

**1** Foundation and Roof Framing Plan  
SCALE: 1/4" = 1'-0"

- NOTES**
- DO NOT SCALE DWGS. SEE ARCH DWGS FOR ALL DIMENSIONS NOT INDICATED ON STRUCTURAL DWGS.
  - ELEV IN FIG/PIER TAGS AND NOTED (-X'-X") ARE REFERENCED FROM FF DATUM ELEV. SEE GSN.
  - B.O. PERIMETER FTGS SHALL BE AT LEAST 3'-0" BELOW LOWEST ADJACENT FINISHED GRADE/T.O. PAVEMENT.
  - SUB-BASE MATERIAL, THICKNESS & PREPARATION SHALL BE IN ACCORDANCE W/ THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. SOIL BENEATH SLAB & FTGS SHALL BE INSPECTED AND APPROVED BY THE GEOTECHNICAL CONSULTANT PRIOR TO PLACING THE CONC. UNLESS RECOMMENDED OTHERWISE BY THE GEOTECHNICAL ENGINEER, THE SUBBASE BENEATH THE SLAB SHALL BE 6" THICK WELL GRADED CRUSHER RUN MATERIAL COMPACTED TO 95% OF ITS MODIFIED PROCTOR DENSITY.
  - SECTIONS INDICATED ON PLAN ARE TYPICAL FOR SIMILAR CONDITIONS.
  - TOS ELEV NOTED (+X'-X") ARE REFERENCED FROM FF DATUM ELEV. SEE GSN.

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A Issued for Permit	1/7/2022
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1 Addendum #1	03/22/22
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**Brent T. Powell, PE**  
PROJECT LEAD DATE \_\_\_\_\_

**Michael Verrastr**  
PROJECT DESIGNER DATE \_\_\_\_\_

**Xinye Su**  
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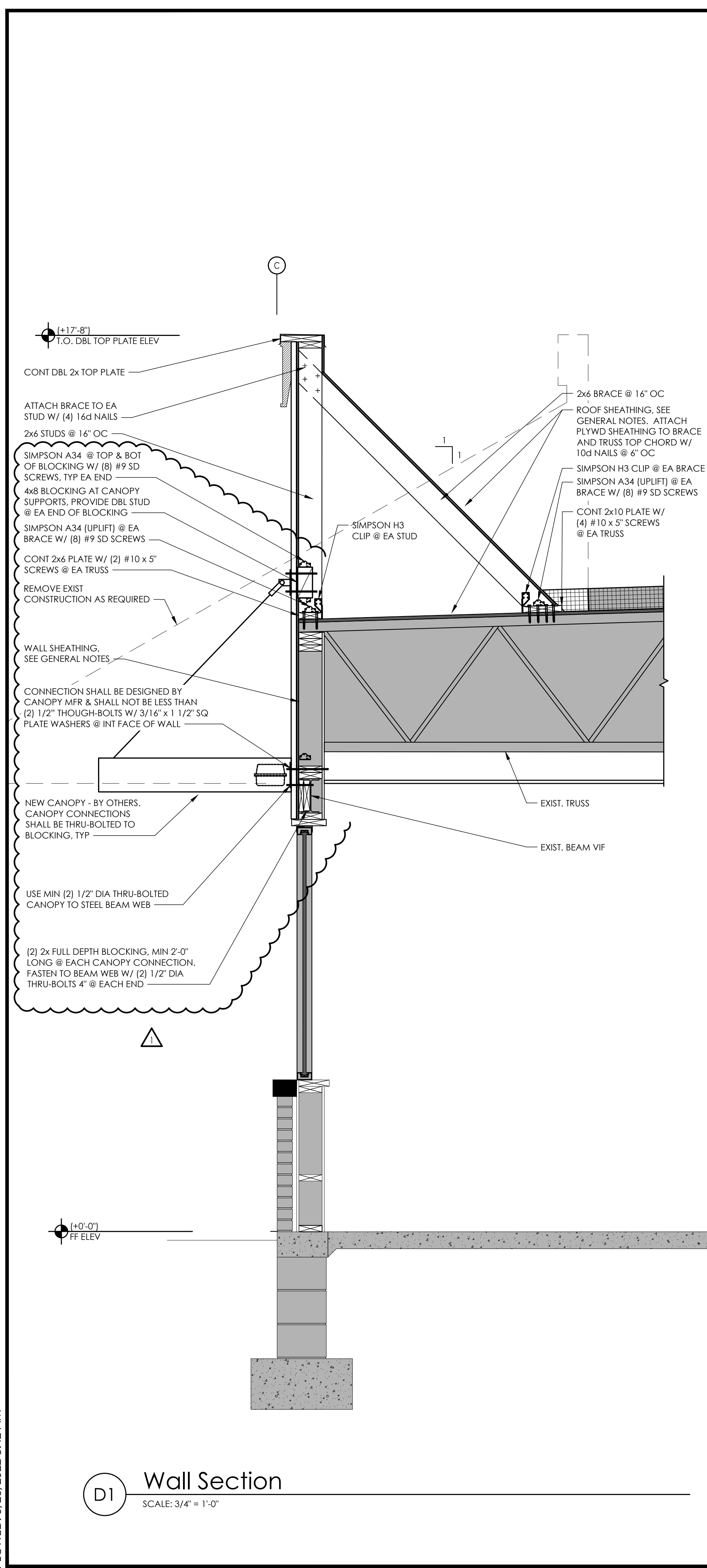


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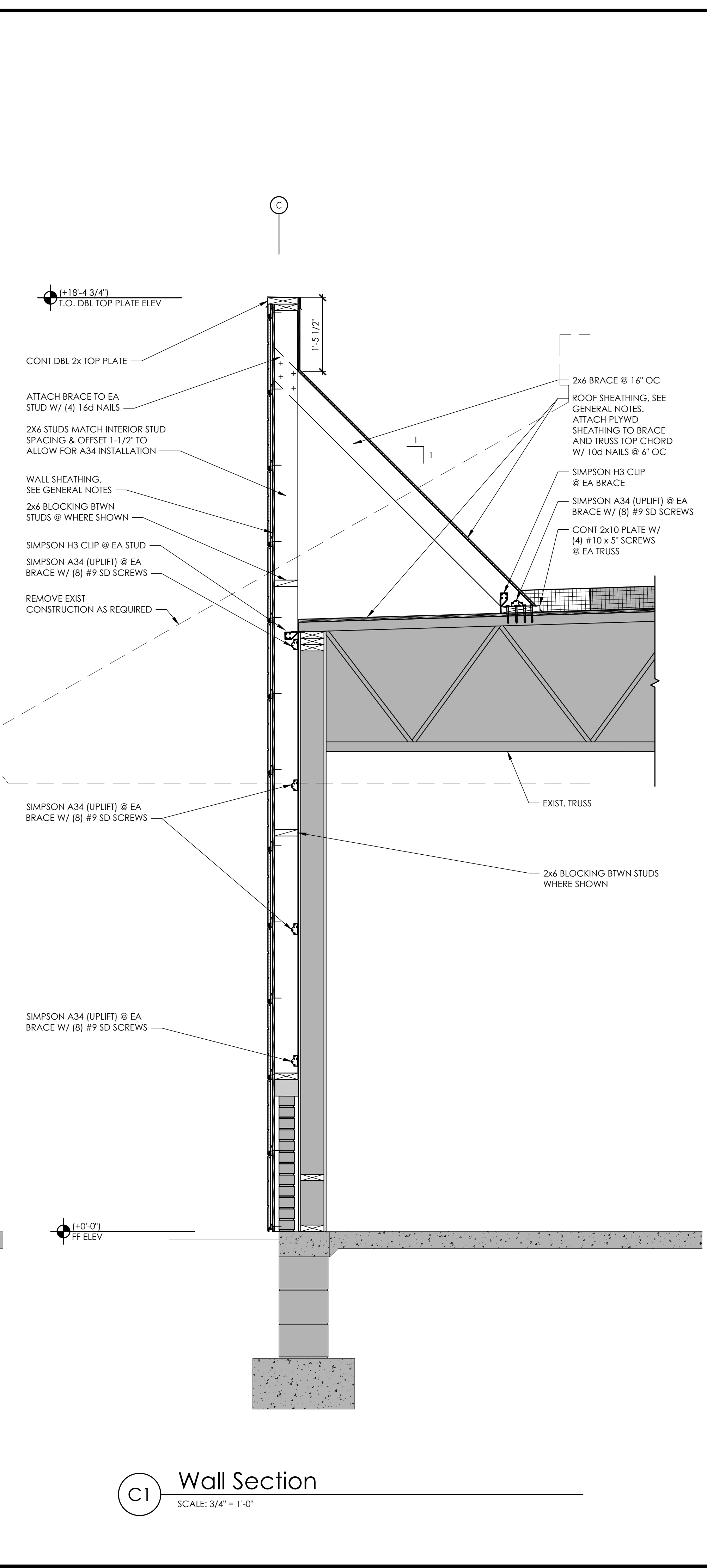
Roof Framing & Foundation Plan		Drawing Name:	
Date: 9/30/2021	Project No. 21-0361	Type: BK-50	S-101
Drawn By: XS		Scale: 1/4"=1'-0"	Drawing No.



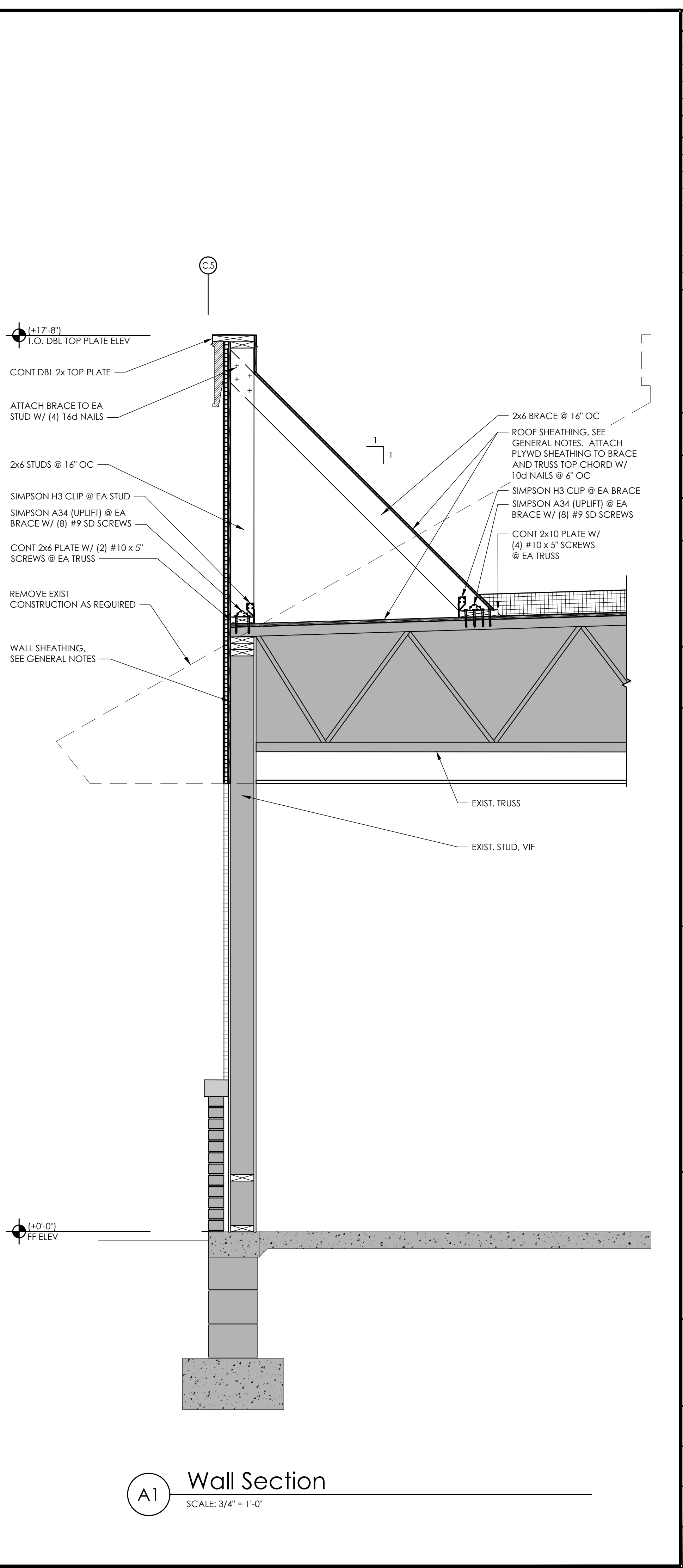
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**D1** Wall Section  
SCALE: 3/4" = 1'-0"



**C1** Wall Section  
SCALE: 3/4" = 1'-0"



**A1** Wall Section  
SCALE: 3/4" = 1'-0"

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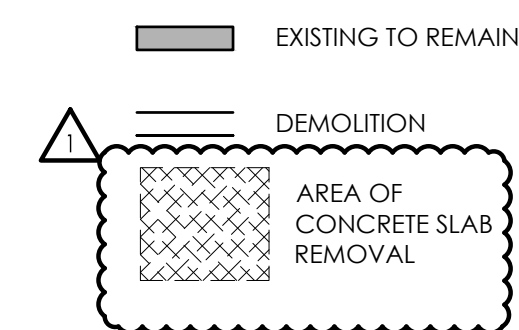
<b>Wall Sections</b>	
Drawing Name:	
Date: 9/30/2021	Project No. 21-0361
Type: BK-50	
Drawn By: XS	S-304
Scale: As Noted	Drawing No.



DEMOLITION PLAN GENERAL NOTES

- 1) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH ALL DETAILS INVOLVED IN THE CONTRACT. SPECIFIC INSTRUCTIONS ON EACH ITEM WILL NOT BE GIVEN.
- 2) COORDINATE FULL EXTENT OF DEMOLITION WORK WITH MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION WORK AND NEW WORK INDICATED IN THIS DRAWING SET.
- 3) DEMOLITION SHALL BE PHASED SO AS TO LEAVE SYSTEMS INTACT AND TO AVOID DISRUPTION DURING PERIODS WHEN THE RESTAURANT IS IN OPERATION. THE CONTRACTOR SHALL COORDINATE THE DEMOLITION WORK WITH THE OVERALL PROJECT PHASING. ALL INTERRUPTION IN SERVICES AS A RESULT OF DEMOLITION SHOULD BE COORDINATED WITH THE CONSTRUCTION MANAGER/OWNER'S REPRESENTATIVE PRIOR TO WORK BEING PERFORMED.
- 4) STORAGE OF CONTRACTORS' EQUIPMENT AND DEBRIS MUST BE KEPT WITHIN THE CONSTRUCTION AREA AND PROPERTY LINES. DISPOSE OF ALL DEMOLITION MATERIAL OFF-SITE IN A LEGAL DISPOSAL AREA.
- 5) PROVIDE WARNING AND BARRIER FENCING TO PROTECT OCCUPANTS AND VISITORS FROM HARM AS REQUIRED BY WORK IN PROGRESS. JOB SITE SAFETY IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- 6) MAINTAIN ALL REQUIRED EMERGENCY EXITS THROUGHOUT DEMOLITION AND CONSTRUCTION. COORDINATE WITH THE OWNER AND THE LOCAL FIRE MARSHAL FOR OTHER SPECIFIC REQUIREMENTS.
- 7) IN AREAS OF DEMOLITION THAT AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING PROVIDE TEMPORARY SHORING AND BRACING TO PROTECT STRUCTURE UNTIL NEW STRUCTURAL SUPPORT IS INSTALLED. DESIGN OF THE TEMPORARY SHORING SHALL BE BY THE CONTRACTOR INCLUDING PROFESSION ENGINEERING SERVICES IF REQUIRED. THE ARCHITECT SHALL NOT REVIEW TEMPORARY SHORING DRAWINGS OR SUBMITTALS.
- 8) SHADED WALLS INDICATE EXISTING WALLS TO REMAIN.
- 9) ITEMS INDICATED TO BE SALVAGED SHALL BE CAREFULLY REMOVED, SECURELY STORED, AND REUSED IN NEW CONSTRUCTION. SALVAGED ITEMS SHALL BE CLEANED OF DIRT, DUST, AND GREASE. THE ITEM/EQUIPMENT SHALL BE EVALUATED TO ENSURE IT IS FUNCTIONING PROPERLY FOR ITS INTENDED USE. REVIEW ITEMS/EQUIPMENT REQUIRING REPAIR OR REPLACEMENT WITH THE OWNER PRIOR TO INSTALLATION.

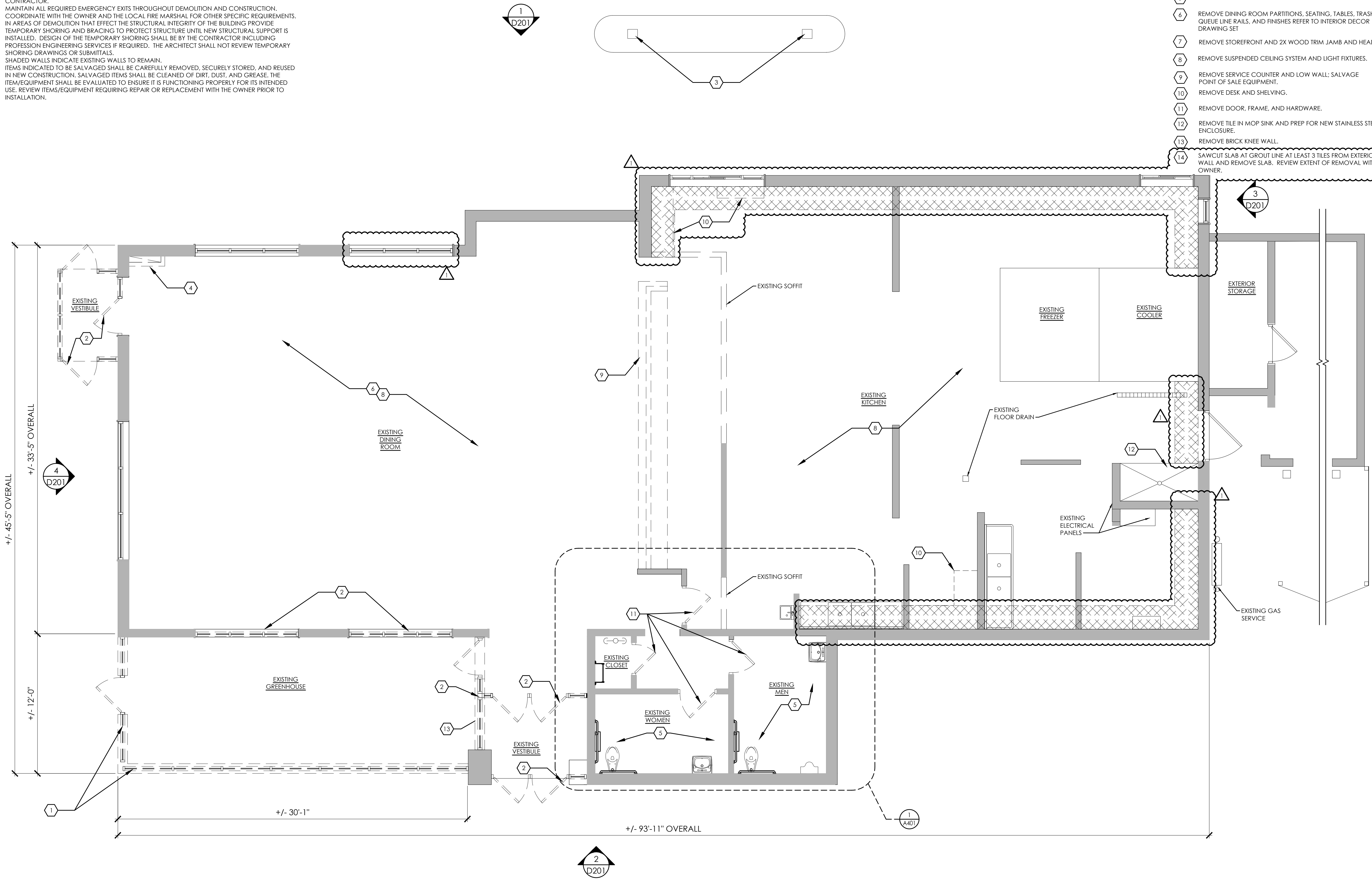
LEGEND



DEMOLITION KEYNOTES

- 1 REMOVE GREENHOUSE INCLUDING FOUNDATION AND SUBGRADE TO A MINIMUM OF 2-FEET BELOW GRADE. REFER TO CIVIL FOR NEW WORK.
- 2 REMOVE STOREFRONT.
- 3 REMOVE DRIVE-THRU CANOPY AND COLUMNS.
- 4 REMOVE RETURN AIR DUCT AND BUMP-OUT.
- 5 SEE A401 FOR ENLARGED RESTROOM PLANS.
- 6 REMOVE DINING ROOM PARTITIONS, SEATING, TABLES, TRASH BINS, QUEUE LINE RAILS, AND FINISHES REFER TO INTERIOR DECOR DRAWING SET
- 7 REMOVE STOREFRONT AND 2X WOOD TRIM JAMB AND HEADER
- 8 REMOVE SUSPENDED CEILING SYSTEM AND LIGHT FIXTURES.
- 9 REMOVE SERVICE COUNTER AND LOW WALL; SALVAGE POINT OF SALE EQUIPMENT.
- 10 REMOVE DESK AND SHELVING.
- 11 REMOVE DOOR, FRAME, AND HARDWARE.
- 12 REMOVE TILE IN MOP SINK AND PREP FOR NEW STAINLESS STEEL ENCLOSURE.
- 13 REMOVE BRICK KNEE WALL.
- 14 SAWCUT SLAB AT GROUT LINE AT LEAST 3 TILES FROM EXTERIOR WALL AND REMOVE SLAB. REVIEW EXTENT OF REMOVAL WITH OWNER.

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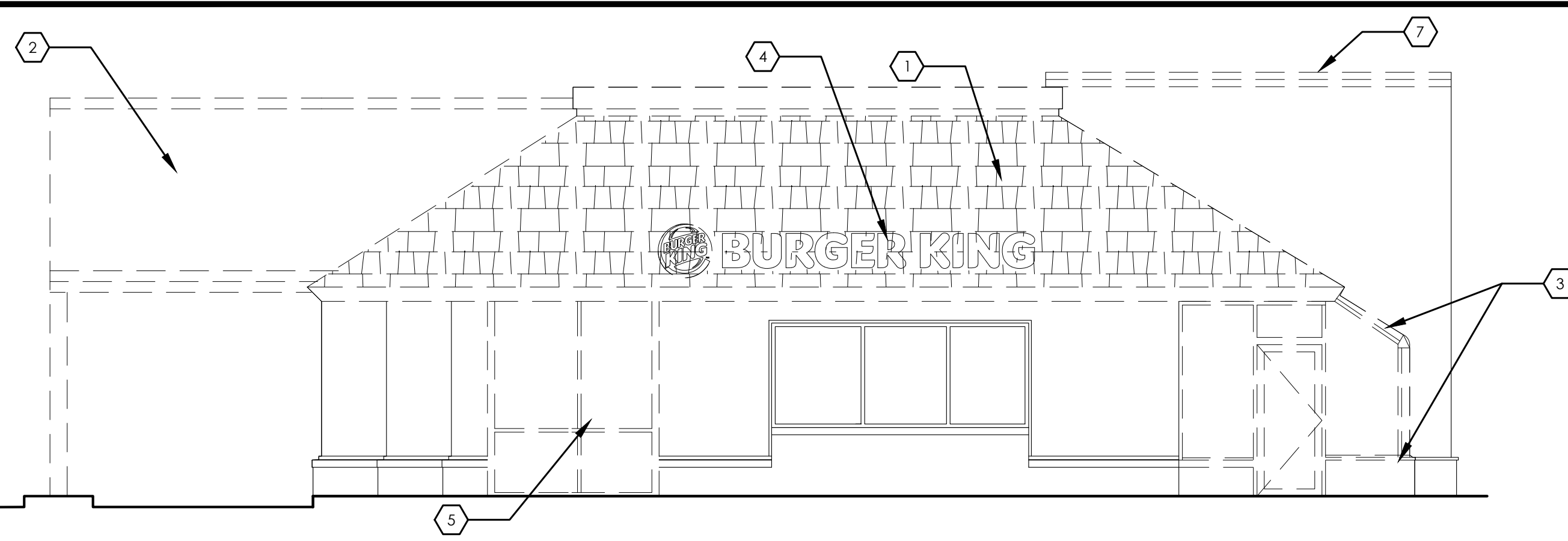
Demolition Floor Plan	
Drawing Name:	
Date: 9/30/2021	Project No. 21-0361
Type: BK-50	
Drawn By: MGV	D-101
Scale: As Noted	Drawing No.

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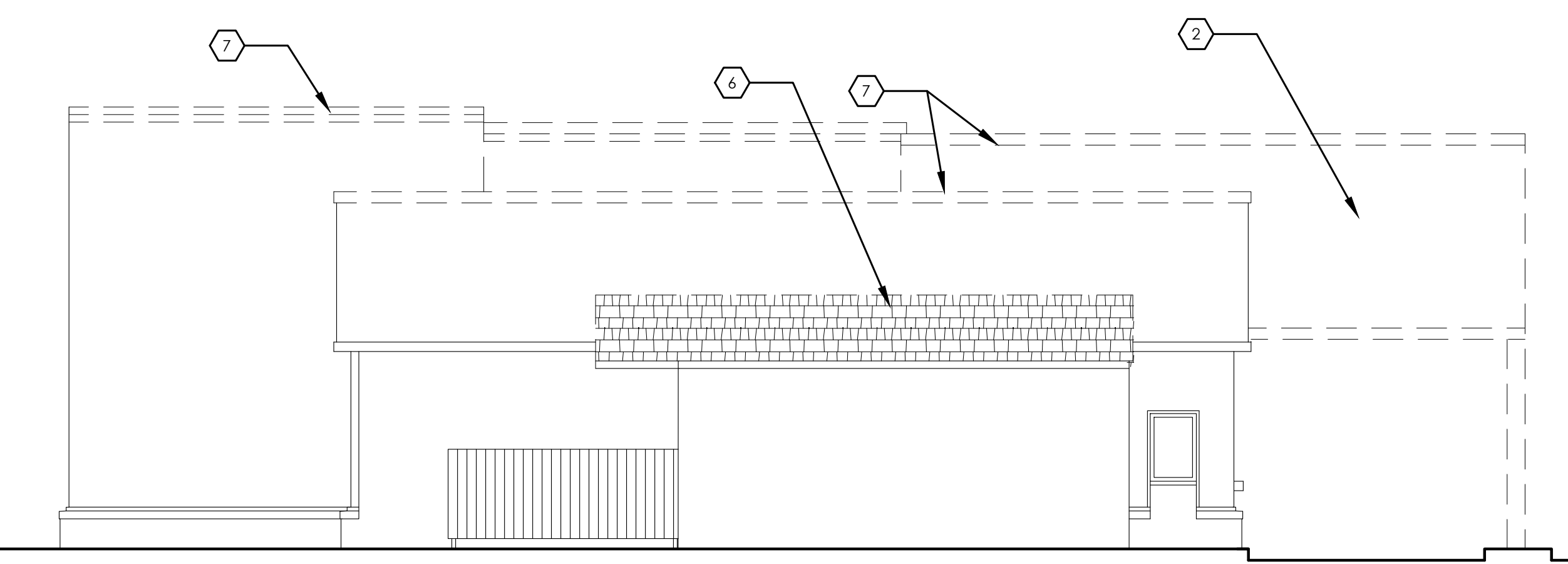
**ELEVATION DEMOLITION NOTES**

- ① REMOVE ASPHALT SHINGLE ROOF AND MANSARD ROOF FRAMING IN ITS ENTIRETY. REFER TO DEMOLITION AND NEW EXTERIOR ELEVATIONS, AND WALL SECTIONS FOR MORE INFORMATION.
- ② REMOVE DRIVE-THRU SOFFIT FRAMING AND PARAPET BACK TO EXTERIOR FACADE. REFER TO DEMOLITION AND NEW EXTERIOR ELEVATIONS, AND WALL SECTIONS FOR MORE INFORMATION.
- ③ REMOVE STOREFRONT GREENHOUSE SYSTEM AND LOW BRICK WALL IN ITS ENTIRETY
- ④ REMOVE EXTERIOR BUILDING SIGNAGE.
- ⑤ REMOVE STOREFRONT VESTIBULE SYSTEM IN ITS ENTIRETY
- ⑥ REMOVE ASPHALT SINGLES AND ROOFING PAPER DOWN TO SHEATHING
- ⑦ REMOVE ALL METAL PARAPET COPING AND PREP AREA TO RECEIVE NEW LED BAND

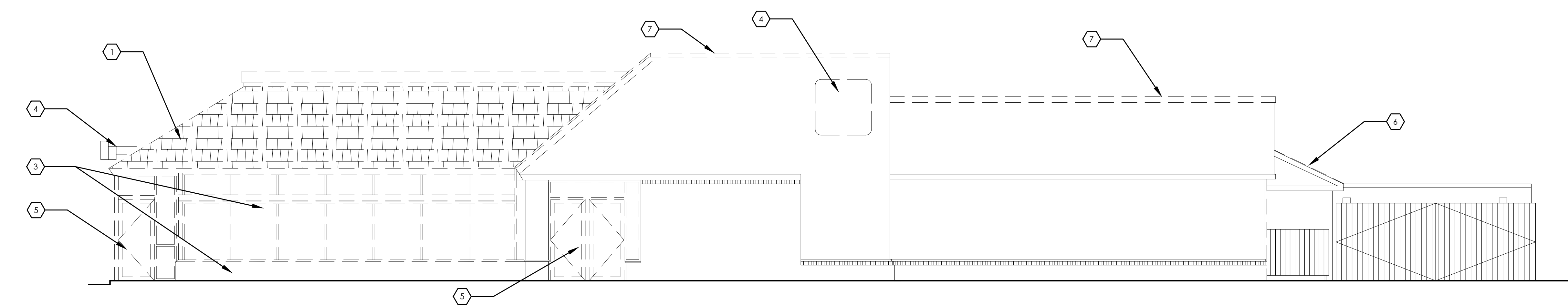
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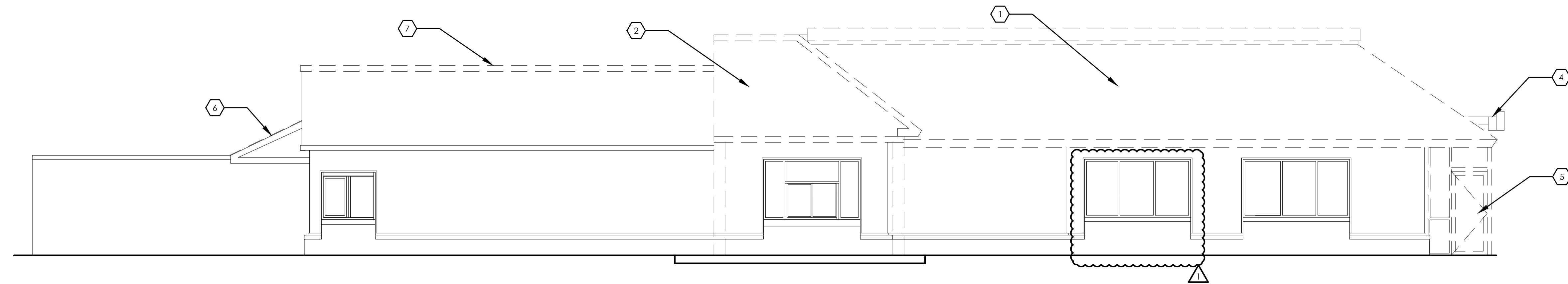
4 South Elevation - Demo  
SCALE: 3/16" = 1'-0"



3 North Elevation - Demo  
SCALE: 3/16" = 1'-0"



2 East Elevation - Demo  
SCALE: 3/16" = 1'-0"



1 West Elevation - Demo  
SCALE: 3/16" = 1'-0"

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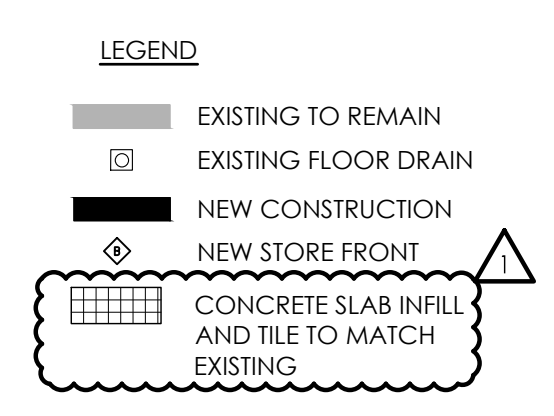
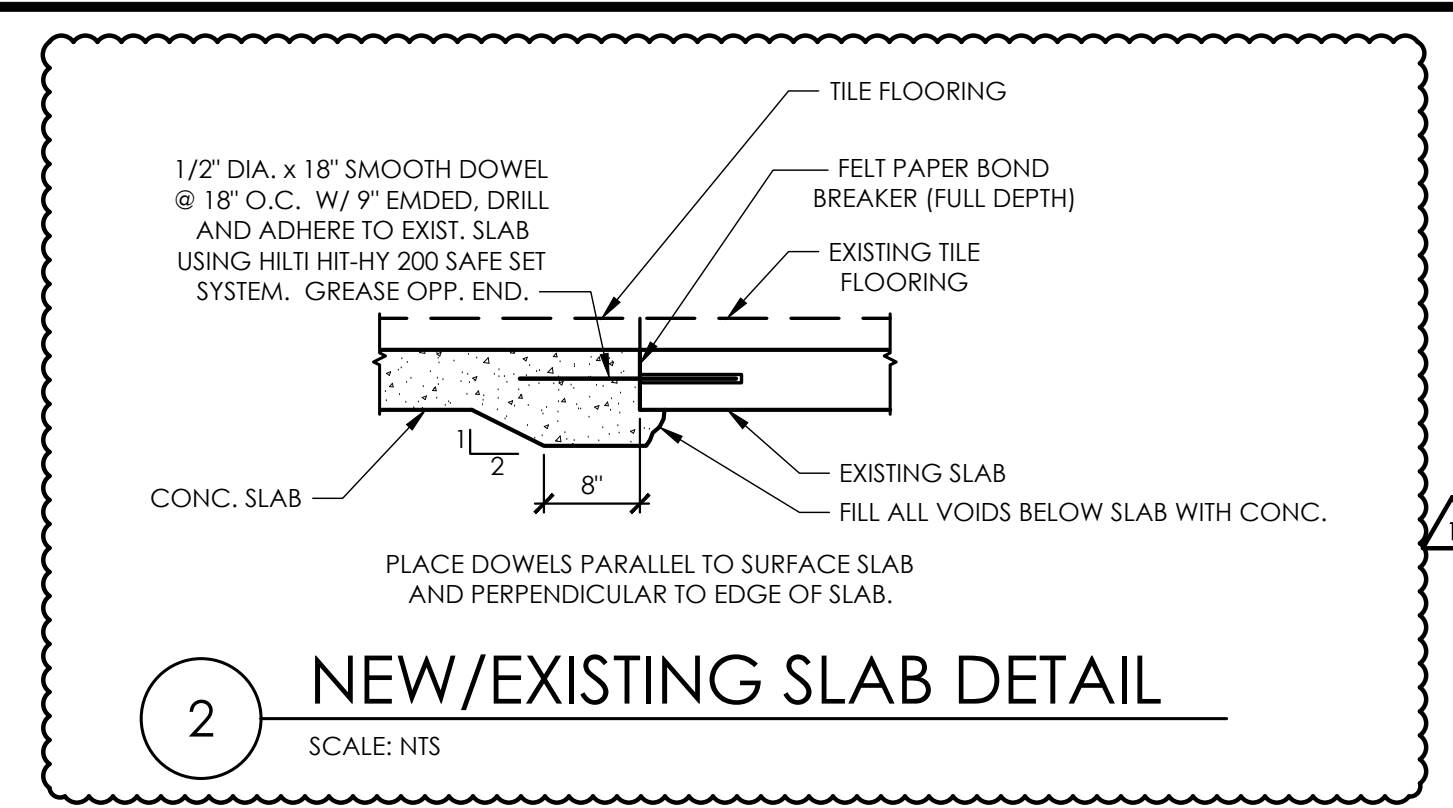
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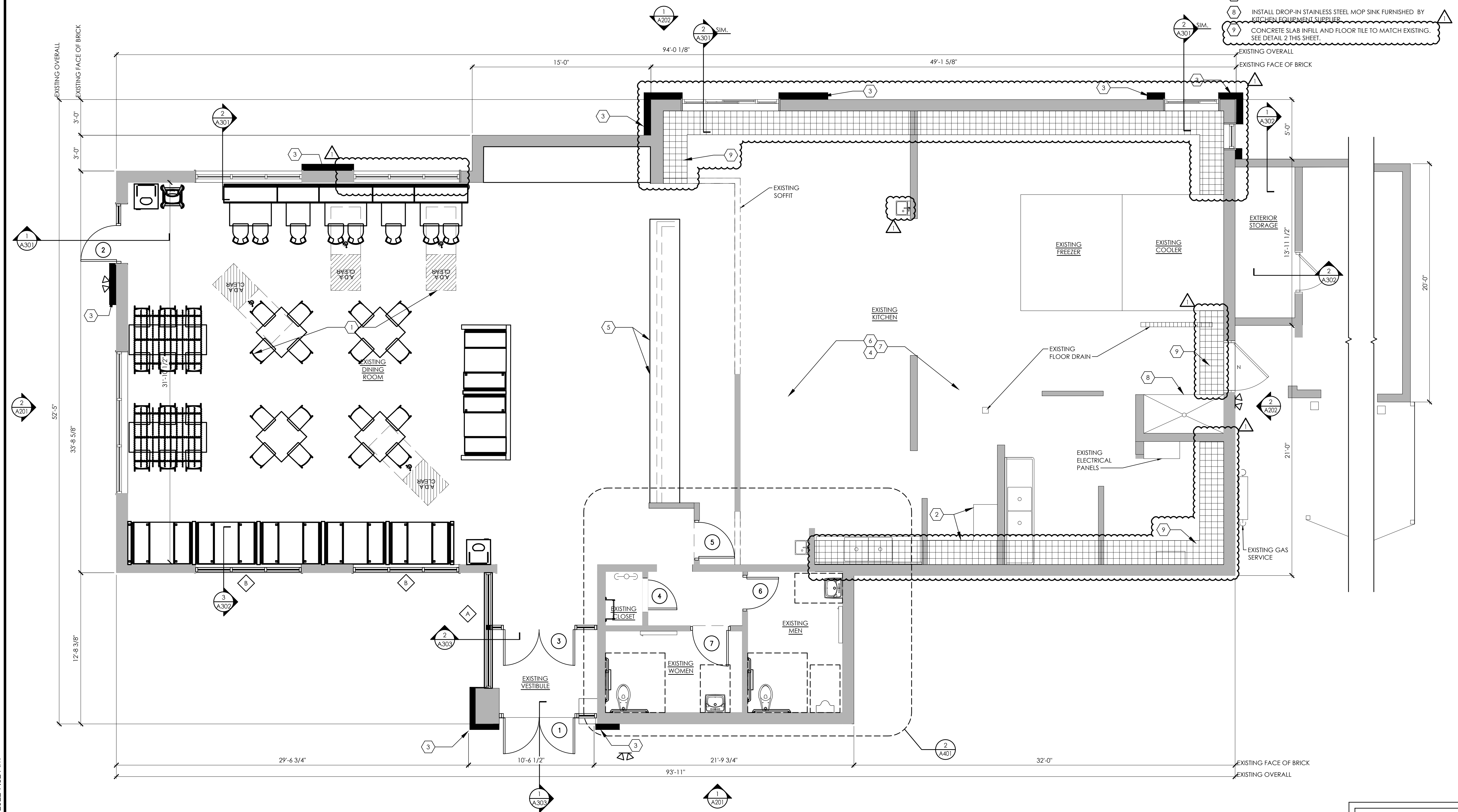
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Exterior Elevation Demolition	
Drawing Name:	
Date: 9/30/2021	Project No. 21-0361
Type: BK-50	
Drawn By: MGV	D-201
Scale: As Noted	Drawing No.





- GENERAL FLOOR PLAN NOTES**
- 1) ALL DIMENSIONS ARE TO FACE OF NEW STUD OR FACE OF EXISTING SURFACE UNLESS NOTED OTHERWISE
  - 2) FOR INTERIOR WORK, SEE INTERIOR DECOR SUBMITTAL.
  - 3) INSTALL OWNER FURNISHED DESK AND WALL MOUNTED SHELVING.
  - 4) FURR-OUT WITH NICHHA FCP SYSTEM, REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFO.
  - 5) REPLACE TILE WHERE BROKEN OR CHIPPED. REGROUT WHERE EXISTING IS MISSING. VERIFY EXTENT OF TILE AND GROUT WORK WITH OWNER.
  - 6) WOOD STUD PARTITION BELOW SERVICE COUNTER. REFER TO DECOR AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFO.
  - 7) INSTALL WHITE TEXTURED FRP OVER ALL EXISTING WALL TILE AND AT AREAS OF REMOVED FRP IN KITCHEN.
  - 8) INSTALL STAINLESS STEEL CORNER GUARDS.
  - 9) INSTALL DROP-IN STAINLESS STEEL MOP SINK FURNISHED BY KITCHEN EQUIPMENT SUPPLIER.
  - 10) CONCRETE SLAB INFILL AND FLOOR TILE TO MATCH EXISTING. SEE DETAIL 2 THIS SHEET.



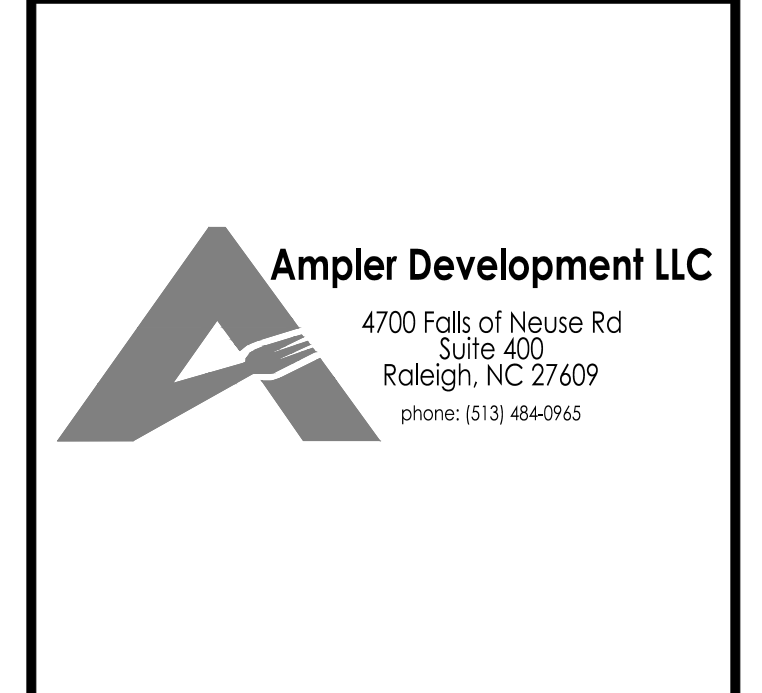
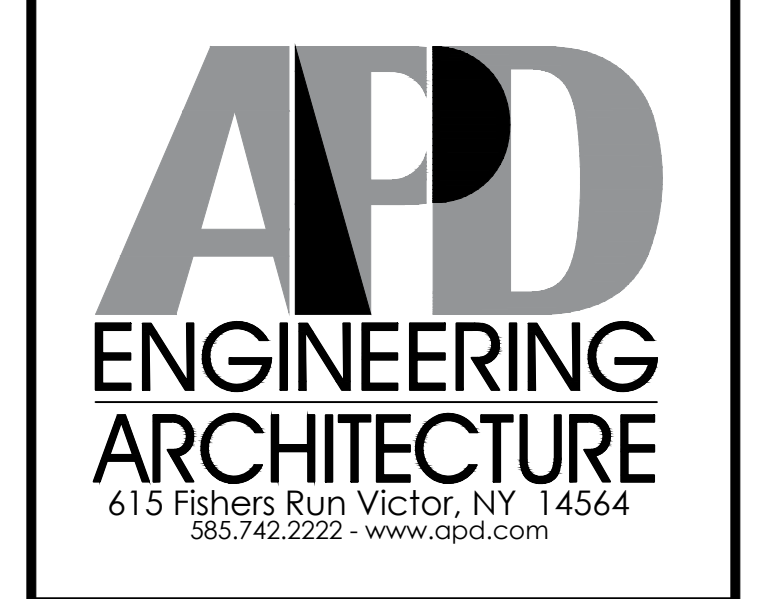
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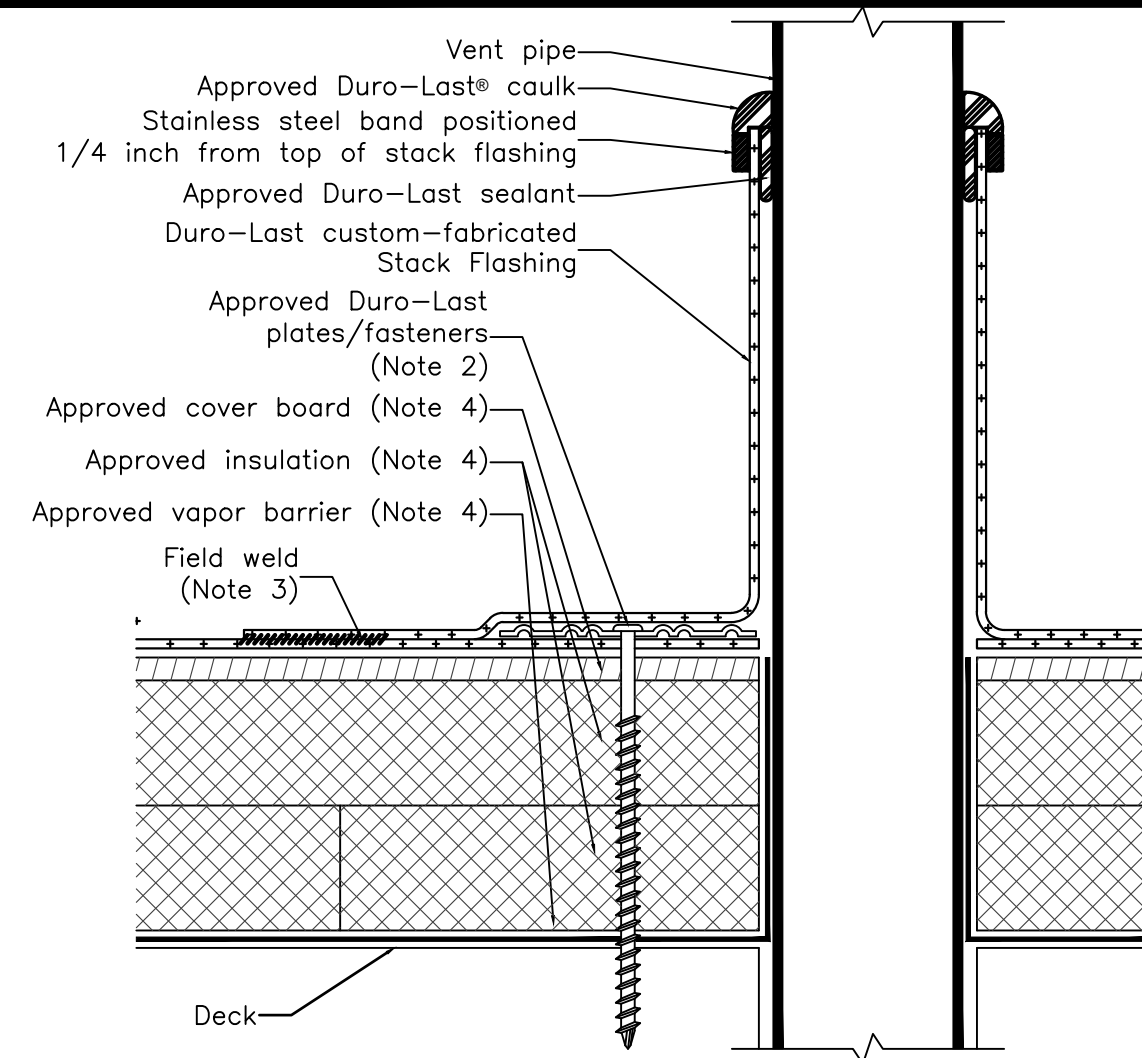
Floor Plan	
Drawing Name:	Project No.
Date: 9/30/2021	21-0361
Type: BK-50	A-101
Drawn By: MGV	Drawing No.
Scale: As Noted	

NOTE: REFER TO INTERIOR DECOR DRAWINGS FOR ALL PROPOSED INTERIOR WORK.

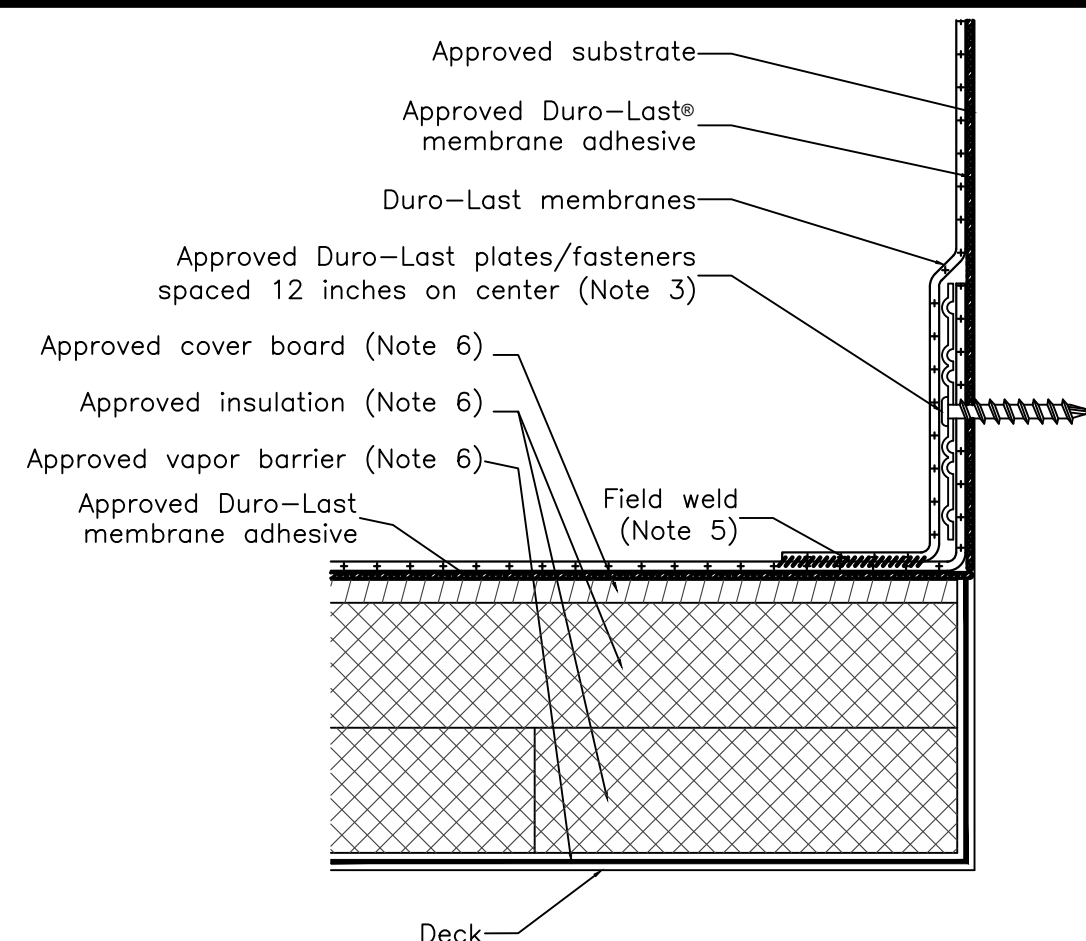
1 Floor Plan  
 SCALE: 1/4" = 1'-0"  
 NORTH

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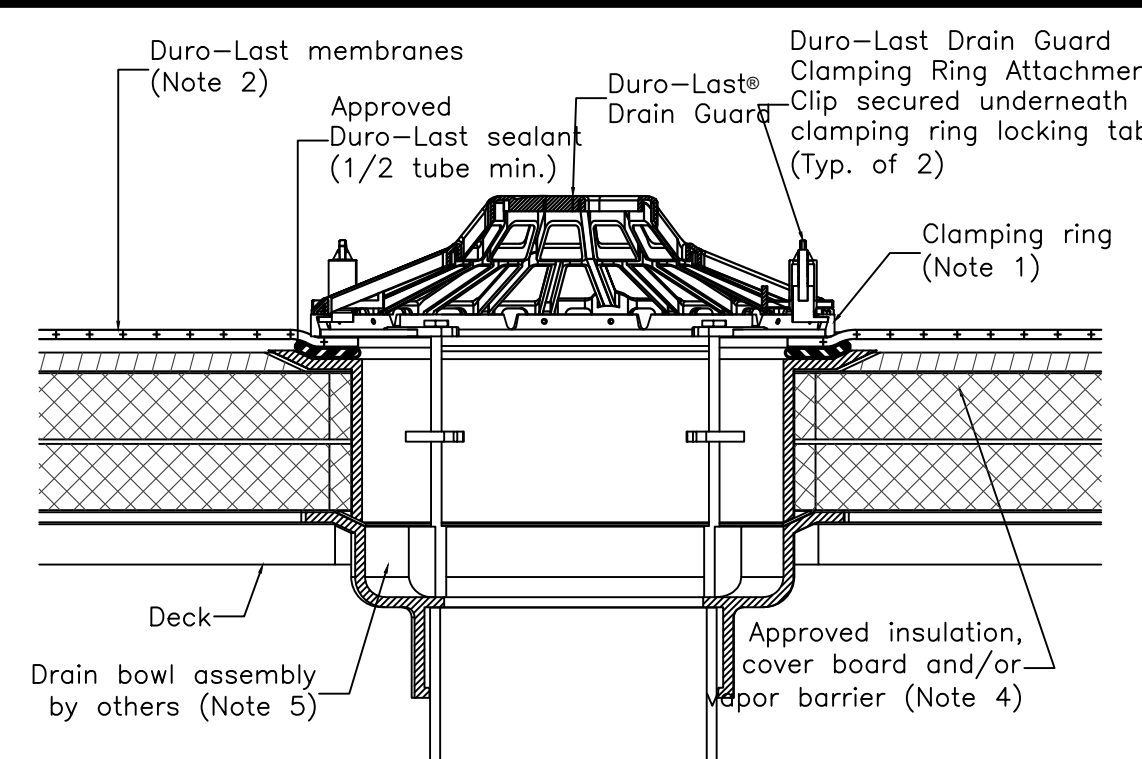




Note 1: Lead flashings must be removed prior to installing Duro-Last Stack Flashings.  
 Note 2: Deck membrane shall be fastened around the perimeter of the Duro-Last Stack Flashing as per the respective zone the Duro-Last Stack Flashing is located within (field, perimeter, corner), no less than one fastener per flashing.  
 Note 3: All field welds shall be a minimum of 1-1/2 inches wide.  
 Note 4: Refer to specifications for vapor barrier, insulation and cover board requirements.



Note 1: When deck membrane is adhered and wall membrane is mechanically fastened, refer to Detail Drawings AS6000 and AS6001.  
 Note 2: Minimum termination height is 8 inches above finished roof deck.  
 Note 3: When wall flashing exceeds 5 feet in height, horizontal rows of plates/fasteners are required at 5-foot intervals and spaced 12 inches on center along rows.  
 Note 4: Any approved membrane plate may be used. It is recommended to use 3-inch Metal Plates or Cleat Plates.  
 Note 5: All field welds shall be a minimum of 1-1/2 inches wide.  
 Note 6: Refer to specifications for vapor barrier, insulation and cover board requirements.



Note 1: Compatible clamping rings: Watts B2-FLG, Zurn 56588, Zurn 29480, Wade W-3000-I-FRG, JR Smith 3260 and JR Smith 35400.  
 Note 2: Duro-Last membrane must extend beyond the inside of the clamping ring. The hole in the membrane must be larger than the drain pipe diameter.  
 Note 3: The designer should consider insulating the drain components below the deck to prevent potential condensation.  
 Note 4: Refer to specifications for vapor barrier, insulation and cover board requirements.  
 Note 5: Installation of drain bowl assembly to be completed by project general contractor and/or plumber.

**ROOF PLAN KEYNOTES**

- 1 BUILDING MOUNTED CANOPY. SEE BUILDING SECTIONS FOR MORE INFORMATION.
- 2 LIGHT BAND PARAPET
- 3 ARCHON NICHIIHA TOWER.
- 4 BUILDING MOUNTED CANOPY @ MAIN ENTRANCE W/ "FLAME GRILLING SINCE 1954" SIGNAGE.
- 5 BUILDING MOUNTED LOGO SIGNAGE.
- 6 BUILDING MOUNTED LED "RACING STRIPE".
- 7 REFER TO MEP DRAWINGS FOR EXTENT OF NEW ROOF TOP EQUIPMENT WORK.
- 8 METAL PARAPET COPING.
- 9 EXISTING ROOF DRAIN
- 10 PVC ROOF MEMBRANE SYSTEM WITH INDUCTION WELDED SEAMS OVER DUPONT STYROFOAM DECKMATE PLUS OR APPROVED SIMILAR SYSTEM (R-30 MIN.).

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**4 Round Penetration**

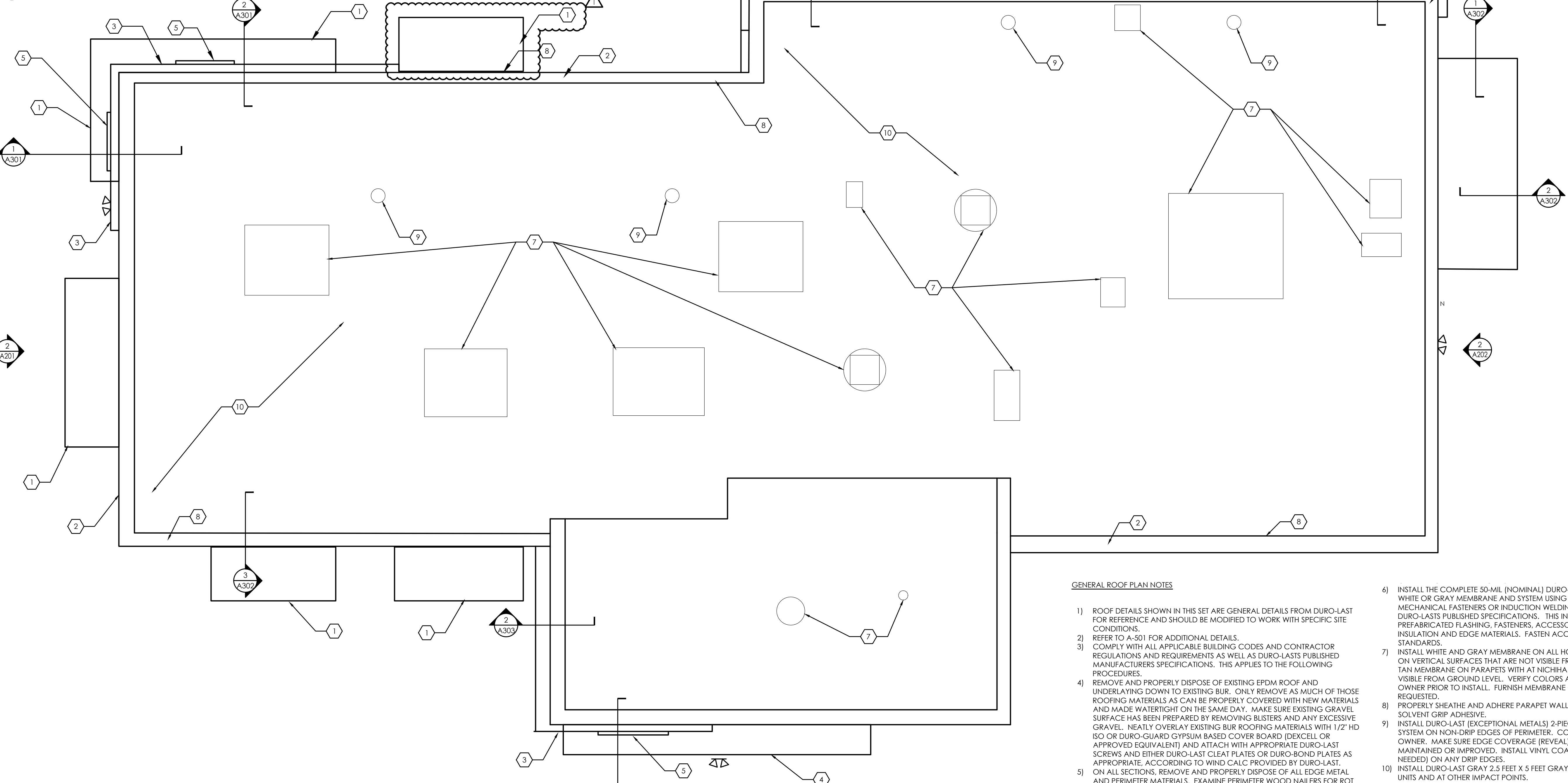
SCALE: 3" = 1'-0"

**3 Adhered Wall Flashing**

SCALE: 3" = 1'-0"

**2 Drain Guard**

SCALE: 3" = 1'-0"



**GENERAL ROOF PLAN NOTES**

- 1) ROOF DETAILS SHOWN IN THIS SET ARE GENERAL DETAILS FROM DURO-LAST FOR REFERENCE AND SHOULD BE MODIFIED TO WORK WITH SPECIFIC SITE CONDITIONS.
- 2) REFER TO A-501 FOR ADDITIONAL DETAILS.
- 3) COMPLY WITH ALL APPLICABLE BUILDING CODES AND CONTRACTOR REGULATIONS AND REQUIREMENTS AS WELL AS DURO-LASTS PUBLISHED MANUFACTURERS SPECIFICATIONS. THIS APPLIES TO THE FOLLOWING PROCEDURES.
- 4) REMOVE AND PROPERLY DISPOSE OF EXISTING EPDM ROOF AND UNDERLYING DOWN TO EXISTING BUR. ONLY REMOVE AS MUCH OF THOSE ROOFING MATERIALS AS CAN BE PROPERLY COVERED WITH NEW MATERIALS AND MADE WATERTIGHT ON THE SAME DAY. MAKE SURE EXISTING GRAVEL SURFACE HAS BEEN PREPARED BY REMOVING BLISTERS AND ANY EXCESSIVE GRAVEL. NEATLY OVERLAY EXISTING BUR ROOFING MATERIALS WITH 1/2" HD ISO OR DURO-GUARD GYPSUM BASED COVER BOARD (DEXCELL OR APPROVED EQUIVALENT) AND ATTACH WITH APPROPRIATE DURO-LAST SCREWS AND EITHER DURO-LAST CLEAT PLATES OR DURO-BOND PLATES AS APPROPRIATE, ACCORDING TO WIND CALC PROVIDED BY DURO-LAST.
- 5) ON ALL SECTIONS, REMOVE AND PROPERLY DISPOSE OF ALL EDGE METAL AND PERIMETER MATERIALS. EXAMINE PERIMETER WOOD NAILERS FOR ROT OR DAMAGE AND REPLACE AS NEEDED. PROVIDE UNIT PRICE FOR THE SAME.
- 6) INSTALL THE COMPLETE 50-MIL (NOMINAL) DURO-LAST STANDARD OR DLX WHITE OR GRAY MEMBRANE AND SYSTEM USING STANDARD DURO-LAST MECHANICAL FASTENERS OR INDUCTION WELDINGS ACCORDING TO DURO-LASTS PUBLISHED SPECIFICATIONS. THIS INCLUDES ROOF MEMBRANE, PREFABRICATED FLASHING, FASTENERS, ACCESSORIES, COVERBOARD, INSULATION AND EDGE MATERIALS. FASTEN ACCORDING TO ASCE-7 STANDARDS.
- 7) INSTALL WHITE AND GRAY MEMBRANE ON ALL HORIZONTAL SURFACES AND ON VERTICAL SURFACES THAT ARE NOT VISIBLE FROM GROUND LEVEL. INSTALL TAN MEMBRANE ON PARAPETS WITH ARCHON TOWERS AND PARAPETS VISIBLE FROM GROUND LEVEL. VERIFY COLORS AND LOCATIONS WITH OWNER PRIOR TO INSTALL. FURNISH MEMBRANE COLOR SAMPLES IF REQUESTED.
- 8) PROPERLY SHEATH AND ADHERE PARAPET WALLS USING DURO-LAST SOLVENT GRIP ADHESIVE.
- 9) INSTALL DURO-LAST (EXCEPTIONAL METALS) 2-PIECE COMPRESSION EDGE SYSTEM ON NON-D RIP EDGES OF PERIMETER. COLOR TO BE APPROVED BY OWNER. MAKE SURE EDGE COVERAGE (REVEAL) AND AESTHETICS ARE MAINTAINED OR IMPROVED. INSTALL VINYL COATED METAL DRIP EDGE (IF NEEDED) ON ANY DRIP EDGES.
- 10) INSTALL DURO-LAST GRAY 2.5 FEET X 5 FEET GRAY WALK PADS AT SERVICED UNITS AND AT OTHER IMPACT POINTS.
- 11) PROVIDE SUPREME 15-YEAR IND. WARRANTY.
- 12) PROVIDE FOR A SAFE, NON-DISRUPTIVE JOB SITE ENSURING APPROPRIATE ACCESS AND DISPOSAL LANES. KEEP WORK ENVIRONMENT CLEAN AND SAFE FOR ROOF MECHANICS, BUILDING EMPLOYEES AND THE PUBLIC.

**1 Roof Plan**

SCALE: 1/4" = 1'-0"



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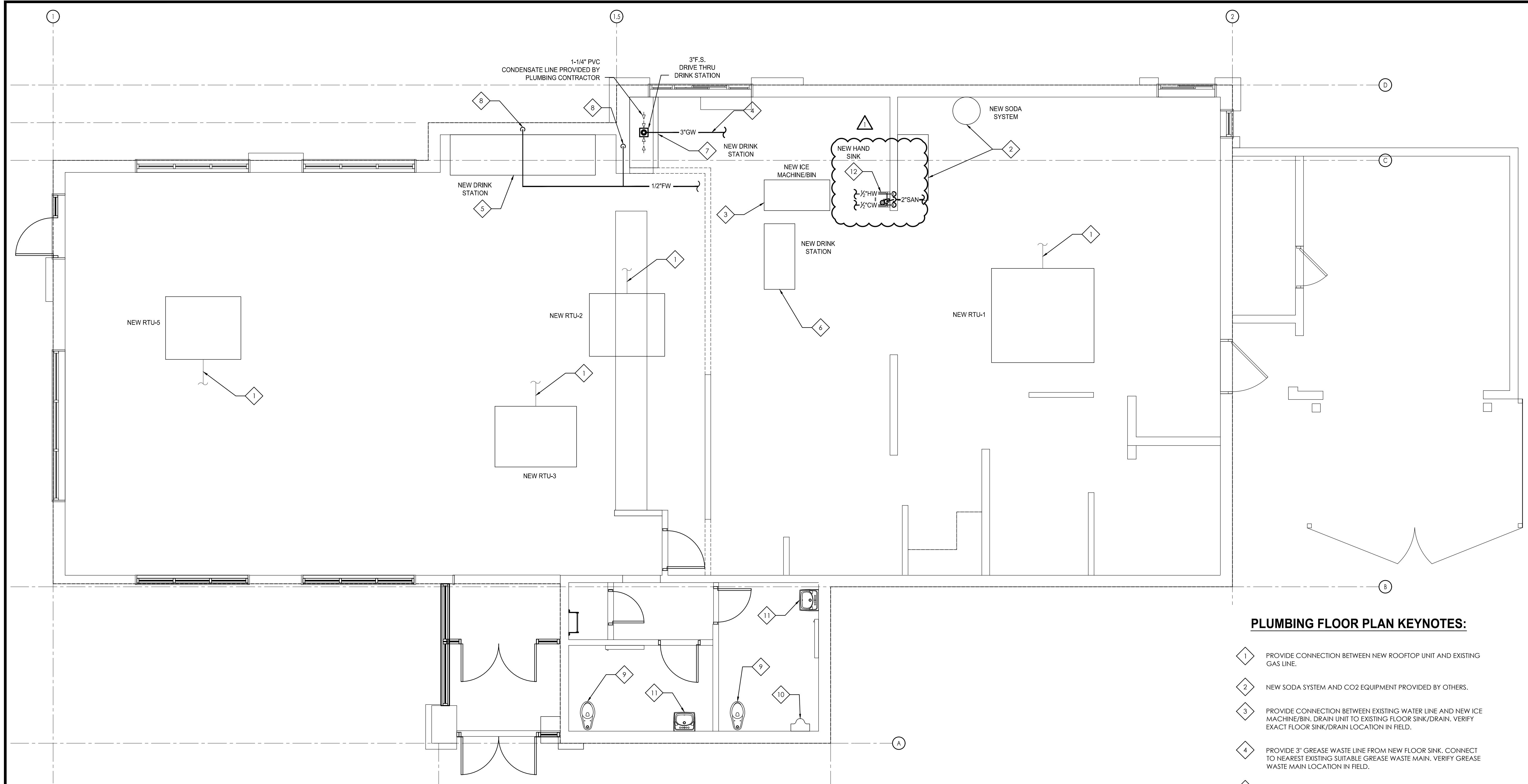
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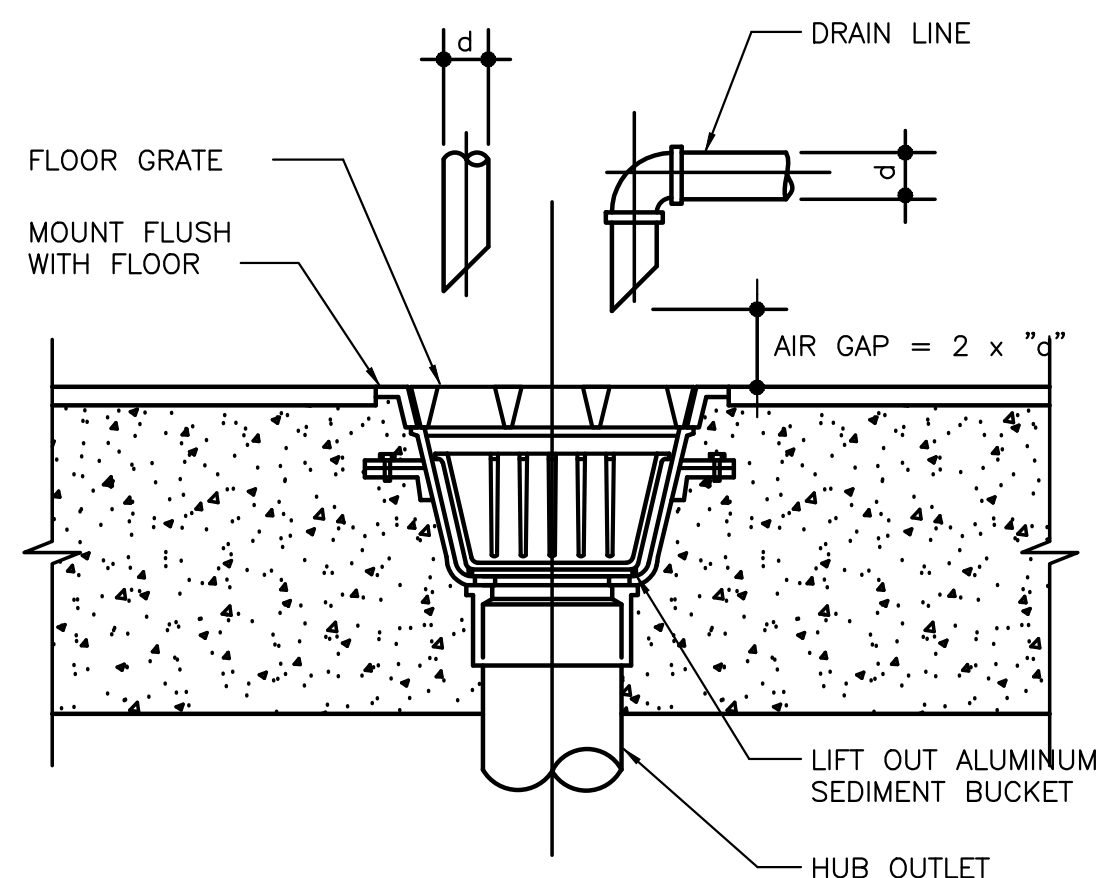
**Burger King Inc.**  
 Store # 5427  
 344 W. Trenton Ave.  
 Morrisville, PA 19067  
 Bucks County  
 Project Name & Location:

<b>Roof Plan</b>	
Drawing Name:	Project No.
Date: 9/30/2021	21-0361
Type: BK-50	A-103
Drawn By: ICP	Drawing No.
Scale: As Noted	





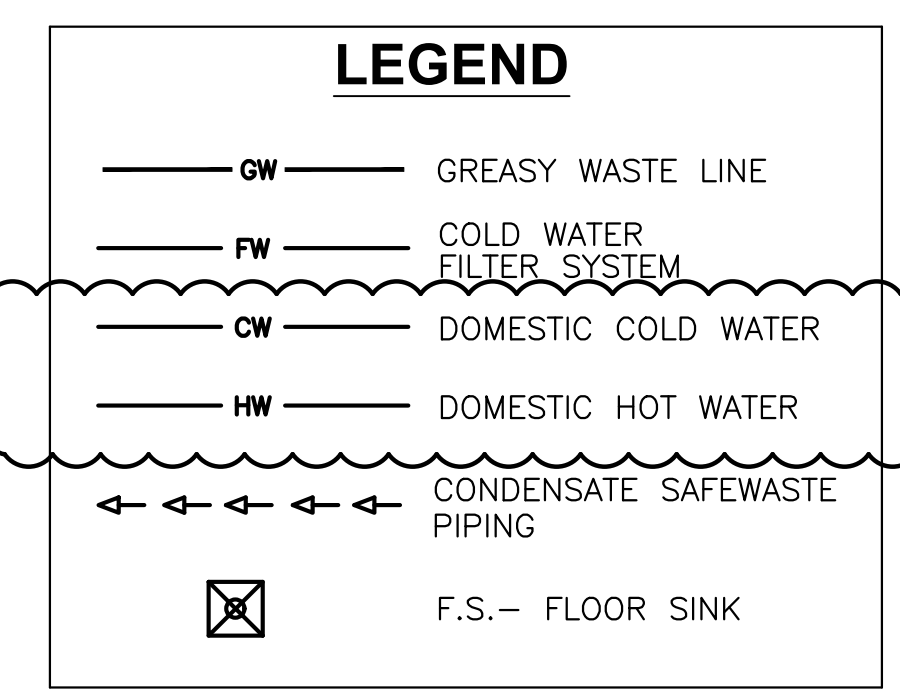
1 Plumbing Floor Plan  
SCALE: 1/4" = 1'-0"



2 Floor Sink Detail  
SCALE: NONE

PLUMBING FIXTURE SCHEDULE				
FIXTURE	MANUFACTURER	MODEL NUMBER	MODEL NAME	
WATER CLOSET	AMERICAN STANDARD	3043.001	MADERA	SEE NOTES #1-4
	ELJER	091-2175	PATRIOT	
	ZURN	Z5665.001.01		
URINAL	AMERICAN STANDARD	6590.001	WASHBROOK	SEE NOTES #1-3
	KOHLER	K-4960-ET	BARDON	
	ZURN	Z5751.196.00		
LAVATORIES	ZURN	Z5344		SEE NOTES #1-3
	KOHLER	K-2054	SOHO	
FLOOR SINK	JOSAM	49300		REFER TO BURGERKING SAFE AND WELLNESS GUIDELINES FOR PRODUCT INFORMATION.
	J.R. SMITH	3100		
	ZURN	Z4020		
HAND SINK	ADVANCE TABCO	7-PS-90		

- NOTES:
1. COMPARABLE FIXTURES BY AMERICAN STANDARD, ELJER, KOHLER AND ZURN ARE ACCPETABLE.
  2. IN SINGLE-USE RESTROOMS, ALL FIXTURES MUST BE ADA COMPLIANT.
  3. ALL RESTROOMS FIXTURES TO BE AUTOMATIC SENSORED, HANDS-FREE, TOUCHLESS, CONTACTLESS FIXTURES.
  4. TOILET SEATS TO BE CHURCH 9500SSC, KOHLER K-4671-C, OLSONITE #10C OR EQUAL.



**PLUMBING FLOOR PLAN KEYNOTES:**

- 1 PROVIDE CONNECTION BETWEEN NEW ROOFTOP UNIT AND EXISTING GAS LINE.
- 2 NEW SODA SYSTEM AND CO2 EQUIPMENT PROVIDED BY OTHERS.
- 3 PROVIDE CONNECTION BETWEEN EXISTING WATER LINE AND NEW ICE MACHINE/BIN. DRAIN UNIT TO EXISTING FLOOR SINK/DRAIN. VERIFY EXACT FLOOR SINK/DRAIN LOCATION IN FIELD.
- 4 PROVIDE 3" GREASE WASTE LINE FROM NEW FLOOR SINK. CONNECT TO NEAREST EXISTING SUITABLE GREASE WASTE MAIN. VERIFY GREASE WASTE MAIN LOCATION IN FIELD.
- 5 PROVIDE NEW DRINK STATION. PROVIDE NEW FILTERED WATER LINES TO MACHINE. DRAIN TO EXISTING FLOOR SINK/DRAIN. VERIFY EXACT FLOOR SINK/DRAIN LOCATION IN FIELD.
- 6 PROVIDE CONNECTION BETWEEN EXISTING FILTERED WATER LINE AND NEW DRINK STATION. DRAIN TO EXISTING FLOOR SINK/DRAIN. VERIFY EXACT FLOOR SINK/DRAIN LOCATION IN FIELD.
- 7 PROVIDE NEW DRINK STATION AT SERVICE WINDOW.
- 8 PROVIDE NEW 1/2" FILTERED WATER LINE. CONNECT TO NEW/EXISTING DRINK STATION. CONNECT TO EXISTING FILTERED WATER MAIN. VERIFY WATER MAIN LOCATION IN FIELD.
- 9 PROVIDE WATER CLOSET. CONNECT TO EXISTING CW AND SANITARY LINES. REFER TO SCHEDULE FOR FIXTURE DETAILS.
- 10 PROVIDE URINAL. CONNECT TO EXISTING CW AND SANITARY LINES. REFER TO SCHEDULE FOR FIXTURE DETAILS.
- 11 PROVIDE LAVATORY. CONNECT TO EXISTING CW, HW AND SANITARY LINES. REFER TO SCHEDULE FOR FIXTURE DETAILS.
- 12 PROVIDE HAND SINK. CONNECT NEW 1/2" HW/CW TO EXISTING HW/CW MAIN LINES. CONNECT NEW 2" SAN LINE TO NEAREST EXISTING SANITARY MAIN. CONNECT NEW 1/2" VENT TO NEAREST EXISTING VENT LINE. VERIFY SIZE AND ROUTING OF ALL MAIN LINES.

Issued:	Date:
A Issued for Permit	1/7/2022
B Bid Set	3/7/2022
C	
D	
E	

Revisions:	Date:
1 Addendum #1	03/22/22
2	
3	
4	
5	
6	
7	
8	
9	

Seal	Seal
PROJECT ARCHITECT/ENGINEER	DATE
PROJECT LEAD	DATE
PROJECT DESIGNER	DATE

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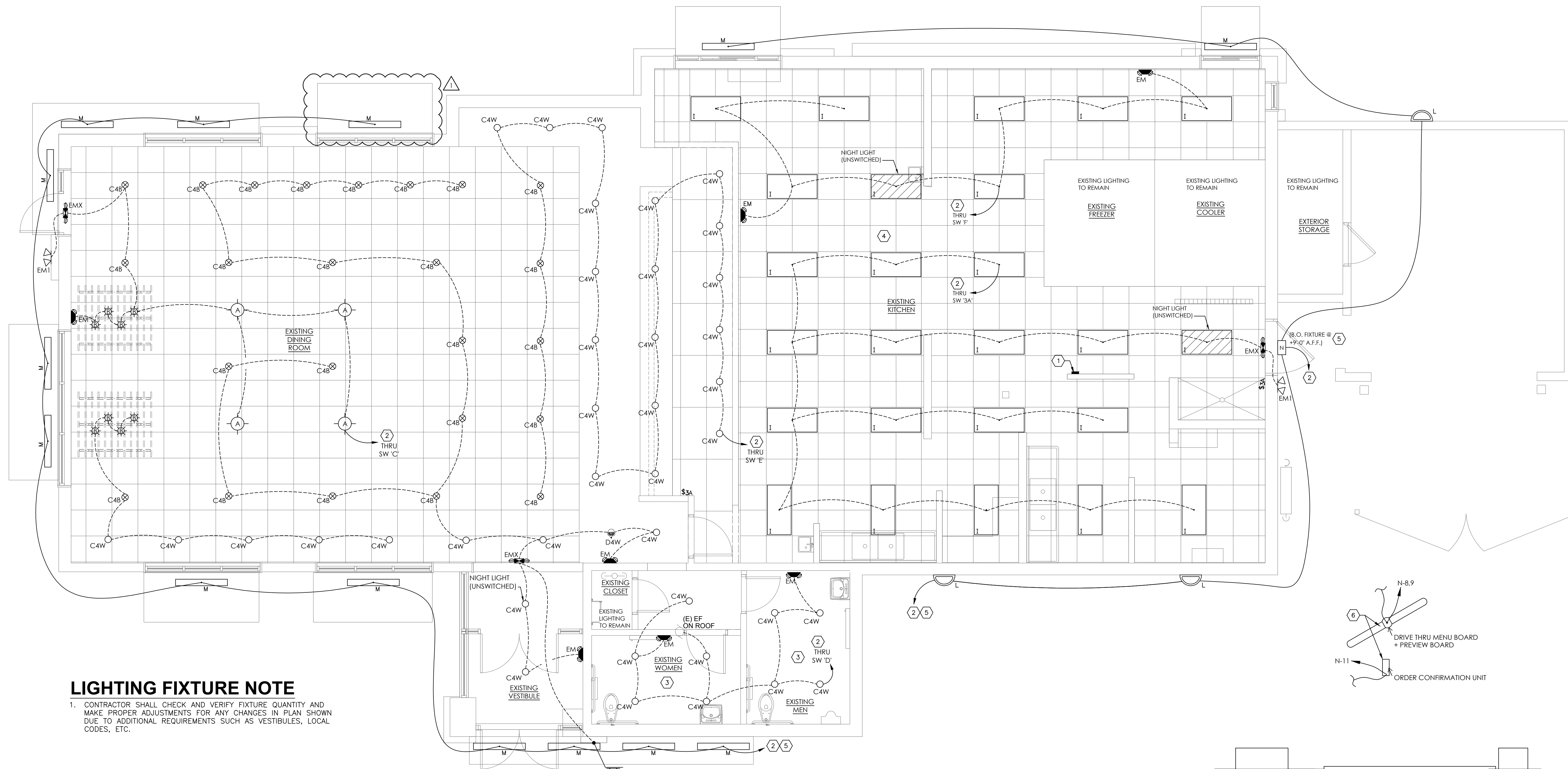
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Burger King Inc.  
Store # 5427  
344 W. Trenton Ave.  
Morrisville, PA 19067  
Bucks County  
Project Name & Location:

Plumbing Floor Plan	Project No.
Drawing Name:	21-0361
Date: 9/30/2021	
Type: BK-50	
Drawn By: NPM	P-101
Scale: As Noted	Drawing No.





**LIGHTING FIXTURE NOTE**

1. CONTRACTOR SHALL CHECK AND VERIFY FIXTURE QUANTITY AND MAKE PROPER ADJUSTMENTS FOR ANY CHANGES IN PLAN SHOWN DUE TO ADDITIONAL REQUIREMENTS SUCH AS VESTIBULES, LOCAL CODES, ETC.

**KEYED NOTES:**

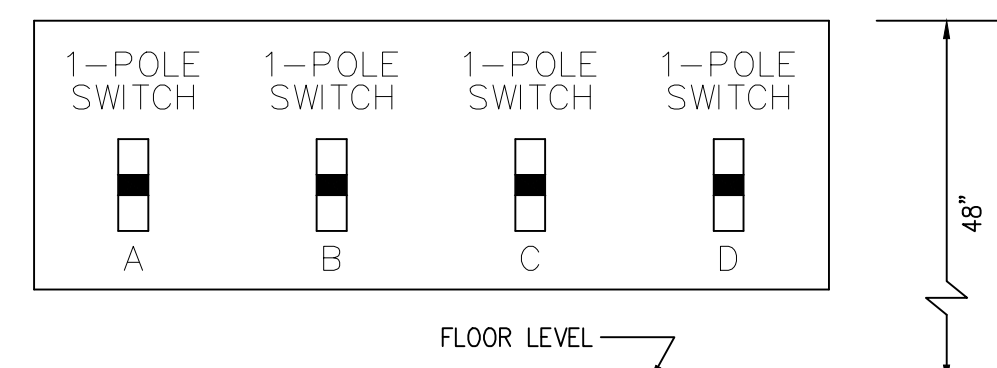
- SWITCH BANK: REFERENCE DETAIL #3, THIS SHEET. COORDINATE LOCATION WITH BURGER KING REPRESENTATIVE.
- CONNECT TO EXISTING BRANCH CIRCUITING RETAINED DURING DEMOLITION.
- PROVIDE HARDWARE FOR INSTALLATION IN GYPSUM BOARD CEILINGS.
- ALL LIGHT FIXTURES OVER FOOD SERVICE AREA TO BE PROVIDED WITH LENS.
- WIRE EXTERIOR LIGHTING THROUGH PHOTO CELL. ELECTRICAL CONTRACTOR TO PROVIDE "PARAGON" PHOTOCELL CW 201-00 MOUNTED ON ROOF FACING NORTH. MAKE ADJUSTMENTS FOR ANY AMBIENT LIGHT.

**GENERAL NOTES:**

- REFER TO SHEET E-102 FOR LIGHT FIXTURE SPECIFICATIONS
- SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION AND MOUNTING HEIGHTS OF LIGHT FIXTURES. COORDINATE FIXTURE LOCATIONS WITH DECOR DRAWINGS.
- ALL WORK AND MATERIALS SHALL BE BY THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- MC CABLE ONLY PERMITTED FOR LIGHT WHIPS. ALL OTHER TO BE E.M.T CONDUIT IN CEILING AND WALLS - RIGID CONDUIT UNDER SLAB.
- PROVIDE JUNCTION BOXES AT LIGHT FIXTURES PER MANUFACTURERS REQUIREMENTS. (TYPICAL FOR ALL LIGHTING FIXTURES)
- WHERE TRUSSES ARE EXPOSED, RUN ALL ELECTRICAL CONDUITS ABOVE THE BOTTOM CHORD OF THE TRUSS.
- USE EXISTING LIGHTING HOMERUN AND PROVIDE BRANCH CIRCUITING AS INDICATED ON THIS PLAN. PROVIDE NEW LIGHTING HOMERUN WHERE NEEDED.
- CIRCUIT EMERGENCY WALL PACKS AND NIGHT LIGHTS TO UN-SWITCH SIDE LIGHTING CIRCUIT SERVING THE AREA.
- REUSE EXISTING LIGHTING HOME RUN AND PROVIDE BRANCH CIRCUITING TO NEW LIGHT FIXTURES. PROVIDE NEW CIRCUITS WHERE NEEDED.

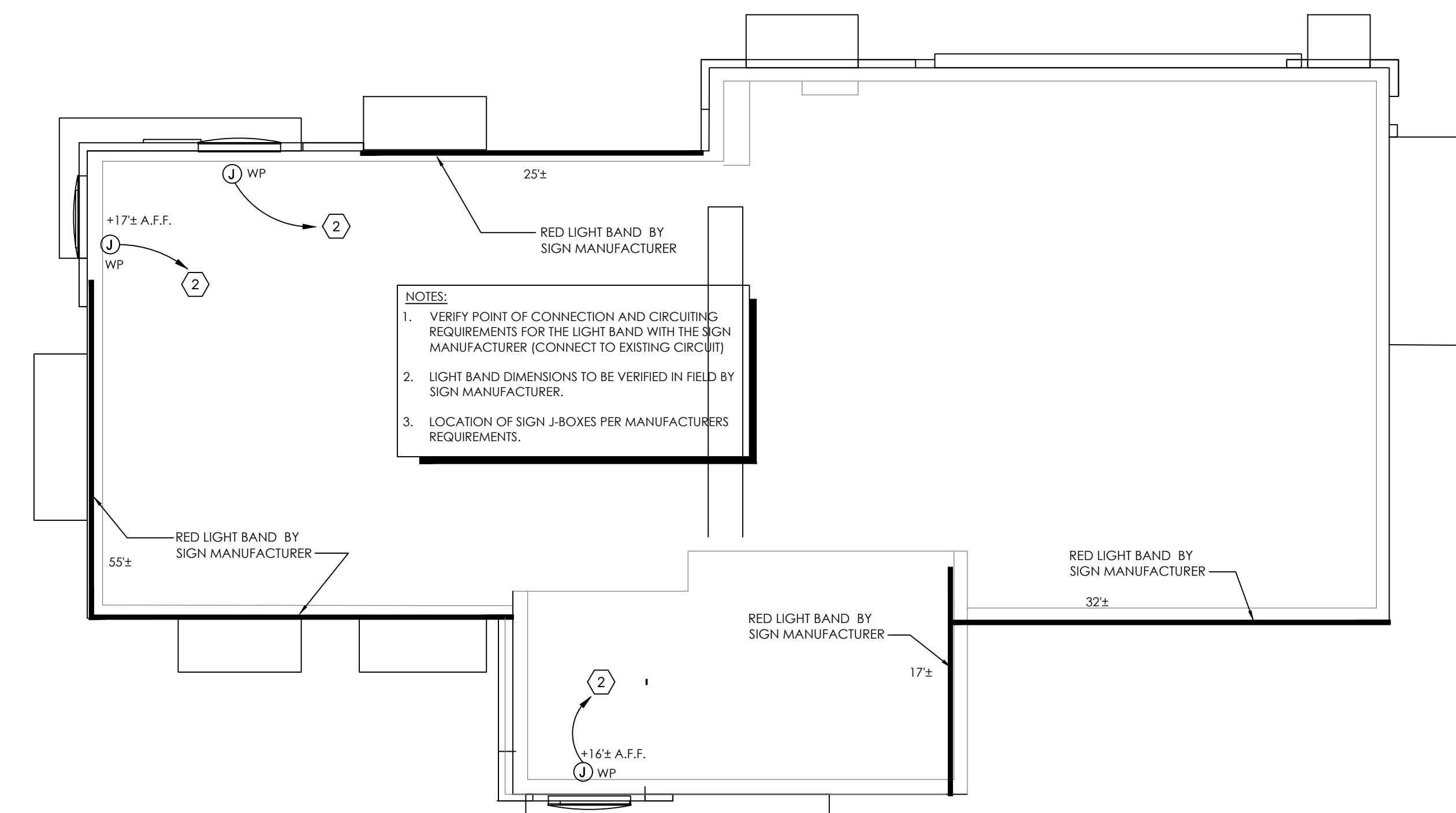
**1 Electrical Lighting Plan**  
SCALE: 1/4" = 1'-0"

SYMBOL LEGEND	
SYMBOL	DESCRIPTION
<b>SWITCHES</b>	
§	TOGGLE SWITCH - SINGLE POLE
§ <sub>3</sub>	TOGGLE SWITCH - THREE POLE



NOTE: NUMBER OF SWITCHES REQUIRED MAY VARY BASED ON LIGHTING CONFIGURATION - VERIFY REQUIREMENTS.

**3 Switch Bank Detail**  
SCALE: None



**2 Parapet Light Fixture Plan**  
SCALE: 1/8" = 1'-0"

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Seal	Seal	DATE
PROJECT ARCHITECT/ENGINEER		
PROJECT LEAD		DATE
PROJECT DESIGNER		DATE

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Lighting Plans	
Drawing Name:	Project No.
Date: 9/30/2021	21-0361
Type: BK-50	E-101
Drawn By: KHO	Drawing No.
Scale: As Noted	