

## **SITE LEGEND:**

- ACCESSIBLE PARKING SIGN, POST & BOLLARD WITH ACCESSIBLE I AIRRITO DETAILS)

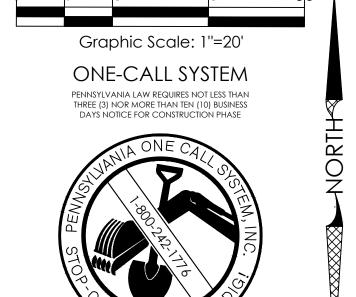
  SLEEVE COVER (REFER TO DETAILS)
- (B) PAINTED ACCESSIBLE PARKING SYMBOL (REFER TO DETAIL)
- © "VAN ACCESSIBLE" SIGN (REFER TO DETAIL)
- PAINTED PARKING ISLAND AREA TO BE STRIPED WITH 4" SYSL @ 2'-0" O.C. AND AT 45° TO PARKING SPACE.
- (E) SYSL/4" PARKING STALL STRIPING
- F) PAVEMENT MARKINGS ARROWS (REFER TO DETAIL)
- G REGULAR DUTY PAVEMENT (REFER TO DETAIL)
  - (G) HEAVY DUTY PAVEMENT (REFER TO DETAIL)
- (H) HEAVY DUTY CONCRETE (REFER TO DETAIL)
- (I) EDGE OF PAVEMENT
- (J) CONCRETE SIDEWALK (REFER TO DETAIL)
- (K) DUMPSTER LOCATION (REFER TO DETAIL)
- FLAG POLE EDER FLAG OF OAK CREEK, WI AND MODEL (L) ECH35 (REFER TO BUILDING PLANS FOR ADDITIONAL
- M CONCRETE CURB (REFER TO DETAIL)
- N TRANSITION CURB (REFER TO DETAIL)
- ADA RAMP AND DETECTABLE WARNING (REFER TO O DETAIL)
- (P) LAWN/MULCH AREA (COORDINATE WITH OWNER)
- EXISTING LIGHT POLE WRAP CONCRETE BASE WITH SLEEVE (REFER TO DETAIL)
- (R) ORDER CONFIRMATION UNIT (REFER TO DETAIL)
- S) MENU BOARD (REFER TO DETAIL)
- (T) CLEARANCE BAR (REFER TO DETAIL)
- U PAK'NTAINER TRASH COMPACTOR & ELECTRIC BOX (REFER TO DETAIL)
- (V) FLUSH CURB
- W BOLLARD (REFER TO DETAIL)

## SITE NOTES:

- CONTRACTOR SHALL REVIEW SITE AND EXISTING PAD CONDITIONS AND INCLUDE ALL WORK NECESSARY FOR CONSTRUCTION OF PROJECT.
- 2. ALL EXISTING BUILDING(S), SITE, ROADWAY, UTILITY, BOUNDARY, AND TOPOGRAPHY INFORMATION SHOWN ON THIS PLAN IS REPRESENTED BASED ON USE OF THE LISTED REFERENCES. CONTRACTOR TO VERIFY LOCATION AND LIMITS OF WORK PRIOR TO STARTING. ANY CHANGES OR CONFLICTS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- 3. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS. ALL PAVING, CURBING, FLATWORK, SIDEWALKS, FENCING, BOLLARDS, ETC., WHICH CONFLICT WITH NEW CONSTRUCTION ARE TO BE DEMOLISHED AND DISPOSED OF IN ACCORDANCE WITH ANY LOCAL, STATE, OR FEDERAL REGULATIONS.
- 4. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. CONTRACTOR SHALL NOT BLOCK THE SHARED ACCESS DRIVES AND KEEP ALL WORK WITHIN THE PAD SITE LIMITS.

## REFERENCE:

- 1. PAD B SITE PLAN, LAST REVISED ON 06/17/2021, PREPARED BY HORIZON ENGINEERING
- 2. PRELIMINARY ALTA/NSPS LAND TITLE SURVEY, LAST REVISED ON 12/22/2021, PREPARED BY BL COMPANIES



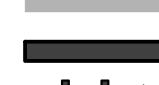
## LEGEND OF IMPROVEMENTS

FACE OF CURB FACE OF CURB/BACK OF CURB — — SETBACK LINE

SUBJECT PARCEL PROPERTY LINE

 PROPOSED BUILDING TRANSFORMER PAD

CONCRETE PAVEMENT (REFER TO HEAVY DUTY PAVEMENT (REFER



**BUILDING AREA** 

TO DETAIL)

LIGHT POLES SITE SIGN, PAINTED STOP BAR & "STOP" LETTERING

**PROPOSED** 

± 67 FT

± 69 FT

± 45 FT, ± 62 FT

16.42 AC

24 FT

>10 FT

Revisions: Date Revised per Addendum #1

Issued:

TODD MARKEVICZ CIVIL ENGINEER OF RECORD

Name: Todd G. Markevicz Penn. License No.: PE084166 Exp. Date: September 30, 2023 Firm Approval No.: 002215

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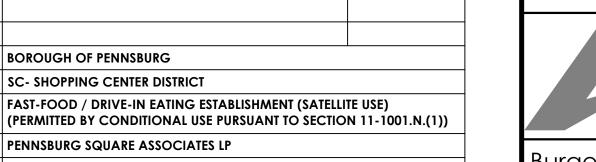
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DO NOT SCALE PLANS

opying, Printing, Software and other processes required to produc these prints can stretch or shrink the actual paper or layout. Engineer of Record with any need for additional dimensions or





**VARIANCE** 

NO

NO

NO

NO

NO

NO

4700 Falls of Neuse Rd Suite 400 Raleigh, NC 27609 phone: (513) 484-0965 Store#: Burger King

Ampler Development LLC

322 Pottstown Ave. Pennsburg, PA 18073

Montgomery County (Pennsburg Borough) Project Name & Location:

Site Plan

Drawing Name:

Project No. Date: 01/21/22 21-0327 Гуре:

Drawn By: SAS Scale: 1" = 20' Drawing No.

INGRESS/EGRESS MINIMUM NO 26 FT MINIMUM 27 FT & 29 FT DRIVE WIDTH THE LARGER OF 1.5 SPACES PER TABLE OR BOOTH OR 1 >72 SPACES SPACE PER 50 SF OF GROSS FLOOR AREA; MIN OF 25 NO PARKING REQUIREMENT WITHIN 150 FT.) SPACES (72 SPACES) PARKING STALL WIDTH 10 FT MIN 9 FT YES\* PARKING STALL LENGTH 20 FT MIN YES\* 18 FT MINIMUM STACKING 6 SPACES PER BOOTH / SERVICE WINDOW 12 SPACES NO REQUIREMENTS AISLE WIDTH 24 FT NO 22 FT

10 FT FROM ANY R DISTRICT BOUNDARY.

BOROUGH OF PENNSBURG

16.4169 ACRES TO ULT. R/W

REQUIRED

25 FT MINIMUM

25 FT MINIMUM

26 FT MINIMUM

5 AC

40 FT

SC- SHOPPING CENTER DISTRICT

PENNSBURG SQUARE ASSOCIATES LP

\*NOTE: WAIVER WAS GRANTED ON FEB 6 2018.

SITE DATA:

LOCAL JURISDICTION:

PROPERTY ACREAGE:

PERMITTED USES:

OWNER:

**BULK REQUIREMENTS** 

MINIMUM TRACT AREA

MAXIMUM BUILDING HEIGHT

OFF-STREET PARKING SETBACK

FRONT YARD

REAR YARD

SIDE YARD

ZONING CLASSIFICATION: