

# M1 CONCOURSE BUILDING 4B UNIT 225 PRIVATE GARAGE

164 SOUTH BLVD. W.  
PONTIAC, MI 48341  
OWNER: JASON STANECKI

DOOR SCHEDULE							
DOOR NO.	DOOR TYPE	DOOR			FRAME		HWDR SET
		MAT'L	FINISH	MAT'L	FINISH		
101	A	SCUD	STAIN	HM	FRE-FIN	HWS-1	THRESHOLD
201	A	SCUD	STAIN	HM	FRE-FIN	HWS-1	THRESHOLD
202	A	SCUD	STAIN	HM	FRE-FIN	HWS-1	THRESHOLD

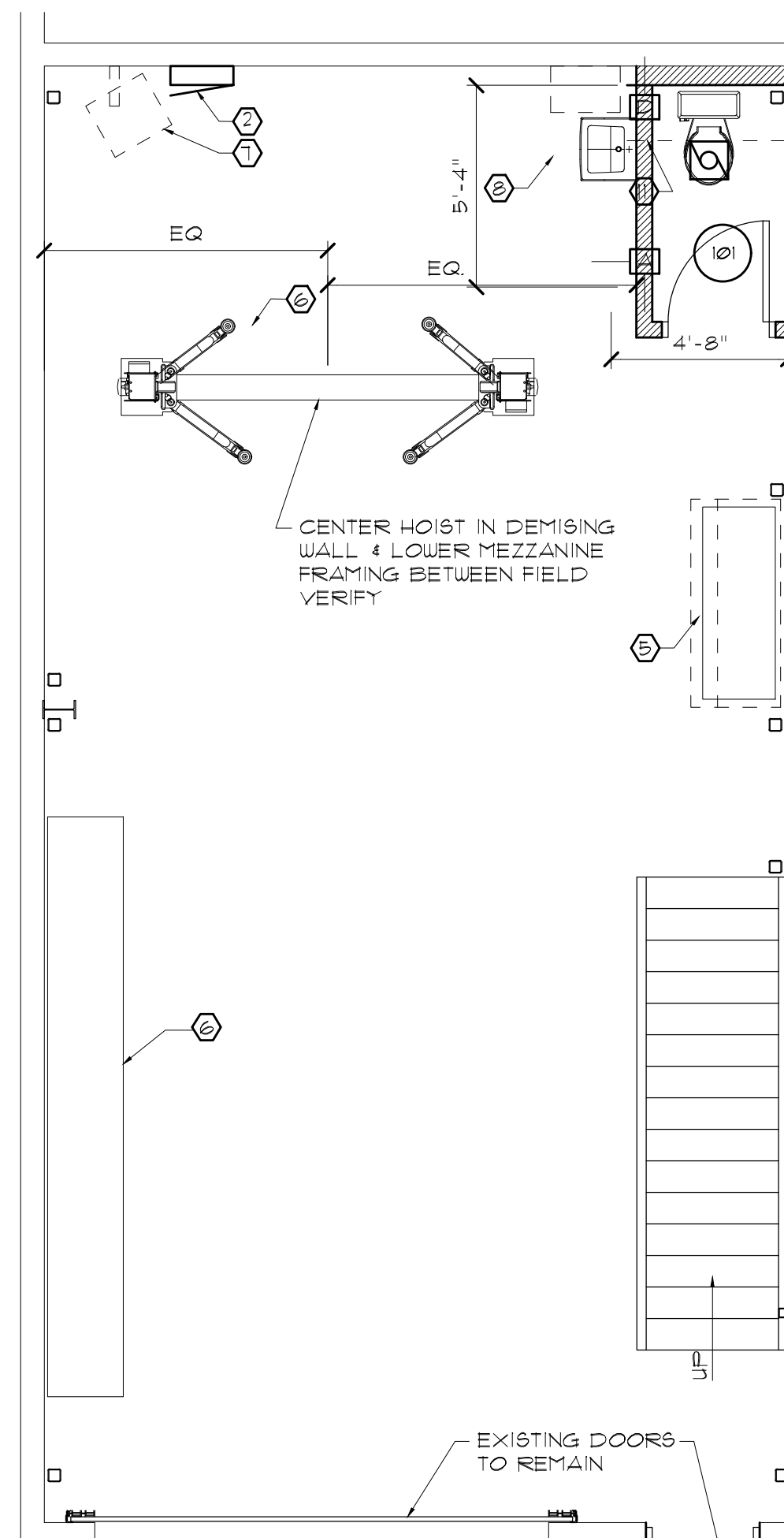
- GENERAL NOTES:**
- CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS AND NOTIFY ARCHITECT IMMEDIATELY IF THAT WHICH EXISTS DIFFERS FROM THAT WHICH IS SHOWN ON DRAWINGS.
  - ALL WORK TO COMPLY WITH CURRENT FEDERAL, STATE AND LOCAL CODES, LAWS AND ORDINANCES. THE REQUIREMENTS OF ICC(ANSI) A117.1 AND THE AMERICANS WITH DISABILITIES ACT (ADA) ARE TO BE FULLY SATISFIED. ALL WORK SHALL MEET THE MOST STRINGENT REQUIREMENTS OF BOTH INCLUDING, BUT NOT LIMITED TO CLEARANCES, LIMITATIONS, ACCESSORIES, ETC.
  - THESE DRAWINGS ARE PREPARED IN ACCORDANCE WITH THE LIMITED SERVICES FOR WHICH THE ARCHITECT WAS CONTRACTED. THE ARCHITECT MAKES NO REPRESENTATION THAT THE INTERPRETATION OF THESE DOCUMENTS WILL RESULT IN COMPLETE COMPLIANCE WITH THE ADA.
  - ALL DOORS REQUIRED TO BE LABELED SHALL BE SET IN LABELED FRAMES AND IDENTIFIED WITH UL LABEL AND BE PROVIDED WITH APPROVED SELF-CLOSING DEVICES AND POSITIVE LATCHING HARDWARE.
  - ALL DESIGNATED EXIT DOORS SHALL BE EQUIPPED WITH THE REQUIRED EGRESS HARDWARE.
  - FURNISH HARDWARE AS SCHEDULED WITHOUT SUBSTITUTION. NO ALTERNATES WILL BE APPROVED.
  - FURNISH A KEYPAD CYLINDER AND TWO CUT KEYS FOR EACH LOCKING DEVICE SPECIFIED: KEYPAD TO THE OWNERS MASTER SYSTEM; INCLUDE KEY CONFERENCE AND KEY SYSTEM SCHEDULE FOR OWNERS' APPROVAL.
  - FURNISH AND PROVIDE ALL NECESSARY REINFORCEMENTS, BRACKETS, FASTENERS, SPACERS AND FILLERS TO PROVIDE A COMPLETE FUNCTIONING OPENING.
  - PROVIDE COMPLETE SHOP DRAWINGS, SUBMITTALS AND CUT SHEETS COMPLYING WITH DHI PRESCRIBED METHODS AND VERTICAL FORMAT DOUBLE SPACED HARDWARE SCHEDULE.

**HARDWARE SET 1 - PRIVACY SET (LOCK / UNLOCK) - CLOSER**

3 EA. BUTT HINGE 355TBB 4545 NRP	26D PDQ
1 EA. PRIVACY SET GT 116 BSN	26D PDQ
1 EA. CLOSER B501 BC PA REGULAR ARM (FULL SIDE MOUNT)	629 PDQ
1 EA. KICKPLATE 30 10 X 2 1/2 LW	31D DON JO
1 EA. WALL STOP 140T	26D DON JO

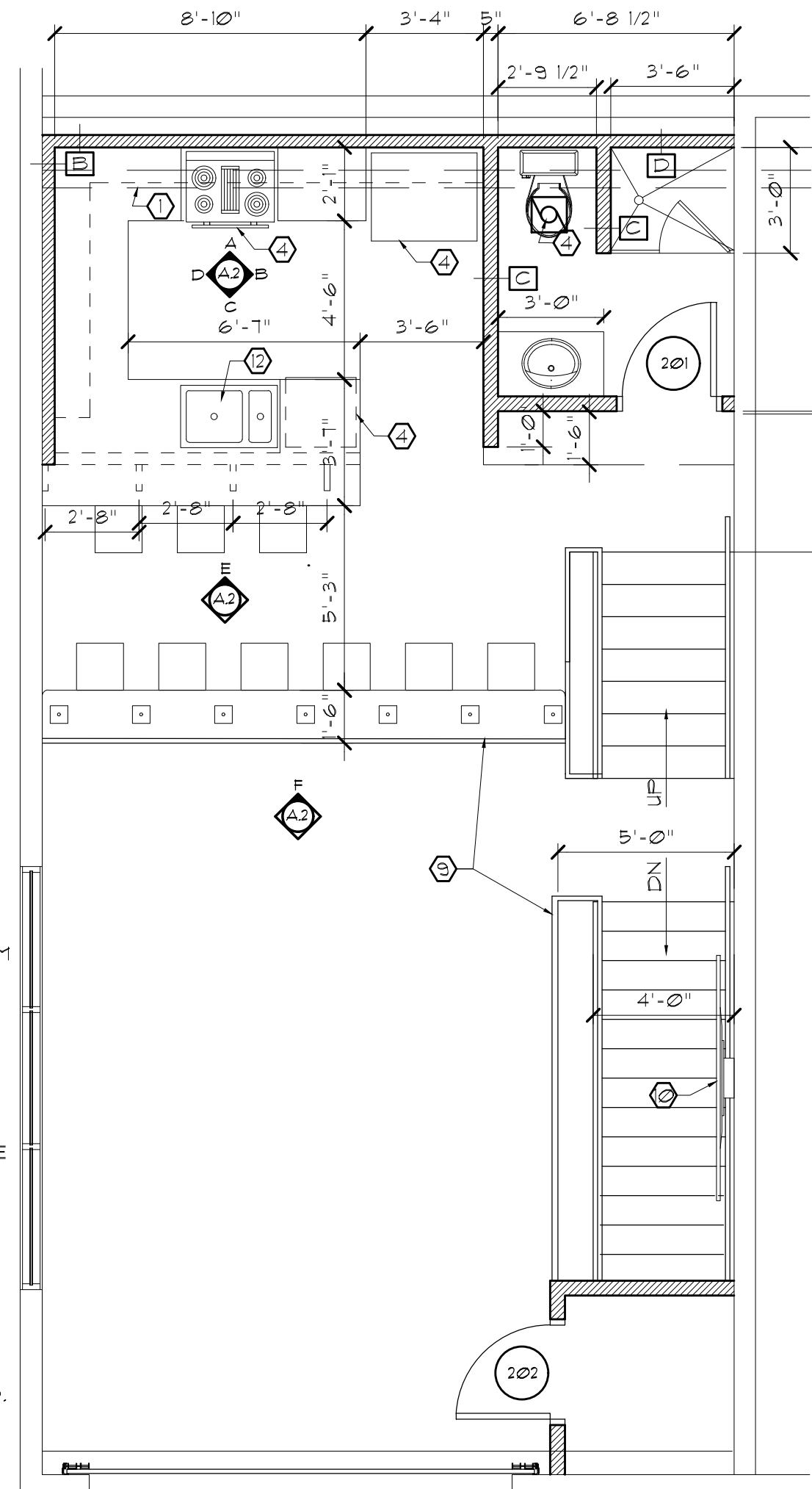
**HARDWARE SET 2 - PASSAGE SET (ALWAYS UNLOCKED)**

3 EA. BUTT HINGE 355TBB 4545 NRP	26D PDQ
1 EA. PASSAGE SET MR 126 BJSJ	26D PDQ
1 EA. WALL STOP 102	26D PDQ

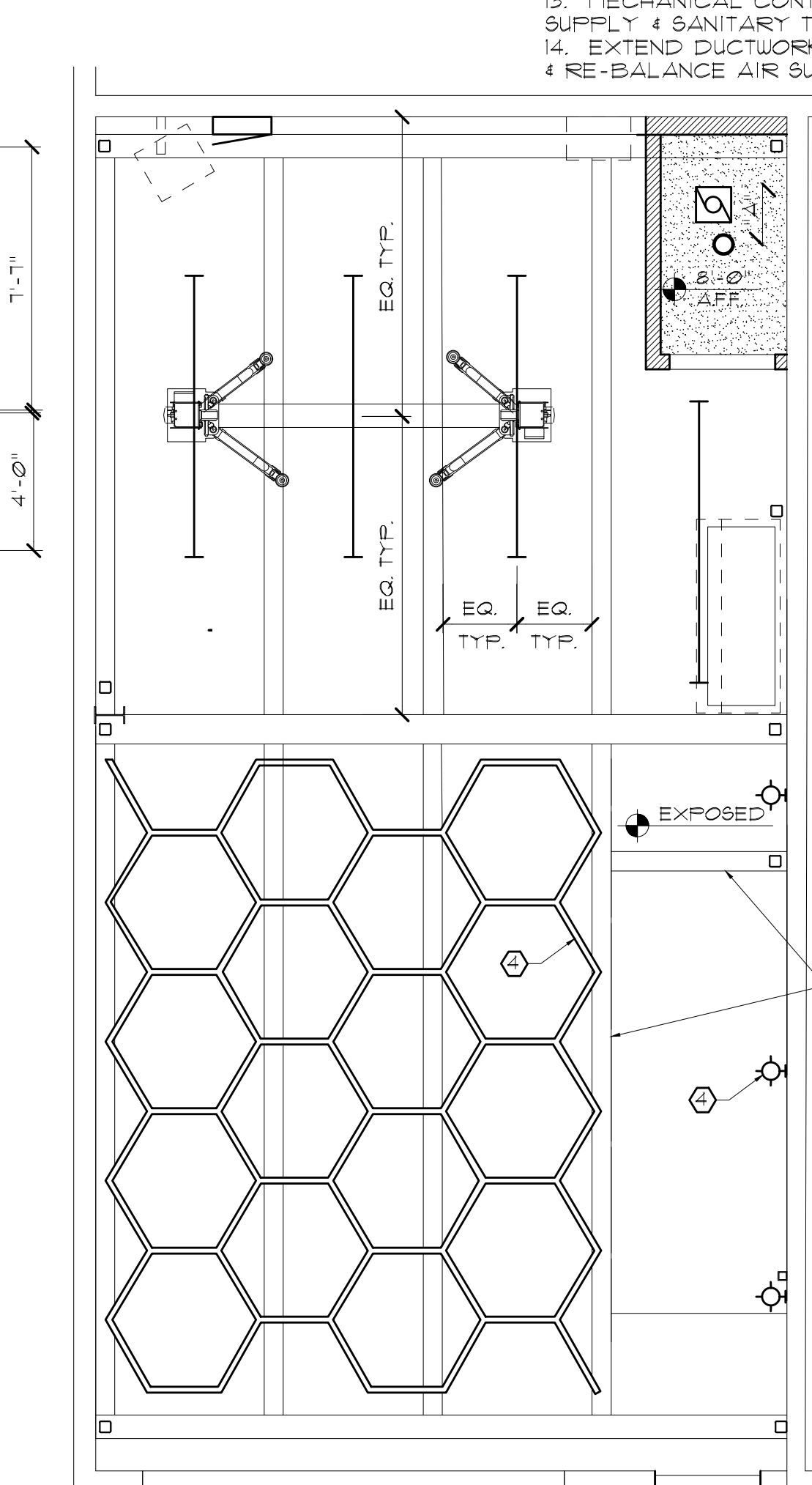


FIRST LEVEL FLOOR PLAN  
SCALE: 1/4"=1'-0"

- FLOOR PLAN KEY NOTES:**
- LINE OF 6" SPRINKLER MAIN
  - EXISTING ELECTRICAL PANEL (SEE ELECTRICAL DWGS.)
  - FURNITURE BY OWNER
  - NEW APPLIANCES (BY OWNER SEE SCHEDULE)
  - WORK BENCH 4 TIRE RACK ABOVE (BY OWNER)
  - WORK BENCH (BY OWNER)
  - WALL MOUNTED ELECTRIC UNIT HEATER (BY OWNER)
  - HAND SINK
  - STAIR 4 HAND RAILS SUPPLIED BY 4 INSTALLED BY STAIR SUPPLIER TYP.
  - WALL MOUNTED TV W/ POWER 4 DATA (SEE ELECTRICAL) (VERIFY EXACT LOCATION W/ OWNER)
  - SAW-CUT REMOVE 4 REPLACE EXIST. SLAB AS REQUIRED FOR SANITARY CONNECTION.
  - SINK W/ GARBAGE DISPOSAL
- WALL LEGEND:**
- A 5/8" GYP. BD. ON EA. SIDE 3 5/8" 25GA METAL STUDS @ 1'-4" O.C. FROM FINISH FLOOR TO 4" ABOVE CEILING. BRACE TO STRUCTURE ABOVE @ 4'-0" O.C. FOR LATERAL SUPPORT. TYPICAL UNLESS NOTED OTHERWISE.
  - B 5/8" ON INTERIOR SIDE 3 5/8" 18GA METAL STUDS @ 1'-4" O.C. FROM FINISH FLOOR TO 8'-0" AFF. (BRACE TOP OF WALL TO DEMISING WALL. FIELD VERIFY)
  - C 5/8" GYP. BD. ON EA. SIDE 3 5/8" 18GA METAL STUDS @ 1'-4" O.C. W/ WALL TILE 4 CEMENT BACKER BOARD TO 5'-0" ON BATHROOM SIDE (FULL HEIGHT IN SHOWER AREA).
  - D SAME AS WALL TYPE C W/ GYP. BD. ON INTERIOR SIDE.
- NOTE: ALL GYP. BD. IN WATER AREAS SHALL BE WATER RESISTANT.

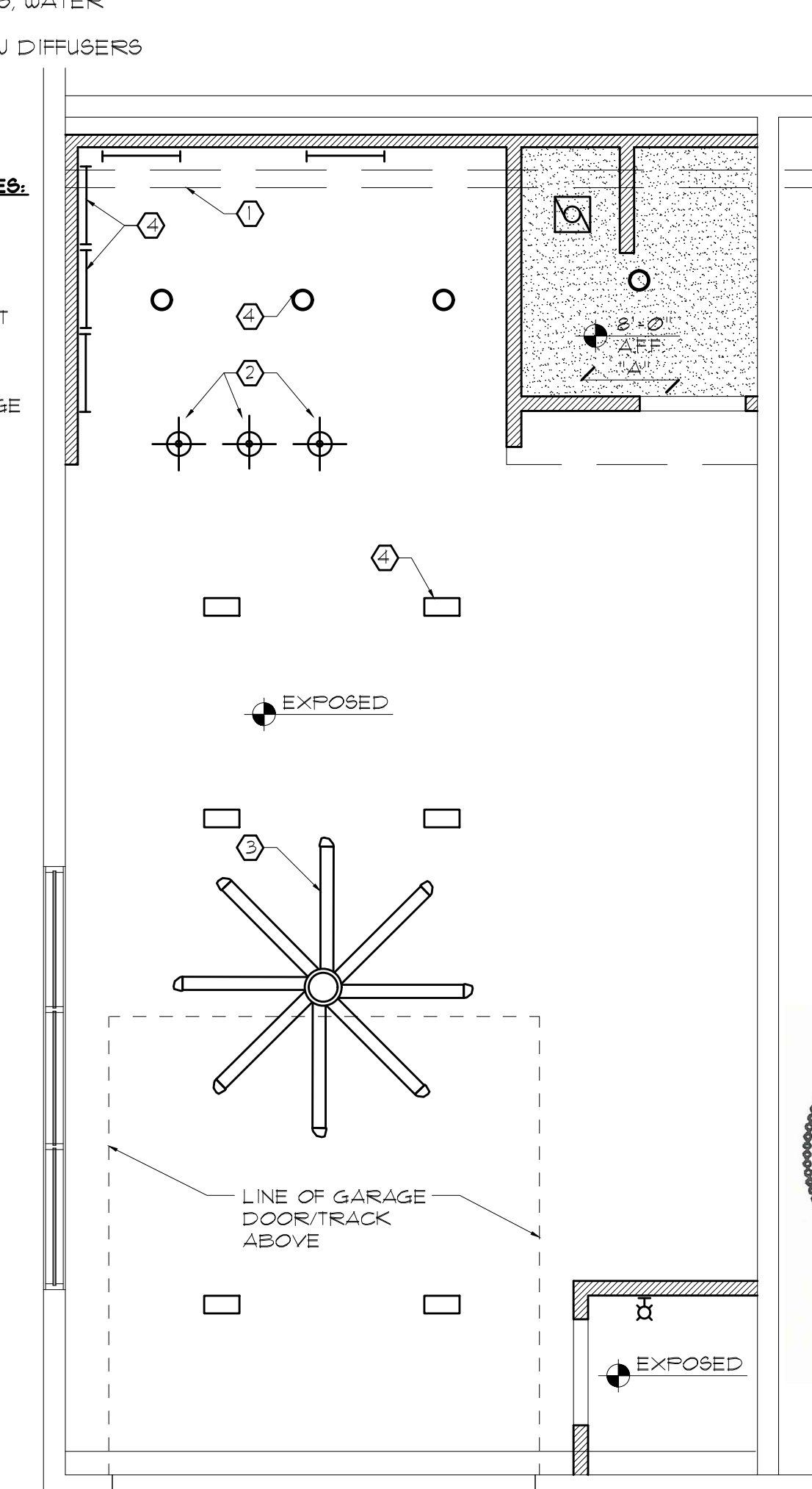


MEZZANINE FLOOR PLAN  
SCALE: 1/4"=1'-0"

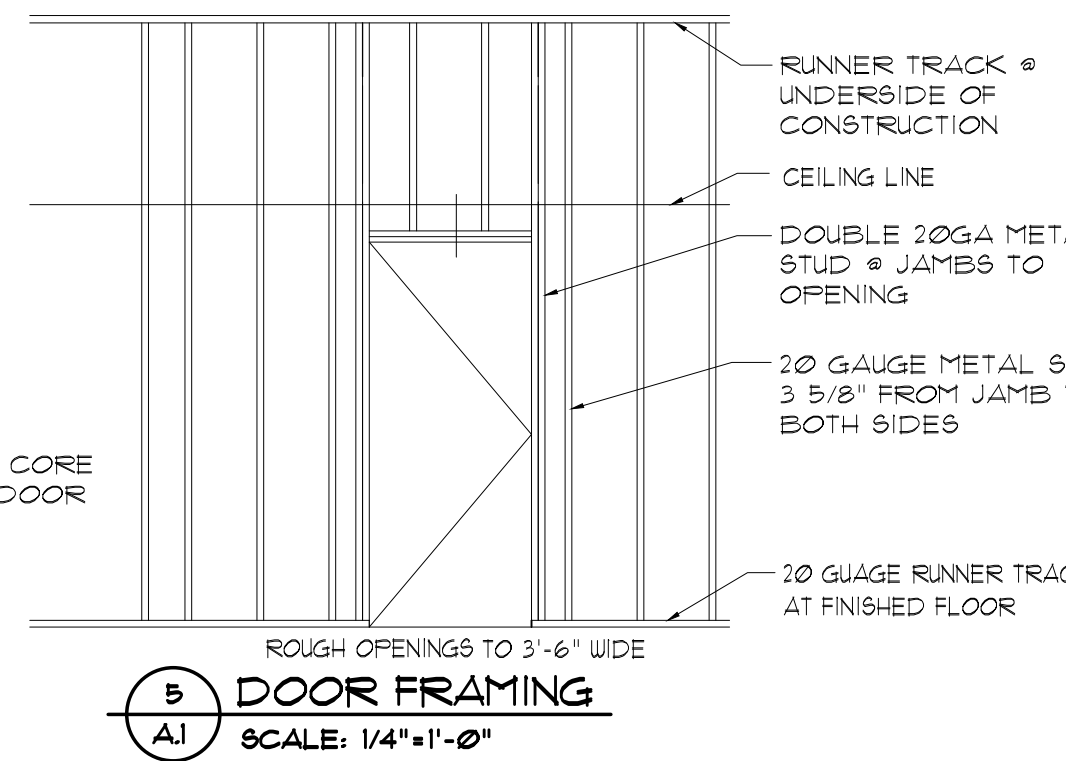
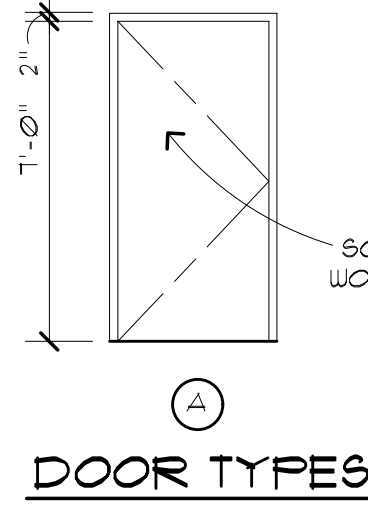
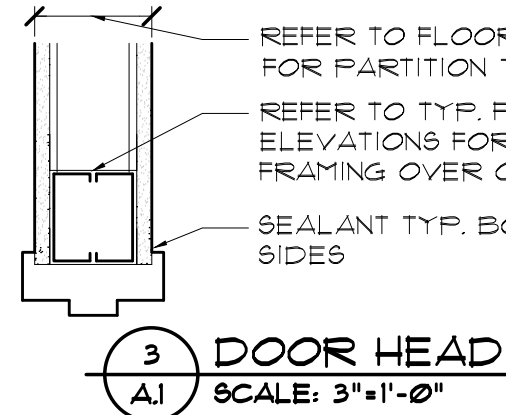
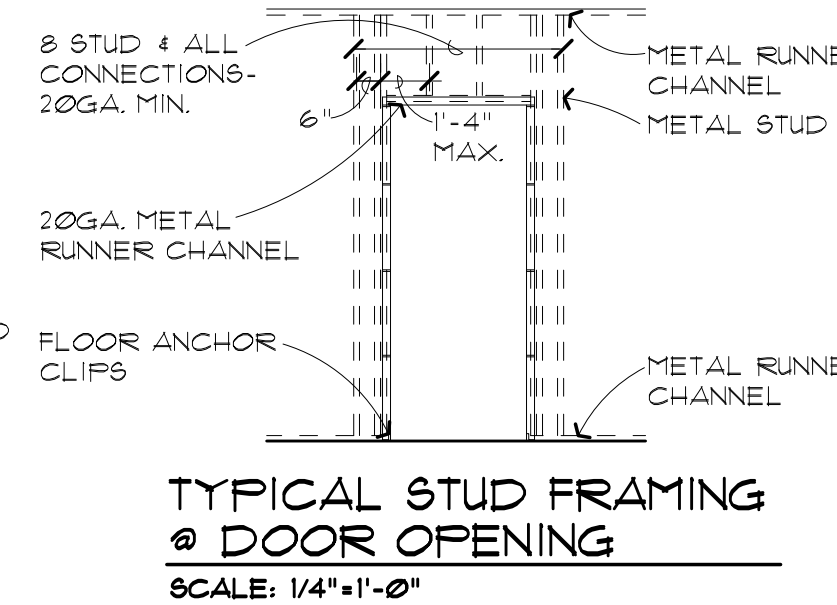
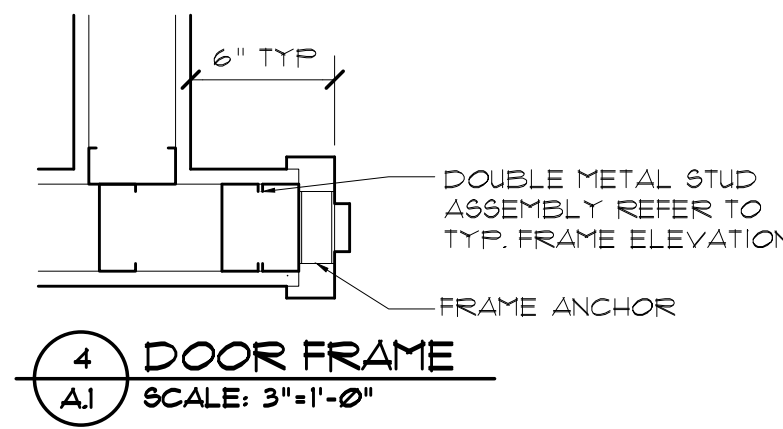


FIRST LEVEL REFLECTED CEILING PLAN  
SCALE: 1/4"=1'-0"

- REFLECTED CEILING PLAN KEYNOTES:**
- LINE OF 6" SPRINKLER MAIN
  - PENDANT W/ GLASS SHADE
  - CEILING FAN - BIG ASS FAN ESSENCE 2 CEILING FAN W/ POST MOUNT; MAINTAIN MFG RECOMMENDED CLEARANCES (2'-0" SIDE 4 TOP); MOUNTING SHALL NOT INTERFERE W/ GARAGE DOOR OPERATION.
  - NEW LIGHT FIXTURE (SEE ELECTRICAL DWGS.)
- 1"4"-8" 18GA CEILING JOISTS @ 1'-4" O.C. (SEE SECTION @ TOILET ROOM WALL 2/A2).
- LINE OF MEZZANINE FRAMING ABOVE TYP.
- LINE OF GARAGE DOOR/TRACK ABOVE



MEZZANINE LEVEL REFLECTED CEILING PLAN  
SCALE: 1/4"=1'-0"



- SHEET INDEX:**
- A1 TITLE SHEET, LOCATION, FLOOR, REFLECTED CEILING PLANS 4 DETAILS
  - A2 INTERIOR ELEVATIONS 4 DETAILS
  - E1 ELECTRICAL LIGHTING, POWER 4 PANEL SCHEDULE.

**PROJECT SCOPE:**  
THIS PROJECT INVOLVES AN INTERIOR BUILD-OUT OF A VEHICLE WORKSHOP ON THE FIRST LEVEL AND ENTERTAINMENT SPACE ON THE TWO MEZZANINE LEVELS. THE FIRST LEVEL WILL HAVE A HOIST 4 TOILET ROOM WITH RELATED WORK BENCHES. THE UPPER MEZZANINES WILL HAVE A KITCHEN, TOILET ROOM AND ENTERTAINMENT AREA.

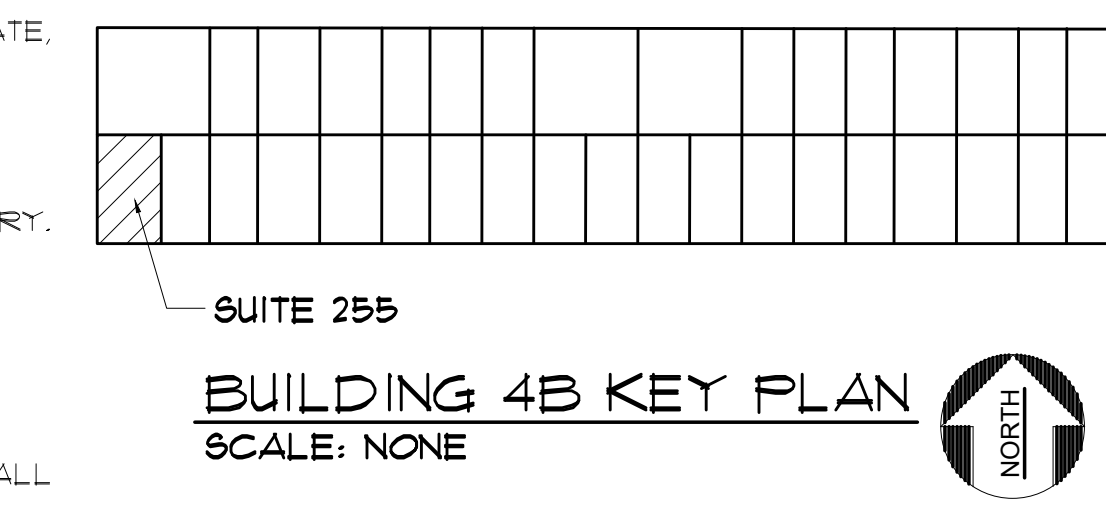
**BUILDING CODES 4 DESIGN STANDARDS:**

- PROJECT LOCATION: PONTIAC, MI
- 2015 MICHIGAN BUILDING
  - 2015 MICHIGAN MECHANICAL CODE
  - 2015 MICHIGAN PLUMBING CODE
  - 2011 MICHIGAN PART 8 ELECTRICAL CODE
  - 2015 MICHIGAN UNIFORM ENERGY CODE-COMMERCIAL
  - 2015 INTERNATIONAL PROPERTY MAINTENANCE CODE
  - 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS

USE GROUP: U-UTILITY  
CONSTRUCTION TYPE: 2B

AREAS:  
FIRST FLOOR: 7576SF.  
1ST MEZZANINE: 3356SF.  
2ND MEZZANINE: 3235SF.

- GENERAL NOTES:**
- FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE WORK NOTED HERE IN. COORDINATE ALL DRAWINGS/NEW WORK 4 NOTIFY ARCHITECT/ OWNER OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY 4 LIABILITY FOR SAID DISCREPANCIES.
  - ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
  - WALL THICKNESS ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
  - ALL WOOD, INCLUDING BLOCKING, USED SHALL BE FIRE RETARDANT TREATED.
  - ALL WORK SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, 4 O.S.H.A.
  - PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL @ WALL BASE CONDITION.
  - REINFORCE WALL 4 PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL CABINETS 4 COUNTERTOPS.
  - CLEAN 4 REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
  - COORDINATE W/ OWNERS SUPPLIED EQUIPMENT FOR INSTALLATION REQUIREMENTS / LOCATIONS OF FLOOR / WALL / CEILING MOUNTED ITEMS: TV'S, SPEAKERS, ETC.
  - CONTRACTOR SHALL CONDUIT A ROUGH ELECTRICAL INSPECTION W/ OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, SWITCH, THERMOSTAT, ETC.
  - ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE CAULKED/TAPED.
  - CONTRACTOR SHALL COORDINATE ALL OWNER SUPPLIED ITEMS FOR THE CONTRACTOR TO INSTALL.
  - MECHANICAL CONTRACTOR TO CONNECT VENT LINES, WATER SUPPLY 4 SANITARY TO EXISTING STUBS.
  - EXTEND DUCTWORK ALONG NORTH WALL W/ TWO NEW DIFFUSERS 4 RE-BALANCE AIR SUPPLY.



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PROJECT  
M-1 CONCOURSE,  
BUILDING 4B UNIT 255  
255 APEX DR  
PONTIAC, MI

SUBJECT  
TITLE SHEET, LOCATION,  
FLOOR, REFLECTED CEILING  
PLANS & DETAILS

ARCHITECTS  
CHESTER STEMPIEN ASSOCIATES • AIA  
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(248) 557-2145 FAX: (248) 569-2856

ISSUED:  
BID & PERMITS  
02/04/2022

T.J.F.  
T.J.F.  
C.R.B.

DO NOT SCALE  
PRINTS - USE  
FIGURED  
DIMENSIONS ONLY

JOB NO.  
T2021063

SHEET  
A.1

SUITE 255  
M1 CONCOURSE

