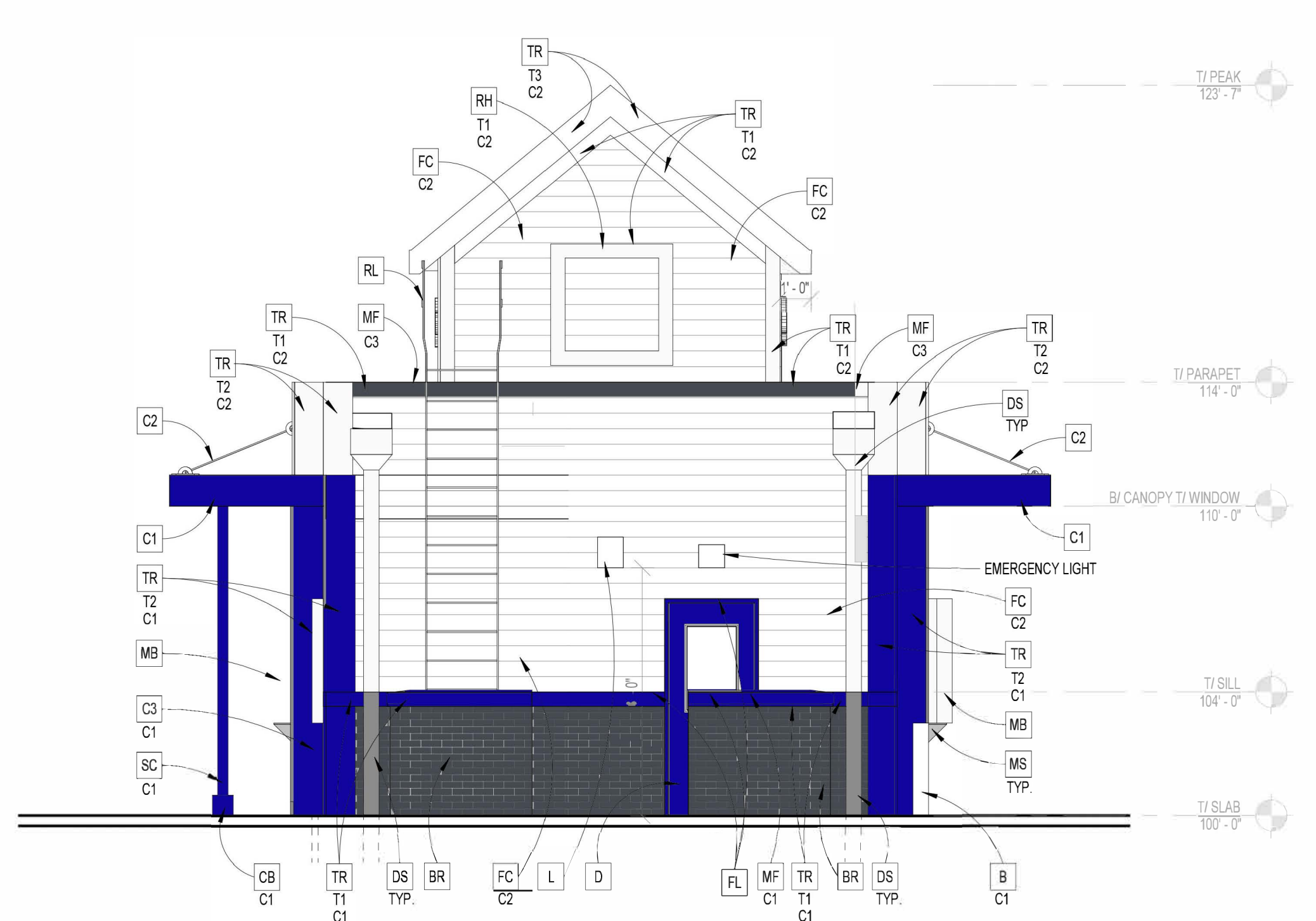
E1 SCALE 1/4" = 1'-0" **RIGHT ELEVATION**



E20 SCALE 1/4" = 1'-0" **FRONT ELEVATION**



A1 SCALE 1/4" = 1'-0" **LEFT ELEVATION**



A20 SCALE 1/4" = 1'-0" **REAR ELEVATION**



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64105
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AROMA JOE'S

CONCORD PROTOTYPE

Revision Schedule		
#	Date	Description

PROJECT # 20901

ELEVATIONS - EXTERIOR

SHEET NUMBER A201

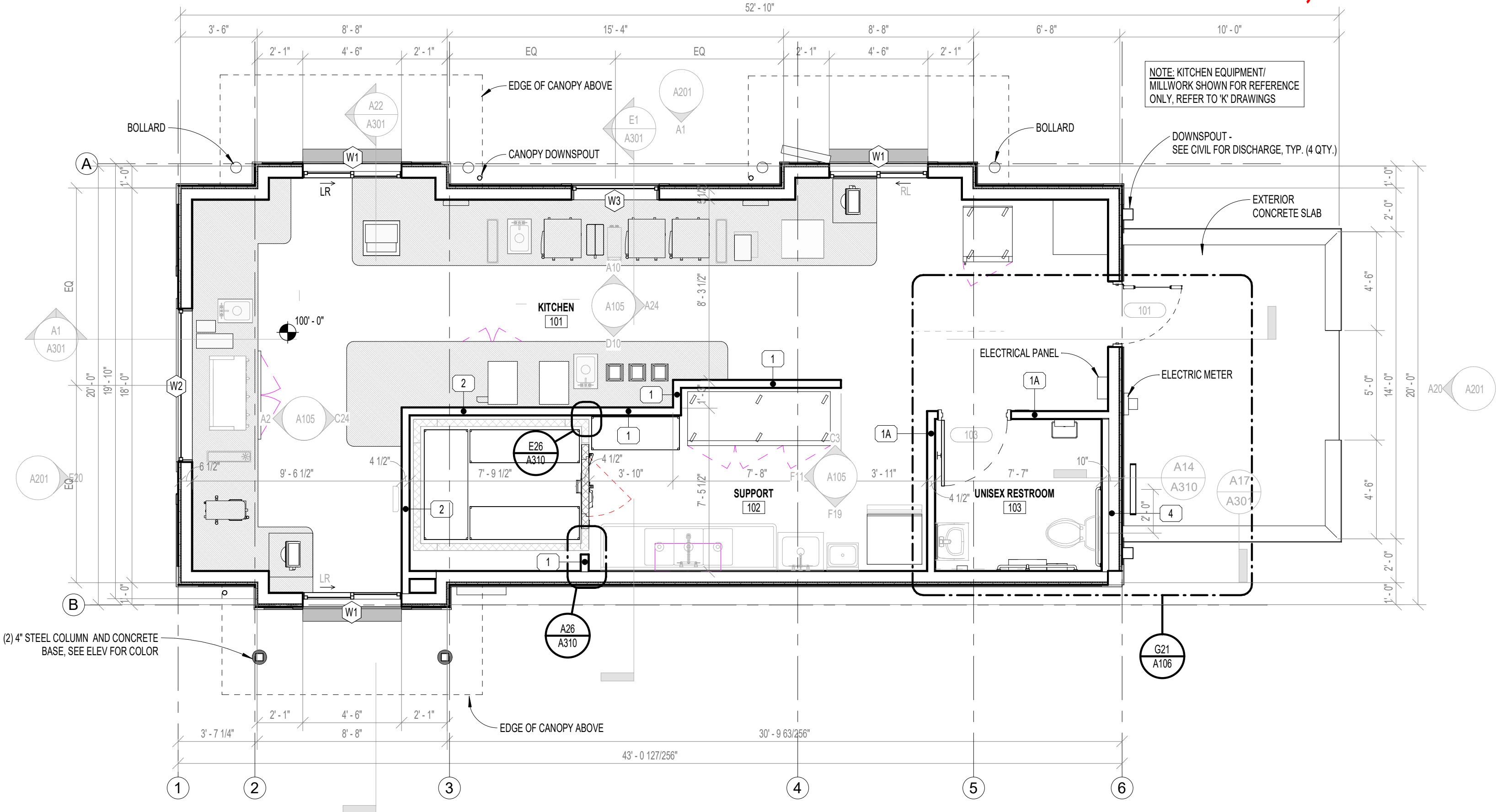
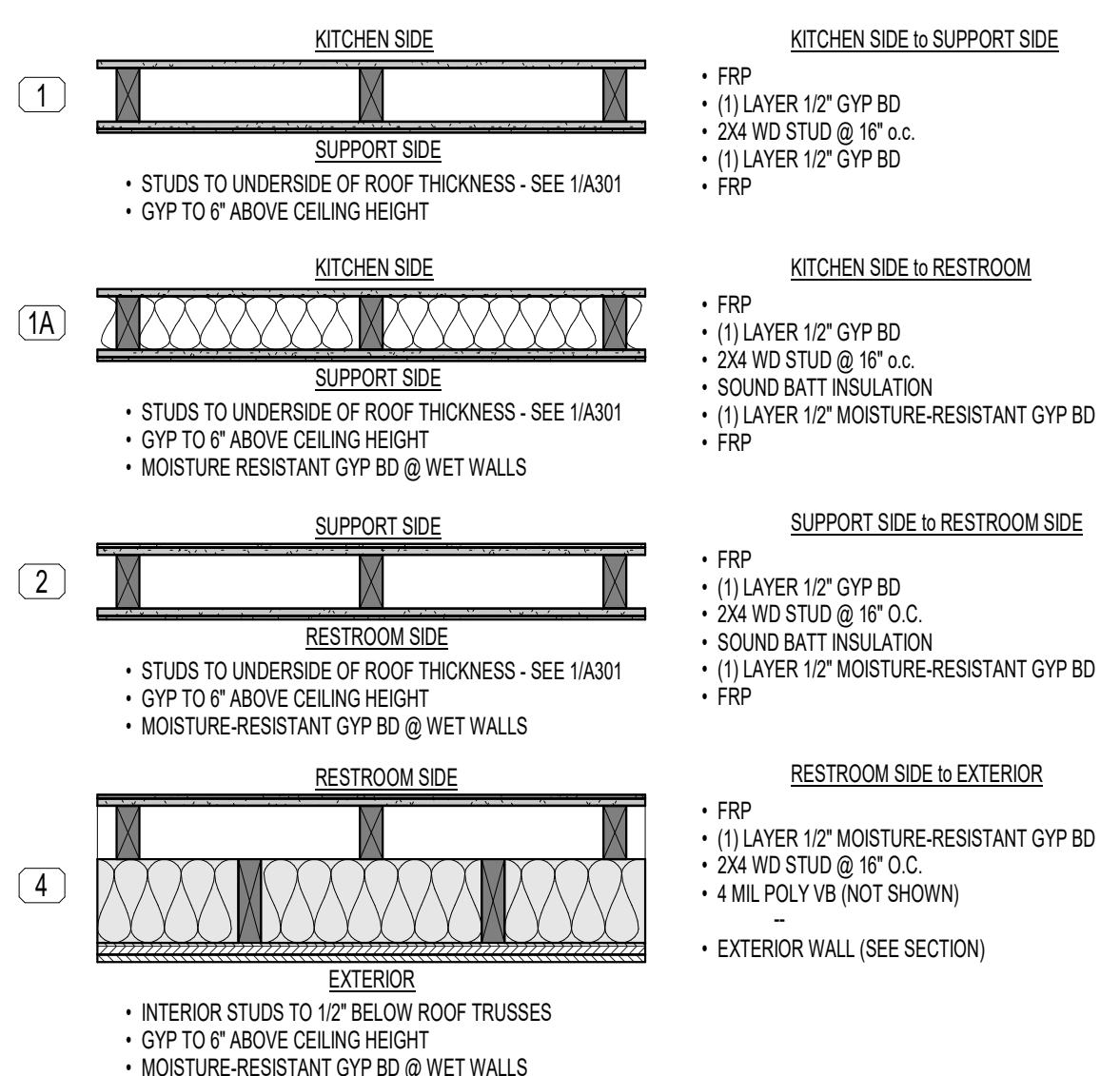
PRELIMINARY, NOT FOR CONSTRUCTION

GENERAL NOTES: FLOOR PLANS

1. PROTECT ALL FINISHES FROM DAMAGE
2. EXTERIOR DIMENSIONS ARE FROM THE FACE OF SHEATHING
3. INTERIOR DIMENSIONS ARE FROM FACE OF GYP. BD.
4. ALL FLOOR ELEVATIONS UNLESS NOTED OTHERWISE, ARE RELATIVE TO A FINISH FLOOR ELEVATION OF 100'-0". CONTRACTOR SHALL COORDINATE RELATIVE SITE ELEVATION TO FINISH FLOOR ELEVATION WITH CIVIL ENGINEER.
5. SEE CIVIL FOR SITE, SIDEWALK, CURB



LEGEND: WALL TYPES



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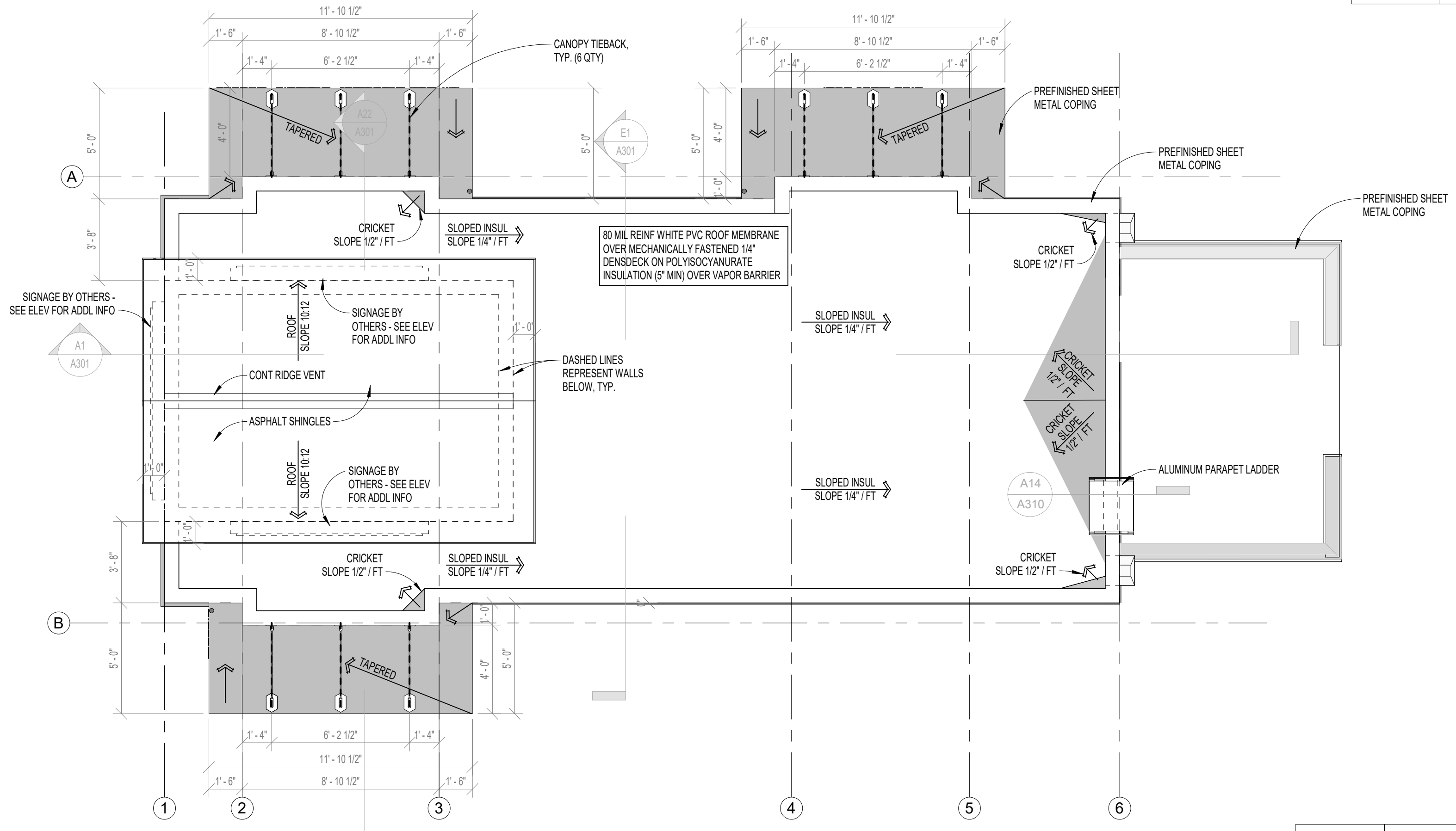
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AROMA JOE'S

F19 SCALE 1/4" = 1'-0" **FLOOR PLAN**

GENERAL NOTES: ROOF PLAN

1. DIMENSIONS ARE TO FACE OF EXTERIOR FINISH
2. CANOPY INFILL PANELS TO SLOPE 1/4" FT TOWARD BUILDING
3. 80 MIL REINFORCED WHITE PVC ROOF MEMBRANE OVER MECHANICALLY FASTENED 1/4" DENSDECK ON POLYISOCYANURATE INSULATION (5" MIN) OVER VAPOR BARRIER
4. PROVIDE WATER TIGHT TEMPORARY CAPS OVER ROOF OPENINGS TO PREVENT WATER DAMAGE DURING CONSTRUCTION. COORDINATE WITH ALL OTHER TRADES.
5. ROOFING CONTRACTOR IS RESPONSIBLE FOR EXTENDING ALL PIPE PENETRATIONS TO MINIMUM HEIGHT OF 8" ABOVE ROOF SURFACE.



A19 SCALE 1/4" = 1'-0" **ROOF PLAN**

CANOPY SYSTEM NOTES

1. CANOPY INFORMATION SHOWN IN CONSTRUCTION DOCUMENTS IS FOR DESIGN INTENT ONLY. APPROVED MANUFACTURERS SHALL PROVIDE A COMPLETE AND CODE COMPLIANT FINAL DESIGN, SIGNED / SEALED DRAWINGS SHALL BE PROVIDED TO STRUCTURAL ENGINEER AND ARCHITECT FOR COORDINATION AND APPROVAL.
2. CANOPY TIEBACKS BY MANUFACTURER TO BE LOCATED AS INDICATED ON ROOF PLAN. FINAL TIEBACK LOCATIONS AND QUANTITY SHALL BE AS INDICATED ON CANOPY SUPPLIER / DESIGNER DRAWINGS.
3. WHERE INDICATED ON ROOF PLAN, PROVIDE PANEL INFILL WITH INTEGRAL GUTTER AND SCUPPER TO MATCH OUTRIGGERS. PANEL, TO PROVIDE POSITIVE SLOPE FOR DRAINAGE.
4. SYSTEM SHALL ALLOW FOR MOVEMENT AT EXPANSION JOINTS AND FOR MOVEMENT OF EXTERIOR WALL SYSTEM ON WHICH THE CANOPY IS MOUNTED.
5. STRUCTURAL ATTACHMENTS AND LOAD CALCULATIONS SHALL BE FURNISHED BY CANOPY SYSTEM DESIGNER OF RECORD. SUPPLIER'S DESIGNER OF RECORD SHALL DESIGN PER PREVAILING CODES AND COORDINATE DESIGN WITH BUILDING STRUCTURAL ENGINEER / ARCHITECT
6. INSTALLER SHALL NOTIFY CANOPY DESIGNER OF RECORD, GC AND ARCHITECT OF ANY DEFICIENCIES THAT WOULD NOT ALLOW FOR THE PROPER INSTALLATION OF THE CANOPY. CANOPY SHALL NOT BE INSTALLED UNTIL DEFICIENCIES HAVE BEEN CORRECTED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND THE CANOPY MANUFACTURER'S INSTALLATION INSTRUCTIONS.

CONCORD PROTOTYPE

Revision Schedule

#	Date	Description

PROJECT # 20901

FLOOR PLAN & ROOF PLAN

SHEET NUMBER A101