



SITE LEGEND:

- (A) ACCESSIBLE PARKING SIGN, POST & BOLLARD WITH SLEEVE COVER (REFER TO DETAILS)
- (B) PAINTED ACCESSIBLE PARKING SYMBOL (REFER TO DETAIL)
- (C) "VAN ACCESSIBLE" SIGN (REFER TO DETAIL)
- (D) PAINTED PARKING ISLAND AREA TO BE STRIPED WITH 4" SYSL @ 2'-0" O.C. AND AT 45° TO PARKING SPACE.
- (E) SYSL/4" PARKING STALL STRIPING
- (F) PAVEMENT MARKINGS - ARROWS (REFER TO DETAIL)
- (G) REGULAR DUTY PAVEMENT (REFER TO DETAIL)
- (G1) HEAVY DUTY PAVEMENT (REFER TO DETAIL)
- (H) HEAVY DUTY CONCRETE (REFER TO DETAIL)
- (I) EDGE OF PAVEMENT
- (J) CONCRETE SIDEWALK (REFER TO DETAIL)
- (K) DUMPSTER LOCATION (REFER TO DETAIL)
- (L) FLAG POLE - EDER FLAG OF OAK CREEK, WI AND MODEL ECH35 (REFER TO BUILDING PLANS FOR ADDITIONAL DETAILS)
- (M) CONCRETE CURB (REFER TO DETAIL)
- (N) TRANSITION CURB (REFER TO DETAIL)
- (O) ADA RAMP AND DETECTABLE WARNING (REFER TO DETAIL)
- (P) LAWN/MULCH AREA (COORDINATE WITH OWNER)
- (Q) EXISTING LIGHT POLE - WRAP CONCRETE BASE WITH SLEEVE (REFER TO DETAIL)
- (R) ORDER CONFIRMATION UNIT (REFER TO DETAIL)
- (S) MENU BOARD (REFER TO DETAIL)
- (T) CLEARANCE BAR (REFER TO DETAIL)
- (U) PAK'nTAINER TRASH COMPACTOR & ELECTRIC BOX (REFER TO DETAIL)
- (V) FLUSH CURB
- (W) BOLLARD (REFER TO DETAIL)

SITE NOTES:

1. CONTRACTOR SHALL REVIEW SITE AND EXISTING PAD CONDITIONS AND INCLUDE ALL WORK NECESSARY FOR CONSTRUCTION OF PROJECT.
2. ALL EXISTING BUILDING(S), SITE, ROADWAY, UTILITY, BOUNDARY, AND TOPOGRAPHY INFORMATION SHOWN ON THIS PLAN IS REPRESENTED BASED ON USE OF THE LISTED REFERENCES. CONTRACTOR TO VERIFY LOCATION AND LIMITS OF WORK PRIOR TO STARTING. ANY CHANGES OR CONFLICTS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
3. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS. ALL PAVING, CURBING, FLATWORK, SIDEWALKS, FENCING, BOLLARDS, ETC., WHICH CONFLICT WITH NEW CONSTRUCTION ARE TO BE DEMOLISHED AND DISPOSED OF IN ACCORDANCE WITH ANY LOCAL, STATE, OR FEDERAL REGULATIONS.
4. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. CONTRACTOR SHALL NOT BLOCK THE SHARED ACCESS DRIVES AND KEEP ALL WORK WITHIN THE PAD SITE LIMITS.

REFERENCE:

1. PAD B SITE PLAN, LAST REVISED ON 06/17/2021, PREPARED BY HORIZON ENGINEERING
2. PRELIMINARY ALTA/NSPS LAND TITLE SURVEY, LAST REVISED ON 12/22/2021, PREPARED BY BL COMPANIES

0 10 20 40 60
Graphic Scale: 1"=20'

ONE-CALL SYSTEM
PENNSYLVANIA LAW REQUIRES NOT LESS THAN THREE (3) HOURS MORE THAN TEN (10) BUSINESS DAYS NOTICE FOR CONSTRUCTION PHASE

NORTH

LEGEND OF IMPROVEMENTS

- BACK OF CURB / FACE OF CURB
- FACE OF CURB/BACK OF CURB
- SUBJECT PARCEL PROPERTY LINE
- SETBACK LINE
- PROPOSED BUILDING
- TRANSFORMER PAD
- CONCRETE PAVEMENT (REFER TO DETAIL)
- HEAVY DUTY PAVEMENT (REFER TO DETAIL)
- BUILDING AREA
- LIGHT POLES
- SITE SIGN, PAINTED STOP BAR & "STOP" LETTERING

SITE DATA:

LOCAL JURISDICTION:	BOROUGH OF PENNSBURG
ZONING CLASSIFICATION:	SC- SHOPPING CENTER DISTRICT
PERMITTED USES:	FAST-FOOD / DRIVE-IN EATING ESTABLISHMENT (SATELLITE USE) (PERMITTED BY CONDITIONAL USE PURSUANT TO SECTION 11-1001.N.(1))
OWNER:	PENNSBURG SQUARE ASSOCIATES LP
PROPERTY ACREAGE:	16.4169 ACRES TO ULT. R/W

BULK REQUIREMENTS	REQUIRED	PROPOSED	VARIANCE
FRONT YARD	25 FT MINIMUM	± 67 FT	NO
REAR YARD	25 FT MINIMUM	± 69 FT	NO
SIDE YARD	26 FT MINIMUM	± 45 FT, ± 62 FT	NO
MINIMUM TRACT AREA	5 AC	16.42 AC	NO
MAXIMUM BUILDING HEIGHT	40 FT	24 FT	NO
INGRESS/EGRESS MINIMUM DRIVE WIDTH	26 FT MINIMUM	27 FT & 29 FT	NO
PARKING REQUIREMENT	THE LARGER OF 1.5 SPACES PER TABLE OR BOOTH OR 1 SPACE PER 50 SF OF GROSS FLOOR AREA; MIN OF 25 SPACES (72 SPACES)	>72 SPACES (WITHIN 150 FT.)	NO
PARKING STALL WIDTH	10 FT MIN	9 FT	YES*
PARKING STALL LENGTH	20 FT MIN	18 FT	YES*
MINIMUM STACKING REQUIREMENTS	6 SPACES PER BOOTH / SERVICE WINDOW	12 SPACES	NO
aisle WIDTH	22 FT	24 FT	NO
OFF-STREET PARKING SETBACK	10 FT FROM ANY R DISTRICT BOUNDARY.	>10 FT	NO

*NOTE: WAIVER WAS GRANTED ON FEB 6 2018.

Issued:	Date:
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Revisions:	Date:
1 Revised per Addendum #1	02/08/22
2	
3	
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FOR CONSTRUCTION

Seal 3/11/22
CIVIL ENGINEER OF RECORD
Name: Todd G. Markevicz
Penn. License No.: PE084166
Exp. Date: September 30, 2023
Firm Approval No.: 002215

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Burger King Store#:

322 Poltstown Ave.
Pennsburg, PA 18073
Montgomery County (Pennsburg Borough)
Project Name & Location:

Site Plan

Drawing Name:

Date: 01/21/22	Project No. 21-0327
Type:	
Drawn By: SAS	C2
Scale: 1" = 20'	Drawing No.