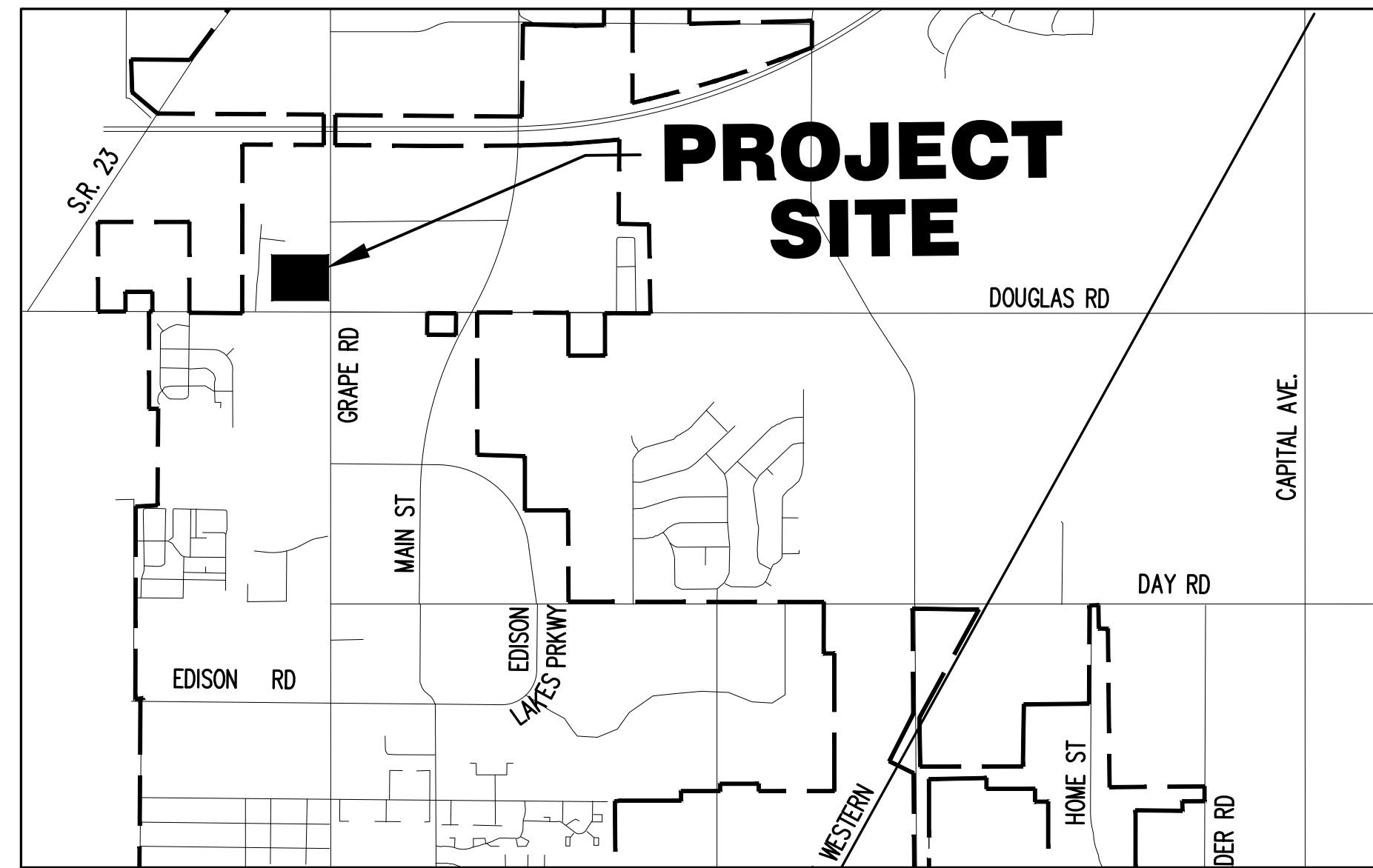


# FINAL SITE DEVELOPMENT PLANS

## FOR TACO BELL

5505 GRAPE ROAD

SECTION 28, TOWNSHIP 38 NORTH, RANGE 3 EAST, CLAY TOWNSHIP, CITY OF MISHAWAKA, ST. JOSEPH COUNTY INDIANA

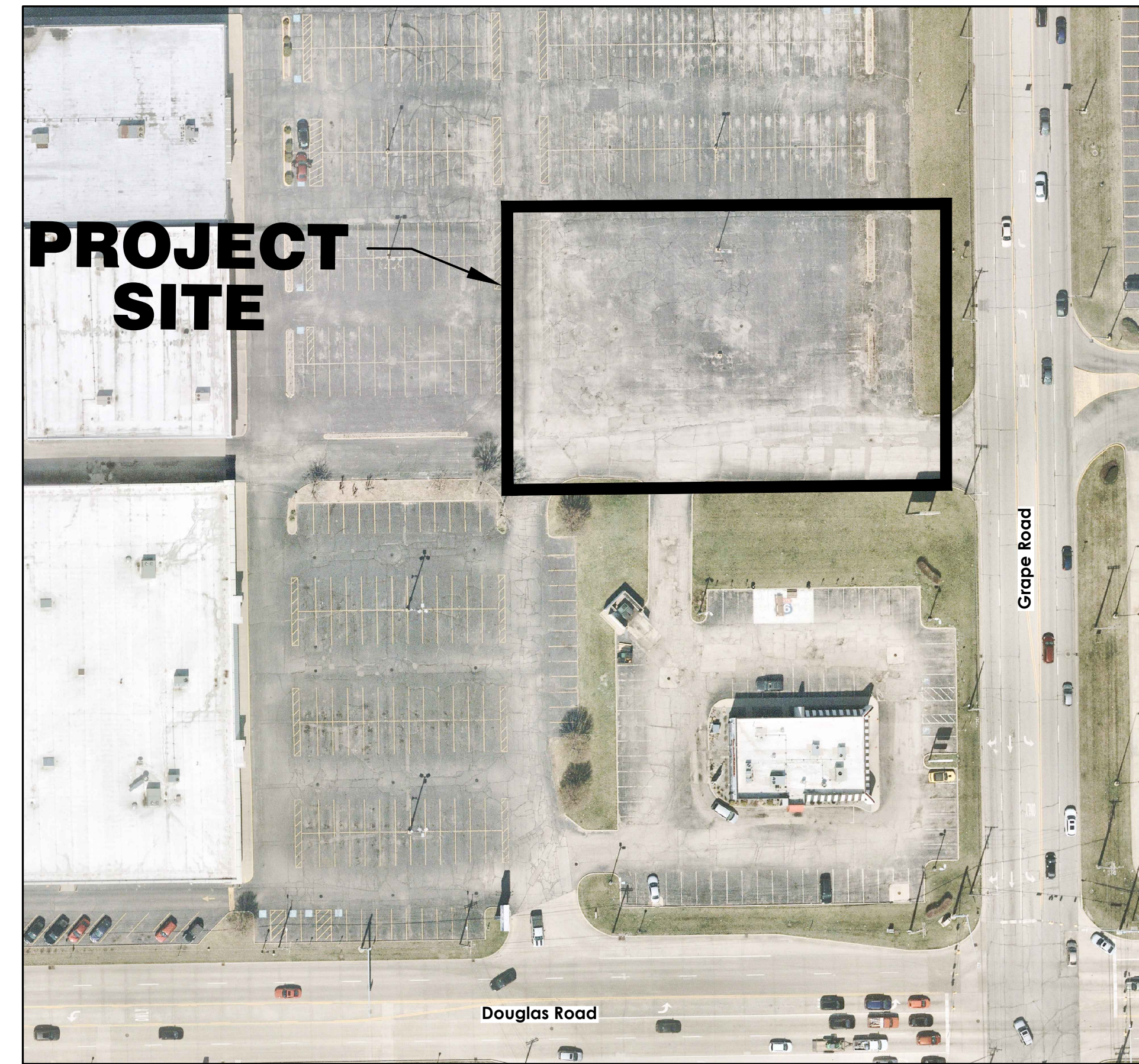


**VICINITY MAP**  
SCALE: 1"=2,000'

UTILITY CONTACTS	
Gas	<b>NIPSCO</b> 1039 East Pennsylvania Avenue, South Bend, IN 46601 Contact: Jonathan Erdahl (574) 800-6132
Electric	<b>Mishawaka Utilities, Electric Department</b> 1646 East 12th Street, Mishawaka, IN 46544 Contact: Kevin Wasmer (574) 258-1717
Telephone	<b>AT&amp;T</b> 307 South Main Street, South Bend, IN 46601 Contact: Thomas Pendergrass (574) 237-8822
Fiber Optics	<b>Choicelight</b> 130 South Main Street South Bend, IN 46601 Contact: Mary Jane Headman (574) 968-5432
Cable	<b>Comcast</b> 1920 E. McKinley Avenue, Mishawaka, IN 46545 Contact: Jay Costello (574) 789-1039
Water	<b>Mishawaka Utilities, Water Department</b> 401 East Jefferson Boulevard, Mishawaka, IN 46545 Contact: Dave Majewski (574) 258-1652
Sewer, Streets	<b>City of Mishawaka Engineering Department</b> 600 East 3rd Street, Mishawaka, IN 46544 Contact: Christine Jamrose, PE (574) 258-1619



Call 811 OR 1-800-382-5544  
24 Hours a Day, 7 Days a Week



**LOCATION MAP**  
SCALE: 1"=100'

SHEET INDEX	
Sheet Number	Description
1	Cover Sheet & Index
2-3	Plat
4	Removals Plan
5	Site Plan
6	Drainage & Utility Plan
7	Grading Plan
8	Landscape Plan
9	Lighting Plan
10-12	Construction Details

**OWNER**  
**GW Properties**  
2211 North Elston Avenue, Ste. 304  
Chicago, IL 60614  
(773) 382-0590  
Contact: Mitch Goltz  
mitch@gwproperties.com

**PROPOSED DEVELOPER**  
**Delight TB Indiana, LLC**  
120 East End Avenue, 10B  
New York, NY 10028  
(617) 233-7114  
Contact: Rich Krumholz  
rkrumholz@delighttrg.com

**SURVEYOR/CIVIL ENGINEER**  
**Abonmarche Consultants, Inc.**  
315 West Jefferson Boulevard  
South Bend, IN 46601  
(574) 232-8700  
Contact: Mike Huber  
mhuber@abonmarche.com

**ABONMARCHÉ**  
315 W. Jefferson Blvd.  
South Bend, IN 46601  
P 574.232.8700  
F 574.232.8700  
abonmarche.com

Benton Harbor  
Wayne  
Crown Point  
Grand Haven  
Hobart  
Lafayette  
Mishawaka  
South Bend  
Valparaiso

Engineering - Architecture - Land Surveying

PROJECT:  
**Taco Bell**  
**Mishawaka, Indiana**

SHEET TITLE:  
**Cover Sheet**

DRAWN BY:  
**PWW**

DESIGNED BY:  
**PWW**

PM REVIEW:  
**JDS**

QA/QC REVIEW:  
**MJH**

DATE:  
**12/10/2021**



SIGNATURE:  
*Jeffrey D. Schaefer*

DATE:  
**02/21/2022**

SCALE:  
HORIZ:  
VERT:

ACT JOB #  
**21-1913**

SHEET NO.  
**1 of 14**

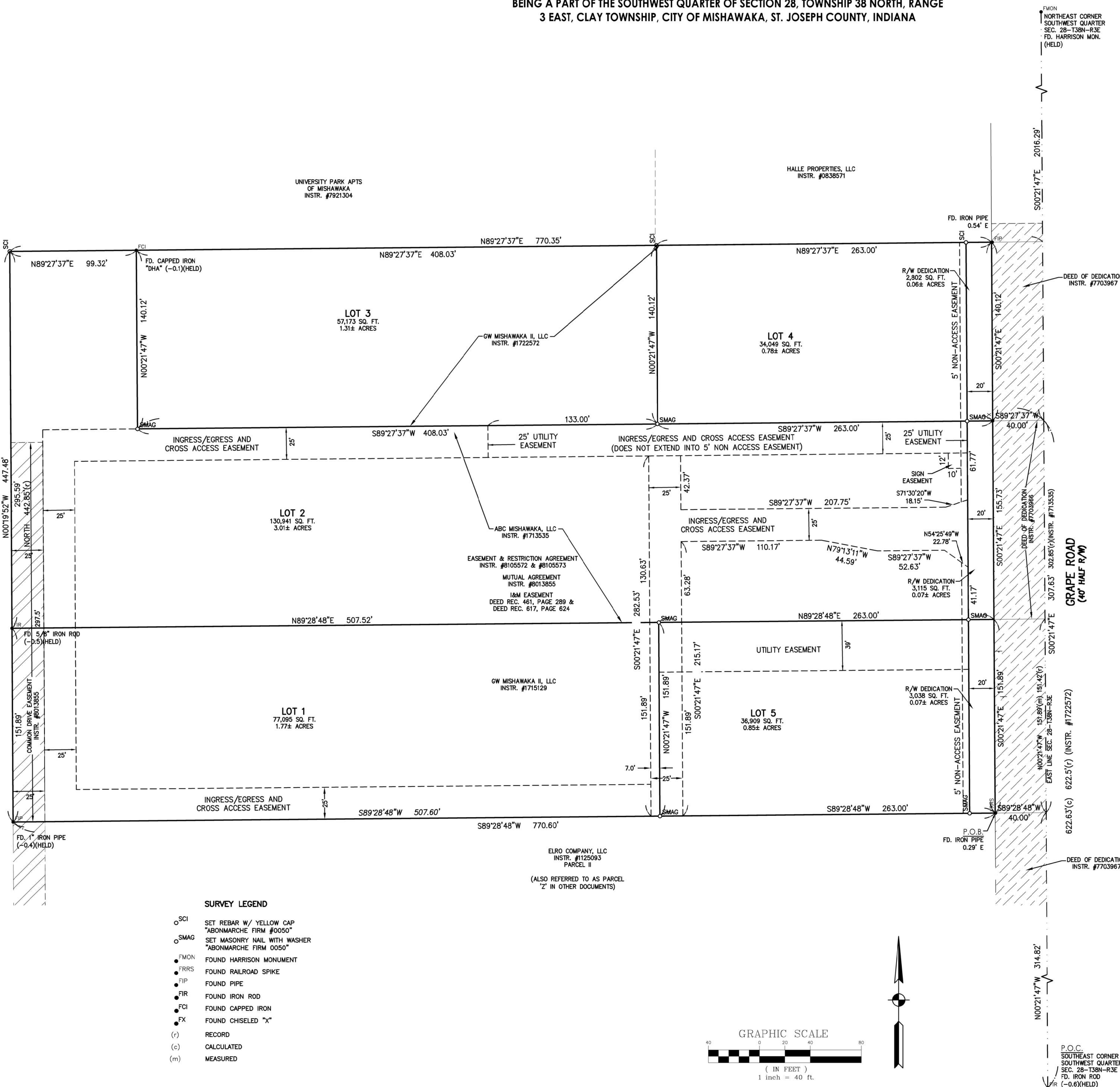
2	PER CITY OF MISHAWAKA REVIEW COMMENTS	SAL	02/15/2022
1	PER CITY OF MISHAWAKA REVIEW COMMENTS	PWW	01/27/2022

# GW GRAPE ROAD MINOR SUBDIVISION

FINAL PLAT  
BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 38 NORTH, RANGE 3 EAST, CLAY TOWNSHIP, CITY OF MISHAWAKA, ST. JOSEPH COUNTY, INDIANA



LOCATION MAP  
NOT TO SCALE



**STREET CLASSIFICATION:**  
PRINCIPAL ARTERIAL . . . GRAPE ROAD (80' R/W)

**CURRENT OWNERS**

GW MISHAWAKA II, LLC 221 N. ELSTON AVE., SUITE 304 CHICAGO, IL 60614	ABC MISHAWAKA, LLC ONE W. SILVERDOME INDUSTRIAL PARK PONTIAC, MI 48343
--	--

**NOTES:**

- AREA OF SUBDIVISION = 7.92 ACRES
 

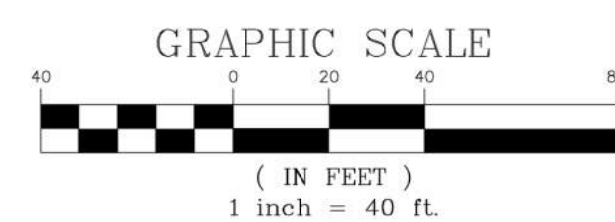
LOT 1	=	1.77 ACRES±
R/W	=	0.00 ACRES±
TOTAL	=	1.77 ACRES±
- |       |   |   |
|-------|---|---|
| LOT 2 | = | 3.01 ACRES±                                   |
| R/W   | = | 0.07 ACRES± (20' ADDITIONAL R/W - GRAPE ROAD) |
| TOTAL | = | 3.08 ACRES±                                   |
- |       |   |             |
|-------|---|-------------|
| LOT 3 | = | 0.82 ACRES± |
| R/W   | = | 0.00 ACRES± |
| TOTAL | = | 0.82 ACRES± |
- |       |   |   |
|-------|---|---|
| LOT 4 | = | 0.78 ACRES±                                   |
| R/W   | = | 0.07 ACRES± (20' ADDITIONAL R/W - GRAPE ROAD) |
| TOTAL | = | 0.85 ACRES±                                   |
- |       |   |   |
|-------|---|---|
| LOT 5 | = | 0.85 ACRES±                                   |
| R/W   | = | 0.07 ACRES± (20' ADDITIONAL R/W - GRAPE ROAD) |
| TOTAL | = | 0.92 ACRES±                                   |

**ENGINEERING REPORT:** ALL LOTS SHALL BE SERVICED BY CITY OF MISHAWAKA MUNICIPAL SANITARY SEWER AND WATER.

- ACCORDING TO THE 1987 U.S. DEPARTMENT OF THE INTERIOR, FISH AND WILDLIFE SERVICE, INVENTORY MAPS, THERE ARE NO WETLANDS LOCATED ON THE SUBJECT PROPERTIES.
- EXISTING SITE IS OWNED BY GW MISHAWAKA II, LLC AND ABC MISHAWAKA, LLC. SITE HAS BUILDING ON LOT 1 AND LOT 2. LOTS 3, 4, AND 5 ARE VACANT. EXISTING UTILITIES SERVING 5505 & 5603 GRAPE ROAD SHALL BE RELOCATED AND PLACED WITHIN PLATTED EASEMENTS. NO ENCROACHMENTS OF EXISTING STRUCTURES EXIST.
- BUILDING SETBACK LINES SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE CITY OF MISHAWAKA "C-7" (AUTOMOBILE-ORIENTED RESTAURANT COMMERCIAL DISTRICT) ZONING ORDINANCE.
- ALL NEW LOT CORNERS AND COMMON LOT CORNERS WITHOUT FOUND MONUMENTS WILL BE MARKED AS SHOWN WITH 5/8 INCH DIAMETER REBAR ROD, 24 INCHES IN LENGTH, CAPPED WITH A PLASTIC, YELLOW MARKER STAMPED "ABONMACHE FIRM #0050", UNLESS INDICATED OTHERWISE.
- THE BOUNDARY SURVEY OF THE PARENT PARCEL IS RECORDED UNDER INSTRUMENT NUMBER 2021-25953 IN THE OFFICE OF THE ST. JOSEPH COUNTY RECORDER. EXISTING MONUMENTS ARE SHOWN ON SAID SURVEY.
- ACCORDING TO THE 1999 ST. JOSEPH COUNTY POTENTIAL GROUNDWATER CONTAMINATION SITES MAP PUBLISHED BY THE MICHIANA AREA COUNCIL OF GOVERNMENTS, THERE APPEARS TO BE NO DOCUMENTED DUMPSITES, LANDFILLS, SITES USED FOR DISPOSING OF HAZARDOUS SUBSTANCES, OR WELL HEAD PROTECTION AREAS, EXISTING ONSITE OR ADJACENT TO THE SITE.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FEDERAL INSURANCE RATE MAP (FIRM) INDEX PANEL NO. 18141C0204D WITH AN EFFECTIVE DATE OF JANUARY 6, 2011, THE SUBJECT PROPERTY BY SCALING SAID MAP IS LOCATED WITHIN AN AREA DESIGNATED AS "ZONE X, NO SPECIAL FLOOD HAZARD AREA".
- UTILITY EASEMENTS ARE RESERVED TO CITY OF MISHAWAKA UTILITIES TO INSTALL, OPERATE, AND MAINTAIN BELOW GRADE WATERLINE, SANITARY SEWER, STORM SEWER AND OTHER APPURTENANCES SERVING THE LOTS WITHIN THIS SUBDIVISION. THE LOT OWNERS, THEIR SUCCESSORS AND ASSIGNS, SHALL TAKE THEIR TITLE SUBJECT TO SAID USE OF EASEMENT.
- INGRESS/EGRESS AND CROSS ACCESS EASEMENT IS RESERVED FOR INTERIOR ACCESS TO THE LOTS. THE LOT OWNERS, THEIR SUCCESSORS AND ASSIGNS, SHALL TAKE THEIR TITLE SUBJECT TO SAID USE OF EASEMENT.
- PREVIOUS COMMON DRIVE EASEMENT RELEASED, INSTR. # \_\_\_\_\_

**SURVEY LEGEND**

- SCI SET REBAR W/ YELLOW CAP "ABONMACHE FIRM #0050"
- SMAG SET MASONRY NAIL WITH WASHER "ABONMACHE FIRM #0050"
- FMON FOUND HARRISON MONUMENT
- FRRS FOUND RAILROAD SPIKE
- FIP FOUND PIPE
- FIR FOUND IRON ROD
- FCI FOUND CAPPED IRON
- FX FOUND CHISELED "X"
- (r) RECORD
- (c) CALCULATED
- (m) MEASURED



**ABONMACHE**  
 315 W. Jefferson Blvd.  
 Mishawaka, IN 46601  
 T 574.239.8700  
 F 574.231.4440  
 abonmarche.com  
 COPYRIGHT 2021 ABONMACHE CONSULTING, INC.  
 Engineering - Architecture - Land Surveying

GW GRAPE ROAD MINOR SUBDIVISION  
MINOR SUBDIVISION

FINAL PLAT

SHEET TITLE: \_\_\_\_\_

DRAWN BY: **TRM/HPM**

FIELDBOOK: **HPM 1, PG. 27**

PM REVIEW: **MH**

QA/QC REVIEW: **MJR**

DATE: **11/04/21**

SEAL: \_\_\_\_\_



SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

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SCALE:  
HORIZ: 1" = 40'  
VERT: \_\_\_\_\_

ACT JOB # **20-2084**

SHEET NO. \_\_\_\_\_

2	ADDED 20' R/W DEDICATION TO DRAWING	HPM	12/03/2021
1	ADDED POC & POB TO DRAWING	TRM	11/11/2021
NO.	REVISION DESCRIPTION:	BY:	DATE:

SEC. 28-T38N-R3E

# GW GRAPE ROAD MINOR SUBDIVISION

## FINAL PLAT

BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 38 NORTH, RANGE 3 EAST, CLAY TOWNSHIP, CITY OF MISHAWAKA, ST. JOSEPH COUNTY, INDIANA

### LEGAL DESCRIPTION:

A PART OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 38 NORTH, RANGE 3 EAST, CLAY TOWNSHIP, CITY OF MISHAWAKA, ST. JOSEPH COUNTY, INDIANA, AND BEING ALL OF THAT TRACT OF LAND CONVEYED TO GW MISHAWAKA II, LLC AS DESCRIBED IN INSTRUMENT NUMBER 1715129 AND INSTRUMENT NUMBER 1722572, ST. JOSEPH COUNTY RECORDER, AND BEING ALL OF THAT TRACT OF LAND CONVEYED TO ABC MISHAWAKA, LLC AS DESCRIBED IN INSTRUMENT NUMBER 1713535, ST. JOSEPH COUNTY RECORDER, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN IRON ROD MARKING THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION; THENCE NORTH 00 DEGREES 21 MINUTES 47 SECONDS WEST, ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER, 314.82 FEET; THENCE SOUTH 89 DEGREES 28 MINUTES 48 SECONDS WEST 40.00 FEET TO A RAILROAD SPIKE MARKING THE SOUTHEAST CORNER OF SAID GW MISHAWAKA II, LLC LAND (INSTRUMENT NUMBER 1715129) AND BEING THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 28 MINUTES 48 SECONDS WEST, ALONG THE SOUTH LINE OF SAID GW MISHAWAKA II, LLC LAND, 770.60 FEET TO AN IRON PIPE MARKING THE SOUTHWEST CORNER OF SAID GW MISHAWAKA II, LLC LAND; THENCE NORTH 00 DEGREES 19 MINUTES 52 SECONDS WEST, ALONG THE WEST LINE OF SAID LAND AND THE WEST LINE OF SAID ABC MISHAWAKA, LLC LAND, AND SAID LINE EXTENDED, 447.48 FEET TO A 5/8" CAPPED REBAR (ABONMARCHE FIRM 0050) ON THE SOUTH LINE OF LAND CONVEYED TO UNIVERSITY PARK APTS OF MISHAWAKA, AS DESCRIBED IN INSTRUMENT NUMBER 7921304, ST. JOSEPH COUNTY RECORDER; THENCE NORTH 89 DEGREES 27 MINUTES 37 SECONDS EAST, ALONG SAID SOUTH LINE AND THE SOUTH LINE OF A TRACT OF LAND CONVEYED TO HALLE PROPERTIES, LLC, AS DESCRIBED IN INSTRUMENT NUMBER 0838571, ST. JOSEPH COUNTY RECORDER, 770.35 FEET TO THE NORTHEAST CORNER OF SAID GW MISHAWAKA II, LLC LAND (INSTRUMENT NUMBER 1722572); THENCE SOUTH 00 DEGREES 21 MINUTES 47 SECONDS EAST ALONG THE EAST LINES OF SAID GW MISHAWAKA II, LLC LANDS AND THE EAST LINE OF SAID ABC MISHAWAKA, LLC LAND 447.74 FEET TO THE POINT OF BEGINNING.

CONTAINING 7.92 ACRES, MORE OR LESS AND SUBJECT TO ALL COVENANTS, RIGHTS-OF-WAY, AND EASEMENTS OF RECORD.

### DEED OF DEDICATION:

THE UNDERSIGNED, GW MISHAWAKA II, LLC AND ABC MISHAWAKA, LLC, ARE THE OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY LAYOFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SUBDIVISION ORDINANCE OF THE CITY OF MISHAWAKA, INDIANA. THIS SUBDIVISION SHALL BE KNOWN AND DESIGNATED AS "GW GRAPE ROAD MINOR SUBDIVISION". ALL STREETS, RIGHT-OF-WAYS, ALLEYS, FUTURE ROADWAY EASEMENTS AND PUBLIC OPEN SPACES SHOWN AND NOT HERETOFORE DEDICATED NOW ARE HEREBY DEDICATED TO THE PUBLIC FOR THE USES DESIGNATED HEREIN. THE AREA OF GROUND DESIGNATED ON THIS PLAT AND MARKED AS "EASEMENTS", ARE RESERVED FOR THE USES AS DESIGNATED BY THE UTILITIES, AND INCLUDE, BUT ARE NOT LIMITED TO, THE INSTALLATION OF WATER AND SEWER MAINS, POLES, DUCTS, LINES AND WIRES, DRAINAGE FACILITIES, AND ACCESS FOR PRESENT OR FUTURE DEVELOPMENT, SUBJECT AT ALL TIMES TO THE PROPER AUTHORITIES AND TO THE EASEMENT HEREIN RESERVED. NO PERMANENT OR OTHER STRUCTURES ARE TO BE ERRECTED OR MAINTAINED UPON SAID STRIPS OF LAND, BUT OWNERS OF LOTS IN THIS SUBDIVISION SHALL TAKE THEIR TITLES SUBJECT TO THE RIGHTS OF THE PUBLIC UTILITIES, AND TO THE RIGHTS OF THE OWNERS OF OTHER LOTS IN THIS SUBDIVISION.

### OWNER'S CERTIFICATION:

THIS IS TO CERTIFY THAT THE UNDERSIGNED, ABC MISHAWAKA, LLC, IS THE OWNER OF THE LAND DESCRIBED HEREIN, AND HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE PLAT UNDER THE STYLE AND TITLE THEREON INDICATED.

ABC MISHAWAKA, LLC  
 BY: ABC MISHAWAKA, LLC  
 1 W. SILVERDOME INDUSTRIAL PARK  
 PONTIAC, MI 48343

\_\_\_\_\_, REPRESENTATIVE FOR: ABC MISHAWAKA, LLC

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

### NOTARY PUBLIC CERTIFICATE:

STATE OF INDIANA )  
 ) SS:  
 COUNTY OF \_\_\_\_\_ )

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED MITCH GOLTZ AND ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS A VOLUNTARY ACT AND DEED FOR THE PURPOSES THEREIN EXPRESSED.

WITNESS MY HAND AND NOTARIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021.

MY COMMISSION EXPIRES: \_\_\_\_\_

\_\_\_\_\_  
 (SIGNATURE)

\_\_\_\_\_  
 (PRINT)

NOTARY PUBLIC IS A RESIDENT OF \_\_\_\_\_ COUNTY, INDIANA.

### PROPERTY OWNER:

GW MISHAWAKA II, LLC      ABC MISHAWAKA, LLC  
 221 N. ELSTON AVE., SUITE 304      1 W SILVERDOME INDUSTRIAL PARK  
 CHICAGO, IL 60614      PONTIAC, MI 48343

### SURVEYED BY:

ABONMARCHE CONSULTANTS, INC.  
 315 W. JEFFERSON BLVD  
 SOUTH BEND, IN 46601

### OWNER'S CERTIFICATION:

THIS IS TO CERTIFY THAT THE UNDERSIGNED, GW MISHAWAKA II, LLC, IS THE OWNER OF THE LAND DESCRIBED HEREIN, AND HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE PLAT UNDER THE STYLE AND TITLE THEREON INDICATED.

GW MISHAWAKA II, LLC  
 BY: GW MISHAWAKA II, LLC  
 221 N. ELSTON AVENUE, SUITE 304  
 CHICAGO, IL 60614

MITCH GOLTZ, REPRESENTATIVE FOR: GW MISHAWAKA II, LLC

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

### NOTARY PUBLIC CERTIFICATE:

STATE OF INDIANA )  
 ) SS:  
 COUNTY OF \_\_\_\_\_ )

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED MITCH GOLTZ AND ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS A VOLUNTARY ACT AND DEED FOR THE PURPOSES THEREIN EXPRESSED.

WITNESS MY HAND AND NOTARIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021.

MY COMMISSION EXPIRES: \_\_\_\_\_

\_\_\_\_\_  
 (SIGNATURE)

\_\_\_\_\_  
 (PRINT)

NOTARY PUBLIC IS A RESIDENT OF \_\_\_\_\_ COUNTY, INDIANA.

### SURVEYOR CERTIFICATE:

I, HANS P. MUSSER, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA, THAT THIS PLAT IS ACCORDANCE WITH THE PROVISIONS OF THE SUBDIVISION ORDINANCE OF CITY OF MISHAWAKA, INDIANA.

THIS INSTRUMENT WAS PREPARED BY HANS P. MUSSER, P.L.S. I AFFIRM UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW.

\_\_\_\_\_  
 4/21/2021

HANS P. MUSSER, P.S.      DATE  
 PROFESSIONAL LAND SURVEYOR #LS29700002  
 STATE OF INDIANA

**ABONMARCHE**  
 South Bend, IN 46601  
 Lafayette, IN 47904  
 South Bend, IN 46601  
 Valparaiso, IN 46385  
 Engineering - Architecture - Land Surveying

GW GRAPE ROAD MINOR SUBDIVISION  
 MINOR SUBDIVISION

PROJECT:

FINAL PLAT

SHEET TITLE

DRAWN BY: TRM/HPM  
 FIELDBOOK: HPM 1, PG. 27  
 P/A REVIEW: MH  
 QA/QC REVIEW: MJR  
 DATE: 11/04/21



SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

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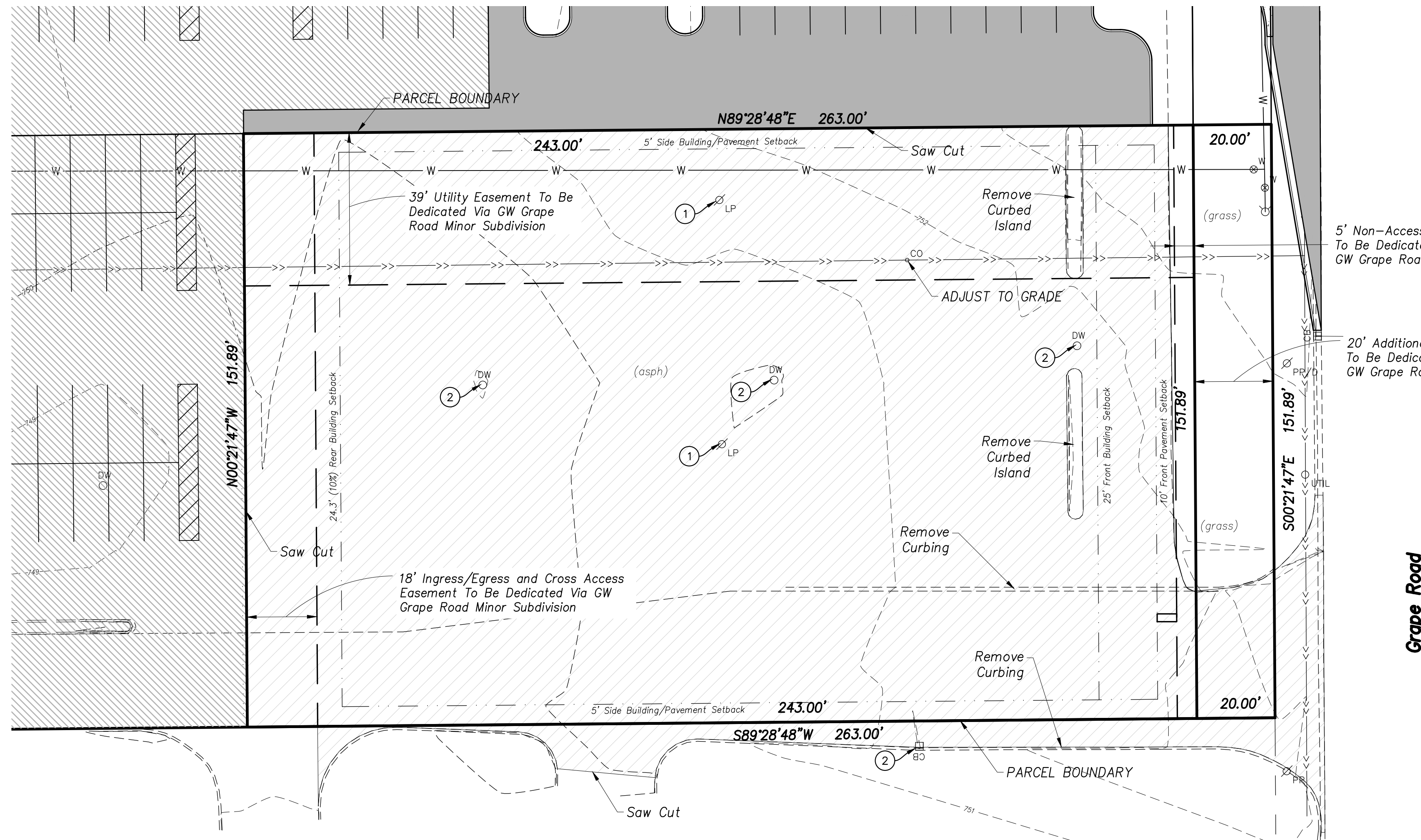
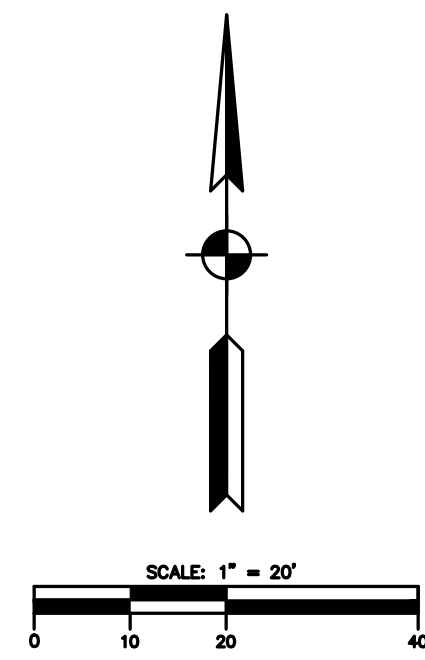
SCALE:  
 HORZ: 1" = 40'  
 VERT: \_\_\_\_\_

ACI JOB # 20-2084

SHEET NO. 2 of 2

2	ADDED 20' R/W DEDICATION TO DRAWING	HPM	12/03/2021
1	ADDED POC & POB TO DRAWING	TRM	11/11/2021
NO.	REVISION DESCRIPTION:	BY:	DATE:

SEC. 28-T38N-R3E



**EXISTING FEATURES LEGEND**

- ☒ Sign Post
- ⚡ Telephone Pedestal
- CO Clean Out
- ⊕ Electric Meter
- ⊕ Gas Meter
- MH Manhole
- STMH Storm Manhole
- ☐ Mailbox
- ☒ Strain Pole
- CB Inlet/Catch Basin
- ⊕ W Water Valve
- ⊕ Fire Hydrant
- ⊕ LP Light Pole
- ⊕ PP Power Pole
- ⊕ UP Utility Pole
- Guy Anchor
- G — Gas Line
- OH — Overhead Electric Line
- S — Sanitary Sewer
- SS — Storm Sewer
- W — Water Main
- - - 850 - - - Contour

**REMOVALS LEGEND**

- ▨ Remove Existing Asphalt Pavement
- ① Remove Light Pole
- ② Remove Drainage Structure

**NOTES**

1. Contractor shall request existing utility location from Indiana 811 prior to commencing construction.
2. Contractor shall notify Department of Public Works prior to commencing construction within R/W.
3. Contractor shall remove topsoil and stockpile the material onsite at a location approved by the Owner.
4. Removed items shall be disposed off-site in accordance with all applicable local, state and federal codes.

SHEET TITLE: **Removals Plan**

DRAWN BY: **PWW**

DESIGNED BY: **PWW**

PM REVIEW: **JDS**

QA/GC REVIEW: **MJH**

DATE: **12/10/2021**

SEAL: **JEREMY D. SCHARFER**  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF INDIANA  
 PE11300116

SIGNATURE: *[Signature]*

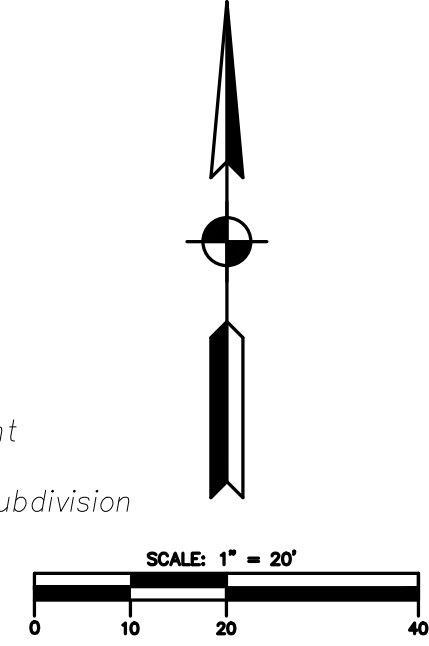
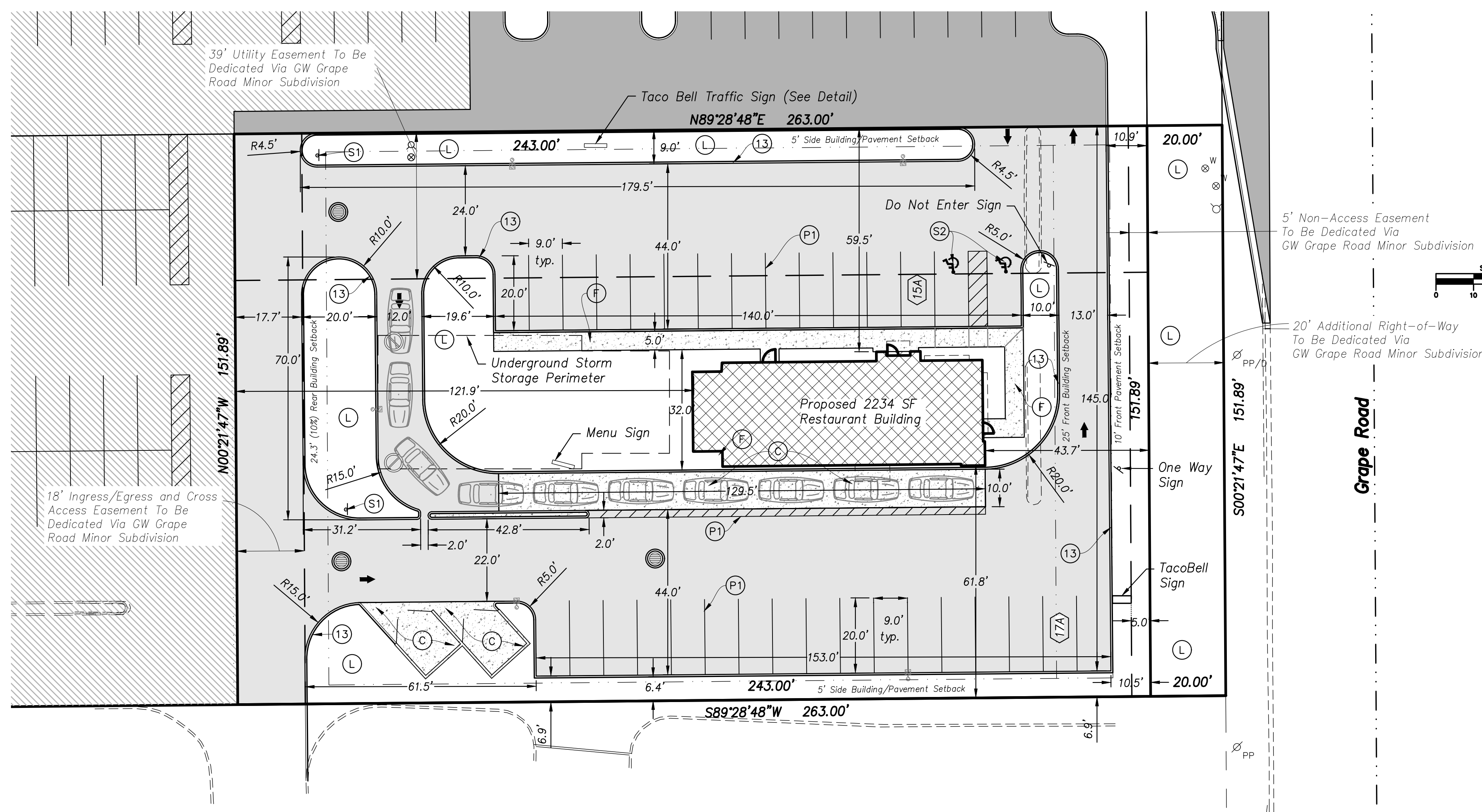
DATE: **02/21/2022**

SCALE:  
 HORZ: 1" = 20'  
 VERT: [Blank]

ACI JOB # **21-1913**

SHEET NO. **4 of 14**

2	PER CITY OF MISHAWAKA REVIEW COMMENTS	SAL	02/15/2022
1	PER CITY OF MISHAWAKA REVIEW COMMENTS	PWW	01/27/2022



**PROPOSED FEATURES LEGEND**

- Standard HMA Pavement:
  - 1-1/2" HMA Surface (165 #/SY)
  - 2-1/2" HMA Intermediate (275 #/SY)
  - 8" Compacted #53 Aggregate Base
- C 6" Concrete Pavement
- F 4" Concrete Sidewalk
- L Landscape Area
- 13 Concrete Curb
- P1 4" Solid Paint Line
  - White for Standard Parking Space
  - Blue for ADA Access Parking Space
  - White for Cross Walk
- P2 Stop Bar: 24" Solid White Paint Line
- R Curb Ramp
- S1 MUTCD R-1 "STOP" Sign & Post
- S2 R7-8: "RESERVED PARKING" (ADA Access) & R7-8P: "VAN ACCESSIBLE"
- T Curb Turnout
- Drainage Structure
- ∞ Cleanout
- Fire Hydrant Assembly
- Light Pole & Foundation
- Traffic Direction Arrow Graphic Pavement Marking; Paint White
- #A Number of Auto Spaces within parking bay

**GENERAL NOTES**

1. Owner/Developer: Delight Taco Bell Indiana, LLC
2. Legal Description: Proposed Lot 5 of GW Grape Road Minor Subdivision.
3. Current Zoning: City of Mishawaka C-7.
4. Existing Land Use: Vacant / Proposed Land Use: Fast Food Restaurant.
5. The site shall conform to the area, height, and development regulations of the C-7 Automobile Oriented Restaurant Commercial District unless the proper variances are granted by the Board of Zoning Appeals.
6. The building will be serviced by City of Mishawaka municipal water and sewer.
7. Landscaping, lighting & signage will be in accordance with the zoning ordinance unless the proper variances are obtained.
8. Storm water will be detained on site per this plan set.
9. See Architectural Drawings for building elevations, layout, foundations, etc.
10. The approach and deceleration lane have been designed in accordance with the Mishawaka Engineering Standards for a commercial drive approach Type 1A with a posted speed limit of 40 mph on Grape Road.
11. Proposed Building will be one-story in height.
12. Dimensions as shown are to back of curb or face of curb as appropriate.
13. Radii are shown to face of curb.

**LOT COVERAGE NOTES**

Lot Area (Less Right-of-Way) = 33,909 SF (0.78 Acres)  
 Building Footprint = 2,234 SF (6.6% Coverage)  
 Sidewalks and Pavement = 24,240 SF (71.5% Coverage)  
 Lawn and Landscaping = 7435 SF (22.3% Coverage)

**PARKING NOTES**

Parking Required = 2,234 SF x 15 spaces per 1000 SF = 32 Spaces  
 Parking Provided = 32 Spaces

**SITE PLAN CONSTRUCTION NOTES**

1. Contractor shall request existing utility location from Indiana 811 prior to commencing construction.
2. Damage to public and private property shall be repaired to equal or better condition at no additional cost to the Owner.
3. No streets shall be closed or restricted without prior approval from the local municipality. See City standards.
4. Contractor shall protect the work and the safety of the public and shall provide, erect and maintain barricades, signals, signs and other traffic control devices in accordance with the Indiana Manual on Uniform Traffic Control Devices.
5. Contractor shall follow "2020 Indiana Department of Transportation Standard Specifications" for pavement materials and installation procedures.
6. Contractor shall construct sidewalks, ramps, parking spaces and ADA accessible areas in accordance with the current ADA standards.
7. Traffic sign designations shall comply with the U.S. Dept. of Transportation Federal Highway Administration "Manual on Uniform Traffic Control Devices" (MUTCD).
8. Curb radii noted are dimensioned along the face of curb.
9. Contractor shall bring Drawing discrepancies and conflicts to the attention of the Engineer as soon as they are noticed, for clarifications and revisions as necessary.
10. Contractor shall prepare Record Drawings with field locations and elevations upon completion of the work for submittal to the Engineer.

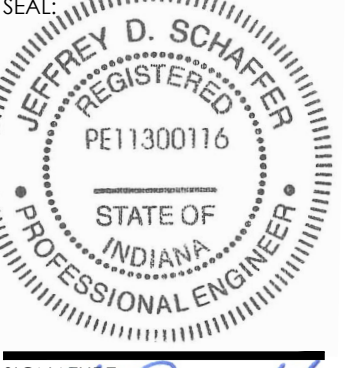
**ABONMARCHÉ**  
 315 W. Jefferson Blvd.  
 South Bend, IN 46601  
 P: 574.232.8400  
 abonmarche.com

**Taco Bell**  
**Mishawaka, Indiana**

**Site Plan**

DRAWN BY: **PWW**  
 DESIGNED BY: **PWW**  
 PM REVIEW: **JDS**  
 QA/GC REVIEW: **MJH**

DATE: **12/10/2021**

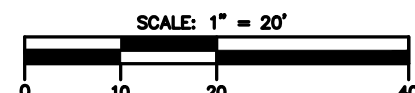


SIGNATURE: *[Signature]*  
 DATE: **02/21/2022**

SCALE:  
 HORIZ: 1" = 20'  
 VERT:  
 ACI JOB # **21-1913**

SHEET NO. **5 of 14**

2	PER CITY OF MISHAWAKA REVIEW COMMENTS	SAL	02/14/2022
1	PER CITY OF MISHAWAKA REVIEW COMMENTS	PWW	01/27/2022



### DRAINAGE CALCULATIONS

#### Stormwater Narrative

The existing site area is nearly all impervious surface with stormwater management provided by two drywells. The proposed site includes an underground detention system designed to manage the 100-year, 24-hour rainfall event. Stormwater is released from the system via two potential paths: overland flow to the remainder of the overall development from the southwest inlet and infiltration into the soils.

#### Release Rate - Overland Flow

The release rate via overland flow was designed to be the run-off from the site, if it were undeveloped, during the 10-year, 1-hour rainfall event (1.20 inches per hour). Using the rational method, the release rate is calculated to be 0.305 cubic feet per second.

#### Release Rate - Infiltration

The infiltration rate as measured by testing completed in June 2021 is 1.90 inches per hour. Using this infiltration rate and the surface area under the chambers (2140 sf), the design release rate is calculated to be 339 cubic feet per hour (0.094 cubic feet per second).

#### Detention Design

The detention system has been designed to only consider the release rate from infiltration, 0.094 cubic feet per second.

#### Recovery Period

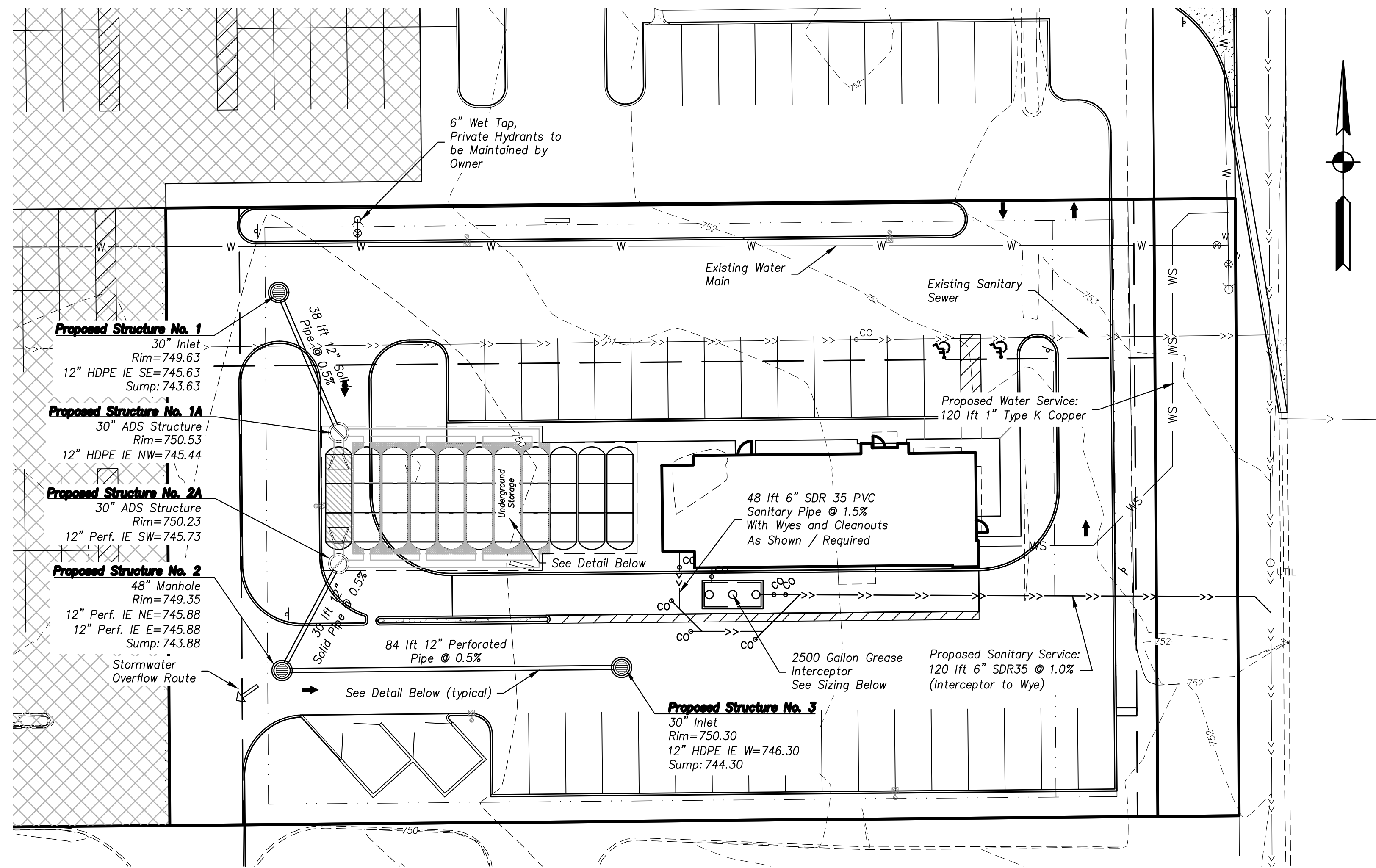
The total capacity of the underground detention system is 8012 cubic feet. Using the release rate of 339 cubic feet per second, the detention volume will be recovered in 23.6 hours.

Stormwater Design Criteria	
Developed Coefficient	C = 0.63
Area	A = 0.851 acres
Infiltration Rate	I <sub>r</sub> = 1.90 in/hr
Infiltration Area	A <sub>i</sub> = 2140 sf
Release Rate from Infiltration	Q <sub>r</sub> = 0.094 cfs

Coverage Calculations		
Cover	Area (sf)	C
Roof	2234	0.90
Pavement	20609	0.90
Lawn	14208	0.20
Total	37051	0.63

Required Detention Calculations					
Duration (hrs)	Intensity (in/hr)	Inflow Rate (cfs)	Release Rate (cfs)	Storage (cfs)	Required Storage (cf)
0.25	6.14	3.298	0.094	3.204	2880
0.50	4.43	2.380	0.094	2.286	4110
1.00	2.96	1.590	0.094	1.496	5390
2.00	1.87	1.005	0.094	0.910	6560
3.00	1.35	0.725	0.094	0.631	6820
6.00	0.82	0.439	0.094	0.345	7460
12.00	0.47	0.250	0.094	0.156	6730
24.00	0.26	0.139	0.094	0.045	3890

Total Storage Required (100 Year Storm)	7460 cf
Required Storage plus 6% Siltation	7908 cf
Total Storage Provided	8012 cf



### EXISTING FEATURES LEGEND

- ☒ Sign Post
- △ Telephone Pedestal
- CO Clean Out
- Ⓜ Electric Meter
- Ⓜ Gas Meter
- MH Manhole
- STMH Storm Manhole
- ☐ Mailbox
- ☐ Strain Pole
- ☐ Inlet/Catch Basin
- ⊗ Water Valve
- ⊗ Fire Hydrant
- ⊗ LP Light Pole
- ⊗ PP Power Pole
- ⊗ UP Utility Pole
- Guy Anchor
- G — Gas Line
- OH — Overhead Electric Line
- SS — Sanitary Sewer
- WS — Storm Sewer
- W — Water Main
- 850 --- Contour

### NOTES:

- Inlet Protection to be installed on Storm Structures 1-3 (see details)
  - Storm sewer pipe to be Class III RCP
- ⇒ Overland Flood Route

### POST CONSTRUCTION MAINTENANCE PROCEDURES

- A. Storm Manhole & Inlet Structures (Site Owner's Responsibility)
- Inspect storm manhole structures, dry wells and storm inlet structures and remove built-up vegetation, trash and debris - monthly (minimum) and after each storm event of 3-inches or greater.
  - Remove root intrusions and vegetation from structures and dry wells - as needed.
  - Repair broken castings and grates - as needed.
  - Inspect pipes located within the structures for signs of clogging or damage, repair as needed - annually (minimum).

### Grease Trap Sizing

Grease Trap Sizing conforms to the requirements set forth by the City of Mishawaka, adjusted for calculation of "Meals Served During Peak Hour".

- Assumptions:
- Building will have a 35 seat seating capacity, and serves fast food (Peak Factor = 1.33)
  - Building will have a commercial kitchen with dishwashing machines (Waste Flow Rate Factor = 6)
  - Building will have commercial kitchen waste (Retention Time = 2.4)
  - Building will have a 24-hour operation (Storage Factor = 3)

Required = 35 x 1.33 x 6 x 2.4 x 3 = 2011 gallons

Proposed = 2500 gallons

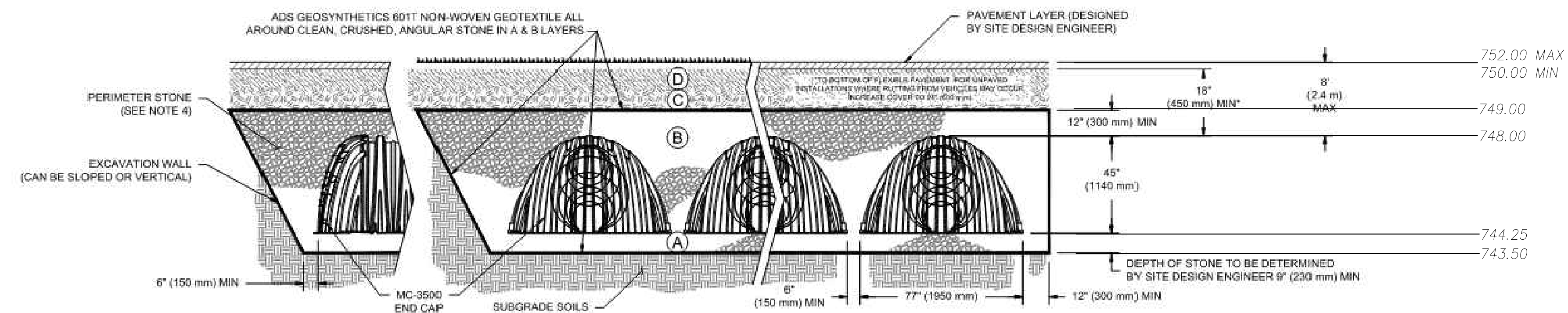
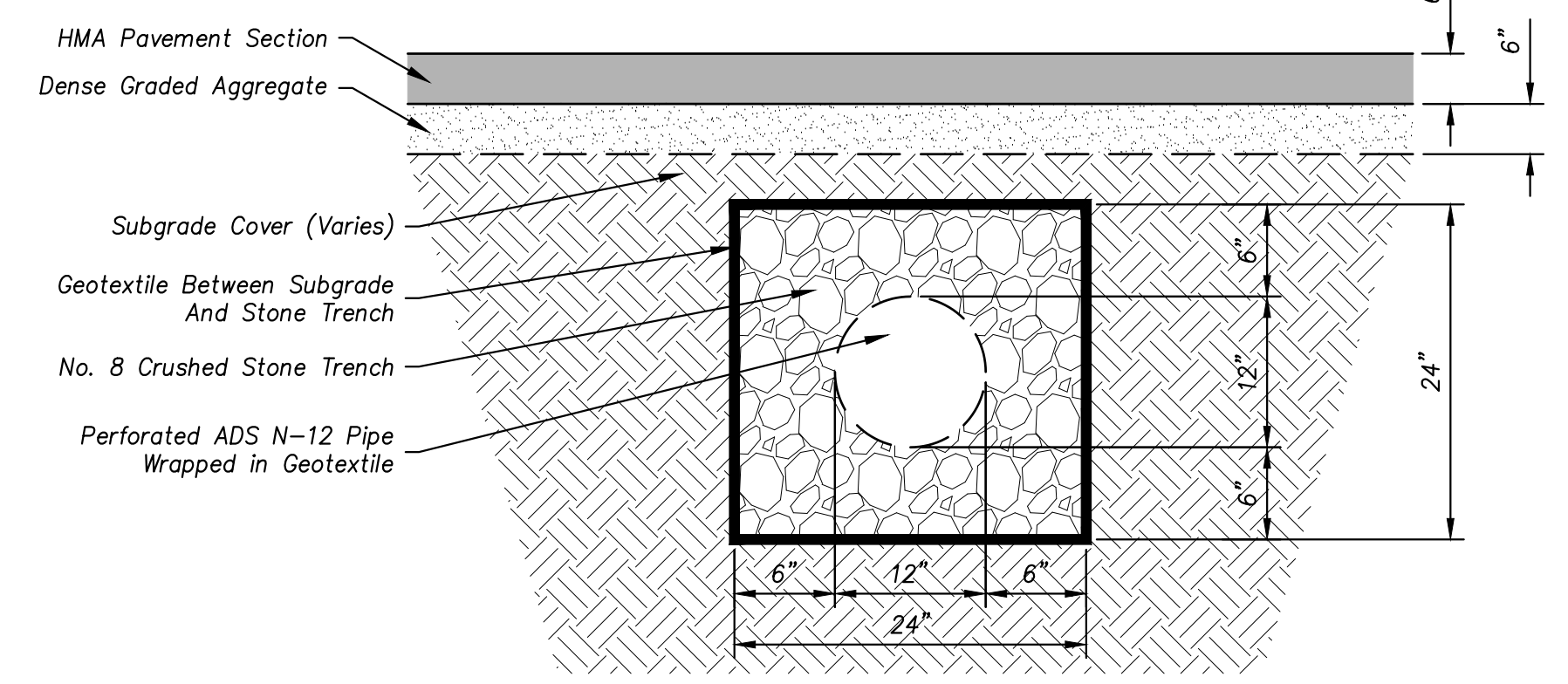
SOIL INFILTRATION TEST RESULTS				
Test Location	Approximate Depth (feet)	Soil Description	Infiltration Rate	
			cm/sec	in/hour
I-1	5	Sand	1.34 x 10 <sup>-3</sup>	1.90

**GME** SOIL TESTING  
Soil borings conducted on February 18, 2022

Boring No.	*Groundwater Depth, ft		Boring No.	*Groundwater Depth, ft	
	During Drilling	Immediately Following Drilling		During Drilling	Immediately Following Drilling
B-1	±16.5	NO	B-4	NO	NO
B-2	±16	NO	P-1	±16	NO
B-3	NO	NO	P-2	±17	NO

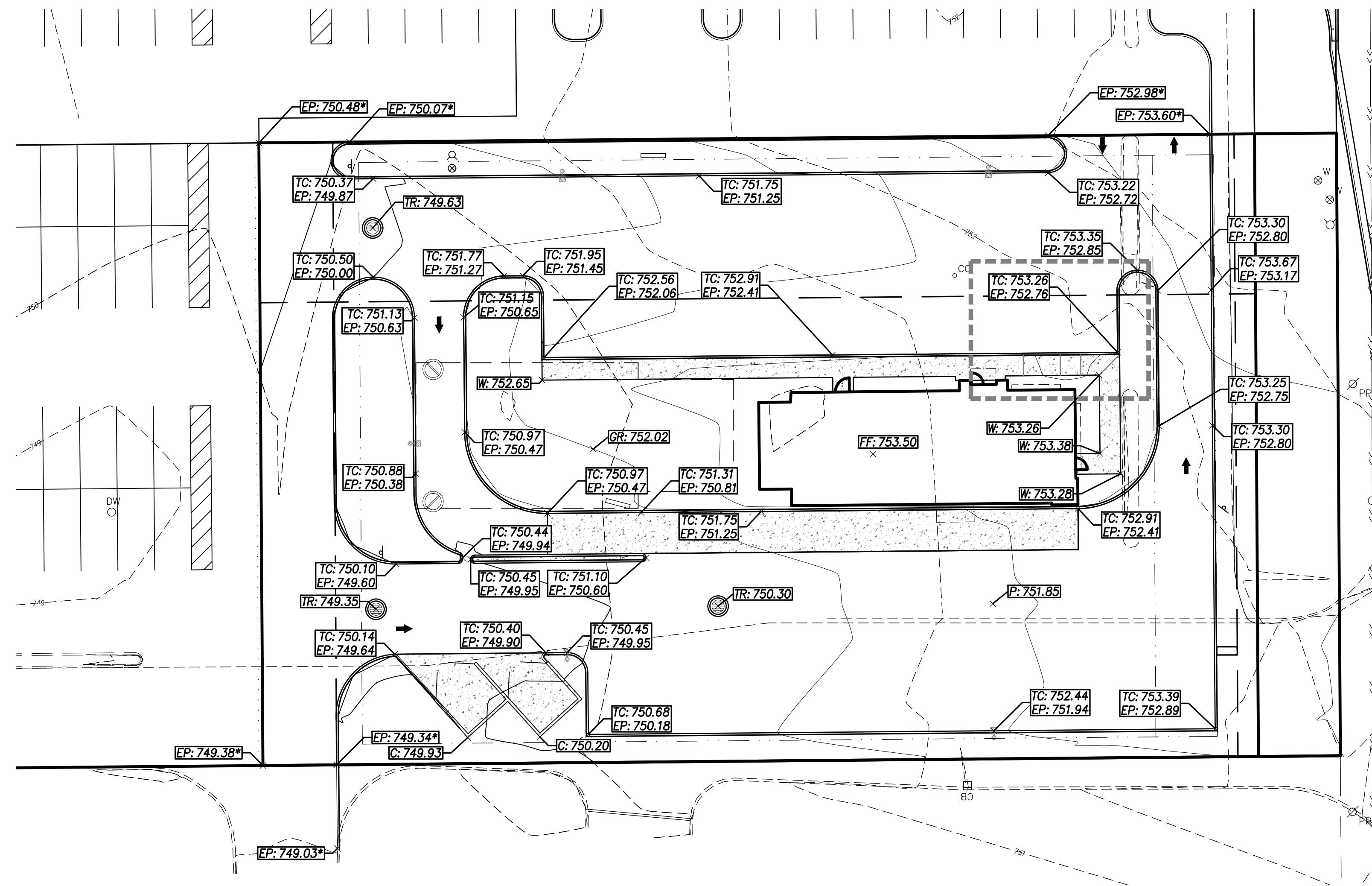
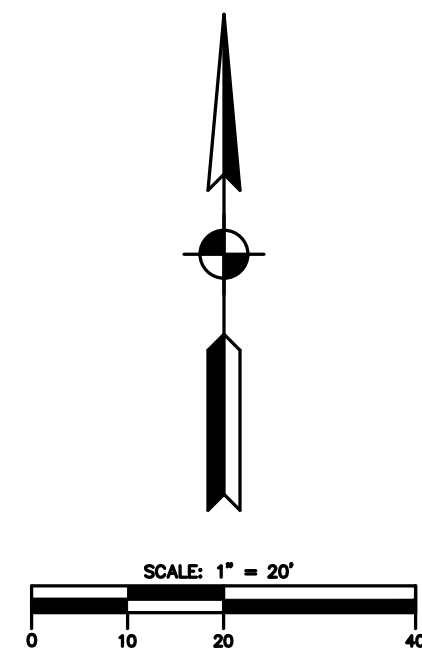
\*Depths referenced below existing ground surface.  
† Not Observed (NO)

### Section Perforated Pipe Laid In Stone Trench



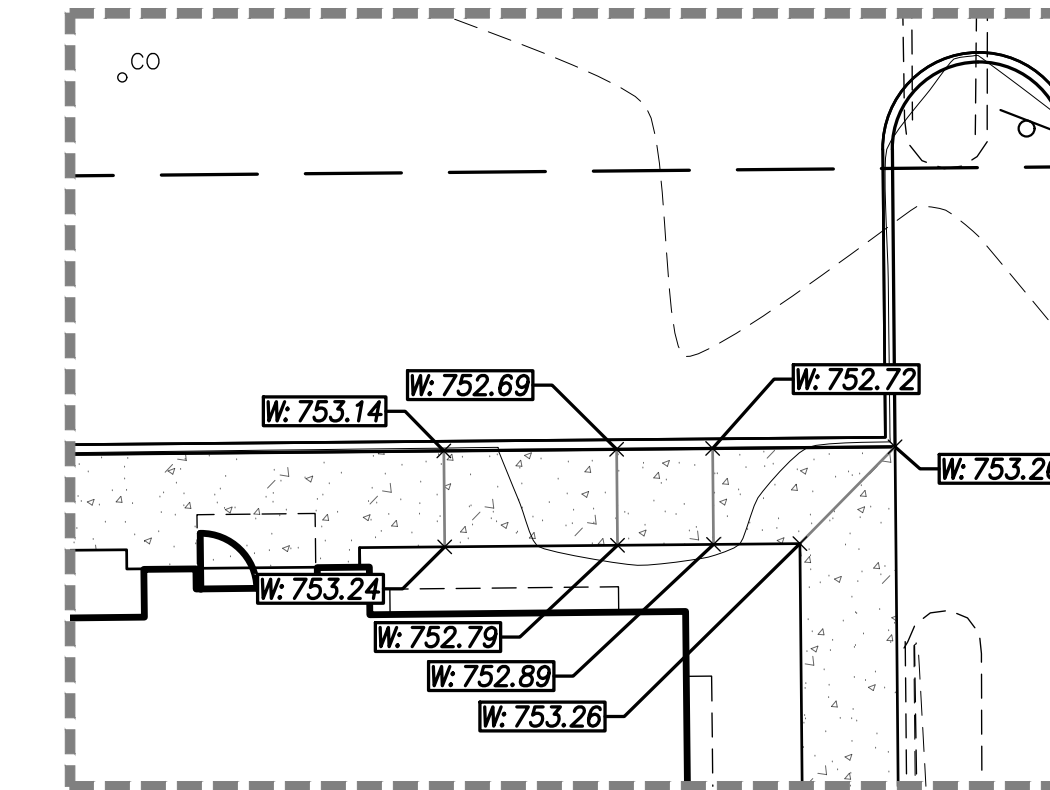
NOTE: For schematic purpose only. (See Construction Details for additional information)

2	PER CITY OF MISHAWAKA REVIEW COMMENTS	SAL	02/18/2022
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- TC:722.42 Top of Curb/Wall Elev.
- EP:721.92 Finished Pavement Elev.
- P:722.96 Finished Pavement Elev.
- C:722.96 Concrete Pavement Elev.
- W:722.96 Finished Sidewalk Elev.
- EP:722.96\* Existing Elev.
- 722 - Contour

ADA Ramp Detailed Grading View. (Scale 1":10')



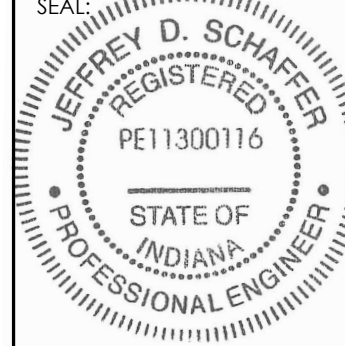
**GRADING PLAN CONSTRUCTION NOTES:**

1. Contractor shall remove topsoil and stockpile the material onsite at a location approved by the Owner. Place a minimum of 4 inches of topsoil on all disturbed areas outside the building and parking areas.
2. A qualified soil testing firm approved by the Owner shall perform compaction testing during construction.
3. Prior to commencing paving operations, Contractor shall proof roll exposed subgrade with a geotechnical engineer or qualified representative to witness the work. Excavate unsuitable soil and backfill and compact with suitable material capable of supporting the anticipated loads.
4. Place site grading backfill in maximum six inch lifts and compact to 100% Standard Proctor to the top of subgrade or in accordance with the geotechnical report.
5. Finished grades at building doorways shall match the building finished floor elevation, unless otherwise noted.
6. Contractor is responsible for meeting ADA guidelines at sidewalks and parking areas.
7. Paving Contractor is responsible for adjusting all castings located in the pavement to finished grade.
8. The proposed contours and spot elevations on this Drawing show grading intent only. Contractor is responsible for confirming that the provided grading plan maintains positive drainage to prevent ponded water or encroachment onto adjacent properties; and shall contact the Engineer if additional grades are needed, if the design does not provide positive drainage, or if any discrepancies/conflicts are found.

PROJECT:

SHEET TITLE:

DRAWN BY: **PWW**  
 DESIGNED BY: **PWW**  
 PM REVIEW: **JDS**  
 QA/GC REVIEW: **MJH**  
 DATE: **12/10/2021**

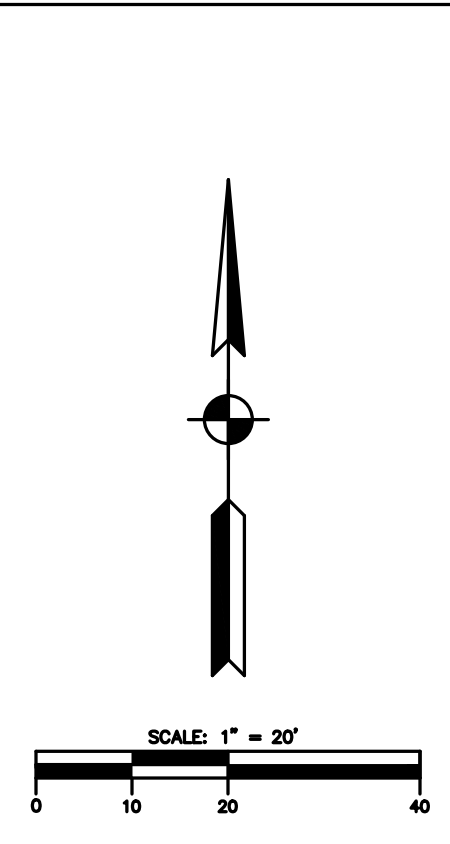
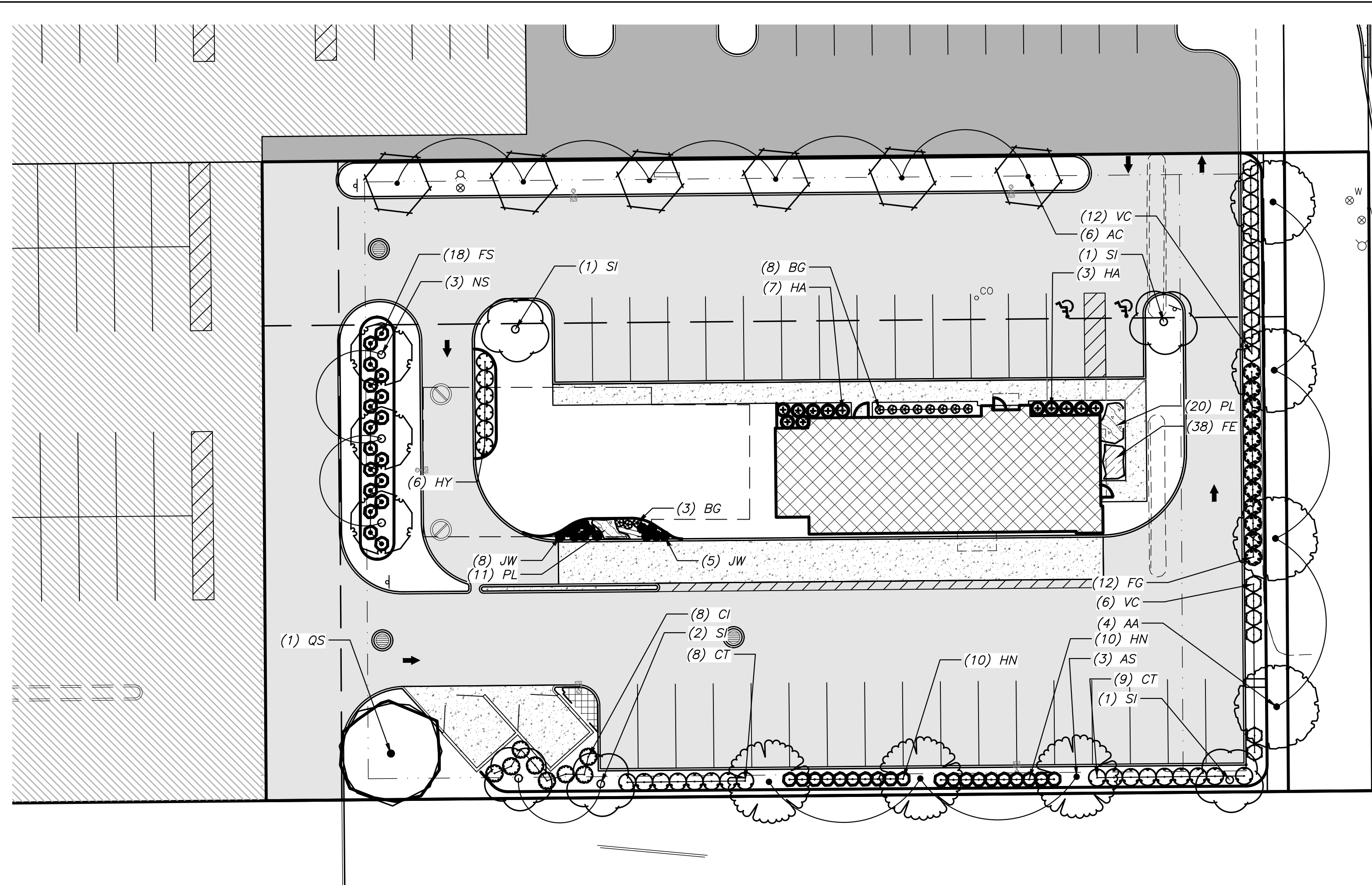


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 DATE: **02/21/2022**

SCALE:  
 HORZ: 1" = 20'  
 VERT: \_\_\_\_\_  
 ACI JOB # **21-1913**

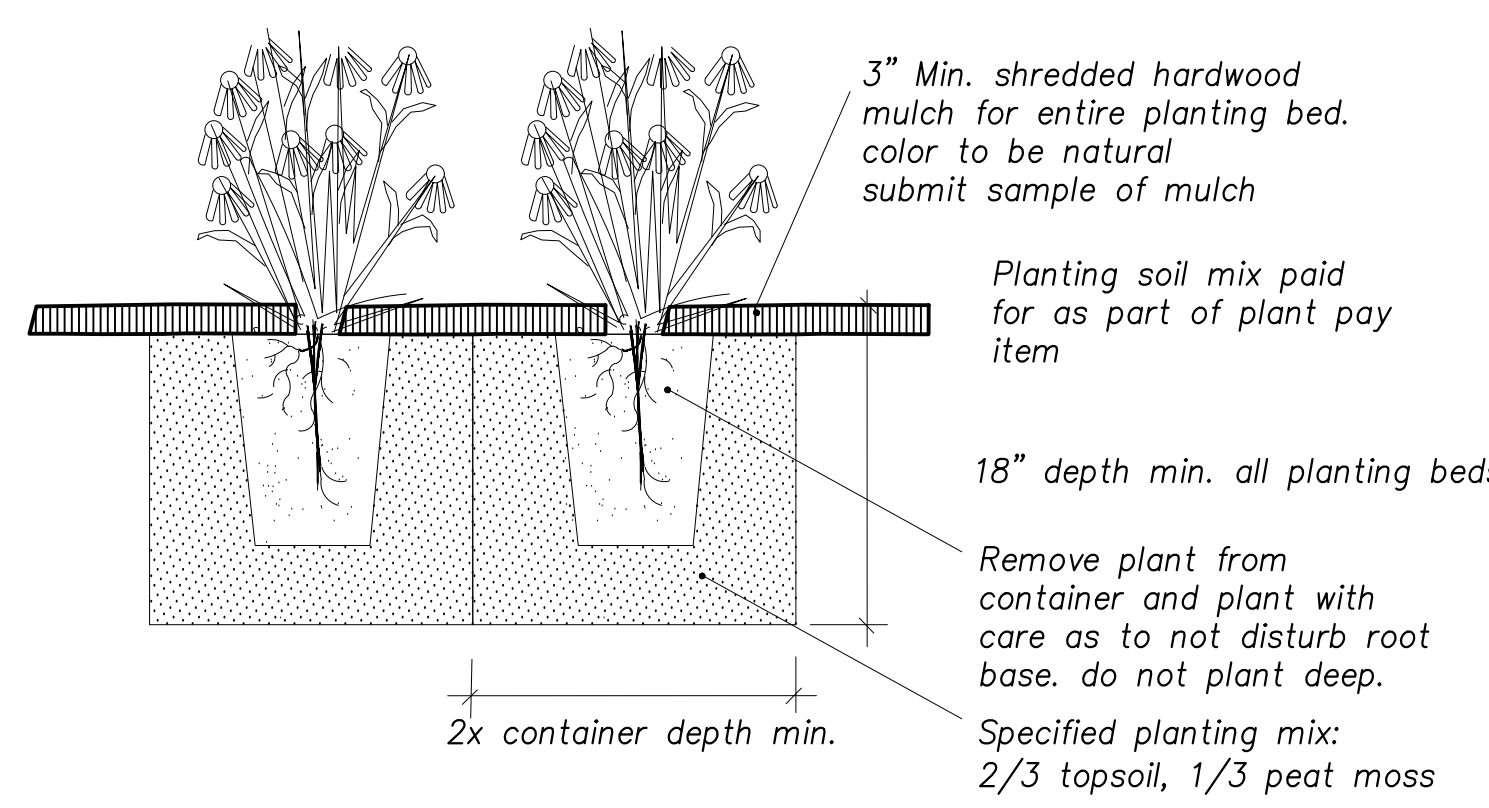
SHEET NO. **7 of 14**

2	PER CITY OF MISHAWAKA REVIEW COMMENTS	SAL	02/18/2022
1	PER CITY OF MISHAWAKA REVIEW COMMENTS	PWW	01/27/2022



**IRRIGATION NOTES**

- Contractor shall furnish labor, materials, and equipment necessary to design and install a below ground, fully automatic, 100% coverage irrigation system in all newly planted areas. Irrigation shall be provided for new project area.
- Irrigation shall be installed by an experienced, licensed irrigation contractor.
- Contractor shall consider plant material species and their water demand, with efficient water use and conservation to determine quantity of water necessary.
- Backflow prevention devices and controller shall be utilized from previous installation.
- Existing power source shall be utilized.
- Installation of irrigation system including backflow prevention devices and piping shall be based on best industry standards and be in compliance with application code requirements.
- A quick coupling valve shall be located at the irrigation water supply point of connection to provide for a point of injection of compressed air to purge the system of retained water for winterization.
- Irrigation lines and electric lines under pavement shall be installed in PVC Sch. 40 conduit 24"-36" deep.
- Irrigation shall have minimal over spray on curbs, streets, and paved areas.
- Components shall be Rainbird, Toro, Hunter, or approved equal. Where applicable, products shall be the most current EPA Watersense-labeled.
- Contractor shall provide detailed shop drawings along with product data for all components.
- Contractor shall provide an operations manual including manufacturers recommended instruction and maintenance schedule.



**CONTAINER GROWN PLANTING SECTION**  
(NOT TO SCALE)

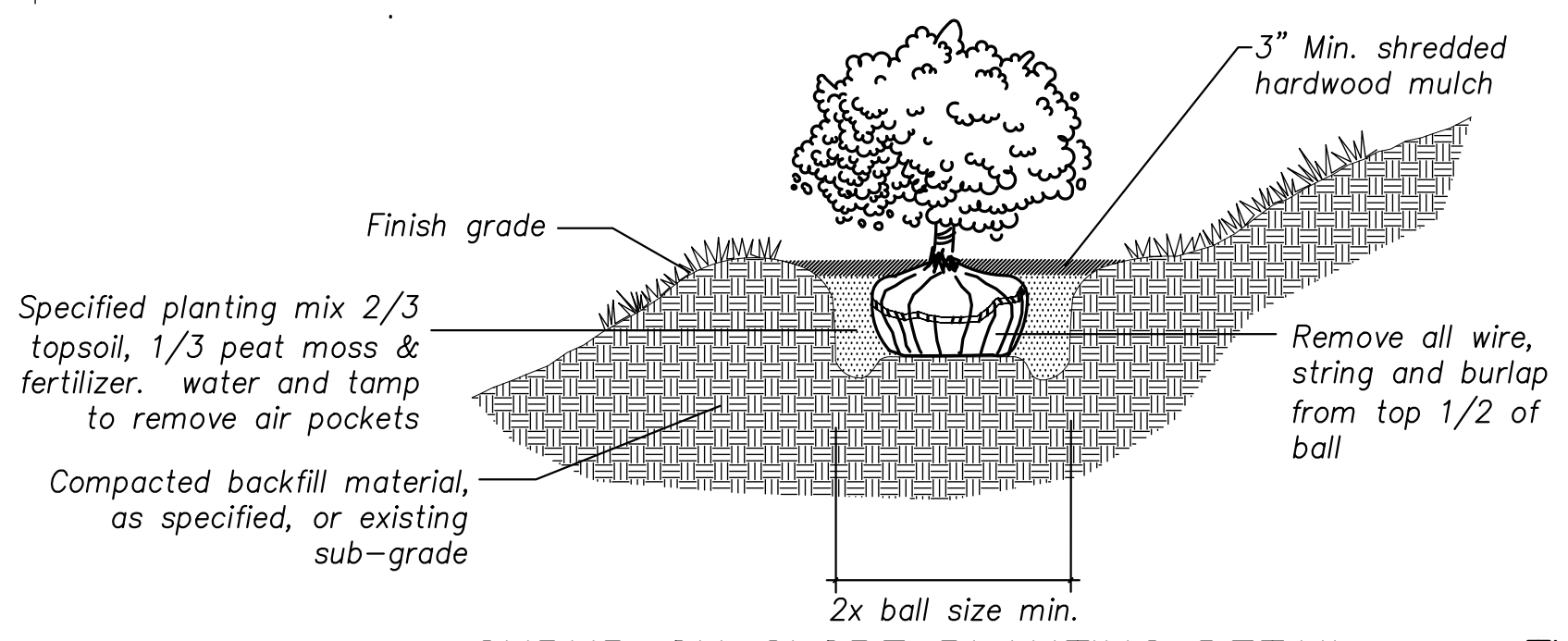
**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS	
AC	6	Acer platanoides 'Columnare'	Columnar Norway Maple	2.5" CAL	B&B		
AS	3	Acer rubrum 'Autumn Spire'	Autumn Spire Red Maple	2.5" CAL	B&B		
AA	4	Acer x freemanii 'Armstrong'	Armstrong Freeman Maple	2.5" CAL	B&B		
NS	3	Nyssa sylvatica	Tupelo	2.5" CAL	B&B		
QS	1	Quercus shumardii	Shumard Oak	2.5" CAL	B&B		
SI	5	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2.5" CAL	B&B		
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	REMARKS
SD	11	Buxus x 'Green Gem'	Green Gem Boxwood	24" HT	3 Gal.	24" o.c.	
CT	17	Cornus pumila	Dwarf Red Tipped Dogwood	36" HT	5 Gal.	48" o.c.	
CI	8	Cornus sericea 'SMNCSB0' TM	Arctic Fire Yellow Dogwood	36" HT	5 Gal.	48" o.c.	
FG	12	Forsythia x 'Gold Tides'	Golden Tide Forsythia	36" HT	5 Gal.	48" o.c.	
FS	18	Forsythia x 'Sunrise'	Sunrise Forsythia	24" HT	5 Gal.	36" o.c.	
HA	12	Hydrangea arborescens 'Brian Nitz'	Annabelle Smooth Hydrangea	24" HT	5 Gal.	36" o.c.	
HN	20	Hydrangea macrophylla 'Nikko Blue'	Nikko Blue Hydrangea	24" HT	5 Gal.	36" o.c.	
HY	6	Hydrangea macrophylla 'Red Sensation'	Red Sensation Hydrangea	36" HT	5 Gal.	48" o.c.	
JW	13	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	24" Sp	3 Gal.	24" o.c.	
VC	18	Viburnum carlesii 'Compactum'	Compact Koreanspice Viburnum	36" HT	7 Gal.	48" o.c.	
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	REMARKS
FE	38	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	6" Tall	3 Gal.	12" o.c.	
HL	22	Hemerocallis x 'Peach'	Peach Daylily	12" Tall	2 Gal.	18" o.c.	
PL	31	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	18" Tall	3 Gal.	18" o.c.	

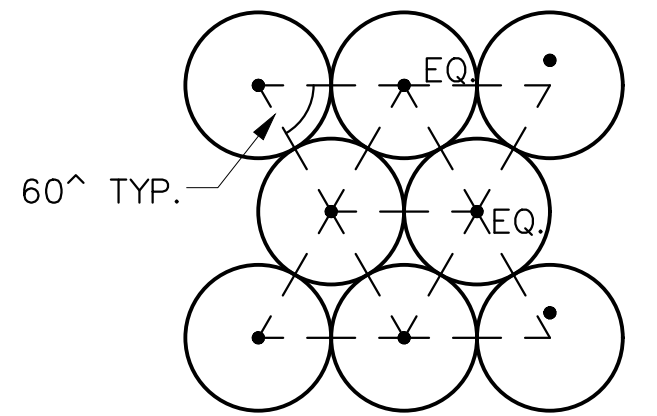
**LANDSCAPE NOTES**

- All landscape shall be in accordance with the City of Mishawaka Zoning Ordinance.
- Work shall be performed by a single firm specializing in landscape work with a minimum of five years experience. Landscape contractor is responsible for coordination with other work for proper installation of plant materials and landscape work.
- Contractor shall inquire all utility companies prior to construction for locations of underground utilities. Any damage done to any public and/or private properties during construction shall be repaired at the contractor's expense.
- All existing trees not noted for removal shall be protected and maintained without injury and with sufficient area for the root system to sustain the tree. Protective care and physical restraint barriers at the drip line, such as temporary protective fencing shall be provided to prevent alteration, compaction or increased depth of the soil in the root system area prior to and during groundwork and construction. Heavy equipment traffic and the storage of construction equipment or materials shall not occur within the drip line of the trees.
- All plant materials shall be nursery grown and shall meet the latest edition of ANSI Z60.1 "American Standard For Nursery Stock". All plant material shall be vigorous stock free of disease, insects, eggs, larvae, and defects such as knots, sun-scald, injuries, abrasions or disfigurement. Landscape designer may request a list of nurseries where plant material was acquired from.

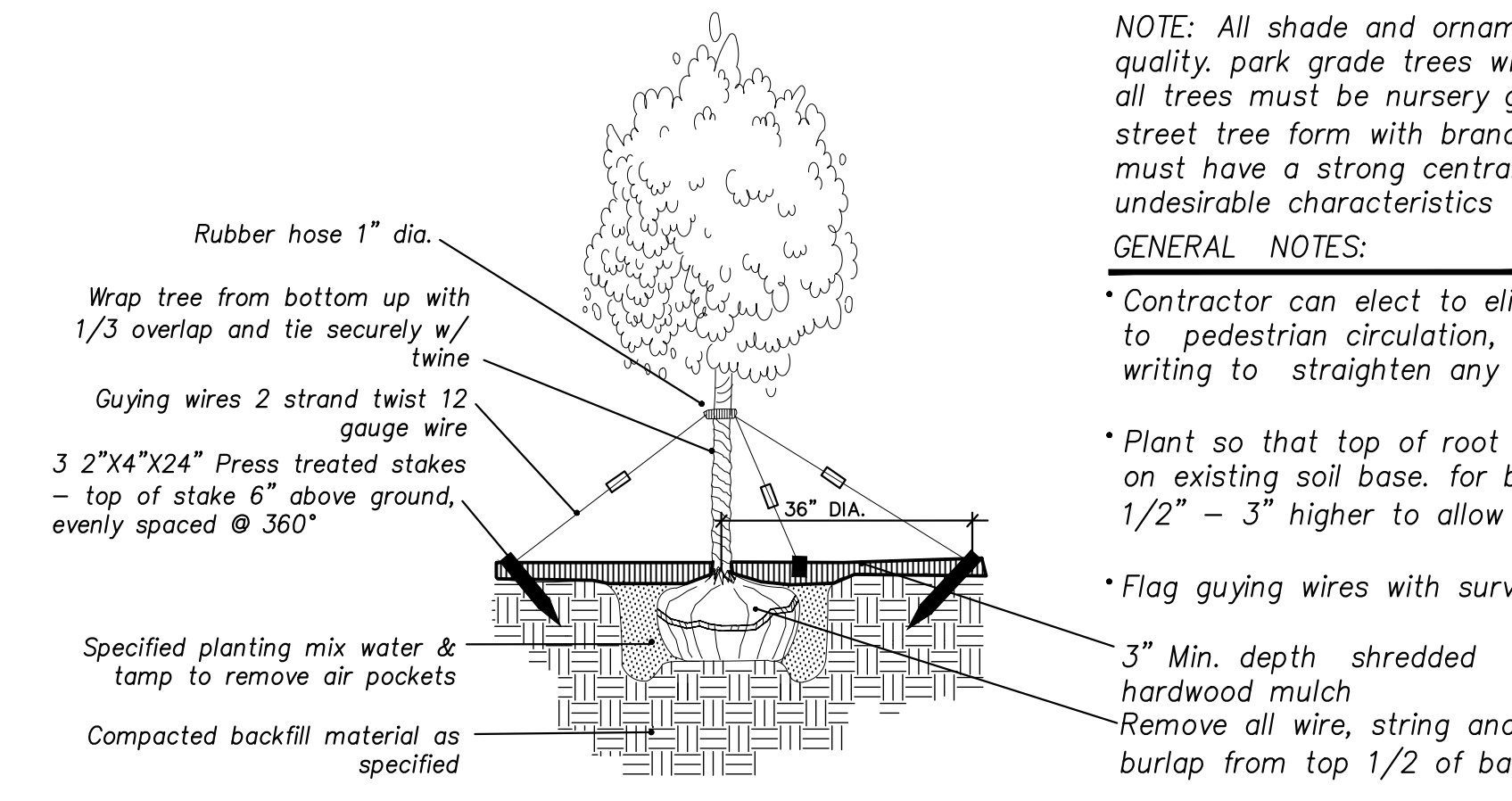
- Tree caliper size indicates the diameter of the trunk taken at 6" above ground level. All trees to be balled and burlapped, unless otherwise noted.
- Contractor to notify engineer immediately of any foreign substance that may be damaging to plant material, prior to planting.
- All soil preparation of planting areas to be done by experienced landscape contractor. Conduct soil test to verify fertility of topsoil. Amend soil if pH is less than 5.5 or greater than 7.0. Discuss with Engineer prior to making any other adjustments soil analysis indicates.
- Keep the soil of all plants moist until they are planted. Check balled and burlapped plants to ensure they are receiving water through burlap material. If plants cannot be planted immediately, roots should be heeled in and covered with mulch.
- Topsoil to be 6" min depth in all lawn areas. Topsoil to be clean friable loam from local source, free from stones or debris over 3/4" dia, and free from herbicides or other toxins.
- Planting mix to be 18" min depth in all planting beds and consist of 2/3 topsoil, 1/3 peat moss and fertilizer. Mix in with native soil at base of depth.
- Landscape beds shall be defined by commercial grade 1/8" x 4" steel edging, produced by an established manufacturer or approved equal.
- Apply pre-emergent herbicide to all landscape beds prior to mulching. Landscape beds to receive 3" thick shredded hardwood mulch. All trees not within landscape beds are to receive a spaced natural "v" edged hardwood mulch ring 3' radius and 3" depth. Type of mulch to match existing.
- Install plants so that the top of the root ball is even with the finished grade. For backfill areas, plant root ball up to 3" high to allow for settling. Ensure all plants have a level subsoil base and are set plumb.
- Contractor shall provide a two year straightening guarantee in lieu of staking trees. One year guarantee for all plant materials from the date of installation. Warranty shall include replacement of dead or unhealthy vegetation to be planted in the next growing season, with a new one (1) warranty commencing on date of replacement for each plant replaced.
- Prior to wrapping, the tree trunks shall be inspected by engineer. All tree wrap/twine etc. to be removed from tree in one year as part of maintenance.
- All lawn areas to be hydroseeded. Any other areas disturbed during construction to be restored. Provide alternate price for sodding in lieu of hydroseeding. Right of way areas between the property line and the road shall be restored.
- Irrigate all planting beds and lawn areas per owners direction.
- Contractor to reseed all disturbed areas.



**SHRUB ON SLOPE PLANTING DETAIL**  
(NOT TO SCALE)



**TYPICAL STAGGER PLANTING DETAIL**  
(NOT TO SCALE)



**SHADE/ORNAMENTAL TREE PLANTING SECTION**  
(NOT TO SCALE)

**NOTE:** All shade and ornamental trees to be specimen quality. park grade trees will not be accepted. all trees must be nursery grown and pruned to achieve a street tree form with branching no lower than 5' - 6' trees must have a strong central leader. no crochching or undesirable characteristics will be permitted.

**GENERAL NOTES:**

- Contractor can elect to eliminate staking in areas proximal to pedestrian circulation, provided contractor agrees in writing to straighten any crooked trees until established.
- Plant so that top of root ball is even with the finish grade on existing soil base. for backfill areas, plant ball up to 2 1/2" - 3" higher to allow for settlement
- Flag guying wires with surveyor tape for trees

2	PER CITY OF MISHAWAKA REVIEW COMMENTS	SAL	02/15/2022
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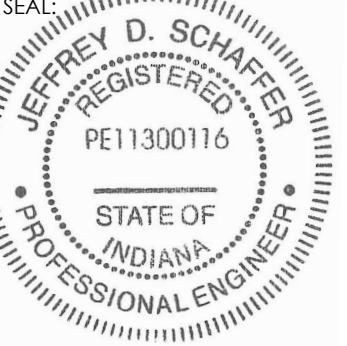
PROJECT:

**Lighting Plan**

SHEET TITLE:

DRAWN BY: **PWW**  
 DESIGNED BY: **PWW**  
 PM REVIEW: **JDS**  
 QA/QC REVIEW: **MJH**

DATE: **12/10/2021**

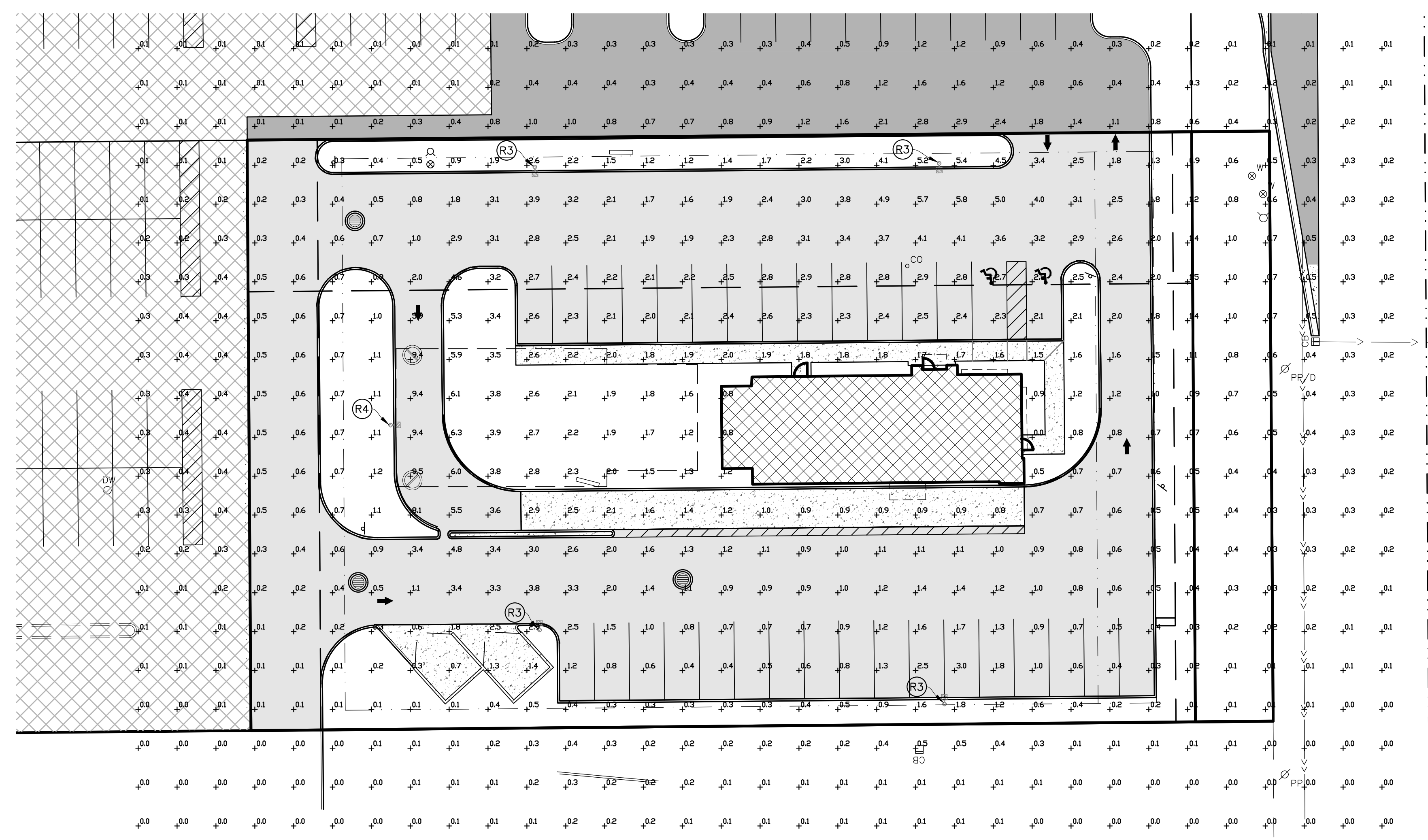


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 DATE: **02/21/2022**

SCALE: **HORIZ: 1" = 20'**  
**VERT:**

ACI JOB # **21-1913**

SHEET NO. **9 of 14**

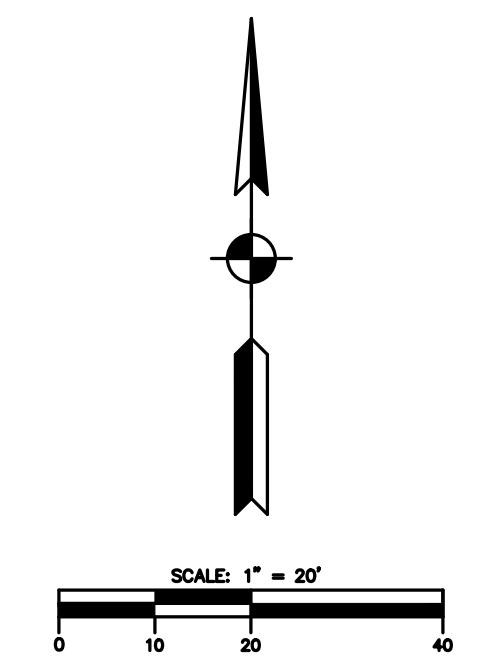


**KEYNOTE LEGEND**

- (R3) Lithonia RSX2-P6-40K-R3 on 30' Pole
- (R4) Lithonia RSX2-P6-40K-R4 on 30' Pole

**GENERAL NOTES**

1. Design and Construction shall adhere to South Bend Construction and Standard Specifications.
2. Contractor shall install Poles and Lighting according to the manufacturers recommendations.
3. All wall lighting in decorative in it's use and does not provide illumination (in foot-candles) at a distance of greater than 10 feet past the luminaries.



**LITHONIA LIGHTING**

**Submital Spec Sheet**

**RSX2 Area Size 2 (RSX2)**

**OVERVIEW**

With up to 32,000 lumens, the RSX2 can replace up to 40W metal halide, and its energy efficient 1000lm output allows for more lighting options. The RSX2 is designed for 70,000 lumens per luminaire, allowing up to 70,000 lumens per luminaire up to eight luminaire per luminaire. Coupled with 40,000 lumens per luminaire, the RSX2 provides enhanced outdoor lighting solutions and consistent energy savings.

Available with eight unique configurations, the RSX2 is specifically designed to provide one-to-one solutions for specific lighting needs. The RSX2 is designed to provide one-to-one solutions for specific lighting needs. The RSX2 is designed to provide one-to-one solutions for specific lighting needs.

Product Page: <https://www.abonmarche.com/products/rsx2/>  
 Warranty: <https://www.abonmarche.com/warranty/rsx2/>

The product images shown are for illustrative purposes only and may not be an exact representation of the product.

GENERAL INFORMATION		RSX2 LED (Incomplete)	
Series	Light Type	LED Configuration	Combined Color Temperature
RSX2	Area Size 2	LED - LED	

Configuration		Light Type	LED Configuration	Combined Color Temperature
RSX2	Area Size 2	LED - LED		

One Lithonia Way, Cary, NC 27513 • Phone: 800.755.7191 • www.abonmarche.com  
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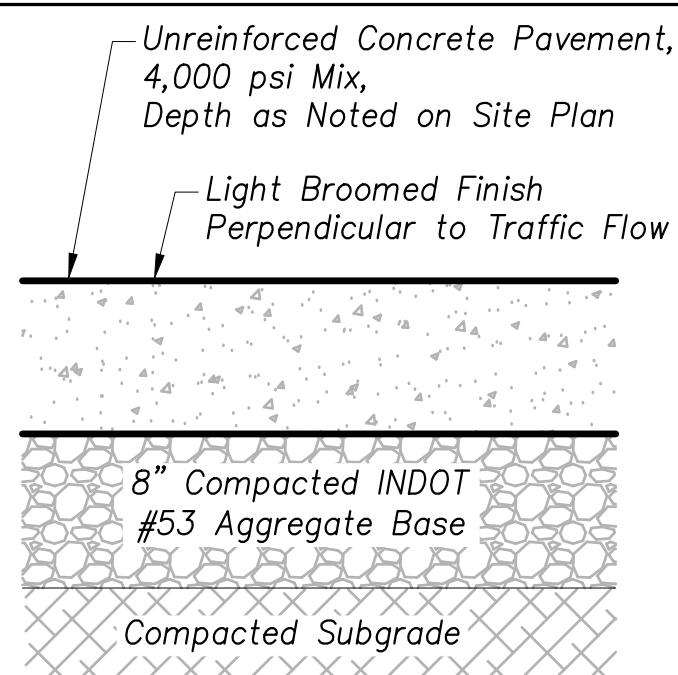
Material	Quantity	Material	Quantity	Material	Quantity
RSX2	1	RSX2	1	RSX2	1

This is a general specification sheet that is based on vendor information for the user. All results presented are for informational purposes only. The user should consult the manufacturer for more information to determine whether the product has been configured properly before placing any orders. Lighting is not responsible for any use resulting from product configuration errors.

All values are design or typical values, measured under laboratory conditions at 25 °C. Note that the specification sheet is provided upon the order for the product information and should include additional information. Consultation with our technical support team is recommended for any questions or concerns. Our technical support team can be reached at 800.755.7191 or via email at support@lithonia.com. All trademarks are the property of their respective owners.

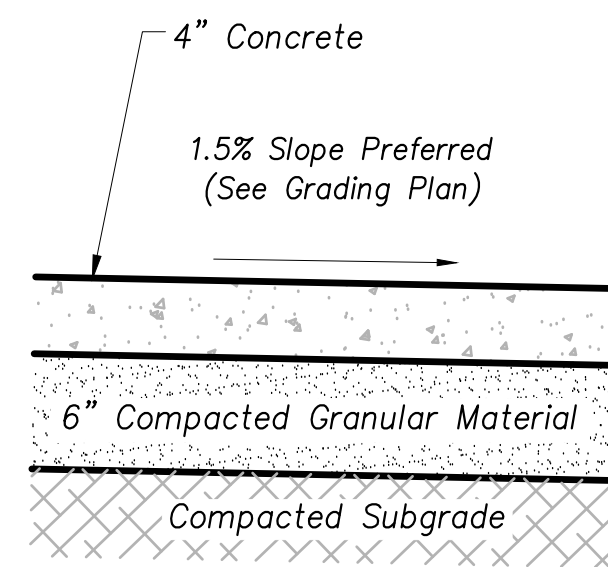
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2	PER CITY OF MISHAWAKA REVIEW COMMENTS	SAL	02/18/2022
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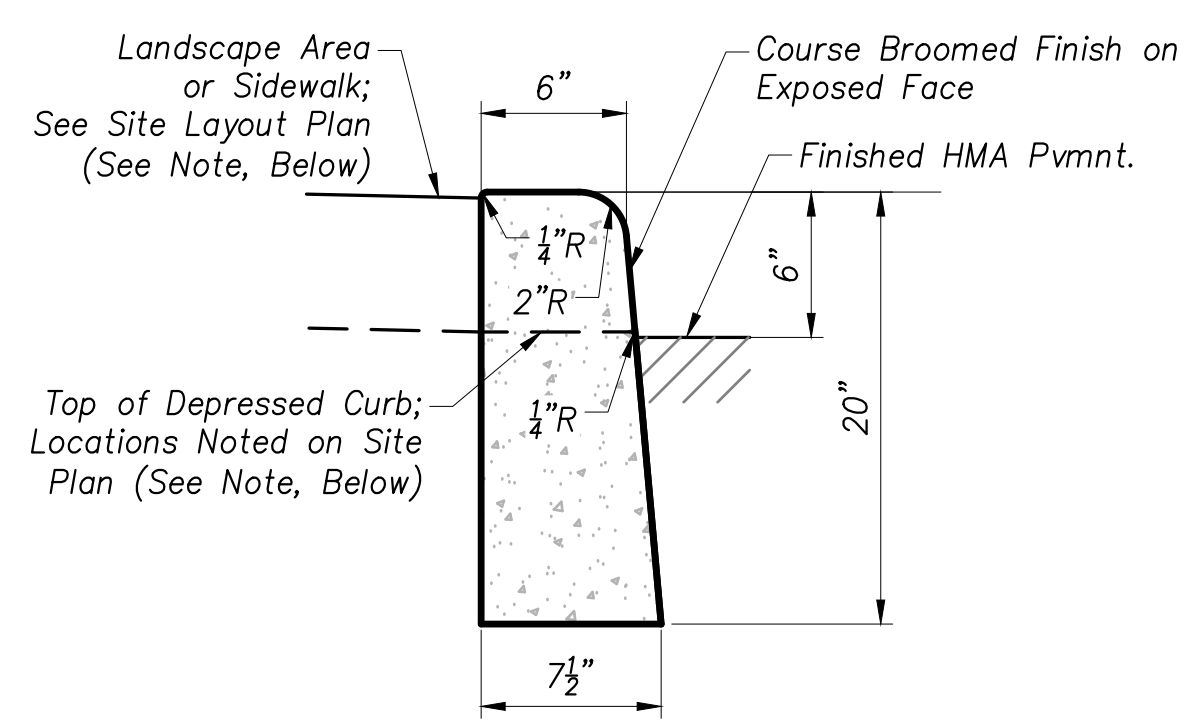
NOTES:  
 1. See geotechnical report for specifications & additional information.  
 2. See Thickened Edge Detail, this sheet.

**CONCRETE PAVEMENT/PAD  
TYPICAL SECTION**  
(Not To Scale)



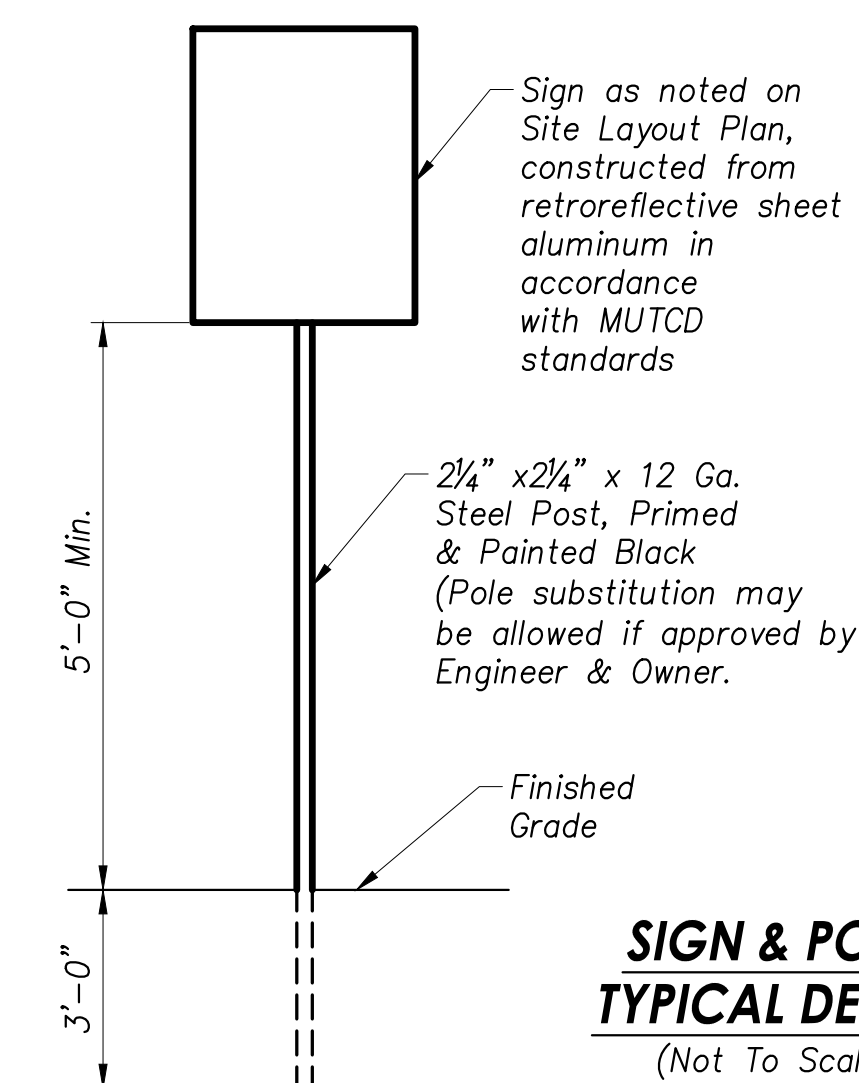
NOTE:  
 Where sidewalk is located adjacent to the building, install 1/2\"/>

**CONCRETE SIDEWALK  
TYPICAL SECTION**  
(Not To Scale)

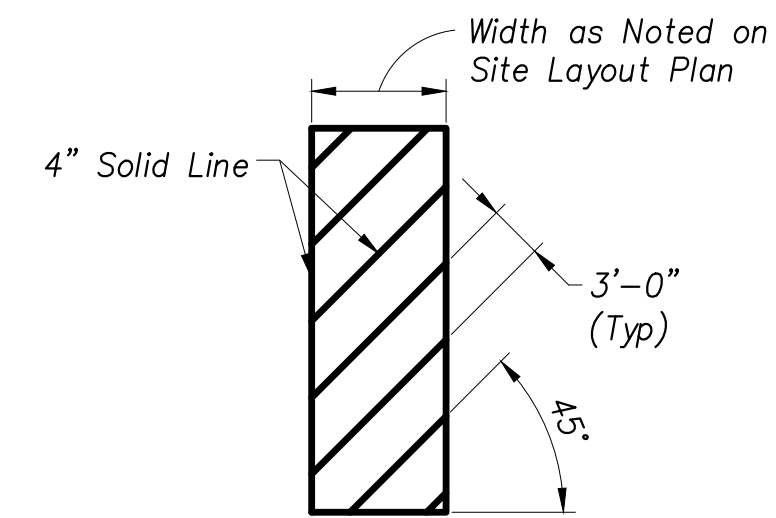


NOTE:  
 Where sidewalk is located behind curb, install 1/2\"/>

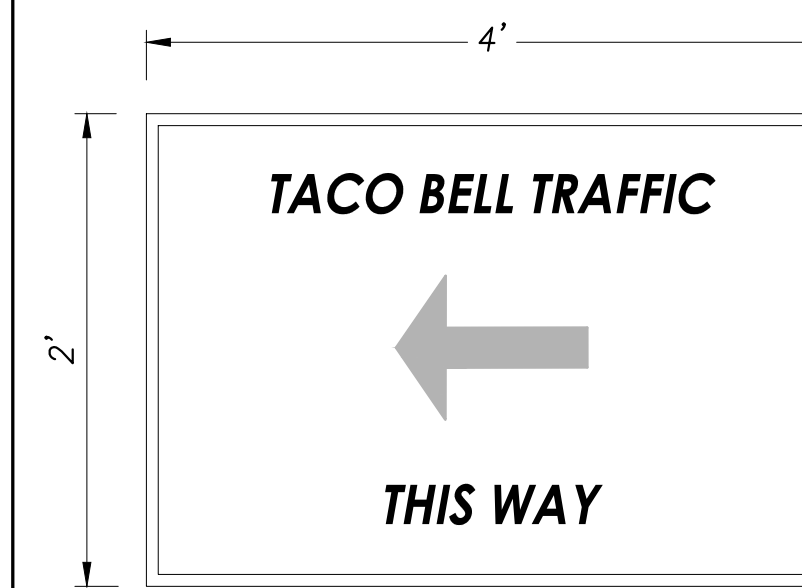
**STANDARD CONCRETE CURB  
TYPICAL DETAIL**  
(Not To Scale)



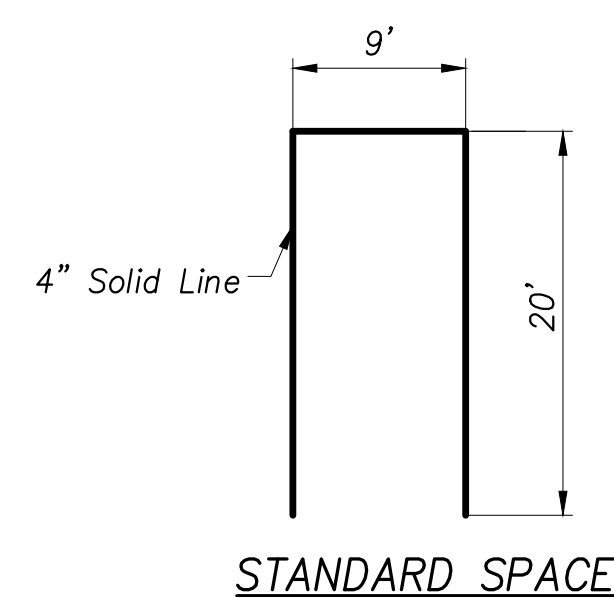
**SIGN & POST  
TYPICAL DETAIL**  
(Not To Scale)



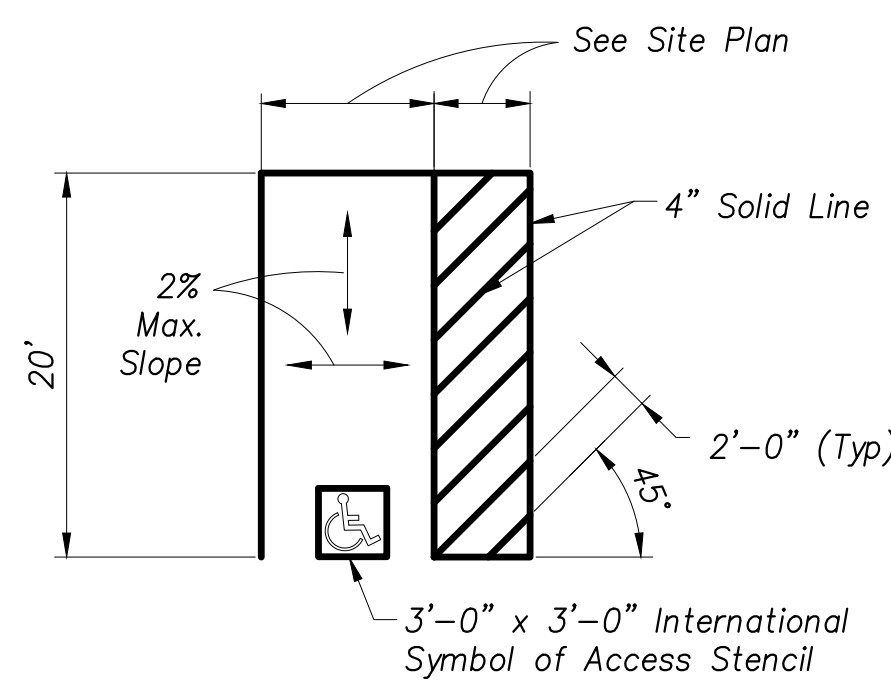
**PAVEMENT MARKINGS:  
CROSSWALK & NO ACCESS AREA**  
(Not To Scale)



**TACO BELL TRAFFIC SIGN**  
(Not To Scale)



**STANDARD SPACE**

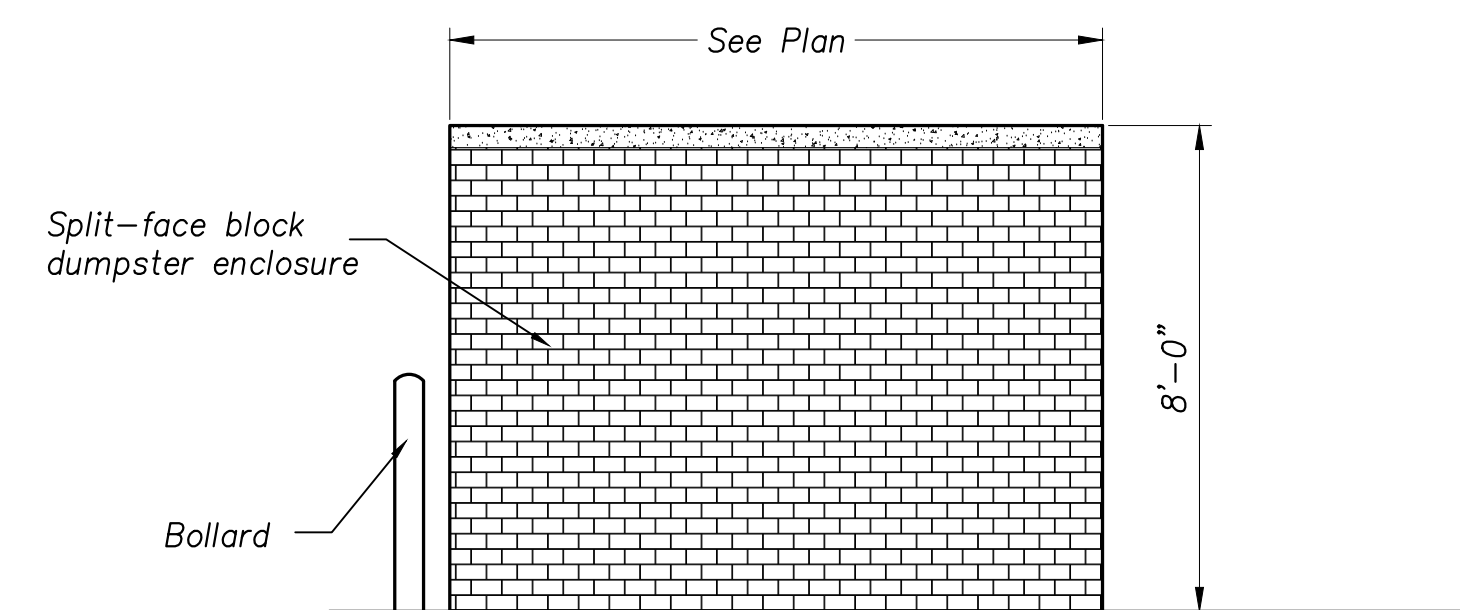
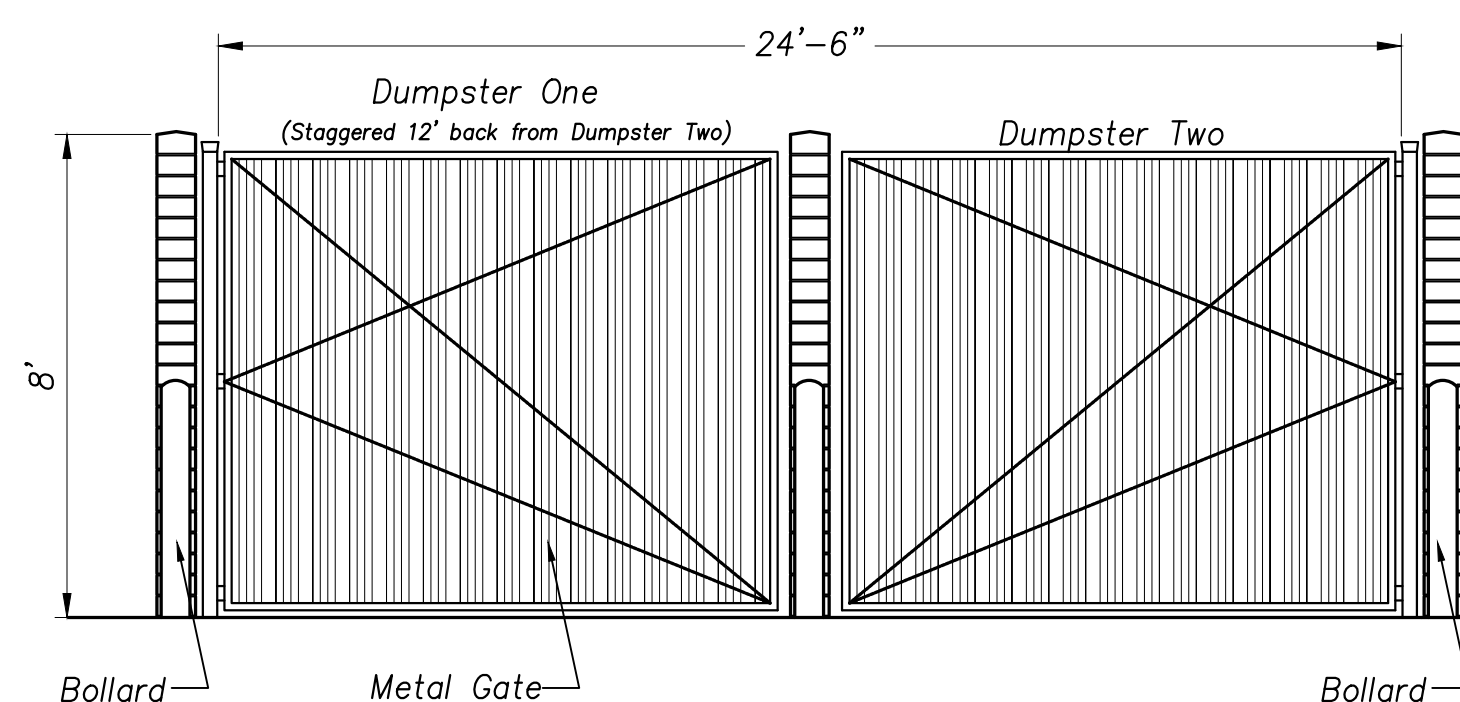


**ADA ACCESSIBLE SPACE**

**PAVEMENT MARKINGS:  
PARKING SPACE TYPICAL DETAILS**  
(Not To Scale)

**CONSTRUCTION NOTES**

1. **GENERAL**
  - a. Except where otherwise indicated on these plans or in the proposal and supplemental specifications contained therein, all materials and workmanship shall be in accordance with the 2020 Indiana Department of Transportation (INDOT) Standard Specifications for Construction.
  - b. Contractor shall submit shop drawings and mix designs to Engineer for review and approval prior to ordering any material.
  - c. Cure concrete in accordance with current INDOT and local specifications.
  - d. Align curb, gutter and sidewalk joints.
1. **SIDEWALK**
  - a. Expansion joints shall be 1/2\"/>
3. **CURB**
  - a. Expansion joints shall be 1/2\"/>
4. **CONCRETE PAVEMENT**
  - a. Apply curing compound and provide light broom finish perpendicular to direction of traffic flow.
  - b. Joints shall be in accordance with ACI 330 and shall not exceed 12' for a 6\"/>



**DUMPSTER ENCLOSURE  
ELEVATIONS**  
(Not To Scale)

SHEET TITLE:  
 DRAWN BY: **PWW**  
 DESIGNED BY: **PWW**  
 PM REVIEW: **JDS**  
 QA/GC REVIEW: **MJH**  
 DATE: **12/10/2021**

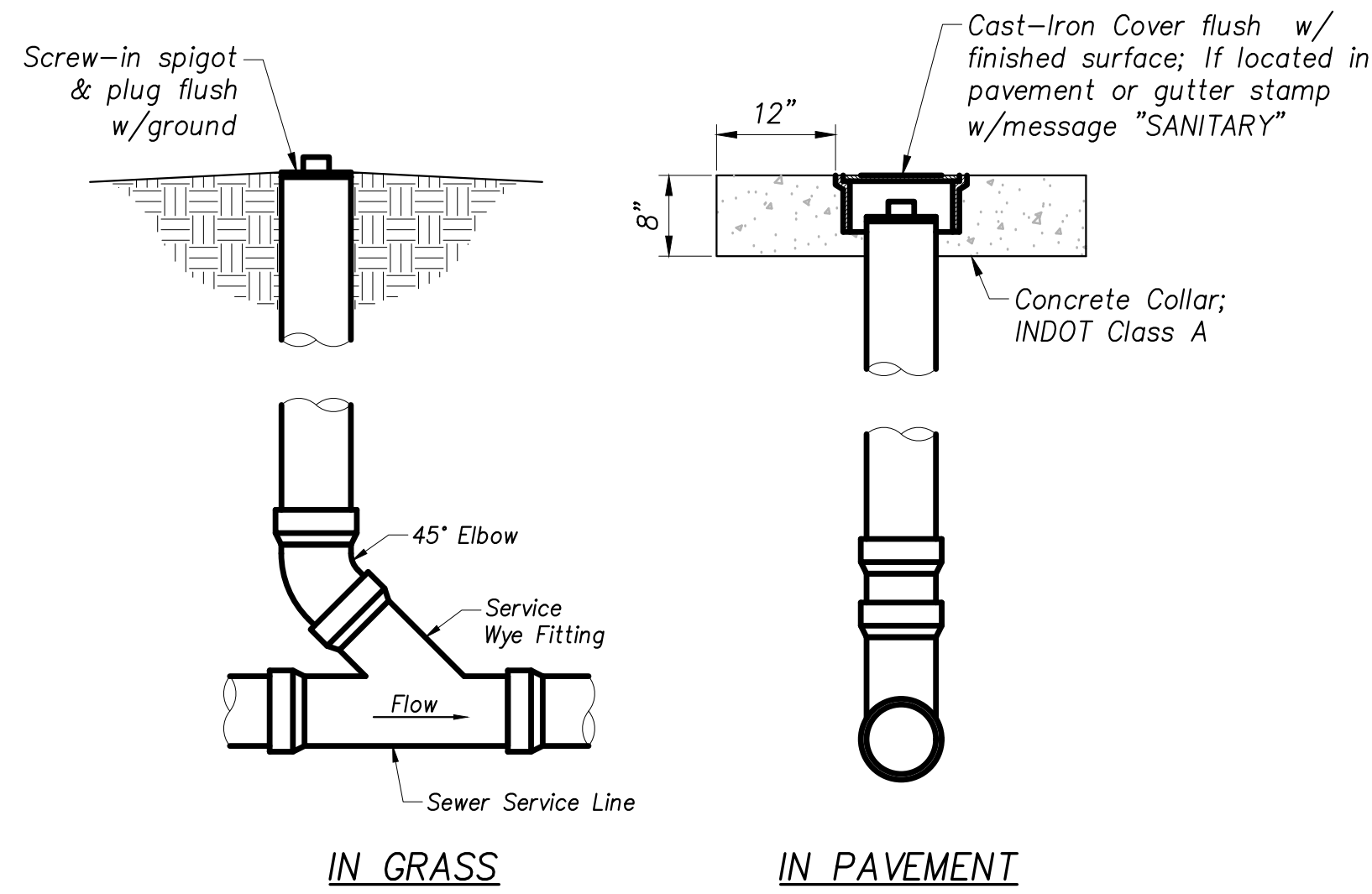
SEAL:  
  
 JEFFREY D. SCHAEFER  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF INDIANA  
 PE11300116

SIGNATURE:  
  
 DATE: **02/21/2022**

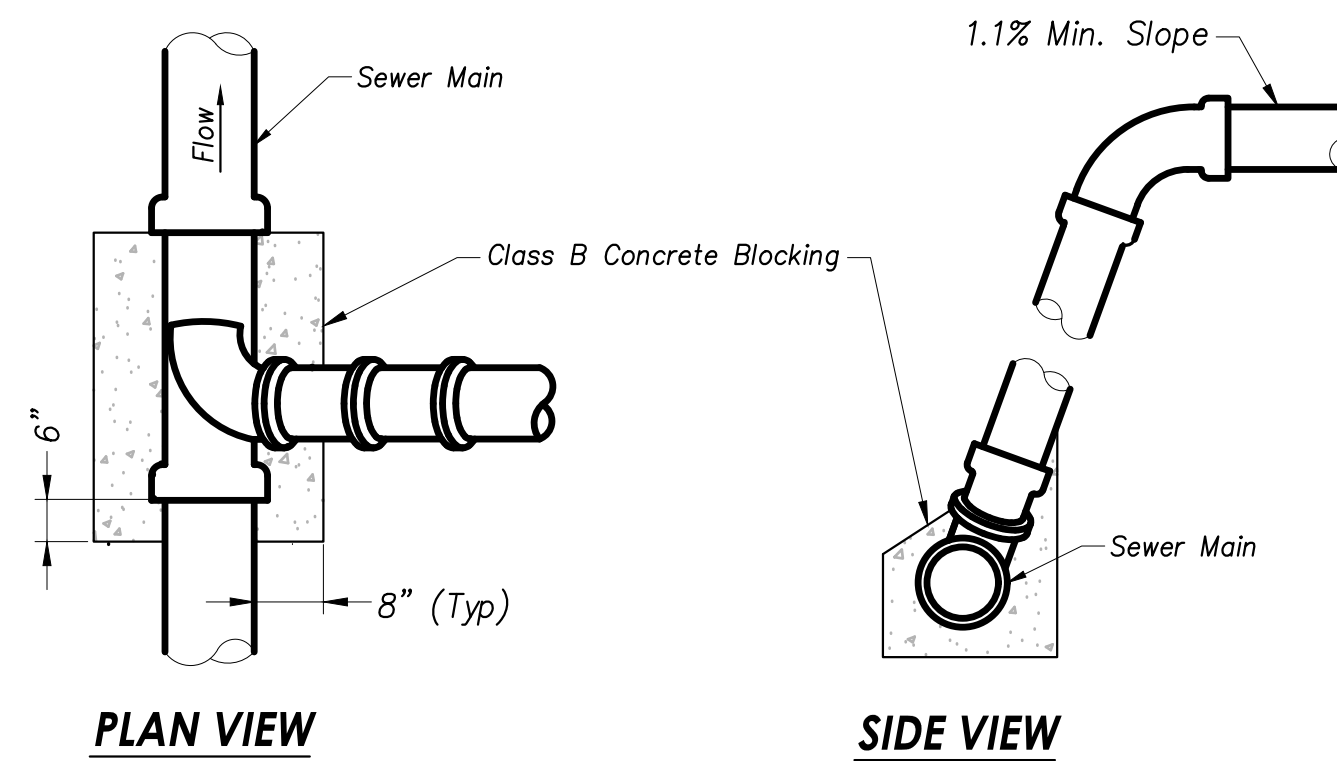
SCALE:  
 HORZ:  
 VERT:  
 ACI JOB #  
**21-1913**

SHEET NO.  
**10 of 14**

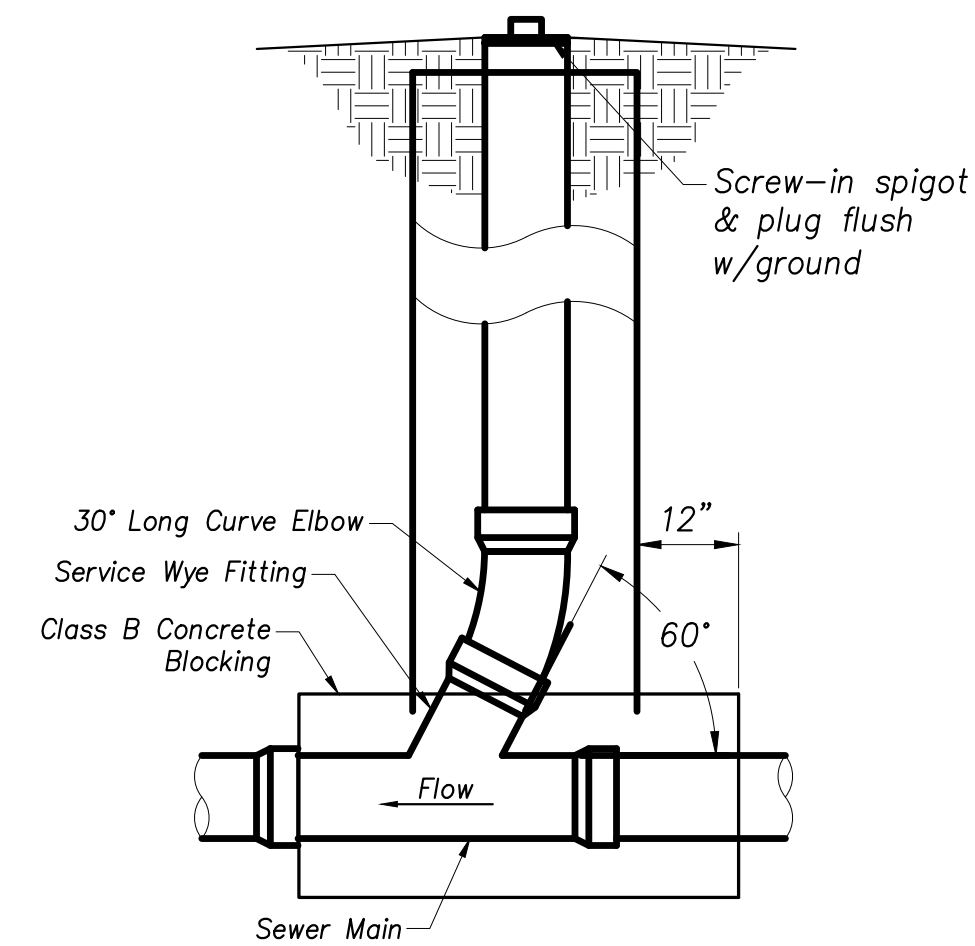
2	PER CITY OF MISHAWAKA REVIEW COMMENTS	SAL	02/15/2022
1	PER CITY OF MISHAWAKA REVIEW COMMENTS	PWW	01/27/2022



**CLEAN-OUT TYPICAL DETAIL**  
(Not To Scale)



**PLAN VIEW**  
**SIDE VIEW**  
**SLANT STACK**



**VERTICAL STACK**

**SANITARY SEWER LATERAL CONNECTION TYPICAL DETAILS**  
(Not To Scale)

**SANITARY SEWER CONSTRUCTION NOTES**

- All sewer materials and construction shall be in accordance with the municipality's Construction Standards and these Construction Drawings.
- Sanitary sewer fittings shall conform to the requirements of ASTM D3034 with a minimum wall thickness of SDR 35, as defined in 7.4.1, and molded in one piece with elastomeric joints and minimum socket depths as specified in Sections 6.2 and 7.3.2. PVC material shall have a cell classification of 12454-B and C as defined in ASTM D1784.
- Contractor shall supply as-built record drawings to the Owner and Engineer upon completion of work.

PROJECT:

**Construction Details**  
**Sanitary and Storm**

SHEET TITLE:

DRAWN BY: **PWW**  
DESIGNED BY: **PWW**  
PM REVIEW: **JDS**  
QA/GC REVIEW: **MJH**

DATE: **12/10/2021**

SEAL: **JEREMY D. SCHAFFER**  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF INDIANA  
PE11300116

SIGNATURE: *[Signature]*  
DATE: **02/21/2022**

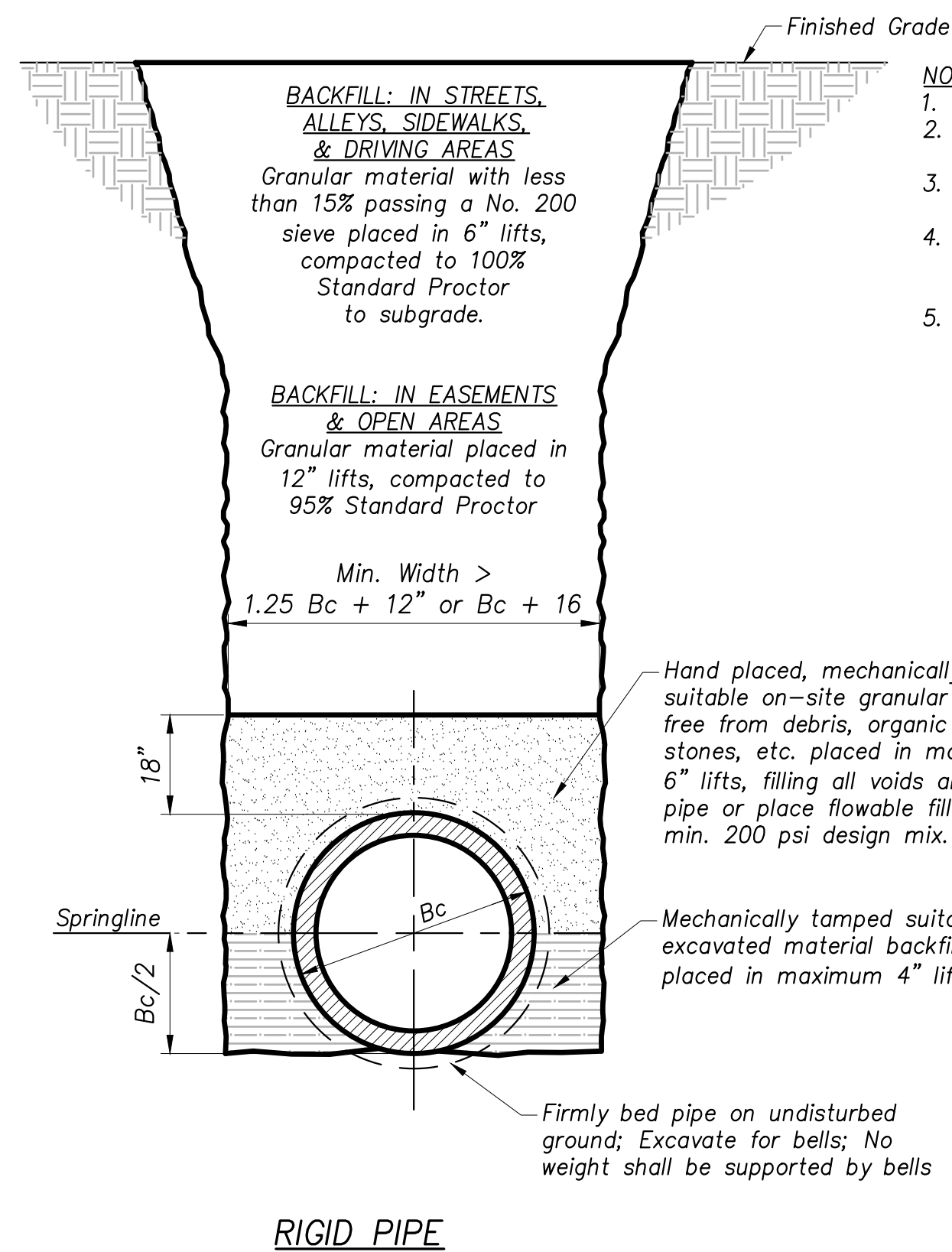
SCALE:  
HORIZ:   
VERT:   
ACT JOB #

**21-1913**

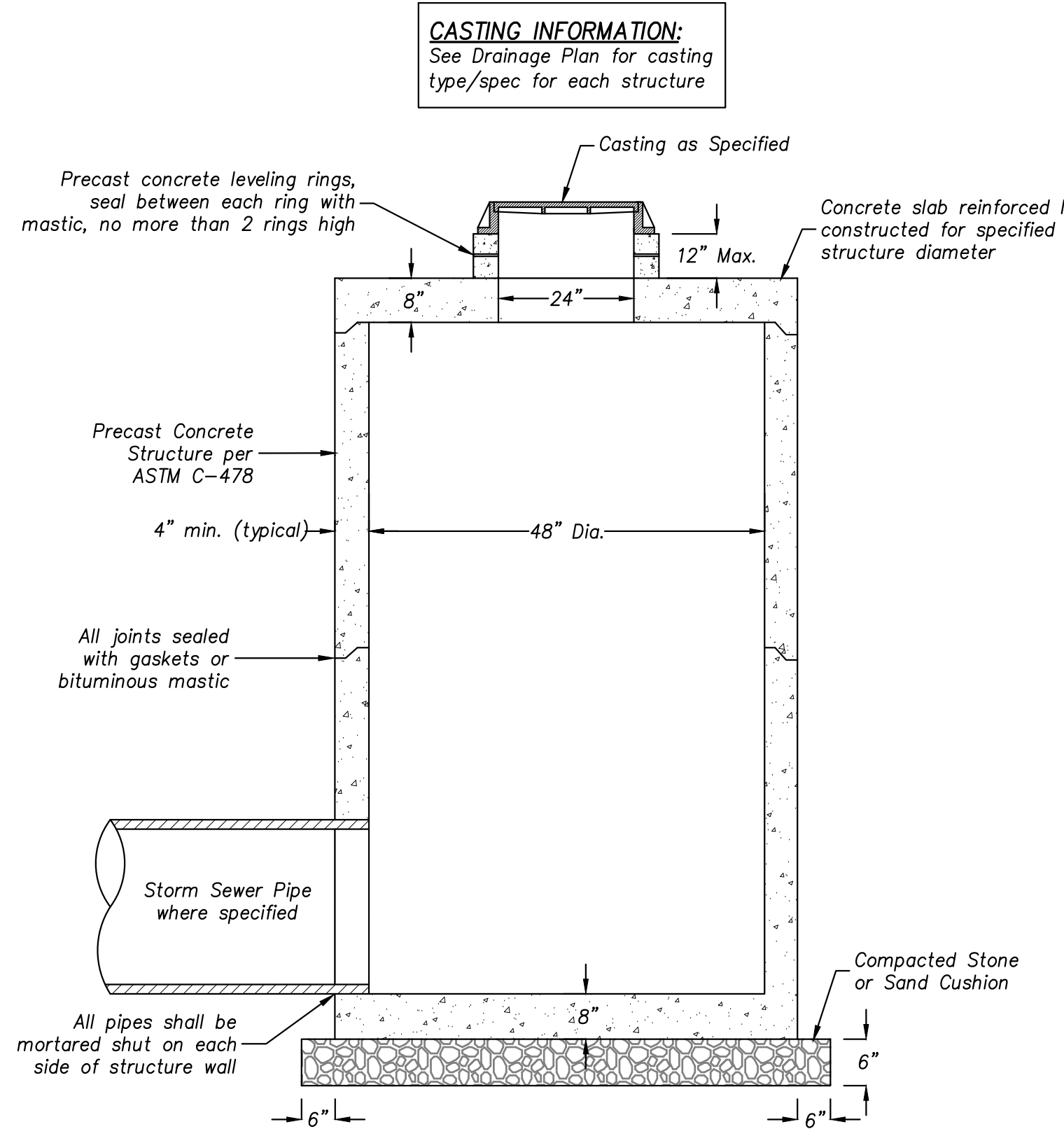
SHEET NO. **11 of 14**

**STORM SEWER CONSTRUCTION NOTES**

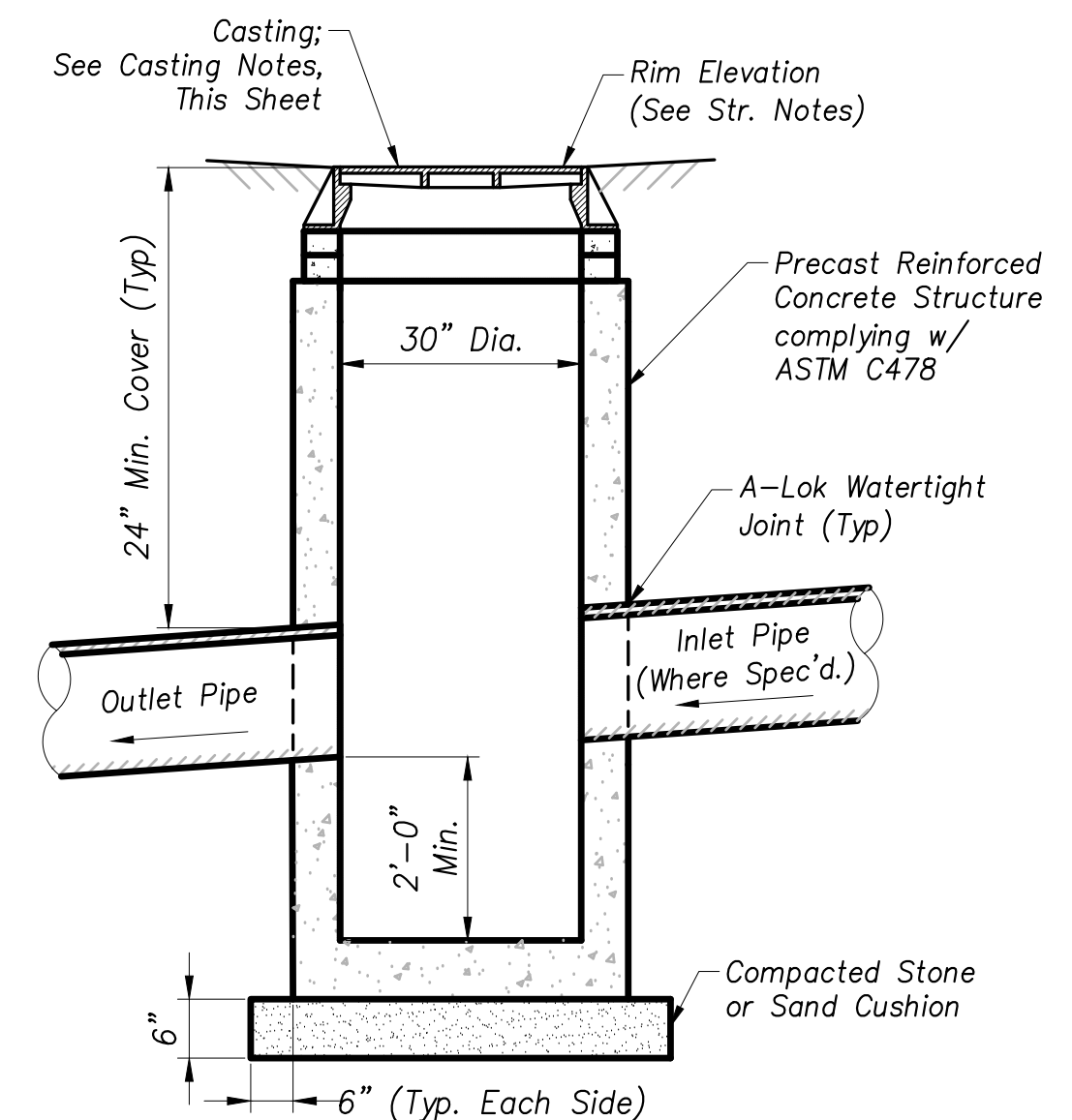
- Contractor shall supply as-built record drawings to the Owner and Engineer upon completion of work.



**PIPE BEDDING TYPICAL DETAIL**  
(Not To Scale)

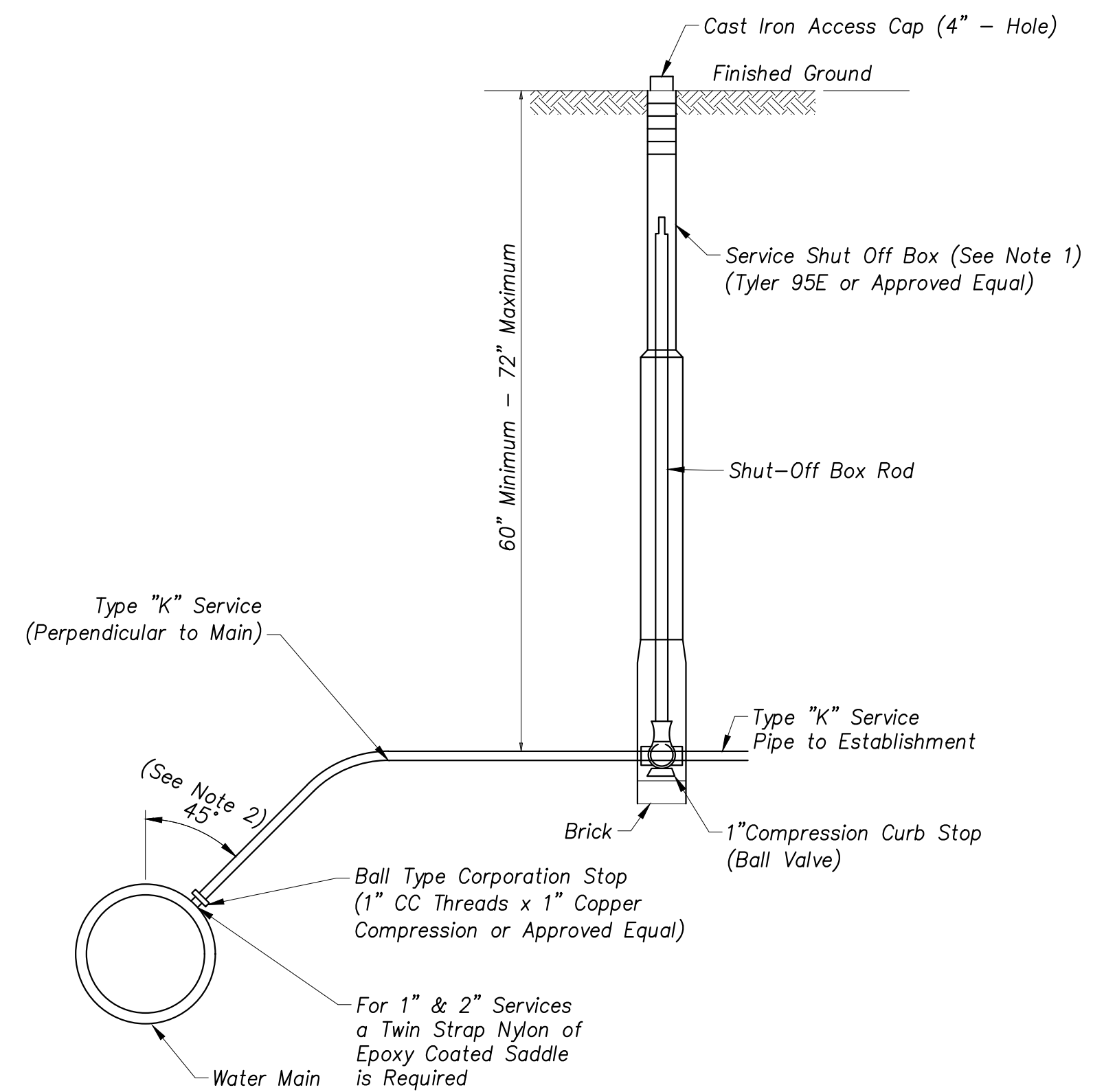


**STANDARD 48" STORM MANHOLE**  
(Not To Scale)



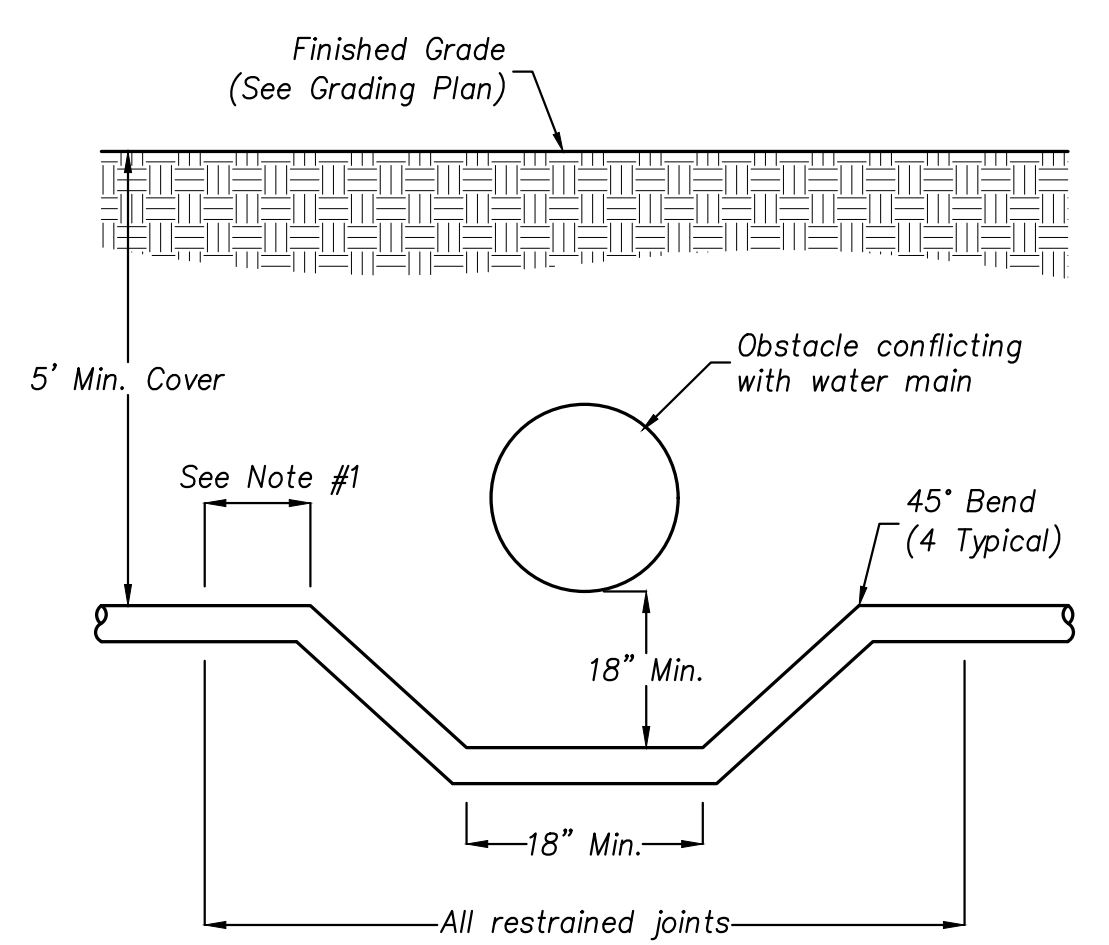
**CATCH BASIN TYPICAL DETAIL**  
(Not To Scale)

2	PER CITY OF MISHAWAKA REVIEW COMMENTS	SAL	02/15/2022
1	PER CITY OF MISHAWAKA REVIEW COMMENTS	PWW	01/27/2022



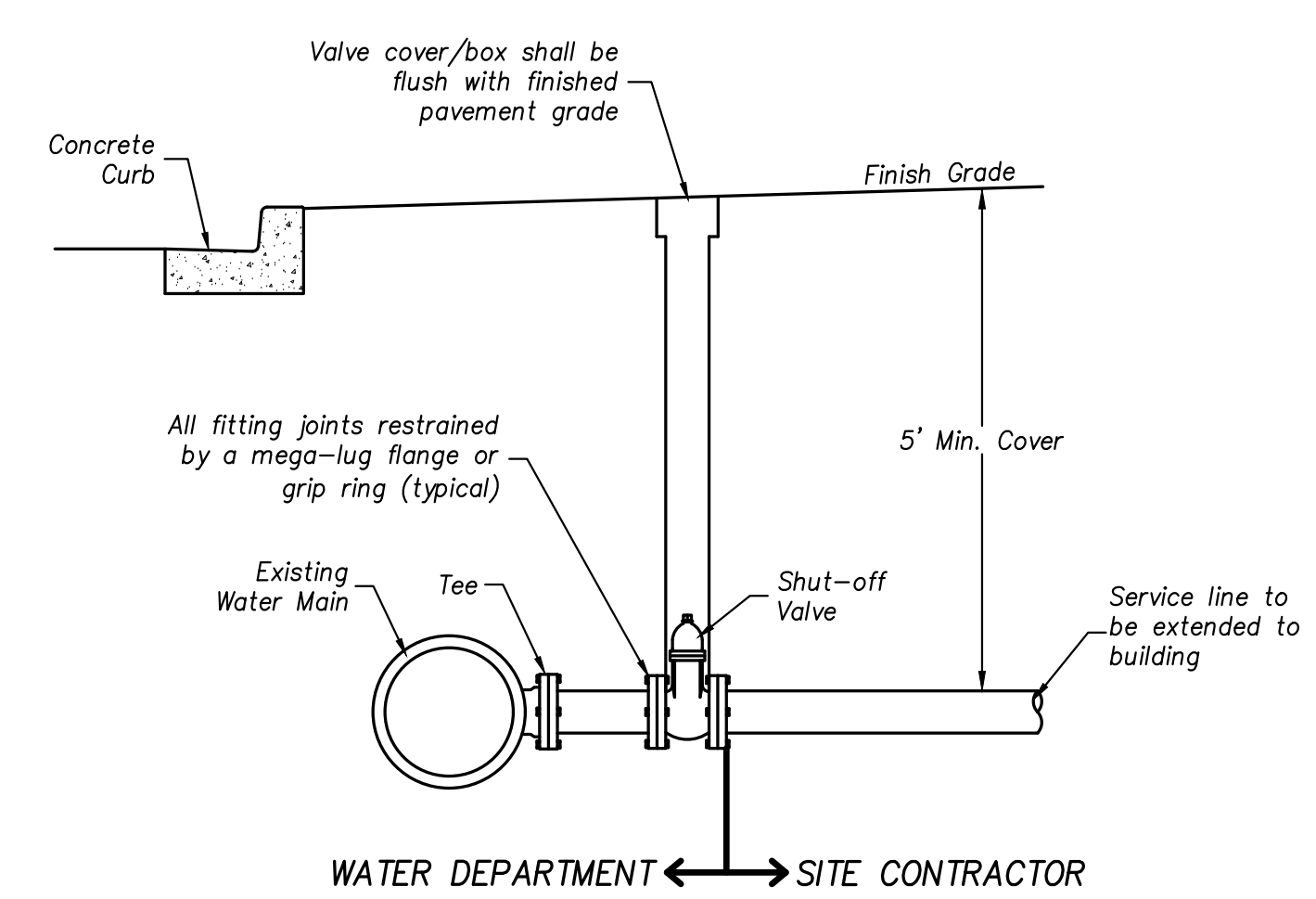
- NOTES**
1. Service shut-off box shall be placed in the public right-of-way in grass between curb and sidewalk.
  2. For a 2" Service the corporation stop shall be located at 90° (level).

**TYPICAL WATER CONNECTION DETAIL**  
(Not To Scale)



- NOTES:**
1. Minimum restrained joint length required for the given pipe size, depth, material, soil condition, etc. Use 1.5:1 safety factor and 150 psi test pressure (Typical Each Side)
  2. Provide adequate support if the obstacle is in place before the water main is constructed.

**WATER LINE/UTILITY CONFLICT**  
**TYPICAL CROSSING DETAIL**  
(Not To Scale)



**WATER SERVICE DETAIL**  
**(DOMESTIC AND FIRE)**  
(Not To Scale)

**WATER SERVICE CONSTRUCTION NOTES**

1. Water pipe materials and construction shall be in accordance with the construction standards of the jurisdictional municipality, AWWA Standards, and these Construction Drawings.
2. Water services (less than 4-inch diameter) shall be Type 'K' Copper.
3. Retainer glands shall be provided on all valves and fittings in accordance with the jurisdictional municipality standards.
4. Water service shall have a minimum cover of 5 feet.
5. Water pipe shall be backfilled in accordance with the requirements as set forth in the plans for rigid pipe beneath pavement.
6. Maintain a minimum horizontal clear separation 10 feet between water and sewer pipes. Where water and sewer pipes cross, maintain a minimum vertical clear separation of 18 inches. If separation cannot be met, the sewer pipe shall be constructed of water grade pipe meeting AWWA Standards for a distance of 10 feet each side of the water pipe. At crossings, one full length of water pipe shall be installed so that the joints will be as far from the sewer pipe as possible.
7. All tees, plugs, valves, dead ends, reducers, and bends shall be installed with a restrained joint in accordance with jurisdictional municipality standards.

2	PER CITY OF MISHAWAKA REVIEW COMMENTS	SAL	02/15/2022
1	PER CITY OF MISHAWAKA REVIEW COMMENTS	PWW	01/27/2022

**ABONMARCHÉ**  
 315 W. Jefferson Blvd.  
 South Bend, IN 46601  
 Phone: 574.232.8100  
 Fax: 574.232.8100  
 abonmarche.com

Engineering - Architecture - Land Surveying

**Taco Bell**  
**Mishawaka, Indiana**

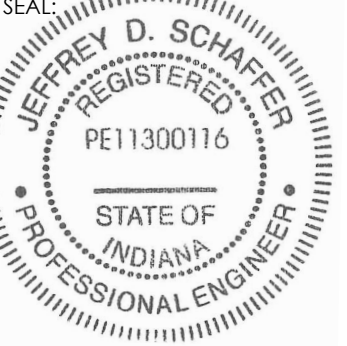
PROJECT:

**Construction Details**  
**Water**

SHEET TITLE:

DRAWN BY: **PWW**  
 DESIGNED BY: **PWW**  
 PM REVIEW: **JDS**  
 QA/GC REVIEW: **MJH**

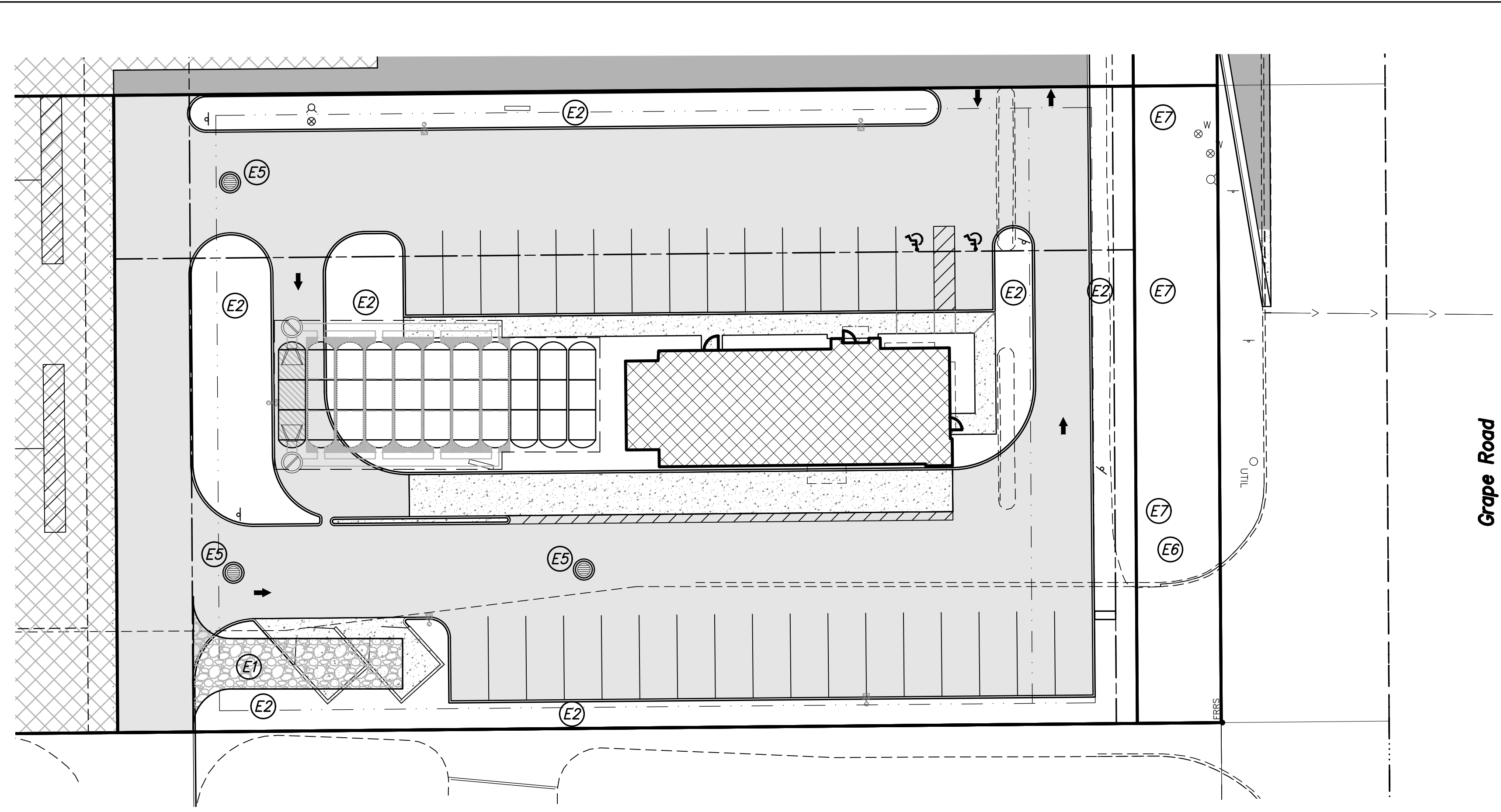
DATE: **12/10/2021**



SIGNATURE: *[Signature]*  
 DATE: **02/21/2022**

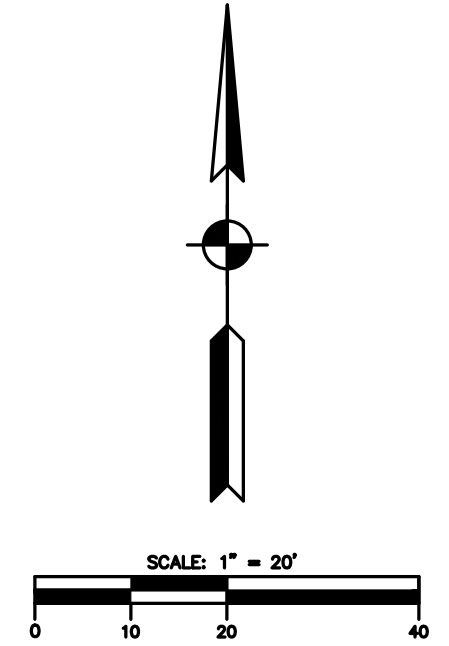
SCALE:  
 HORIZ: \_\_\_\_\_  
 VERT: \_\_\_\_\_  
 ACT JOB # **21-1913**

SHEET NO. **12 of 14**



**PROPOSED FEATURES LEGEND**

- (E1) Temporary Construction Entrance
- (E2) Remove pavement & Vegetate exposed earth w/Seeding & Secured Mulch (if disturbed area remains idle for more than 15 days); Erosion Control Blanket to be used on areas that fail to stabilize with seed and mulch
- (E3) Temporary Soil Stockpile
- (E5) Inlet Protection
- (E6) Concrete Washout Structure; If concrete waste is returned to the concrete plant for disposal or concrete delivery trucks with self-contained washout systems are utilized, this BMP is not required.
- (E7) Existing Vegetative Filter Strip - Do Not Disturb



**NOTES**

- Temporary construction entrance(s) shall be installed and maintained to minimize the amount of soil tracked onto public/private roadways. A tentative location is shown on the plan. The Contractor shall submit actual location(s) to the Owner for approval. Entrance(s) shall be installed prior to any other construction activity. See "Temporary Construction Entrance" detail.
- Storm sewer inlets within the construction limits and existing inlets nearby that may be impacted by construction shall be protected as specified on this plan or an approved equal. The intent of this measure is to prevent sediment from entering the drainage system. See inlet protection detail(s).
- Until the project is accepted by the Owner, the Contractor shall maintain all erosion control measures to prevent sediment from entering public and private storm sewers and from leaving the project site. Contractor shall implement and maintain any additional measures at the request of the Local Inspectors at no additional cost.
- The location shown on the plan for the concrete washout structure is tentative and subject to change by the Contractor and Owner prior to construction. See "Concrete Washout" detail.
- Soil material shall be temporarily stockpiled onsite as necessary during construction and any excess material not needed shall be hauled away and disposed of in accordance with local, state and federal guidelines.
- Locations for temporary construction staging and dewatering operations (if required) shall be determined by the Contractor and Owner prior to construction. These locations shall be provided to the municipality prior to construction of said items and adequate protection installed to protect public and private drainage systems.
- All areas disturbed by construction shall be stabilized with seeding measures. Temporary Seeding shall take place as soon as possible on any bare or thinly vegetated areas which have less than 70 percent cover and will remain inactive for a period of 15 days or more. Temporary and Permanent Seeding shall be in accordance with the Indiana Storm Water Quality Manual.
- Erosion Control Blankets, where specified, shall be North American Green DS-150 or approved equal. Contractor shall follow the manufacturer's guidelines for installation and maintenance. See temporary slope stabilization detail.
- All work performed within city right-of-way shall conform with municipal standards and details.

**ABONMARCHÉ**  
 315 W. Jefferson Blvd.  
 South Bend, IN 46601  
 Phone: 574.232.8400  
 Fax: 574.232.8400  
 abonmarche.com

**Taco Bell**  
**Mishawaka, Indiana**

**Erosion Control Plan**

SHEET TITLE:  
 DRAWN BY: **PWW**  
 DESIGNED BY: **PWW**  
 PM REVIEW: **JDS**  
 QA/QC REVIEW: **MJH**  
 DATE: **12/10/2021**

SEAL: **JEFFREY D. SCHAFFER**  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF INDIANA  
 PE11300116  
 SIGNATURE: *[Signature]*  
 DATE: **02/21/2022**

SCALE:  
 HORZ: 1" = 20'  
 VERT:  
 ACT JOB #  
**21-1913**

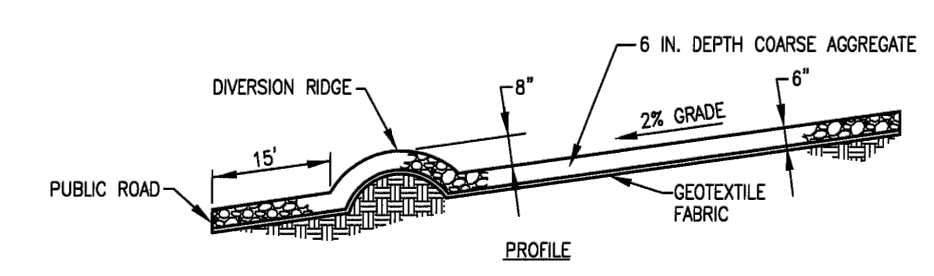
SHEET NO.  
**13 of 14**

**REQUIREMENTS (EXHIBIT 3.01-B)**

**MATERIAL:** 2-3 IN. DIA. WASHED STONE (NDOT CA NO. 2) OVER A STABLE FOUNDATION. THICKNESS: 6 IN. MINIMUM.  
**WIDTH:** SEE MINIMUMS ON PLAN BELOW OR FULL WIDTH OF ENTRANCE/EXIT ROADWAY, WHICHEVER IS GREATER. LENGTH: 50 FT. MINIMUM FOR SMALL SITES (LESS THAN 2 ACRES); 150 FT. MINIMUM FOR LARGE SITES (2 ACRES AND LARGER). THE LENGTH CAN BE SHORTER FOR SMALL SITES SUCH AS FOR AN INDIVIDUAL HOME, BUT SHALL BE OF SUFFICIENT LENGTH TO PREVENT TRACKING.  
**WASHING FACILITY (OPTIONAL):** LEVEL AREA WITH 3 IN. WASHED STONE MINIMUM OR A COMMERCIAL RACK, AND WASTE WATER DIVERTED TO A SEDIMENT TRAP OR BASIN.  
**GEOTEXTILE FABRIC UNDERLAYER:** REQUIRED TO PROVIDE GREATER BEARING STRENGTH.

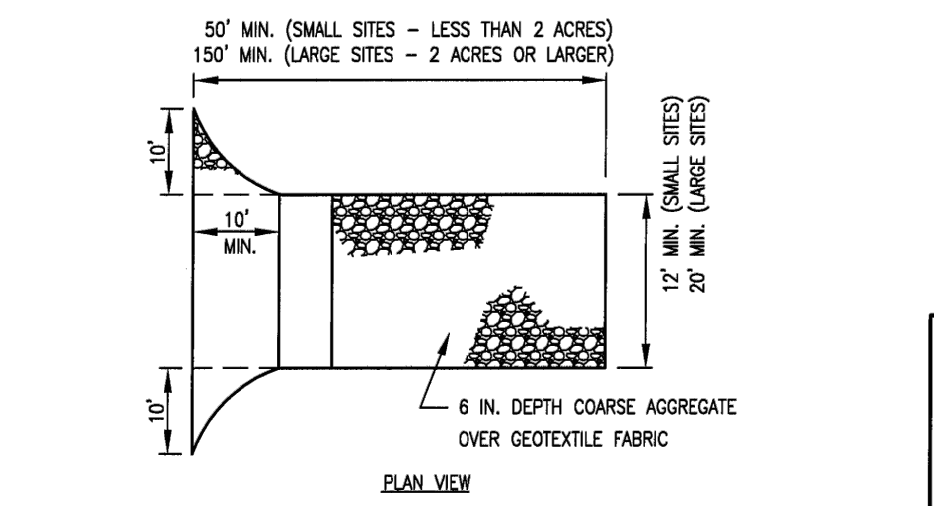
**INSTALLATION (EXHIBIT 3.01-C)**

- AVOID LOCATING ON STEEP SLOPES OR AT CURVES IN PUBLIC ROADS.
- REMOVE ALL VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA, AND GRADE AND CROWN FOR POSITIVE DRAINAGE.
- IF SLOPE TOWARDS THE ROAD EXCEEDS 2%, CONSTRUCT AN 8 IN.-HIGH DIVERSION RIDGE WITH 3:1 SIDE SLOPES ACROSS THE FOUNDATION AREA ABOUT 15 FT. FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE ROAD (SEE PROFILES).
- INSTALL CULVERT PIPE UNDER THE PAD IF NEEDED TO MAINTAIN PROPER PUBLIC ROAD DRAINAGE.
- PLACE STONE TO DIMENSIONS AND GRADE SHOWN IN THE EROSION/SEDIMENT CONTROL PLAN, LEAVING THE SURFACE SMOOTH AND SLOPED FOR DRAINAGE.
- DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE STONE PAD TO A SEDIMENT TRAP OR BASIN.



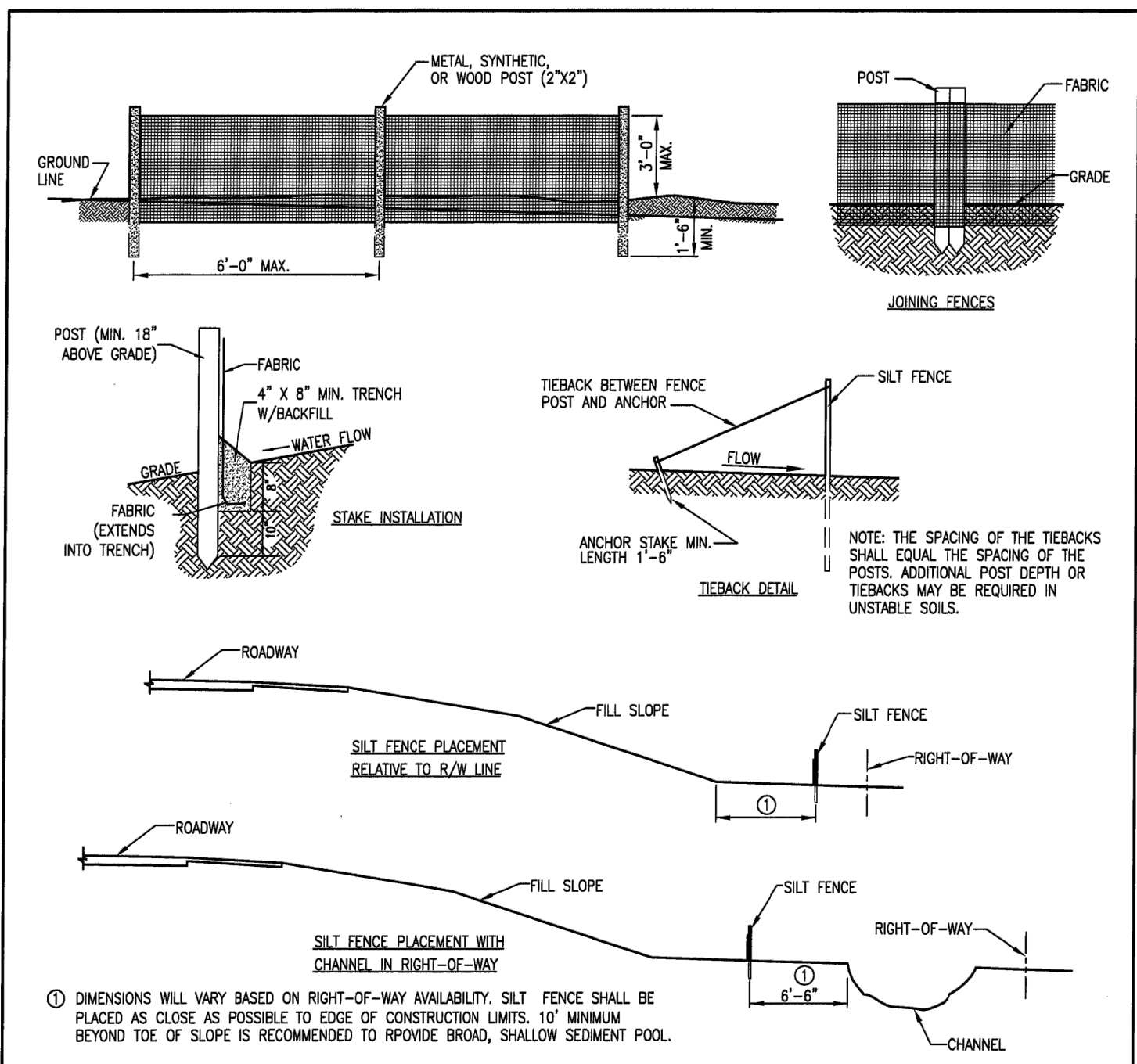
**MAINTENANCE**

- INSPECT ENTRANCE PAD, SEDIMENT DISPOSAL AREA AND ALL OTHER EROSION CONTROL MEASURES WEEKLY AND AFTER STORM EVENTS OR HEAVY USE. REQUIRED REPAIRS SHOULD BE COMPLETED IMMEDIATELY.
- RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.
- TOPRESS WITH CLEAN STONE AS NEEDED.
- IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. FLUSHING SHOULD ONLY BE USED IF THE WATER IS CONVEYED INTO A SEDIMENT TRAP OR BASIN.
- REPAIR ANY BROKEN ROAD PAVEMENT IMMEDIATELY.



PREPARED BY: **BLZINDIANA, LLC**  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 10100813  
 STATE OF INDIANA  
 No. 02-00-0000  
*[Signature]*  
 6-1-12

APPROVED/REVISOR BY THE BOARD OF PUBLIC WORKS & SAFETY		CITY OF MISHAWAKA, INDIANA	ENGINEERING STANDARDS	SHT. NO.
ITEM	REVISION			
	EFFECTIVE	APRIL 2007		
	REVISED	JUNE 2012		
			<b>TEMPORARY GRAVEL CONST. ENTRANCE</b>	<b>1-3</b>



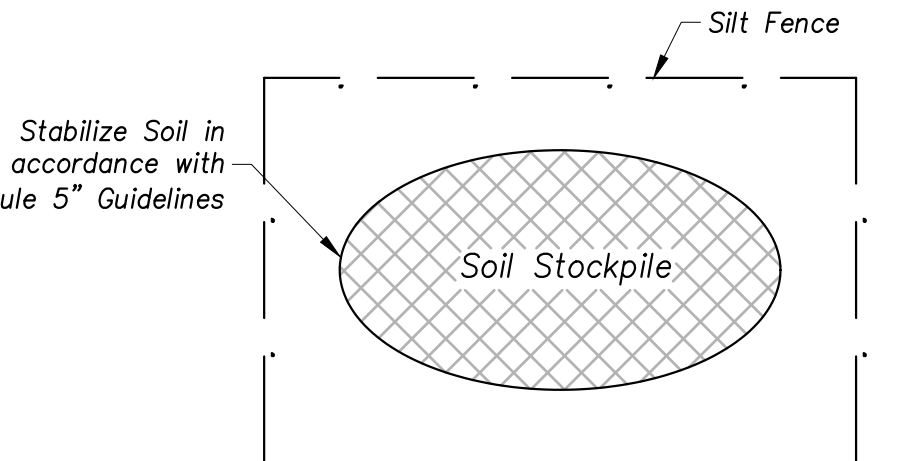
**INSTALLATION NOTES:**

- INSTALL FENCING PARALLEL TO SLOPE CONTOUR BY DIGGING A MINIMUM 8" DEEP X 4" WIDTH TRENCH ALONG PROPOSED FENCE LINE. ROUND POSTS IN TRENCH 6"-8" OR UNTIL SECURE. BE SURE TO STRETCH FABRIC TIGHT WHEN ROUNDING POSTS. FABRIC TO BE PLACED ON UP-SLOPE SIDE OF POSTS. DRAPE LOOSE END OF GEOTEXTILE FABRIC INTO TRENCH. BACKFILL AND COMPACT SOIL ON BOTH SIDES.
- JOIN FENCES BY PLACING THE END POST OF THE SECOND FENCE INSIDE THE END POST OF THE FIRST FENCE. ROTATE BOTH POSTS AT LEAST 180° IN A CLOCKWISE DIRECTION TO CREATE A TIGHT SEAL WITH THE FABRIC MATERIAL. DRIVE BOTH POSTS ABOUT 10" INTO THE GROUND AND BURY FLAP.
- TURN ENDS OF FENCE UP SLOPE SUCH THAT POINT OF CONTACT BETWEEN GROUND AND BOTTOM OF FENCE END TERMINATES AT HIGHER ELEVATION THAN TOP OF FENCE AT LOWEST POINT.

**MAINTENANCE NOTES:**

- INSPECT WITHIN 24 HOURS OF A RAIN EVENT AND AT LEAST EVERY SEVEN DAYS. IF FENCE FABRIC TEARS, STARTS TO DECOMPOSE, OR IN ANYWAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED PORTION IMMEDIATELY.
- REMOVE DEPOSITED SEDIMENT WHEN IT IS CAUSING THE FILTER FABRIC TO SLUDGE OR WHEN IT REACHES ONE-HALF THE HEIGHT OF THE FENCE AT ITS LOWEST POINT. WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE THE FENCE AND SEDIMENT DEPOSITS. GRADE THE SITE TO BLEND WITH THE SURROUNDING AREA AND STABILIZE.

APPROVED/REVISOR BY THE BOARD OF PUBLIC WORKS & SAFETY		CITY OF MISHAWAKA, INDIANA	ENGINEERING STANDARDS	SHT. NO.
ITEM	REVISION			
	EFFECTIVE	APRIL 2007		
	REVISED	JUNE 2012		
			<b>TEMPORARY SILT FENCE</b>	<b>1-7</b>



- INSTALLATION**
- Storage area shall be free of stumps, rock and construction debris.
  - Cover stockpile with vegetation and tarp.
  - Surround with sediment barrier or filter. See "Silt Fence" detail. If straw bales are utilized, place a minimum of 10 feet from the toe of slope. Each bale shall be entrenched a minimum of 4 inches into subsurface and shall be anchored with (2) 3/8-inch long steel rebar and 2x2 inch wood stakes driven through the bale. The minimum bale size shall be 14"x18"x36".
  - Backfill the trench with soil material and compact it in place.

- MAINTENANCE**
- Inspect daily.
  - Check for damage to perimeter barrier; repair immediately.

**TEMPORARY SOIL STOCKPILE**  
 (Not To Scale)

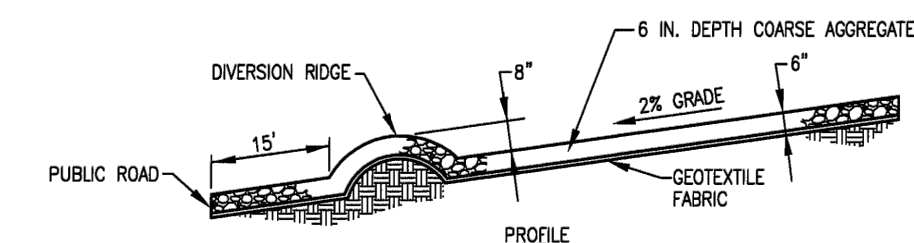
2	PER CITY OF MISHAWAKA REVIEW COMMENTS	SAL	02/18/2022
1	PER CITY OF MISHAWAKA REVIEW COMMENTS	PWW	01/27/2022

REQUIREMENTS:  
(EXHIBIT 3.01-B)

INSTALLATION:  
(EXHIBIT 3.01-C)

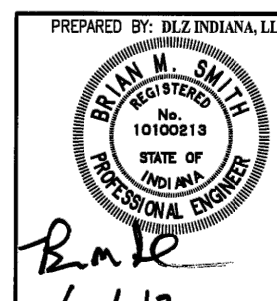
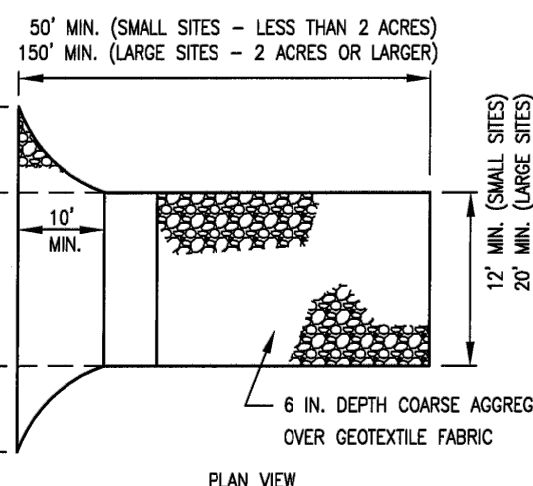
MATERIAL: 2-3 IN. DIA. WASHED STONE (NOOT CA NO. 2) OVER A STABLE FOUNDATION.  
THICKNESS: 6 IN. MINIMUM.  
NOTE: SEE MINIMUMS ON PLAN BELOW OR FULL WIDTH OF ENTRANCE/EXIT ROADWAY, WHICHEVER IS GREATER.  
LENGTH: 50 FT. MINIMUM FOR SMALL SITES (LESS THAN 2 ACRES); 150 FT. MINIMUM FOR LARGE SITES (2 ACRES AND LARGER). THE LENGTH CAN BE SHORTER FOR SMALL SITES SUCH AS FOR AN INDIVIDUAL HOME, BUT SHALL BE OF SUFFICIENT LENGTH TO PREVENT TRACKING.  
WASHING FACILITY (OPTIONAL): LEVEL AREA WITH 3 IN. WASHED STONE MINIMUM OR A COMMERCIAL RACK, AND WASTE WATER DIVERTED TO A SEDIMENT TRAP OR BASIN.  
GEOTEXTILE FABRIC UNDERLIES: REQUIRED TO PROVIDE GREATER BEARING STRENGTH.

1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES IN PUBLIC ROADS.
2. REMOVE ALL VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA, AND GRADE AND CROWN FOR POSITIVE DRAINAGE.
3. IF SLOPE TOWARDS THE ROAD EXCEEDS 2%, CONSTRUCT AN 8 IN.-HIGH DIVERSION RIDGE WITH 3:1 SIDE SLOPES ACROSS THE FOUNDATION AREA ABOUT 15 FT. FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE ROAD (SEE PROFILE).
4. INSTALL CULVERT PIPE UNDER THE PAD IF NEEDED TO MAINTAIN PROPER PUBLIC ROAD DRAINAGE.
5. PLACE STONE TO DIMENSIONS AND GRADE SHOWN IN THE EROSION/SEDIMENT CONTROL PLAN, LEAVING THE SURFACE SMOOTH AND SLOPED FOR DRAINAGE.
6. DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE STONE PAD TO A SEDIMENT TRAP OR BASIN.

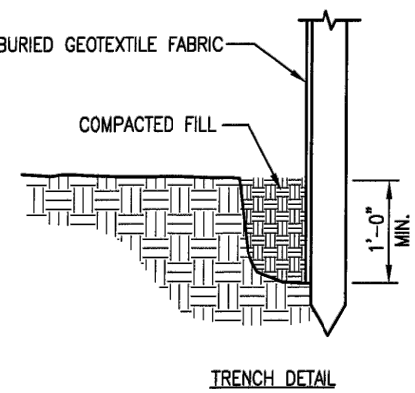
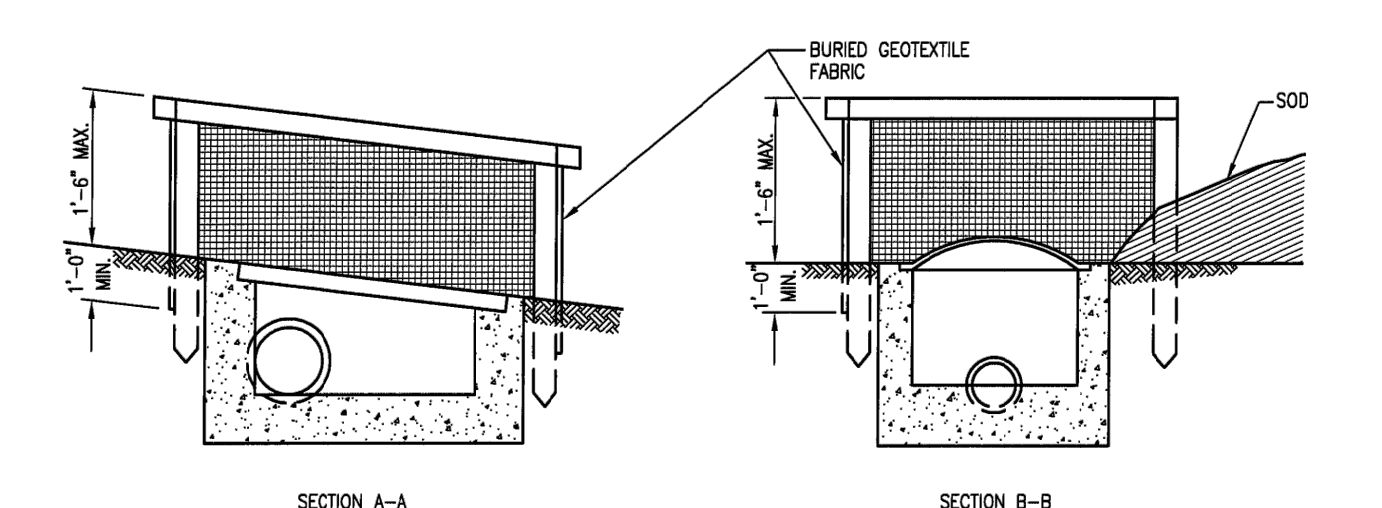
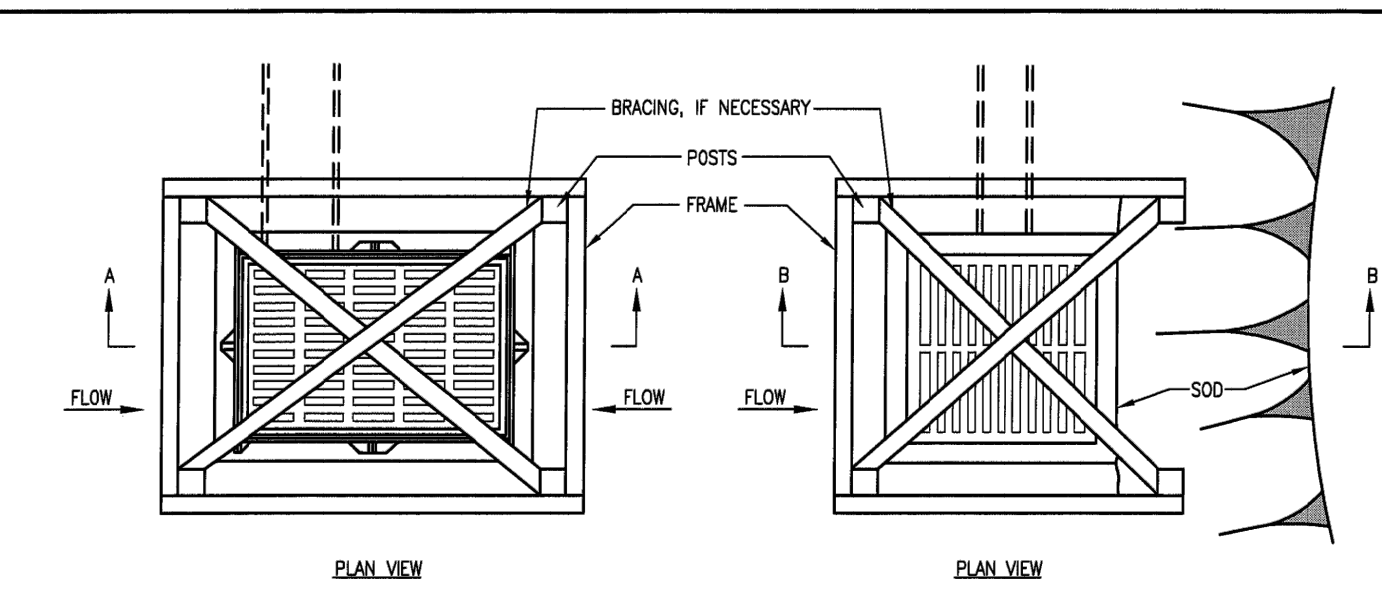


MAINTENANCE

- INSPECT ENTRANCE PAD, SEDIMENT DISPOSAL AREA, AND ALL OTHER EROSION CONTROL MEASURES WEEKLY AND AFTER STORM EVENTS OR HEAVY USE. REQUIRED REPAIRS SHOULD BE COMPLETED IMMEDIATELY.
- RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.
- TOPDRESS WITH CLEAN STONE AS NEEDED.
- IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. FLUSHING SHOULD ONLY BE USED IF THE WATER IS CONVEYED INTO A SEDIMENT TRAP OR BASIN.
- REPAIR ANY BROKEN ROAD PAVEMENT IMMEDIATELY.



APPROVED/REVISED BY THE BOARD OF PUBLIC WORKS & SAFETY			CITY OF MISHAWAKA, INDIANA	
ITEM	REVISION	APPROVED DATE	ENGINEERING STANDARDS	SHT. NO.
	EFFECTIVE	APRIL 2007	TEMPORARY GRAVEL	1-3
	REVISED	JUNE 2012	CONST. ENTRANCE	



INSTALLATION:

1. DIG TRENCH AROUND PERIMETER OF INLET. DRIVE POSTS INTO SOIL AND STRETCH GEOTEXTILE FABRIC TIGHTLY BETWEEN EACH POST. PLACE BOTTOM 12" OF GEOTEXTILE FABRIC INTO TRENCH. BACKFILL WITH SOIL MATERIAL AND COMPACT. BRACE AS NECESSARY.
2. THE FRAME SHALL BE WRAPPED WITH ONE CONTINUOUS PIECE OF GEOTEXTILE FABRIC AND A 2' OVERLAP SHALL BE PROVIDED.

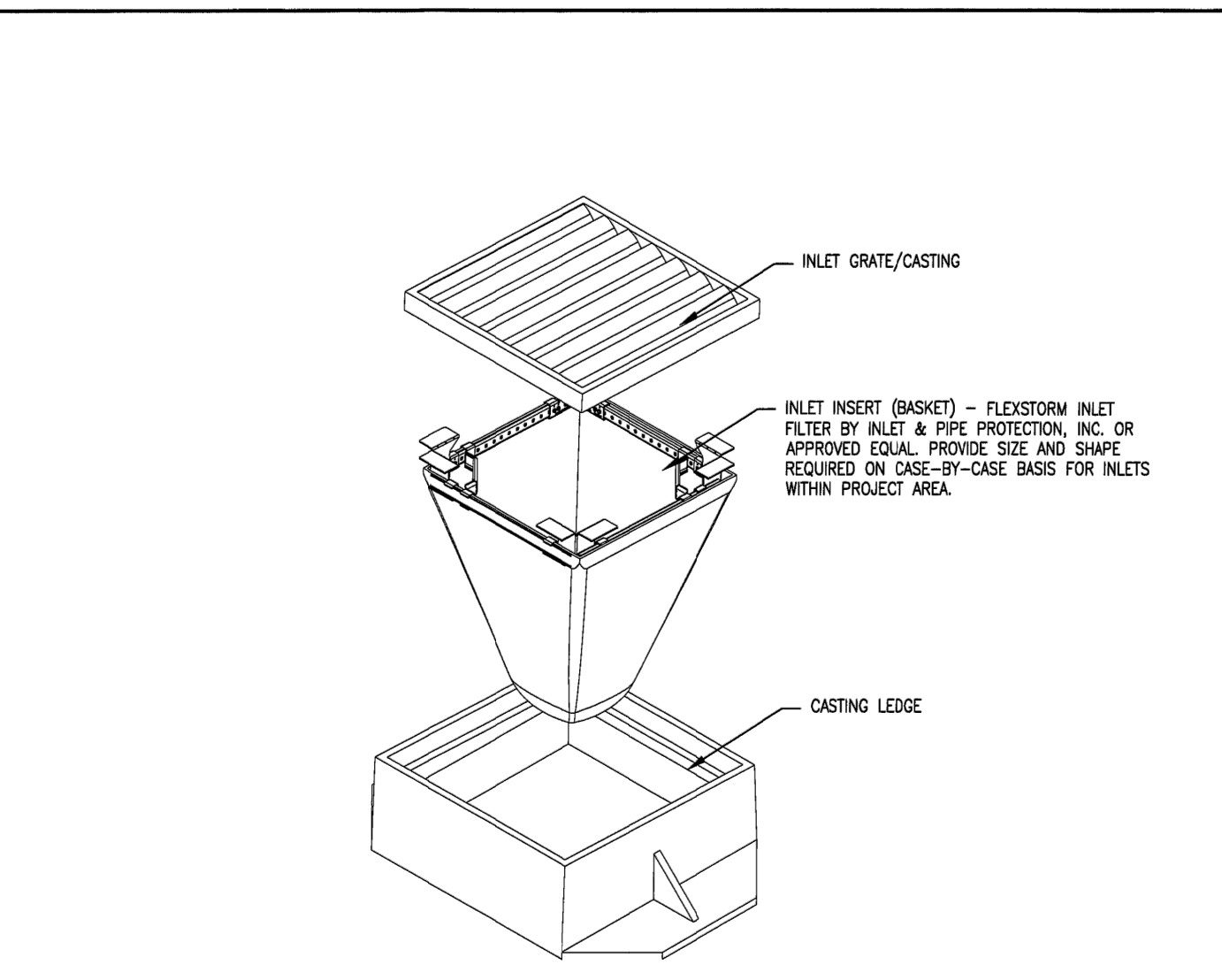
FOR USE IN LANDSCAPE AREAS ONLY.

MAINTENANCE:

1. INSPECT WITHIN 24 HOURS OF A RAIN EVENT AND AT LEAST ONCE EVERY SEVEN DAYS. IF FENCE FABRIC TEARS, STARTS TO DECOMPOSE, OR IN ANYWAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED PORTION IMMEDIATELY.
2. REMOVE DEPOSITED SEDIMENT TO PROVIDE STORAGE FOR NEXT STORM EVENT. WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE THE GEOTEXTILE BOX AND SEDIMENT DEPOSITS. GRADE AREA TO THE ELEVATION OF STORM DRAIN INLET TOP AND STABILIZE IMMEDIATELY.



APPROVED/REVISED BY THE BOARD OF PUBLIC WORKS & SAFETY			CITY OF MISHAWAKA, INDIANA	
ITEM	REVISION	APPROVED DATE	ENGINEERING STANDARDS	SHT. NO.
	EFFECTIVE	APRIL 2007	INLET PROTECTION	1-4
	REVISED	JUNE 2012	GEOTEXTILE BOX	



INSTALLATION INSTRUCTIONS:

1. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
2. REMOVE THE GRATE FROM THE CASTING OR CONCRETE DRAINAGE STRUCTURE.
3. CLEAN THE LEDGE OF THE CASTING FRAME OR DRAINAGE STRUCTURE TO ENSURE IT IS FREE OF STONE AND DIRT.
4. DROP INLET INSERT (BASKET) THROUGH THE CLEAR OPENING AND BE SURE THE SUSPENSION HANGERS REST FIRMLY ON THE INSIDE LEDGE OF THE CASTING.
5. REPLACE THE GRATE AND CONFIRM IT IS ELEVATED NO MORE THAN THICKNESS OF INSERT HANGERS.

MAINTENANCE GUIDELINES:

1. CONSTRUCTION SITE INSPECTION SHOULD OCCUR AT LEAST WEEKLY AND FOLLOWING EACH 1/2" OR MORE RAIN EVENT.
2. EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS.
3. REMOVE THE GRATE, ENGAGE THE LIFTING BARS OR HANDLES AND LIFT FROM THE DRAINAGE STRUCTURE.
4. DISPOSE OF THE SEDIMENT OR DEBRIS IN ACCORDANCE WITH EPA GUIDELINES.
5. REMOVE ANY CAUSED ON SILT FROM THE SEDIMENT BAG AND REVERSE FLUSH THE BAG WITH MEDIUM SPRAY FOR OPTIMAL FILTRATION.
6. REPLACE THE BAG IF TORN OR PUNCTURED TO 3/4" DIAMETER OR GREATER ON THE LOWER HALF OF THE BAG.
7. WHEN THE CONTRIBUTING DRAINAGE AREA WITHIN 50' UPSTREAM OF THE INLET HAS BEEN STABILIZED, REMOVE INSERT (BASKET) AND PROPERLY DISPOSE OF SEDIMENT DEPOSITS.

INSERTS/BASKETS ARE THE ONLY APPROVED METHOD OF PAVEMENT INLET PROTECTION. OTHER MEASURES TO BE USED ONLY WITH PRIOR APPROVAL OF CITY ENGINEER.



APPROVED/REVISED BY THE BOARD OF PUBLIC WORKS & SAFETY			CITY OF MISHAWAKA, INDIANA	
ITEM	REVISION	APPROVED DATE	ENGINEERING STANDARDS	SHT. NO.
	ADOPTED: NEW (REPLACED PREVIOUS DETAIL)	JUNE 2012	INLET PROTECTION	1-6
			INSERT (BASKET)	

2	PER CITY OF MISHAWAKA REVIEW COMMENTS	SAL	02/15/2022
1	PER CITY OF MISHAWAKA REVIEW COMMENTS	PWW	01/27/2022