

SITE PLAN  
FOR

# HOLLY TACO BELL

LOCATED IN THE N.W. 1/4 OF SECTION 27, T5N-R7E,  
VILLAGE OF HOLLY, OAKLAND COUNTY, MICHIGAN  
4047 GRANGE HALL ROAD, HOLLY, MI 48442  
TAX ID # IH-01-27-151-002

**NOTES:**

~~PUBLIC UTILITY STATEMENT - ALL SANITARY SEWERS FOR THIS PROJECT ARE DESIGNED FOR AND WILL BECOME A PUBLIC SYSTEM UPON SATISFACTORY APPROVAL BY THE OAKLAND COUNTY WATER RESOURCES COMMISSIONER.~~

~~EASEMENT STATEMENT - ALL PUBLIC SANITARY SEWERS SHALL HAVE AN EASEMENT GRANTED TO THE AGENCY OR MUNICIPALITY RESPONSIBLE FOR MAINTENANCE, REPAIR, AND/OR REPLACEMENT.~~

**CONTRACTOR ALERT - THIS PROJECT HAS BEEN DESIGNED USING THE LATEST VILLAGE OF HOLLY CRITERIA. REVIEW THE NOTES, DETAILS AND DESIGN CAREFULLY PRIOR TO SUBMITTING A BID. FULL COMPLIANCE WITH THESE STANDARDS WILL BE REQUIRED.**

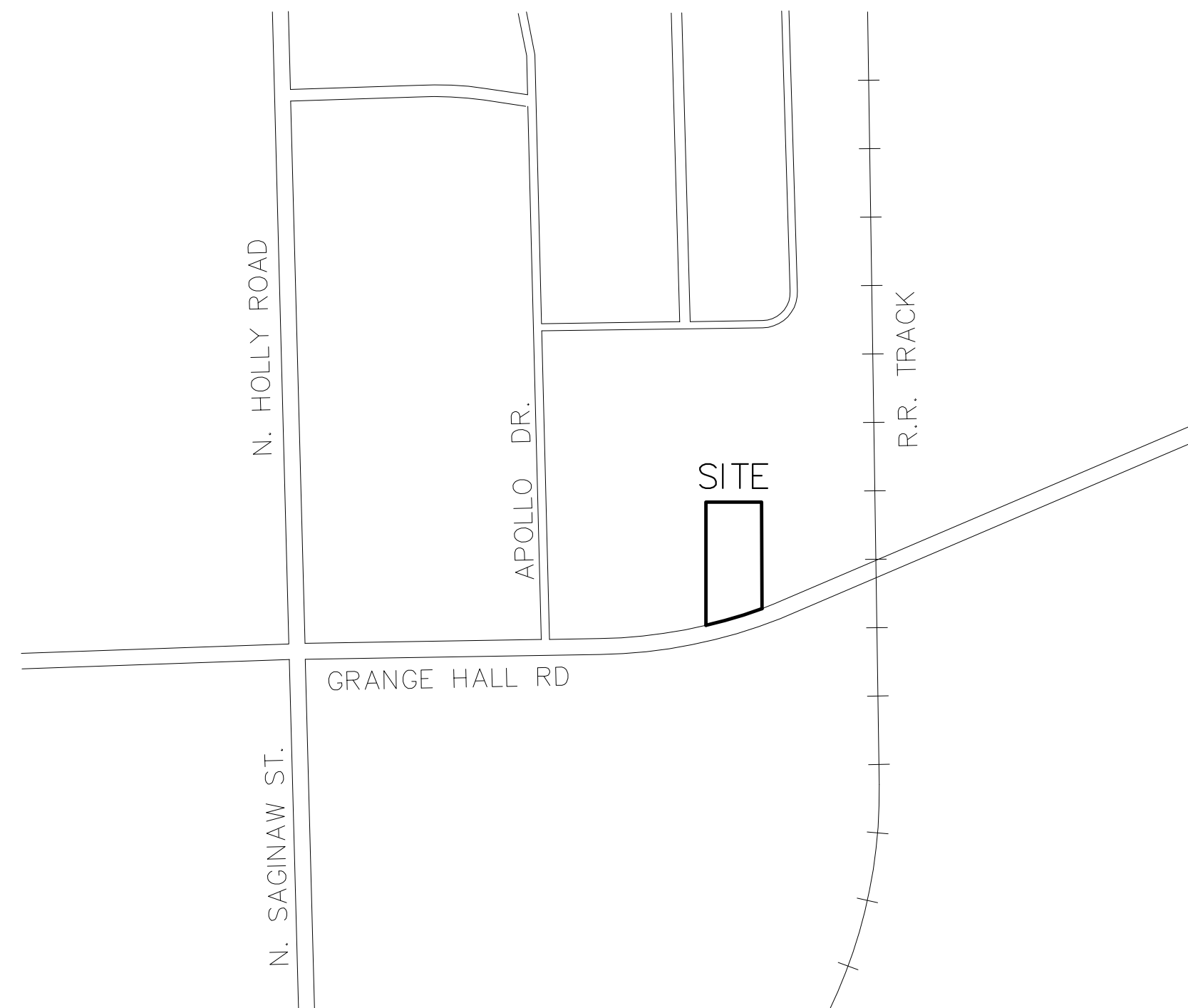
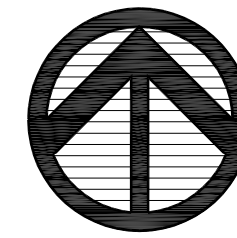
**UTILITY WARNING - UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THESE PLANS WERE OBTAINED FROM UTILITY OWNERS, AND WERE NOT FIELD LOCATED. A MINIMUM OF 72 HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY "MISS DIG" (811) AND HAVE ALL UNDERGROUND UTILITIES STAKED BEFORE ANY WORK MAY BEGIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION. 72 HOURS BEFORE YOU DIG - CALL "MISS DIG" (811).**

NOTE: NO CONSTRUCTION OF PUBLIC UTILITIES IS PROPOSED AT THIS TIME.

**LEGAL DESCRIPTION (AS PROVIDED)**

PART OF THE NORTHWEST 1/4 OF SECTION 27, TOWNSHIP 5 NORTH, RANGE 7 EAST, VILLAGE OF HOLLY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE CENTERLINE OF GRANGE HALL ROAD WHICH IS NORTH 89 DEGREES 36 MINUTES 03 SECONDS EAST, ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION, A DISTANCE OF 820.28 FEET TO A POINT ON A CURVE TO THE LEFT 100.31 FEET, HAVING A RADIUS OF 1145.92 FEET, A CENTRAL ANGLE OF 05 DEGREES 00 MINUTES 56 SECONDS, CHORD BEARING AND DISTANCE OF NORTH 79 DEGREES 54 MINUTES 33 SECONDS EAST, 100.26 FEET FROM THE WEST 1/4 CORNER OF SAID SECTION 27; THENCE NORTH 00 DEGREES 03 MINUTES 00 SECONDS EAST 281.12 FEET; THENCE NORTH 89 DEGREES 36 MINUTES 03 SECONDS EAST 150.00 FEET; THENCE SOUTH 00 DEGREES 03 MINUTES 00 SECONDS WEST 237.68 FEET TO THE CENTERLINE OF GRANGE HALL ROAD AND POINT ON A CURVE TO THE RIGHT A DISTANCE OF 156.61 FEET, HAVING A RADIUS OF 1145.92 FEET, CENTRAL ANGLE OF 07 DEGREES 49 MINUTES 50 SECONDS, CHORD BEARING AND DISTANCE OF SOUTH 73 DEGREES 29 MINUTES 11 SECONDS WEST, 156.49 FEET TO THE POINT OF BEGINNING.

NORTH



LOCATION MAP



BENCH MARK  
ARROW 0H FIRE HYD.  
IN FRONT OF WENDY'S  
924.81 N.A.V.D.88

**SHEET INDEX**

- C0 COVER SHEET
- C1 EXISTING TOPO SURVEY
- C2 SITE PLAN
- C3 GRADING, DRAINAGE AND PAVING PLAN
- C3B RETENTION POND STUDY AND CALCS
- C4 UTILITY PLAN
- C5 SOIL EROSION CONTROL PLAN

**SUBMITTAL CHART**

AGENCY/OFFICE	ADDRESS	DATE SUBMITTED	DATE APPROVED
1 ROAD COMMISSION FOR OAKLAND COUNTY	31001 LAHSER RD, BEVERLY HILLS, MI 48025	5/19/2022	
2 WATER RESOURCES COMMISSIONER FOR OAKLAND COUNTY	ONE, PUBLIC WORKS DR, BUILDING 95W, WATERFORD, MI 48328	5/19/2022	
3 VILLAGE OF HOLLY	300 EAST STREET, HOLLY, MI 48442	5/06/2022	

PLANS PREPARED FOR:

**GREAT LAKES TACO, LLC**

8487 RETREAT DRIVE  
GRAND BLANC, MI 48430  
(810) 771-4500



PLANS PREPARED BY:

**REC ENGINEERS**

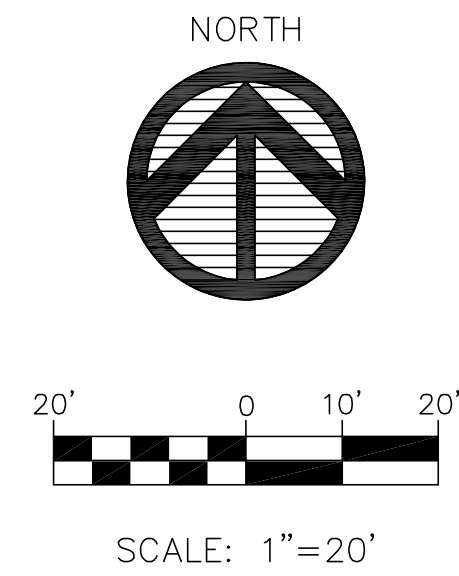
REAL ESTATE CONSULTING ENGINEERS, LLC  
16509 BELFAST DRIVE  
FENTON, MICHIGAN 48430  
(810) 845-5364



**REVISIONS**

NO.	DATE	DESCRIPTION	BY
1	04/05/2022	ORIGINAL SET	MJW
2	5/18/2022	REV'S PER VILLAGE AND ROAD COMMISSION REVIEW	MJW





**LEGAL DESCRIPTION (AS PROVIDED):**

PART OF THE NORTHWEST 1/4 OF SECTION 27, TOWNSHIP 5 NORTH, RANGE 7 EAST, VILLAGE OF HOLLY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE CENTERLINE OF GRANGE HALL ROAD WHICH IS NORTH 89 DEGREES 36 MINUTES 03 SECONDS EAST, ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION, A DISTANCE OF 820.28 FEET TO A POINT ON A CURVE TO THE LEFT 100.31 FEET, HAVING A RADIUS OF 1145.92 FEET, A CENTRAL ANGLE OF 05 DEGREES 00 MINUTES 56 SECONDS, CHORD BEARING AND DISTANCE OF NORTH 79 DEGREES 54 MINUTES 33 SECONDS EAST, 100.26 FEET FROM THE WEST 1/4 CORNER OF SAID SECTION 27; THENCE NORTH 00 DEGREES 03 MINUTES 00 SECONDS EAST 281.12 FEET; THENCE NORTH 89 DEGREES 36 MINUTES 03 SECONDS EAST 150.00 FEET; THENCE SOUTH 00 DEGREES 03 MINUTES 00 SECONDS WEST 237.68 FEET TO THE CENTERLINE OF GRANGE HALL ROAD AND POINT ON A CURVE TO THE RIGHT A DISTANCE OF 156.61 FEET, HAVING A RADIUS OF 1145.92 FEET, CENTRAL ANGLE OF 07 DEGREES 49 MINUTES 50 SECONDS, CHORD BEARING AND DISTANCE OF SOUTH 73 DEGREES 29 MINUTES 11 SECONDS WEST, 156.49 FEET TO THE POINT OF BEGINNING.

TAX ID# 01-27-151-022  
ZONED C-COMMERCIAL  
OWNER MICHAEL SHEEHAN  
4043 GRANGE HALL  
HOLLY, MI 48442

4047 GRANGE HALL ROAD, HOLLY, MI 48442  
TAX ID # IH-01-27-151-002

0.90 ACRES  
ZONED C-COMMERCIAL  
LOCATED IN ZONE X  
AREA OF MINIMAL FLOOD HAZARD  
FEMA COMMUNITY PANEL  
26125C0161F  
EFFECTIVE 9/29/2006

PROPERTY SUBJECT TO  
A CONSUMERS BLANKET  
EASEMENT FOR ELECTRICITY

VACANT  
TAX ID# 01-27-151-021  
ZONED C-COMMERCIAL  
OWNER MICHAEL MILLS  
406 BEARBERRY  
ORTONVILLE, MI 48462

**SURVEYORS NOTES:**

1. DATE OF LAST FIELD WORK: 3-14-2022
2. THERE ARE NO OTHER VISIBLE IMPROVEMENTS OTHER THAN THE SUBSTANTIAL VISIBLE IMPROVEMENTS SHOWN.
3. THERE ARE NO APPARENT PHYSICAL USES OTHER THAN THOSE SHOWN.
4. THIS SURVEY WAS PERFORMED FOR THE PURPOSE SHOWN HEREON AND DOES NOT MAKE ANY REPRESENTATION AS TO THE DELINEATION OF ANY JURISDICTIONAL LINES EXCEPT AS SHOWN OR NOTED HEREON.
5. NO ENVIRONMENTAL ASSESSMENT OR AUDIT WAS PERFORMED ON THE SURVEYED PARCEL BY THIS FIRM.
6. BEARINGS SHOWN HEREON ARE BASED ON LEGAL DESCRIPTION AS PROVIDED. N 89°36'03" E ALONG THE EAST AND WEST 1/4 LINE OF SECTION 27.

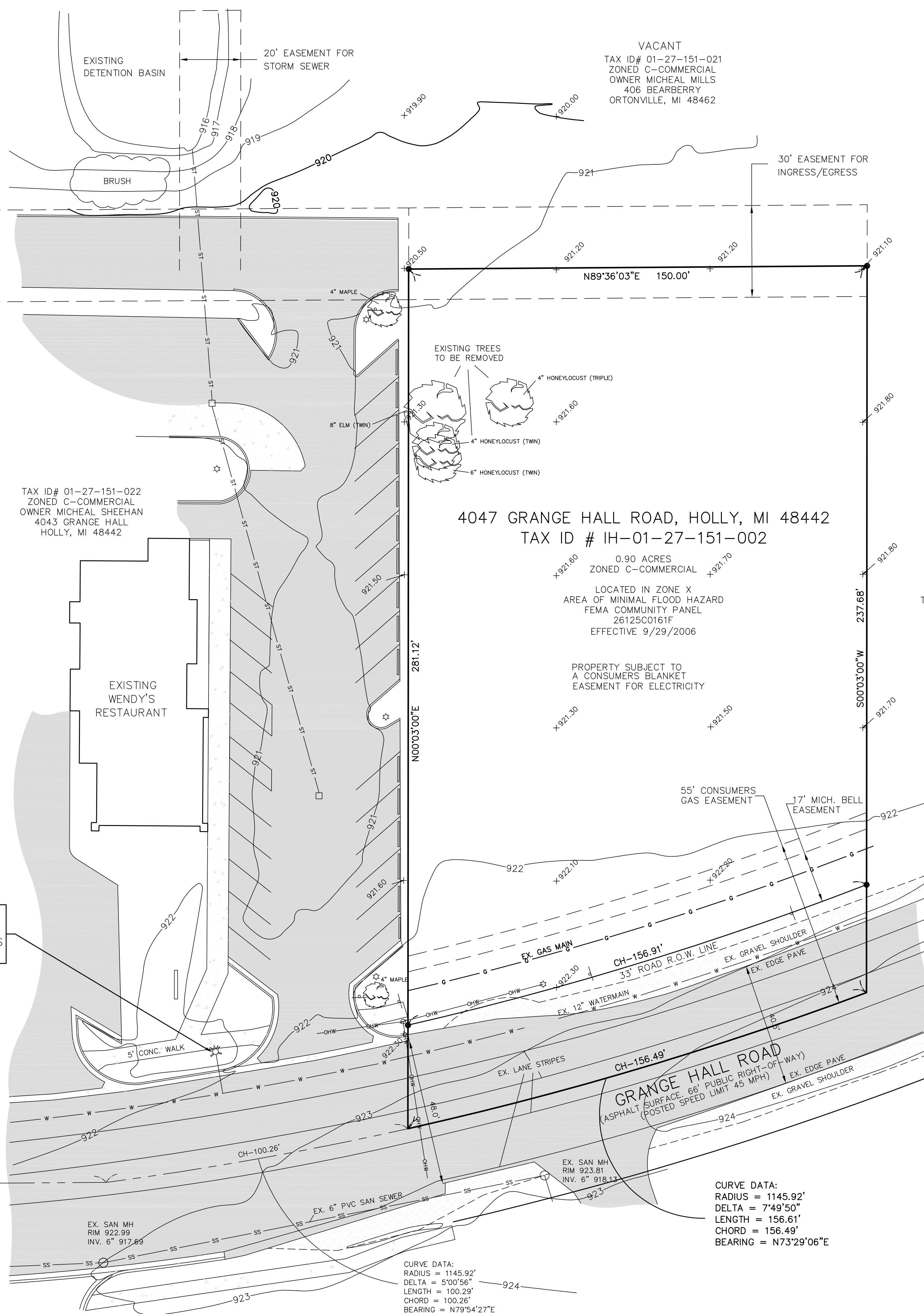
**LEGEND**

- PROPERTY CORNER
- ⊕ ROAD SIGNS
- ⊕ UTILITY POLE
- ⊕ SERVICE PEDESTAL/RISER
- OHW — OVERHEAD WIRES
- ⊕ STORM DRAIN MANHOLE
- ⊕ CATCHBASINS
- ⊕ SANITARY MANHOLE
- ⊕ FIRE HYDRANT
- ⊕ GATEVALVE
- BLDG BUILDING
- CONC CONCRETE
- ASPH ASPHALT
- ELEC ELECTRIC
- B/B BACK TO BACK
- EX EXISTING
- R.O.W. RIGHT-OF-WAY
- EX. SPOT ELEV. EX. SPOT ELEV.

BENCH MARK  
ARROW OH FIRE HYD.  
IN FRONT OF WENDY'S  
924.81 N.A.V.D.88

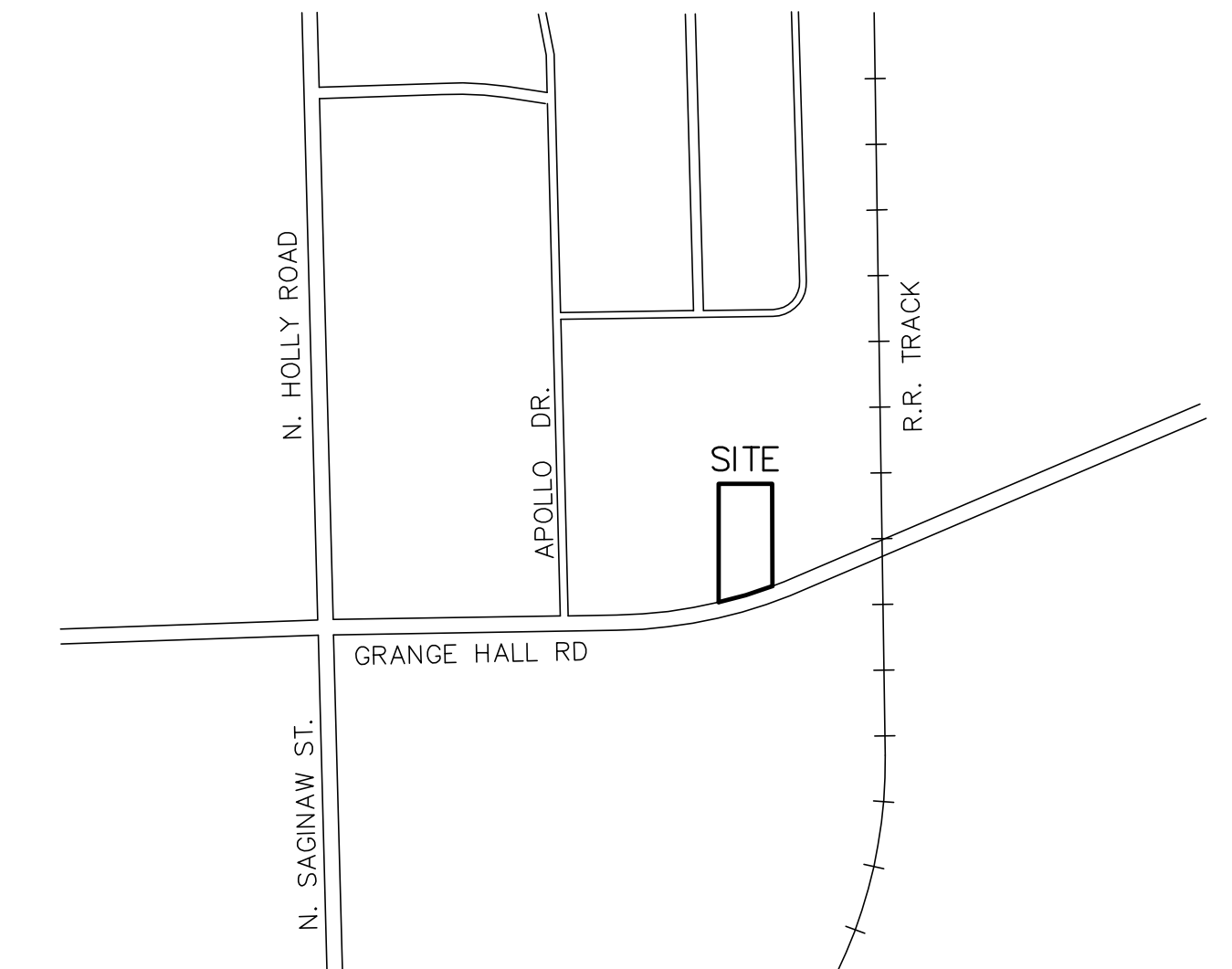
(BASIS OF BEARINGS)  
N89°36'03"E  
E&W 1/4 LINE  
820.28'

WEST 1/4 CORNER  
SECTION 27,  
T5N-87E



CURVE DATA:  
RADIUS = 1145.92'  
DELTA = 7°49'50"  
LENGTH = 156.61'  
CHORD = 156.49'  
BEARING = N73°29'06"E

CURVE DATA:  
RADIUS = 1145.92'  
DELTA = 5°00'56"  
LENGTH = 100.29'  
CHORD = 100.26'  
BEARING = N79°54'27"E



LOCATION MAP  
(NO SCALE)

*[Handwritten Signature]*



No.	REVISIONS	DATE	BY



JOSEPH A. WYZNAJTYS  
NO. 4001021585  
STATE OF MICHIGAN

SCALE:  
1"=20'  
DESIGNED BY:  
N/A  
CHECKED BY:  
JAW

DATE:  
3.15.22  
DRAWN BY:  
MJW  
FIELD CREW CHIEF:  
BS

DEVELOPER  
GREAT LAKES TACO, LLC  
6467 RETREAT DRIVE  
GRAND BLANC, MI 48439  
810-771-4500

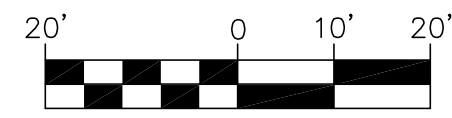
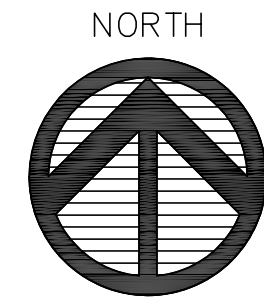


**REC ENGINEERS**  
REAL ESTATE CONSULTING ENGINEERS, LLC  
16509 BELFAST, FENTON, MICHIGAN 48430  
(810) 869-0194 OR (810) 845-5364

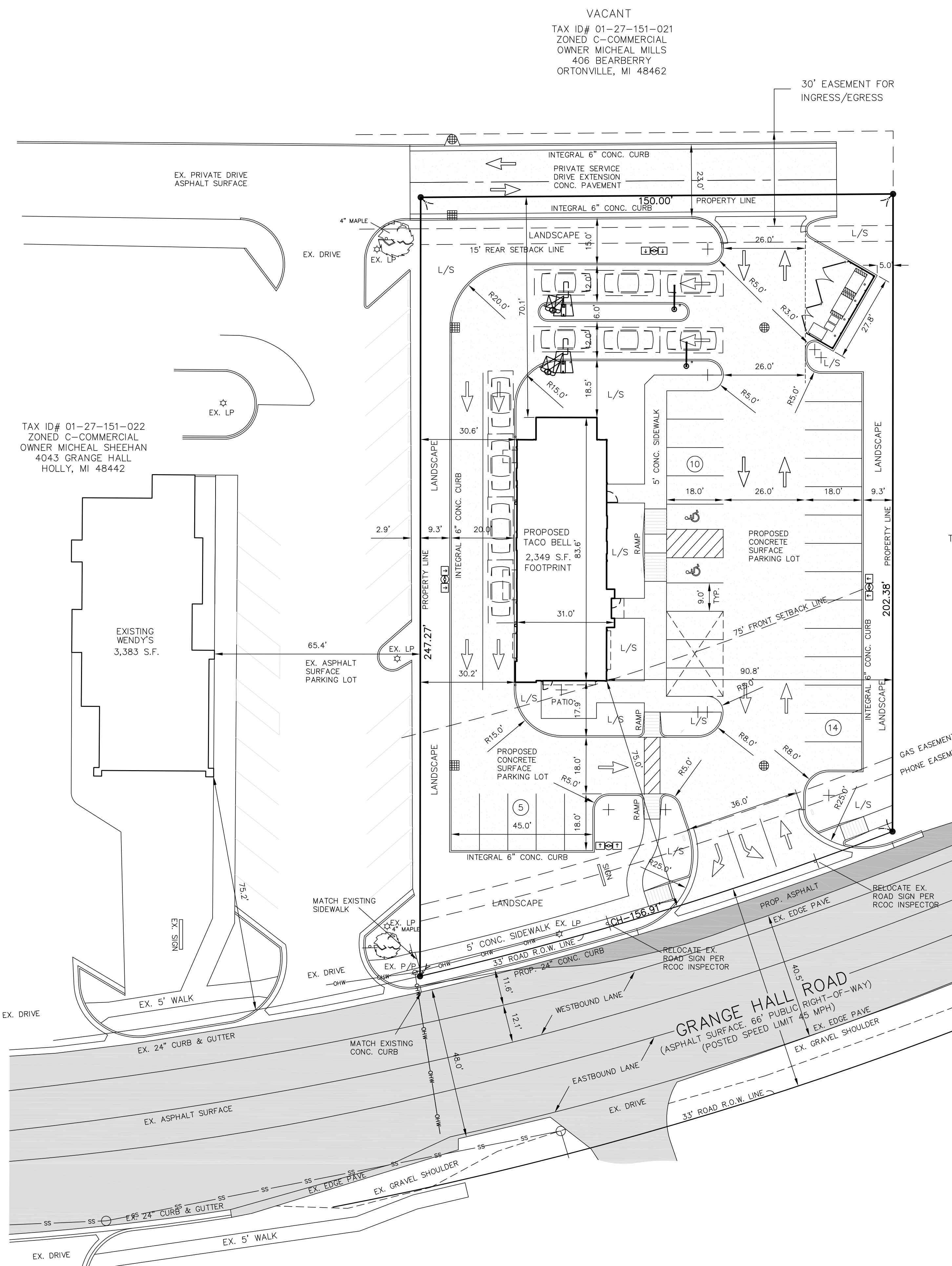
TOPOGRAPHICAL SURVEY  
FOR  
**HOLLY TACO BELL**

VILLAGE OF HOLLY      OAKLAND COUNTY      MICHIGAN      HOLLY TB

SHEET **C1** OF



SCALE: 1"=20'



**SUBJECT PROPERTY**  
 4047 GRANGE HALL ROAD  
 HOLLY, MI 48442  
 TAX ID # 01-27-151-002  
 0.90 ACRES GROSS  
 0.78 ACRES NET  
 ZONED C-COMMERCIAL  
 LOCATED IN ZONE X  
 AREA OF MINIMAL FLOOD HAZARD  
 FEMA COMMUNITY PANEL  
 26125C0161F  
 EFFECTIVE 9/29/2006

VACANT  
 TAX ID# 01-27-151-021  
 ZONED C-COMMERCIAL  
 OWNER MICHAEL MILLS  
 406 BEARBERRY  
 ORTONVILLE, MI 48462

TAX ID# 01-27-151-022  
 ZONED C-COMMERCIAL  
 OWNER MICHAEL SHEEHAN  
 4043 GRANGE HALL  
 HOLLY, MI 48442

EXISTING WENDY'S  
 3,383 S.F.

**GRANGE HALL ROAD**  
 (ASPHALT SURFACE, 66' PUBLIC RIGHT-OF-WAY)  
 (POSTED SPEED LIMIT 45 MPH)



No.	REVISIONS	DATE	BY
1	REVISIONS VER VILLAGE OF HOLLY REVIEW	5.18.2022	MJW



JOSEPH A. WIZYNAJTYS  
 NO. 4001021585  
 STATE OF MICHIGAN

SCALE:  
 1"=20'  
 DESIGNED BY:  
 MJW  
 CHECKED BY:  
 JAW  
 DATE:  
 3.15.22  
 DRAWN BY:  
 MJW  
 FIELD CREW CHIEF:  
 BS

DEVELOPER  
 GREAT LAKES TACO, LLC  
 6467 RETREAT DRIVE  
 GRAND BLANC, MI 48439  
 810-771-4500



**REC ENGINEERS**  
 REAL ESTATE CONSULTING ENGINEERS, LLC  
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 (810) 869-0194 OR (810) 845-5364

SITE PLAN  
 FOR  
**HOLLY TACO BELL**

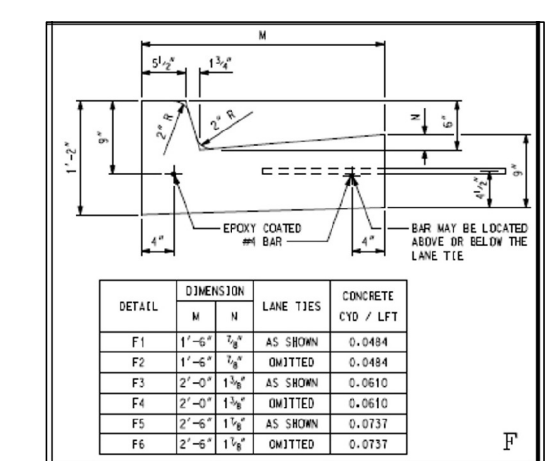
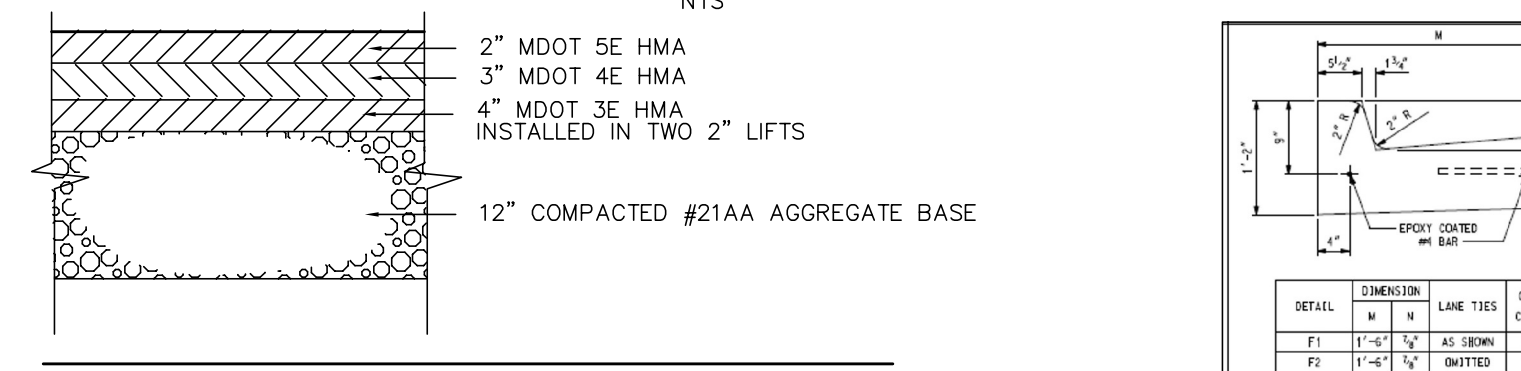
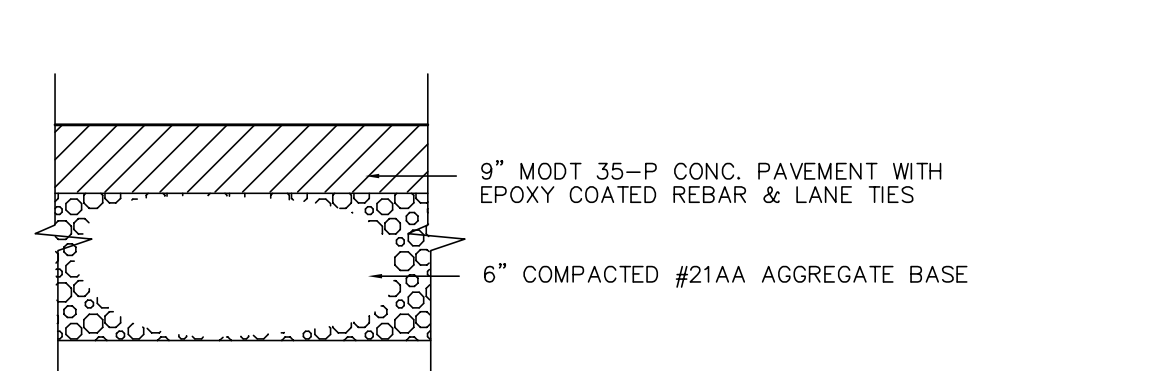
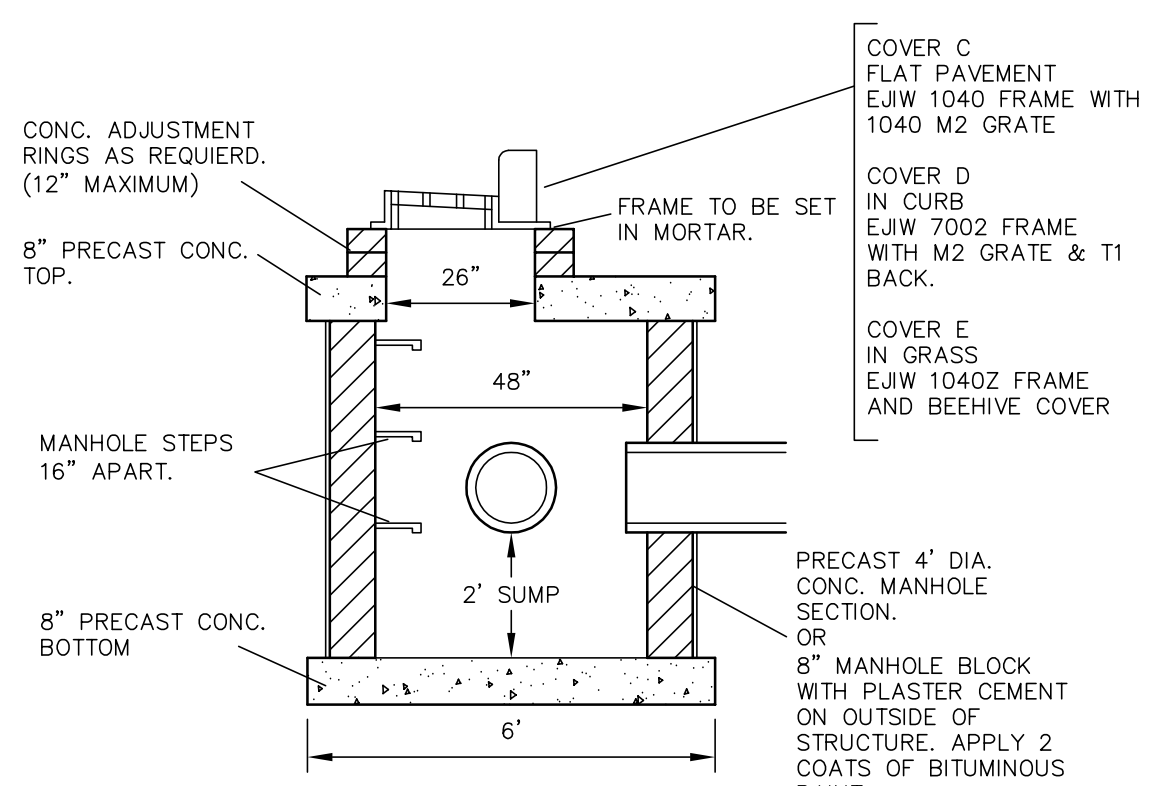
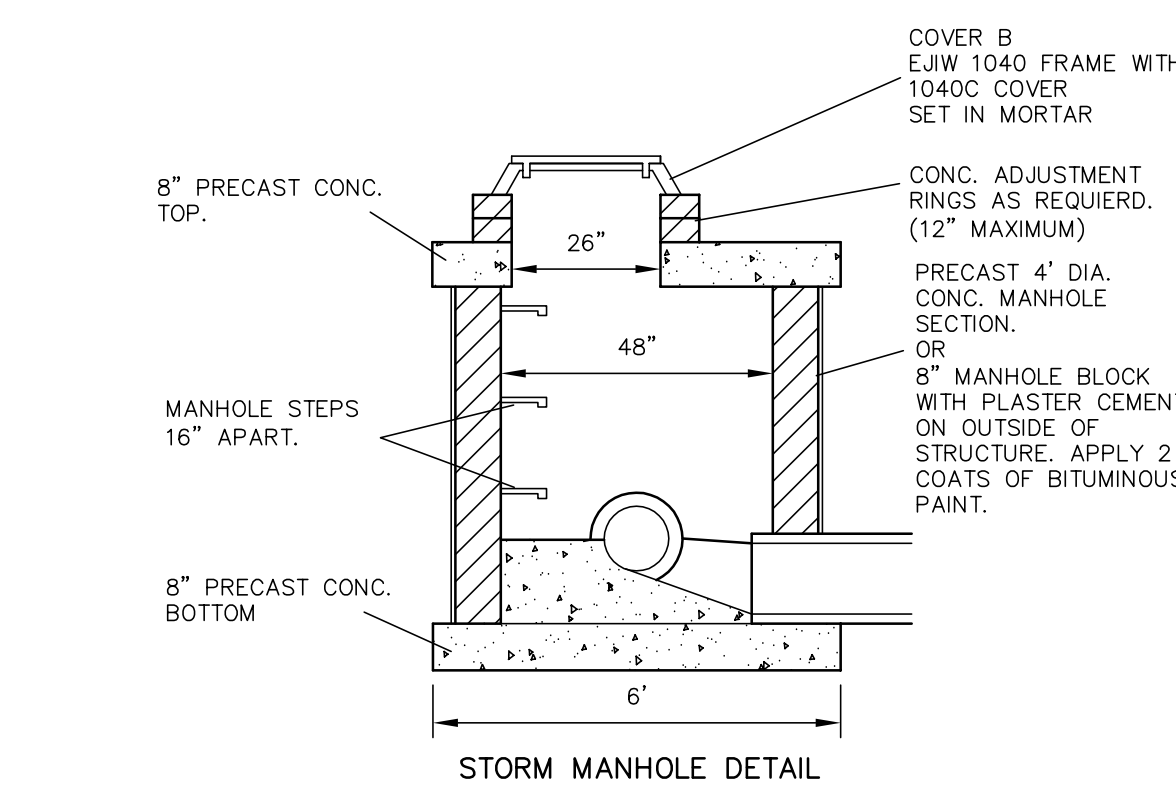
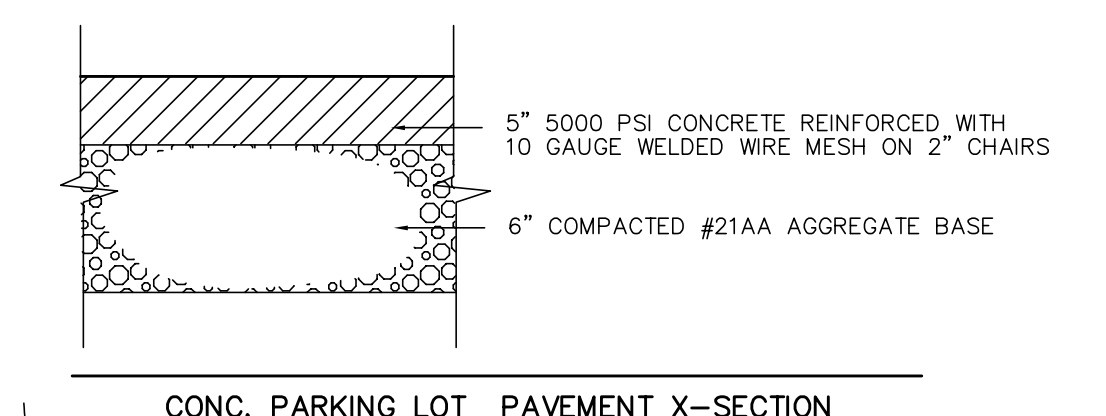
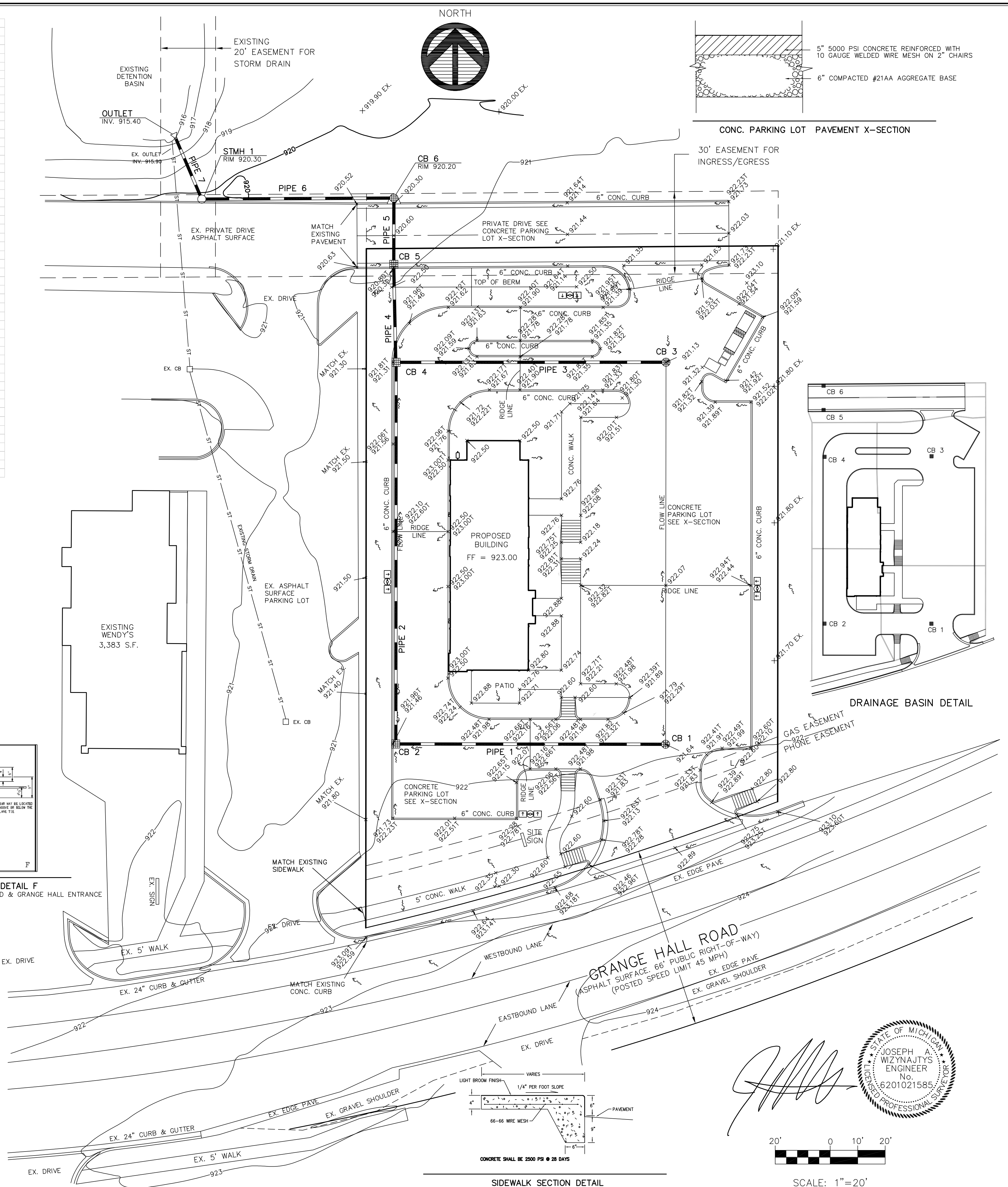
SHEET **C2** OF

STORM SEWER DESIGN COMPUTATIONS																									
FROM	TO	DRAIN AREA	ACRES	AREA IMPERV	AREA PERV	RUNOFF COEFF	EQUIV AREA A * C	INTEN SITY I	TIME OF CONC Tc	ADDF. RUNOFF Q	RUNOFF (CFS) Q	PIPE LENGTH (LF)	PIPE DIA. (IN)	VELOCITY FLOWING FULL (FPS)	HYDRAULIC GRADIENT SLOPE %	ACTUAL SLOPE USED	MANNING FLOW CAPACITY	MANNINGS VELOCITY (FT/SEC)	TIME (MIN)	HG ELEV UPPER END	HG ELEV LOWER END	RM ELEV UPPER END	INVERT UPPER END	INVERT LOWER END	
CB1	CB2	CB1	0.16	0.12	0.04	0.73	0.116	4.38	15.00	0.51	99	12	0.65	0.02%	0.32%	2.02	2.57	0.64	917.55	917.23	921.64	916.75	916.43		
CB2	CB4	CB2	0.15	0.1	0.05	0.67	0.1	4.31	15.64	0.94	139	12	1.19	0.07%	0.32%	2.02	2.57	0.90	917.23	916.78	921.46	916.43	915.98		
CB4	CB5	CB4	0.14	0.09	0.05	0.65	0.091	4.21	16.54	0.82	214	35	1.51	0.11%	0.24%	3.17	2.59	0.23	916.78	916.69	921.31	915.78	915.69		
CB5	CB6	CB5	0.07	0.05	0.02	0.70	0.049	4.19	16.77	2.34	25	15	1.94	0.13%	0.24%	3.17	2.59	0.16	916.69	916.63	920.30	915.69	915.63		
CB6	MH1	CB6	0.04	0.04	0	0.90	0.036	4.17	16.93	2.50	70	15	2.03	0.15%	0.24%	3.17	2.59	0.45	916.63	916.46	920.20	915.63	915.46		
MH1	OUT									2.50	24	15	2.03	0.15%	0.24%	3.17	2.59	0.15	916.46	916.40	920.30	915.46	915.40		
CB3	CB4	CB3	0.27	0.19	0.08	0.69	0.187	4.38	15.00	0.82	99	12	1.04	0.05%	0.32%	2.02	2.57	0.64	917.10	916.78	921.13	916.30	915.98		
Totals			0.59	0.24																					

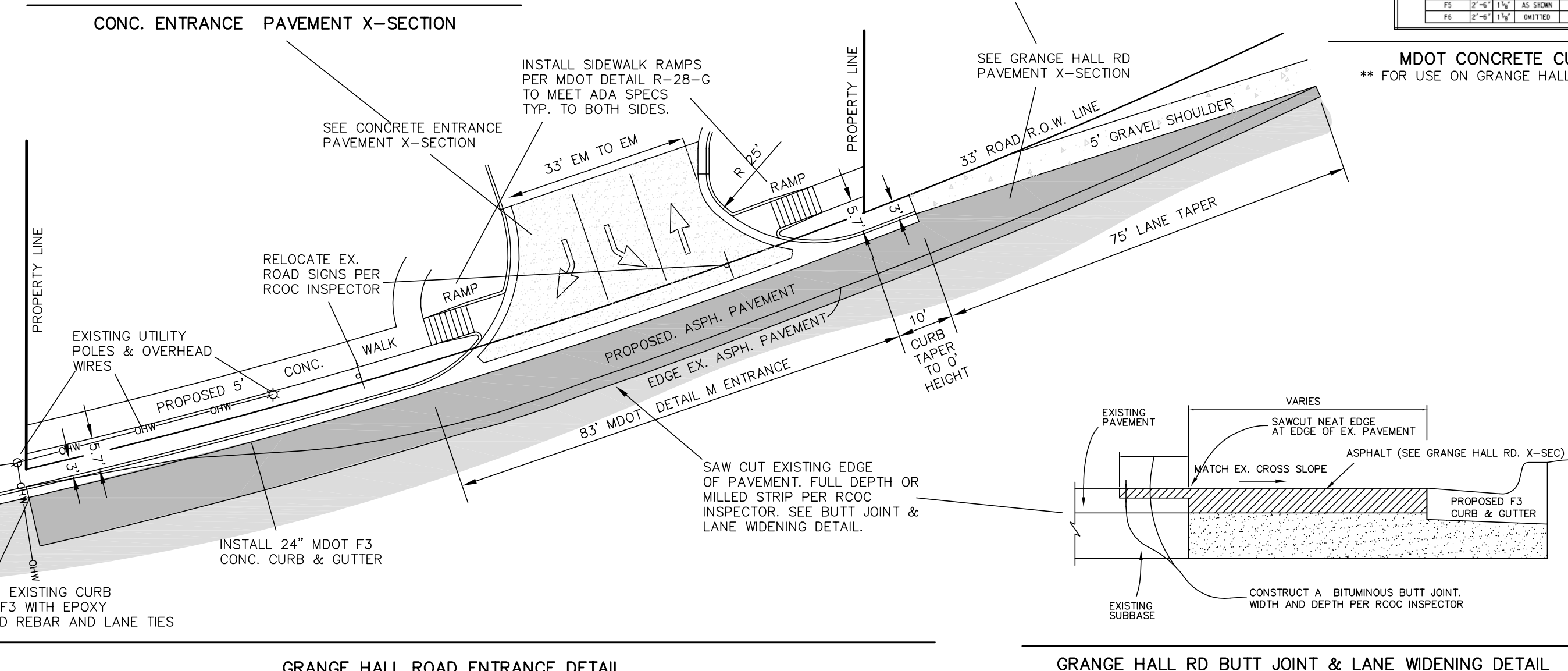
STRUCTURE TABLE	
<b>CB1</b> 4' DIA STR. COVER C (SEE DETAIL) RM = 921.64 INV N. 12" = 916.75 2' SUMP	<b>CB5</b> 4' DIA STR. COVER D (SEE DETAIL) RM = 920.20 INV N. 15" = 915.69 2' SUMP
<b>CB2</b> 4' DIA STR. COVER D (SEE DETAIL) RM = 921.46 INV N. 12" = 916.43 2' SUMP	<b>CB6</b> 4' DIA STR. COVER E (SEE DETAIL) RM = 920.30 INV E. 15" = 915.63 2' SUMP
<b>CB3</b> 4' DIA STR. COVER C (SEE DETAIL) RM = 921.13 INV W. 12" = 916.30 2' SUMP	<b>MH1</b> 4' DIA STR. COVER B (SEE DETAIL) RM = 920.30 INV W. 15" = 915.46 2' SUMP
<b>CB4</b> 4' DIA STR. COVER D (SEE DETAIL) RM = 0.00 INV N. 15" = 915.78 INV S. 12" = 915.98 INV E. 12" = 915.98 2' SUMP	<b>OUT</b> FLARED END SECTION INV S. 15" = 915.40

PIPE TABLE			
PIPE #	SIZE (INCH)	LENGTH (FEET)	SLOPE
1	12	99	0.32%
2	12	139	0.32%
3	12	99	0.32%
4	15	35	0.24%
5	15	25	0.24%
6	15	70	0.24%
7	15	24	0.24%

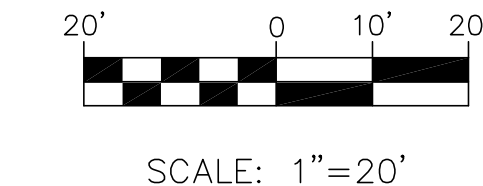
\*SLCPP = SMOOTH LINED COURAGED PLASTIC PIPE (HDPE)



\*\* FOR USE ON GRANGE HALL ROAD & GRANGE HALL ENTRANCE



JOSEPH A. WIZNYAJTYS  
ENGINEER  
No. 6201021585  
LICENSED PROFESSIONAL ENGINEER



SCALE: 1"=20'

No.	REVISIONS	DATE	BY
1	MISC. REV'S PER VILLAGE AND ROAD COMMISSION REVIEW	5.18.2022	MJW

**811**  
Know what's below. Call before you dig.

JOSEPH A. WIZNYAJTYS  
NO. 4001021585  
STATE OF MICHIGAN

SCALE: 1"=20'  
DESIGNED BY: MJW  
CHECKED BY: JAW

DATE: 3.15.22  
DRAWN BY: MJW  
FIELD CREW CHIEF: BS

DEVELOPER  
GREAT LAKES TACO, LLC  
6467 RETREAT DRIVE  
GRAND BLANC, MI 48439  
810-771-4500

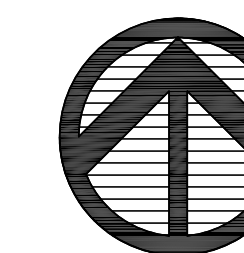
**TACO BELL**

**REC ENGINEERS**  
REAL ESTATE CONSULTING ENGINEERS, LLC  
16509 BELFAST, FENTON, MICHIGAN 48430  
(810) 869-0194 OR (810) 845-5364

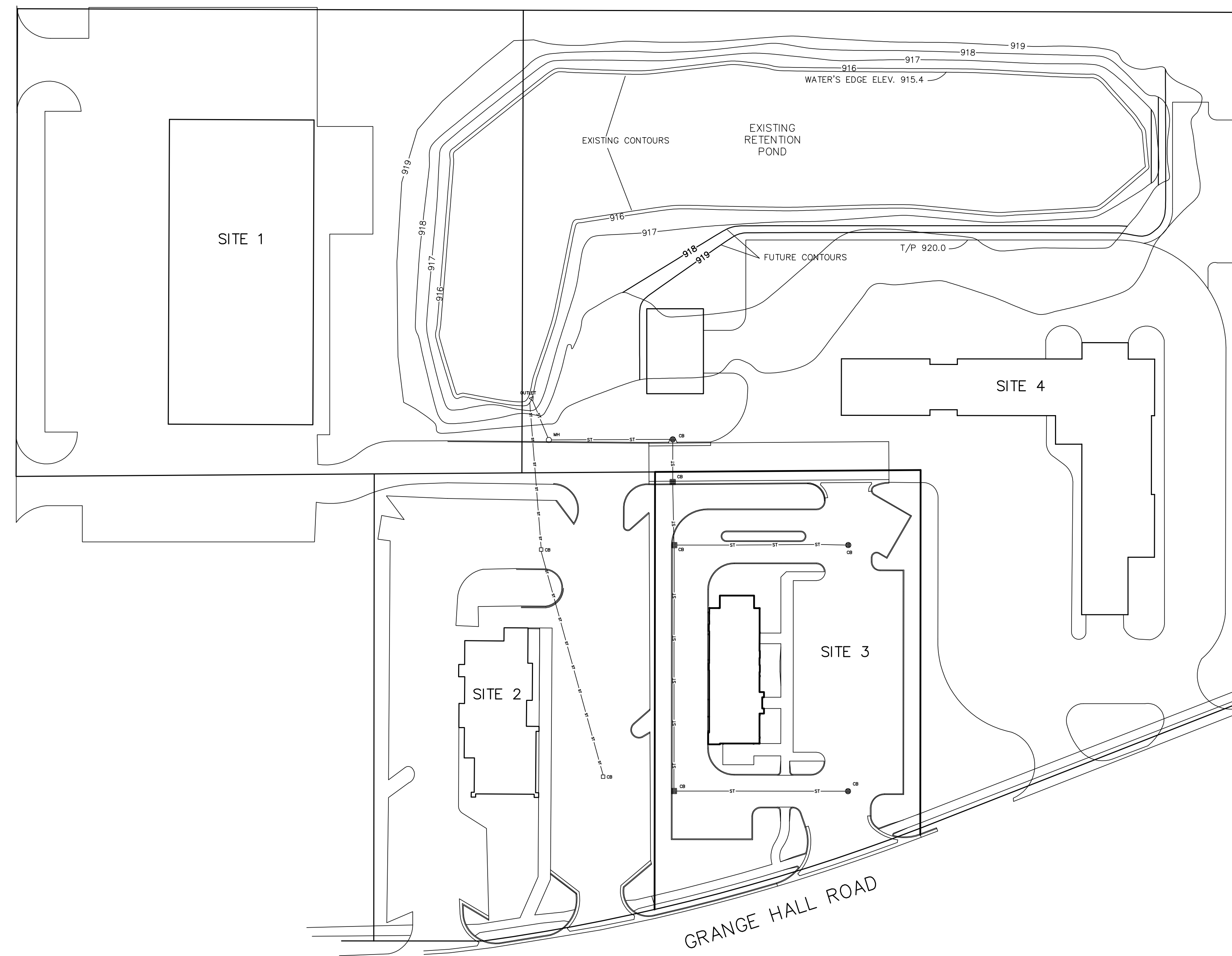
PAVING, GRADING & DRAINAGE PLAN  
FOR  
**HOLLY TACO BELL**  
VILLAGE OF HOLLY OAKLAND COUNTY MICHIGAN HOLLY TB

SHEET **C3** OF

NORTH



SCALE: 1"=40'



- SITE 1  
EXISTING STRIP PLAZA  
1.7 AC TRIBUTARY TO POND  
0.14 AC EXISTING POND SURFACE  
1.03 AC IMPRVIOUS  
0.53 AC GRASS
  - SITE 2  
EXISTING WENDY'S RESTAURANT  
0.94 AC TRIBUTARY TO POND  
0.74 AC IMPERVIOUS  
0.20 AC GRASS
  - SITE 3  
PROPOSED TACO BELL RESTAURANT  
0.83 AC TRIBUTARY TO POND  
0.59 AC IMPERVIOUS  
0.24 AC GRASS
  - SITE 4  
POSSIBLE FUTURE CAR WASH  
PER PROPERTY OWNER  
3.1 AC TRIBUTARY TO POND  
0.65 AC EXISTING POND SURFACE  
1.38 AC IMPERVIOUS  
1.07 AC GRASS
- 6.57 AC TRIBUTARY TO POND  
0.79 AC EXISTING POND SURFACE  
3.74 AC IMPRVIOUS  
2.04 AC GRASS

RETENTION POND			
SITE:	HOLLY TACO BELL	DATE:	5.18.22
	VILLAGE OF HOLLY	DESIGN:	MJW
AREA	C	AC-IMP	
0.79	1	0.79	
3.74	0.9	3.37	
2.04	0.2	0.41	
C COMPOUND C:		0.69	
AREA TOTAL DRAINAGE AREA:		6.57 AC	
<b>TOTAL VOLUME OF STORAGE REQUIRED</b>			
$V_t = 33,000 \times A \times C =$		<b>150612 CF</b>	
RETENTION POND			
ELEV	AREA	VOLUME	CUMULATIVE VOLUME
919	58745	54337	161783
918	49929	46371	107446
917	42813	39728	61075
916	36643	21346	21347
915.4	34510	1	1
<b>STORAGE VOLUME PROVIDED</b>		<b>161783 CF</b>	

No.	REVISIONS	DATE	BY



JOSEPH A. WIZYNAJTYIS  
NO. 4001021585  
STATE OF MICHIGAN

SCALE:  
1"=40'  
DESIGNED BY:  
MJW  
CHECKED BY:  
JAW

DATE:  
5.18.2022  
DRAWN BY:  
MJW  
FIELD CREW CHIEF  
BS

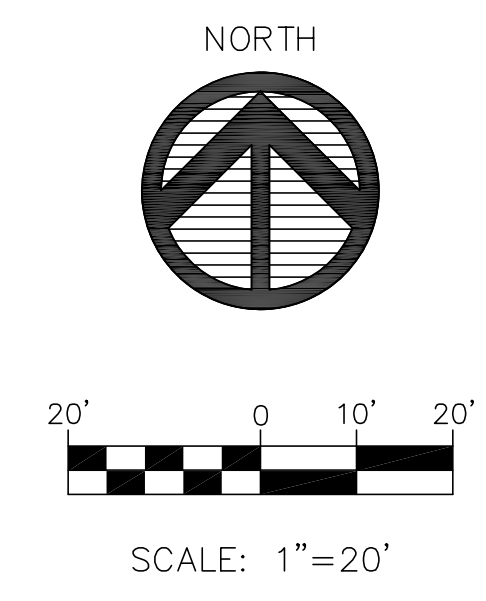
DEVELOPER  
GREAT LAKES TACO, LLC  
6467 RETREAT DRIVE  
GRAND BLANC, MI 48439  
810-771-4500



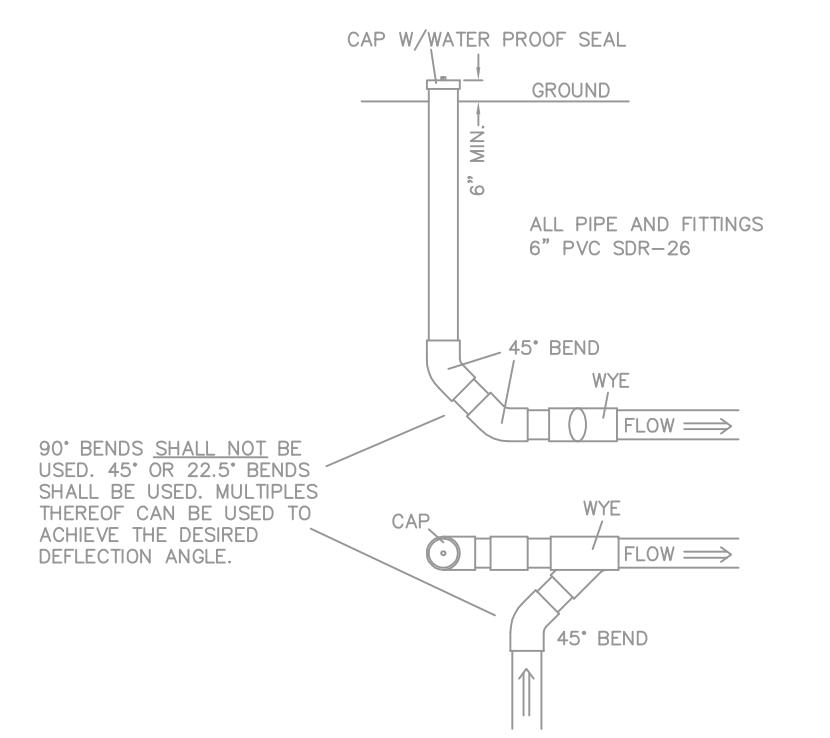
**REC ENGINEERS**  
REAL ESTATE CONSULTING ENGINEERS, LLC  
16509 BELFAST, FENTON, MICHIGAN 48430  
(810) 869-0194 OR (810) 845-5364

RETENTION POND STUDY & CALCS  
FOR  
**HOLLY TACO BELL**  
VILLAGE OF HOLLY OAKLAND COUNTY MICHIGAN

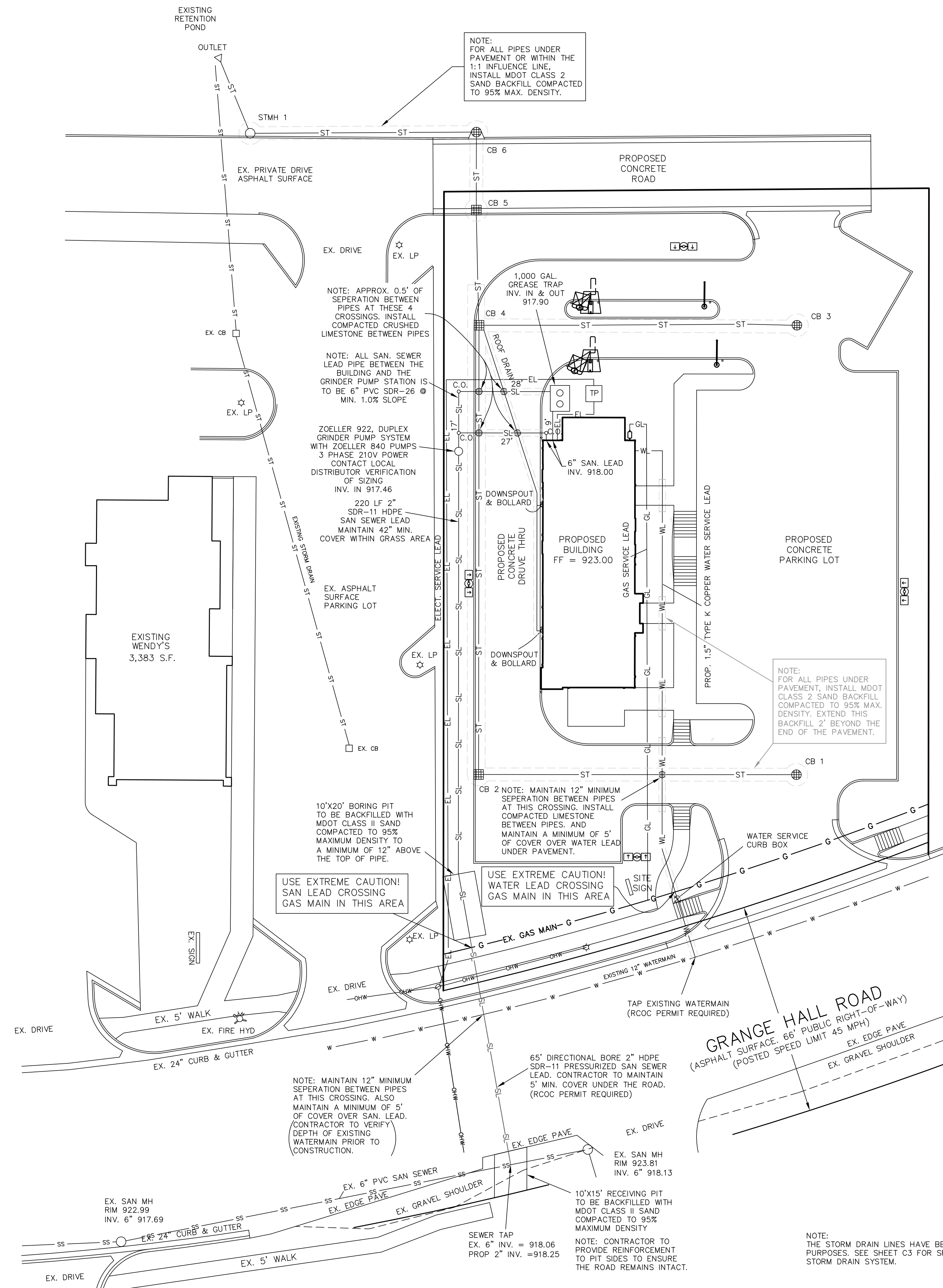
SHEET C3B OF  
HOLLY TB



**SANITARY LEAD NOTE:**  
 THE CONTRACTOR SHALL MAINTAIN THE MINIMUM PIPE COVER SPECIFIED ON THESE PLANS FOR ALL SANITARY SEWER PIPE OUTSIDE THE WALLS OF THE PROPOSED BUILDING.



**SANITARY LEAD CLEANOUT DETAIL**



**LEGEND**

	EX ROAD SIGNS		STORM DRAIN LINE
	UTILITY POLE		ROOF DRAIN LINE
	MANHOLE		SANITARY SEWER MAIN
	CATCH BASIN		SANITARY SEWER LEAD
	FIRE HYDRANT		EX WATER MAIN
	GATEVALVE		WATER LEAD
	EXISTING		GAS MAIN
	CONCRETE		GAS LEAD
	ASPHALT		OVERHEAD WIRES
	SAN CLEAN OUT		ELECTRIC LEAD
			TRANSFORMER PAD

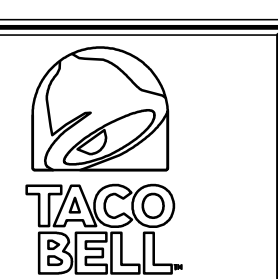
No.	REVISIONS	DATE	BY
1	MISC REV'S PER VILLAGE & ROAD COMMISSION REVIEW	5.18.2022	MJW



JOSEPH A. WIZNYAJTYS  
 NO. 4001021585  
 STATE OF MICHIGAN

SCALE:  
 1"=20'  
 DESIGNED BY:  
 MJW  
 CHECKED BY:  
 JAW

DATE:  
 5.11.2022  
 DRAWN BY:  
 MJW  
 FIELD CREW CHIEF  
 BS



**REC ENGINEERS**  
 REAL ESTATE CONSULTING ENGINEERS, LLC  
 16509 BELFAST, FENTON, MICHIGAN 48430  
 (810) 869-0194 OR (810) 845-5364

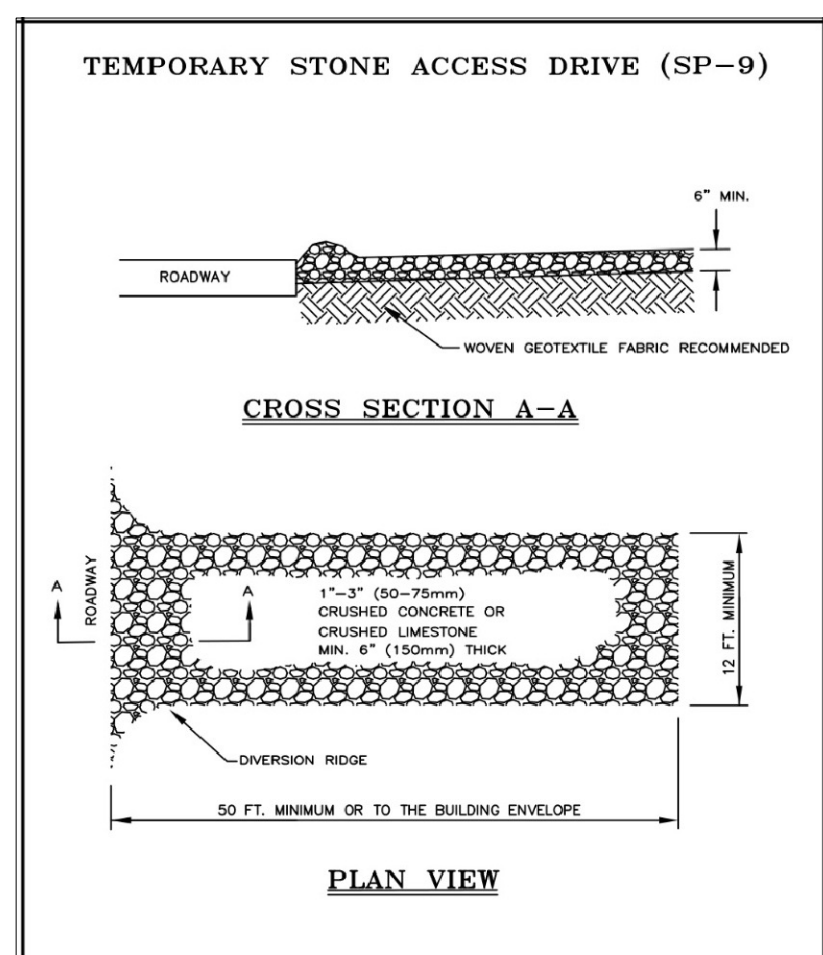
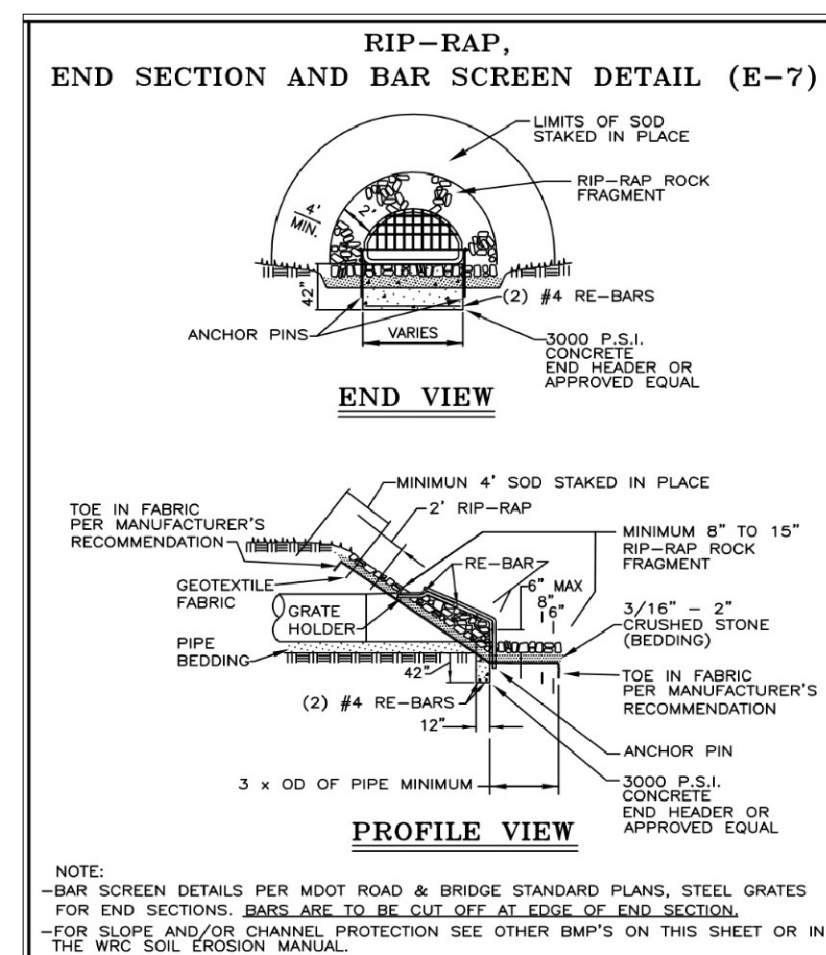
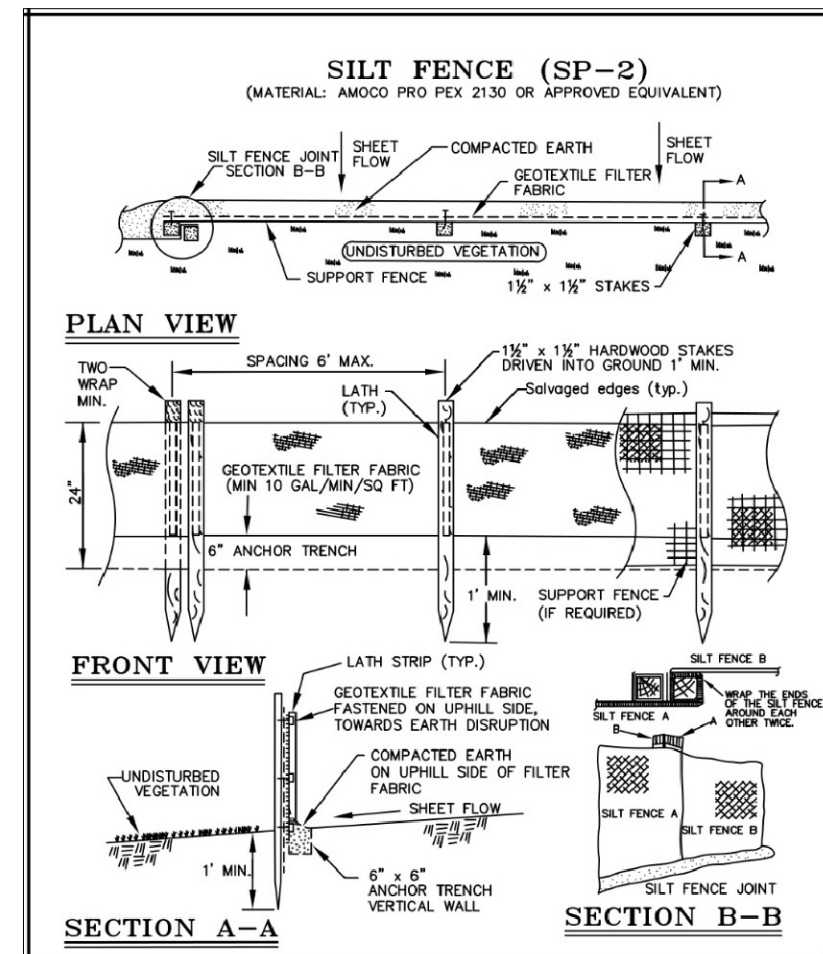
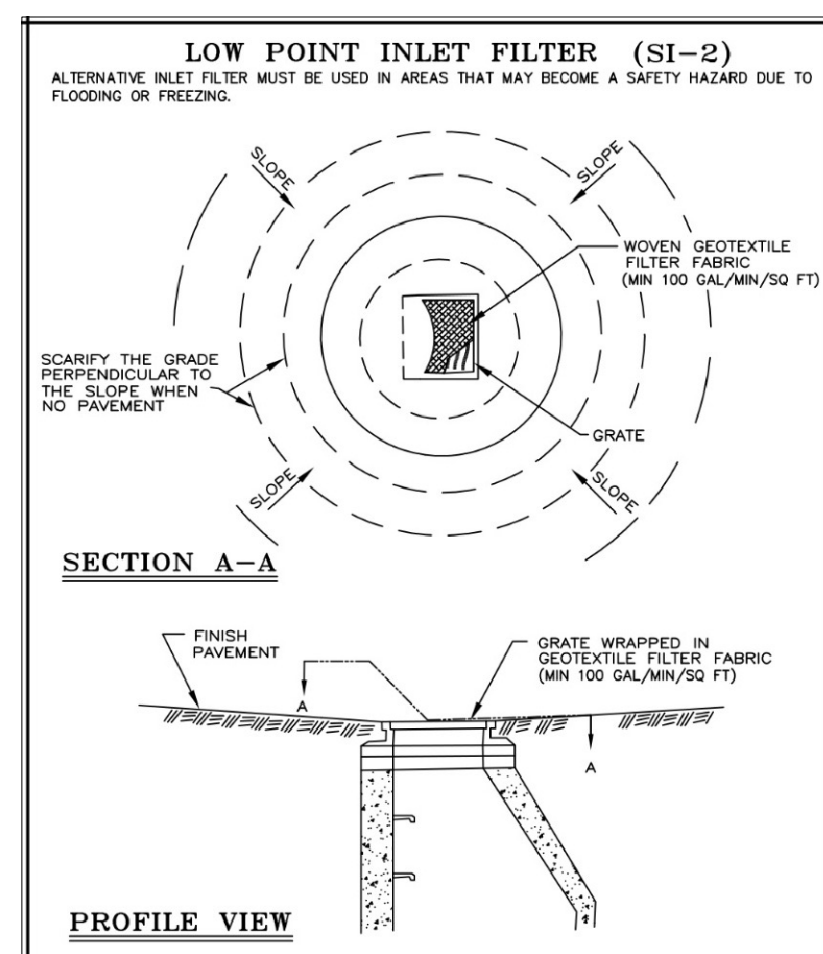
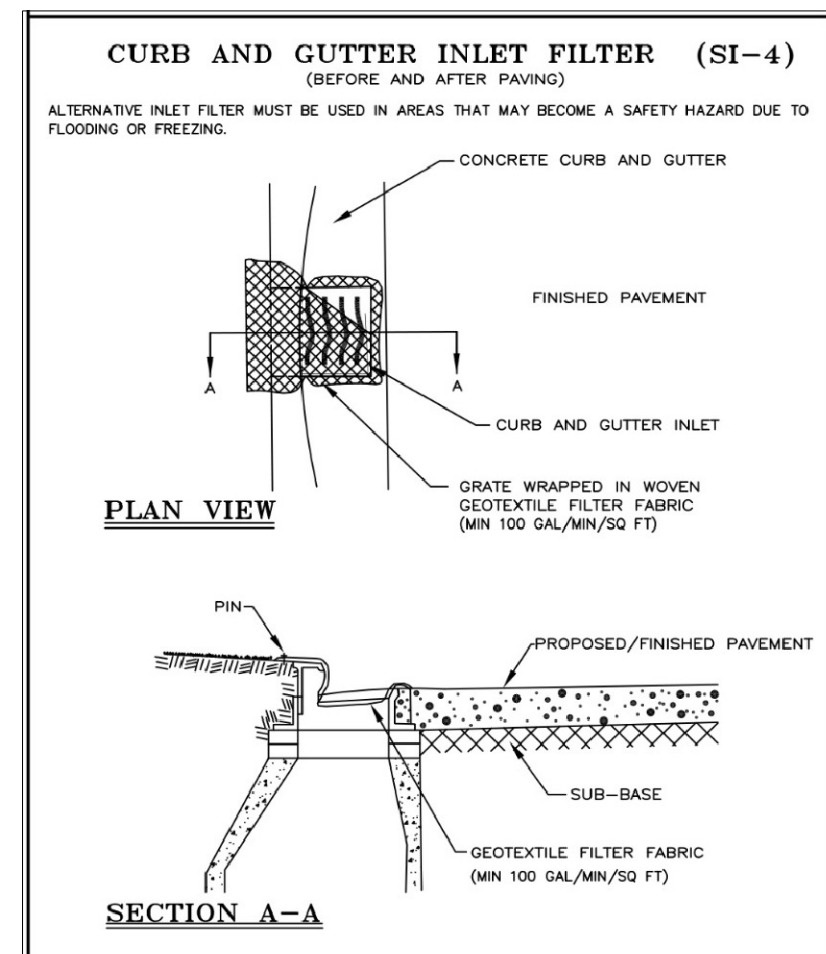
UTILITY PLAN  
 FOR  
**HOLLY TACO BELL**  
 VILLAGE OF HOLLY OAKLAND COUNTY MICHIGAN HOLLY TB

**SOIL EROSION AND SEDIMENTATION CONTROL (SESC) NOTES**

- SOIL EROSION: THE CONTRACTOR SHALL SUBMIT A DETAILED SOIL EROSION AND SEDIMENTATION CONTROL PLAN AND OBTAIN AN ACT 451 PART 91, SOIL EROSION AND SEDIMENTATION CONTROL PERMIT. THIS INCLUDES THE PAYMENT OF FEES AND THE PROVIDING OF NECESSARY BONDS. NO EARTH CHANGES OR EXCAVATION SHALL BE STARTED PRIOR TO THE ISSUANCE OF THIS PERMIT. THE CONTRACTOR SHALL PROTECT ALL EXISTING AND PROPOSED STORM SEWER FACILITIES ON AND ADJACENT TO THE SITE DURING EXCAVATION AND CONSTRUCTION. ALL SEDIMENT SHALL BE CONTAINED ON SITE. ANY SILT IN COUNTY DRAINS, STORM SEWER, CULVERTS, ETC., AS A RESULT OF THIS PROJECT, SHALL BE REMOVED BY THE CONTRACTOR AT THE COST OF THE CONTRACTOR.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO ALL APPLICABLE REQUIREMENTS OF THE VILLAGE OF HOLLY AND THE OAKLAND COUNTY WATER RESOURCES COMMISSION (WRC). THE CONTRACTOR SHALL OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT OR WAIVER FROM THE WRC PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS.
- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
- CONTRACTOR SHALL PLACE AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY THE VILLAGE OF HOLLY AND/OR THE WRC AND AS SHOWN ON THE PLANS. CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS ALL PERMANENT EROSION CONTROL MEASURES HAVE BEEN COMPLETED AND APPROVED BY THE VILLAGE OF HOLLY AND/OR THE WRC.
- EROSION AND ANY SEDIMENT CREATED FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN ANY DRAINAGE FACILITIES. DRAINAGE FACILITIES INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
- ALL MUD, DIRT AND DEBRIS TRACKED ONTO EXISTING ROADS FROM THE SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR. ALL MUD, DIRT AND DEBRIS TRACKED OR SPILLED ONTO PAVED SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- CONTRACTOR MUST IMPLEMENT APPROPRIATE MEASURES AS REQUIRED TO CONTROL DUST AT ALL TIMES, AS APPROVED BY THE VILLAGE OF HOLLY AND/OR THE WRC.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- FAILURE TO COMPLY WITH ALL APPLICABLE SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS MAY RESULT IN WORK STOPPAGE BY THE VILLAGE OF HOLLY AND/OR THE WRC.
- CONTRACTOR MUST IMMEDIATELY HAUL AWAY ALL EXCAVATED DIRT TO AN APPROVED OFF-SITE LOCATION OR TEMPORARILY STORE THE MATERIAL ON THE SITE. ALL STORED MATERIAL MUST BE PROTECTED TO PREVENT EROSION.
- THE CONTRACTOR MUST PROVIDE A WRITTEN SCHEDULE INDICATING THE TIMING AND SEQUENCING OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND CONSTRUCTION ITEMS, INCLUDING THE INSTALLATION OF ALL PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
- APPROXIMATELY 0.86 ACRES WILL BE DISTURBED IN CONSTRUCTION OF THIS PROJECT. THEREFORE, AN NPDES STORM WATER DISCHARGE PERMIT IS NOT REQUIRED.
- FINAL VEGETATION IS SPECIFIED AS HAVING EVERY SQUARE FOOT OF GROUND DISTURBANCE WITH A DENSITY OF 90% AND AT LEAST 1" IN HEIGHT.

**SESC MAINTENANCE NOTES**

- FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING ANY PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USEABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE FABRIC SHALL BE REPLACED PROMPTLY.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AS REQUIRED SUCH THAT THE MEASURES ARE EFFECTIVE AND IN PROPER WORKING ORDER AT ALL TIMES.
- ALL MUD/DIRT TRACKED ONTO ROADS FROM THE SITE DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, BOTH PERMANENT AND TEMPORARY, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE MAINTAINED WEEKLY OR AFTER EVERY STORM EVENT.



**LEGAL DESCRIPTION (AS PROVIDED):**

PART OF THE NORTHWEST 1/4 OF SECTION 27, TOWNSHIP 5 NORTH, RANGE 7 EAST, VILLAGE OF HOLLY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE CENTERLINE OF GRANGE HALL ROAD WHICH IS NORTH 89 DEGREES 36 MINUTES 03 SECONDS EAST, ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION, A DISTANCE OF 820.28 FEET TO A POINT ON A CURVE TO THE LEFT 100.31 FEET, HAVING A RADIUS OF 1145.92 FEET, A CENTRAL ANGLE OF 05 DEGREES 00 MINUTES 56 SECONDS, CHORD BEARING AND DISTANCE OF NORTH 79 DEGREES 54 MINUTES 33 SECONDS EAST, 100.26 FEET FROM THE WEST 1/4 CORNER OF SAID SECTION 27; THENCE NORTH 00 DEGREES 03 MINUTES 00 SECONDS EAST 281.12 FEET; THENCE NORTH 89 DEGREES 36 MINUTES 03 SECONDS EAST 150.00 FEET; THENCE SOUTH 00 DEGREES 03 MINUTES 00 SECONDS WEST 237.68 FEET TO THE CENTERLINE OF GRANGE HALL ROAD AND POINT ON A CURVE TO THE RIGHT A DISTANCE OF 156.61 FEET, HAVING A RADIUS OF 1145.92 FEET, CENTRAL ANGLE OF 07 DEGREES 49 MINUTES 50 SECONDS, CHORD BEARING AND DISTANCE OF SOUTH 73 DEGREES 29 MINUTES 11 SECONDS WEST, 156.49 FEET TO THE POINT OF BEGINNING.

**OAKLAND COUNTY SESC MEASURES DETAILS**

No.	REVISIONS	DATE	BY
1	MISC REV'S PER VILLAGE AND ROAD COMMISSION REVIEW	5.18.2022	MJW

**811**  
Know what's below. Call before you dig.

JOSEPH A. WIZYNAJTY'S  
NO. 4001021585  
STATE OF MICHIGAN

SCALE: 1"=20'  
DESIGNED BY: MJW  
CHECKED BY: JAW

DATE: 3.15.22  
DRAWN BY: MJW  
FIELD CREW CHIEF: BS

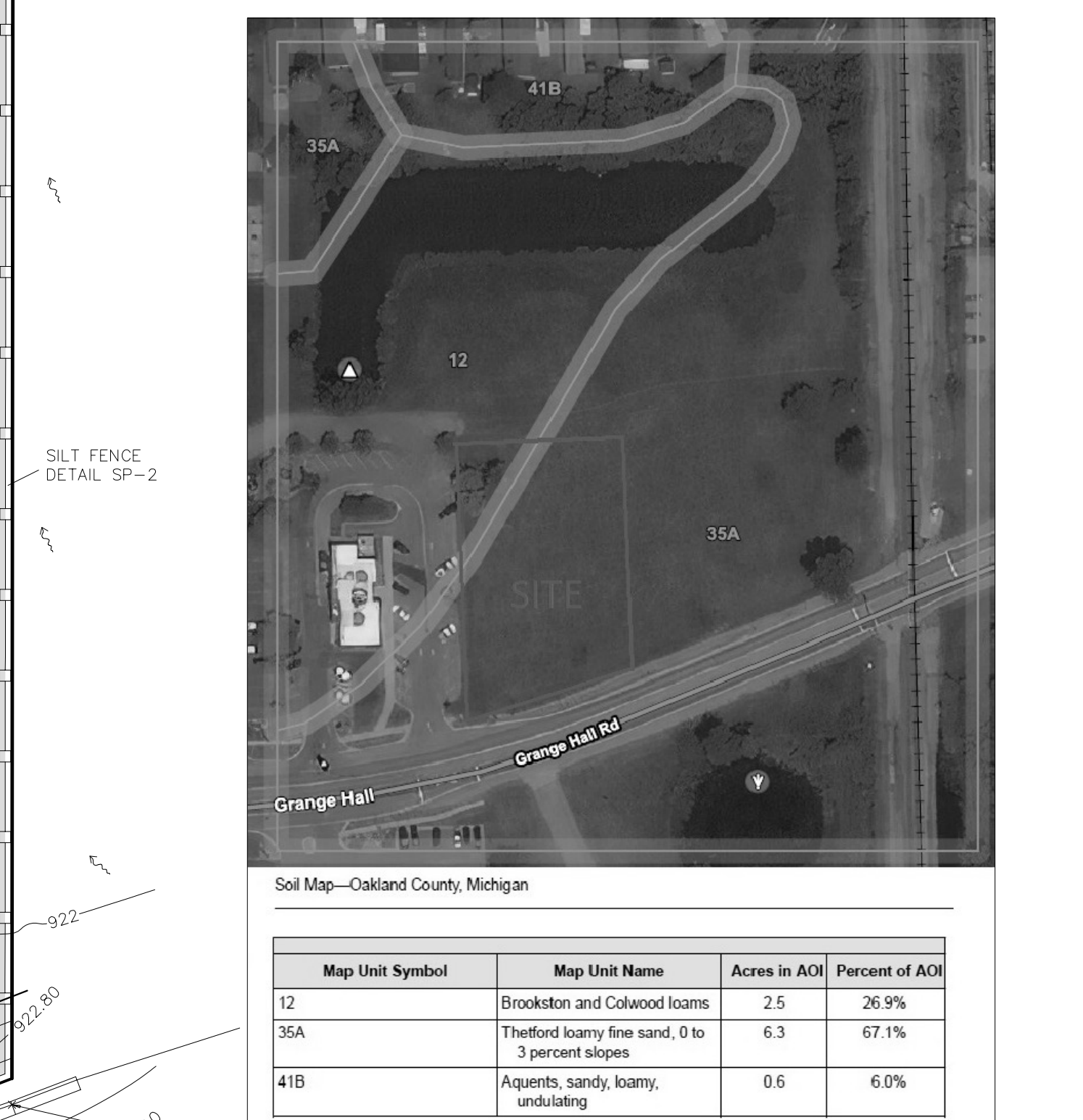
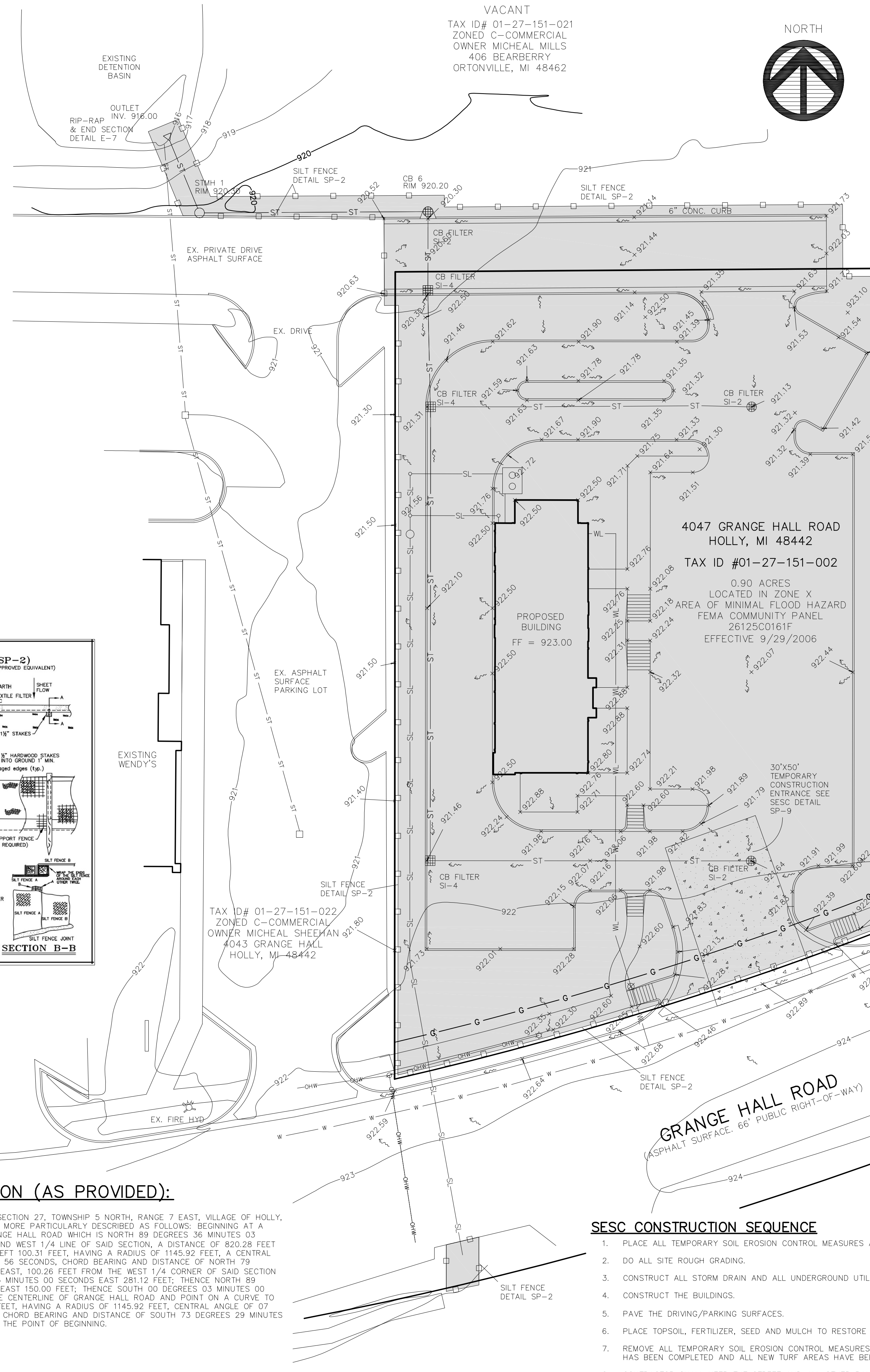
**DEVELOPER**  
GREAT LAKES TACO, LLC  
6467 RETREAT DRIVE  
GRAND BLANC, MI 48439  
810-771-4500

**TACO BELL**

**REC ENGINEERS**  
REAL ESTATE CONSULTING ENGINEERS, LLC  
16509 BELFAST, FENTON, MICHIGAN 48430  
(810) 869-0194 OR (810) 845-5364

**SOIL EROSION CONTROL PLAN**  
FOR  
**HOLLY TACO BELL**  
VILLAGE OF HOLLY OAKLAND COUNTY MICHIGAN HOLLY TB

SHEET **C5** OF 9



**LEGEND**

- EX ROAD SIGNS
- UTILITY POLE
- MANHOLE
- CATCH BASIN
- FIRE HYDRANT
- EXISTING
- CONC
- ASPH
- TRANSFORMER PAD
- STORM DRAIN LINE
- ROOF DRAIN LINE
- SANITARY SEWER MAIN
- SANITARY SEWER LEAD
- EX WATER MAIN
- WATER LEAD
- GAS MAIN
- GAS LEAD
- OVERHEAD WIRES
- ELECTRIC LEAD
- SILT FENCE
- DISTURBED AREA (0.86 ACRES)
- NPDES DISCHARGE PERMIT NOT REQUIRED

**JOSEPH A. WIZYNAJTY'S**  
ENGINEER  
No. 4001021585  
STATE OF MICHIGAN