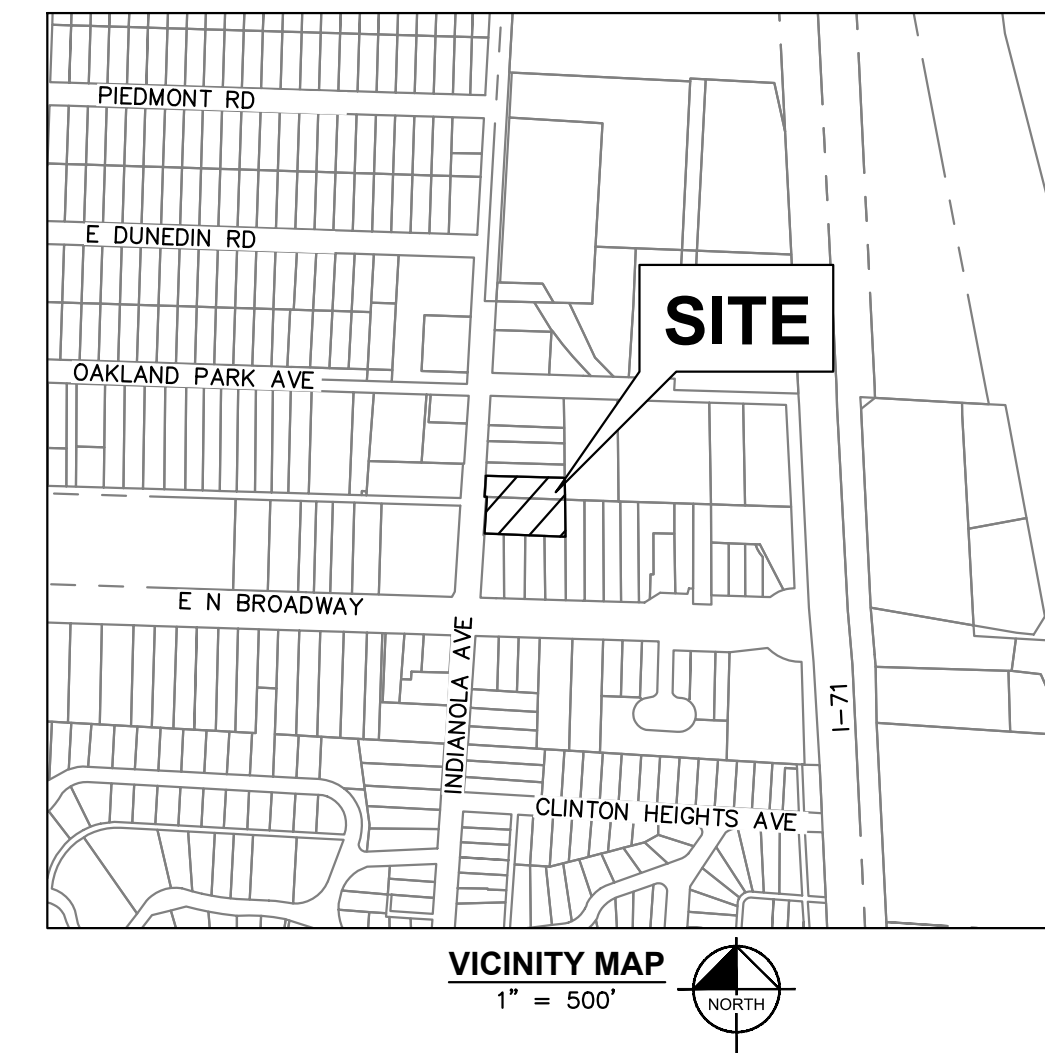


FINAL SITE COMPLIANCE PLAN

FOR

BURGER KING

3330 INDIANOLA AVE, COLUMBUS, OH 43214



PROJECT ZONING INFORMATION

OWNER: AMPLER DEVELOPMENT
 ADDRESS: 3330 INDIANOLA AVENUE, COLUMBUS, OH 43214
 LOT SIZE: 0.75 ACRES
 PARCEL NO: 010-024287-00
 ZONING: C4-COMMERCIAL
 CASE NUMBER: N/A

PARKING SETBACKS
 NORTH: 0-FT
 SOUTH: 0-FT
 EAST: 5-FT
 WEST: 5-FT

BUILDING SETBACKS
 NORTH: 0-FT
 SOUTH: 0-FT
 EAST: 0-FT
 WEST: 0 FT MIN-10 FT MAX

HEIGHT DISTRICT: 35-FT
 PROPOSED BUILDING HEIGHT: 23-FT

FLOOD INSURANCE RATE MAP (FIRM) NUMBER: 39049C0167K
 MOST RECENT EFFECTIVE DATE OF FIRM: JUNE 17, 2008
 BASE FLOOD ELEVATION: N/A

STORMWATER MANAGEMENT DATA
 TOTAL SITE ACREAGE: 0.75 ACRES
 TOTAL DISTURBED ACREAGE: 0.74 ACRES
 PRE-DEVELOPED IMPERVIOUS AREA: 0.62 ACRES
 PRE-DEVELOPED % IMPERVIOUS AREA: 82.67%
 POST-DEVELOPED IMPERVIOUS AREA: 0.60 ACRES
 POST-DEVELOPED % IMPERVIOUS AREA: 80.00%

PARKING DATA
 CODE REQUIREMENT: MINIMUM: 1:175 SF, MAXIMUM: 1:50 SF

TOTAL SITE PARKING
 TOTAL BUILDING SF: ± 3,120 SF
 OFFICE PARKING REQUIRED: 3,120 SF / 175 = 18 SPACES MINIMUM
 3,120 SF / 50 = 63 SPACES MAXIMUM
 STANDARD PARKING PROVIDED: 26 SPACES

ADA PARKING REQUIRED: 2 SPACES (INCLUDING 1 VAN STALL)
 ADA PARKING PROVIDED: 2 SPACES (INCLUDING 1 VAN STALLS)
 TOTAL PARKING PROVIDED: 27 SPACES

BICYCLE PARKING REQUIRED: 3 SPACES
 BICYCLE PARKING PROVIDED: 4 SPACES

INDIAN OAKS #35 LLC
 PID: 010-065313-00
 0.50 AC
 ZONING: C-COMMERCIAL

COLUMBUS SPECTECH
 PID: 010-065313-00
 1.09 AC
 ZONING: C-COMMERCIAL

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
1	TITLE SHEET
2	SITE PLAN
3	UTILITY PLAN
4	CONSTRUCTION DETAILS
LS-1	LANDSCAPING PLAN
SL-1	SITE LIGHTING

SITE DATA TABLE	
SITE AREA	0.75 AC
RIGHT-OF-WAY DEDICATION (PENDING)	0.03 AC
DISTURBED AREA*	0.74 AC
PRE-DEVELOPED IMPERVIOUS AREA	0.62 AC
POST DEVELOPED IMPERVIOUS AREA	0.60 AC

*INCLUDES DISTURBED AREA WITHIN RIGHT-OF-WAY

BENCHMARKS (NAVD88)

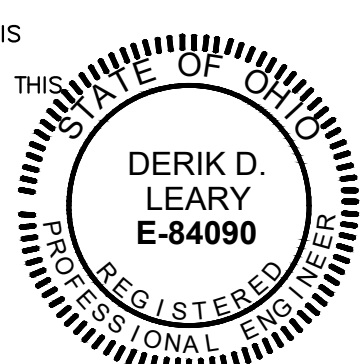
BM #1
 A CHISELED "X" ON THE SOUTH RIM OF THE SANITARY MANHOLE IN THE SIDEWALK JUST SOUTH OF THE NORTH DRIVE OF THE BURGER KING ENTRANCE.
 ELEV=857.95'

PROFESSIONAL ENGINEER'S CERTIFICATION

I, DERIK LEARY, A LICENSED PROFESSIONAL ENGINEER OF OHIO, HEREBY CERTIFY THAT THIS SUBMISSION, CIVIL SHEETS LISTED ABOVE, WAS PREPARED ON BEHALF OF AMPLER DEVELOPMENT BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 23RD DAY OF MARCH, A.D., 2022.

OHIO LICENSED PROFESSIONAL ENGINEER E-84090
 MY LICENSE EXPIRES ON 12/31/2023



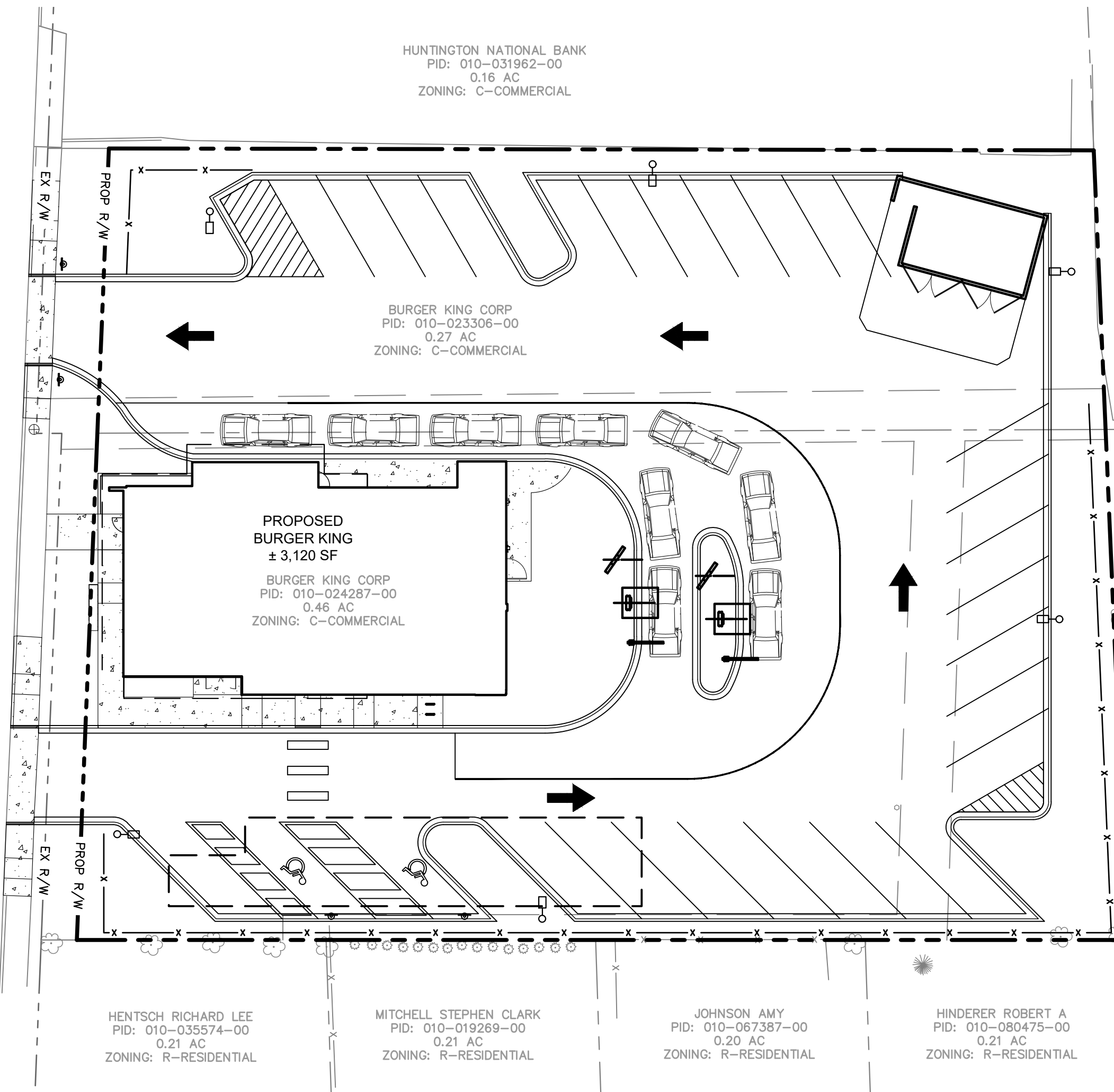
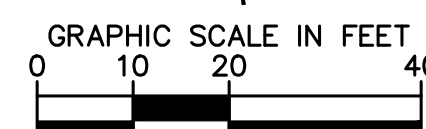
PROJECT TEAM

DEVELOPER/OWNER
 AMPLER DEVELOPMENT
 1850 PARKWAY PL SE SUITE 1100
 MARIETTA, GA 30067
 CONTACT: DAN PEYTON
 PHONE: (513) 484-0985
 EMAIL: DPEYTON@AMPLERGROUP.COM

CIVIL ENGINEER
 KIMLEY-HORN AND ASSOCIATES, INC.
 6121 HUNTLEY RD
 COLUMBUS, OH 43229
 PHONE: (614) 454-6697
 EMAIL: DERIK.LEARY@KIMLEY-HORN.COM
 CONTACT: DERIK LEARY, PE

ARCHITECT
 TECHNICAL GROUP INC.
 37716 HILLS TECH DR.
 FARMINGTON HILLS, MI 48331
 PHONE: (248) 426-8000

SURVEYOR
 DLZ OHIO, INC.
 6121 HUNTLEY RD
 COLUMBUS, OH 43229
 CONTACT: SAMUEL STILTNER
 PHONE: (614) 888-0040



INDEX MAP
 SCALE: 1"=20'

PROJECT SCOPE OF WORK

THE SITE CONSISTS OF CONSTRUCTION OF A DRIVE-THRU RESTAURANT. SCOPE INCLUDES A NEW PARKING LOT, ACCESS DRIVES, UTILITY CONNECTIONS, AND UNDERGROUND DETENTION.

REFERENCE

EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD RUN SURVEY PERFORMED BY DLZ OHIO, LLC. ON JULY, 2021.

COMPLIANCE NOTES

THE PROPOSED PROJECT WILL COMPLY WITH:

- 3312.15 & 3321.01 DUMPSTER AREA;
- 3312.21 LANDSCAPING AND SCREENING;
- 3312.19 & 3312.03 LIGHTING;
- 3312.39 STRIPING AND MARKING;
- 3312.43 REQUIRED SURFACE FOR PARKING
- 3312.45 WHEEL STOP DEVICE
- 3312.51 LOADING SPACE
- 3312.53 MINIMUM NUMBER OF LOADING SPACES REQUIRED
- 3321 GENERAL SITE DEVELOPMENT STANDARDS
- 3321.05 VISION CLEARANCE;

THE UTILITIES SHOWN HEREON ARE FROM A FIELD SURVEY BY DLZ OHIO, LLC AND RECORD PLANS. UNDERGROUND LINES MAY EXIST ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.

STORMWATER WILL BE MANAGED ON-SITE VIA UNDERGROUND DETENTION. REFUSE COLLECTION WILL BE PROVIDED BY PRIVATE COMPANY.

LIGHTS WITHIN 100 FEET OF RESIDENTIAL ZONING CANNOT EXCEED 18 FEET IN HEIGHT PER CC 3321.03B.

ERRS (EMERGENCY RESPONDER RADIO SYSTEM) TESTING MUST BE DONE.

ACCESS ROADS DURING CONSTRUCTION SHALL BE ADHERED TO AT ALL TIMES.

AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON SITE.

ALL LOADING SPACES SHOULD HAVE A CLEARANCE OF NOT LESS THAN 15' PER C.C. 3312.53.

SANITARY SEWER

CONNECTION TO SANITARY SEWER CANNOT BE MADE WITHOUT OBTAINING A PERMIT FROM SEWER PERMIT OFFICE AT 111 N. FRONT STREET, 1ST FLOOR, (614) 645-7490.

PRIOR TO DEMOLITION, A PERMIT FOR SANITARY LATERALS TO BE CAPPED OFF MUST BE OBTAINED FROM 111 N. FRONT STREET, 1ST FLOOR, (614) 645-7490

SANITARY SERVICES ARE SHOWN ON THIS PLAN FOR REFERENCE ONLY. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF THE SANITARY SERVICES, THEIR LOCATIONS. CONTACT THE DPU PERMIT OFFICE AT 111 N. FRONT ST FOR SANITARY SERVICE APPROVAL.

FEMA FLOODPLAIN DATA

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAPS, COMMUNITY PANEL NO. 39049C0167K, WHICH BEARS AN EFFECTIVE DATE OF JUNE, 17, 2008. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE.

CITY OF COLUMBUS STANDARD NOTES

RIGHT OF WAY ENCROACHMENT NOTE: NO PRIVATE ELEMENTS ARE PERMITTED TO ENCOACH INTO THE RIGHT-OF-WAY INCLUDING, BUT NOT LIMITED TO STAIRS, RAILINGS, FOUNDATIONS, DOORS, OVERHEAD ELEMENTS OR WALLS.

EXPIRATION NOTE: PLAN IS VALID FOR ONE (1) YEAR FROM DATE OF APPROVAL.

DIVISION OF POWER

THE DIVISION OF POWER (DOP) MAY HAVE OVERHEAD AND UNDERGROUND PRIMARY, SECONDARY, AND STREET LIGHTING AT THIS WORK LOCATION. THE CONTRACTOR IS HERBY REQUIRED TO CONTACT OUPS AT 811 OR 1-800-362-2764 FORTY-EIGHT HOURS PRIOR TO CONDUCTING ANY ACTIVITY WITHIN THE CONSTRUCTION AREA.

ANY REQUIRED RELOCATION, SUPPORT, PROTECTION, OR ANY OTHER ACTIVITY CONCERNED WITH THE CITY'S ELECTRICAL FACILITIES IN THE CONSTRUCTION AREA IS TO BE PERFORMED BY THE CONTRACTOR UNDER THE DIRECTION OF DOP PERSONNEL AND AT THE EXPENSE OF THE PROJECT. DOP SHALL MAKE ALL FINAL CONNECTIONS TO DOP'S EXISTING ELECTRIC SYSTEM AT THE EXPENSE OF THE PROJECT. THE CONTRACTOR SHALL USE MATERIAL AND MAKE REPAIRS TO A CITY OF COLUMBUS STREET LIGHTING SYSTEM BY FOLLOWING DOP'S "MATERIAL AND INSTALLATION SPECIFICATIONS" (MIS) AND THE CITY OF COLUMBUS "CONSTRUCTION AND MATERIAL SPECIFICATIONS" (CMS). ANY NEW OR RE-INSTALLED UNDERGROUND STREETLIGHT SYSTEM SHALL REQUIRE TESTING AS REFERRED TO IN SECTION 1000.18 OF THE CMS MANUAL. THE CONTRACTOR SHALL CONFORM TO DOP'S EXISTING STREET LIGHT LOCKOUT/TAGOUT (LOTO) PROCEDURE, MIS-1. COPIES OF WHICH ARE AVAILABLE FROM DOP.

IF ANY ELECTRIC FACILITY BELONGING TO DOP IS DAMAGED IN ANY MANNER BY THE CONTRACTOR, ITS AGENTS, SERVANTS, OR EMPLOYEES, AND REQUIRES EMERGENCY REPAIRS, THE DOP DISPATCH OFFICE SHOULD BE CONTACTED IMMEDIATELY AT (614) 645-7627. DOP SHALL MAKE ALL NECESSARY REPAIRS, AND THE EXPENSE OF SUCH REPAIRS AND OTHER RELATED COSTS SHALL BE PAID BY THE CONTRACTOR TO THE DIVISION OF POWER, CITY OF COLUMBUS, OHIO.

Final Site Compliance Plan # XXXXX-XXX			
Drawer E #	DPS Improvements in the Right-of-Way		Other Associated Plans
	R/W Permit	Storm CC #	
N/A	<input type="checkbox"/>	CC-XXXX	WSP#885

NO.	DATE	BY	APR DATE	APR BY

Kimley-Horn
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 7965 SUITE 200 STREET
 COLUMBUS, OH 43235
 PHONE: (614) 454-6699
 WWW.KIMLEY-HORN.COM

DESIGNED BY: SRS
 DRAWN BY: DG
 CHECKED BY: DDL

TITLE SHEET

BURGER KING
 3330 INDIANOLA AVENUE
 COLUMBUS, OH 43214

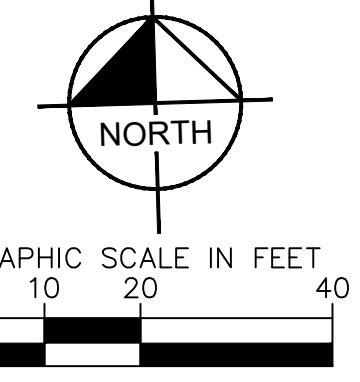
ORIGINAL ISSUE:
 3/31/2022

KHA PROJECT NO.
 190059003

SHEET NUMBER
1

Drawing name: K:\CBE\JDEVA\190059003_Ampler_Indianola_Columbus_OH_2_Design\CAD\PlanSheets\FSCP\TITLE SHEET.dwg TITLE SHEET Mar 28, 2022 5:27pm by: Drew Gilmour
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Drawing name: K:\CIB_LDE\190059003_Ampkor_Indanola_Columbus_OH\2_Design\CAD\PlanSheets\FSCP\SITE PLAN.dwg SITE PLAN Mar 28, 2022 8:27pm by Drew Gilmour
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PARKING COUNT

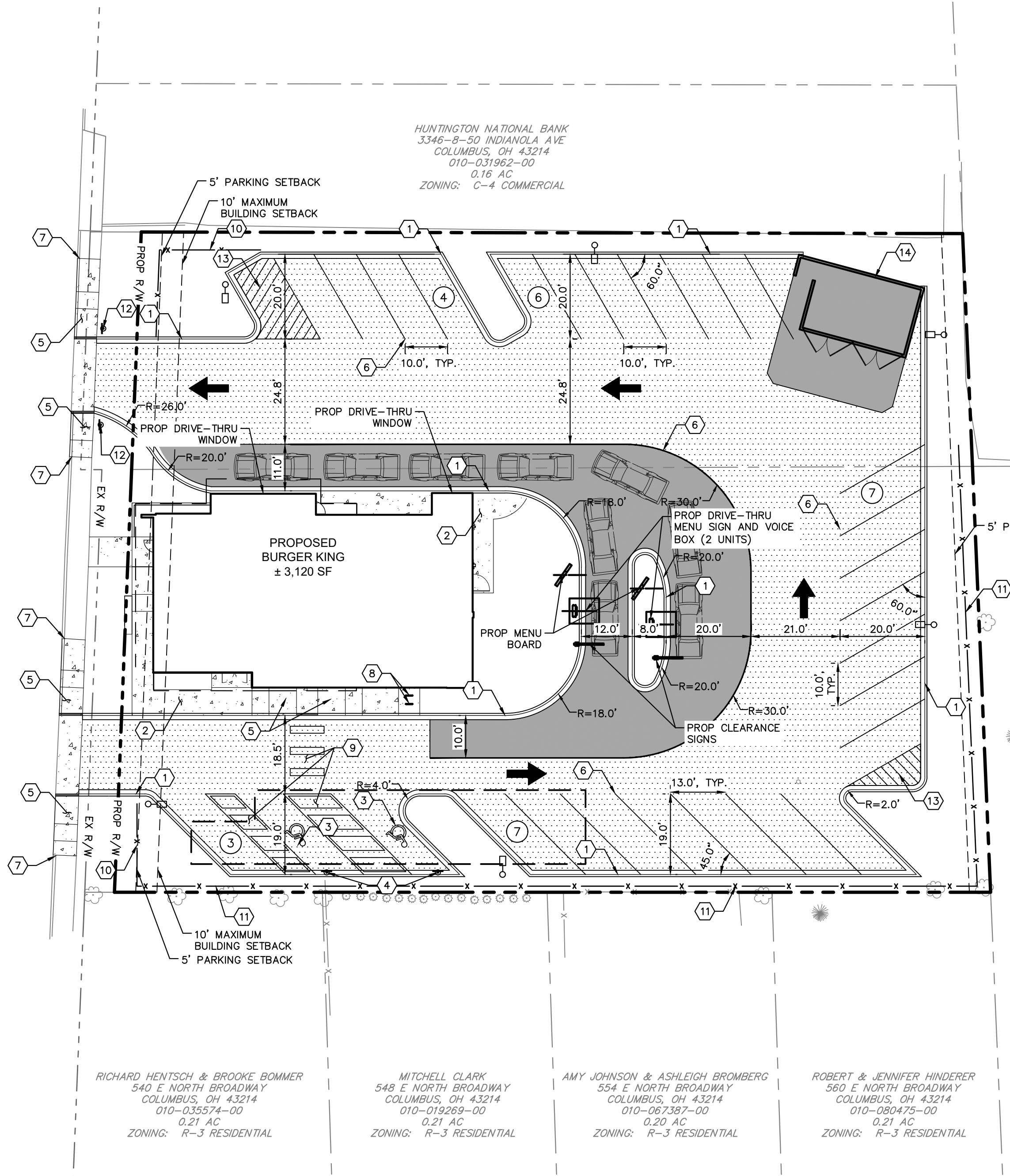
PID: 010-024287-00
 010-023306-00
 27 TOTAL PARKING SPACES

ERRS NOTE

ALL BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING BASED UPON THE EXISTING COVERAGE LEVELS OF THE PUBLIC SAFETY COMMUNICATIONS SYSTEMS OF THE JURISDICTION AT THE EXTERIOR OF THE BUILDING. (THE TEST IS DONE BY A 3RD PARTY)

CIRCLE M HOLDINGS LLC
 585 OAKLAND PARK AVE
 COLUMBUS, OH 43214
 010-023873-00
 0.85 AC
 ZONING: C-4 COMMERCIAL

TIMOTHY STOKES
 568 E NORTH BROADWAY
 COLUMBUS, OH 43214
 010-077898
 0.30 AC
 ZONING: R-3 RESIDENTIAL

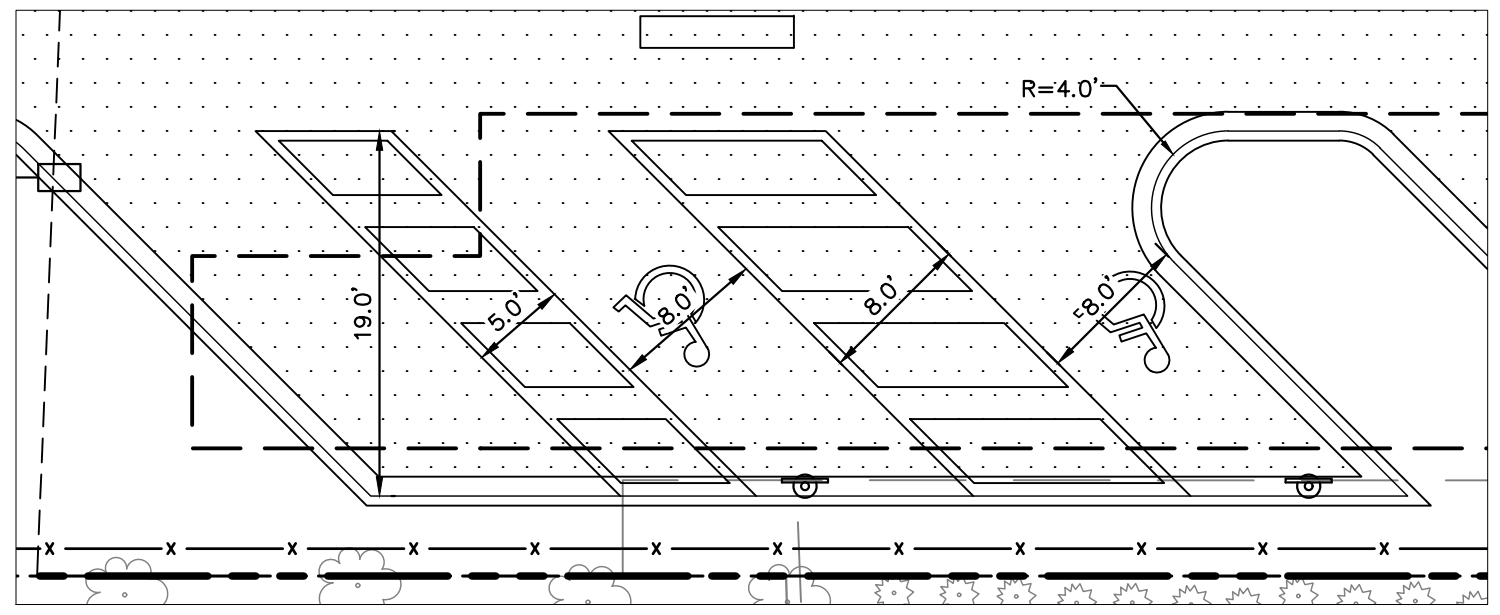


RICHARD HENTSCH & BROOKE BOMMER
 540 E NORTH BROADWAY
 COLUMBUS, OH 43214
 010-035574-00
 0.21 AC
 ZONING: R-3 RESIDENTIAL

MITCHELL CLARK
 548 E NORTH BROADWAY
 COLUMBUS, OH 43214
 010-019269-00
 0.21 AC
 ZONING: R-3 RESIDENTIAL

AMY JOHNSON & ASHLEIGH BROMBERG
 554 E NORTH BROADWAY
 COLUMBUS, OH 43214
 010-067387-00
 0.20 AC
 ZONING: R-3 RESIDENTIAL

ROBERT & JENNIFER HINDERER
 560 E NORTH BROADWAY
 COLUMBUS, OH 43214
 010-080475-00
 0.21 AC
 ZONING: R-3 RESIDENTIAL



ADA DETAIL SCALE: 1"=10'

KEY NOTES

- 1 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
- 2 CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- 3 ACCESSIBLE PAVEMENT MARKINGS (SEE DETAILS)
- 4 ACCESSIBLE PARKING SIGN (SEE DETAILS)
- 5 ACCESSIBLE RAMP. (COC DETAIL 2319)
- 6 4" WIDE PAINTED SOLID LINE, TYP.
- 7 CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- 8 BIKE RACK (SEE DETAILS)
- 9 STRIPING PER CITY OF COLUMBUS STANDARDS
- 10 4' METAL FENCE (SEE ARCH SHEET LS-1 FOR DETAIL)
- 11 8' METAL FENCE (SEE ARCH SHEET LS-1 FOR DETAIL)
- 12 DO NOT ENTER SIGN
- 13 ANGLED 45° 2 O.C. STRIPING
- 14 DUMPSTER ENCLOSURE

PAVING AND CURB LEGEND

- STANDARD DUTY ASPHALT PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- HEAVY DUTY CONCRETE PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- CONCRETE SIDEWALK
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- STANDARD CONCRETE CURB AND GUTTER
- FLUSH CONCRETE CURB AND GUTTER

LEGEND

- PROPERTY LINE
- RIGHT OF WAY
- EXISTING RIGHT OF WAY
- EXISTING CENTERLINE
- SETBACK
- EASEMENT
- EXISTING OVERHEAD ELECTRIC
- EXISTING POWER POLE
- PROPOSED CONCRETE SIDEWALK
- PARKING COUNT TAG
- STANDARD PITCH CONCRETE CURB

GENERAL NOTES

1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
4. INTERIOR RADII ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3'-FEET, TYPICAL.
5. REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
6. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.
7. PARKLAND DEDICATION ORDINANCE DOES APPLY.
8. ALL NEW BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING BASED UPON THE EXISTING COVERAGE LEVELS OF THE PUBLIC SAFETY COMMUNICATIONS SYSTEMS OF THE JURISDICTION AT THE EXTERIOR OF THE BUILDING.
9. CITY OF COLUMBUS IS REQUIRING THE USE OF A RAPID KEY ENTRY SYSTEM. KNOX ENTRY REQUIRED FOR EACH SECURED TENANT SPACE.

SANITARY NOTE:

CONNECTION TO SANITARY SEWER CANNOT BE MADE WITHOUT OBTAINING A PERMIT FROM SEWER PERMIT OFFICE 111 N. FRONT STREET, 1ST FLOOR, (614)645-7490.

SANITARY SERVICES AND OTHER UTILITY CONNECTIONS ARE SHOWN ON THIS PLAN FOR REFERENCE ONLY. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF THE SANITARY SERVICES, THEIR LOCATIONS, OR ANY OTHER NON-STORM WATER UTILITY. CONTACT THE DPU PERMIT OFFICE AT 111 N. FRONT STREET FOR SANITARY SERVICE APPROVAL.

DATUM

HORIZONTAL: BEARINGS ARE BASED ON THE OHIO STATE PLAN COORDINATE SYSTEM, SOUTH ZONE, NAD 83 (2007). THE BEARINGS ARE BASED ON THE BEARING OF N 03°30'50"E FOR A PORTION OF THE CENTERLINE OF PARSONS AVENUE AS DETERMINED BY POST PROCESSED OPUS GPS STATIC SESSIONS.

VERTICAL: NAVD88

	APR 01 2022
	BY: [Signature]
	DATE: [Signature]
	REVISIONS
	No.

Kimley-Horn
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 7965 SUITE 1000 BREET
 COLUMBUS, OH 43235
 PHONE: 614-454-6699
 WWW.KIMLEY-HORN.COM

SCALE:
 DESIGNED BY: SRS
 DRAWN BY: DG
 CHECKED BY: DDL

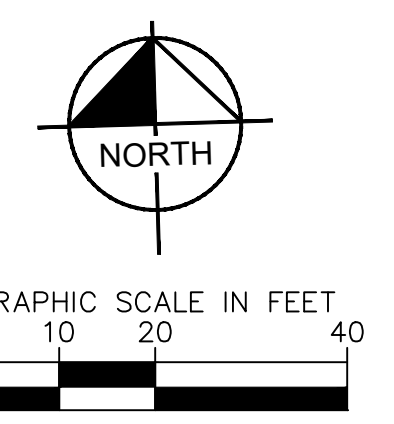
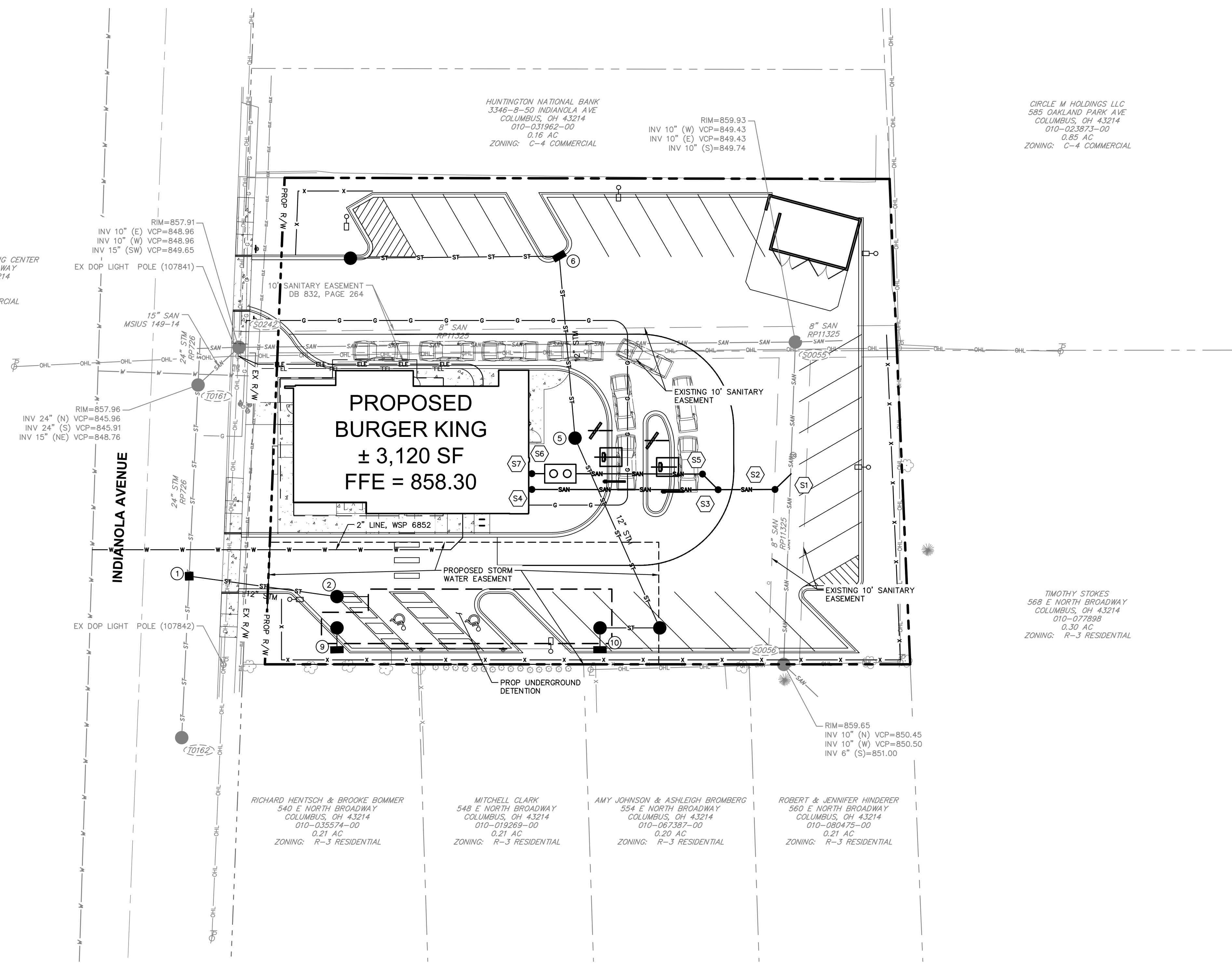
SITE PLAN

BURGER KING
 3330 INDIANOLA AVENUE
 COLUMBUS, OH 43214

ORIGINAL ISSUE:
 3/31/2022
 KHA PROJECT NO.
 190059003
 SHEET NUMBER
2

Drawing name: K:\CIB\JDE\190059003_Ampler_Indiana_Columbus_OH_2_Design\CAD\PlanSheets\FSCP\UTILITY PLAN.dwg UTILITY PLAN Mar 28, 2022, 5:27pm By: Drew Gilmore
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COLUMBUS SPEECH HEARING CENTER
 510 E NORTH BROADWAY
 COLUMBUS, OH 43214
 010-005313-00
 1.09 AC
 ZONING: C-4 COMMERCIAL



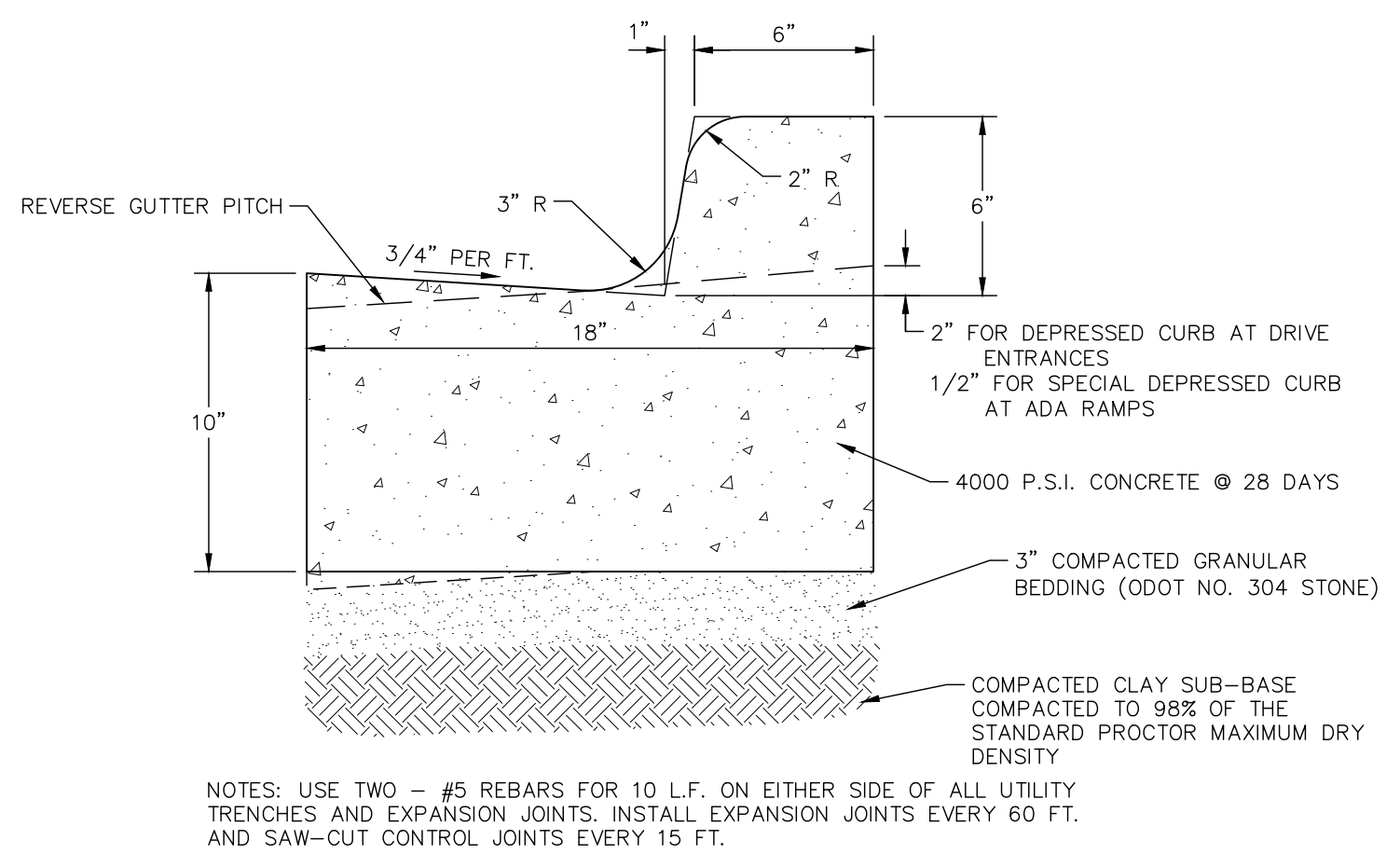
LEGEND

- PROPERTY LINE
- R/W ----- EXISTING RIGHT OF WAY
- EXISTING PAVEMENT
- ST ----- EXISTING STORM SEWER
- • • EXISTING STORM STRUCTURES
- SAN ----- EXISTING SANITARY SEWER
- • • EXISTING SANITARY STRUCTURES
- W ----- EXISTING WATER LINE
- • • EXISTING WATER STRUCTURES
- G ----- EXISTING GAS LINE
- • • EXISTING GAS STRUCTURES
- OHL ----- EXISTING ELECTRIC LINE
- • • EXISTING ELECTRIC STRUCTURES
- ADJACENT PROPERTY LINE
- PROPOSED RIGHT OF WAY
- EASEMENT
- ST ----- PROPOSED STORM SEWER
- • • EXISTING STORM STRUCTURES
- SAN ----- PROPOSED SANITARY SEWER
- • • PROPOSED SANITARY STRUCTURES
- W ----- PROPOSED WATER LINE
- • • PROPOSED WATER STRUCTURES

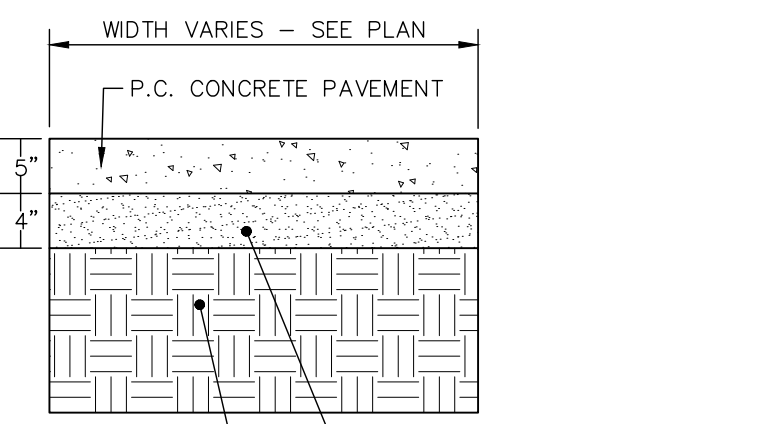
No.		REVISIONS		DATE	BY	APR DATE	APR BY
SCALE:		DESIGNED BY: SRS		DRAWN BY: DG		CHECKED BY: DDL	
<p>BURGER KING 3330 INDIANOLA AVENUE COLUMBUS, OH 43214</p>		<p>Kimley-Horn © 2022 KIMLEY-HORN AND ASSOCIATES, INC. 7965 SUITE 600 STREET COLUMBUS, OH 43235 PHONE: 614-454-6699 WWW.KIMLEY-HORN.COM</p>					
		<p>UTILITY PLAN</p>					
ORIGINAL ISSUE:		3/31/2022					
KHA PROJECT NO.		190059003					
SHEET NUMBER		3					

NOTE: SHEET IS FOR FINAL SITE COMPLIANCE REVIEW ONLY AND NOT FOR CONSTRUCTION. SEE WSP6852 AND CC-XXXXX FOR PLAN DETAILS.

Drawing name: K:\CIB\JDE\190059003_Ampler_Indiana_Columbus_OH_2_Design\CAD\PlanSheets\FSCP\CONSTRUCTION DETAILS.dwg CONSTRUCTION DETAILS - Apr. 28, 2022, 5:27pm, by: Drew Gilmour
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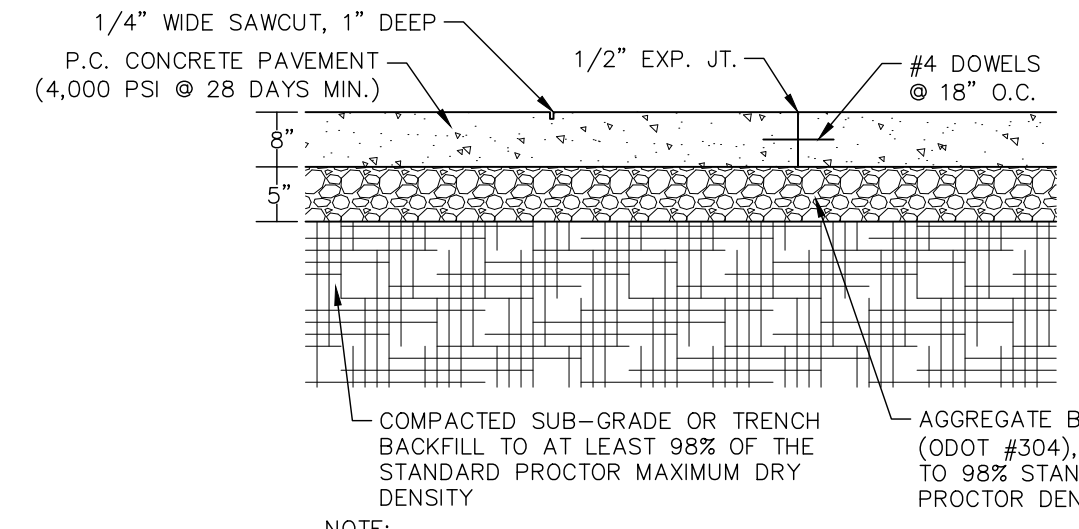
6" CURB WITH 12" GUTTER
N.T.S.



CONCRETE SIDEWALK
N.T.S.

1. ALL SIDEWALK SHALL BE CONSTRUCTED WITH CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
 2. PROVIDE 1/2" EXPANSION JOINTS AT 20' MAXIMUM, SPACING AND FILLED WITH PREMOLDED BITUMINOUS EXPANSION JOINT FILLER MATERIAL OR REDWOOD. EXPANSION JOINTS SHALL HAVE #4 DOWELS, LUBRICATED, 18" LONG, AT 12" CENTERS, 6" FROM EDGE.
 3. PROVIDE 3/8" GROOVED CONTROL JOINTS AT 5' CENTERS.
 4. PROVIDE 1/2" BITUMINOUS EXPANSION JOINT FILLER MATERIAL WHERE WALK ABUTS EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE.
 5. USE 2-#4 REINFORCING BARS, 10' LONG OVER ALL UTILITY TRENCHES FOR NEW SIDEWALK AND CONNECTIONS TO EXISTING SIDEWALK.
 6. AT DRIVE APPROACHES, SIDEWALK PCC AND BASE THICKNESS SHALL MATCH THAT OF THE DRIVE.

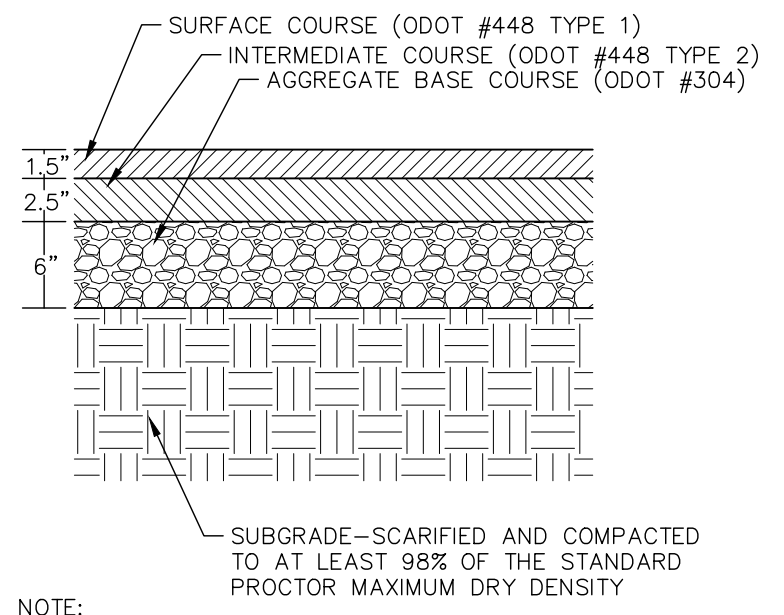
CONCRETE SIDEWALK
N.T.S.



HEAVY DUTY CONCRETE PAVEMENT SECTION
N.T.S.

1. PAVEMENT THICKNESS, SUBGRADE PREP, ETC. DETERMINED FROM GEOTECHNICAL REPORT PERFORMED BY XXXXXXXX DATED XX/XX/XX. REFER TO REPORT FOR ALL INFORMATION RELATED TO PAVING.
 2. SEE PAVING NOTES ON THE GENERAL NOTES SHEET FOR PRIME COAT AND TACK-COAT REQUIREMENTS.

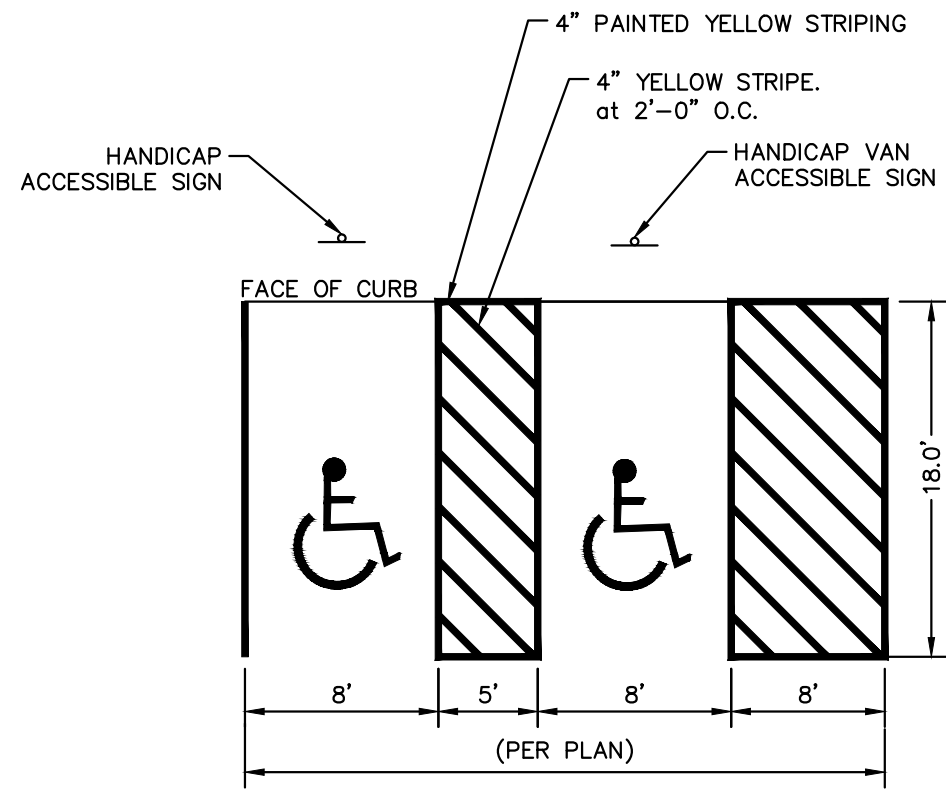
HEAVY DUTY CONCRETE PAVEMENT SECTION
N.T.S.



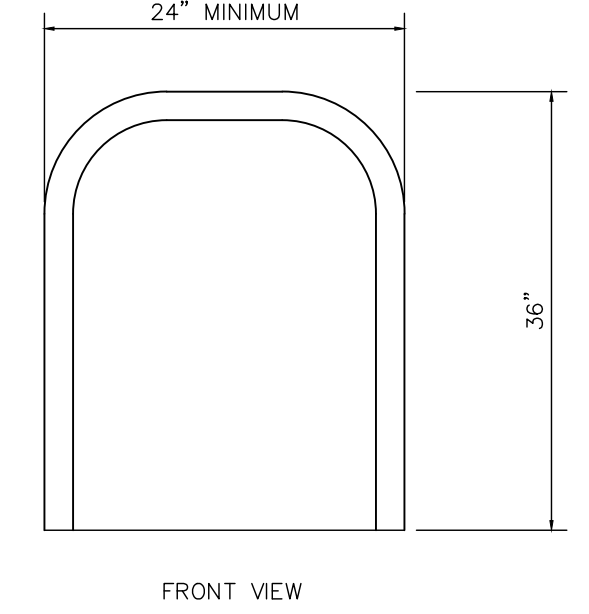
STANDARD DUTY ASPHALTIC PAVEMENT SECTION
N.T.S.

1. PAVEMENT THICKNESS, SUBGRADE PREP, ETC. DETERMINED FROM GEOTECHNICAL REPORT PERFORMED BY XXXXXXXX DATED XX/XX/XX. REFER TO REPORT FOR ALL INFORMATION RELATED TO PAVING.
 2. SEE PAVING NOTES ON THE GENERAL NOTES SHEET FOR PRIME COAT AND TACK-COAT REQUIREMENTS.

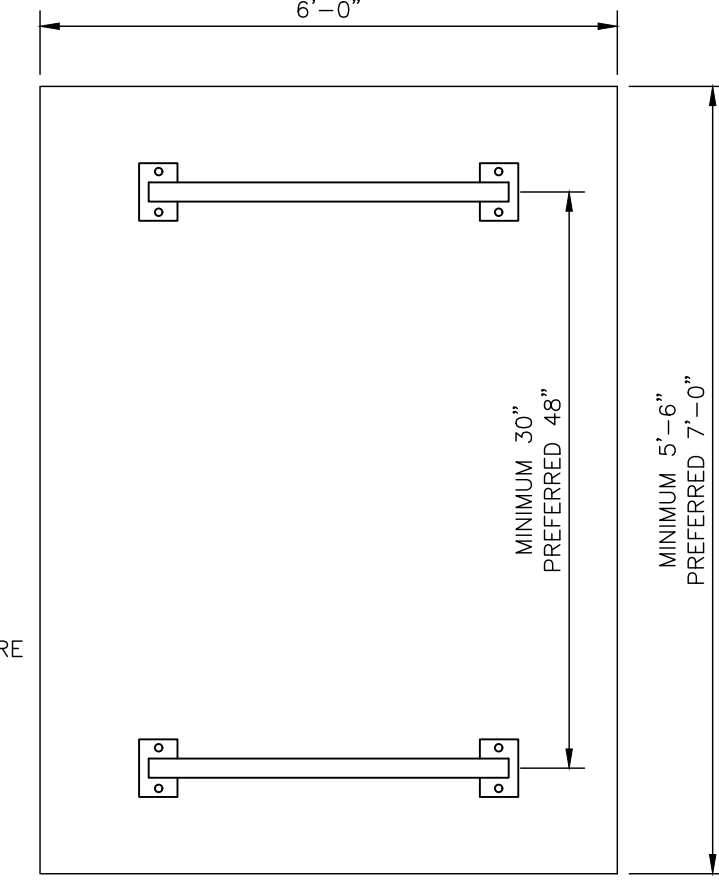
STANDARD DUTY ASPHALTIC PAVEMENT SECTION
N.T.S.



TYPICAL HANDICAP STRIPING
N.T.S.

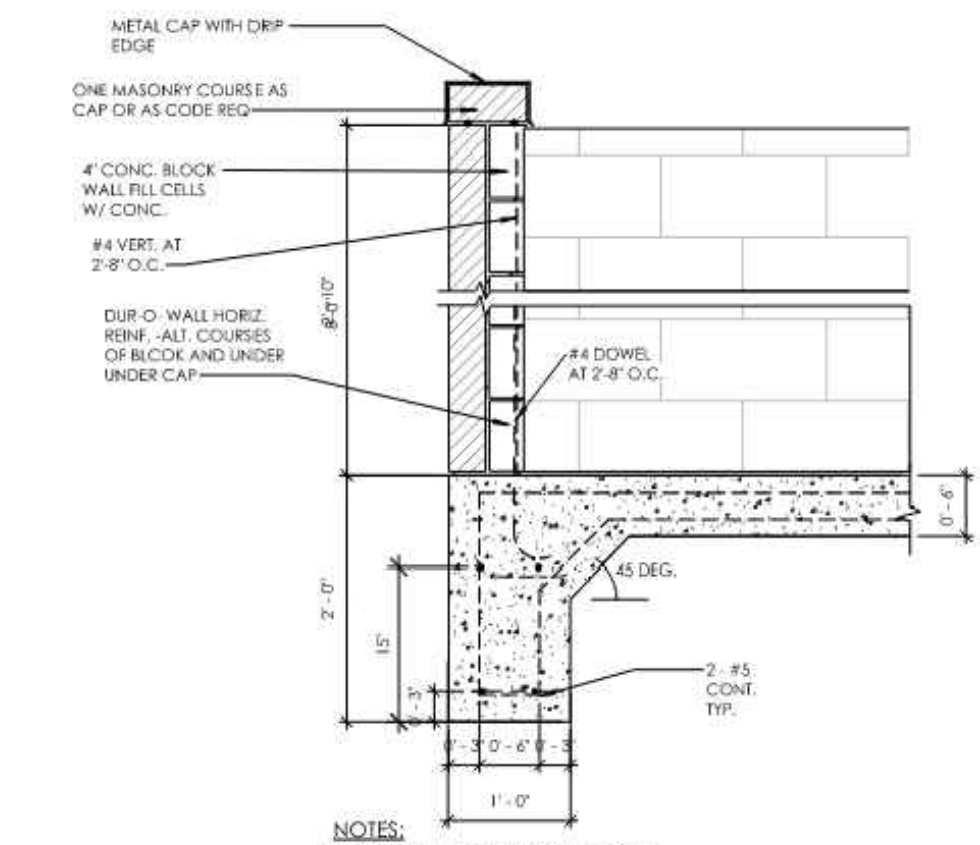


FRONT VIEW



SPACING

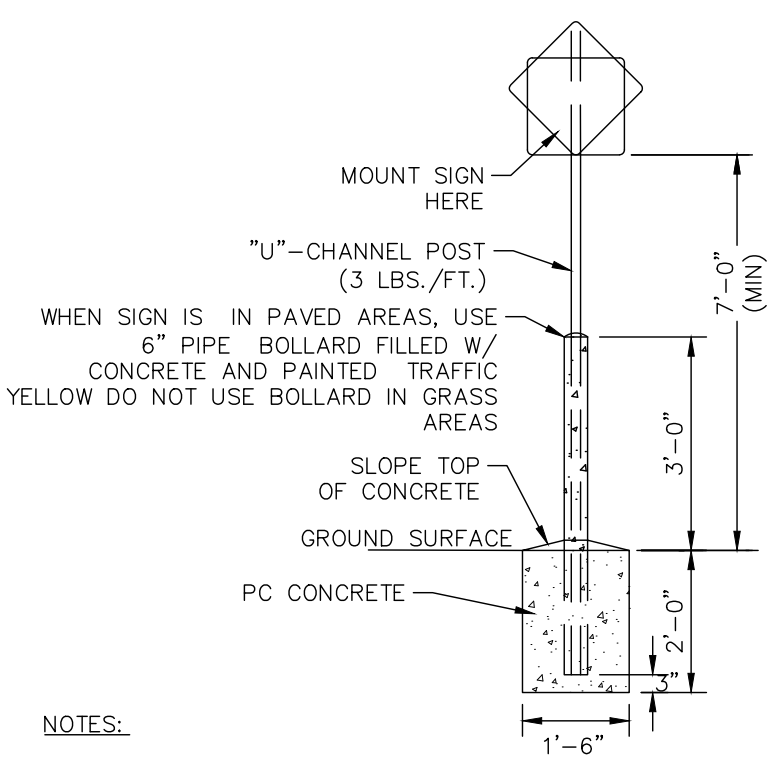
INVERTED "U" BIKE RACK
N.T.S.



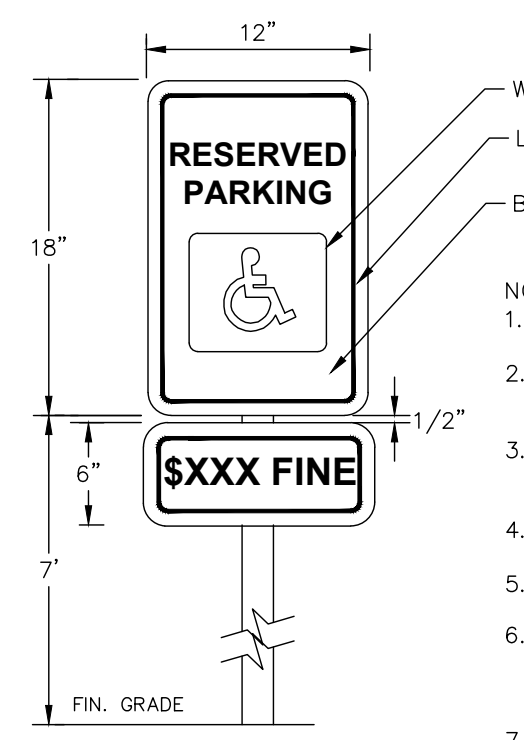
TRASH ENCLOSURE SECTION I
1" = 1'-0"

1. MASONRY VENEER TO MATCH BUILDING.
 2. 4" CONC. SLAB W/6X6 W2XKWL2.5 W.W.F.
 3. TYP. WALL F.T.C. 12" X 12" CONG. W/2X2.5 BOT. REIN.
 4. 4" CONC. APRON W/4X4 BASE 4" O.C. BOTH WAYS.
 5. FOR FLAT FINISHED GRADES, SEE GRADING PLAN.
 6. ALL STEEL AND ALUMINUM FINISHES ARE TO BE PAINTED TO MATCH BUILDING COLOR.
 7. ALL PANEL FOR GATES ARE TO BE THRU BOLTED TO FRAME W/3/8" GALV. BOLTS AND HARDWARE.

TRASH ENCLOSURE SECTION I
1" = 1'-0"



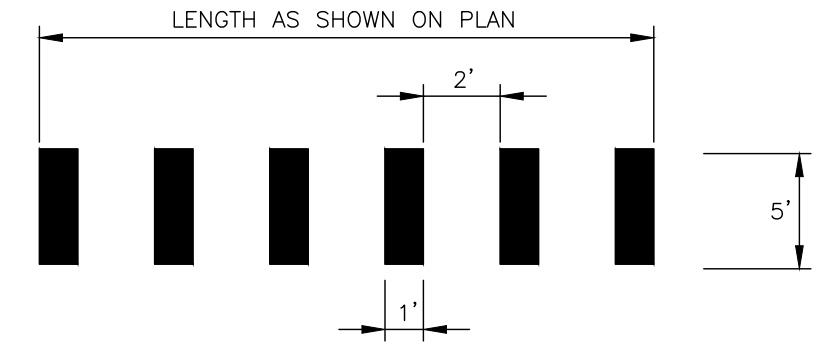
STANDARD SIGN BASE
N.T.S.



ACCESSIBLE PARKING SIGNAGE
N.T.S.

WHITE SYMBOL ON BLUE BACKGROUND
 LEGEND & BORDER: GREEN
 BACKGROUND: WHITE

NOTES:
 1. ALL LETTERS ARE 1" AERIES "C" PER MUTCD.
 2. SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH GREEN REFLECTORIZED LEGEND AND BORDER.
 3. FINE NOTIFICATION SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WITH GREEN LEGEND AND BORDER.
 4. CONTRACTOR SHALL VERIFY FINE AMOUNT.
 5. ONE(1) SIGN REQUIRED FOR EACH PARKING SPACE.
 6. INSTALLED HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 7. ALL ACCESSIBLE FEATURES TO BE IN STRICT ACCORDANCE WITH A.D.A STANDARDS AND LOCAL LAWS.



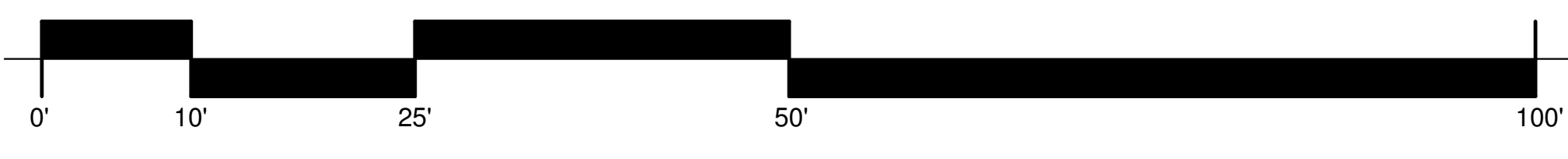
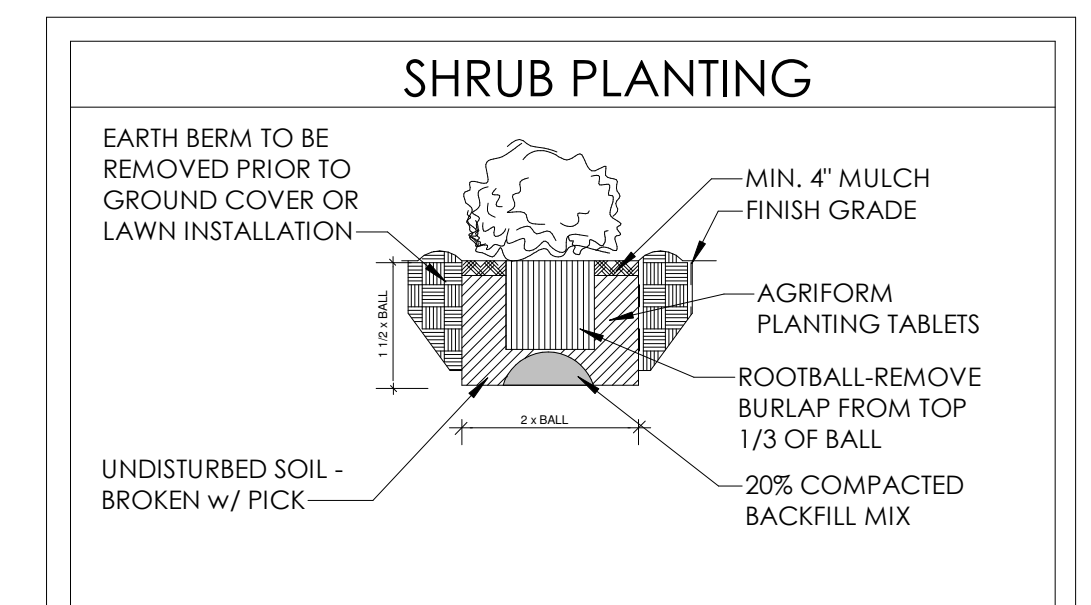
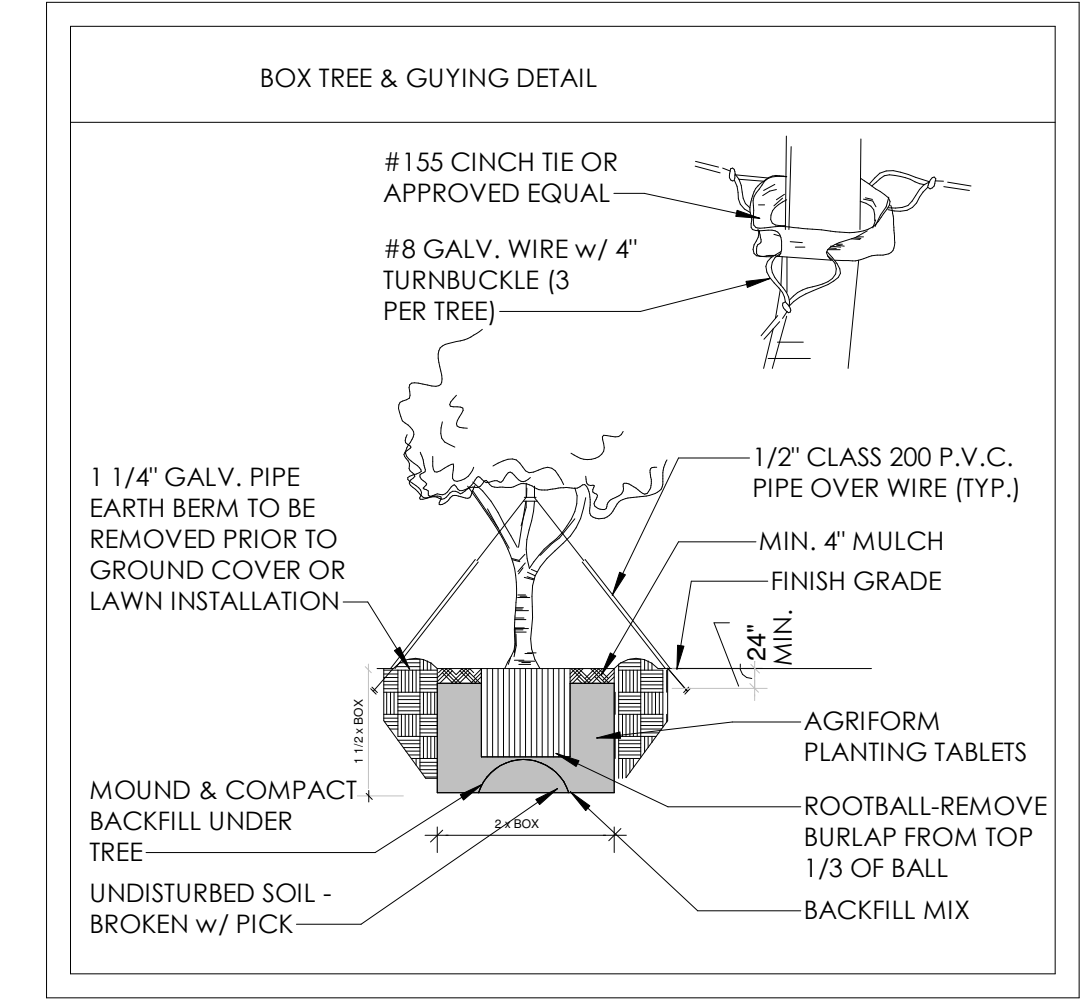
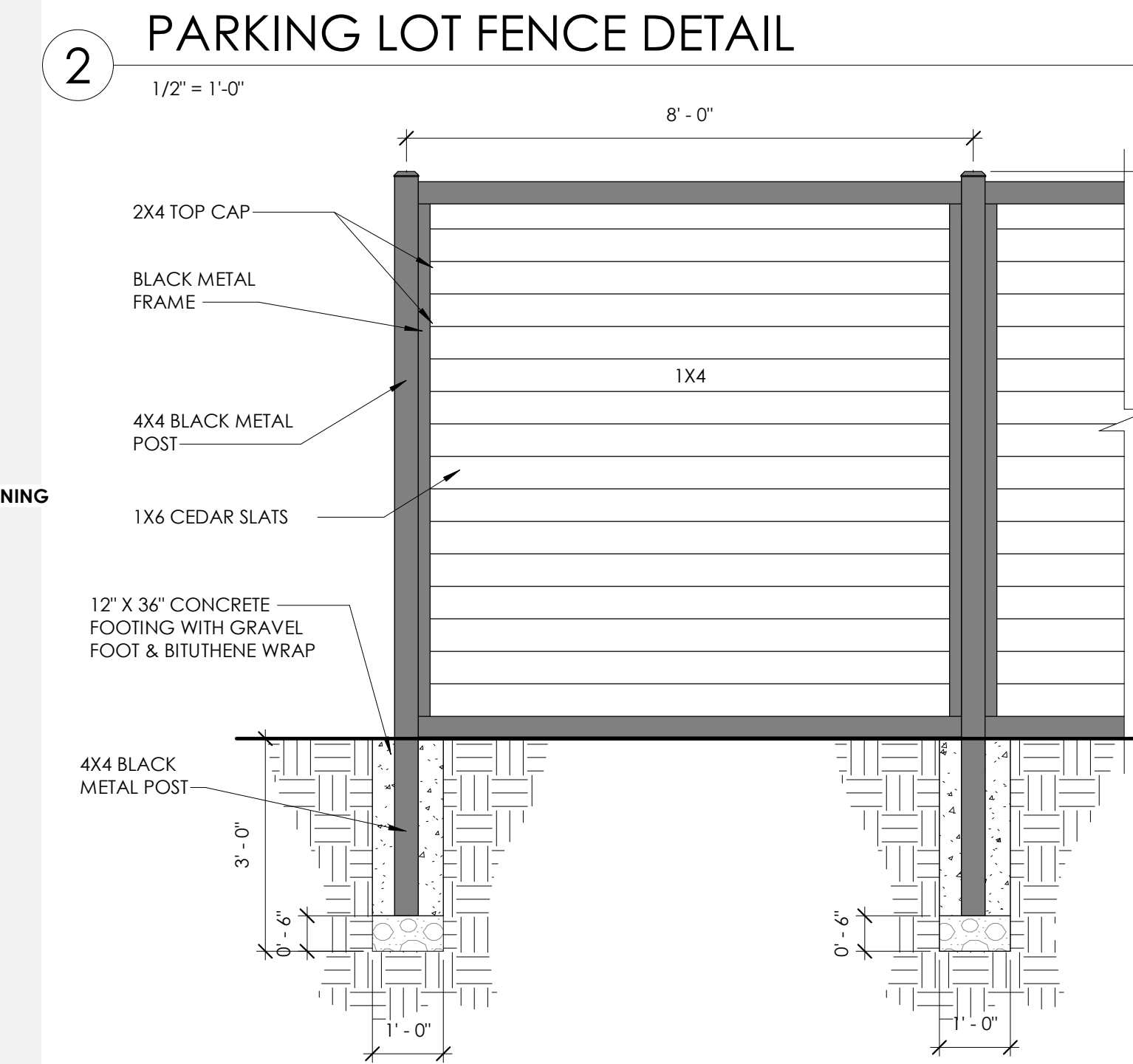
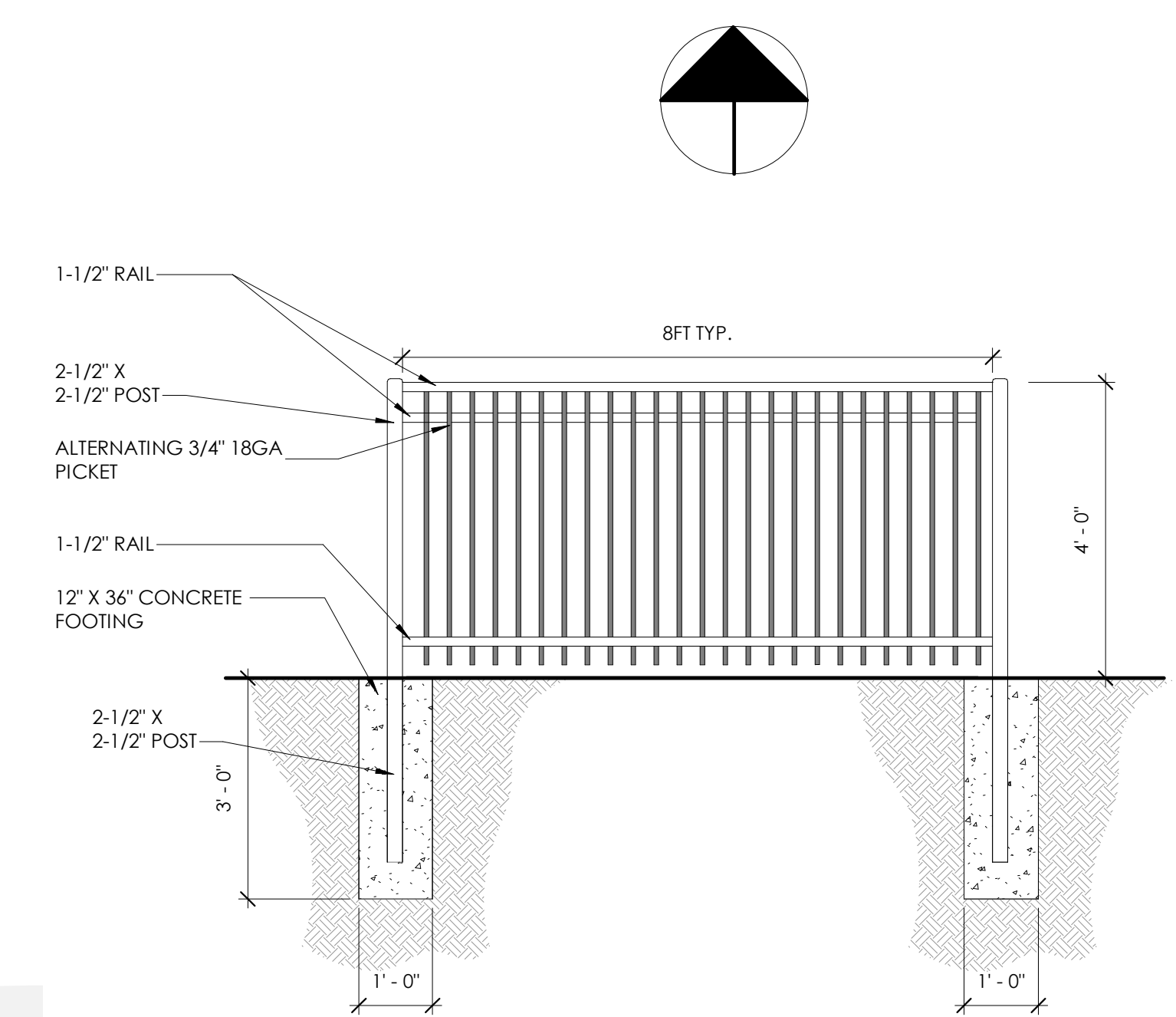
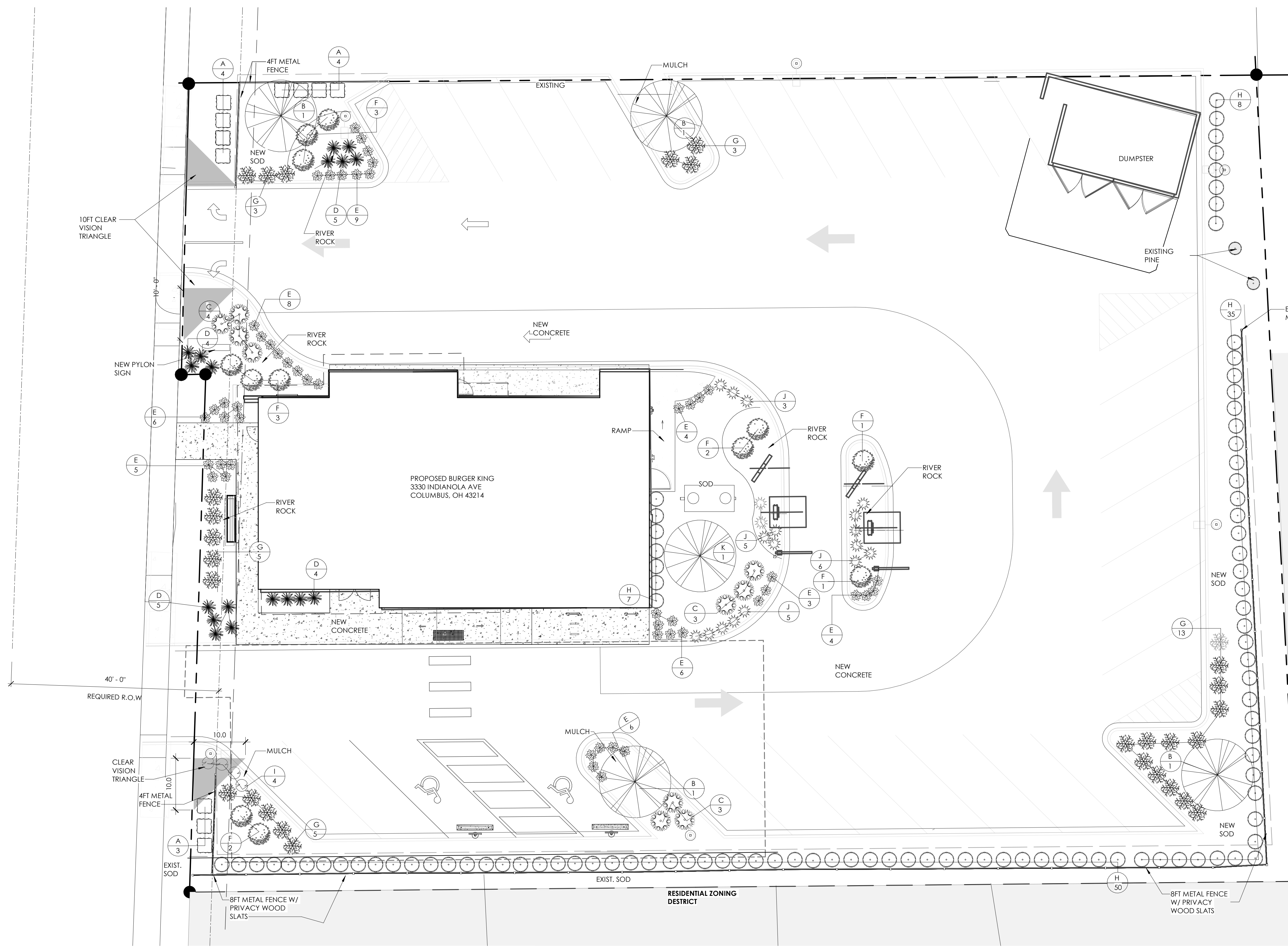
PAINTED CROSS-WALK DETAIL
N.T.S.

STANDARD CONSTRUCTION DRAWINGS

THE STANDARD DRAWINGS LISTED ON THESE PLANS SHALL BE CONSIDERED A PART THEREOF:

CITY OF COLUMBUS
 SCD 2300 – SIDEWALK
 SCD 2319 – CURB RAMPS

DESIGNED BY: SRS	DRAWN BY: DG	CHECKED BY: DDL
CONSTRUCTION DETAILS		
BURGER KING 3330 INDIANOLA AVENUE COLUMBUS, OH 43214		
ORIGINAL ISSUE: 3/31/2022	KHA PROJECT NO. 190059003	
SHEET NUMBER		4
SCALE:	DATE:	BY:
DESIGNED BY: SRS	DATE:	BY:
DRAWN BY: DG	DATE:	BY:
CHECKED BY: DDL	DATE:	BY:
Kimley-Horn & Associates, Inc. © 2022 KIMLEY-HORN AND ASSOCIATES, INC. 7960 SUITE 600 BREIT COLUMBUS, OH 43235 PHONE: 614-454-6699 WWW.KIMLEY-HORN.COM		



1 LANDSCAPE PLAN
1" = 10'-0"

PROPOSED SCOPE OF WORK

- INSTALL NEW FULL LANDSCAPE UPGRADE.
- USE #3 RIVER ROCK IN PLANTING BEDS NEAR BUILDING.
- USE MULCH PLANTING BEDS WHERE NOTED.
- INSTALL SPRINKLERS.
- INSTALL NEW SOD WHERE INDICATED.

KEY	QTY	BOTANICAL NAME	COMMON NAME	MATURE SIZE		TYPE
				HEIGHT	SPREAD	
A	11	BUXUS MICROPHYLLA KOREANA	KOREAN BOXWOOD	3'-4"	3'-4"	POT
B	4	ACER GINNALA	AMUR MAPLE	15'-20'	15'-25'	POT
C	10	HYDRANGEA MICROPHYLLA BAILMER	HYDRANGEA ENDLESS SUMMER	3'-5"	3'-5"	POT
D	22	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	3'-5"	2'-5"	POT
E	45	HOSTA SPECIES	HOSTA	24"-30"	24"-30"	POT
F	12	BERBERIS THUNBERGI	BARBERRY CRIMSON PYGMY	2'-3"	2'-3"	GAL
G	29	HEMEROCALLIS 'PARDON ME'	PURPLE FLOWERING DAYLILY	3'-4"	3'-4"	POT
H	100	THUJA OCCIDENTALIS	ARBORVITAE-PYRAMIDALIS	12'-25"	3'-6"	POT
I	4	SPIREA JAPONICA	GOLDEN SPIREA	2'-3"	2'-3"	POT
J	19	LAVANDULA ANGSTIFOLIA 'HIDCOTE'	ENGLISH LAVENDER	24"-30"	24"-30"	POT
K	1	FLOWERING DOGWOOD	DOGWOOD	15'-30"	15'-25"	POT

LANDSCAPE NOTES

PROPOSED LANDSCAPE

- INSTALLATION OF ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS AND WITH THE SPECIFICATIONS SET FORTH BY THE CITY OF COLUMBUS.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN THE LANDSCAPING INSTALLED SO THAT IT IS HEALTHY, NEAT AND ORDERLY IN APPEARANCE AND IS FREE FROM REFUSE AND DEBRIS.
- ALL PLANTINGS SHALL BE COMPLETED WITHIN THREE (3) MONTHS, AND NO LATER THAN NOVEMBER 30, FROM THE DATE OF ISSUANCE OF A CERTIFICATE OF OCCUPANCY IF SUCH CERTIFICATE IS ISSUED DURING THE APRIL 1 - SEPTEMBER 30 PERIOD; THE CERTIFICATE IS ISSUED DURING THE OCTOBER 1 - MARCH 31 PERIOD; PLANTING SHALL BE COMPLETED NO LATER THAN THE ENDING MAY 31; PLANTINGS SHALL THEREAFTER BE REASONABLY MAINTAINED, INCLUDING PERMANENCE AND HEALTH OF PLANT MATERIALS TO PROVIDE A SCREEN TO ADJUTING PROPERTIES AND INCLUDING THE ABSENCE OF WEEDS AND REFUSE.
- ALL PLANTING BEDS TO BE FILLED WITH FOUR INCHES (4") OF RIVER ROCK, PLANTING BEDS TO HAVE ONE-EIGHTH BY FOUR INCH (1/8"x4") BLACK ANODIZED PERMA-LOC ALUMINUM EDGING, OR APPROVED EQUIVALENT, ON BORDERS.
- DIG SHRUB PITS ONE FOOT (1') LARGER THAN THE SHRUB ROOTBALL, TREE PITS TWO FOOT (2') THAN TREE ROOTBALLS AND BACKFILL WITH ONE (1) PART TOP SOIL AND ONE (1) PART SOIL FROM EXCAVATED PIT. REMOVE TWINE AND WIRE FROM ROOTBALL AND PLANT TOPS.
- ORGANIC FRIABLE TOPSOIL SHALL BE EVENLY DISTRIBUTED AND FINE GRADED OVER ALL AREAS TO RECEIVE LAWNS AT UNIFORM DEPTH OF FOUR INCHES AFTER SETTLEMENT.
- ALL NEW LAWN AREAS SHALL BE SODDED WITH A GRADE A SOD PLANTED OVER THE TOPSOIL.
- TREES IN LAWN AREAS TO HAVE A THREE FOOT (3') CIRCLE OF MULCH SIX INCHES (6") DEEP, (HARDWOOD - NATURAL DARK BROWN).
- TOPSOIL SHALL BE FERTILE, FRIABLE, AND REPRESENTATIVE OF PRODUCTIVE SOIL, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH AND SHALL BE DARK ORGANIC NATURAL SURFACE SOIL, EXCLUSIVE OF PEAT, MUCK, AND/OR DARK BROWN OR BLACK LOAM, CLAY LOAM, SILT LOAM, OR SANDY LOAM.
- REQUIRED LANDSCAPE MATERIAL SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS AND BE:

MATERIALS:

- * PLANT MATERIAL SIZES (MINIMUM)
- EVERGREEN TREES..... 6' MIN. HEIGHT
- DECIDUOUS TREES..... 2 1/2" CALIPER
- SMALL DECIDUOUS TREES..... 1 3/4" CALIPER
- LARGE EVERGREEN SHRUBS..... 2'-3' HEIGHT
- DECIDUOUS SHRUBS..... 2'-3' SPREAD
- EVERGREEN SHRUBS..... 18" - 24" SPREAD
- GROUND COVER..... 18" - 24" SPREAD

GENERAL:

- ALL LANDSCAPED AREAS SHALL BE EXCAVATED OF ALL BUILDING MATERIAL AND DEBRIS TO A MINIMUM DEPTH OF EIGHTEEN INCHES (18") AND BACKFILLED WITH A MEDIUM TEXTURED PLANTING SOIL. ALL LANDSCAPED AREAS ARE TO HAVE MINIMUM SIX INCHES (6") OF TOPSOIL AND ARE TO BE CROWNED A MINIMUM SIX INCHES (6") HIGHER THAN ADJACENT CURBS AND SIDEWALKS.
- ALL WRITTEN DIMENSIONS OVERRIDE SCALE DIMENSIONS ON PLAN.
- REPORT ALL CHANGES, SUBSTITUTIONS, OR DELETIONS TO THE ARCHITECT.
- ALL BIDDERS MUST INSPECT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- ALL SPECIFICATIONS SUBJECT TO CHANGE DUE TO EXISTING SITE CONDITIONS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIAL.
- DO NOT PLANT DECIDUOUS OR EVERGREEN TREES DIRECTLY OVER UTILITY LINES. MAINTAIN A FIVE FOOT (5') DISTANCE FROM CENTER OF UTILITIES FOR PLANTING HOLES. CALL MISS DIG FORTY-EIGHT (48) HOURS PRIOR TO LANDSCAPE CONSTRUCTION FOR FIELD LOCATION OF UTILITY LINES.
- MEASUREMENT AND QUANTITIES ARE ESTIMATES ONLY AND CONTRACTOR IS RESPONSIBLE FOR HIS/HER OWN QUANTITIES. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR 100% OF SOD REQUIRED INCLUDING AREAS IN R.O.W.
- THE INSTALLATION OF SPRINKLERS ARE REQUIRED TO ENSURE THE MAINTENANCE OF ALL LANDSCAPING LOCATED IN PERMANENTLY IMPROVED FRONT YARDS.
- G.C. TO PROVIDE IRRIGATION. IRRIGATION TO BE DESIGNED BY OTHER. RAIN SENSOR & TIMER AS PART OF SPRINKLER SYSTEM DESIGN.

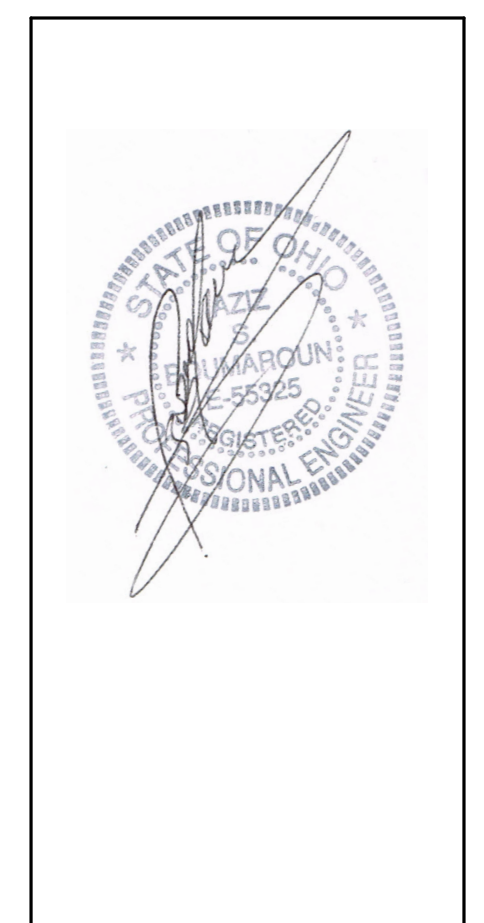
NO.	DATE	BY	REVISION
1	10.22.21	RT	FOR PERMITAL CITY
2	11.30.21	RT	FOR PLANNING REVISION

DRAWN BY: RT
CHECKED: DB
SCALE: AS NOTED
DATE: 09.22.21

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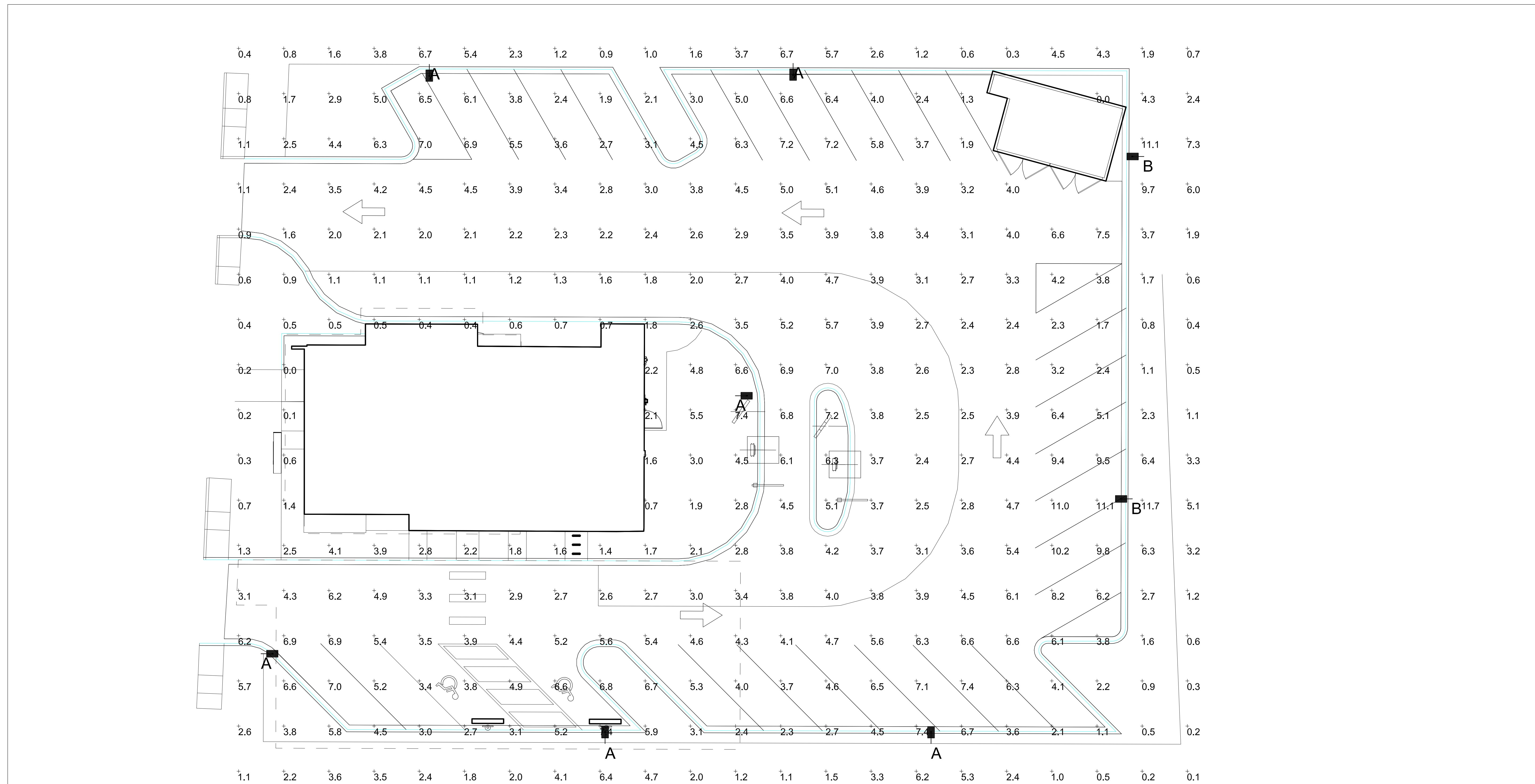
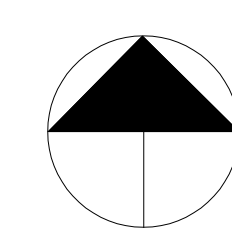


TECHNICAL GROUP, Inc. 1000 W. WASHINGTON HILLS, MI 48333
P: (248) 424-8000 F: (248) 424-7004



PROJECT: 3330 INDIANOLA AVE. COLUMBUS, OH 43214
SHEET TITLE: LANDSCAPING PLAN
JOB#: TG-21666
SHEET: LS-1

DO NOT SCALE THIS PRINT. USE FIGURED DIMENSIONS ONLY.



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CALCULATION POINTS@ GRADE	Illuminance	Fc	3.61	11.7	0.0	N.A.	N.A.
PARKING & DRIVING SUMMARY	Illuminance	Fc	4.26	11.1	1.1	3.87	10.09

Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts
■	6	A	SINGLE	SLM-LED-18L-SIL-FT-60-70CRI-SINGLE-18" POLE+2' BASE	1,000	1,000	1,000	18904	135
■	2	B	SINGLE	SLM-LED-18L-SIL-FT-60-70CRI-SINGLE-12" POLE+2' BASE	1,000	1,000	1,000	18904	135

**PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION**

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents Illuminance levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamp/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts
Total Watts = 1080

LIGHTING PROPOSAL LO-154538-2

3330 INDIANOLA AVE
COLUMBUS, OH 43214

BY: SAHMYE DATE: 3/20/21 REV: 3/23/21 SHEET 1 OF 1

SCALE: 1"=10'

NO.	DATE	BY	REVISION
1	10/21	RT	FOR SUBMITTAL TO CITY
2	11/30/21	RT	FOR PLANNING REVIEW

DRAWN BY: RT
CHECKED: DB
SCALE: AS NOTED
DATE: 09.22.21



TECHNICAL GROUP, Inc.
37716 HILLS TECH DRIVE
COLUMBUS, OH 43233
PH: (614) 422-8000
F: (614) 422-7004



PROJECT
3330 INDIANOLA AVE
COLUMBUS, OH 43214

SHEET TITLE
SITE LIGHTING

DO NOT SCALE THIS
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DIMENSIONS ONLY

JOB#
TG-21666

SHEET
SL-1