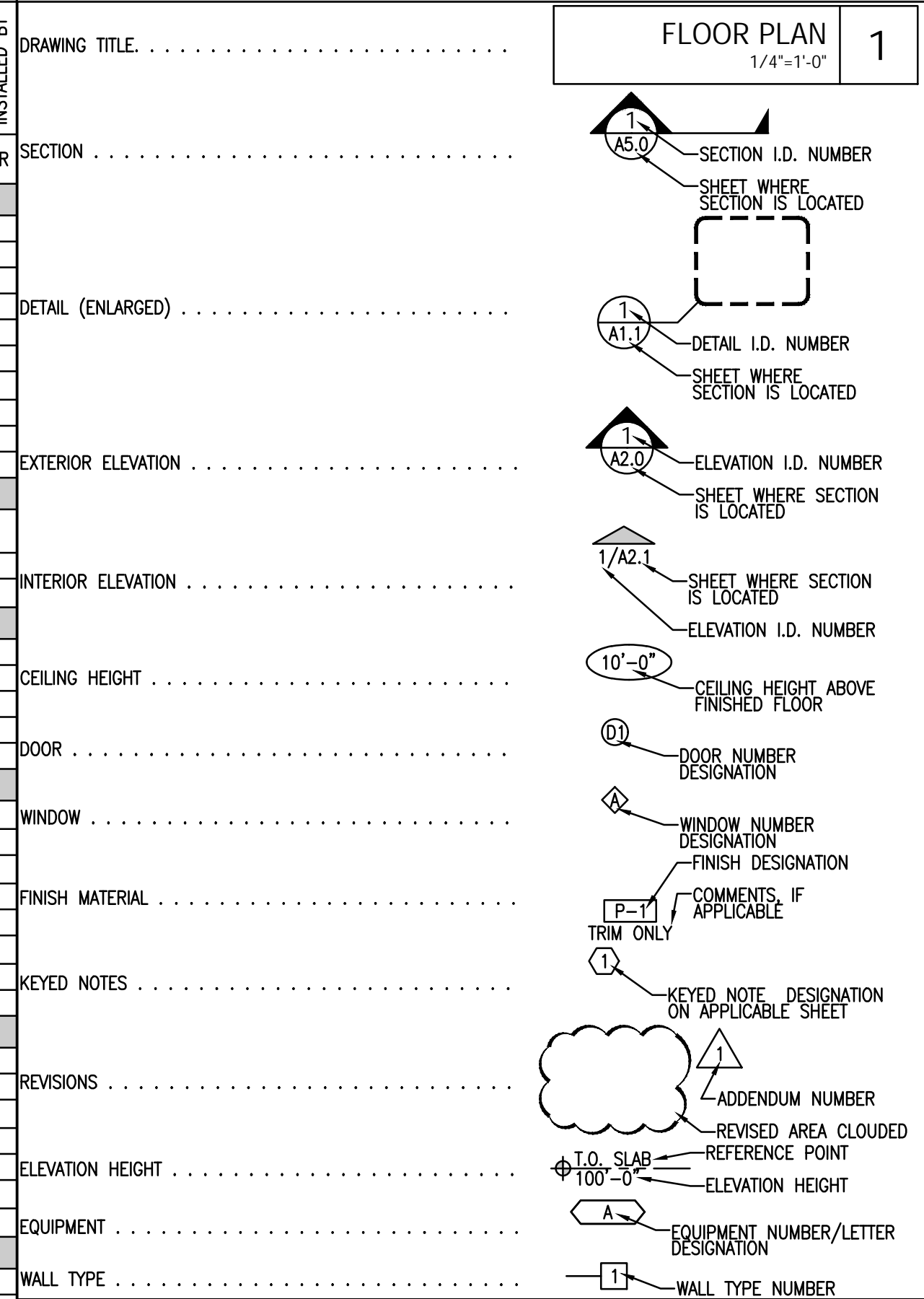


RESPONSIBILITY SCHEDULE

Table with columns for 'DOES NOT APPLY', 'EXISTING', 'SUPPLIED BY', 'INSTALLED BY', 'OWNER'. Rows include categories like FLOOR WORK AND DEMOLITION, FLOOR COVERING, INTERIOR PARTITIONS AND FURRING, etc.

SYMBOL LEGEND

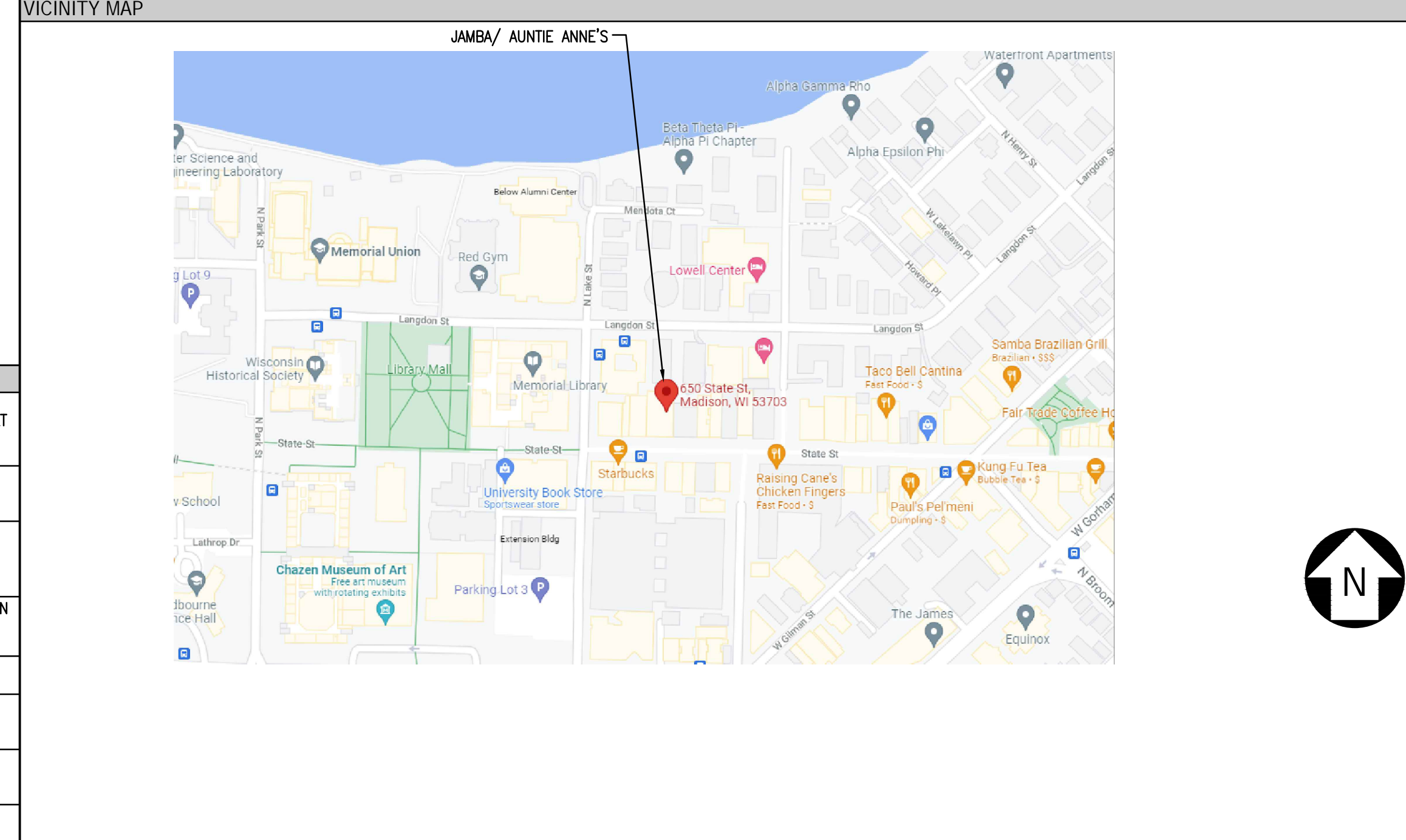


GENERAL PROJECT NOTES:

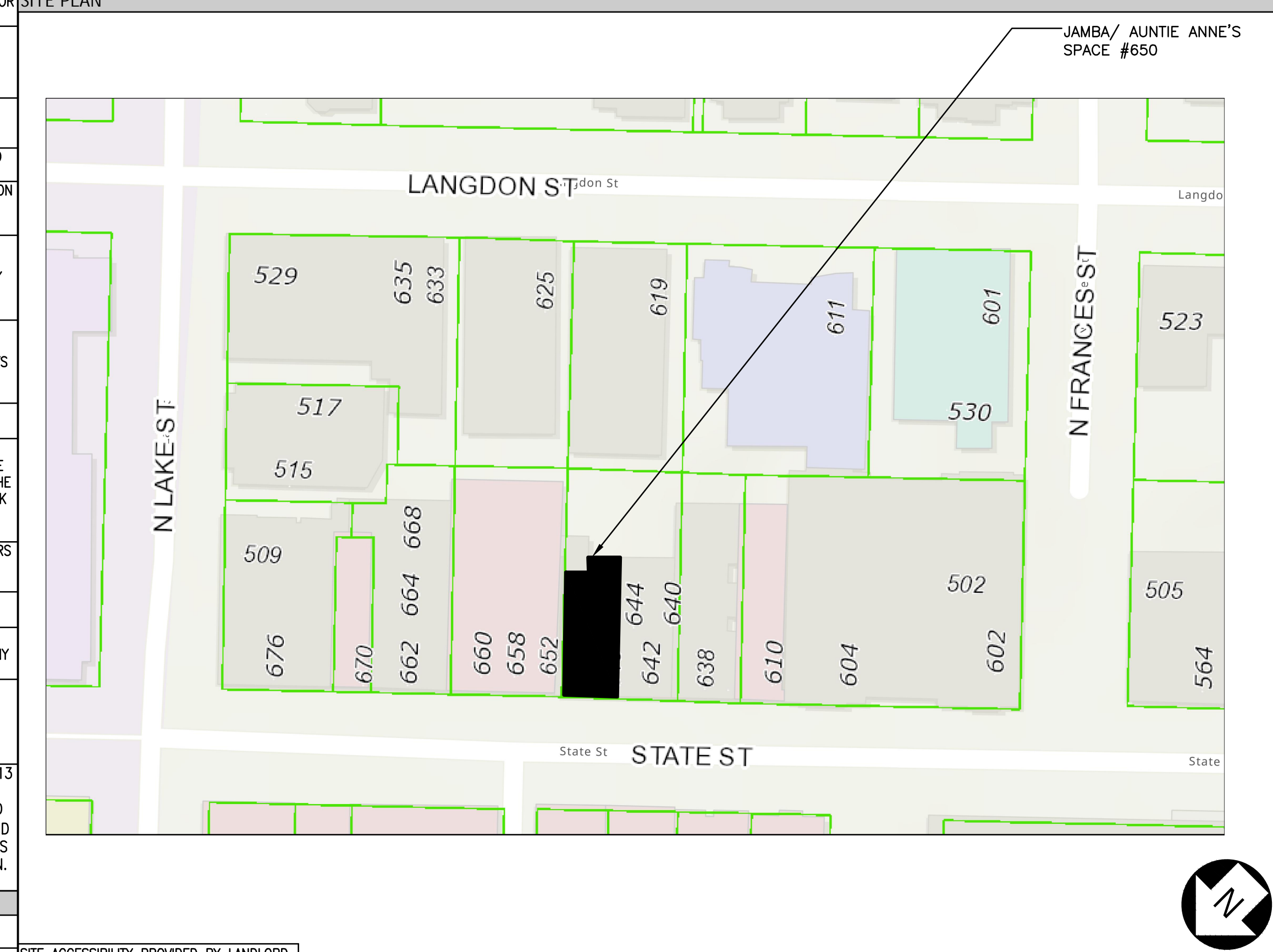
- 1 APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF PLANS ON THE PREMISES IN GOOD CONDITION AT ALL TIMES. THIS SHALL INCLUDE ALL ADDENDA AND CHANGE ORDERS.
2 THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS AND OWNER.
3 THE CONTRACTOR TO REFER TO THESE DOCUMENTS AND SPECIFICATIONS FOR IDENTIFICATION OF ALL GENERAL CONTRACTOR ITEMS NOT MARKED 'BY OWNER' OR 'N.L.C.' (NOT IN CONTRACT) ARE TO BE SUPPLIED BY GENERAL CONTRACTOR. UNLESS NOTED OTHERWISE, ALL ITEMS ARE TO BE INSTALLED BY GENERAL CONTRACTOR.
4 THE TERM 'WORK' AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.
5 BEFORE SUBMITTING A BID, THE CONTRACTOR SHALL VISIT THE PREMISES AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND THE EXTENT OF WORK REQUIRED TO COMPLETE THE PROJECT.
6 BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT, IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK AND SHALL BE RESPONSIBLE FOR SAME.
7 IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
8 THE ARCHITECT SHALL BE AVAILABLE TO VISIT THE SITE WHEN REQUESTED. IF A CONDITION EXISTS THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ENGINEERS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT.
9 CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL INSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN. BEFORE COMMENCING WORK NOT SHOWN IN DOCUMENTS, BUT REQUIRED TO ACHIEVE FULL COMPLIANCE WITH CODES, CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT.
10 THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.
11 CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND SAFETY PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.
12 DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
13 OWNER SHALL PAY ALL TAXES, SECURE BUILDING PERMIT AND PAY ALL FEES INCURRED IN THE COMPLETION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO BUILDING PERMITS, WATER, ELECTRIC AND TELEPHONE SERVICE CONNECTION, CERTIFICATE OF OCCUPANCY SURVEY'S AND INSPECTIONS.
14 SCOPE OF WORK. THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO SITE WORK, ARCHITECTURAL, ELECTRICAL, PLUMBING AND HVAC.
15 THE BID PRICES SHALL INCLUDE EVERYTHING NECESSARY OR PROPER FOR PERFORMING AND COMPLETING THE WORK REQUIRED AS INDICATED BY THE PLANS AND SPECIFICATIONS, TO PROVIDE FINISHED WORK. ANYTHING OMITTED THEREFROM WHICH IS CLEARLY NECESSARY FOR THE COMPLETION OF THE WORK OR ITS APPURTENANCE SHALL BE CONSIDERED A PORTION OF THE WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS.
16 INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE CONTRACTOR.
17 GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS, AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.
18 PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIAL USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES.
19 CONTRACTOR IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES.
20 THE TERM 'CONTRACTOR' AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUBCONTRACTORS. THE OWNER MAY ELECT TO CONTRACT DIRECTLY WITH A SUBCONTRACTOR FOR ANY PART OF THE WORK.
21 CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF WORK TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES. NOTIFY ARCHITECT IMMEDIATELY IF CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND NEW CONSTRUCTION. PATCH, REPAIR AND/OR REPLACE ALL ADVERSELY AFFECTED FINISHES AND SURFACES AS REQUIRED. UPON COMPLETION OF CONSTRUCTION, ALL PARKING AREA PAVEMENT AND NEW CONCRETE PADS SHALL TRANSITION SMOOTHLY.
22 GENERAL CONTRACTOR TO MODIFY EXISTING FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13 PER THE REQUIREMENTS OF SECTION 903.3.1.1 AND 2012 IBC SEC. 903.2. AND 907.2. FIRE SPRINKLER CONTRACTOR IS TO SUBMIT COMPLETE SHOP DRAWINGS, LAYOUT AND RELATED DATA TO ARCHITECT/OWNER FOR APPROVAL FIRST AND PRIOR TO SUBMISSION TO BUILDING DEPARTMENT AND FIRE MARSHAL FOR APPROVAL PRIOR TO INSTALLATION. ANY REVISIONS TO SPRINKLER DRAWINGS AS A RESULT OF SUCH SUBMISSION SHALL FURTHER BE APPROVED BY OWNER PRIOR TO FABRICATION. AUTOMATIC FIRE SPRINKLER SYSTEM DESIGN WILL BE SUBMITTED UNDER A SEPARATE PERMIT.
23 HANDICAPPED ACCESSIBILITY NOTES:
1 THIS PROJECT SHALL COMPLY WITH ALL FEDERAL AMERICANS WITH DISABILITY ACT REGULATION AND ALL LOCAL ACCESSIBILITY REGULATIONS. REF: A0.1 FOR ADDITIONAL INFORMATION.

JAMBA Auntie Anne's logo and address: 650 STATE STREET MADISON, WI

LIST OF CONTACTS table with columns: OWNER/TENANT, TENANT'S ARCHITECT, TENANT'S ENGINEER, LANDLORD, VICINITY MAP.



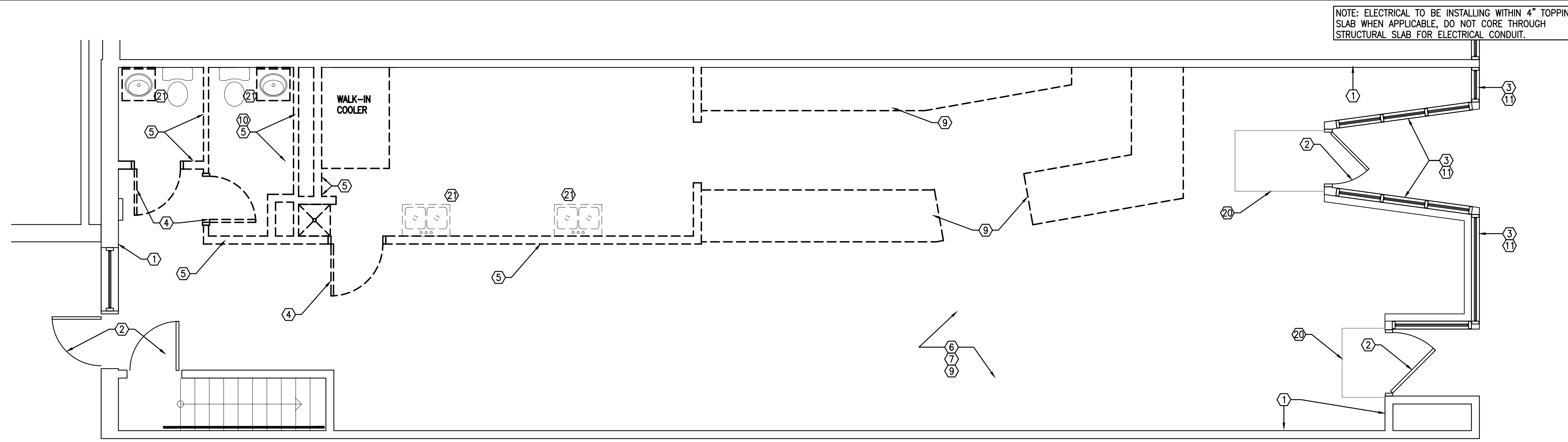
SCOPE OF WORK
TENANT FINISH OUT OF AN EXISTING LEASE SPACE INCLUDE BASEMENT. IMPROVEMENTS SHALL INCLUDE COMPLETE FINISH OUT OF THE INTERIOR TO INCLUDE NEW NON-LOAD BEARING WALLS, CEILING, FLOOR FINISHES, MILLWORK, SEATING AND MECHANICAL, ELECTRICAL AND PLUMBING.



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MADISON, WI

SHEET INDEX table listing sheet numbers (T1.0, D1.0, A0.1, etc.) and descriptions (COVER SHEET, DEMOLITION PLAN, ACCESSIBILITY GUIDELINES, etc.).

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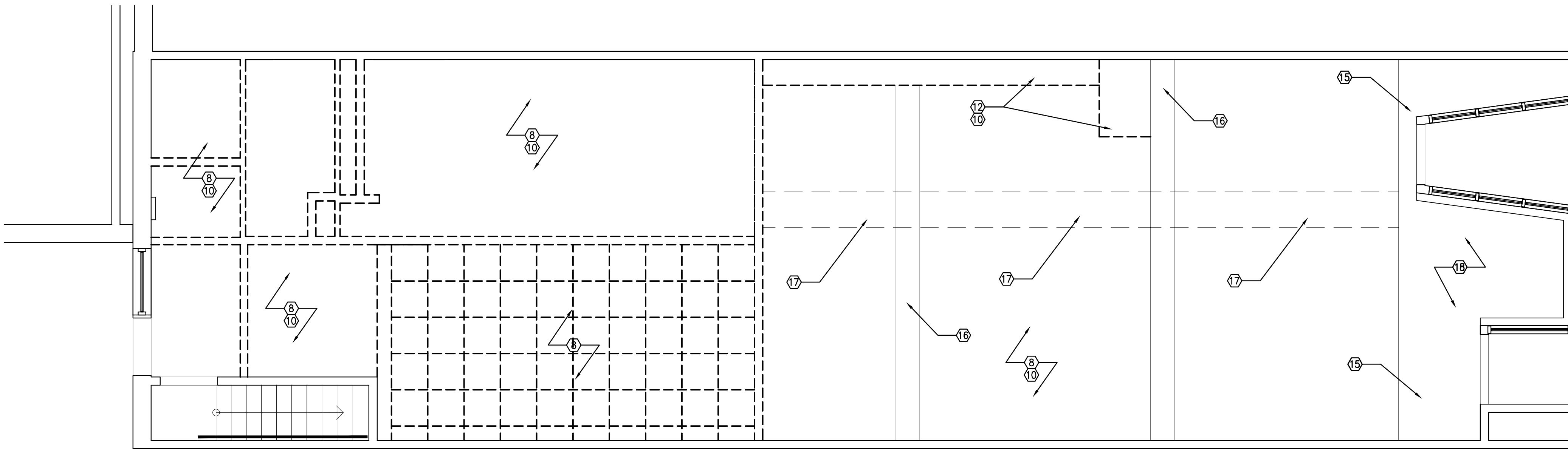


DEMOLITION FLOOR PLAN
1/4"=1'-0"

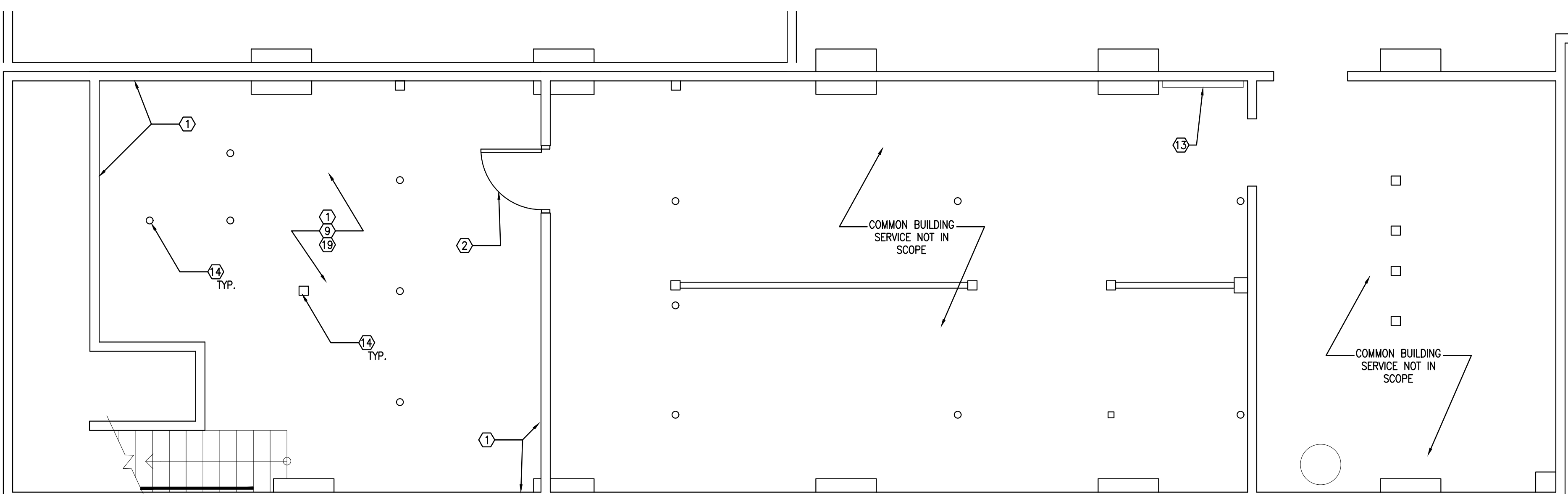
- GENERAL NOTES**
- 1 CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND TO NOTIFY OWNER OF ANY DISCREPANCIES.
 - 2 CONTRACTOR SHALL NOT DEMOLISH ANY LOAD BEARING WALLS OR CONSTRUCTION THAT WILL COMPROMISE THE STRUCTURAL INTEGRITY OF THE STRUCTURE. NOTIFY OWNER OF ANY STRUCTURAL ISSUES ARISING FROM DEMOLITION.
 - 3 REMOVE AND CAP ALL EXISTING FLOOR POWER AND COMMUNICATION OUTLETS THROUGHOUT PER ELECTRICAL CODE REQUIREMENTS.
 - 4 REMOVE AND CAP ALL EXISTING ELECTRICAL CONDUIT THROUGHOUT PER ELECTRICAL CODE REQUIREMENTS.
 - 5 SAW CUT EXISTING CONCRETE SLAB FOR ELECTRICAL OUTLETS.
 - 6 CORE DRILL EXISTING CONCRETE SLAB FOR PLUMBING WORK. COORDINATE PLUMBING REMOVAL AND RELOCATION WITH PLUMBING DRAWINGS.
 - 7 CORE DRILL EXISTING CONCRETE SLAB TO INSTALL UNDER SLAB PIPING.
 - 8 COORDINATE REMOVAL OF MECHANICAL EQUIPMENT WITH NEW WORK AND MECHANICAL DRAWINGS.
 - 9 WHERE PARTITION DEMOLITION OCCURS ADJACENT TO EXISTING TO REMAIN, PATCH AND REPAIR ADJACENT CONDITIONS FOR FINAL STORE FINISHES.
 - 10 ITEMS DAMAGED DURING DEMOLITION BEYOND SCOPE OF DEMOLITION REQUIREMENTS SHALL BE REPAIRED OR REPLACED TO LIKE NEW CONDITION AT NO ADDITIONAL COST TO OWNER.
 - 11 PRIOR TO ANY DEMOLITION, ENTIRE FOOD SERVICE AREA MUST BE SERVICED BY A NY LICENSED PEST CONTROL COMPANY - PROVIDE DOCUMENTATION OF THIS SERVICE AT THE FINAL INSPECTION.

- SHEET SYMBOLS**
- EXISTING WALL/FIXTURE TO BE REMOVED, (U.O.N.)
 - EXISTING WALL TO REMAIN

- KEY NOTES**
- EXISTING DEMISING/ EXTERIOR WALL TO REMAIN. DO NOT DAMAGE EXISTING RATED ASSEMBLY (IF ANY, V.I.F.). PATCH/ REPAIR AS REQ'D TO MAINTAIN FIRE RATING (IF ANY, V.I.F.), AND WHERE DAMAGED FROM PREVIOUS TENANT'S CONSTRUCTION. PREPARE AS NECESSARY TO RECEIVE NEW FINISHES.
 - EXISTING DOOR(S) TO REMAIN
 - EXISTING STOREFRONT TO REMAIN
 - REMOVE EXISTING DOOR AND FRAME
 - REMOVE EXISTING PARTITION
 - REMOVE EXISTING FLOOR FINISH AND BASE THROUGHOUT (U.O.N.)
 - REMOVE EXISTING WALL COVERINGS THROUGHOUT (U.O.N.).
 - REMOVE EXISTING CEILING SYSTEM, DUCTS, LIGHT FIXTURES, SUSPENDED SOFFITS THROUGHOUT (U.O.N.). REF: MECHANICAL DRAWINGS FOR SCOPE OF WORK PRIOR TO MECHANICAL DEMO.
 - REMOVE ALL EXISTING EQUIPMENT, MILLWORK FIXTURES AND FURNITURE THROUGHOUT (U.O.N.).
 - G.C. TO REMOVE ANY UNUSED DUCTWORK, CONDUIT, EQUIPMENT, ETC., CLEAN AND PREPARE TO PAINT IN OPEN CEILING LOCATION. REF: MECHANICAL DRAWINGS FOR SCOPE OF WORK PRIOR TO MECHANICAL DEMO.
 - EXISTING WINDOW COVERINGS TO BE REMOVED. G.C SHALL HAVE WINDOWS PROFESSIONALLY CLEANED PRIOR TO TURNOVER.
 - REMOVE EXISTING CEILING SOFFITS
 - REMOVE EXISTING ELECTRICAL PANEL, REFERENCE ELECTRICAL DRAWINGS FOR SCOPE OF WORK.
 - EXISTING COLUMN TO REMAIN
 - EXISTING STOREFRONT GYP. BD. CEILING TO REMAIN.
 - EXISTING BEAMS TO REMAIN. GC TO PROTECT
 - EXISTING SPIRAL DUCT TO REMAIN. GC TO PROTECT
 - REMOVE EXISTING LIGHTING AND PREPARE FOR NEW LIGHT LOCATIONS. REFER TO REFLECTED CEILING PLAN AND ELECTRICAL.
 - EXISTING LIGHTING TO REMAIN. GC TO FIX AND REPLACE BULBS AS REQUIRED
 - EXISTING RAMP TO REMAIN. GC TO PREPARE FOR NEW FLOOR FINISHES.
 - REMOVE EXISTING PLUMBING FIXTURES.



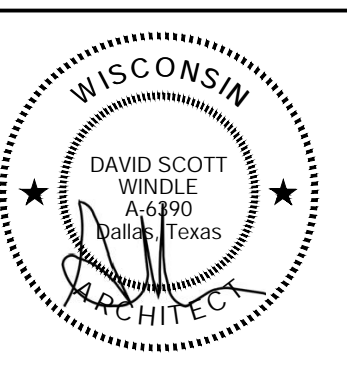
DEMOLITION CEILING PLAN
1/4"=1'-0"



DEMOLITION FLOOR PLAN & CEILING PLAN - BASEMENT
1/4"=1'-0"

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01/31/22

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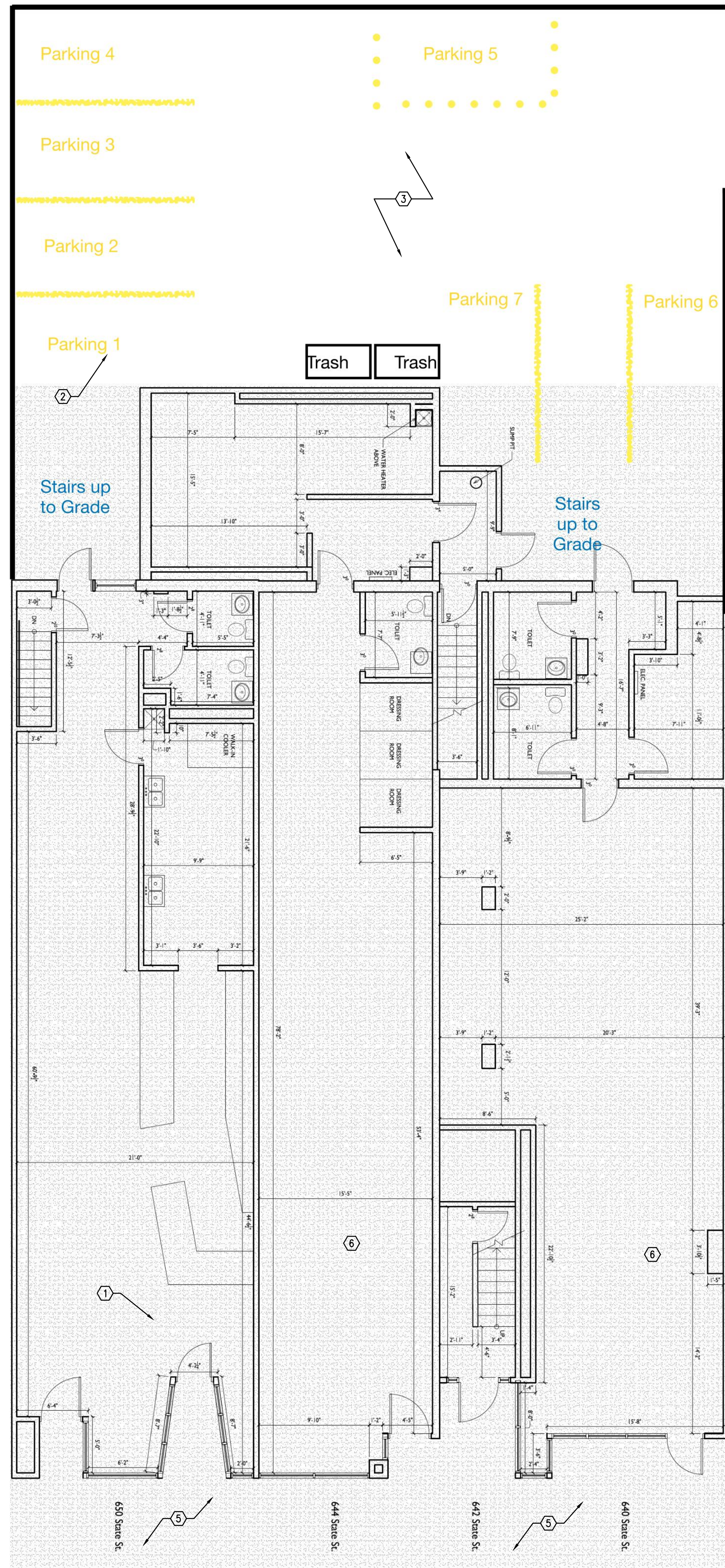


DATE	DESCRIPTION
01.07.22	OWNER REVIEW ISSUE
01.31.22	PERMIT ISSUE

SHEET TITLE:
DEMOLITION PLAN / DEMO CEILING PLAN

SHEET NUMBER:
D1.0

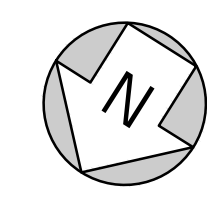
PROJECT NUMBER:
JAJ21024



SERVICE

Egress

STATE STREET



GENERAL NOTES	
1	ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY.
2	GENERAL CONTRACTOR IS TO COORDINATE WITH DRIVE-THRU VENDOR COMPANY TO INSTALL CONCRETE FOOTING FOR ALL SIGNS/MENU BOARDS. FOOTING SHOWN HERE ARE TYPICAL. OBTAIN DRIVE-THRU VENDOR DRAWINGS TO VERIFY PRIOR TO POURING FOOTINGS.
3	GENERAL CONTRACTOR TO COORDINATE ADDITIONAL DIRECTIONAL SIGNAGE AS REQUIRED BY OWNER.
4	THE CONTRACT DOCUMENTS ARE COMPLIMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
5	REFERENCE ELECTRICAL DRAWINGS FOR ELECTRICAL REQUIREMENTS FOR EXTERIOR DRIVE THRU EQUIPMENT/ SIGNS.
KEY NOTES	
1	JAMBA/ AUNTIE ANNE'S SPACE.
2	EXISTING ACCESSIBLE PARKING BY LANDLORD.
3	EXISTING PARKING BY LANDLORD
4	NOT USED
5	EXISTING SIDEWALK.
6	ADJACENT TENANT
7	NOT USED

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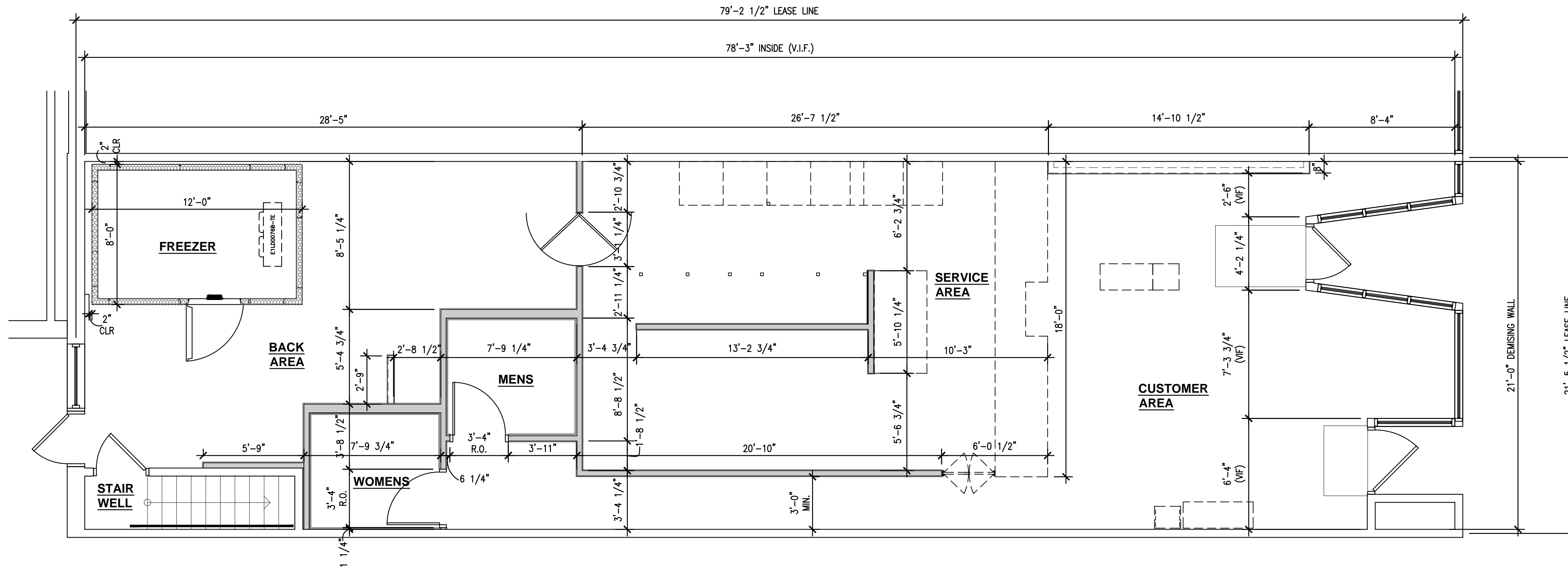


DATE	DESCRIPTION
01.07.22	OWNER REVIEW ISSUE
01.31.22	PERMIT ISSUE

DATE	DESCRIPTION
09.15.21	PORT AUTHORITY COMMENTS

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
A1.0



- GENERAL NOTES**
- DIMENSIONS SHOWN ARE TO FACE OF STUD OR FACE OF EXISTING WALL FINISH, UNLESS OTHERWISE NOTED.
 - START LAYOUT OF STORE FROM BACK OF SPACE TO STOREFRONT UNLESS OTHERWISE NOTED.
 - COORDINATE AND VERIFY ALL DIMENSIONS W/ THOSE INDICATED PRIOR TO INSTALLATION.
 - ALL WALL FINISHES SHALL BE SMOOTH, REMOVE OR RESURFACE TEXTURED WALL SURFACES PRIOR TO APPLYING FINISHES.
 - VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO FRAMING OR PENETRATING SLAB.
 - PROVIDE BLOCKING AND BACKING AS DEFINED IN SPECIFICATION SECTION 06100 IN EXISTING WALLS AND NEW PARTITIONS FOR ALL CASEWORK, SHELVING, COUNTERTOPS, TOILET ACCESSORIES, AND OWNER SUPPLIED EQUIPMENT, SEE WALL BLOCKING PLAN, COORDINATE WITH SHOP DRAWINGS.
 - REFER TO A4.0 DOOR SCHEDULE FOR DOOR AND FRAME TYPES.
 - WHERE EXISTING INSULATION IS REMOVED OR MISSING, PATCH AND REPLACE INSULATION TO MATCH EXISTING CONDITIONS AND MAINTAIN REQUIRED R-VALUES.
 - REFER TO EQUIPMENT SHEETS FOR INFORMATION REGARDING EQUIPMENT AND EQUIPMENT LAYOUT.
 - CORE DRILL EXISTING CONCRETE SLAB TO INSTALL UNDER SLAB PIPING.
 - CORE DRILL LOCATIONS TO BE REVIEWED BY BASE BUILDING STRUCTURAL ENGINEER AT TENANT COST.
 - G.C. MUST HAVE ALL SLABS SCANNED AT CORE LOCATIONS FOR BASE BUILDING STRUCTURAL ENGINEER APPROVAL.
 - ALL EXISTING OR NEW TUBE STEEL OR PIPE COLUMNS IN PUBLIC AREAS TO BE PAINTED AND TO RECEIVE BASE. (U.O.N.) ON PLANS. VERIFY WITH ARCHITECT IF COLUMN CONDITION IS ACCEPTABLE TO REMAIN EXPOSED.
 - MAINTAIN FIRE RESISTANCE RATING (IF ANY, V.I.F.) FOR ALL TENANT DEMISING WALLS.
 - REFERENCE PLUMBING DRAWINGS FOR FLOOR PENETRATION LOCATIONS.
 - ORIENT FLOOR SINKS TO ALIGN W/ ADJACENT PARTITIONS

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01/31/22

- FIRE NOTES**
- CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS PER LOCAL FIRE MARSHALL REQUIREMENTS. PROVIDE A MINIMUM OF ONE 2-10BC EXTINGUISHER NOT TO EXCEED 75 FEET TRAVEL DISTANCE FROM ANY POINT IN THE BUILDING.
 - EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED.
 - EXIT LIGHTING AND SIGNS: MINIMUM 6"x3/4" LETTERS ON CONTRASTING BACKGROUND.
 - ANY DECORATION USED SHALL BE NON-COMBUSTIBLE OR FLAMEPROOFED IN AN APPROVED MANNER.
 - THE INSTALLATION OR OPERATION OF SPECIAL FIRE EXTINGUISHER SYSTEM MUST BE CHECKED AND APPROVED BY THE FIRE DEPT. PRIOR TO INSTALLATION.
 - BUILDING OCCUPANT SHALL SECURE PERMITS REQUIRED BY THE FIRE DEPT. FROM THE FIRE PREVENTION BUREAU PRIOR TO OCCUPYING THIS BUILDING.

METAL STUD SCHEDULE

SIZE	GA	TYPE	SPAN HEIGHT OF WALL
3 5/8"	25	362S125-18	12'-5" OR LESS
3 5/8"	20	362S125-33	12'-5" TO 17'-6"
3 5/8"	18	362S125-43	12'-5" TO 19'-1"
3 5/8"	18	362S200-43	12'-5" TO 20'-2"
6"	25	600S125-18	19'-9" OR LESS
6"	20	600S125-33	19'-9" TO 24'-6"

WALL LEGEND

EXISTING WALL	
[Pattern]	NEW 3-5/8" METAL WALLS TO 6" ABOVE CEILING @ 16" O.C. SECURE TO FLOOR PER 6/A3.2. ATTACH TO EXISTING STRUCTURE ABOVE PER 4/A3.2.
[Pattern]	NEW 6" METAL WALLS TO 6" ABOVE CEILING @ 16" O.C. SECURE TO FLOOR PER 6/A3.2. ATTACH TO EXISTING STRUCTURE ABOVE PER 4/A3.2.
[Pattern]	NEW PARTIAL HEIGHT WALL W/ 3-5/8" METAL STUDS AT 16" O.C. SECURE TO FLOOR PER 6/A3.2.

W- WALL TYPE SCHEDULE

FRAMING	1	2	3	4	5	6
EXISTING						
3 5/8" METAL STUDS						
6" METAL STUDS						
3 5/8" METAL STUDS PARTIAL HEIGHT WALL						
5/8" TYPE 'X' GYPSUM BOARD						
5/8" MOISTURE RESISTANT GYP. BD.						
5/8" PLYWOOD						
5/8" DUROCK TO 12" A.F.F.						
EXISTING GYP. BD.						
1/2" CEMENT BOARD						
3/4" MARINE GRADE PLYWOOD						

- KEY NOTES**
- EXISTING STOREFRONT SYSTEM, DOOR HARDWARE AND GLAZING TO REMAIN.
 - TYP. G.C. TO REPAIR AS REQUIRED TO BRING TO PROPER WORKING ORDER. G.C. TO HAVE GLAZING PROFESSIONALLY CLEANED PRIOR TO TURNOVER.
 - ELECTRICAL PANELS, REFER TO ELECTRICAL DRAWINGS
 - WATER HEATER ON PLATFORM ABOVE REF: 12/A3.3 FOR FRAMING REQUIREMENTS.
 - MOP SINK, REFER TO 12/A3.3 AND PLUMBING DRAWINGS
 - REFERENCE EQUIPMENT PLAN FOR EQUIPMENT AND FURNITURE LAYOUT
 - MILLWORK FIXTURE BY VENDOR, INSTALLED BY G.C.
 - TRANSFORMER ON PLATFORM ABOVE, REF: 12/A3.3 FOR FRAMING DETAILS.
 - EXISTING CONCOURSE COLUMNS AND FINISHES TO REMAIN. PROTECT DURING CONSTRUCTION.
 - 2"x2"x72" BRUSHED ALUMINUM OR STAINLESS STEEL CORNER GUARD PROVIDED/ INSTALLED BY G.C.
 - LOCATION OF PUBLIC CERTIFICATION SIGNAGE, VERIFY FINAL LOCATION IN FIELD.
 - PROVIDE BLOCKING AT TOP OF WALLS AT LEVEL OF DROPPED CEILING.
 - TO GO CUBBY, RE: 10/A3.1.
 - FLOOR/STRIPS AROUND RAMP

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CLIENT: TWISTED PRETZEL, INC
 CESAR HERNANDEZ

Jamba
 #103706
AuntieAnne's

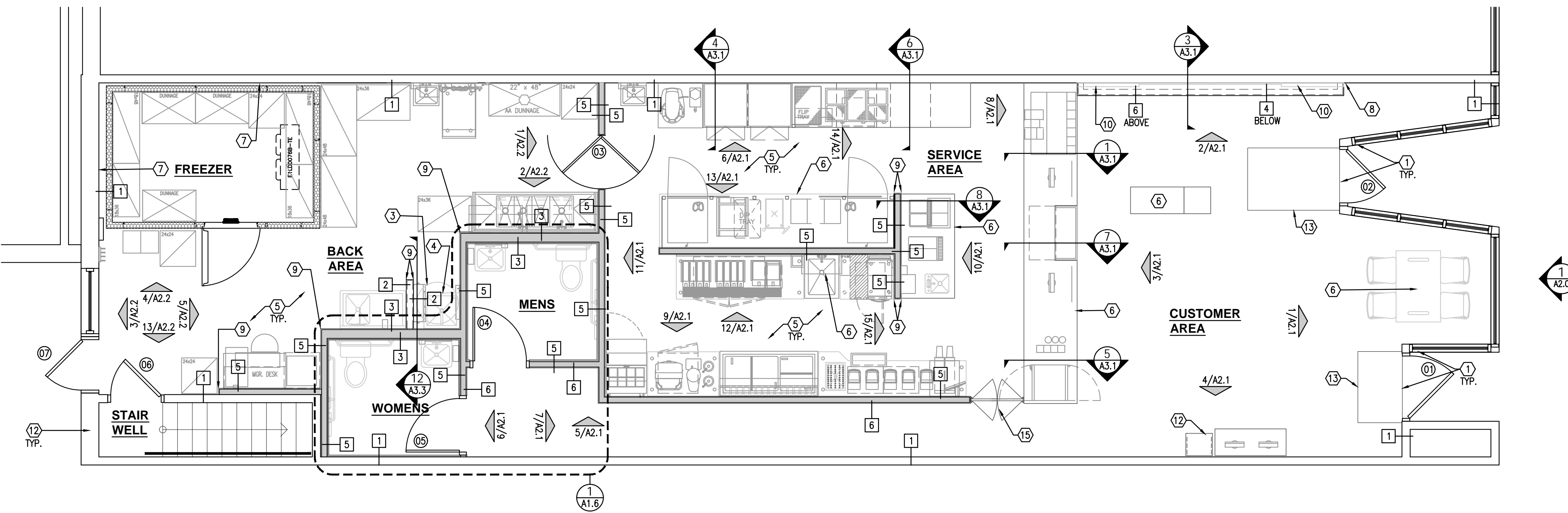
DATE	DESCRIPTION
01.07.22	OWNER REVIEW ISSUE
01.31.22	PERMIT ISSUE

SHEET TITLE:
DIMENSIONED AND NOTED FLOOR PLAN - GROUND LEVEL

SHEET NUMBER:
A1.2

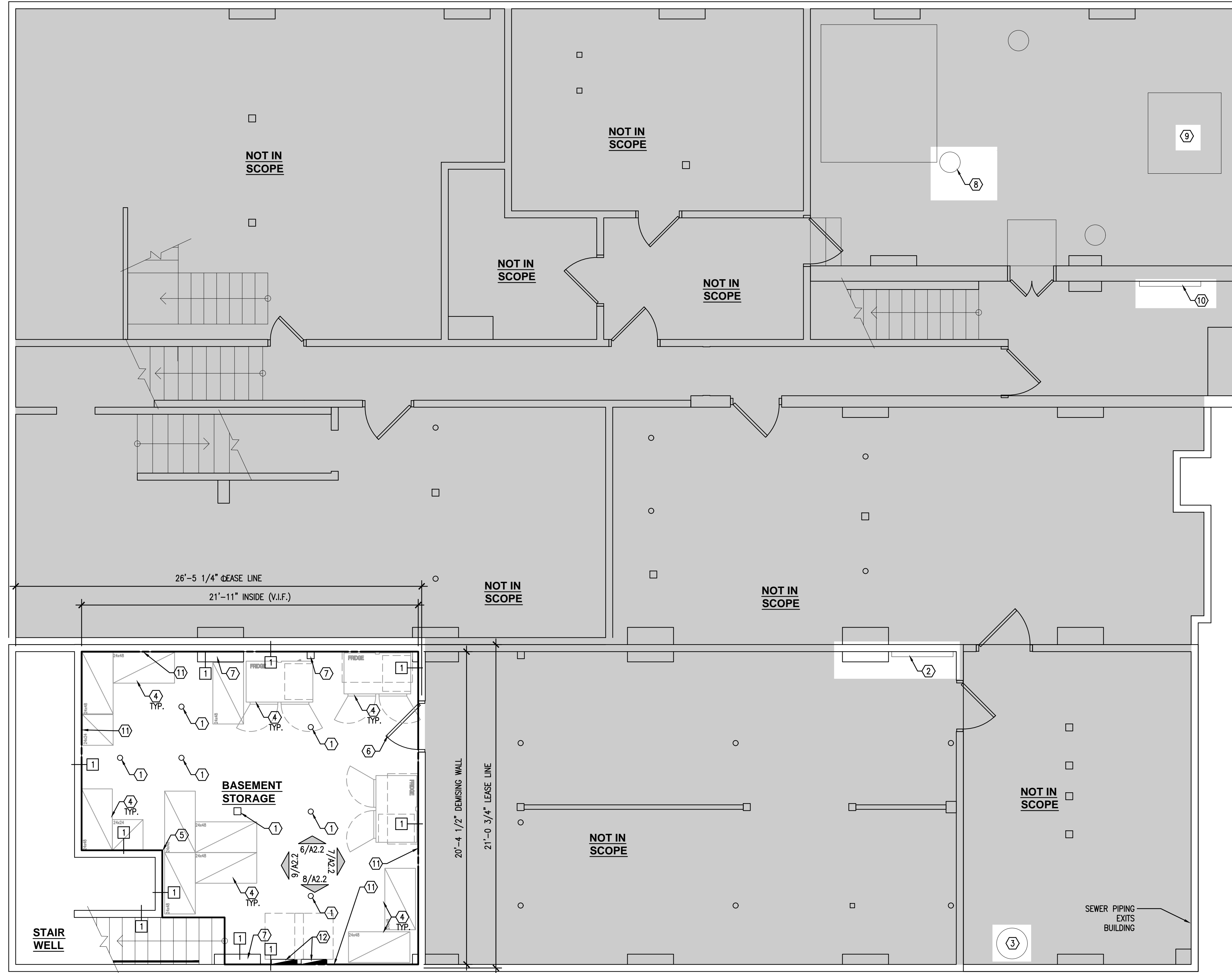
PROJECT NUMBER:
JAJ21024

DIMENSIONED FLOOR PLAN - GROUND LEVEL
 1/4"=1'-0" 1



NOTE:
 REFERENCE E01.1 FOR EQUIPMENT AND FURNITURE PLAN

NOTED FLOOR PLAN - GROUND LEVEL
 1/4"=1'-0" 2



- GENERAL NOTES**
- DIMENSIONS SHOWN ARE TO FACE OF STUD OR FACE OF EXISTING WALL FINISH, UNLESS OTHERWISE NOTED.
 - START LAYOUT OF STORE FROM BACK OF SPACE TO STOREFRONT UNLESS OTHERWISE NOTED.
 - COORDINATE AND VERIFY ALL DIMENSIONS W/ THOSE INDICATED PRIOR TO INSTALLATION.
 - ALL WALL FINISHES SHALL BE SMOOTH, REMOVE OR RESURFACE TEXTURED WALL SURFACES PRIOR TO APPLYING FINISHES.
 - VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO FRAMING OR PENETRATING SLAB.
 - PROVIDE BLOCKING AND BACKING AS DEFINED IN SPECIFICATION SECTION 06100 IN EXISTING WALLS AND NEW PARTITIONS FOR ALL CASEWORK, SHELVING, COUNTERTOPS, TOILET ACCESSORIES, AND OWNER SUPPLIED EQUIPMENT, SEE WALL BLOCKING PLAN, COORDINATE WITH SHOP DRAWINGS.
 - REFER TO A4.0 DOOR SCHEDULE FOR DOOR AND FRAME TYPES.
 - WHERE EXISTING INSULATION IS REMOVED OR MISSING, PATCH AND REPLACE INSULATION TO MATCH EXISTING CONDITIONS AND MAINTAIN REQUIRED R-VALUES.
 - REFER TO EQUIPMENT SHEETS FOR INFORMATION REGARDING EQUIPMENT AND EQUIPMENT LAYOUT.
 - CORE DRILL EXISTING CONCRETE SLAB TO INSTALL UNDER SLAB PIPING.
 - CORE DRILL LOCATIONS TO BE REVIEWED BY BASE BUILDING STRUCTURAL ENGINEER AT TENANT COST.
 - G.C. MUST HAVE ALL SLABS SCANNED AT CORE LOCATIONS FOR BASE BUILDING STRUCTURAL ENGINEER APPROVAL.
 - ALL EXISTING OR NEW TUBE STEEL OR PIPE COLUMNS IN PUBLIC AREAS TO BE PAINTED AND TO RECEIVE BASE. (U.O.N.) ON PLANS. VERIFY WITH ARCHITECT IF COLUMN CONDITION IS ACCEPTABLE TO REMAIN EXPOSED.
 - MAINTAIN FIRE RESISTANCE RATING (IF ANY, V.I.F.) FOR ALL TENANT DEMISING WALLS.
 - REFERENCE PLUMBING DRAWINGS FOR FLOOR PENETRATION LOCATIONS.
 - ORIENT FLOOR SINKS TO ALIGN W/ ADJACENT PARTITIONS.

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WISCONSIN
 DAVID SCOTT WINDLE
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 Dallas, Texas
 ARCHITECT

01/31/22

- FIRE NOTES**
- CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS PER LOCAL FIRE MARSHALL REQUIREMENTS. PROVIDE A MINIMUM OF ONE 2-10BC EXTINGUISHER NOT TO EXCEED 75 FEET TRAVEL DISTANCE FROM ANY POINT IN THE BUILDING.
 - EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED.
 - EXIT LIGHTING AND SIGNS: MINIMUM 6"x3/4" LETTERS ON CONTRASTING BACKGROUND.
 - ANY DECORATION USED SHALL BE NON-COMBUSTIBLE OR FLAMEPROOFED IN AN APPROVED MANNER.
 - THE INSTALLATION OR OPERATION OF SPECIAL FIRE EXTINGUISHER SYSTEM MUST BE CHECKED AND APPROVED BY THE FIRE DEPT. PRIOR TO INSTALLATION.
 - BUILDING OCCUPANT SHALL SECURE PERMITS REQUIRED BY THE FIRE DEPT. FROM THE FIRE PREVENTION BUREAU PRIOR TO OCCUPYING THIS BUILDING.

METAL STUD SCHEDULE

SIZE	GA	TYPE	SPAN HEIGHT OF WALL
3 5/8"	25	362S125-18	12'-5" OR LESS
3 5/8"	20	362S125-33	12'-5" TO 17'-6"
3 5/8"	18	362S125-43	12'-5" TO 19'-1"
3 5/8"	18	362S200-43	12'-5" TO 20'-2"
6"	25	600S125-18	19'-9" OR LESS
6"	20	600S125-33	19'-9" TO 24'-6"

WALL LEGEND

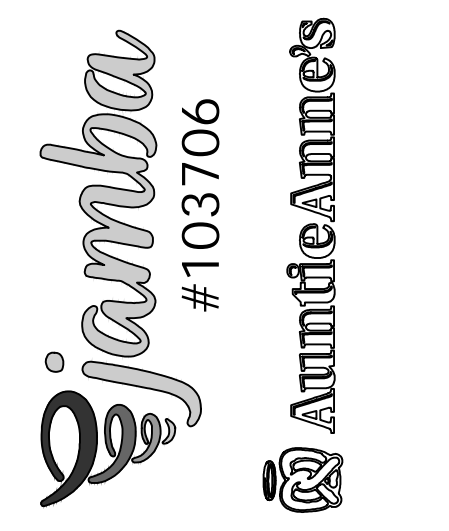
EXISTING WALL	DESCRIPTION
[Symbol]	NEW 3-5/8" METAL WALLS TO 6" ABOVE CEILING @ 16" O.C. SECURE TO FLOOR PER 6/A3.2. ATTACH TO EXISTING STRUCTURE ABOVE PER 4/A3.2.
[Symbol]	NEW 6" METAL WALLS TO 6" ABOVE CEILING @ 16" O.C. SECURE TO FLOOR PER 6/A3.2. ATTACH TO EXISTING STRUCTURE ABOVE PER 4/A3.2.
[Symbol]	NEW PARTIAL HEIGHT WALL W/ 3-5/8" METAL STUDS AT 16" O.C. SECURE TO FLOOR PER 6/A3.2.

WALL TYPE SCHEDULE

MATERIALS	1	2	3	4	5	6
EXISTING						
FRAMING						
3 5/8" METAL STUDS		●				
6" METAL STUDS						
3 5/8" METAL STUDS PARTIAL HEIGHT WALL						
SHEATHING						
5/8" TYPE 'X' GYPSUM BOARD						
5/8" MOISTURE RESISTANT GYP. BD.						
5/8" PLYWOOD						
5/8" DUROCK TO 12" A.F.F.						
EXISTING GYP. BD. W/ ONE-HOUR RATING, MAINTAIN PER 8/A3.2		●				
1/2" CEMENT BOARD						
3/4" MARINE GRADE PLYWOOD						

- KEY NOTES**
- EXISTING COLUMNS TO REMAIN. PROTECT DURING CONSTRUCTION.
 - EXISTING ELECTRICAL PANELS, REFER TO ELECTRICAL DRAWINGS
 - EXISTING WATER HEATER, REFER TO PLUMBING DRAWINGS
 - REFERENCE EQUIPMENT PLAN FOR EQUIPMENT LAYOUT
 - 2"x2"x72" BRUSHED ALUMINUM OR STAINLESS STEEL CORNER GUARD PROVIDED/ INSTALLED BY G.C.
 - EXISTING DOOR AND FRAME TO REMAIN.
 - EXISTING BUMP OUT
 - EXISTING SUMP PIT.
 - EXISTING GAS METER.
 - EXISTING SEWER PIPING EXITS BUILDING.
 - G.C. TO PATCH AND REPAIR EXISTING WALL TO MEET LOCAL CODE. PREP WALLS FOR NEW FINISH, REFER TO ELEVATIONS.
 - NEW ELECTRICAL PANEL, REFER TO ELECTRICAL.

JAMBA/AUNTIE ANNE'S
MADISON WISCONSIN
 650 STATE STREET
 MADISON, WI 53703
 CLIENT: TWISTED PRETZEL, INC
 CESAR HERNANDEZ



DATE	DESCRIPTION
01.07.22	OWNER REVIEW ISSUE
01.31.22	PERMIT ISSUE

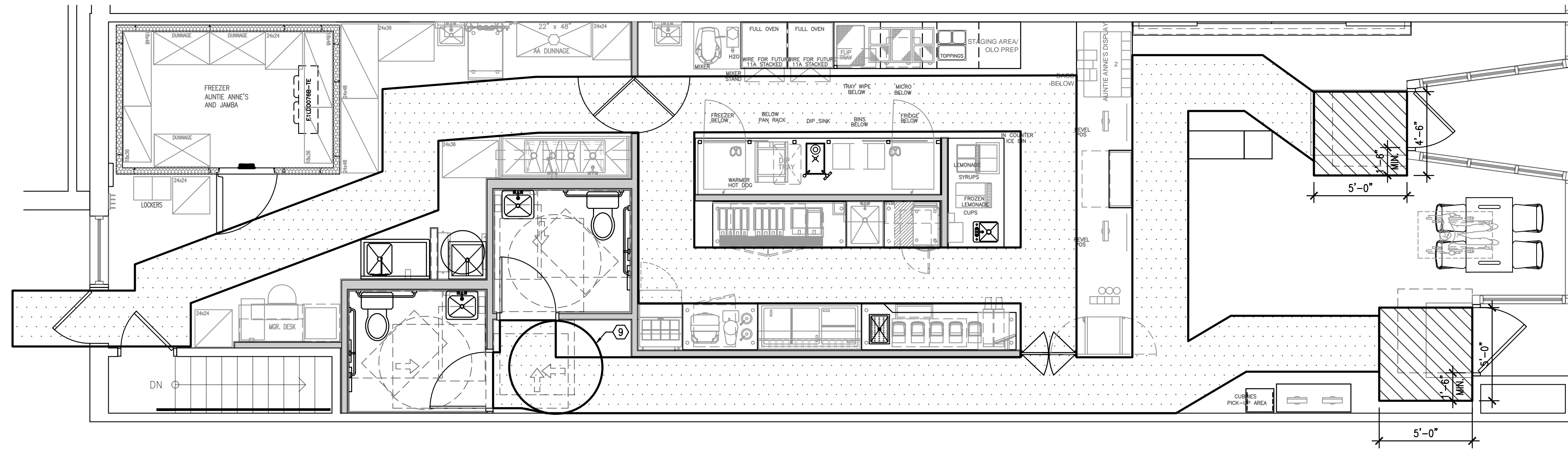
DATE	DESCRIPTION

SHEET TITLE:
DIMENSIONED AND NOTED FLOOR PLAN - BASEMENT

SHEET NUMBER:
A1.2A

PROJECT NUMBER:
JAJ21024

NOTE:
 REFERENCE E01.1 FOR
 EQUIPMENT AND FURNITURE PLAN



MAXIMUM TRAVEL DISTANCE TO NEAREST ENCLOSED EXIT: 53 FEET

EGRESS PLAN
1/4"=1'-0" 1

GENERAL NOTES

- GENERAL CONTRACTOR SHALL PROVIDE BLOCKING IN ALL LOCATIONS SHOWN PER DETAILS 3 & 4/A1.3
- ALL BLOCKING MUST BE IN WALL CAVITY BEHIND GYPSUM BOARD FINISH AND MUST BE FIRE RETARDANT TREATED. REF: 4/A1.3
- REFERENCE REFLECTED CEILING PLAN FOR MENU BOARD BLOCKING
- REFERENCE REFLECTED CEILING PLAN FOR MENU BOARD BLOCKING
- FOR BLOCKING AT TOILET ROOM GRAB BARS, REFERENCE A1.6

BLOCKING TYPES

A TYPE "A" BLOCKING, REFERENCE 3/A1.3
 B TYPE "B" BLOCKING, REFERENCE 3/A1.3
 C TYPE "C" BLOCKING, REFERENCE 3/A1.3
 D TYPE "D" BLOCKING, REFERENCE 3/A1.3
 E TYPE "E" BLOCKING, REFERENCE 3/A1.3
 F TYPE "F" BLOCKING, REFERENCE 3/A1.3

KEY NOTES

- 5/8" PLYWOOD WALL BACKING TO FURNISH AND INSTALLED BY G.C. BACKING MUST BE FIRE RETARDANT TREATED.
- 5/8" FIRE TREATED PLYWOOD BACKING IN WALL CAVITY BETWEEN STUDS, BEHIND GYP. BD. FINISH.
- PARTITION WALL AS SCHEDULED
- 20 GA. CONTINUOUS STEEL ANGLE, TYP.
- METAL STUDS AS SCHEDULED
- ATTACH BLOCKING TO METAL STUDS WITH WOOD SCREWS @ 12" O.C., TYP.
- CUT FLANGE AS REQUIRED TO INSTALL BLOCKING, TYP.
- REF: 11/A1.6 FOR GRAB BAR BLOCKING DETAIL.
- 5'-0" TURNING RADIUS

BUILDING SQUARE FOOTAGE - GROUND LEVEL

LEASE AREA: 1523 SQ. FT. (USF)

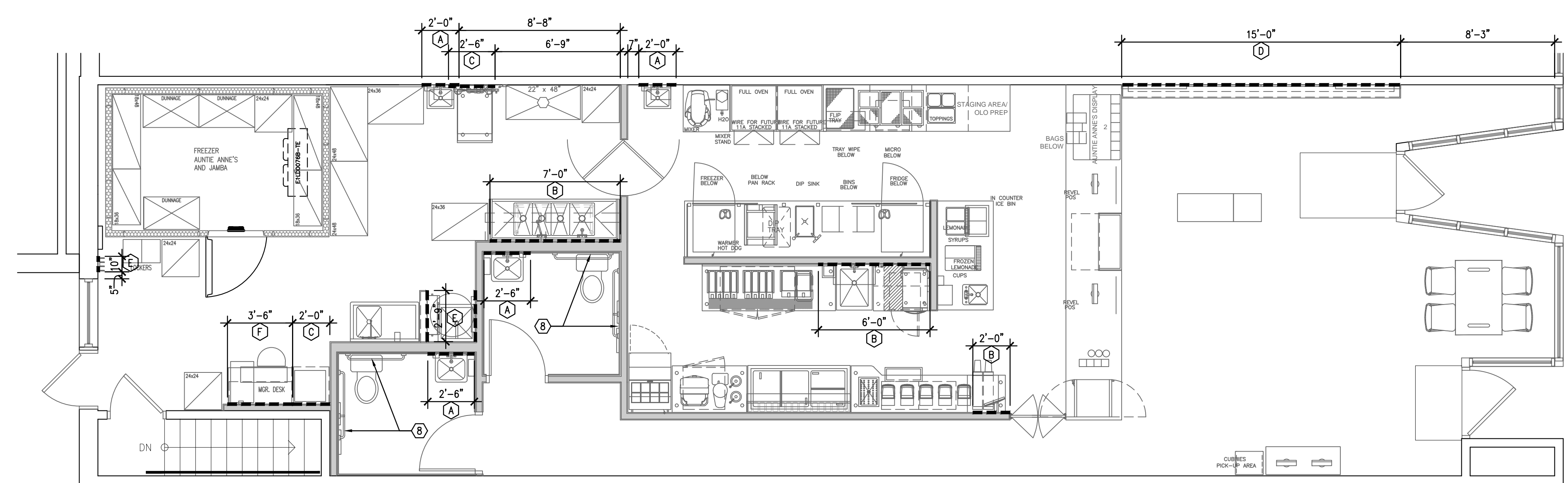
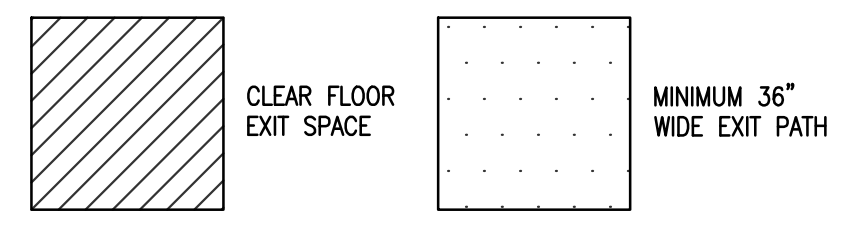
OCCUPANCY LOAD CALCULATION

USE	SQ. FT.	OCCUPANT LOAD FACTOR	OCCUPANCY AMOUNT
CUSTOMER AREA	492	15	33
KITCHEN/BACK AREA	771	200	4
RESTROOM AREA	159	0	0
WALK-IN UNIT	101	0	0
TOTAL			37

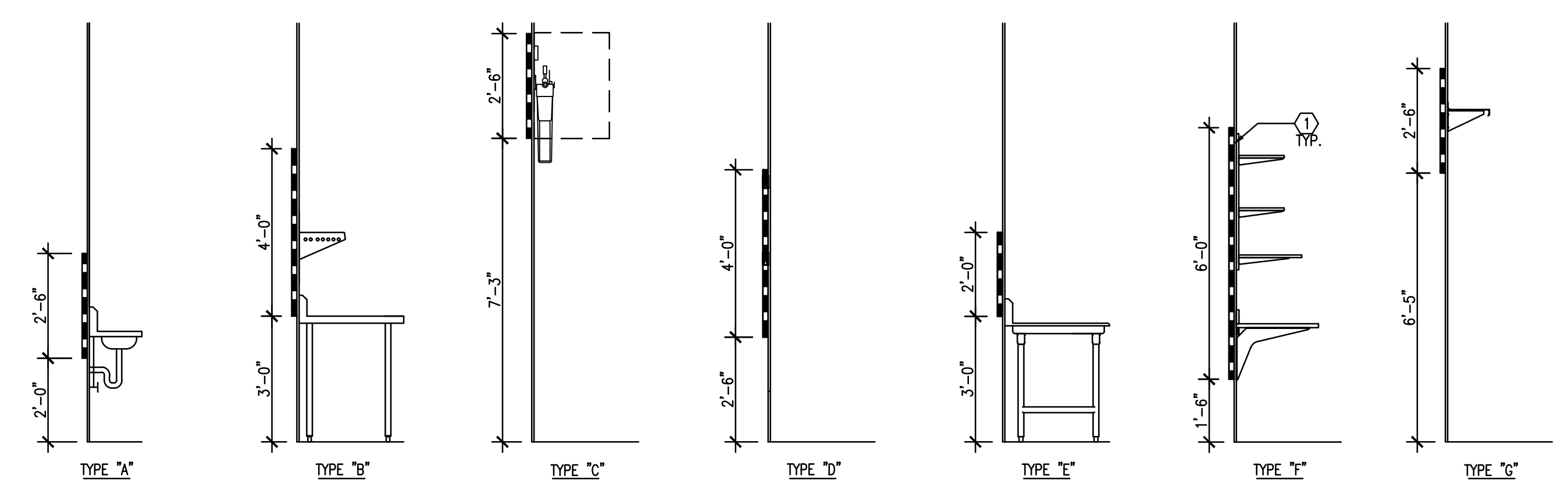
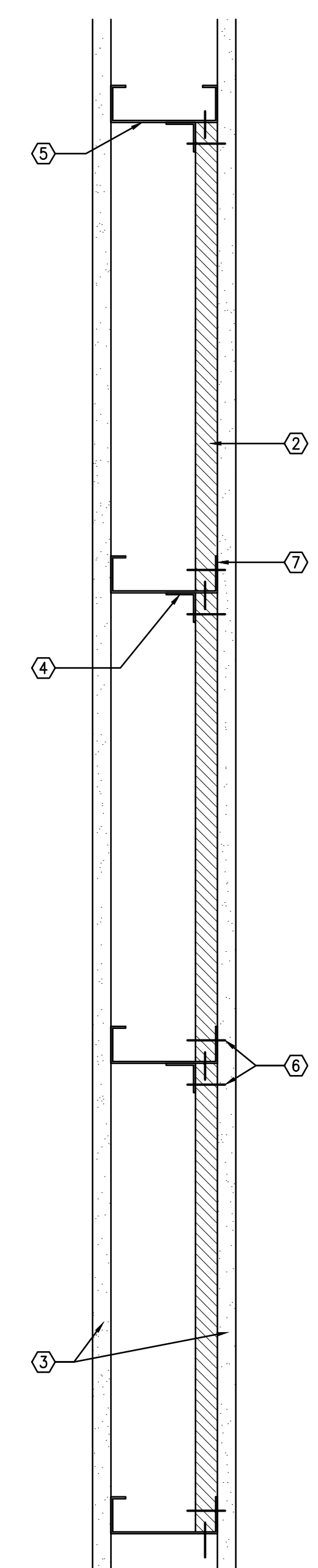
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01/31/22



WALL BLOCKING PLAN
1/4"=1'-0" 2



WALL BLOCKING TYPES
3/8"=1'-0" 3

BLOCKING DETAIL (PLAN VIEW)
3'-1'-0" 4

JAMBA/AUNTIE ANNE'S
MADISON WISCONSIN
 650 STATE STREET
 MADISON, WI 53703
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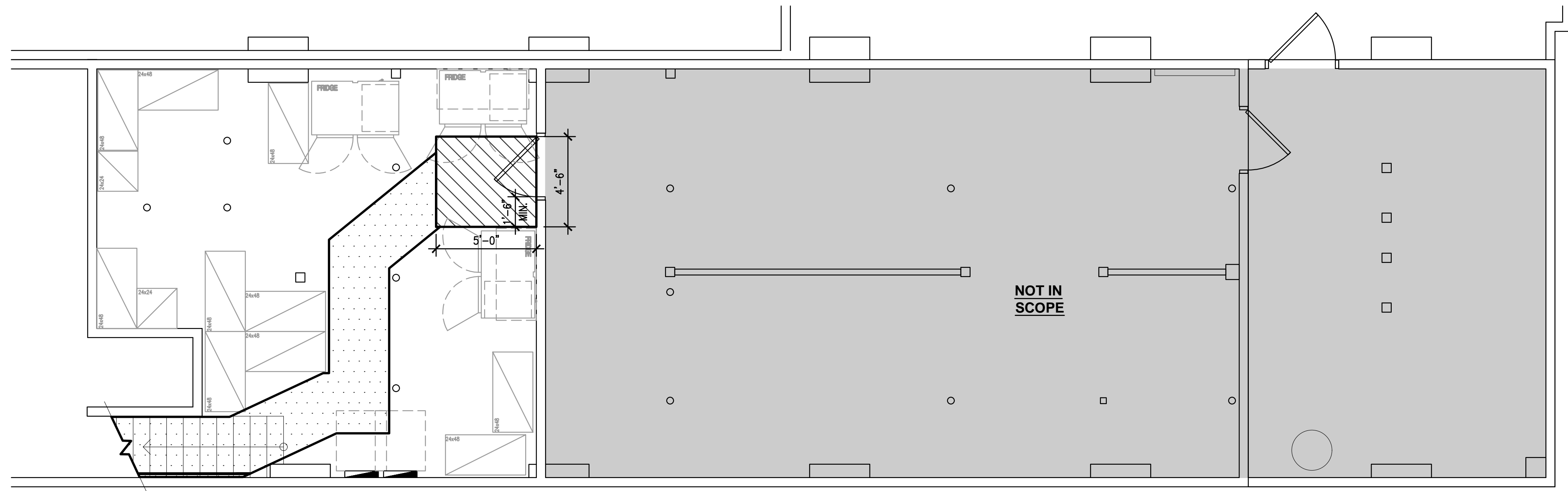
DATE DESCRIPTION
 01.07.22 OWNER REVIEW ISSUE
 01.31.22 PERMIT ISSUE

DATE DESCRIPTION
 09.15.21 PORT AUTHORITY COMMENTS

SHEET TITLE:
EGRESS AND BLOCKING PLAN - GROUND LEVEL

SHEET NUMBER:
A1.3

PROJECT NUMBER:
JAJ21024



GENERAL NOTES

- GENERAL CONTRACTOR SHALL PROVIDE BLOCKING IN ALL LOCATIONS SHOWN PER DETAILS 3 & 4/A1.3
- ALL BLOCKING MUST BE IN WALL CAVITY BEHIND GYPSUM BOARD FINISH AND MUST BE FIRE RETARDANT TREATED. REF: 4/A1.3
- REFERENCE REFLECTED CEILING PLAN FOR MENU BOARD BLOCKING
- REFERENCE REFLECTED CEILING PLAN FOR MENU BOARD BLOCKING
- FOR BLOCKING AT TOILET ROOM GRAB BARS, REFERENCE A1.6
- BLOCKING TYPES
- TYPE 'G' BLOCKING, REFERENCE 3/A1.3

KEY NOTES

- 5/8" PLYWOOD WALL BACKING TO BE FURNISH AND INSTALLED BY G.C. BACKING MUST BE FIRE RETARDANT TREATED.

BUILDING SQUARE FOOTAGE - BASEMENT

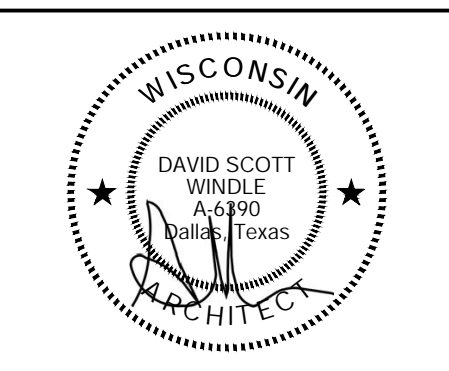
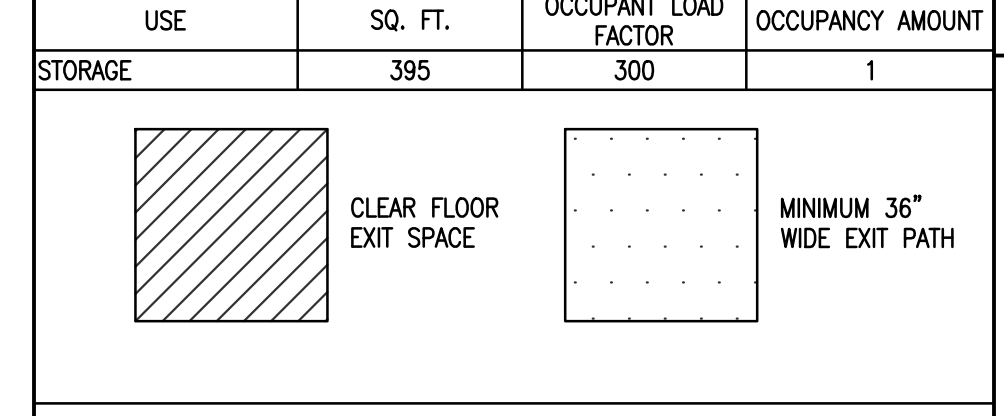
LEASE AREA: 395 SQ. FT. (USF)

OCCUPANCY LOAD CALCULATION

USE	SQ. FT.	OCCUPANT LOAD FACTOR	OCCUPANCY AMOUNT
STORAGE	395	300	1

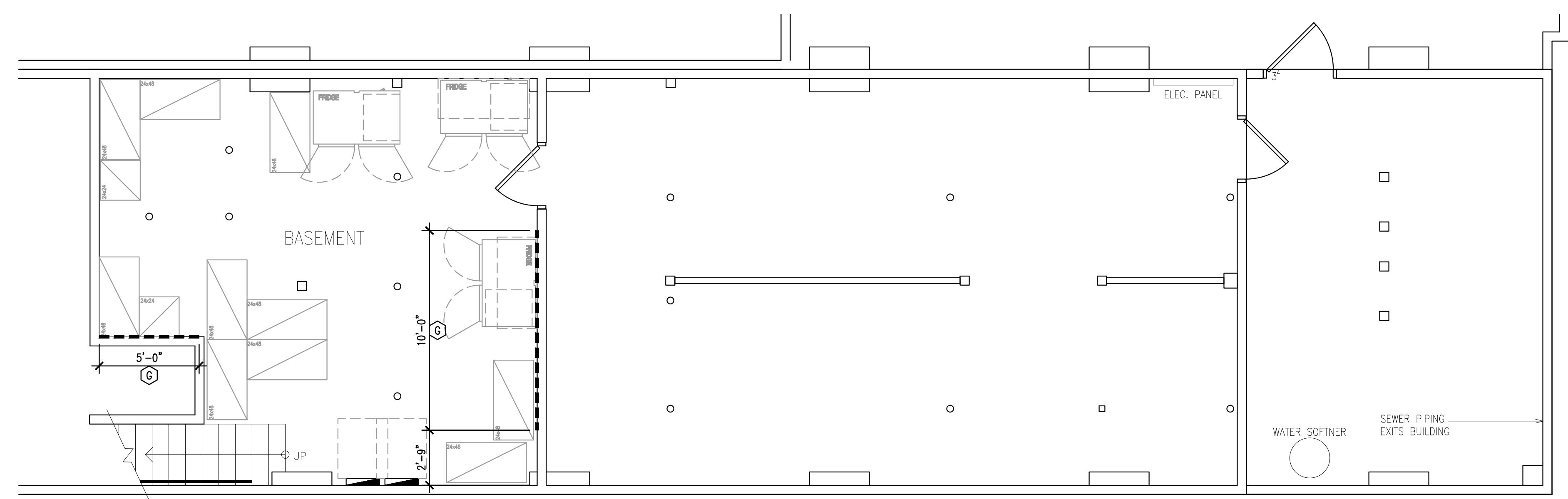
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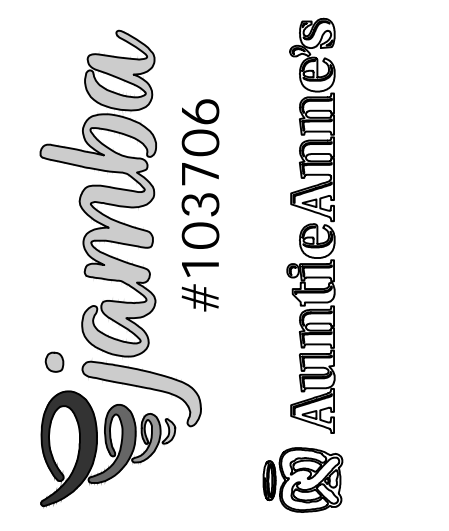
01/31/22

EGRESS PLAN
 1/4"=1'-0" 1



WALL BLOCKING PLAN
 1/4"=1'-0" 2

JAMBA/AUNTIE ANNE'S
MADISON WISCONSIN
 650 STATE STREET
 MADISON, WI 53703
 CLIENT: TWISTED PRETZEL, INC
 CESAR HERNANDEZ



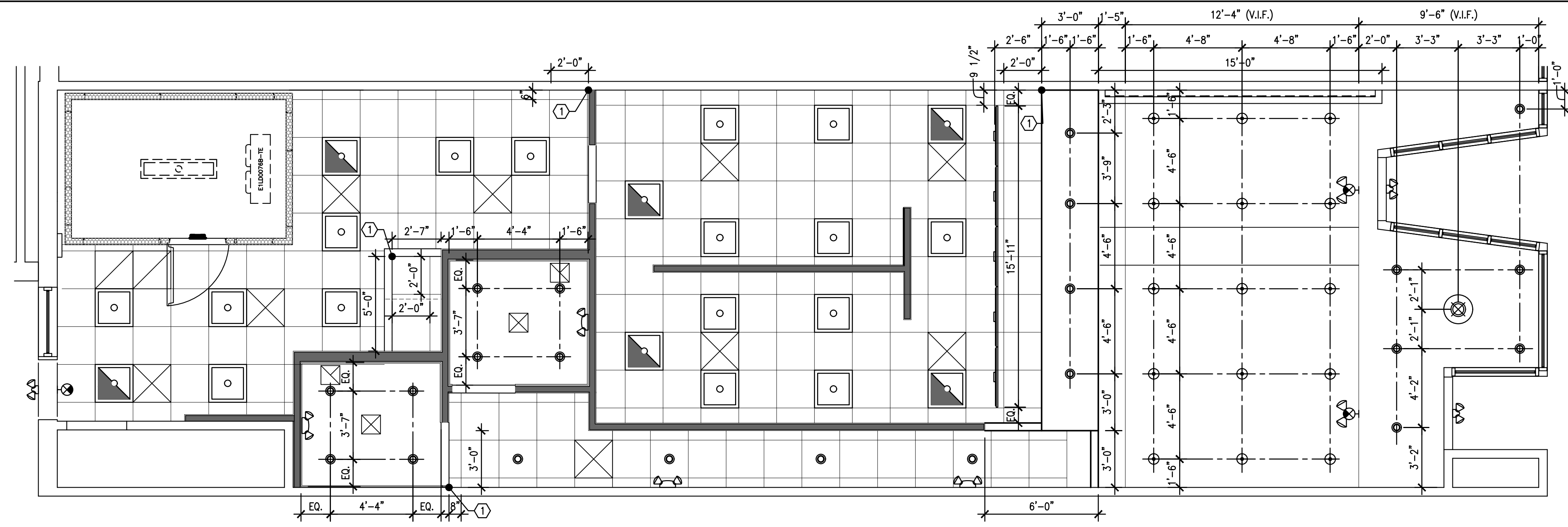
DATE	DESCRIPTION
01.07.22	OWNER REVIEW ISSUE
01.31.22	PERMIT ISSUE

DATE	DESCRIPTION
09.15.21	PORT AUTHORITY COMMENTS

SHEET TITLE:
EGRESS AND BLOCKING PLAN - BASEMENT

SHEET NUMBER:
A1.3A

PROJECT NUMBER:
JAJ21024



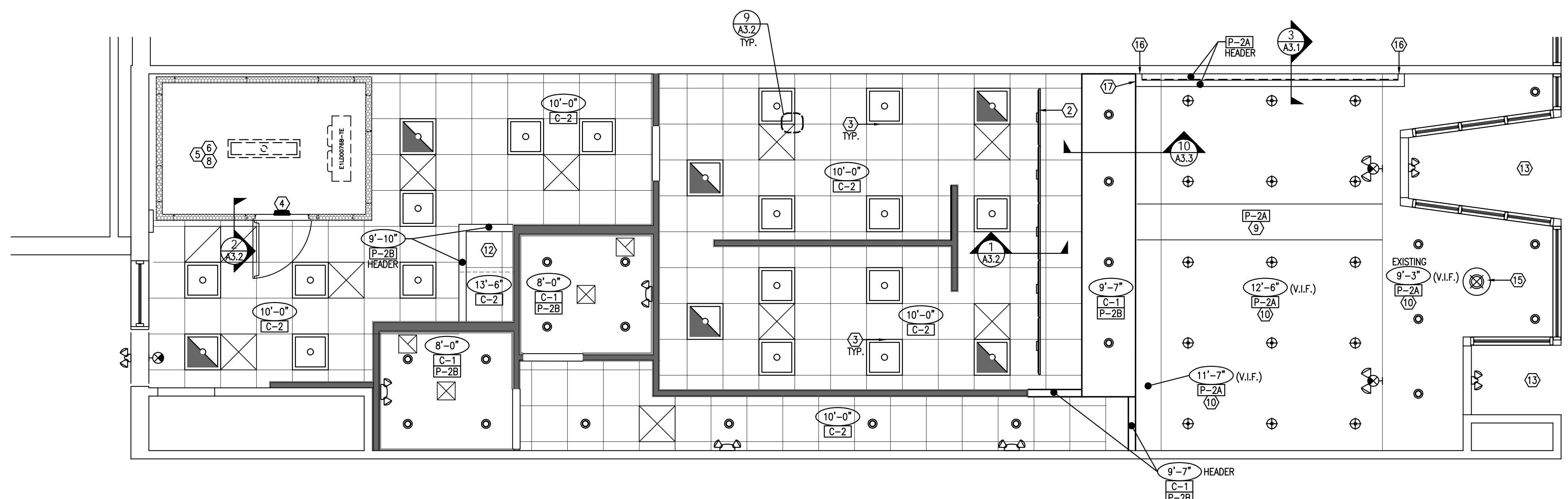
DIMENSIONED REFLECTED CEILING PLAN - GROUND LEVEL
1/4"=1'-0" 1

- GENERAL NOTES**
- LIGHTING, ELECTRICAL EQUIPMENT, HVAC EQUIPMENT, AND SPRINKLERS ARE TO BE MOUNTED AT POINTS IN ACT AS NOTED IN GRAPHIC BELOW UNLESS OTHERWISE DIMENSIONED ON REFLECTED CEILING PLAN.
 - 2X4 ACT TILE
 - 2X2 ACT TILE
 - CENTER ACT GRID WITHIN EACH ROOM UNLESS OTHERWISE NOTED.
 - INSTALL ACT CEILING SYSTEMS PER DETAILS ON A3.4.
 - CONTRACTOR TO REPORT CONFLICT BETWEEN RECESSED LIGHT FIXTURES AND EXISTING ASSEMBLIES PRIOR TO FRAMING SOFFITS.
 - CONTRACTOR SHALL VERIFY AND REUSE EXISTING UTILITIES AND/OR EQUIPMENT FOR NEW CEILING HEIGHT.
 - REFER TO MECHANICAL, ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR DESIGN OF THESE SYSTEMS (DUCT SIZES, CIRCUITING, ETC.) LOCATIONS OF FIXTURES, REGISTERS, SWITCHES, ETC SHALL BE AS SHOWN ON THE ARCHITECTURAL PLANS AND DETAILS. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCING CONSTRUCTIONS.
 - VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, STRUCTURAL ELEMENTS AND OTHER APPLICABLE ITEMS. NOTIFY PROJECT MANAGER OF INADEQUATE CLEARANCES FOR CEILING LAYOUT.
 - ALL REGISTERS, SPRINKLER HEADS AND LIGHTING FIXTURES SHALL OCCUR WITHIN GRID LINES INCANDESCENT FIXTURES OR OTHER CEILING ELEMENTS SHALL BE LOCATED AT THE CENTER OF ACOUSTICAL TILES UNLESS OTHERWISE NOTED.
 - ALL LIGHTS MUST BE SUSPENDED INDEPENDENT OF CEILING GRID SYSTEM.
 - REFER TO SHEET A3.4 FOR SEISMIC BRACING IF REQUIRED.
 - CONTRACTOR TO FIELD VERIFY LOCATIONS OF ALL EXISTING SPRINKLER LINES AND/OR OTHER OBSTRUCTIONS AND RELOCATE AS REQUIRED TO ACHIEVE SCHEDULED CEILING HEIGHTS, CONTRACTOR SHALL COORDINATE ALL SUCH RELOCATION WORK WITH LANDLORD PRIOR TO COMMENCING WORK.
 - ANYTIME A BUILDING IS OCCUPIED, THE MEANS OF EGRESS SHALL BE ILLUMINATED WITH A MINIMUM OF NOT LESS THAN 1 FOOT CANDLE AT THE FLOOR.
 - FOR ROOF PENETRATIONS/BURGLAR BARS, SEE ELECTRICAL SHEETS.
 - ALL LAMPS AND LENSES IN FOOD PREP SERVICE AND CUSTOMER AREAS SHALL BE EASILY CLEANABLE AND SHATTERPROOF.
 - FOR ELECTRICAL REQUIREMENTS AT SERVICE AREA SOFFIT DETAIL SEE ELECTRICAL.
 - LIGHT FIXTURES IN WALK-IN REFRIG/FREEZER ARE VAPOR PROOF WITH PROTECTIVE LENS AND SUPPLIED BY LIGHTING VENDOR.
 - GENERAL CONTRACTOR TO COORDINATE LOCATION OF LIGHT FIXTURES WITH OVERHEAD DUCTWORK AND ADJUST LOCATION ACCORDINGLY.
- SYMBOL LEGEND (REF: ELECTRICAL FOR LIGHTING SPECS)**
- | | |
|--|--|
| | RECESSED LED DOWNLIGHT |
| | DECORATIVE PENDANT FIXTURE IN CUSTOMER AREA |
| | PENDANT MOUNTED LED DOWNLIGHT IN CUSTOMER AREA |
| | 2x2 LED LIGHT FIXTURE |
| | EXIT LIGHT FIXTURE |
| | EXIT/EMERGENCY COMBO LIGHT FIXTURE |
| | EMERGENCY LIGHT |
| | FLUORESCENT FOR WALK-IN |
| | RETURN AIR, REF: MECHANICAL SHEETS |
| | SERVICE AIR, REF: MECHANICAL SHEETS |
| | LED STRIP LIGHTING IN SOFFIT |
| | SPEAKERS - BY MUSIC SYSTEM VENDOR |
- KEY NOTES**
- START POINT OF CEILING GRID.
 - SUSPENDED MENU BOARD FIXTURE BY VENDOR, INSTALLED BY G.C. SECURE TO STRUCTURE ABOVE WITH UNISTRUT AND ALL THREAD. PAINT ALL THREAD TO MATCH CEILING.
 - LIGHT FIXTURE CENTERED IN CEILING TILE, TYP. (U.O.N.)
 - LIGHT FIXTURE BY WALK-IN VENDOR, INSTALLED BY G.C., IF LIGHT FIXTURE NOT PROVIDED BY OWNER'S WALK-IN VENDOR, GC TO PROVIDE AND INSTALL. GC TO COORDINATE WITH WALK-IN VENDOR ORDER.
 - CONDENSING UNIT FOR WALK-IN UNIT(S) TO BE INSTALLED ON TOP OF ROOF ABOVE. REF: MECHANICAL SHEETS. G.C. TO VERIFY ADEQUATE SPACE ABOVE CEILING PRIOR TO CONSTRUCTION. IF CONFLICTS EXISTING NOTIFY ARCHITECT IMMEDIATELY.
 - IF REQUIRED BY CODE, NON-FREEZING SPRINKLER HEADS WITH WIRE PROTECTION CAGES SHALL BE USED IN WALK-IN BOX. COORDINATE LOCATIONS WITH WALK-IN VENDOR.
 - NOT USED.
 - G.C. TO PROVIDE HEAT TRACE TAPE AT FREEZER CONDENSATE LINES, REF: ELECTRICAL.
 - REF: MECHANICAL SHEETS FOR EXISTING DUCTWORK LAYOUT, DUCTWORK TO BE INSTALLED AT 11'-6" TO BOTTOM OF DUCT IN CEILING LOCATIONS. BOTTOM OF DUCTWORK TO BE MINIMUM 6" ABOVE BOTTOM OF LIGHT FIXTURES, TYP. PAINT EXPOSED DUCTWORK TO MATCH CEILING.
 - G.C. TO REMOVE ANY UNUSED DUCTWORK, CONDUIT, EQUIPMENT, ETC., CLEAN AND PREPARE TO PAINT IN CEILING LOCATION. PAINT DECK, STRUCTURAL MEMBERS, DUCTWORK, CONDUIT, ETC. AS NOTED.
 - NOT USED.
 - PRIOR TO START OF CONSTRUCTION G.C. TO VERIFY CLEARANCE FOR WATER HEATER. CONTACT ARCHITECT IMMEDIATELY IF CONFLICT EXISTS.
 - EXISTING AWNING TO REMAIN. CLEAN/ REPAIR TO LIKE NEW CONDITION.
 - ALIGN SOFFIT WITH LOW WALL BELOW. REF: FLOOR PLAN.
 - DIMENSIONS SHOWN FOR REFERENCE, CENTER FIXTURES ON COUNTER BELOW (V.I.F.). INSTALL BOTTOM OF FIXTURE AT 6'-0" A.F.F.
 - WRAP SOFFIT TO DEMISING WALL AT ENDS TO CONCEAL LIGHT COVE.
 - INSTALL JUNCTION BOX WITH ACCESS PANEL AT 8'-0" AFF ON NARROW FACE OF SOFFIT. PAINT ACCESS PANEL TO MATCH SOFFIT.
 - EXISTING CEILING LIGHT FIXTURES TO REMAIN. GC TO REPLACE BULBS AS REQUIRED FOR PROPER OPERATION.
 - EXISTING CEILING TO REMAIN AS IS.

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01/31/22



NOTED REFLECTED CEILING PLAN - GROUND LEVEL
1/4"=1'-0" 2

- FINISH SCHEDULE**
- | CEILING |
|---|
| C-1 GYPSUM BOARD CEILING |
| C-2 24"x24" WHITE VINYL ACOUSTICAL CEILING TILE |
| PAINT |
| P-2A BALLET WHITE (FLAT) |
| P-2B BALLET WHITE (SEMI-GLOSS) |
| P-2C BALLET WHITE (EGGSHELL) |

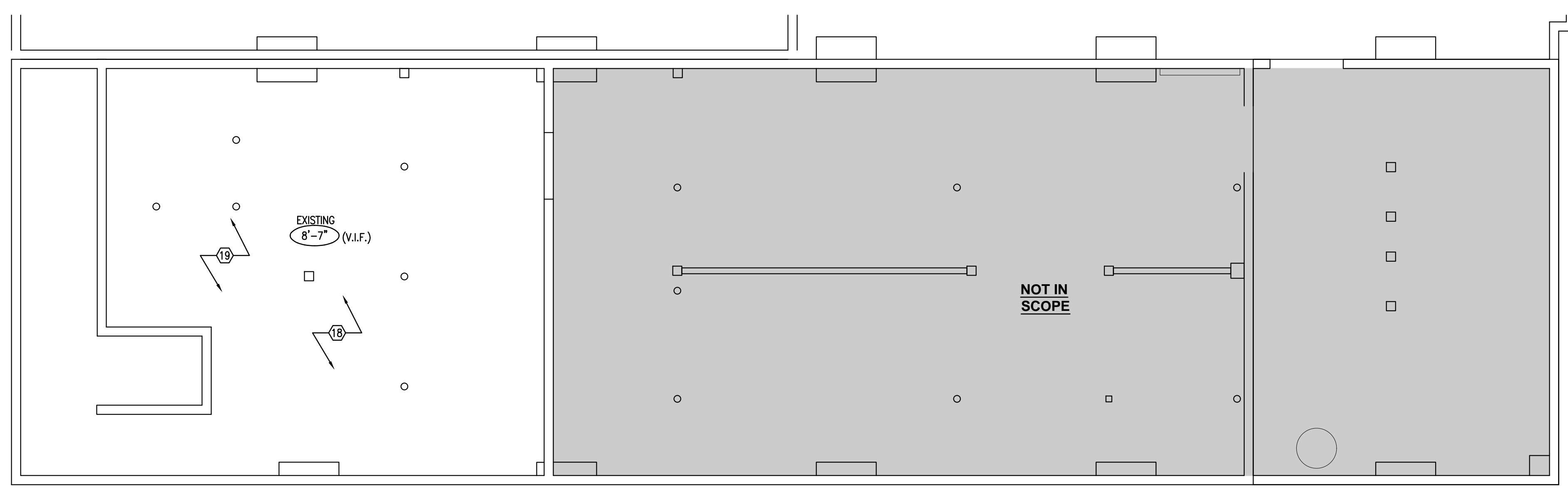
JAMBA/AUNTIE ANNE'S
MADISON WISCONSIN

650 STATE STREET
MADISON, WI 53703

CLIENT: TWISTED PRETZEL, INC
CESAR HERNANDEZ

DATE	DESCRIPTION
01.07.22	OWNER REVIEW ISSUE
01.31.22	PERMIT ISSUE

DATE	DESCRIPTION
01.09.21	PORT AUTHORITY COMMENTS



DIMENSIONED AND NOTED REFLECTED CEILING PLAN - BASEMENT
1/4"=1'-0" 1

- FINISH SCHEDULE**
- | CEILING |
|---|
| C-1 GYPSUM BOARD CEILING |
| C-2 24"x24" WHITE VINYL ACOUSTICAL CEILING TILE |
| PAINT |
| P-2A BALLET WHITE (FLAT) |
| P-2B BALLET WHITE (SEMI-GLOSS) |
| P-2C BALLET WHITE (EGGSHELL) |

SHEET TITLE:
REFLECTED CEILING PLAN

SHEET NUMBER:
A1.4

PROJECT NUMBER:
JAJ21024

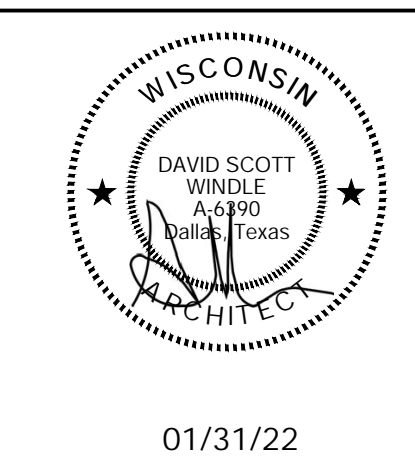
CODE	MATERIAL	MANUFACTURER	MODEL	L.L.		G.C.		OWNER		COLOR	MODULE	LOCATION	REMARKS	CONTACT INFORMATION
				FURNISHED	INSTALLED	FURNISHED	INSTALLED	FURNISHED	INSTALLED					
CEILING FINISHES														
C-1	GYPSUM BOARD CEILING		TYPE "X"							SEE RCP FOR PAINT COLOR	5/8"	SERVICE AREA/ BACK AREA		LOCALLY SOURCED
C-2	WHITE VINYL CEILING TILE 2X2	USG INTERIORS	CLIMA PLUS #3260							WHITE / VINYL FACED	24"x24"	SERVICE AREA	"SHEETROCK BRAND CLIMA PLUS VINYL" WITH USG DX 15/16" WHITE SUSPENSION SYSTEM	WWW.USG.COM
FLOOR FINISHES														
F-1	POLISHED CONCRETE	HTC, INC. OR LOCAL VENDOR	HTC SUPERFLOOR							NATURAL	GRIND LEVEL: GOLD	CUSTOMER AREA	REF: SPECIFICATION SHEETS SP1.2 SECTION 03530	LOCAL VENDOR OR DAVID STRATON, 916.725.9269
F-2	QUARRY TILE	CREATIVE MATERIALS CORP.	QUARRY TILE							DARK GREY	6"x6"	BACK, SERVICE	TILES ARE SMOOTH AND WASHABLE WITH GROUT: MAPEI 400 SERIES KERAPOXY #09, 1/8"	CREATIVE MATERIALS CORPORATION (CMC) JAMBATILE@CREATIVEMATERIALSCORP.COM, 800.207.2967, EXT. JAMB (5262)
BASE (COVE) FINISHES														
B-1	LOBBY BASE	CREATIVE MATERIALS CORP.	EXTREME MUD							EXTREME MUD	6"x12" COVE	CUSTOMER AREA WALLS	MIN. 3/8" COVE, WITH GROUT; MAPEI, 400 SERIES KERAPOXY, #09 GRAY 1/8"	CREATIVE MATERIALS CORPORATION (CMC) JAMBATILE@CREATIVEMATERIALSCORP.COM, 800.207.2967, EXT. JAMB (5262)
B-2	6" QUARRY TILE (COVED)	CREATIVE MATERIALS CORP.	QUARRY TILE							DARK GREY	6"x6"	BACK, SERVICE	MIN. 3/8" COVE, WITH GROUT; MAPEI, 400 SERIES KERAPOXY, #09 GRAY 1/8"	CREATIVE MATERIALS CORPORATION (CMC) JAMBATILE@CREATIVEMATERIALSCORP.COM, 800.207.2967, EXT. JAMB (5262)
INTERIOR PAINT														
P-2A	PAINT (CUSTOMER)	BENJAMIN MOORE	REGAL SELECT, FLAT							OC-9 BALLET WHITE	ZERO VOC	OPEN CEILING	NO SUBSTITUTIONS ALLOWED. PRIMER + 2 FINISH COATS	LOCAL BENJAMIN MOORE
P-2B	PAINT (SERVICE, BACK AREA)	BENJAMIN MOORE	REGAL SELECT, SEMI-GLOSS							OC-9 BALLET WHITE	ZERO VOC	SERVICE AREA	NO SUBSTITUTIONS ALLOWED. PRIMER + 2 FINISH COATS	LOCAL BENJAMIN MOORE
P-2C	PAINT (CUSTOMER)	WOLF GORDON SCUFFMASTER	EGGSHELL							SCRUBTOUGH GOH3220934 "BALLET WHITE"	ZERO VOC	CUSTOMER AREA WALLS	NO SUBSTITUTIONS ALLOWED. PRIMER + 2 FINISH COATS	WWW.SCRUFFMASTER.COM/WHERE-TO-BUY; REP: KAEIN STORSCHEN, KAEIN.STROLCHEIN@WOLFGORDON.COM
P-3	PAINT (PVC PIPES)	BENJAMIN MOORE	GLOSS LATEX ENAMEL							1485 BRUSHED ALUMINUM		VISIBLE PVC PIPES IN SERVICE AREA	NO SUBSTITUTIONS ALLOWED	LOCAL BENJAMIN MOORE
P-4	PAINT (STOREFRONT) - EXTERIOR	BENJAMIN MOORE	ULTRA SPEC HP CTM ACRYLIC LOW LUSTRE							FIDDLEHEAD GREEN, 2041-20		STOREFRONT ENTRANCE DOOR(S)	PREP DOOR PER MANUFACTURER'S SPECIFICATIONS (CLEAN, SAND, CLEAN AGAIN). 1ST COAT ULTRA SPEC HP ACRYLIC METAL PRIMER HPO4. 2ND AND 3RD COAT ULTRA SPEC HP DTM ACRYLIC LOW LUSTRE.	LOCAL BENJAMIN MOORE
P-5	PAINT (CUSTOMER)	BENJAMIN MOORE	REGAL SELECT, SEMI-GLOSS							FIDDLEHEAD GREEN, 2041-20		CUSTOMER AREA	NO SUBSTITUTIONS ALLOWED. PRIMER + 2 FINISH COATS	LOCAL BENJAMIN MOORE
P-6A	PAINT (CUSTOMER)	BENJAMIN MOORE	REGAL SELECT, FLAT							NAVAL 6244		CUSTOMER AREA	NO SUBSTITUTIONS ALLOWED. PRIMER + 2 FINISH COATS	LOCAL BENJAMIN MOORE
WALL COVERING														
W-2	FRP	MARLITE, CLASS III/C	STANDARD FRP							P100, WHITE	PEBBLED SURFACE	SERVICE AREA, BACK AREA		ANITA CRAIG: ACRAIG@MARLITE.COM 330.260.7621
W-3	JAMBA MURAL [G04] ON EQUIPMENT SCHEDULE	GRAPHICS VENDOR	VINYL							CUSTOM IMAGE	REF: ELEVATIONS	SERVICE AREA AT BLENDERS	DIMENSIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION; INSURE THE GRAPHIC INSTALL GUIDE FROM YOUR GRAPHICS VENDOR IS FOLLOWED TO ENSURE THE WALL SURFACE IS PROPERLY PREPPED TO RECEIVE VINYL ADHESIVE GRAPHIC.	ADDCOLOR: JAMBAJUICE@ADCOLORINC.COM, 859.253.1046
W-5	SEED GRAPHIC [G03] ON EQUIPMENT SCHEDULE	GRAPHICS VENDOR	VINYL							CUSTOM IMAGE	REF: ELEVATIONS	LOBBY ABOVE PEGBOARD	DIMENSIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION; INSURE THE GRAPHIC INSTALL GUIDE FROM YOUR GRAPHICS VENDOR IS FOLLOWED TO ENSURE THE WALL SURFACE IS PROPERLY PREPPED TO RECEIVE VINYL ADHESIVE GRAPHIC.	ADDCOLOR: JAMBAJUICE@ADCOLORINC.COM, 859.253.1046
W-6	FIELD WALL TILE (WHITE)	CREATIVE MATERIALS	GLOBAL 16900							WHITE - GLOSSY	4"x12"	SERVICE AREA	PATTERN RE: 5/A3.2, GROUT: MAPEI, COLOR: 02 PEWTER, NON-SANDED 1/8"	CREATIVE MATERIALS CORPORATION (CMC) JAMBATILE@CREATIVEMATERIALSCORP.COM, 800.207.2967, EXT. JAMB (5262)
W-7	ACCENT WALL TILE (DARK GREEN)	CREATIVE MATERIALS	BOON & BEANING							DARK GREEN, GLOSSY	3"x6"	SERVICE AREA	STRAIGHT PATTERN, GROUT: MAPEI, COLOR: 02 PEWTER, NON-SANDED 1/8"	CREATIVE MATERIALS CORPORATION (CMC) JAMBATILE@CREATIVEMATERIALSCORP.COM, 800.207.2967, EXT. JAMB (5262)
W-8	ACCENT WALL TILE (NAVY)	CREATIVE MATERIALS	BOON & BEANING							NAVY - GLOSSY	3"x6"	SERVICE AREA	STRAIGHT PATTERN, GROUT: MAPEI, COLOR: 02 PEWTER, NON-SANDED 1/8"	CREATIVE MATERIALS CORPORATION (CMC) JAMBATILE@CREATIVEMATERIALSCORP.COM, 800.207.2967, EXT. JAMB (5262)
MISC.														
WD-2	FIXTURE WOOD	WISCONSIN BUILT	TAMBOUR T331-30 DEGREE - 3/4" SLATE MAPLE WITH BACKER							MAPLE VENEER	MILLWORK FIXTURES	CUSTOMER AREA		MIKE ROPER MIKER@WISCONSIN-BUILT OR CINDY LUBAHN CINDYL@WISCONSIN-BUILT.COM 608.764.8661 EXT. 3344
WD-3	HICKORY PLANKS	WISCONSIN BUILT	CUSTOM							NATURAL	5" WIDTH, RANDOM LENGTHS (12"-48"), 3/8" THICKNESS	CUSTOMER AREA	PROVIDE FIRE RETARDANT CLEAR COAT OVER WOOD PANELING	MIKE ROPER MIKER@WISCONSIN-BUILT OR CINDY LUBAHN CINDYL@WISCONSIN-BUILT.COM 608.764.8661 EXT. 3344
WD-4	WOOD VENEER	MILLWORK VENDOR	OAK							STAIN TO MATCH WILSONART BEIGEWOOD		FRONT COUNTERS		MIKE ROPER MIKER@WISCONSIN-BUILT OR CINDY LUBAHN CINDYL@WISCONSIN-BUILT.COM 608.764.8661 EXT. 3344
MT-1	COPPER SHEET	5 MIL										FRONT COUNTER BASE AND SNEEZE GUARD POSTS	INSTALL ON PLYWOOD SUBSTRATE	MIKE ROPER MIKER@WISCONSIN-BUILT OR CINDY LUBAHN CINDYL@WISCONSIN-BUILT.COM 608.764.8661 EXT. 3344
PL-1	PLASTIC LAMINATE	WILSONART	STANDARD HPL							BEIGEWOOD 7850-60 MATTE FINISH	MILLWORK AND TABLE TOPS	MENU BOARD SHROUD	4'x8' SHEET	RICHELLE SIGAFOOS, SIGAFOR@WILSONART.COM 215.219.113
PL-2	PLASTIC LAMINATE	WILSONART	STANDARD HPL							SATIN BRUSHED GOLD ALUMINUM #6258-419	4' x 8' SHEETS	CUSTOMER AREA	CUT TO SIZE IN FIELD. MUST BE A SMOOTH AND LEVEL CUT.	PATY GOFFE, GOFFEP@WILSONART.COM, 678.296.7271
PL-4	PLASTIC LAMINATE (WHITE)	FORMICA	949							WHITE		INTERIOR FINISH IN CABINETS AND SHELVING		
SS-2	SOLID SURFACE	DUPONT CORIAN								GLACIER WHITE		COUNTERTOPS	INCLUDED WITH MILLWORK CABINETS	
TR-1	TRIM: CONCRETE TO TILE	SCHLUTER	RENO-U (1.2)							SATIN ANODIZED ALUMINUM (AEU)	AEU 125	CONCRETE TO TILE FLOOR TRANSITIONS	TYPICAL THROUGHOUT, REF: FLOOR FINISH PLAN	CREATIVE MATERIALS CORPORATION (CMC) JAMBATILE@CREATIVEMATERIALSCORP.COM, 800.207.2967, EXT. JAMB (5262)
TR-2	TRIM: OUTSIDE TILE CORNER	SCHLUTER	INDEC (2.12)							SATIN ANODIZED ALUMINUM (IN)	IN 100 AE	OUTSIDE CORNER OF TILE TO TILE WALLS	TYPICAL THROUGHOUT, REF: INTERIOR ELEVATIONS	CREATIVE MATERIALS CORPORATION (CMC) JAMBATILE@CREATIVEMATERIALSCORP.COM, 800.207.2967, EXT. JAMB (5262)
TR-3	TRIM: EXPOSED TILE EDGE	SCHLUTER	SCHIENE (1.1)							SATIN ANODIZED ALUMINUM (AE)	AE 100	EXPOSED ENDS OF TILE WALLS	TYPICAL THROUGHOUT, REF: INTERIOR ELEVATIONS	CREATIVE MATERIALS CORPORATION (CMC) JAMBATILE@CREATIVEMATERIALSCORP.COM, 800.207.2967, EXT. JAMB (5262)

MILLWORK VENDOR MUST PROVIDE SAMPLE OF WD-4 TO LANDLORD FOR APPROVAL PRIOR TO FABRICATION.

NOTE: ALL WOOD AND WOOD PRODUCTS SHALL BE FIRE RETARDANT, AS PER 1968 NYC BUILDING CODE, TABLE 3-4 AND SECTION 27-328(d).

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650 STATE STREET
MADISON, WI 53703

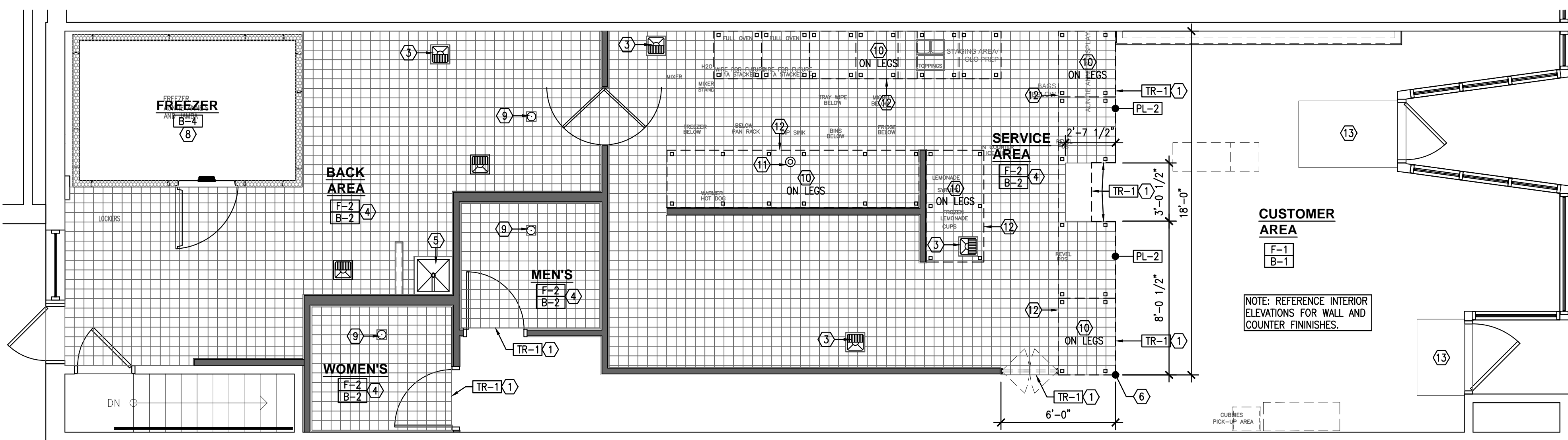
CLIENT: TWISTED PRETZEL INC
CESAR HERNANDEZ

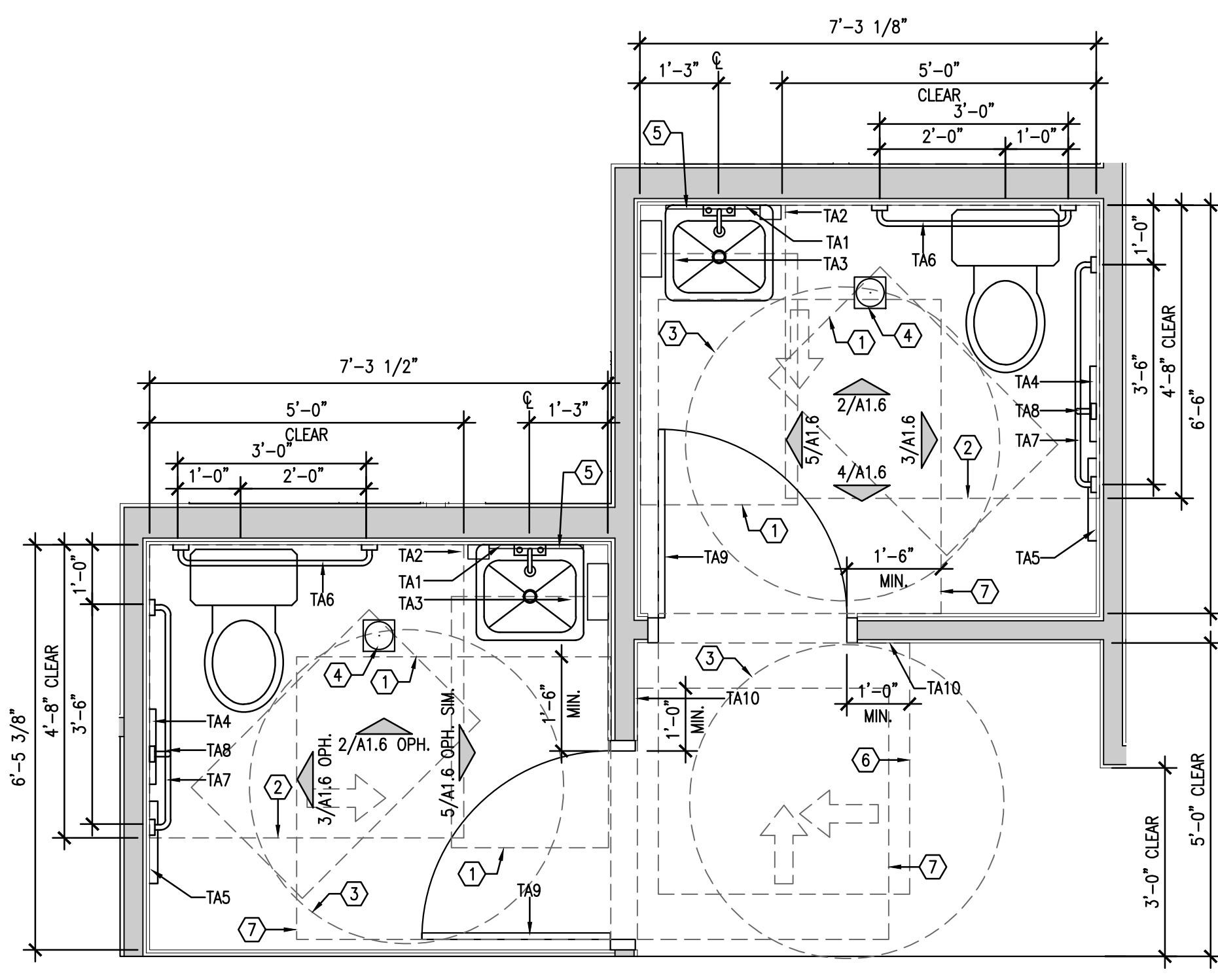
- GENERAL NOTES**
- COORDINATE AND VERIFY ALL WALL FINISHES WITH INTERIOR ELEVATIONS AND FINISH SCHEDULE.
 - INSTALLED FLOOR FINISHES SHALL BE PROTECTED DURING CONSTRUCTION. DAMAGED FLOOR FINISHES SHALL BE REPLACED AT NO ADDITIONAL COST TO OWNER.
- FINISH SCHEDULE NOTES**
- GENERAL CONTRACTOR SHALL CORRECT SUBSTRATE WHENEVER GREATER THAN 1/8" GAP OCCURS BETWEEN FINISH MATERIAL AND SUBSTRATE.
 - ALL FLOOR TILES ARE SLIP RESISTANT IN ACCORDANCE WITH ICC/ANSI A117.1-2003, SECTION 302.1
 - ALL WOOD AND WOOD PRODUCTS SHALL BE FIRE RETARDANT
- HEALTH NOTES**
- ALL CERAMIC WALL TILES IN FOOD-RELATED AREAS MUST BE SMOOTH, EASILY CLEANABLE AND LIGHT IN COLOR.
 - WALLS AND CEILINGS AT FOOD-RELATED AREAS SHALL BE DURABLE, SMOOTH, NON-ABSORBENT, WASHABLE AND LIGHT COLORED (MINIMUM LIGHT REFLECTANCE VALUE OF 70%)
 - PAINT FINISHES IN FOOD PREP/SERVICE/STORAGE AREAS MUST BE SEMI-GLOSS OR EQUIVALENT
- KEY NOTES**
- REFERENCE 3/A3.2 FOR TRANSITION DETAIL
 - GC SHALL INSTALL NOBLESEAL TS WATERPROOFING MEMBRANE THROUGHOUT SPACE, TURNED UP 6" AT ALL WALLS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
 - FLOOR SINK, REFER TO PLUMBING.
 - REFERENCE 6/A3.3 FOR COVED BASE DETAIL. TYPICAL THROUGHOUT SERVICE AREA, BACK OF HOUSE AND TOILET ROOM (U.O.N.)
 - MOP SINK, REFER TO 12/A3.3 AND PLUMBING DRAWINGS
 - START POINT OF FLOOR TILE.
 - EXISTING THRESHOLD. REPLACE/REPAIR AS REQUIRED, RE: 4B/A3.3
 - PREFABRICATED WALK-IN FREEZER. 4" INSULATED INTEGRAL FLOOR WITH 1"x36" NON-SLIP TAPE AT 12" O.C. 6" HIGH STAINLESS STEEL BASE WITH 3/8" RADIUS COVE INSIDE AND OUT.
 - FLOOR DRAIN, REFER TO PLUMBING.
 - MILLWORK FIXTURE BY VENDOR INSTALLED ON TOP OF FINISHED FLOOR. FIXTURE ON LEGS.
 - HUB DRAIN, REFER TO PLUMBING.
 - LINE OF COUNTERTOP ABOVE
 - EXISTING RAMP

SHEET TITLE:
FINISH PLAN AND SCHEDULE

SHEET NUMBER:
A1.5

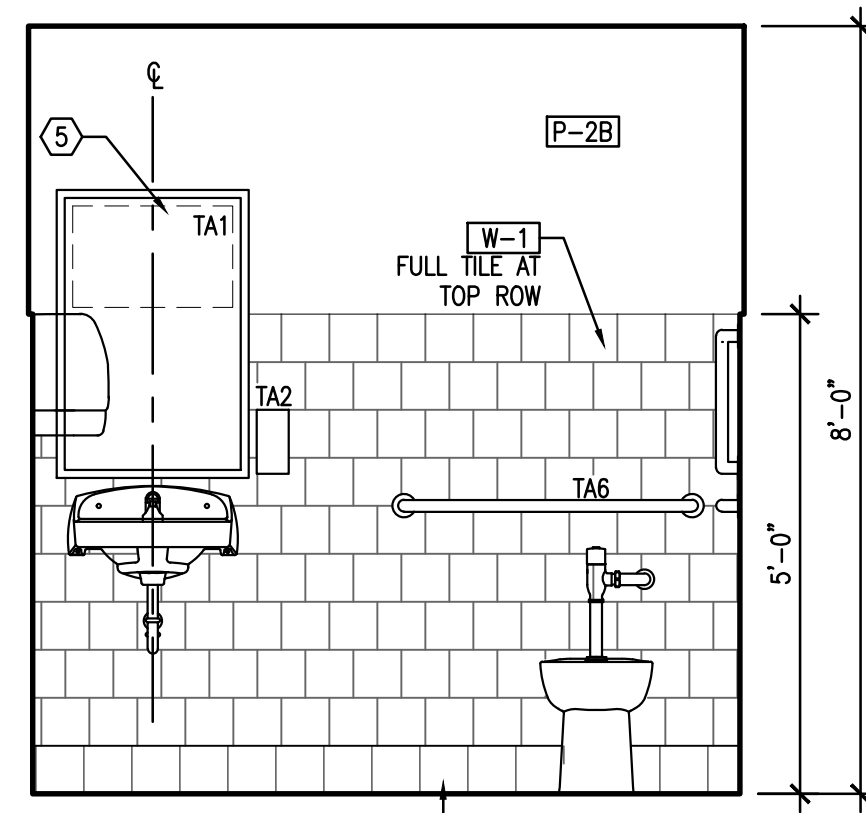
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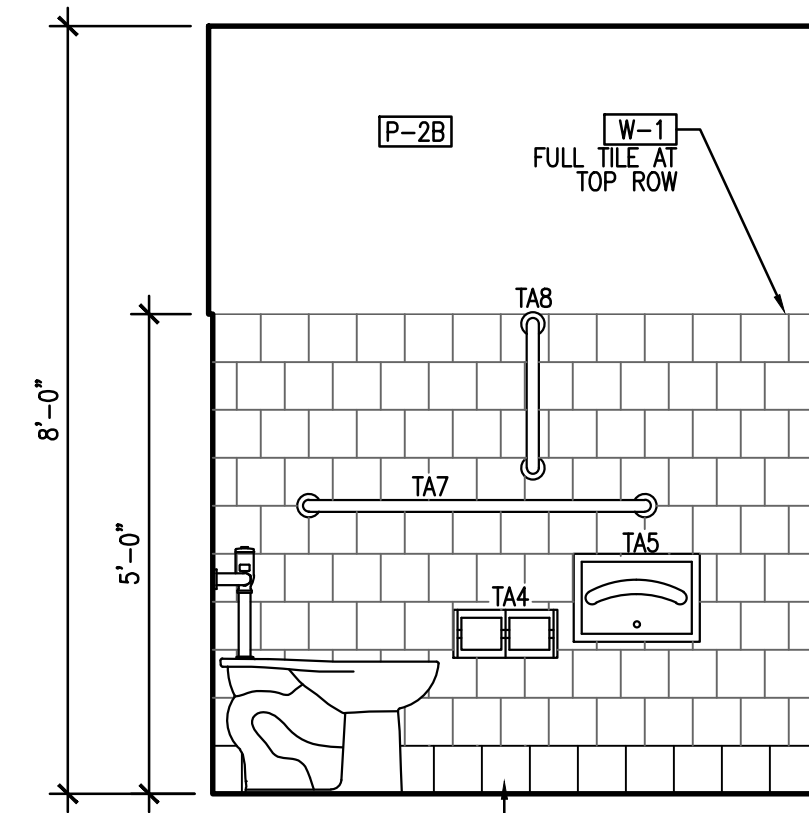
NOTE:
TOILET ROOM PLAN DIMENSIONS SHOWN ARE TO FACE OF WALL FINISH, UNLESS OTHERWISE NOTED.

ENLARGED TOILET ROOM PLAN 1/2"=1'-0" 1



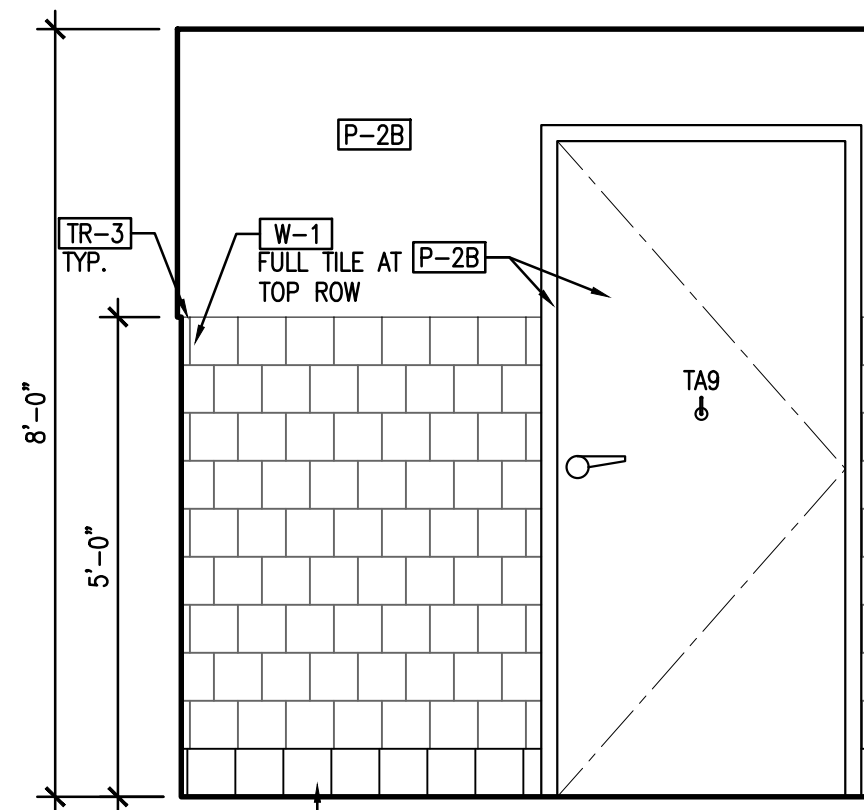
TYPICAL ELEVATIONS SHOWN FOR REFERENCE, SEE 1/A1.6 PLAN ACTUAL LAYOUT

TYPICAL TOILET ELEVATION 1/2"=1'-0" 2



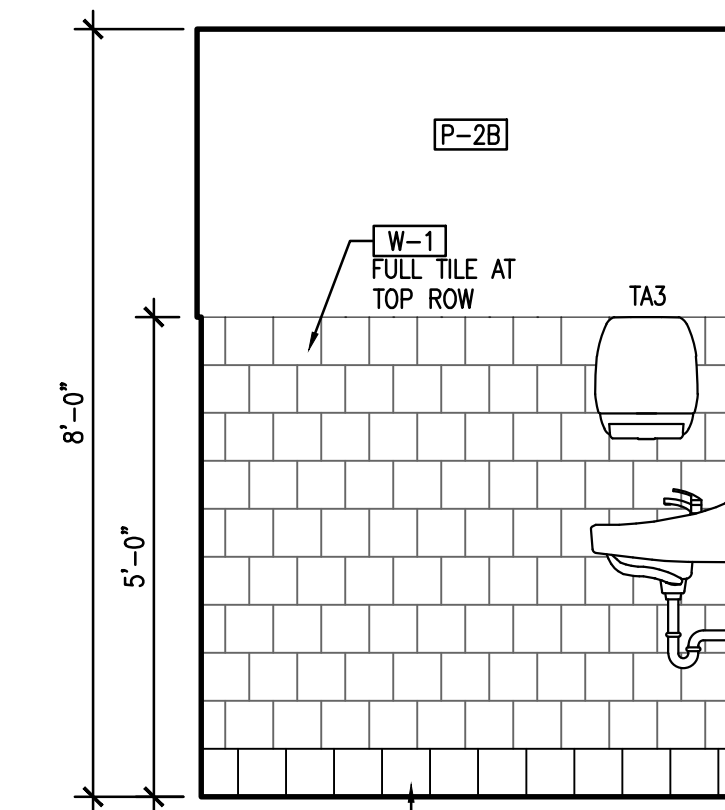
TYPICAL ELEVATIONS SHOWN FOR REFERENCE, SEE 1/A1.6 PLAN ACTUAL LAYOUT

TYPICAL TOILET ELEVATION 1/2"=1'-0" 3



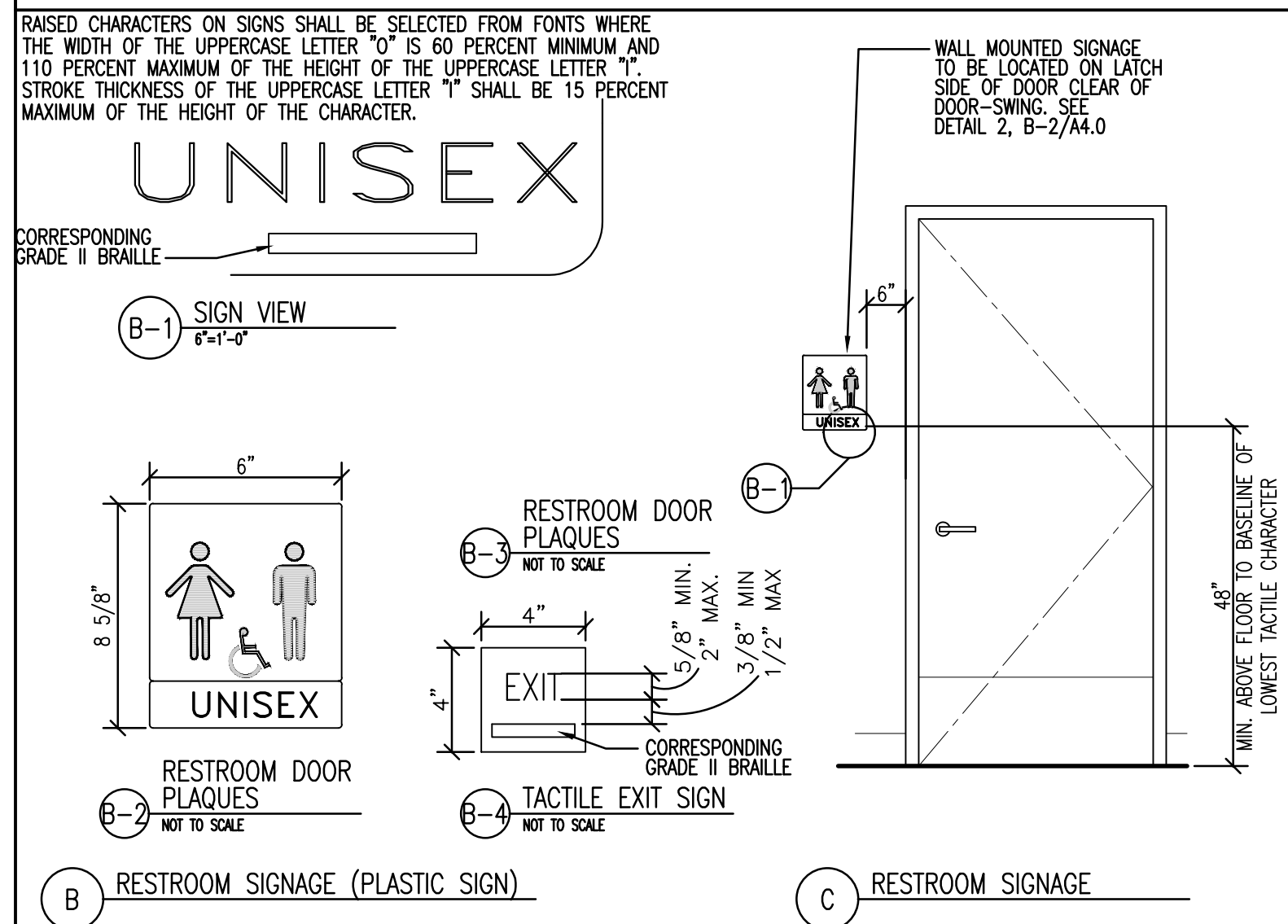
TYPICAL ELEVATIONS SHOWN FOR REFERENCE, SEE 1/A1.6 PLAN ACTUAL LAYOUT

TYPICAL TOILET ELEVATION 1/2"=1'-0" 4

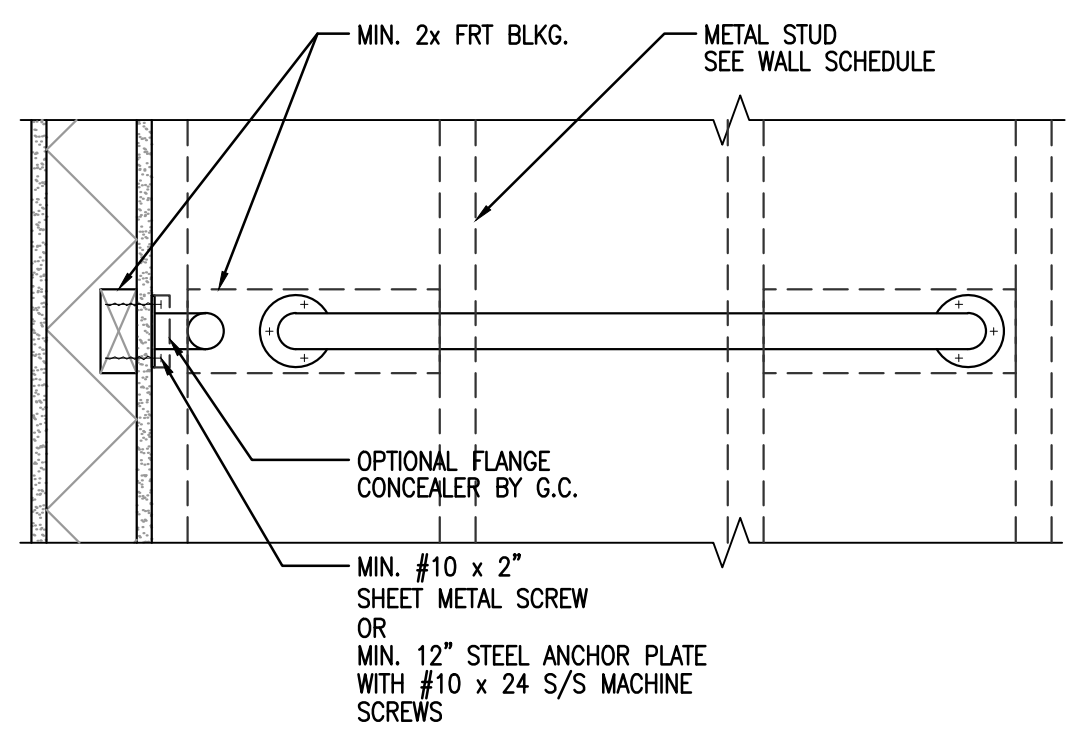


TYPICAL ELEVATIONS SHOWN FOR REFERENCE, SEE 1/A1.6 PLAN ACTUAL LAYOUT

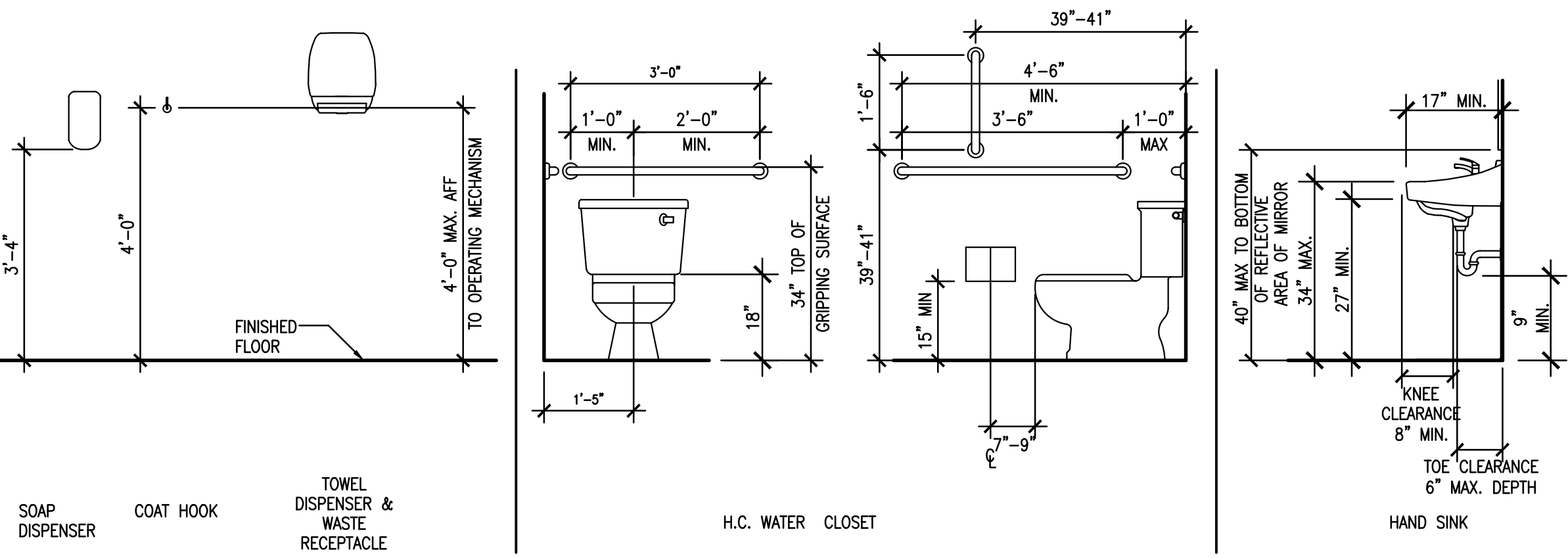
TYPICAL TOILET ELEVATION 1/2"=1'-0" 5



TYPICAL RESTROOM SIGNAGE N.T.S. 10



GRAB BAR BLOCKING DETAIL, TYPICAL N.T.S. 11



ADA REQUIREMENTS N.T.S. 12

GENERAL NOTES

- 1 PROVIDE BLOCKING FOR ALL ACCESSORIES AND ANCHOR WITH TOGGLE BOLTS OR LAG SCREWS - NO PLASTIC EXPANSION SHIELDS.
- 2 PROVIDE WALL BUMPER AT TOILET DOORS WHERE THEY CAN CONTACT WALLS.
- 3 REFER TO PLUMBING SCHEDULE FOR SPECS OF ALL WATER CLOSETS AND LAVATORIES.
- 4 ALL EXPOSED PIPING TO BE INSULATED AS PER ADA REQUIREMENTS. REFER TO PLUMBING FOR SPECS.
- 5 REFER TO SHEET AD.1 FOR ALL MOUNTING AND DIMENSIONING FOR CODE REQUIREMENTS.
- 6 ALL ITEMS IN THE RESTROOM THAT ARE STATED TO BE PROVIDED BY OWNER ARE TO BE INSTALLED BY GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.

TOILET ACCESSORY SCHEDULE

ALL TOILET ROOM ACCESSORIES TO BE PROVIDED AND INSTALLED BY G.C.

TAG	ITEM	DESCRIPTION
TA1	WALL MIRROR (18"x30")	BOBRICK: #B165-1830
TA2	SOAP DISPENSER	EAGLE GROUP #377455
TA3	PAPER TOWEL DISPENSER	BOBRICK #B-72974
TA4	TOILET TISSUE DISP. (DOUBLE)	BOBRICK #B-21460
TA5	TOILET SEAT COVER DISP.	BOBRICK #B-221
TA6	H.C. GRAB BAR (36" LONG)	BOBRICK #B-6806-36
TA7	H.C. GRAB BAR (42" LONG)	BOBRICK #B-6806-42
TA8	VERTICAL GRAB BAR	BOBRICK #B-6806-18
TA9	COAT HOOK (BACK OF DOOR)	BOBRICK MODEL #B-212
TA10	HANDICAP RESTROOM SIGN	TRIMCO

FINISH SCHEDULE

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www.focusbrands.com

01/31/22

JAMBA/AUNTIE ANNE'S
MADISON WISCONSIN
650 STATE STREET
MADISON, WI 53703
CLIENT: TWISTED PRETZEL, INC
CESAR HERNANDEZ

Jamba
#103706
AuntieAnne's

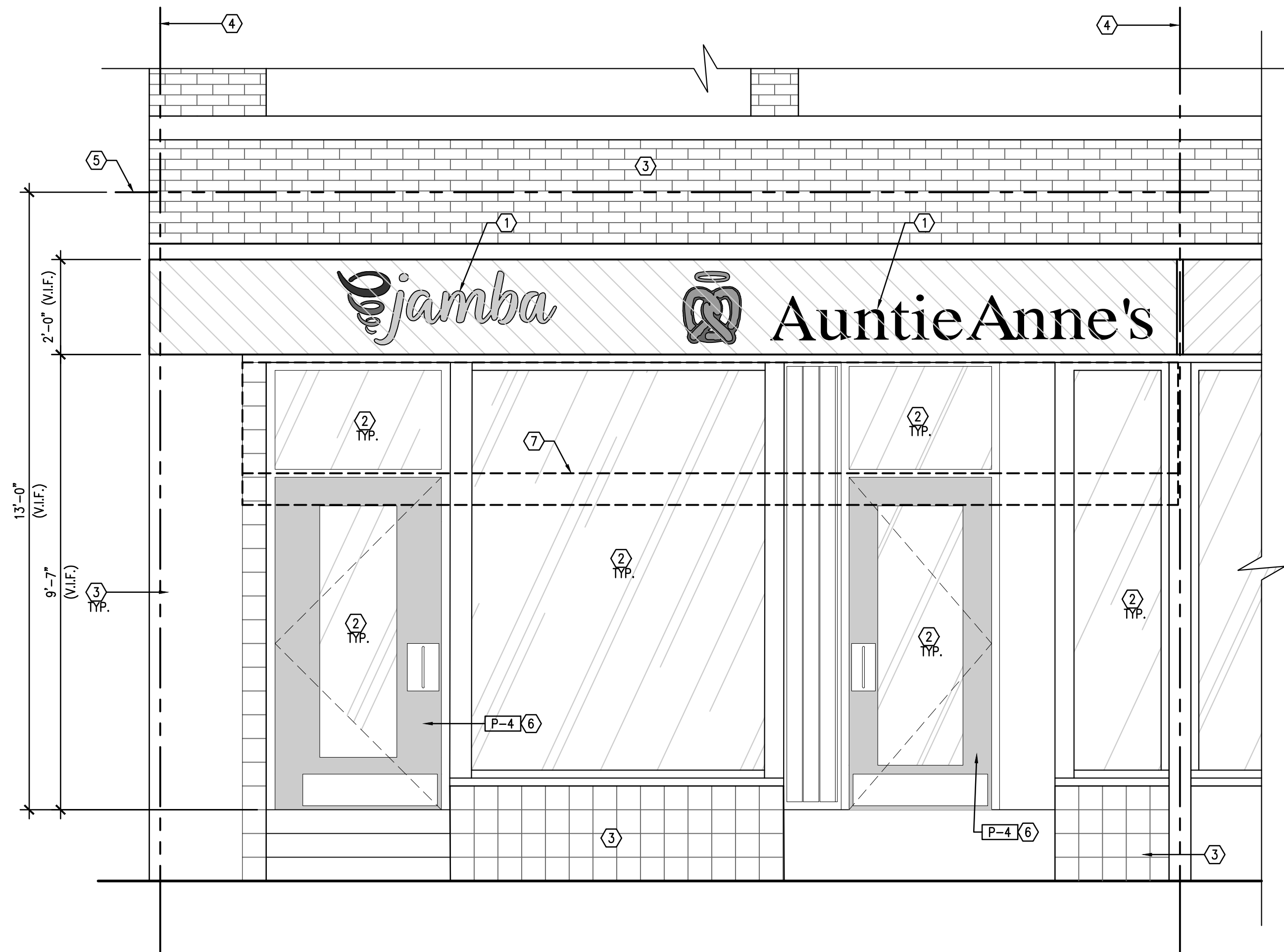
DATE	DESCRIPTION
01.07.22	OWNER REVIEW ISSUE
01.31.22	PERMIT ISSUE

DATE	DESCRIPTION

SHEET TITLE:
ENLARGED RESTROOM PLAN

SHEET NUMBER:
A1.6

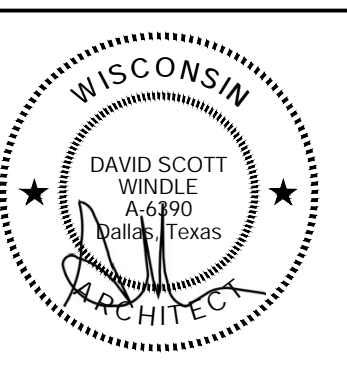
PROJECT NUMBER:
JAJ21024



- KEY NOTES:**
- 1 NEW SIGNAGE SHOWN FOR REFERENCE ONLY. FINAL SIZE AND LOCATION TO BE DESIGNED BY SIGN VENDOR AND SUBMITTED TO FOCUS BRANDS, LANDLORD AND CITY UNDER SEPARATE PERMIT. DIMENSIONS SHOWN ARE FOR BIDDING PURPOSES ONLY. FINAL DIMENSIONS WILL NEED TO BE VERIFIED IN FIELD.
 - 2 EXISTING STOREFRONT DOORS AND GLAZING SYSTEM TO REMAIN. GC TO HAVE GLAZING PROFESSIONALLY CLEANED PRIOR TO TURNOVER, TYPICAL.
 - 3 EXISTING EXTERIOR FINISHES TO REMAIN. G.C TO PATCH AND REPAINT ANY HOLES OR OLD PATCHES NOT DONE TO BASE BUILDING STANDARD, TYPICAL. COORDINATE WITH LANDLORD.
 - 4 LEASE LINE
 - 5 LINE OF SECOND FLOOR ABOVE, NOT IN SCOPE OF WORK.
 - 6 G.C. TO PAINT EXISTING DOOR, INTERIOR AND EXTERIOR. COORDINATE PAINT AND PRIMER SPEC. AN INSTALLATION INSTRUCTIONS WITH PAINT MANUFACTURER FOR EXISTING DOOR SUBSTRATE (V.I.F.) DOOR ONLY, DON NOT PAINT MULLIONS (U.O.N.)
 - 7 DASHED LINE OF EXISTING METAL AWNING TO BE RECOVERED TO BRAND STANDARDS BY APPROVED SIGN VENDOR.

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01/31/22

JAMBA/AUNTIE ANNE'S
 MADISON WISCONSIN
 650 STATE STREET
 MADISON, WI 53703
 CLIENT: TWISTED PRETZEL, INC
 CESAR HERNANDEZ



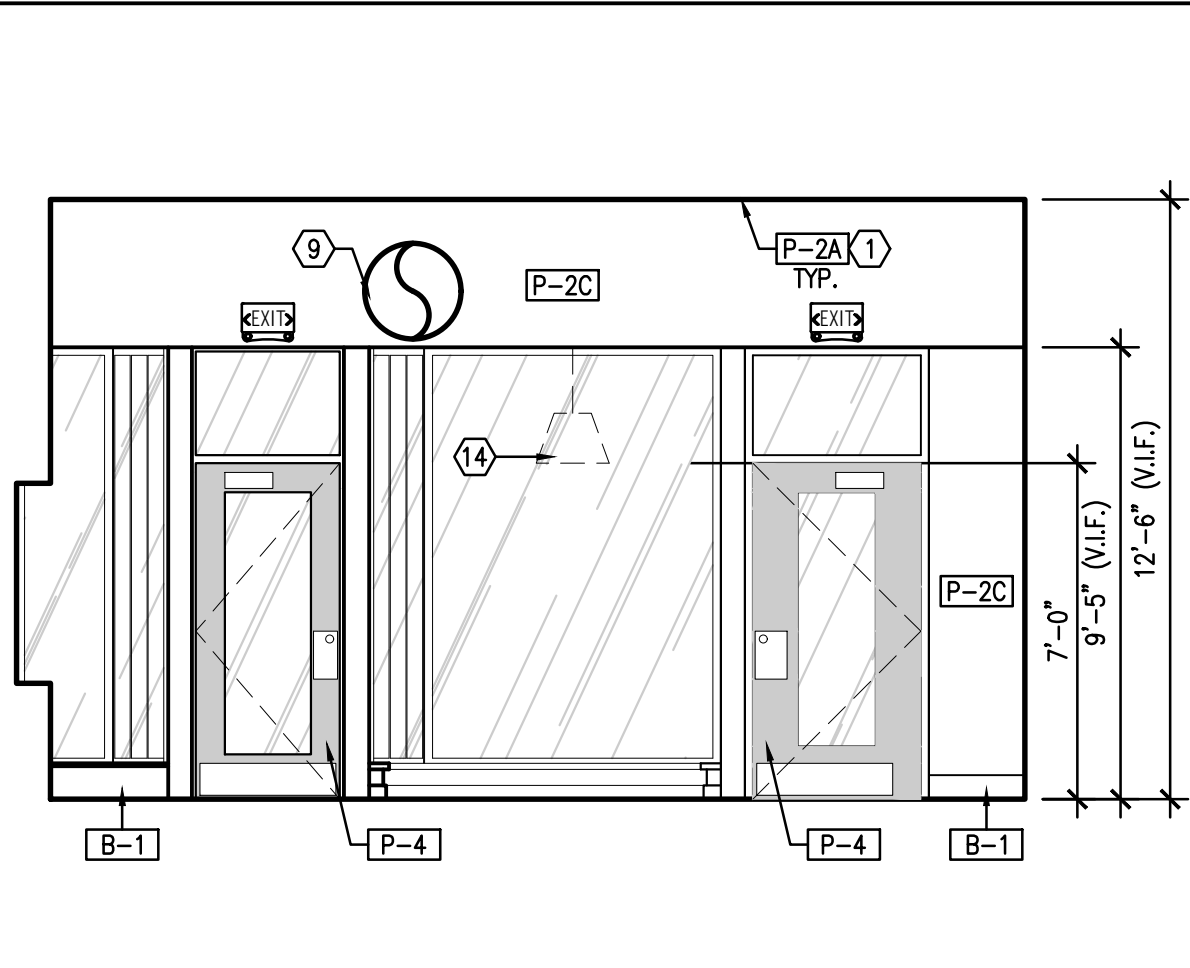
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01.07.22	OWNER REVIEW ISSUE
01.31.22	PERMIT ISSUE

DATE	DESCRIPTION

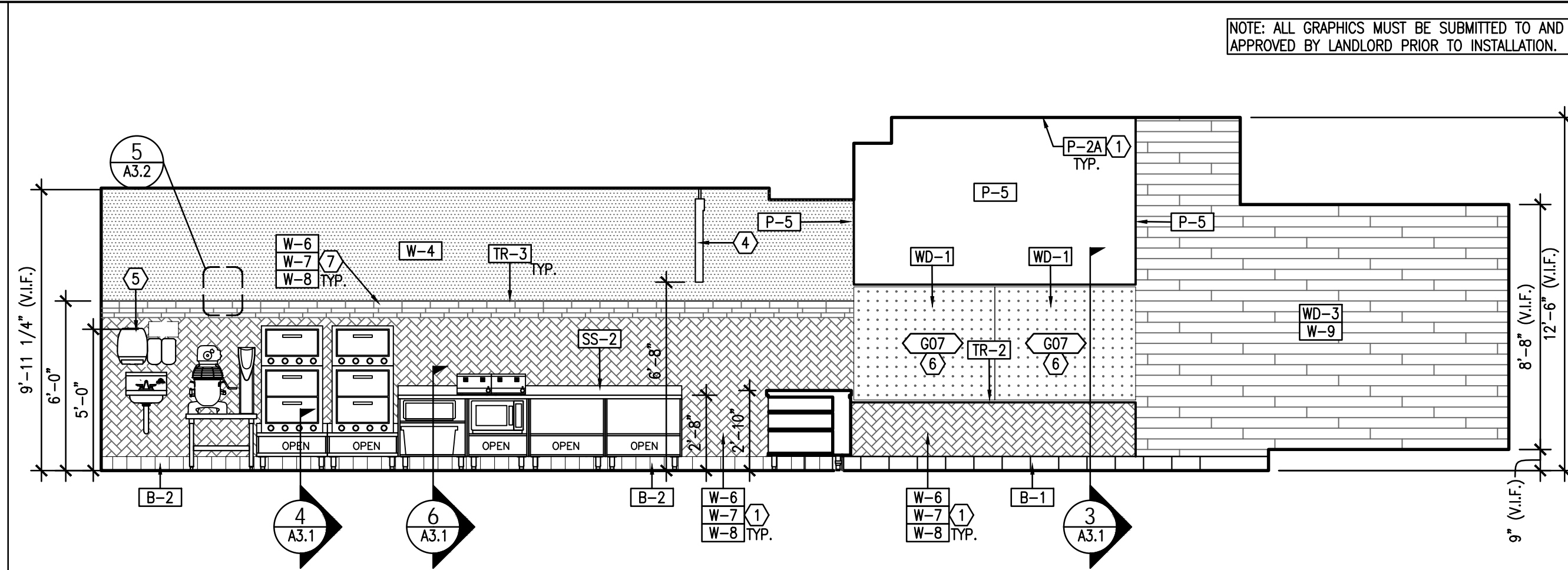
SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER:
A2.0

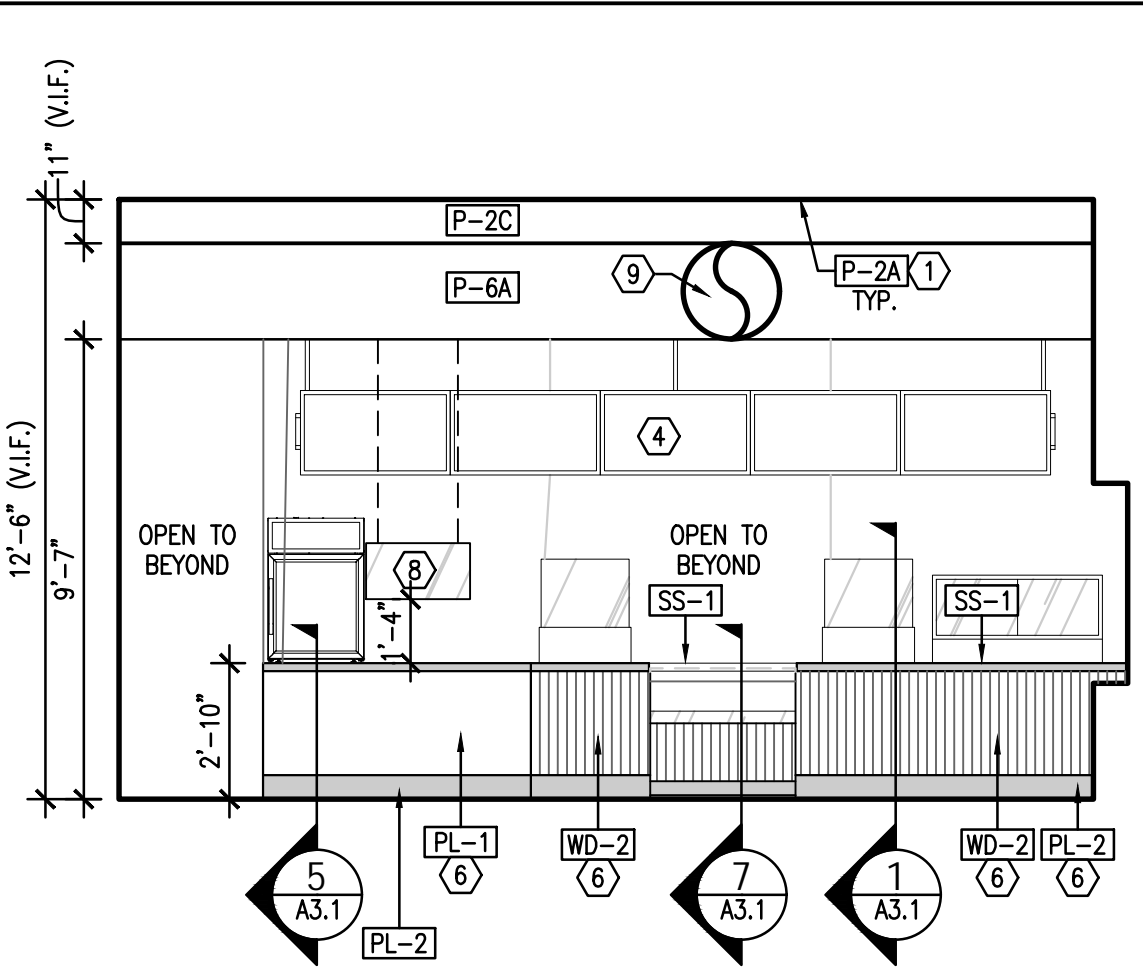
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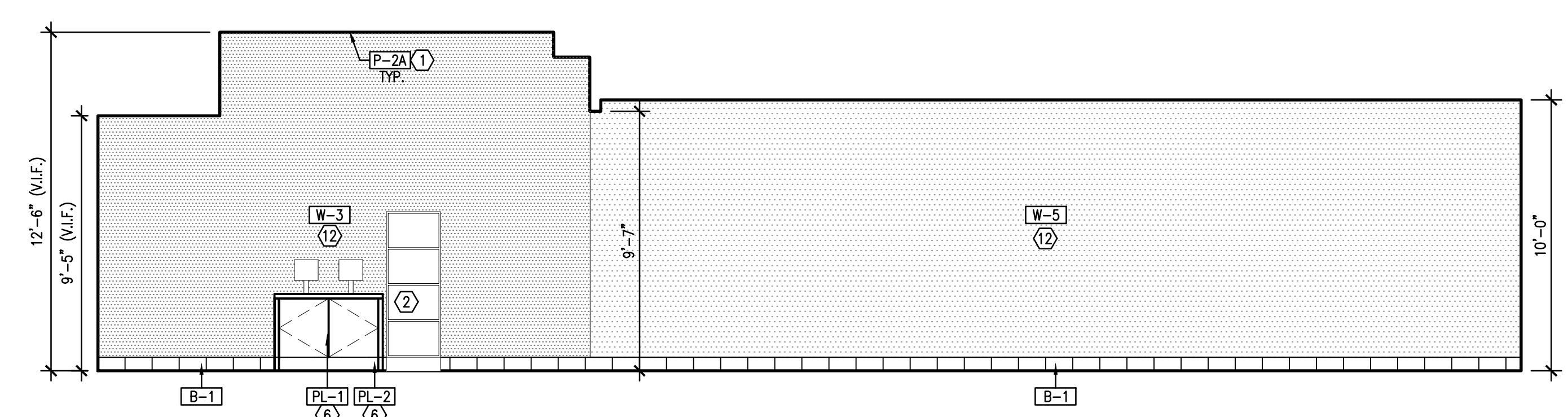
ELEVATION 1
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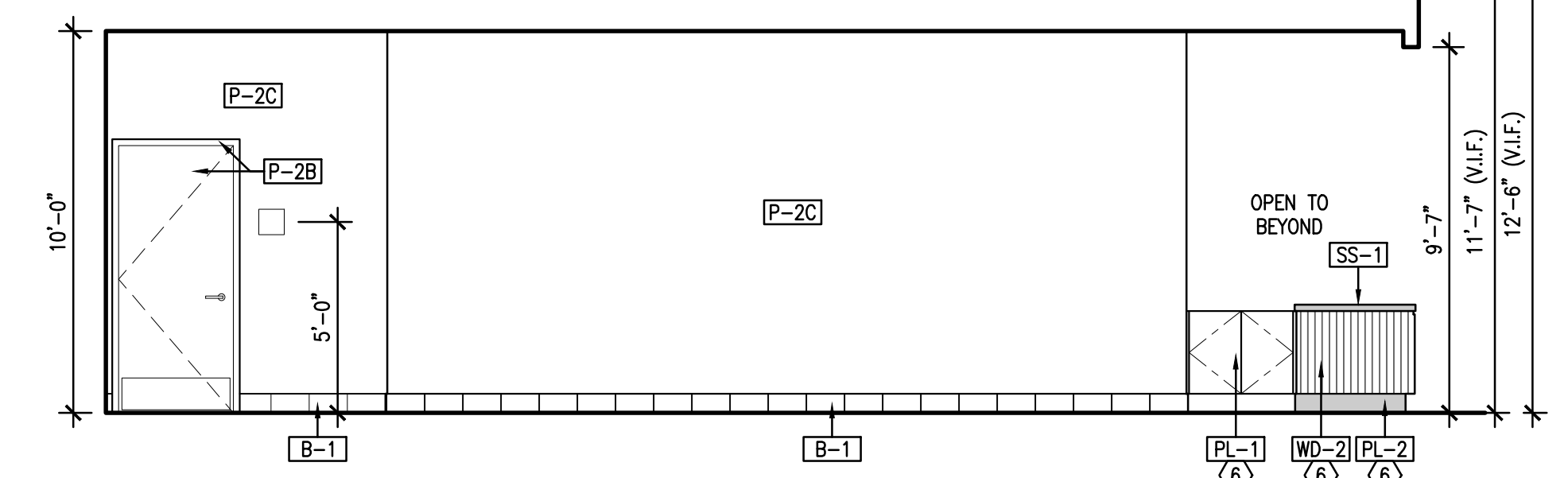
ELEVATION 2
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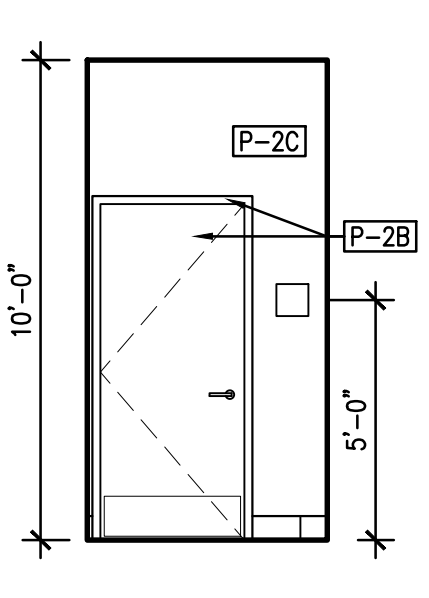
ELEVATION 3
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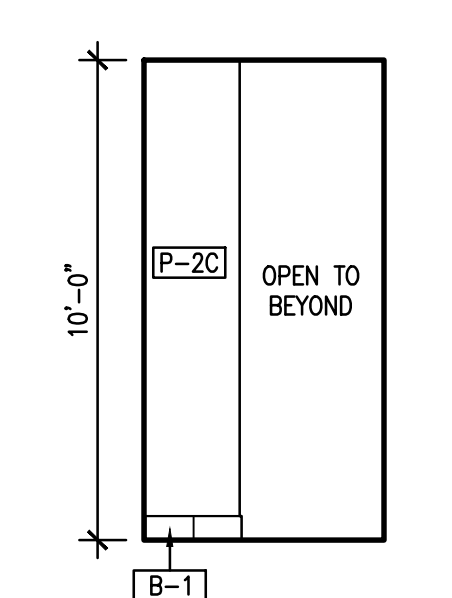
ELEVATION 4
1/4"=1'-0"



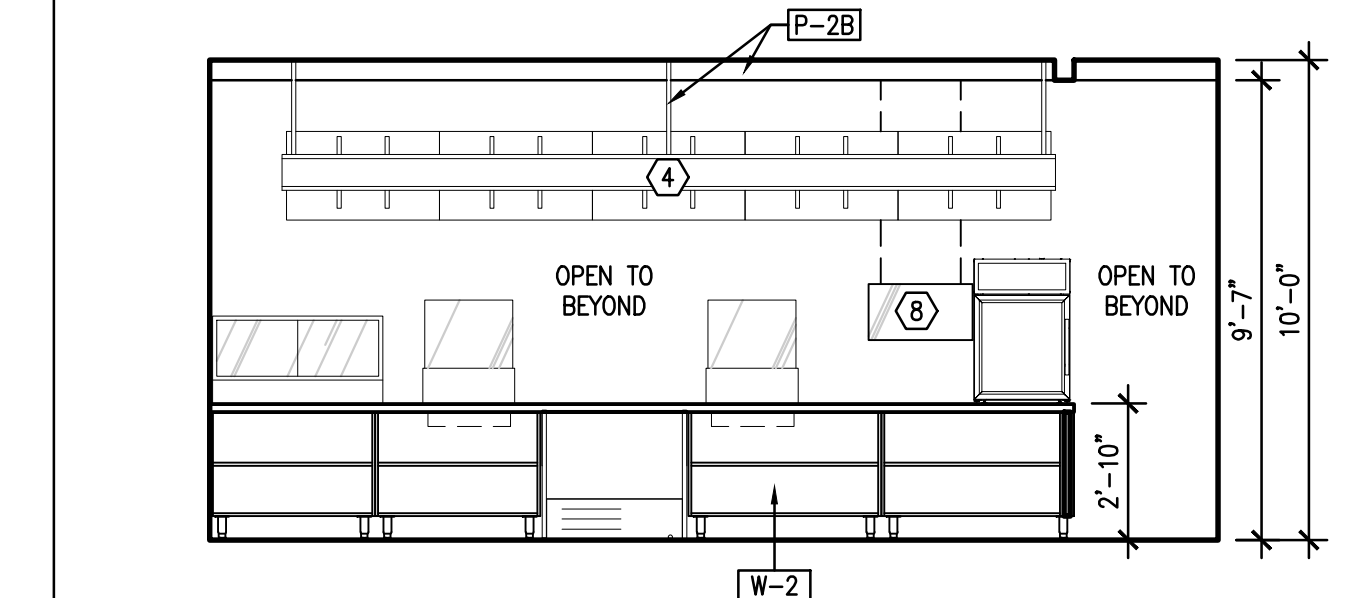
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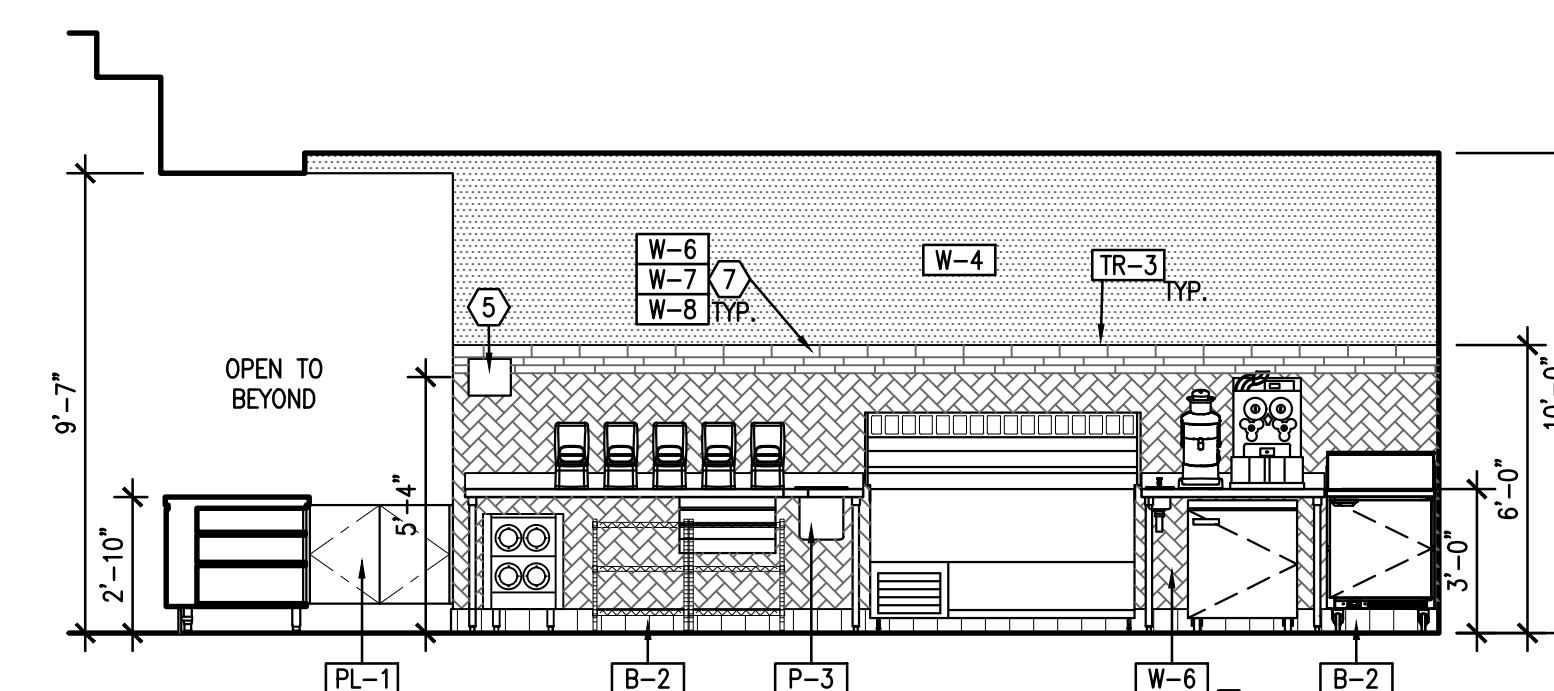
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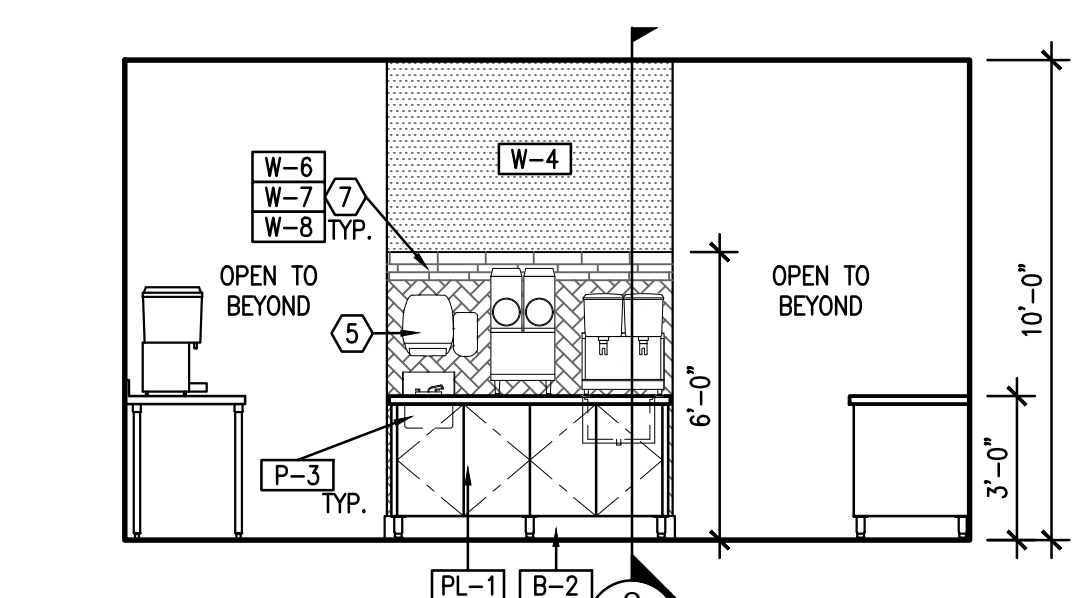
ELEVATION 7
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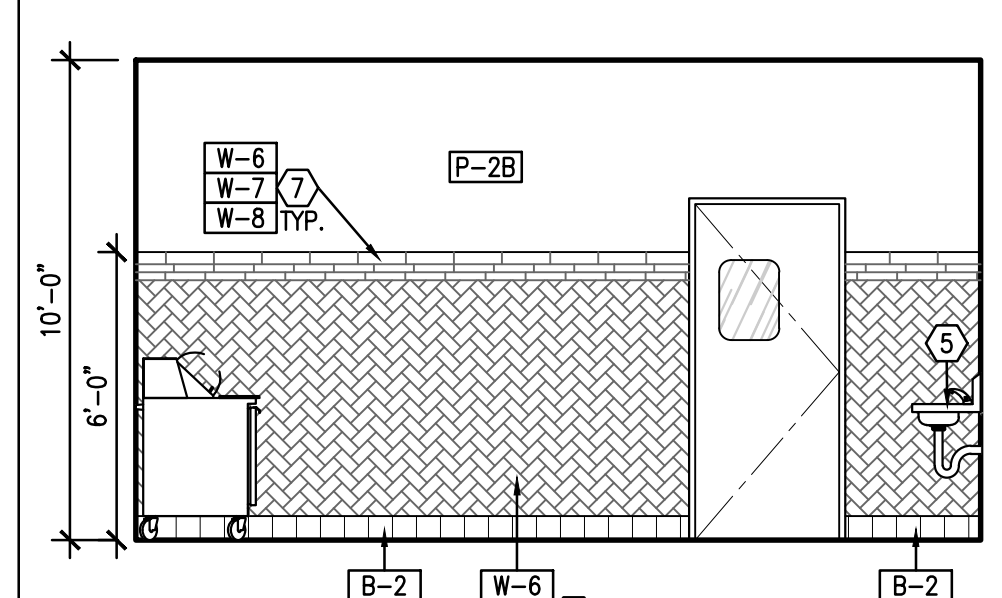
ELEVATION 8
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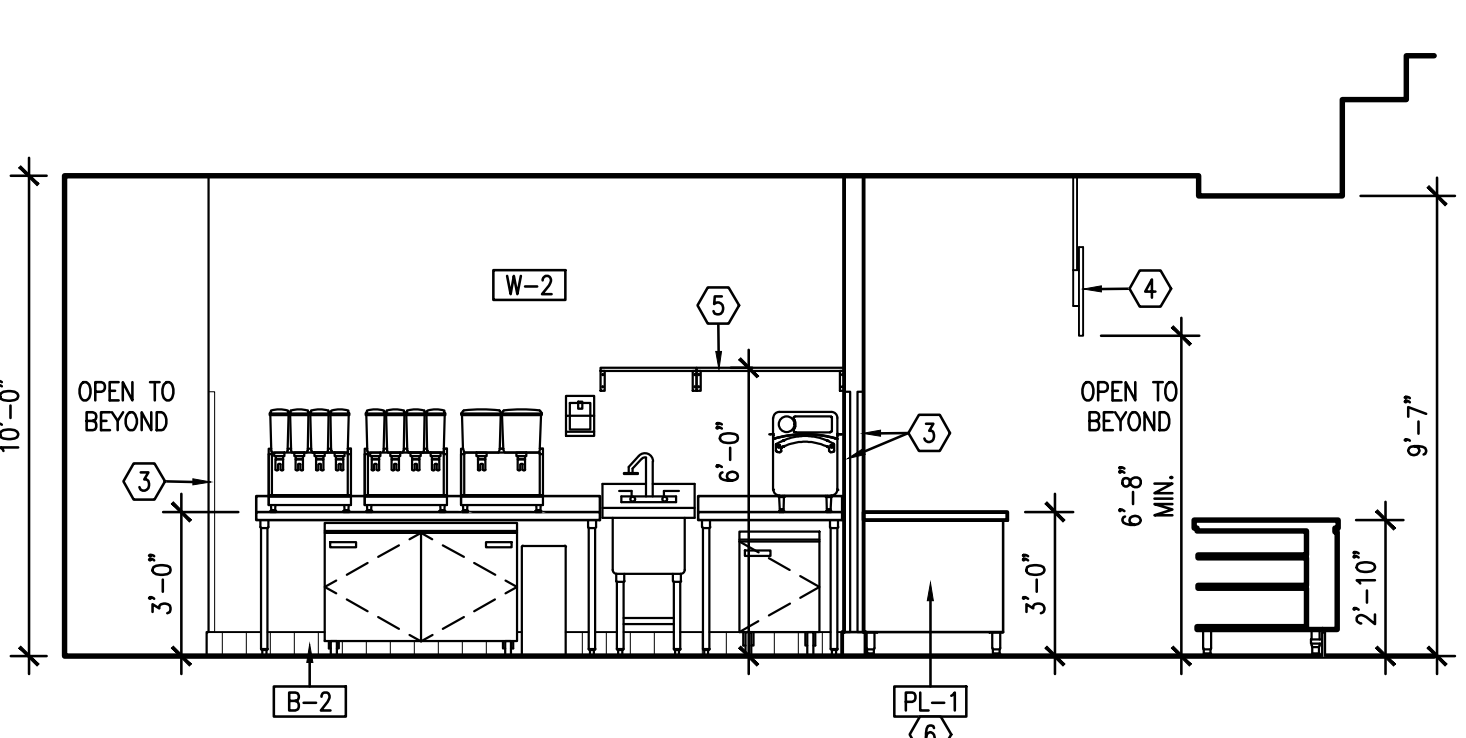
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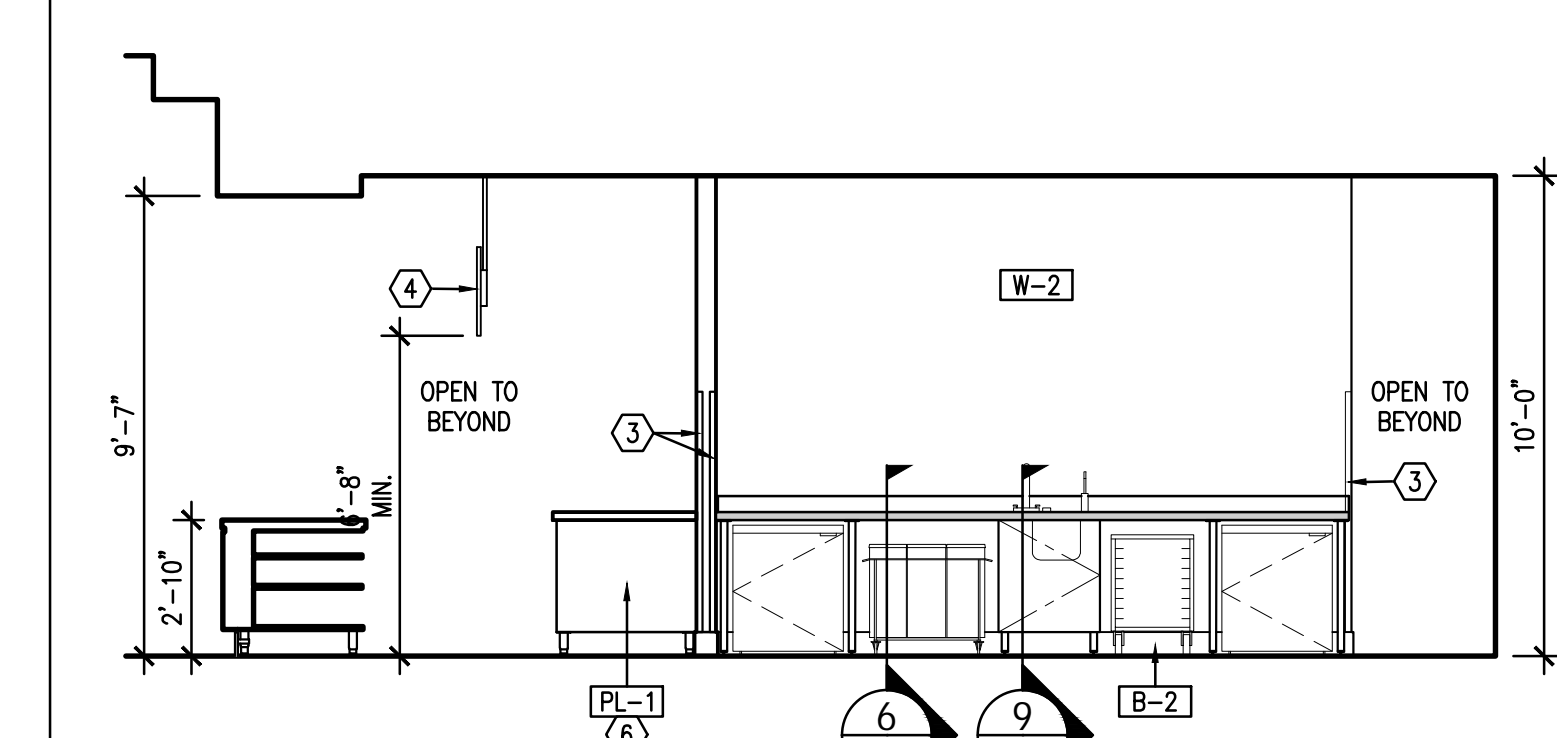
ELEVATION 10
1/4"=1'-0"



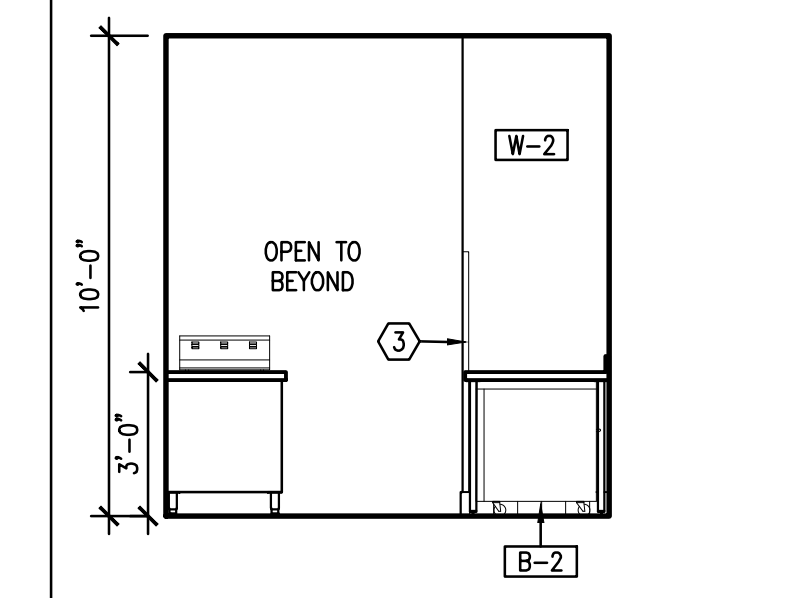
ELEVATION 11
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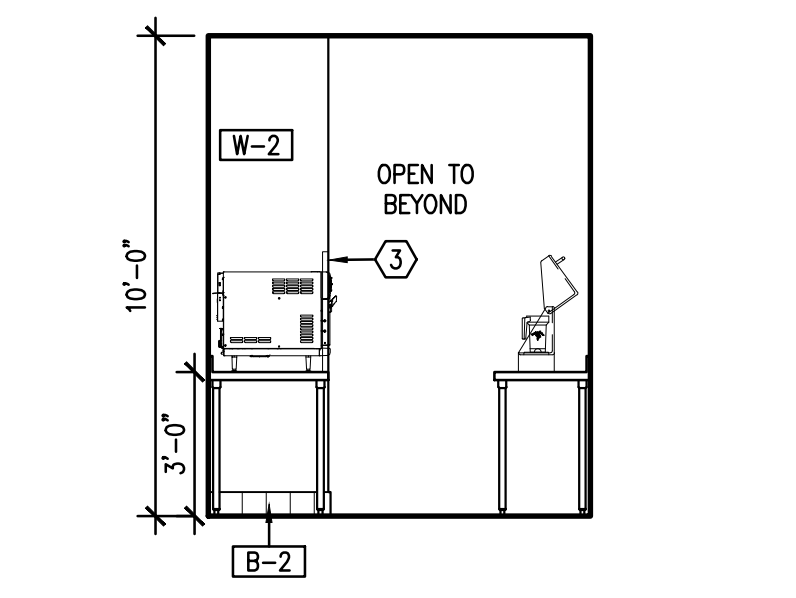
ELEVATION 12
1/4"=1'-0"



ELEVATION 13
1/4"=1'-0"



ELEVATION 14
1/4"=1'-0"



ELEVATION 15
1/4"=1'-0"

NOTE: ALL GRAPHICS MUST BE SUBMITTED TO AND APPROVED BY LANDLORD PRIOR TO INSTALLATION.

SYMBOL LEGEND	
<XXX>	SEE SHEET EQ2.1 FOR EQUIPMENT SCHEDULE EQUIPMENT INDICATION
FINISH SCHEDULE	
CEILING	
C-1	GYPSUM BOARD CEILING
C-2	24"X24" WHITE VINYL ACOUSTICAL CEILING TILE
FLOOR	
F-1	POLISHED CONCRETE (NATURAL)
F-2	6"X6" TILE
BASE	
B-1	6" TILE BASE
B-2	6" COVED TILE
PAINT	
P-2A	BALLET WHITE (FLAT)
P-2B	BALLET WHITE (SEMI-GLOSS)
P-2C	BALLET WHITE (EGGSHELL)
P-3	BRUSHED ALUMINUM (GLOSS LATEX ENAMEL)
P-4	FIDDLEHEAD GREEN (STOREFRONT DOOR)
P-5	FIDDLEHEAD GREEN (SEMI-GLOSS)
P-6A	NAVAL (FLAT)
WALLS COVERINGS	
W-2	WHITE FRP
W-3	LOBBY MURAL
W-4	WOOD VENEER
W-5	MENU MURAL
W-6	CERAMIC TILE (WHITE)
W-7	CERAMIC TILE (GREEN)
W-8	CERAMIC TILE (BLUE)
MISC.	
WD-2	FIXTURE WOOD - TAMBOUR - MAPLE
WD-3	ENGINEERED HICKORY PLANKS - DURANGO HICKORY
PL-1	PLASTIC LAMINATE - BEIGEWOOD
PL-2	PLASTIC LAMINATE - SATIN BRUSHED GOLD ALUMINUM
PL-4	PLASTIC LAMINATE - WHITE
SS-1	SOLID SURFACE - JAMBA TERRAZZO
SS-2	SOLID SURFACE - GLACIER WHITE
TR-1	TRIM: CONCRETE TO TILE
TR-2	TRIM: OUTSIDE TILE CORNER
TR-3	TRIM: EXPOSED TILE EDGE
KEY NOTES	
1	G.C. TO REMOVE ANY UNUSED DUCTWORK, CONDUIT, EQUIPMENT, ETC. CLEAN AND PREPARE TO PAINT IN EXISTING CEILING LOCATION.
2	REF: 10/A3.1 FOR TO GO CUBES.
3	2"X2"X72" BRUSHED ALUMINUM OR STAINLESS STEEL GUARD PROVIDED/ INSTALLED BY G.C.
4	SUSPENDED MENU BOARD FIXTURE BY VENDOR, INSTALLED BY G.C. SECURE TO STRUCTURE ABOVE WITH UNISTRUT AND ALL THREAD. PAINT ALL THREAD AND UNISTRUT TO MATCH CEILING. REF: 1/A3.2 FOR ATTACHMENT.
5	PROVIDE BLOCKING IN WALL AS REQUIRED, REF: A1.3
6	MILLWORK FIXTURE BY VENDOR, INSTALLED BY G.C.
7	REF: 5/A3.2 FOR TYPICAL TILE INSTALL LAYOUT
8	FLEXIGLASS SHIELD SUSPENDED FROM MILLWORK HEADER. PROVIDED BY VENDOR, INSTALLED BY G.C.
9	EXISTING SPIRAL DUCTWORK RUNNING THROUGH SPACE TO REMAIN, VERIFY EXACT HEIGHTS AND LOCATION IN FIELD.
10	PAINT ALL EXPOSED PVC PIPE VISIBLE TO CUSTOMER [P-2]. DO NOT PAINT COPPER PIPING.
11	NOT USED
12	VINYL WALL GRAPHIC APPLIED TO GYP. BD. SUBSTRATE. VERIFY WALL DIMENSIONS IN FIELD PRIOR TO FABRICATION.
13	NOT USED
14	LIGHTING FIXTURE, REF: ELECTRICAL.

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CLIENT: TWISTED PRETZEL, INC
CESAR HERNANDEZ

Jamba
#103706
AuntieAnne's

DATE	DESCRIPTION
01.07.22	OWNER REVIEW ISSUE
01.31.22	PERMIT ISSUE

DATE	DESCRIPTION

SHEET TITLE:
INTERIOR ELEVATIONS

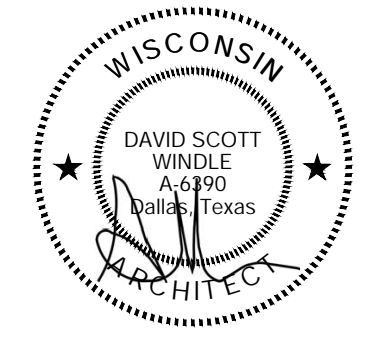
SHEET NUMBER:
A2.1

PROJECT NUMBER:
JAJ21024

SYMBOL LEGEND	
<XXX>	SEE SHEET EQ2.1 FOR EQUIPMENT SCHEDULE EQUIPMENT INDICATION
FINISH SCHEDULE	
CEILING	
C-1	GYPSUM BOARD CEILING
C-2	24"X24" WHITE VINYL ACOUSTICAL CEILING TILE
FLOOR	
F-1	POLISHED CONCRETE (NATURAL)
F-2	6"X6" TILE
BASE	
B-1	6" TILE BASE
B-2	6" COVED TILE
PAINT	
P-2A	BALLET WHITE (FLAT)
P-2B	BALLET WHITE (SEMI-GLOSS)
P-2C	BALLET WHITE (EGGSHELL)
P-3	BRUSHED ALUMINUM (GLOSS LATEX ENAMEL)
P-4	FIDDLEHEAD GREEN (STOREFRONT DOOR)
P-5	FIDDLEHEAD GREEN (SEMI-GLOSS)
P-6A	NAVAL (FLAT)
WALLS COVERINGS	
W-2	WHITE FRP
W-3	LOBBY MURAL
W-4	WOOD VENEER
W-5	MENU MURAL
W-6	CERAMIC TILE (WHITE)
W-7	CERAMIC TILE (GREEN)
W-8	CERAMIC TILE (BLUE)
MISC.	
WD-2	FIXTURE WOOD - TAMBOUR - MAPLE
WD-3	ENGINEERED HICKORY PLANKS - DURANGO HICKORY
PL-1	PLASTIC LAMINATE - BEIGEWOOD
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TR-2	TRIM: OUTSIDE TILE CORNER
TR-3	TRIM: EXPOSED TILE EDGE
KEY NOTES	
1	PROVIDE BLOCKING IN WALL AS REQUIRED, REF: A1.3
2	WATER HEATER, RE: 12/A3.3 AND PLUMBING.
3	2"x2"x72" BRUSHED ALUMINUM OR STAINLESS STEEL GUARD PROVIDED/INSTALLED BY G.C.
4	EXISTING GLASS BLOCK WINDOW.
5	WALK-IN FREEZER.
6	EXISTING WOOD BEAM.
7	EXISTING STEEL COLUMN.
8	NEW ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS.

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CLIENT: TWISTED PRETZEL, INC
 CESAR HERNANDEZ



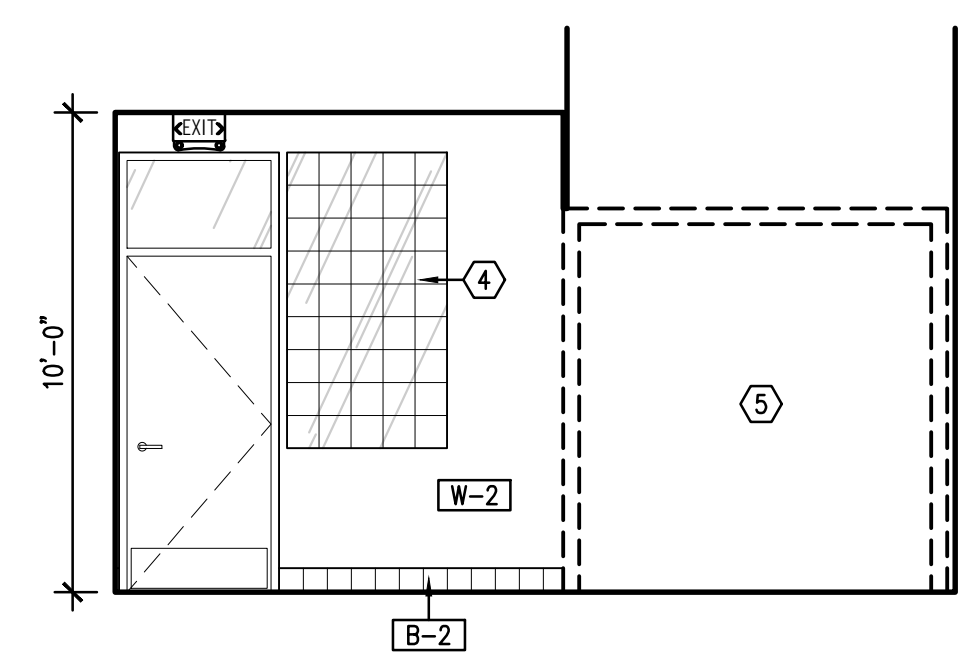
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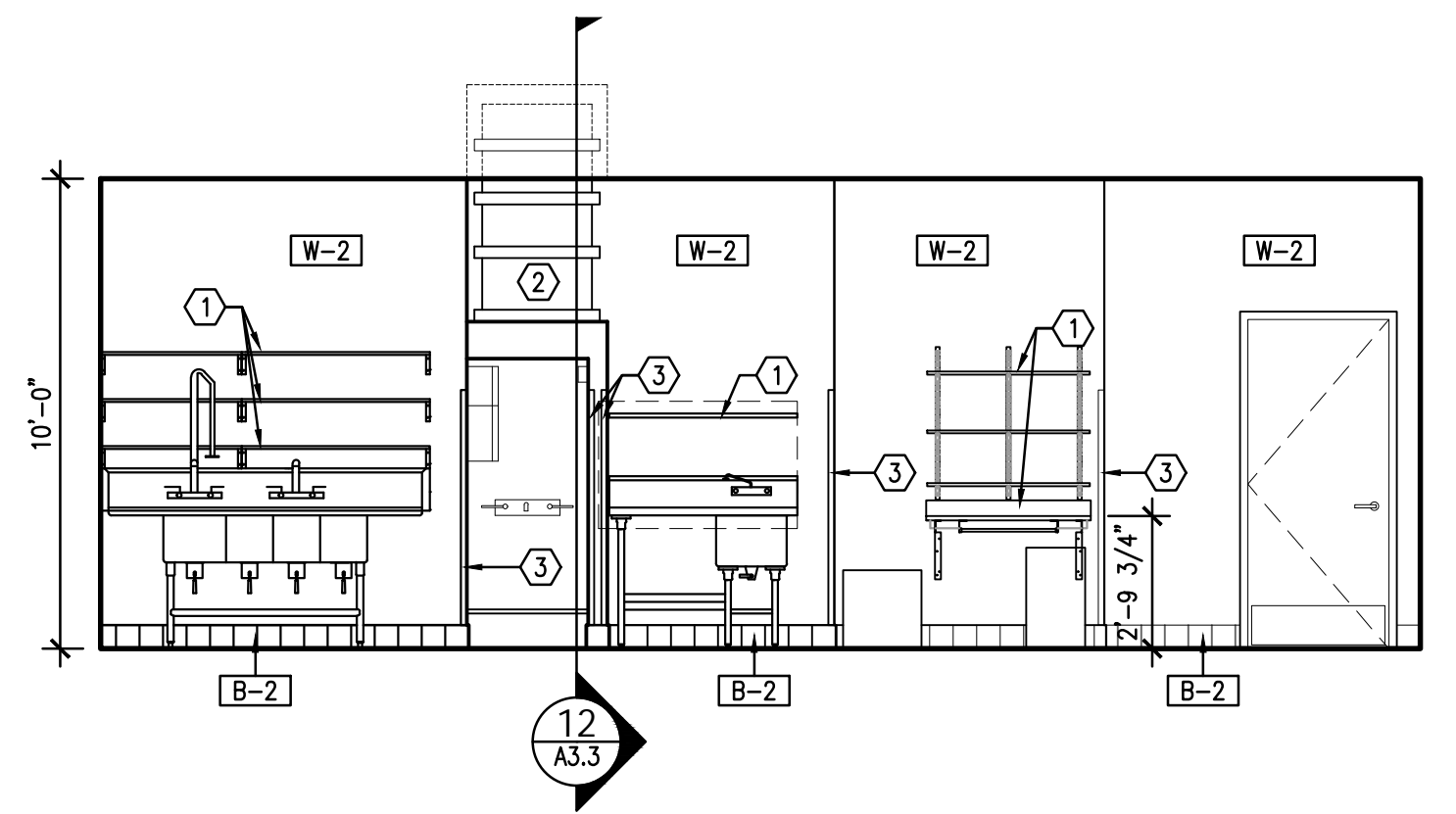
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INTERIOR ELEVATIONS

SHEET NUMBER:
A2.2

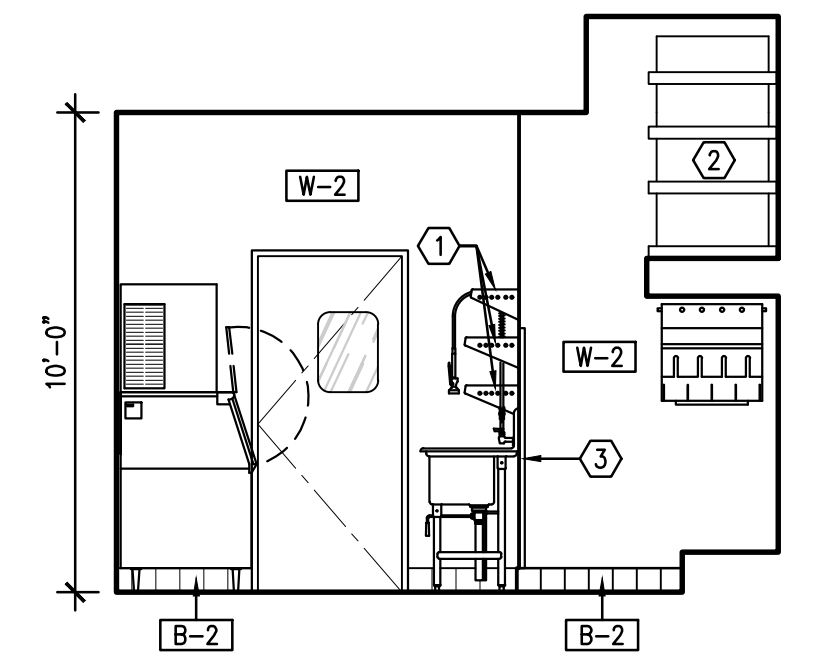
PROJECT NUMBER:
JA21024



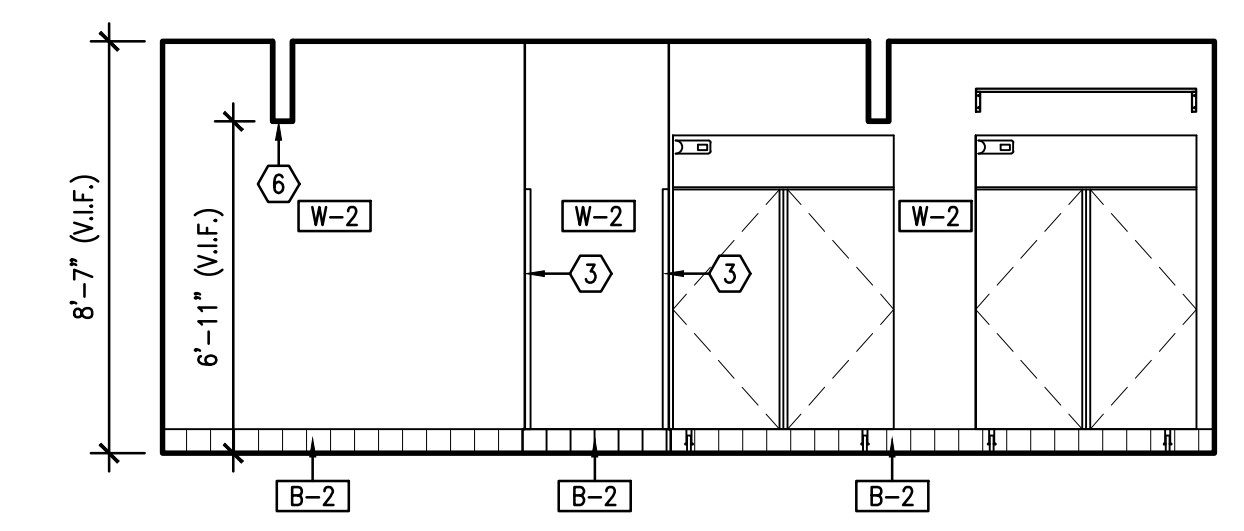
ELEVATION 3
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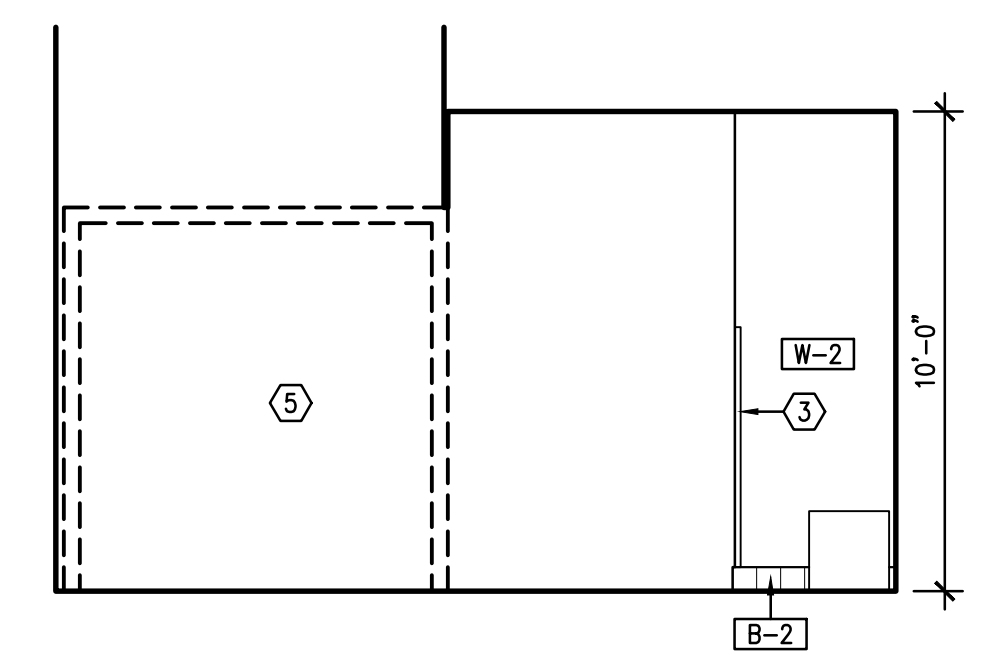
ELEVATION 2
 1/4"=1'-0"



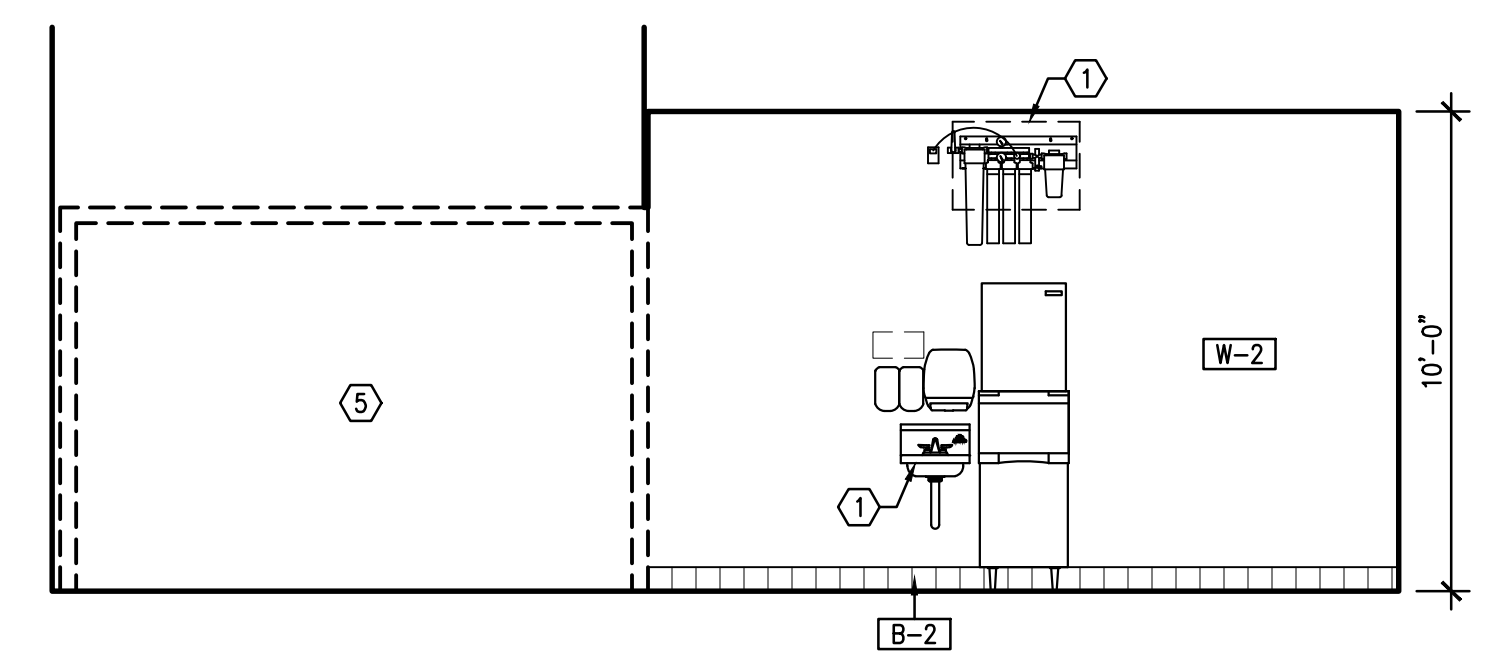
ELEVATION 1
 1/4"=1'-0"



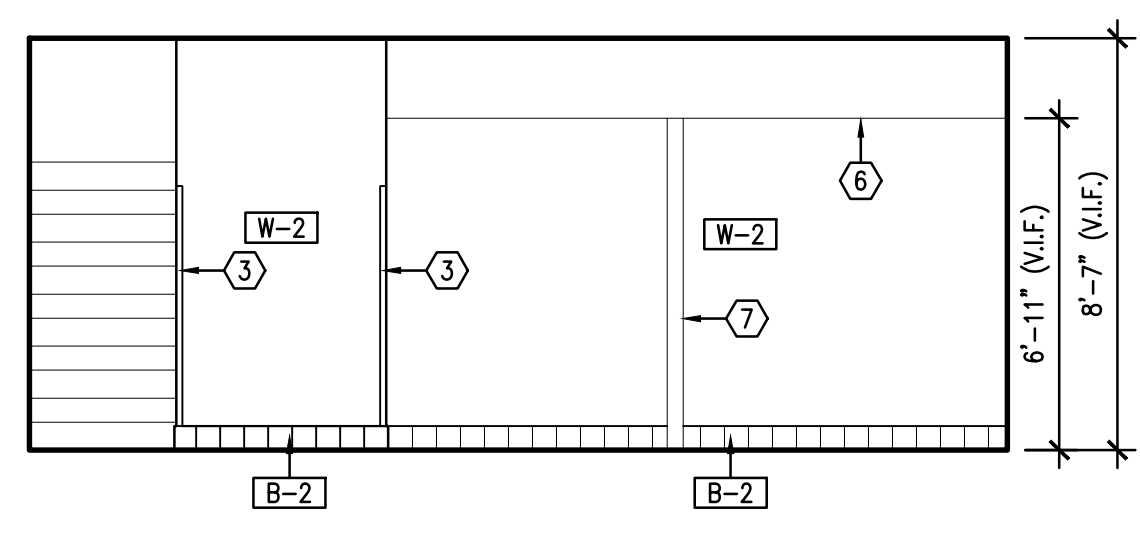
ELEVATION 6
 1/4"=1'-0"



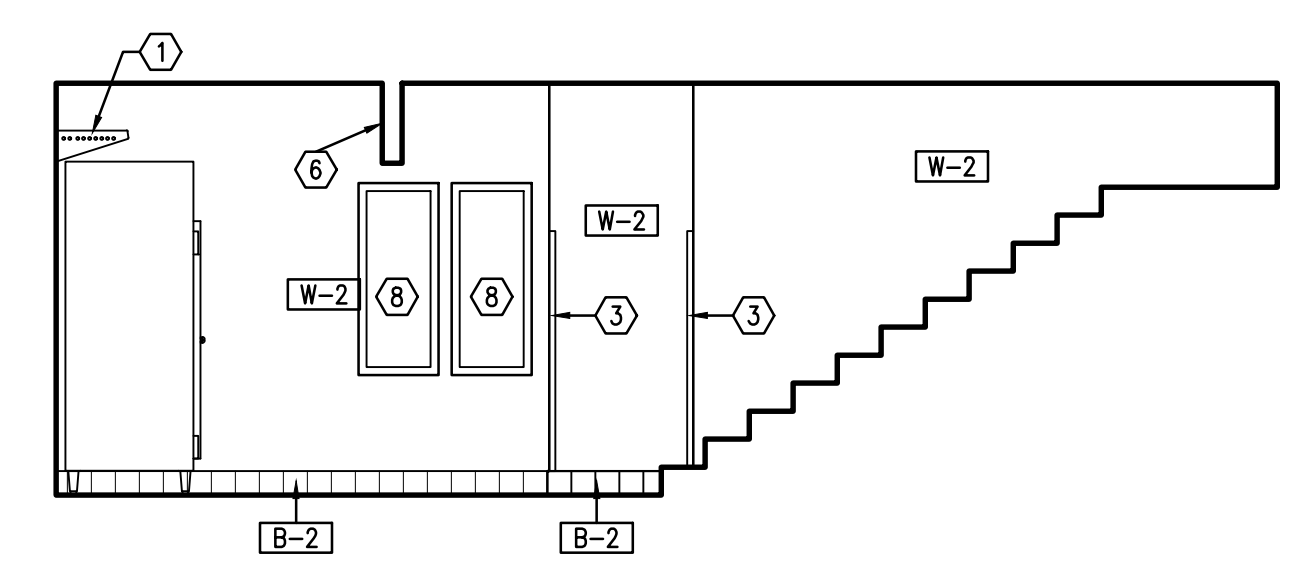
ELEVATION 5
 1/4"=1'-0"



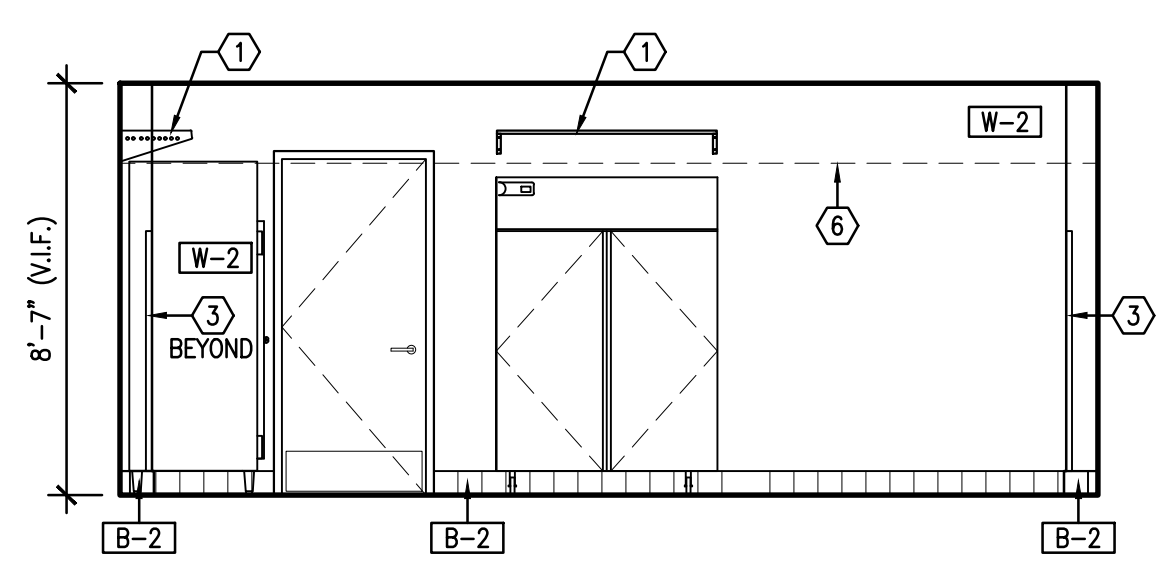
ELEVATION 4
 1/4"=1'-0"



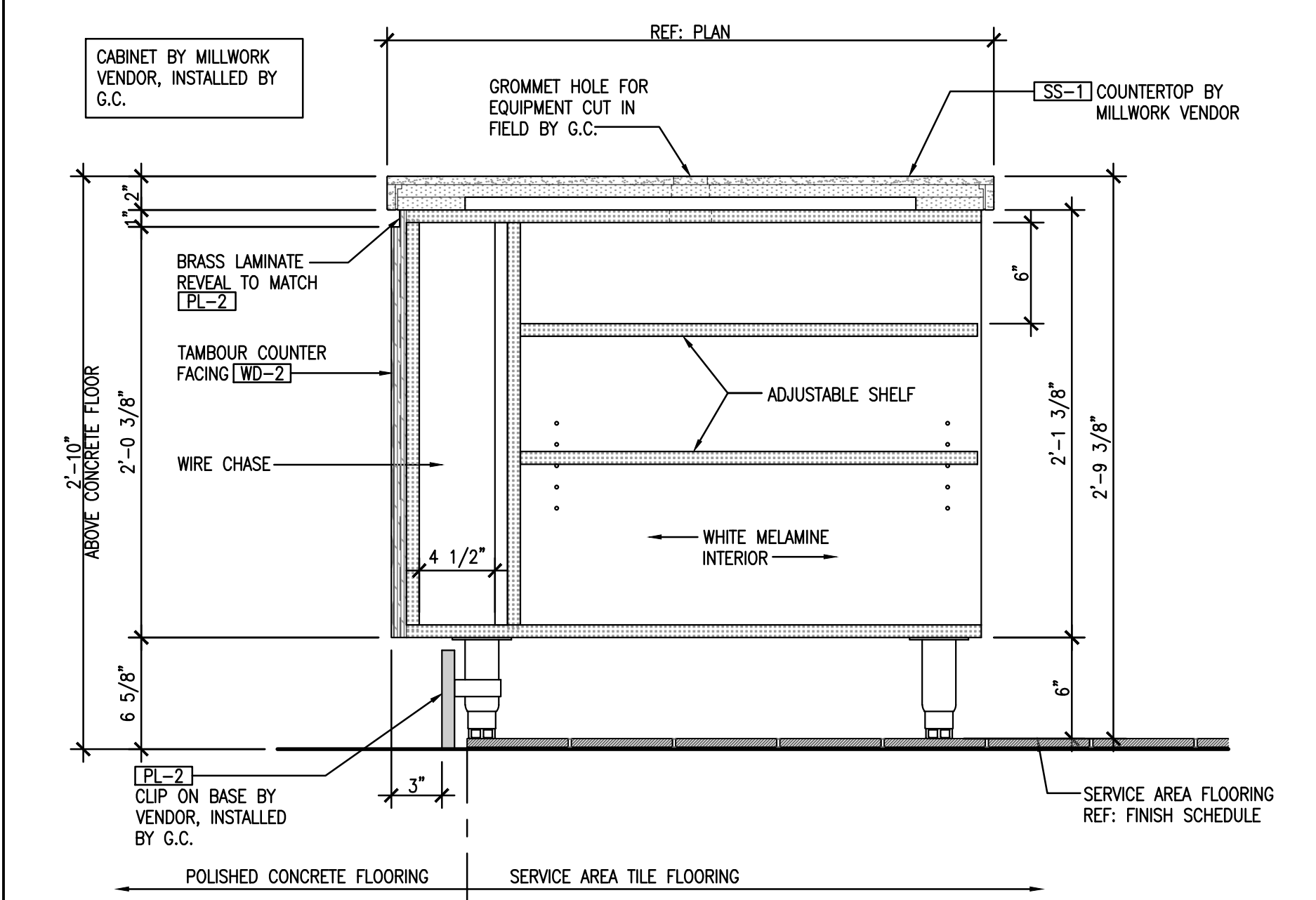
ELEVATION 9
 1/4"=1'-0"



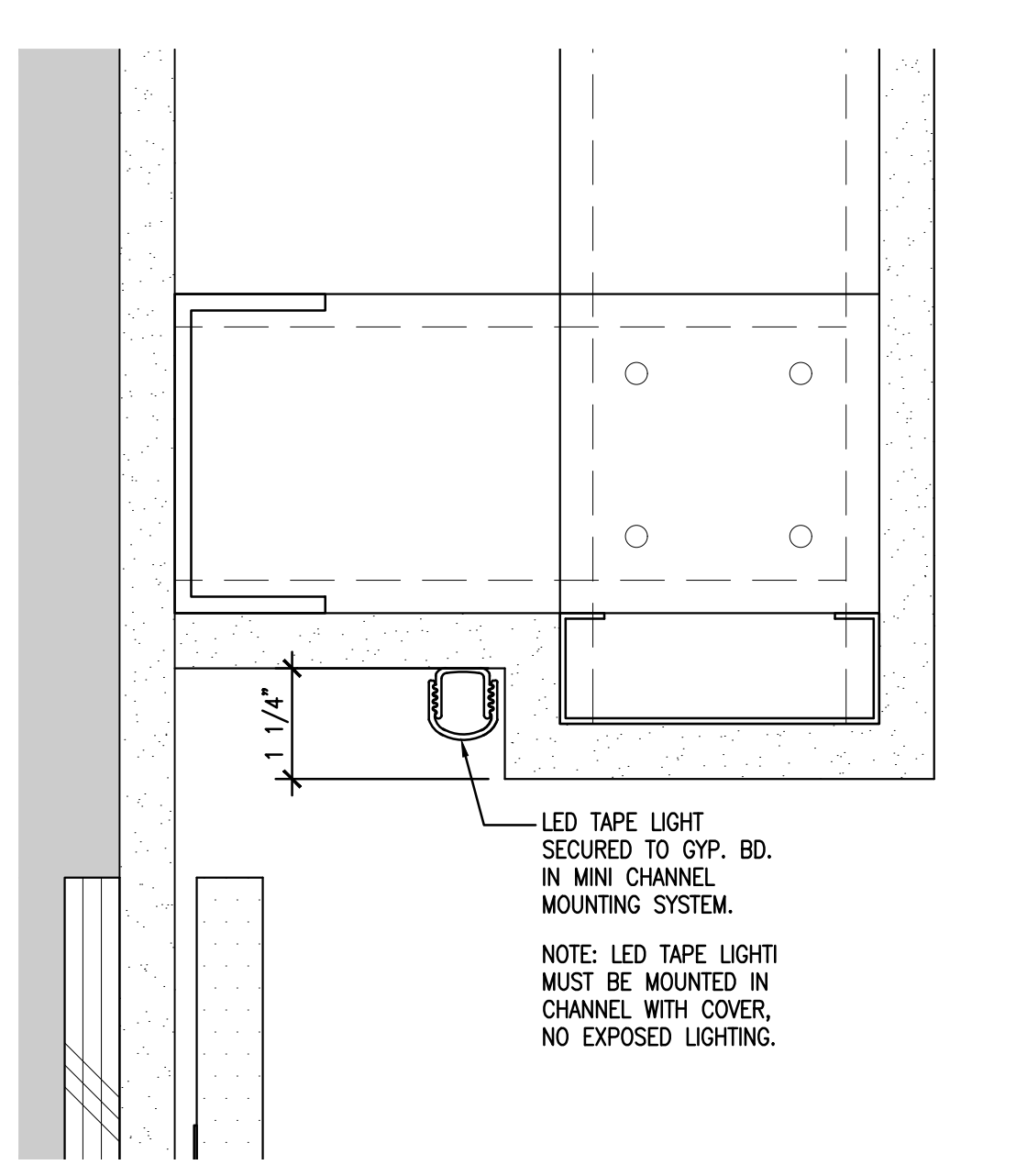
ELEVATION 8
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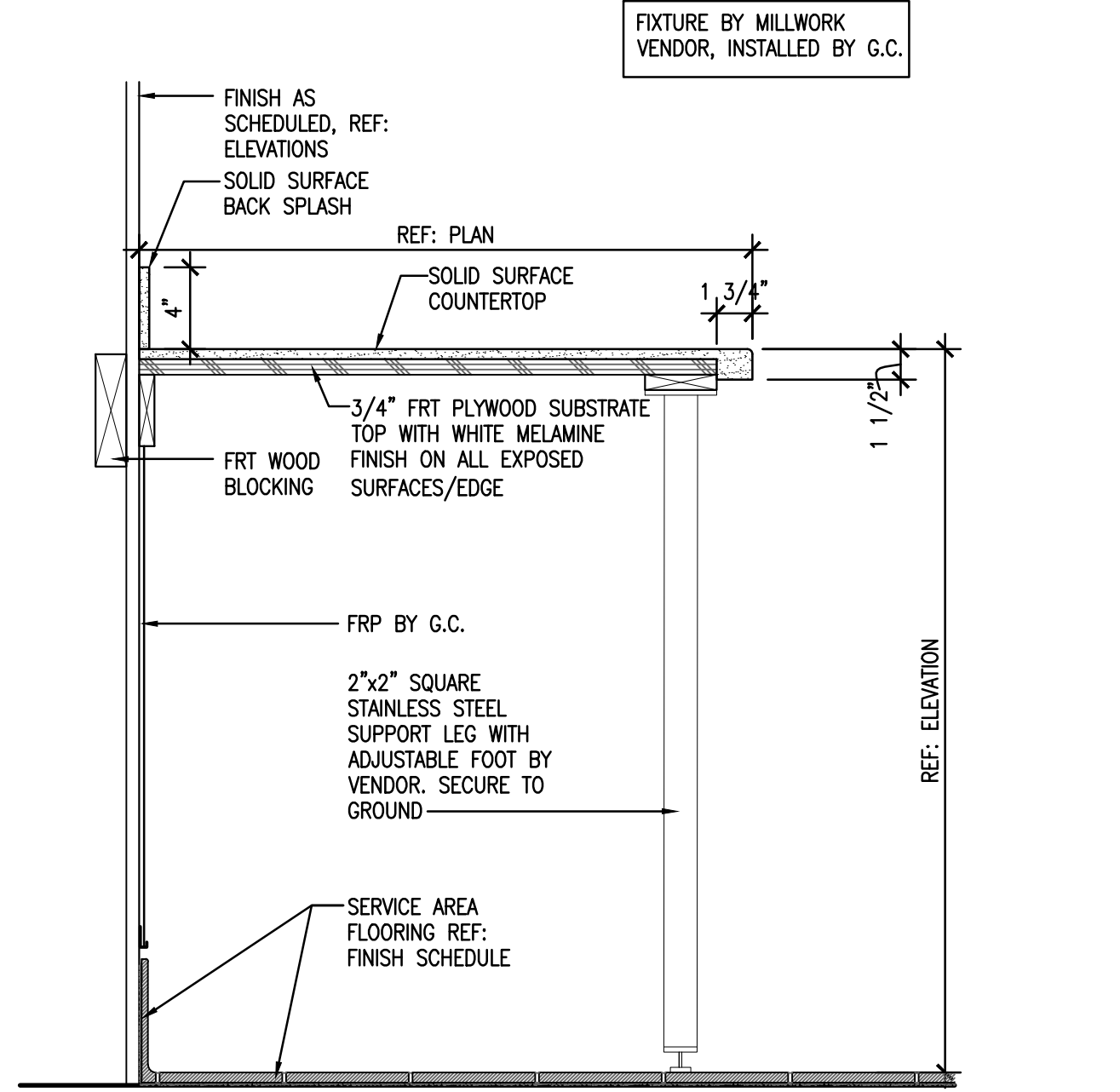
ELEVATION 7
 1/4"=1'-0"



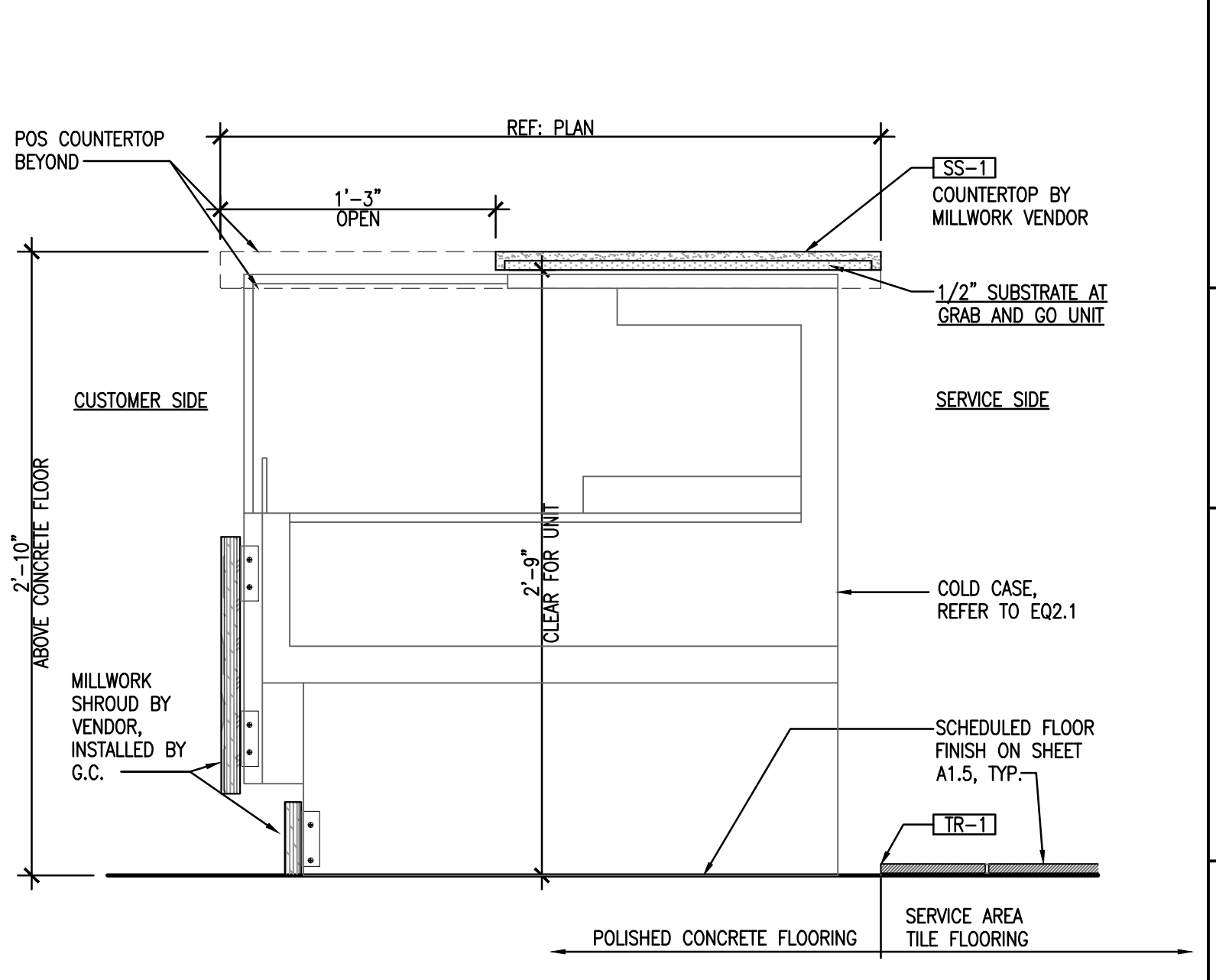
POS COUNTER SECTION
1-1/2" x 1'-0" 1



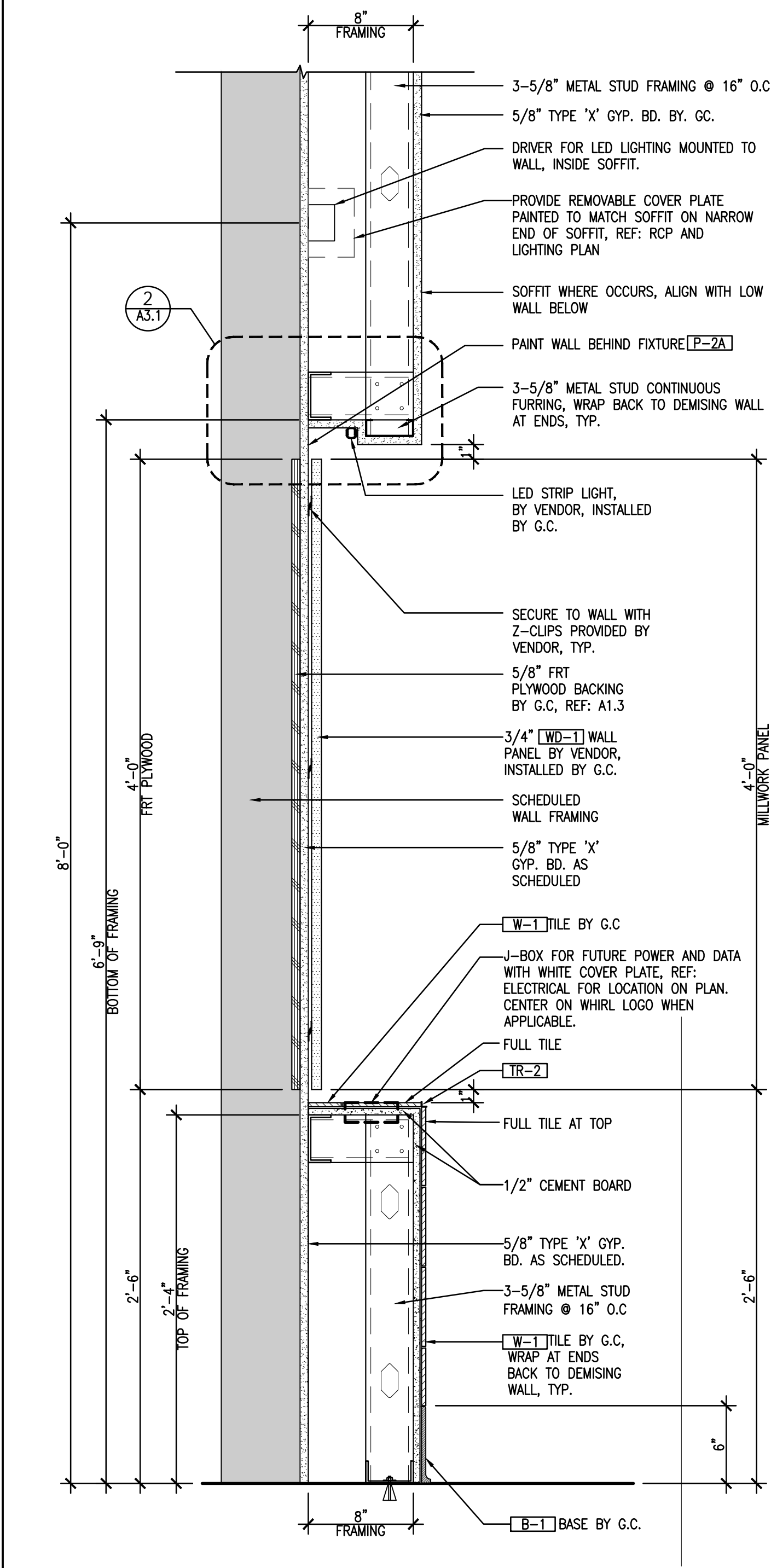
LIGHTING COVE DETAIL
6" x 1'-0" 2



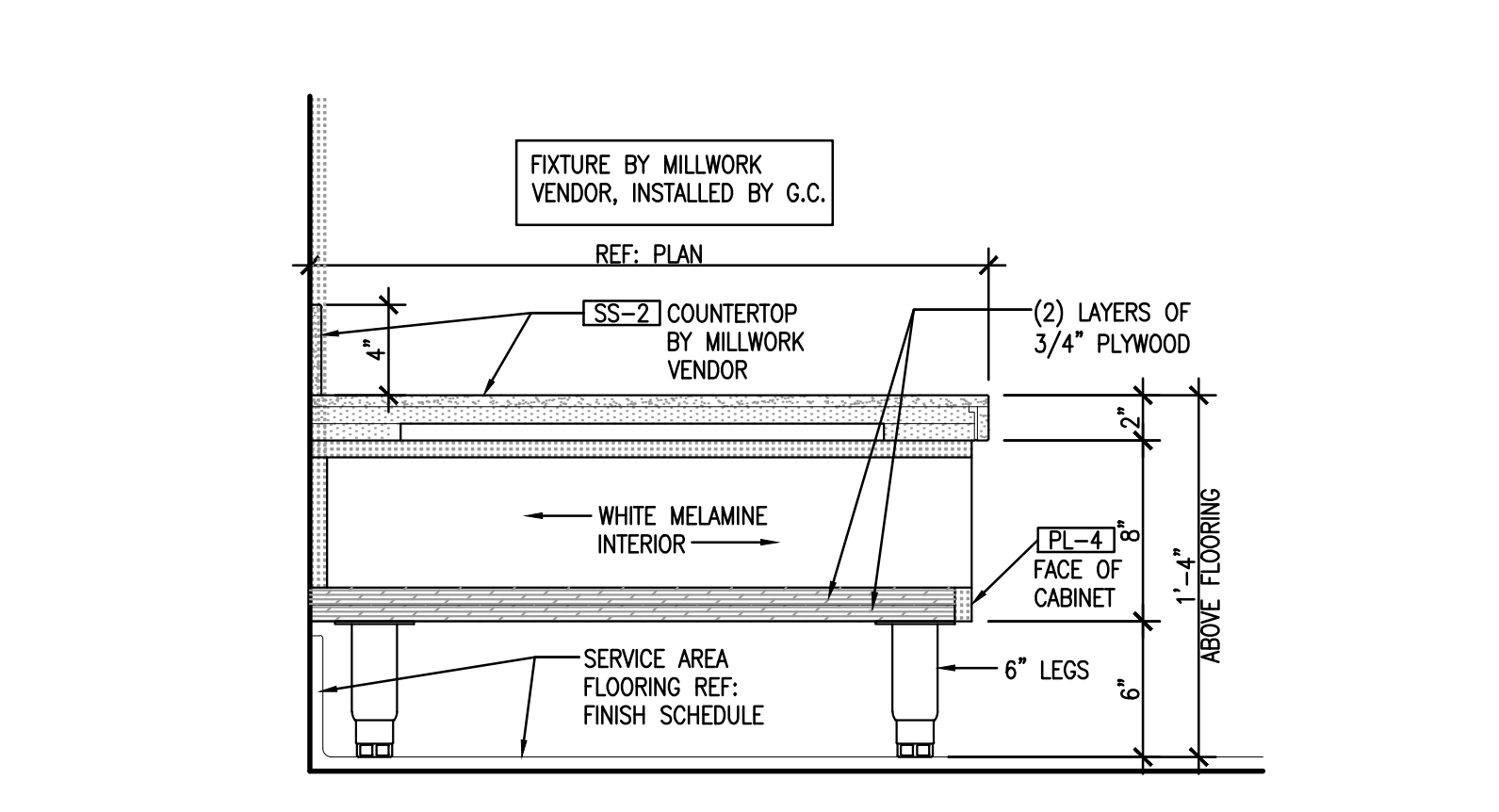
SECTION AT WORK COUNTER
1-1/2" x 1'-0" 6



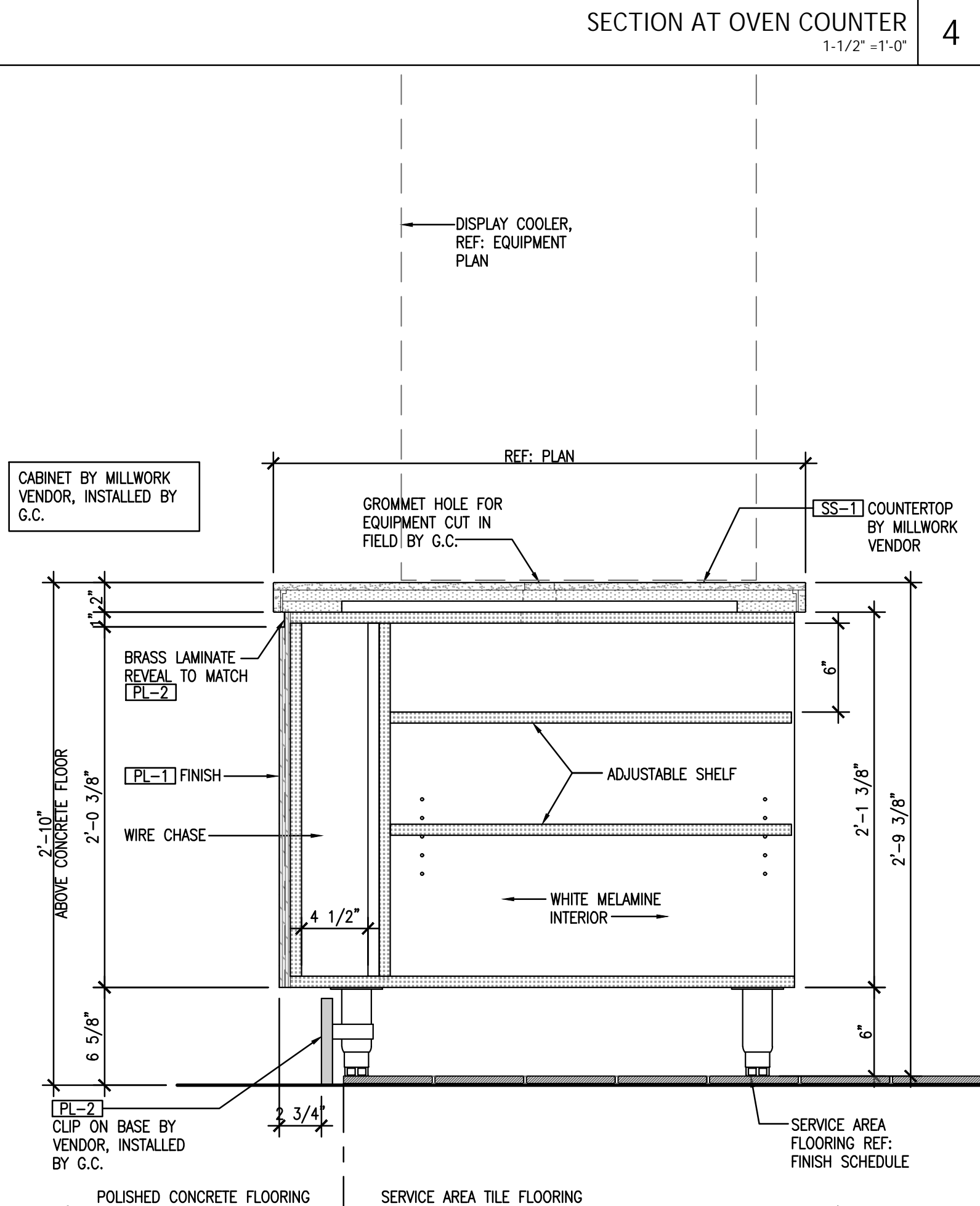
SECTION AT GRAB N GO
1-1/2" x 1'-0" 7



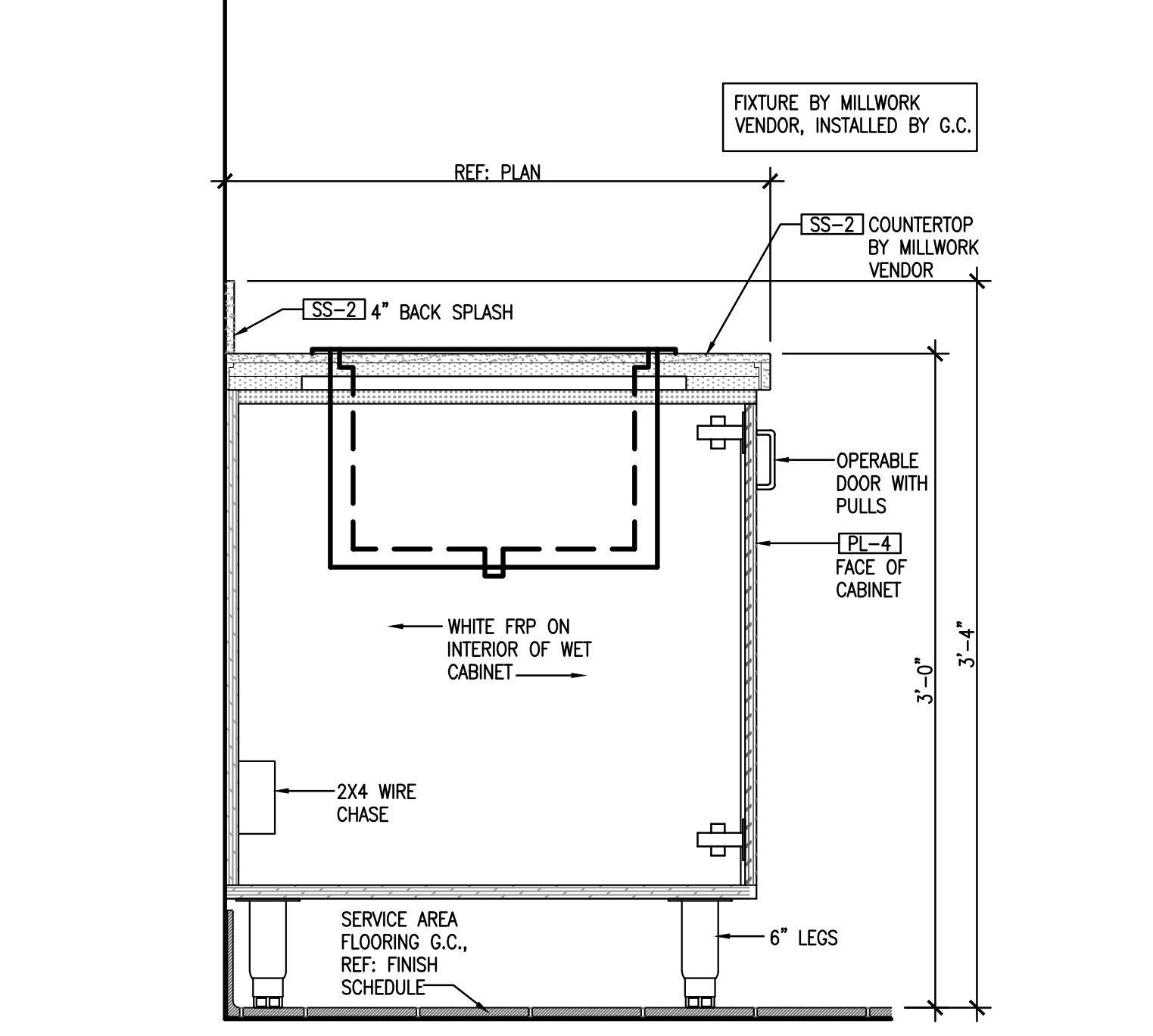
SECTION AT PEGBOARD WALL W/ BUMP OUT
1-1/2" x 1'-0" 3



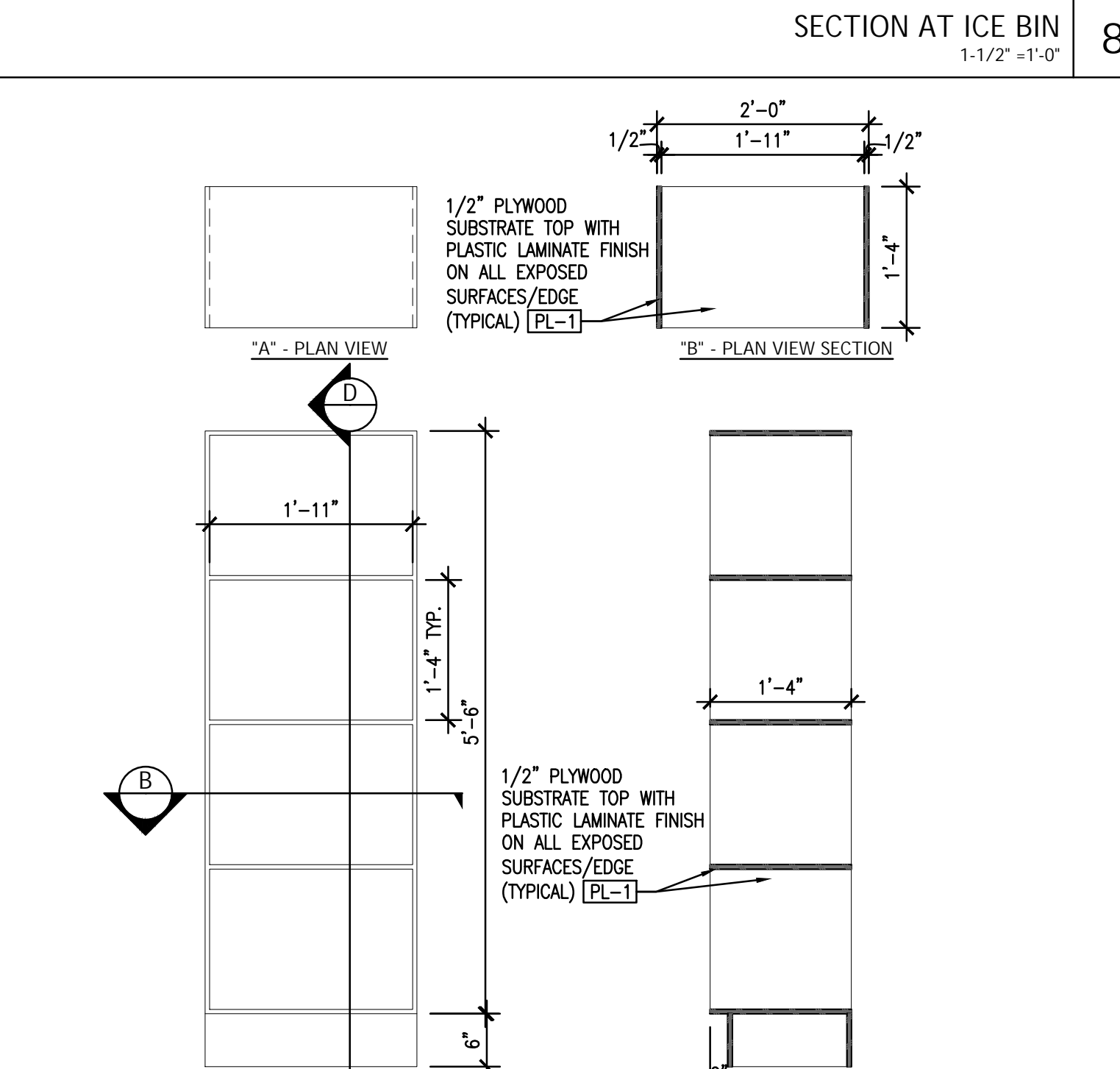
SECTION AT OVEN COUNTER
1-1/2" x 1'-0" 4



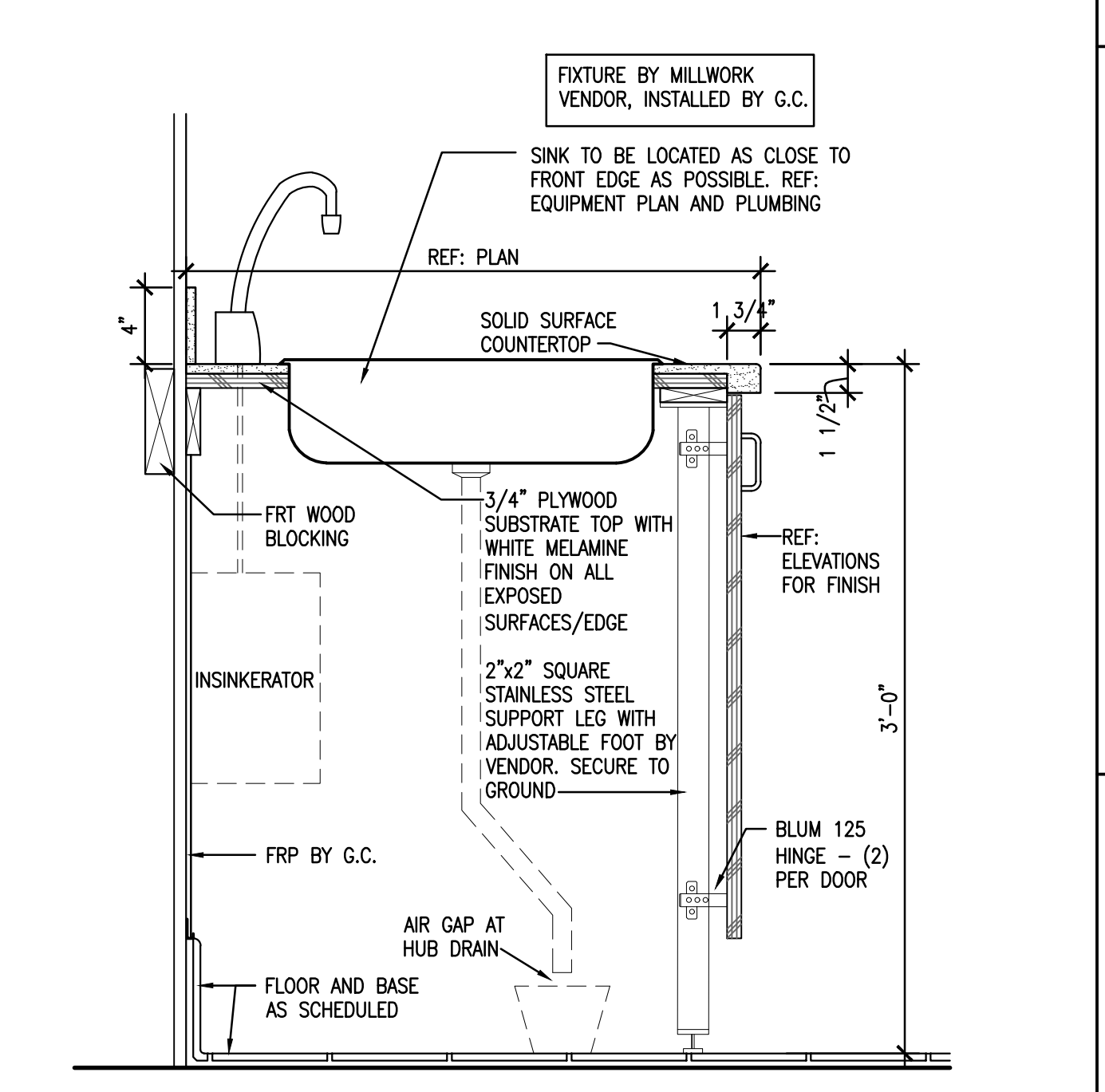
FRONT COUNTER SECTION
1-1/2" x 1'-0" 5



SECTION AT ICE BIN
1-1/2" x 1'-0" 8



TO GO CUBBY DETAILS
3/4" x 1'-0" 10



SECTION AT DIP SINK
1-1/2" x 1'-0" 9

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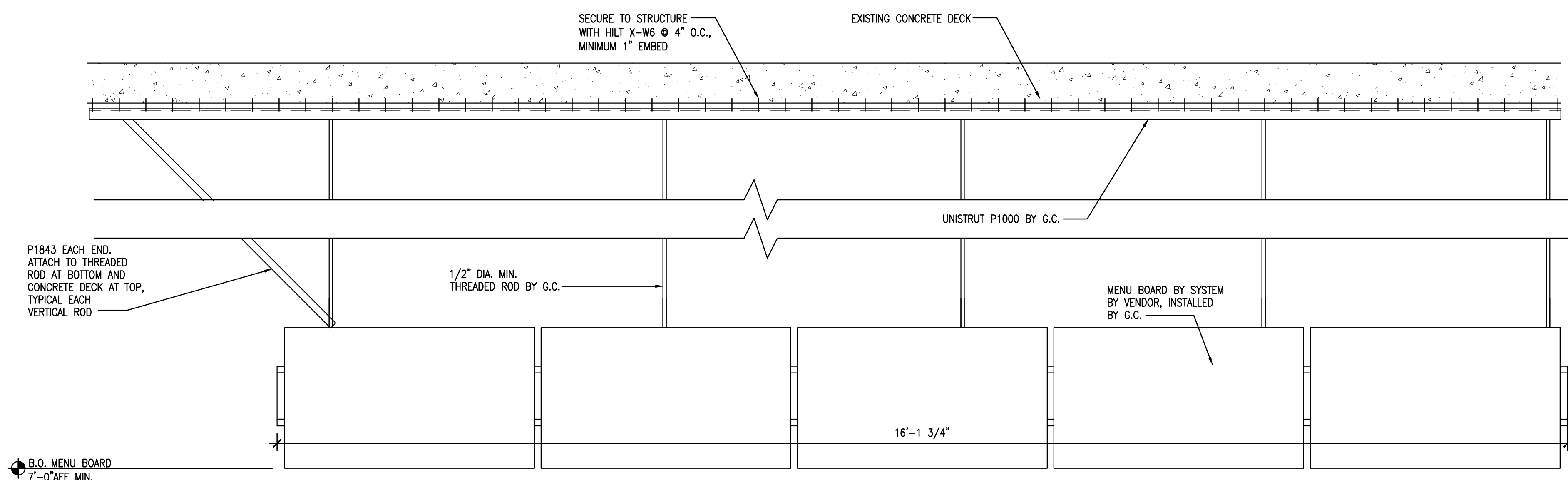
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SHEET TITLE:
DETAILS

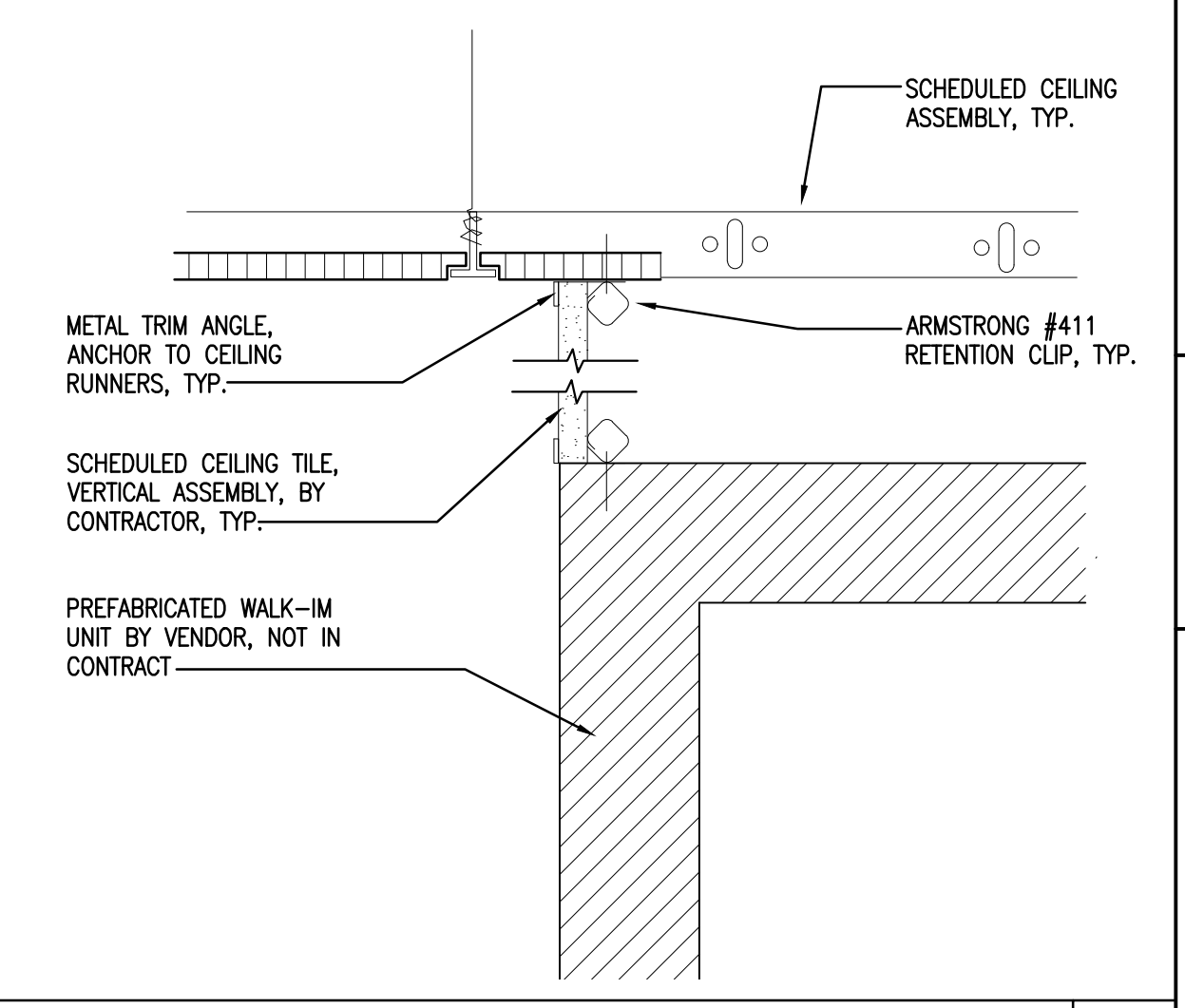
SHEET NUMBER:
A3.1

PROJECT NUMBER:
JAJ21024

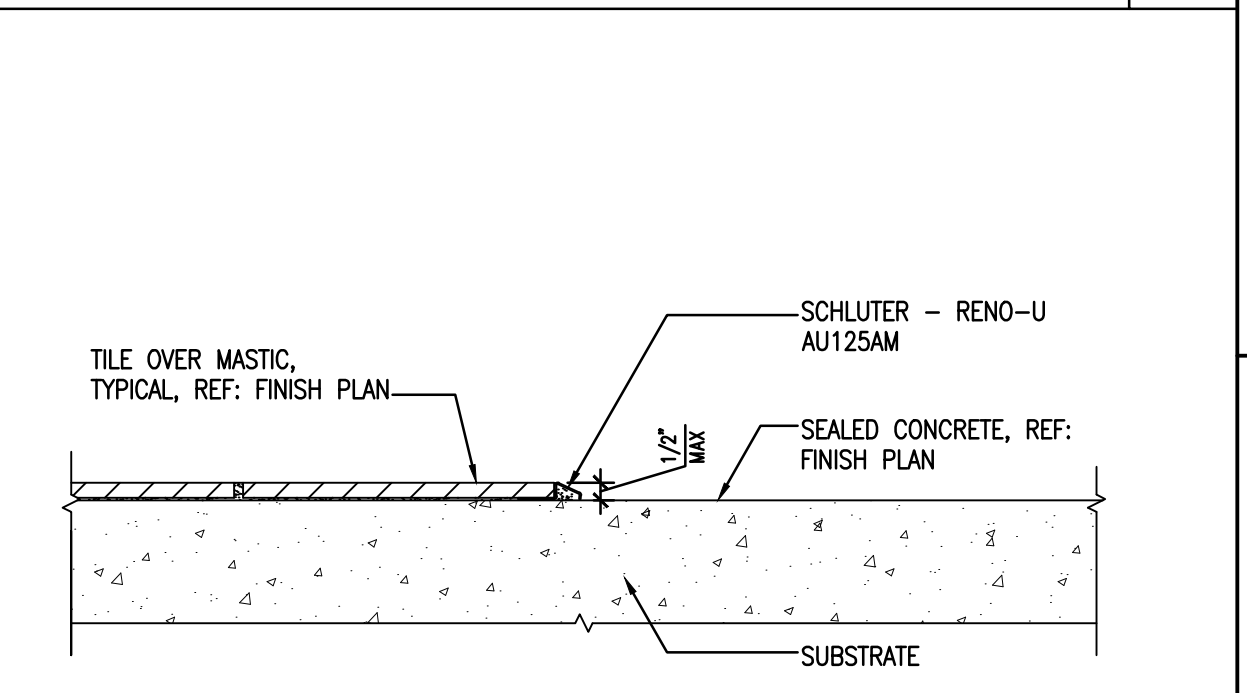
NOT USED 11



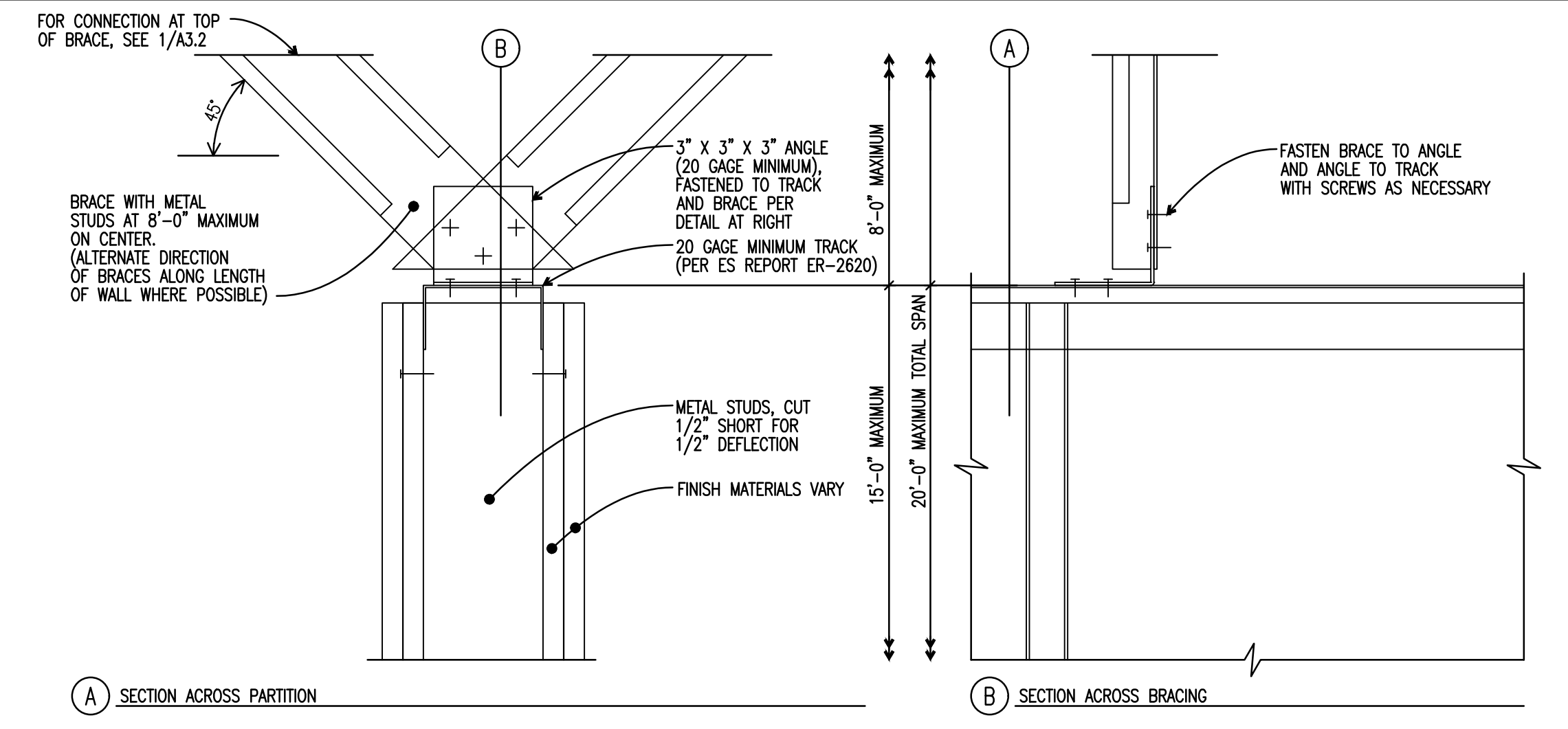
MENU BOARD/ UNISTRUT ATTACHMENT DETAIL
1"=1'-0" 1



TYPICAL CLOSURE ABOVE WALK-IN UNIT
NOT TO SCALE 2

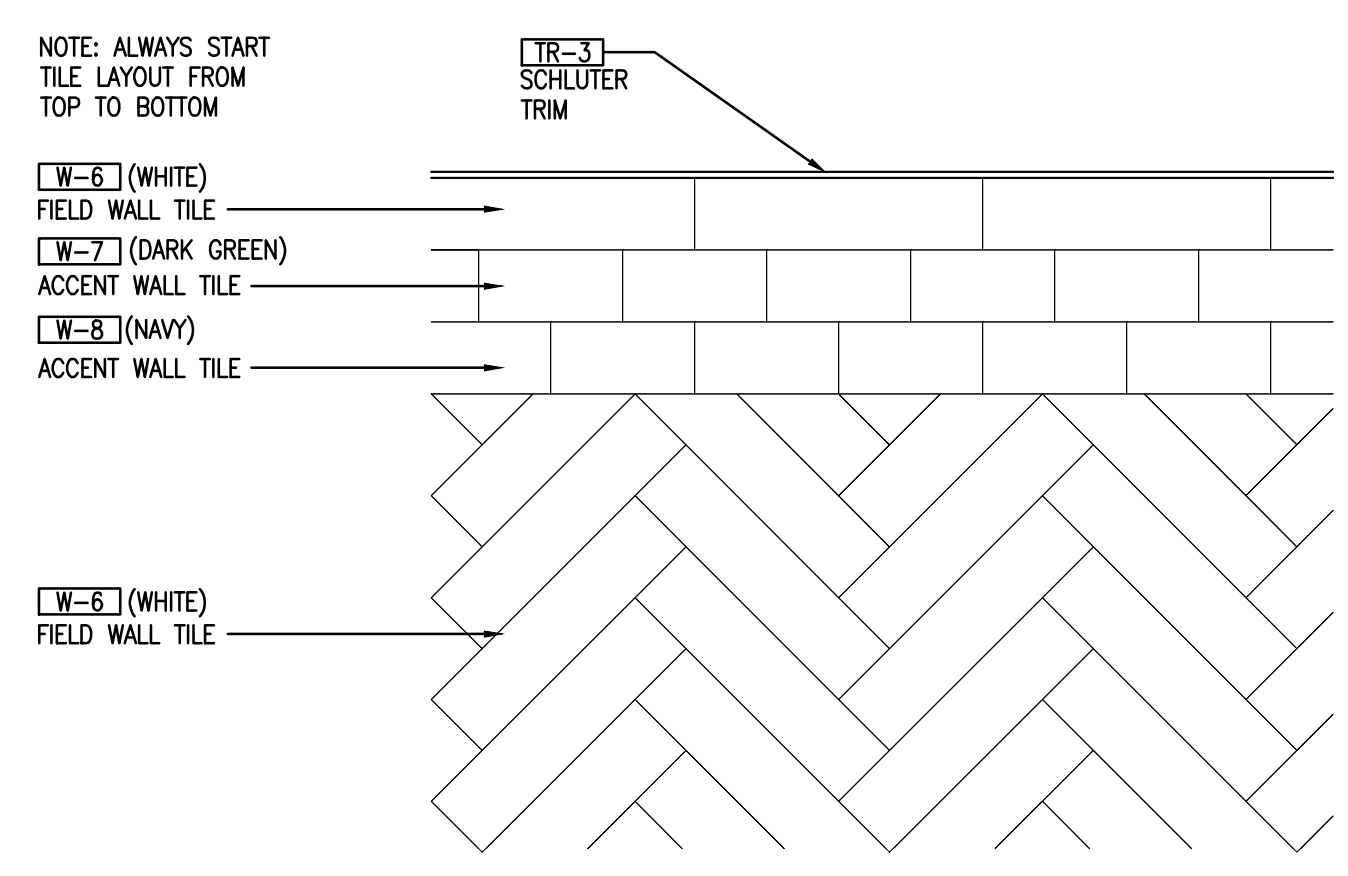


TILE TO CONCRETE TRANSITION
3"=1'-0" 3

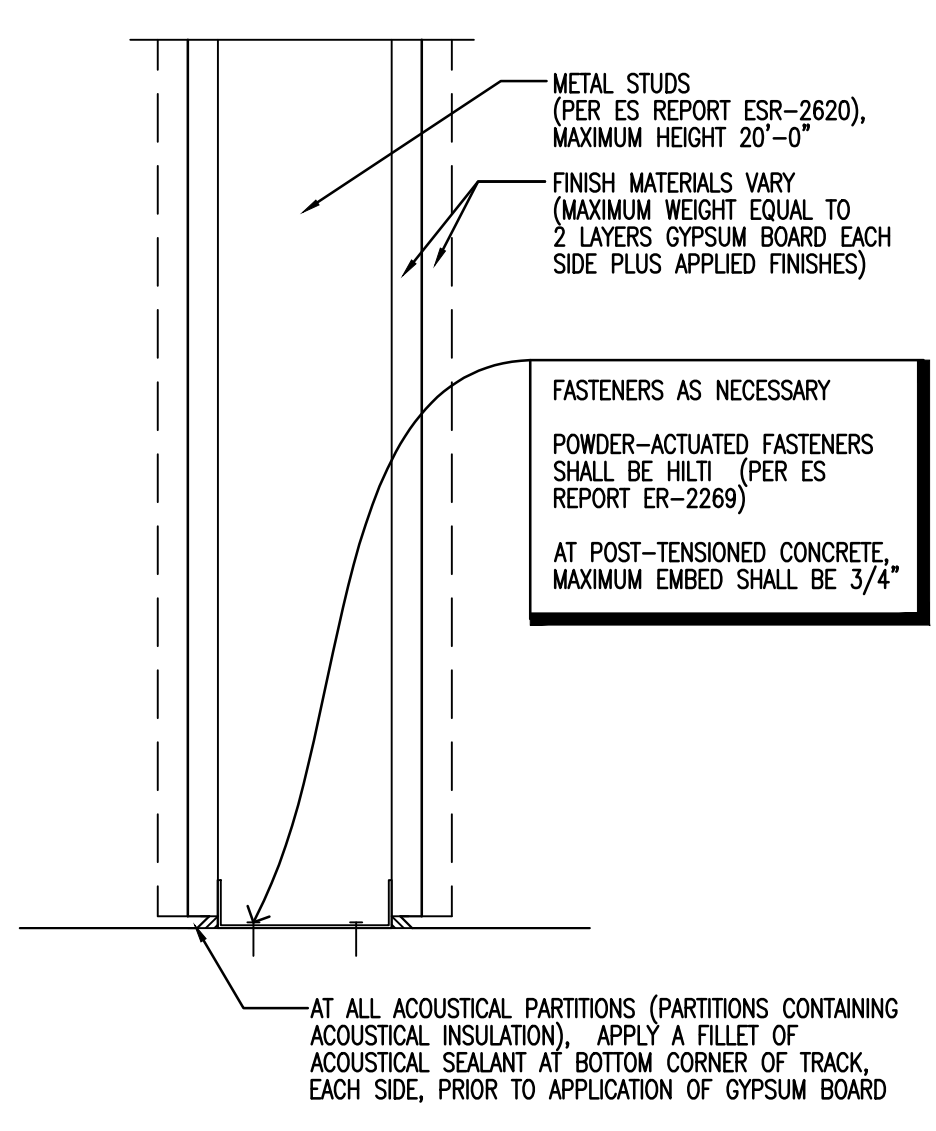


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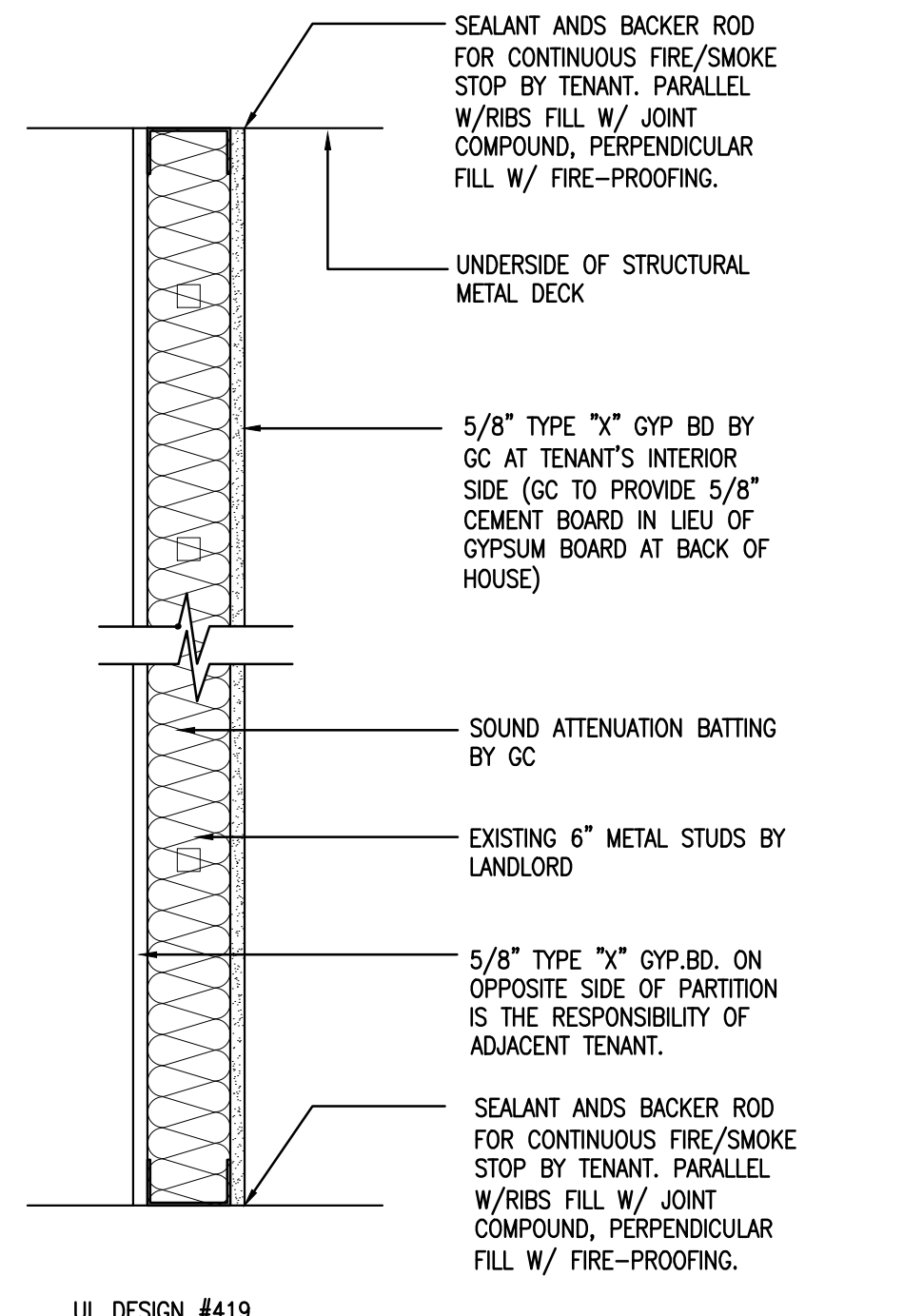
TOP OF PARTITION WHERE BRACED TO STRUCTURE ABOVE
3"=1'-0" 4



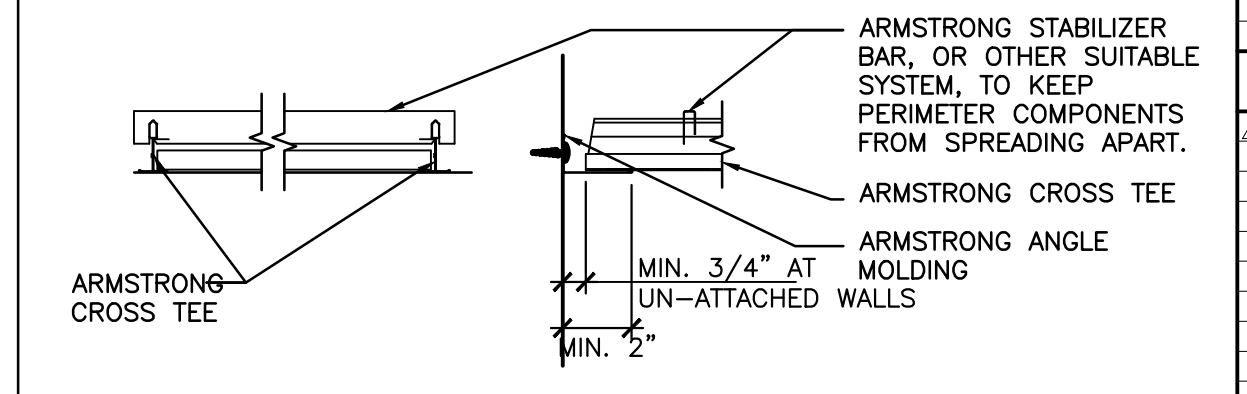
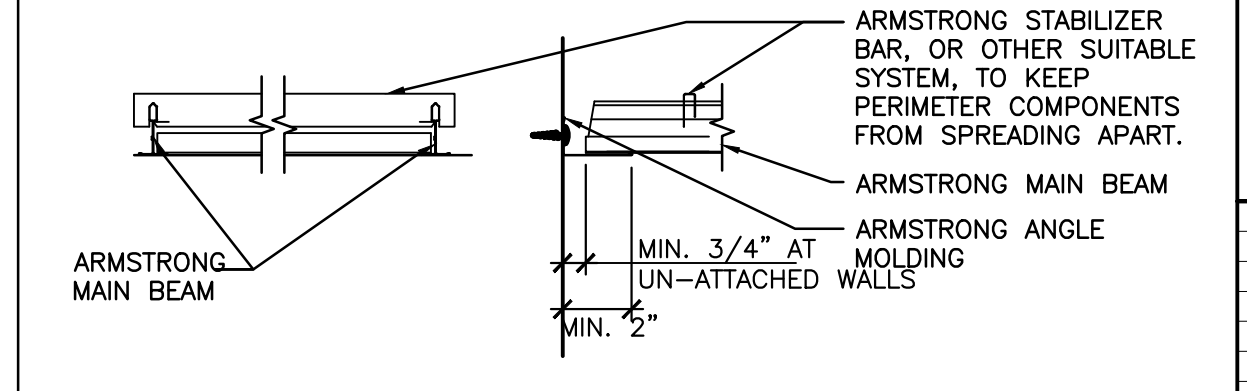
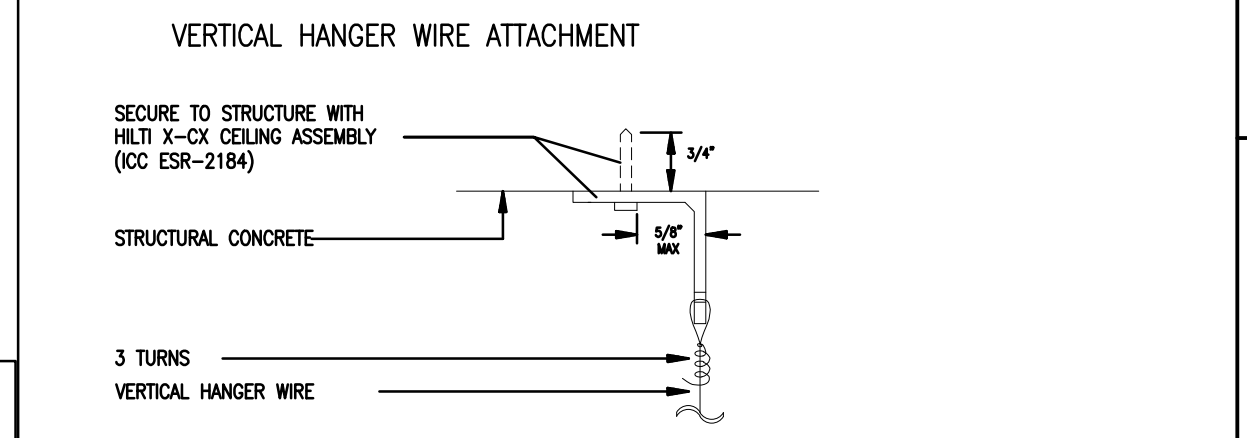
TYPICAL WALL TILE PATTERN
1-1/2"=1'-0" 5



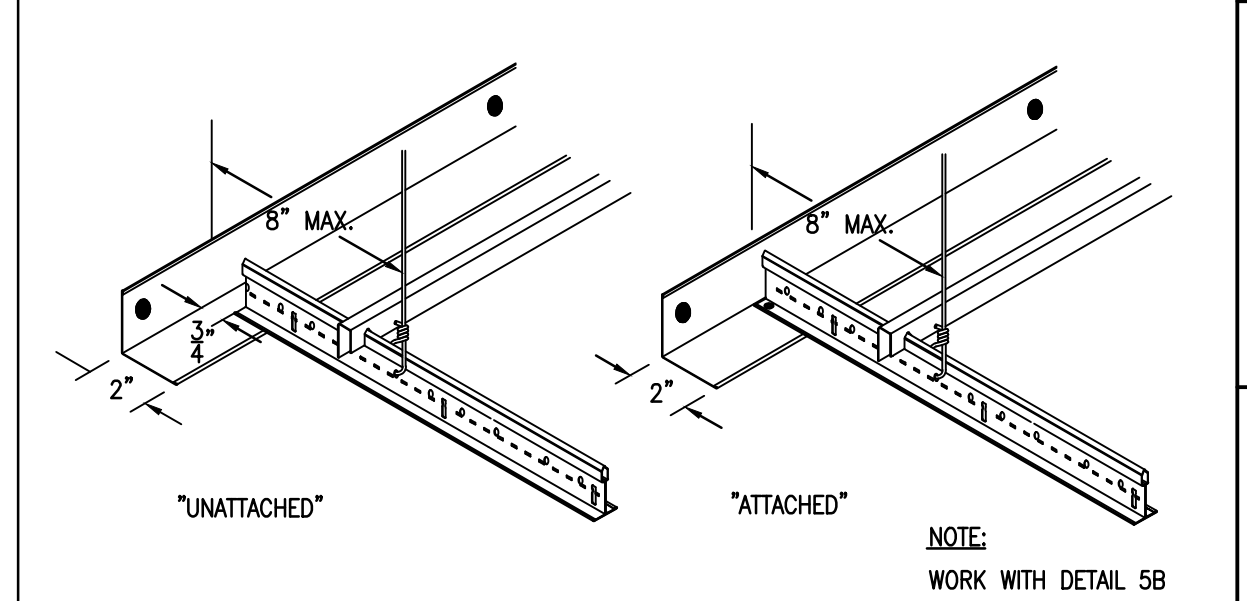
PARTITION TO FLOOR CONNECTION
3"=1'-0" 6



ONE-HOUR DEMISING WALL DETAIL
NOT TO SCALE 8



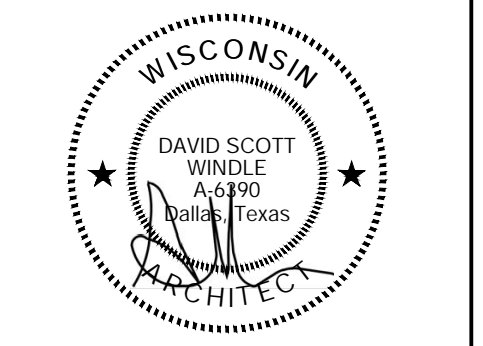
Side View Category D, E & F Details



LAY-IN CEILING DETAIL
N.T.S. 9

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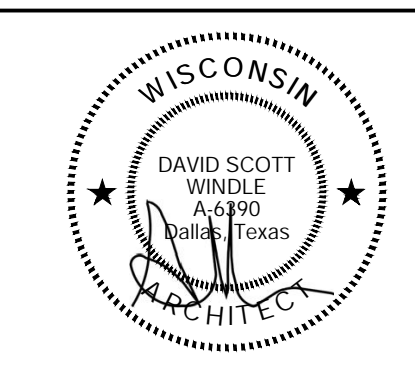
DATE	DESCRIPTION
01.07.22	OWNER REVIEW ISSUE
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SHEET TITLE:
DETAILS

SHEET NUMBER:
A3.2

PROJECT NUMBER:
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01/31/22

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 MADISON, WI 53703

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 CESAR HERNANDEZ

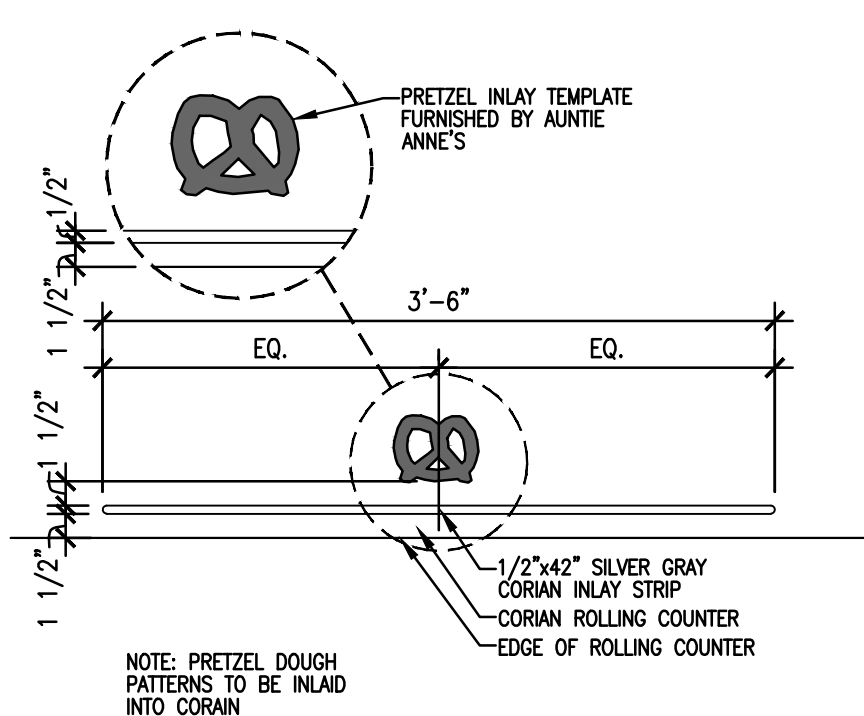


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SHEET TITLE:
DETAILS

SHEET NUMBER:
A3.3

PROJECT NUMBER:
JA21024



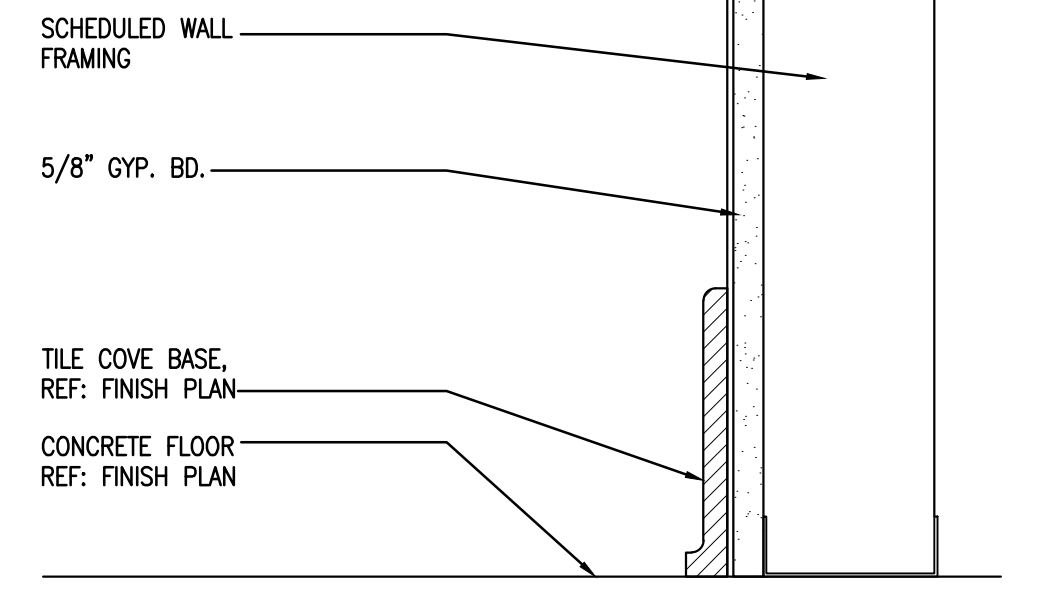
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PRETZEL INLAY DETAIL 1'-1'-0"

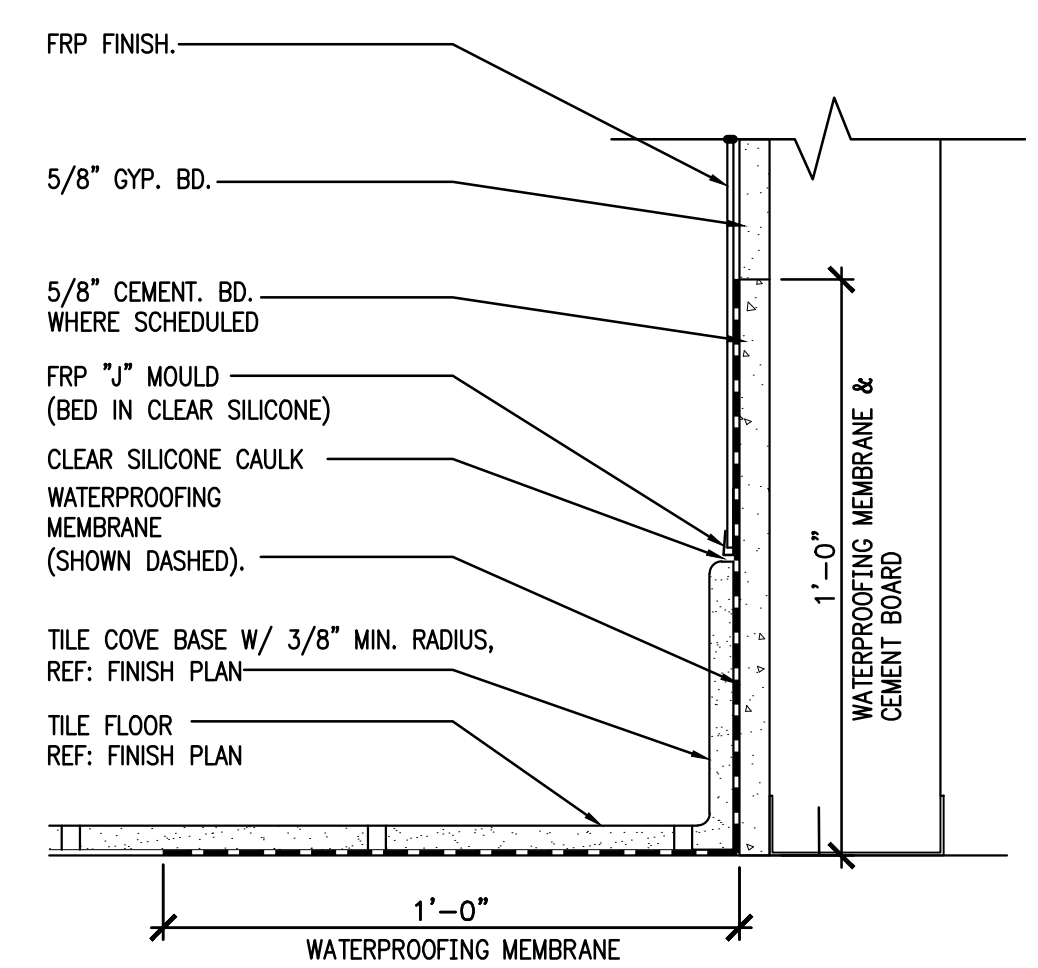
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NOT USED 4

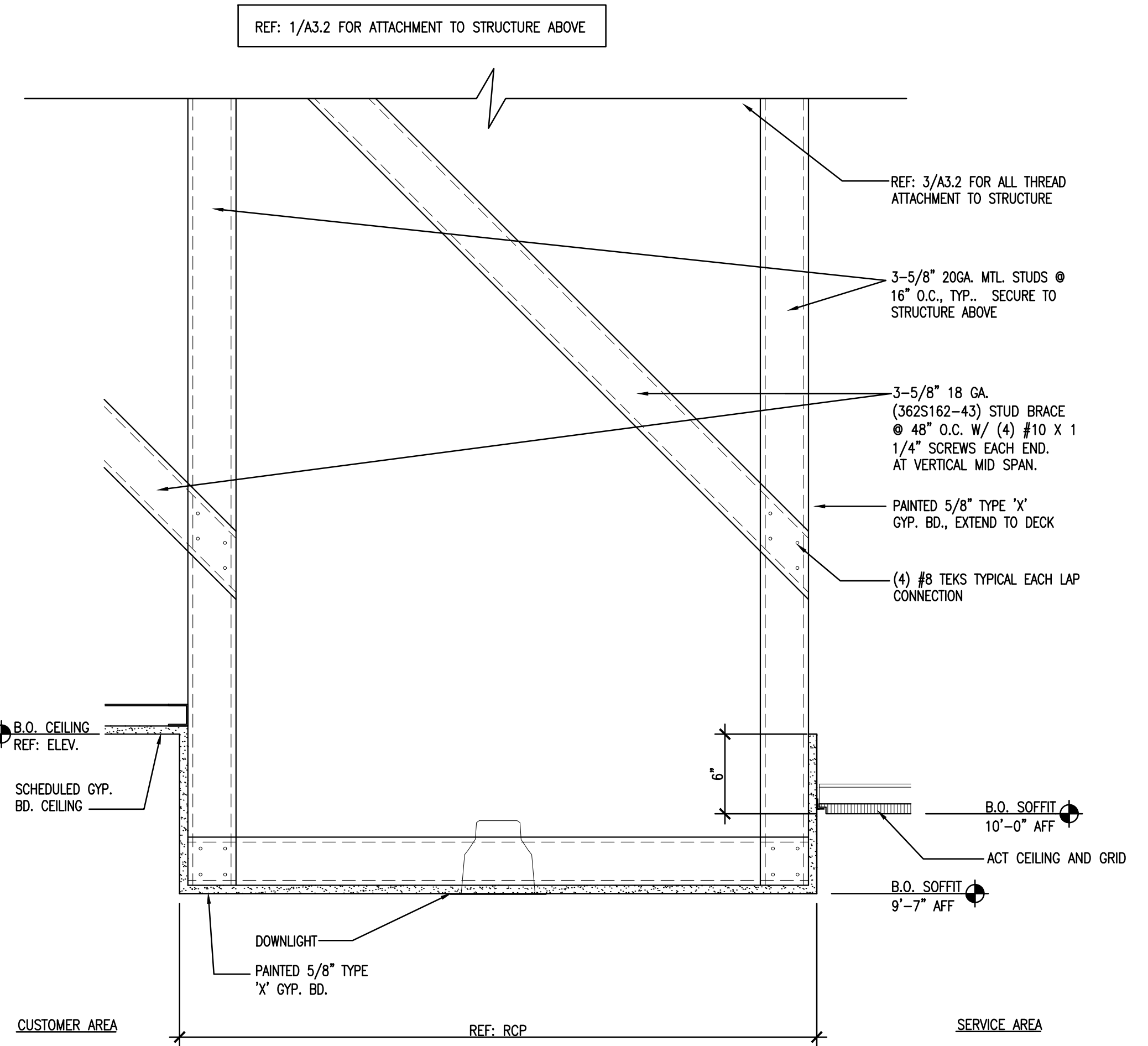
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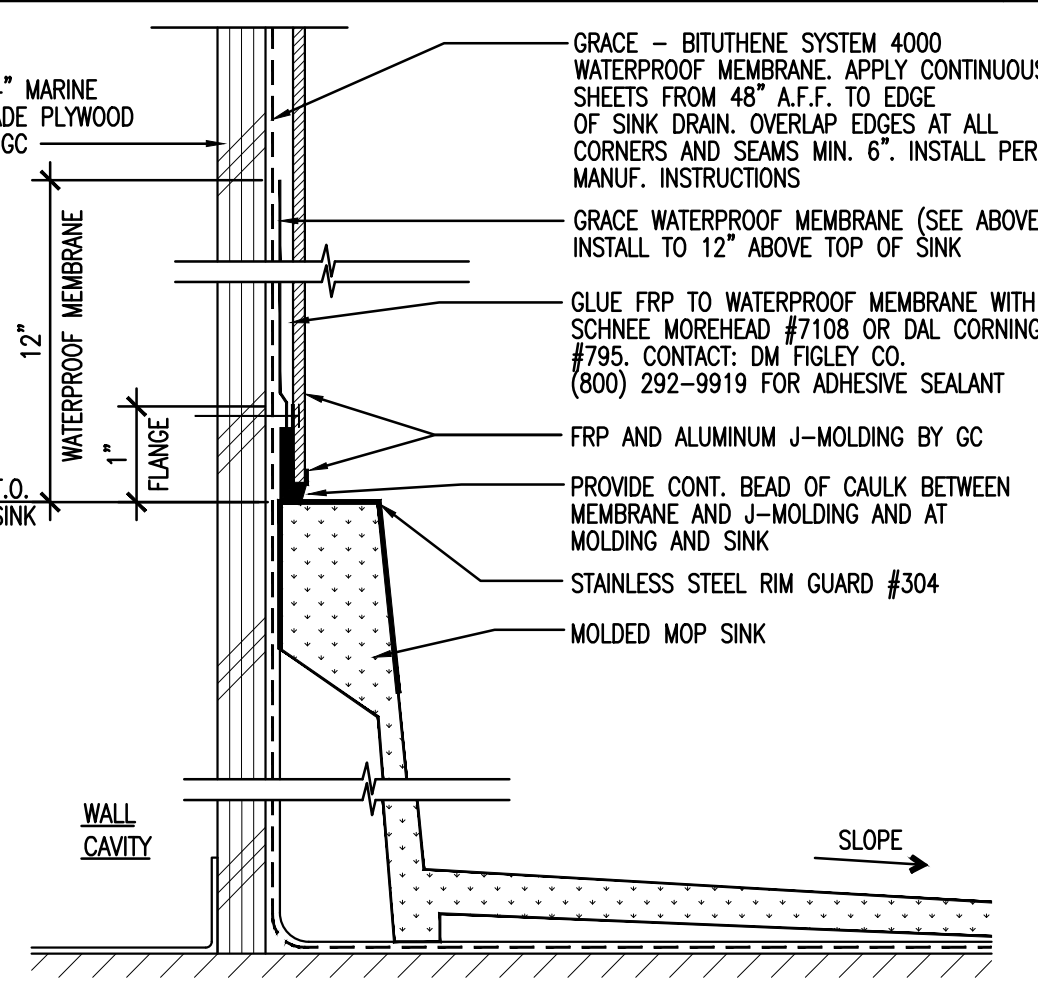
CUSTOMER AREA WALL BASE 6'-1'-0" 5



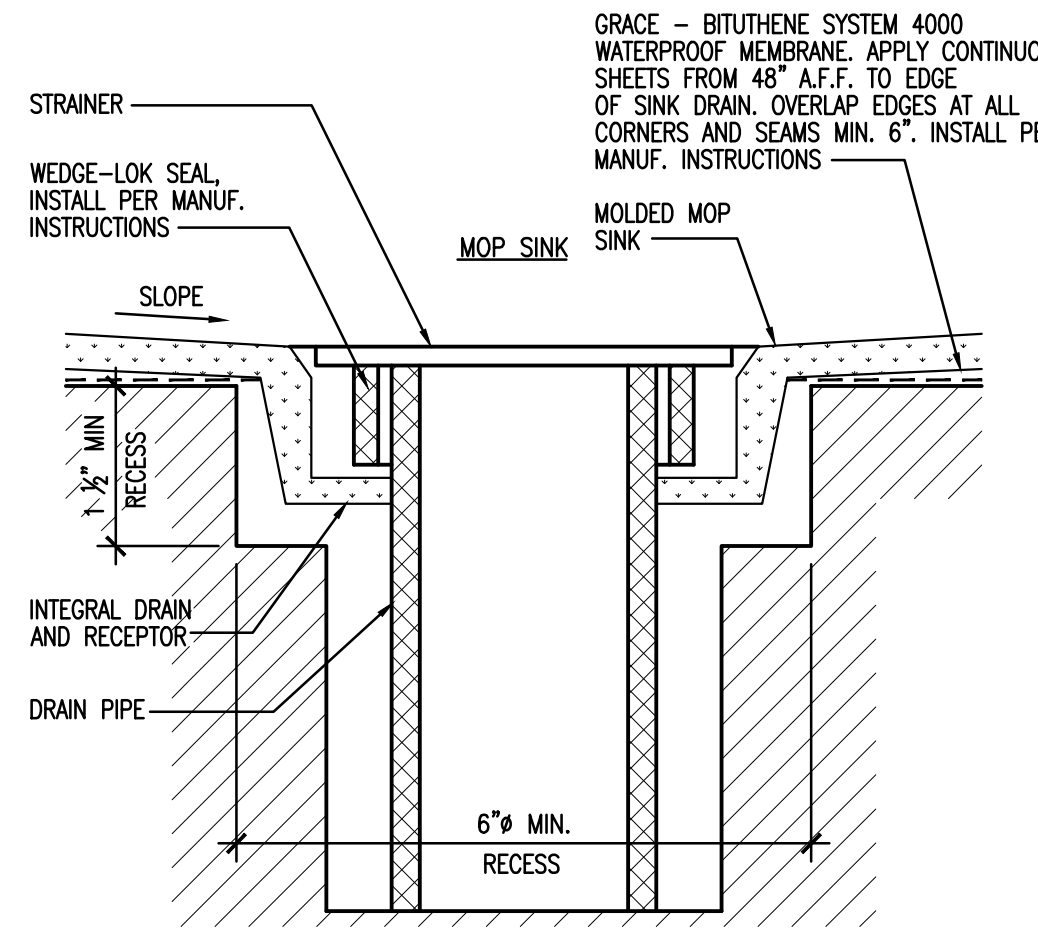
COVERED TILE BASE 3'-1'-0" 6



NOT USED 9

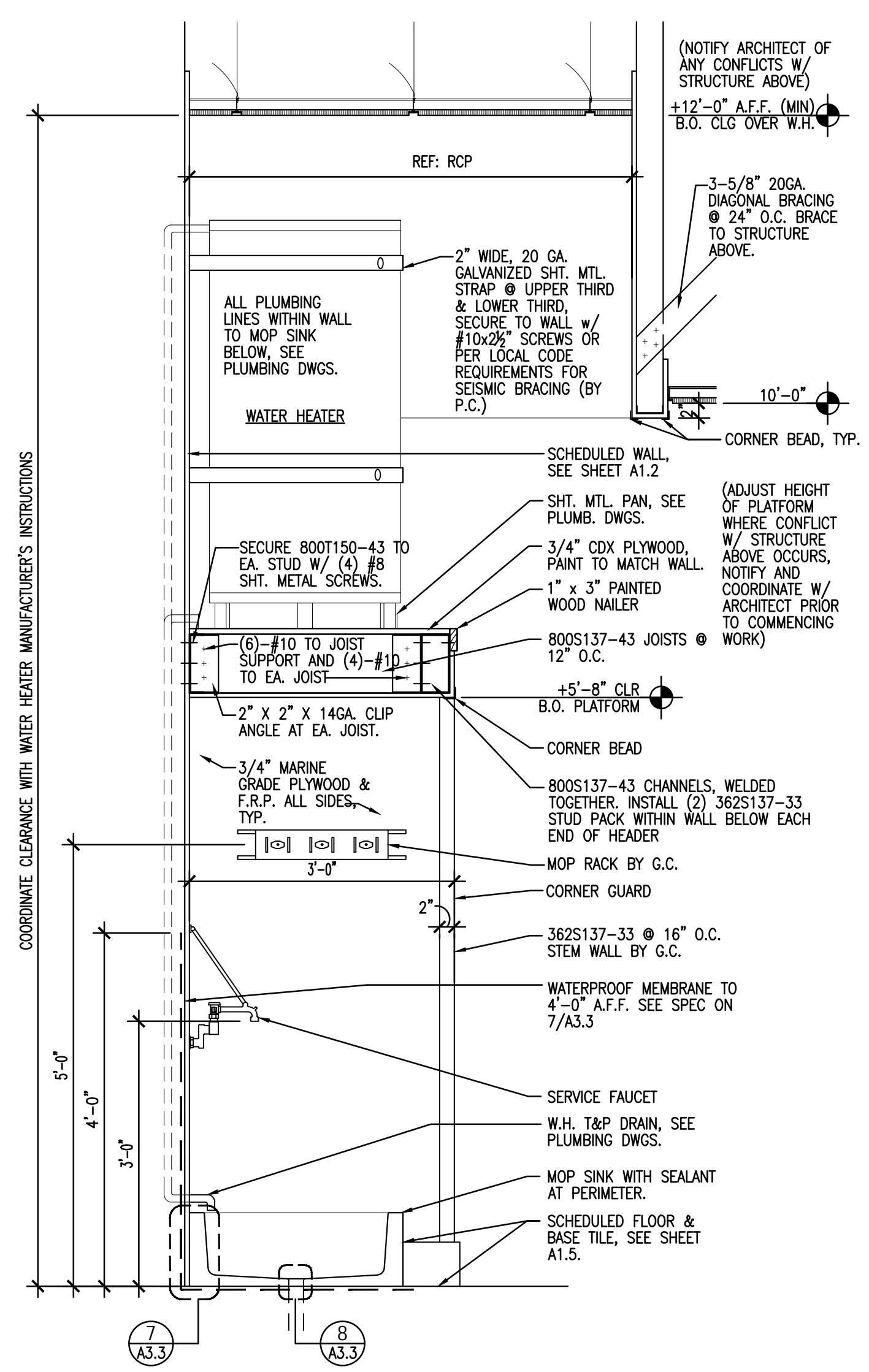


SECTION AT MOP SINK 6'-1'-0" 7



SECTION AT MOP SINK DRAIN 6'-1'-0" 8

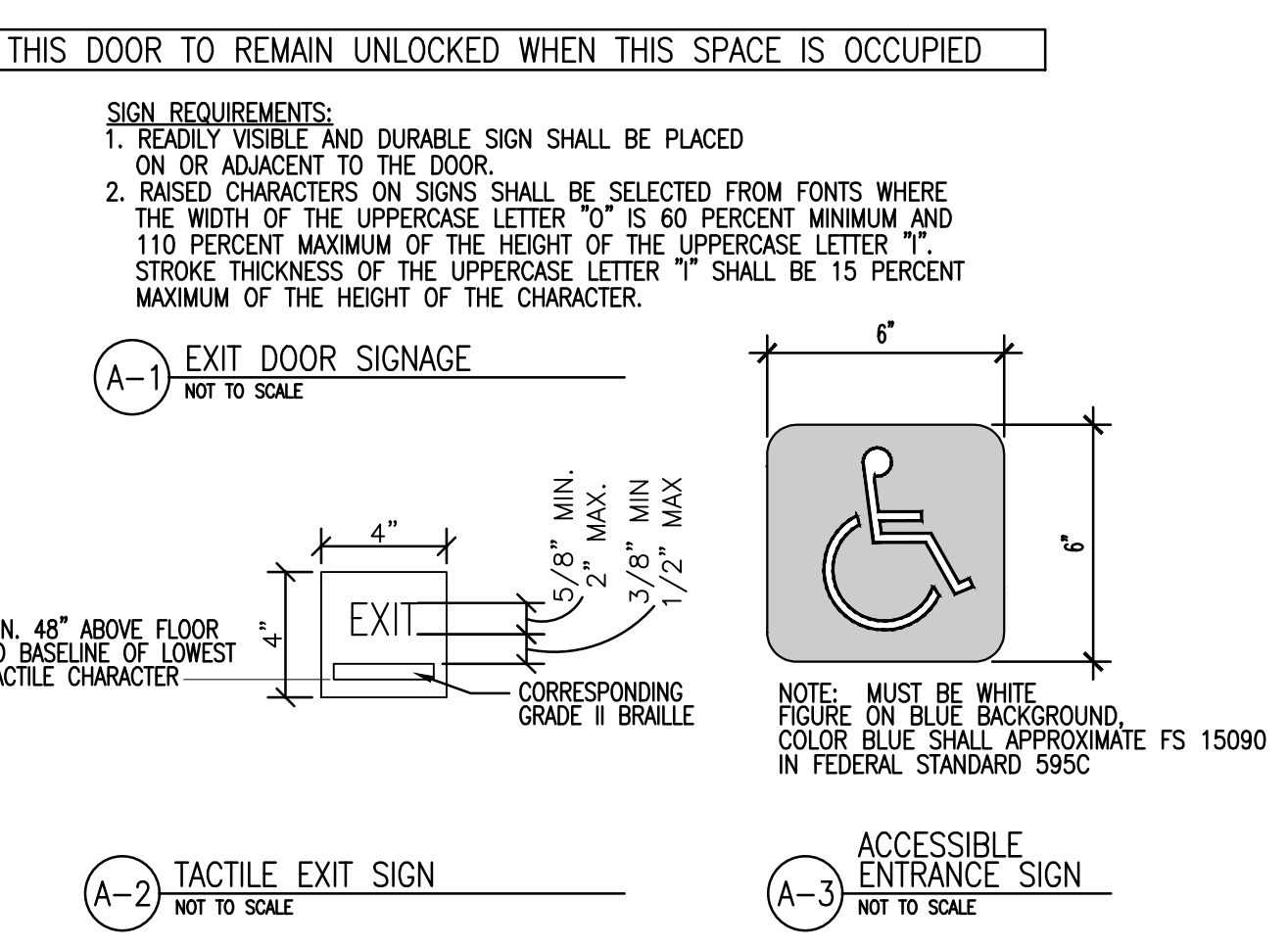
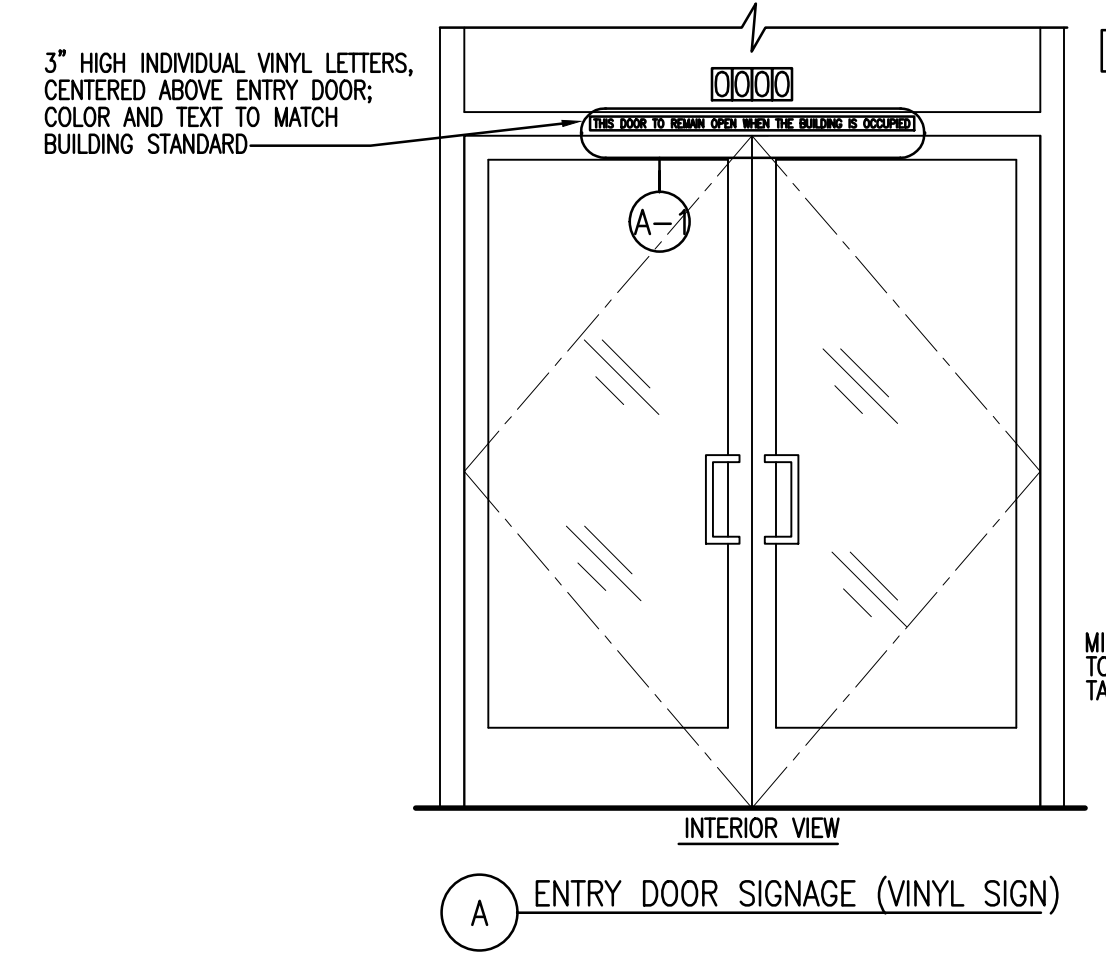
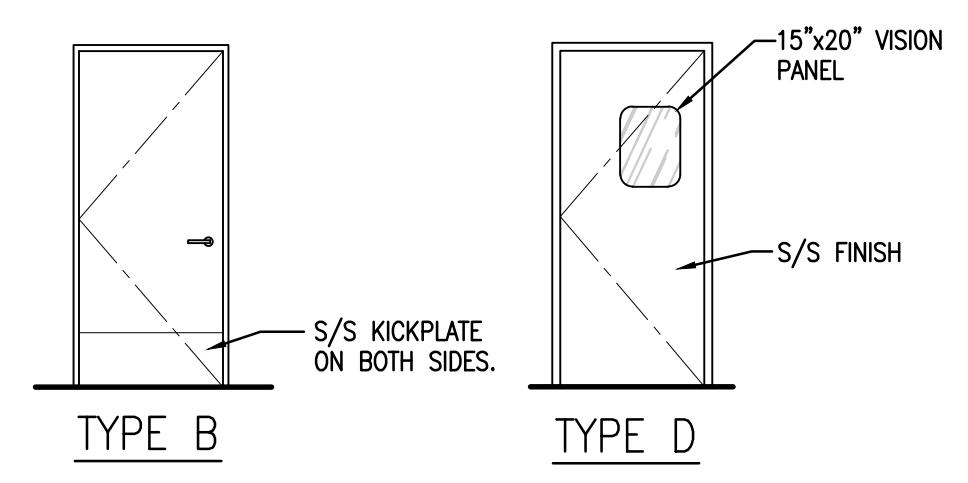
SECTION AT HAND-OFF AREA SOFFIT 1'-1/2"-1'-0" 10



MOP SINK/ WATER HEATER PLATFORM DETAIL 3/4"-1'-0" 12

DOOR SCHEDULE													GENERAL NOTES					
DOOR NUMBER	DESCRIPTION	SIZE	DOOR			FRAME		HEAD	JAMB	SILL	FIRE RATING	HARDWARE				WEATHERSTRIP THRESHOLD	MISC.	REMARKS
			MATERIAL	TYPE	FINISH	MATERIAL	FINISH					BUTTS	LOCKSET	CLOSER	PUSH/PULL BARS			
01	STOREFRONT ENTRY (EXISTING)	EXISTING	ALUMINUM	-	ANODIZED ALUMINUM	-	-											(E) LOCK CORES TO BE REPLACED W/ KEYMARK CORES BY G.C., GC SHALL VERIFY PROPER WORKING ORDER. REPAIR AS REQUIRED TO BRING DOOR TO LIKE NEW CONDITION. VERIFY LANDLORD APPROVAL PRIOR TO PAINTING DOOR IF APPLICABLE.
02	STOREFRONT ENTRY (EXISTING)	EXISTING	ALUMINUM	-	ANODIZED ALUMINUM	-	-											(E) LOCK CORES TO BE REPLACED W/ KEYMARK CORES BY G.C., GC SHALL VERIFY PROPER WORKING ORDER. REPAIR AS REQUIRED TO BRING DOOR TO LIKE NEW CONDITION. VERIFY LANDLORD APPROVAL PRIOR TO PAINTING DOOR IF APPLICABLE.
03	SERVICE	3'-0" x 7'-0"	ALUMINUM	D	WHITE	HOLLOW METAL	MATCH WALL FINISH	2A/A3.3	2B/A3.3	---	---	---	---	---	---	---	---	ELIASON DOOR MODEL: PE-500, FINISH: WHITE WITH 15"X20" VISION PANEL.
04	TOILET ROOM - MENS	3'-0" x 7'-0"	WOOD	B	REF: ELEVATIONS	HOLLOW METAL	REF: ELEVATIONS	1A/A3.3	1B/A3.3	---	---	B1	L2	C1	---	---	M1	UNDERCUT DOOR 1". COORDINATE WITH OWNER'S FIELD REPRESENTATIVE. PROVIDE STAINLESS KICK PLATE ON EACH SIDE PER "DOOR TYPES" ELEVATIONS.
05	TOILET ROOM - WOMENS	3'-0" x 7'-0"	WOOD	B	REF: ELEVATIONS	HOLLOW METAL	REF: ELEVATIONS	1A/A3.3	1B/A3.3	---	---	B1	L2	C1	---	---	M1	UNDERCUT DOOR 1". COORDINATE WITH OWNER'S FIELD REPRESENTATIVE. PROVIDE STAINLESS KICK PLATE ON EACH SIDE PER "DOOR TYPES" ELEVATIONS.
06	BASEMENT (EXISTING)	EXISTING	WOOD	-	REF: ELEVATIONS	HOLLOW METAL	REF: ELEVATIONS	---	---	---	---	---	---	---	---	---	M1	(E) LOCK CORES TO BE REPLACED W/ KEYMARK CORES BY G.C., GC SHALL VERIFY PROPER WORKING ORDER. REPAIR AS REQUIRED TO BRING DOOR TO LIKE NEW CONDITION. VERIFY LANDLORD APPROVAL PRIOR TO PAINTING DOOR IF APPLICABLE.
07	BACK AREA (EXISTING)	EXISTING	ALUMINUM	-	WHITE	HOLLOW METAL	MATCH WALL FINISH	2A/A3.3	2B/A3.3	---	---	---	---	---	---	---	---	(E) LOCK CORES TO BE REPLACED W/ KEYMARK CORES BY G.C., GC SHALL VERIFY PROPER WORKING ORDER. REPAIR AS REQUIRED TO BRING DOOR TO LIKE NEW CONDITION. VERIFY LANDLORD APPROVAL PRIOR TO PAINTING DOOR IF APPLICABLE.

HARDWARE NOTES																	
BUTTS			LOCKSET			CLOSER			PUSH/PULL BARS			WEATHERSTRIP/THRESHOLDS			MISC		
B1 HAGER BB1279			L1 SCHLAGE S40D NEPTUNE			C1 NORTON 1601BFxAL			PP1 TRIMCO 1738 - 12" CTC			W1 PEMKO S88W			M1 DOORSTOP - IVES FS441		
B2 HAGER BB1191 NRP			L2 SCHLAGE S10D NEPTUNE W/ B571 DOOR BOLT			C2 LCN OVERHEAD CONCEALED CLOSER: 2030			PP2 PULL BAR TO MATCH BUILDING OR SHOPPING CENTER STANDARD. WHERE STANDARD IS NOT APPLICABLE OR AVAILABLE, PROVIDE ONE OF THE FOLLOWING UPON APPROVAL BY ARCHITECT: ROCKWOOD RM201-12" OR STORE FRONT MANUFACTURERS STANDARD PULL WHICH MATCHES ROCKWOOD RM201-12"			W2 PEMKO 345PW			M2 DUSTPROOF STRIKE - TRIMCO 3911		
B3 PEMKO CSPFM83SLF			L3 SCHLAGE S70PD NEPTUNE			ALL OVERHEAD CLOSERS TO BE MOUNTED ON INTERIOR SIDE OF DOOR - NO THRU BOLTS			PP3 IVES 8102-8			T1 PEMKO 3 X 700 ALUM 72" MS & ES			M3 DOOR VIEWER - IVES U696		
EQUIVALENT ITEMS OF LAWRENCE, MCKINNEY SALES CO, OR STANLEY WORKS MAY BE SUPPLIED			L4 SIMPLEX LR/LL 1021S-26D			L8 SINGLE ENTRY STOREFRONT LOCK - ADAMS RITE DEADLOCK - MS1850S - KEYMARK						T2 PEMKO 3 X 700 ALUM 36" MS & ES					
			L5 IVES ROLLER LATCH RL32-F									APPROVED EQUALS BY RIXON MAY BE SUPPLIED					
			LOCK CORES TO BE KEYMARK CORES														



DOOR TYPES 1/4"=1'-0" 1

DOOR SIGNAGE 1/2"=1'-0" 2

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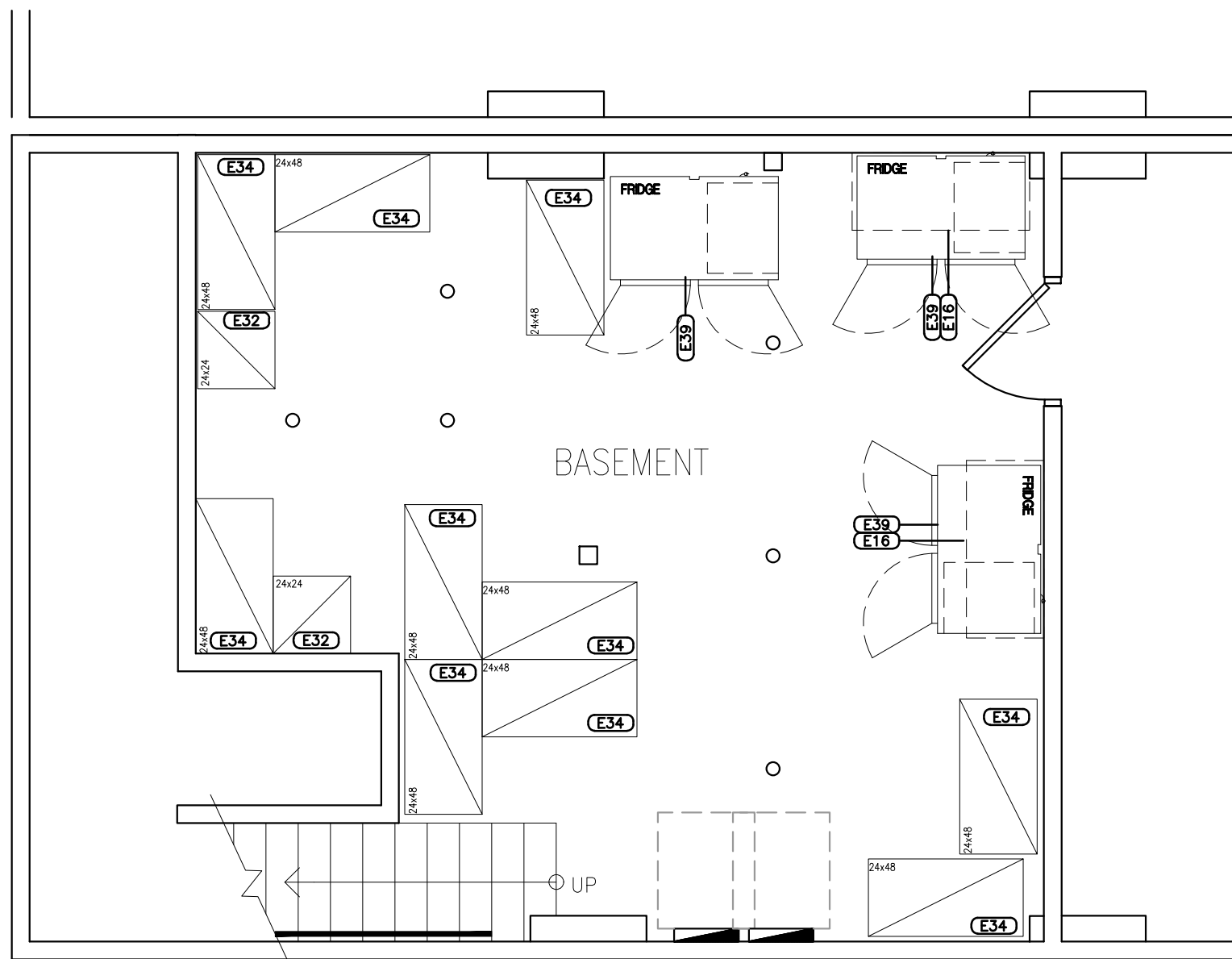
CLIENT: TWISTED PRETZEL, INC
 CESAR HERNANDEZ

DATE	DESCRIPTION
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SHEET TITLE:
 DOOR SCHEDULE

SHEET NUMBER:
A4.0

PROJECT NUMBER:
 JAJ21024



EQUIPMENT PLAN - BASEMENT
1/4"=1'-0"

1

- GENERAL NOTES**
- GENERAL CONTRACTOR SHALL TAKE DELIVERY OF ALL STORE EQUIPMENT ON DATES SCHEDULED BY OWNER.
 - GENERAL CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY DAMAGED OR MISSING ITEMS IN SHIPMENTS WITHIN 24 HOURS OF DELIVERY. ITEMS DETERMINED MISSING OR DAMAGED AFTER 24 HOURS FROM DELIVERY SHALL BE REPLACED AT GENERAL CONTRACTOR'S EXPENSE.
 - ALL EQUIPMENT SHALL BE INSTALLED AND TESTED FOR OPERATION PRIOR TO STORE PUNCHLIST BY THE GENERAL CONTRACTOR. GENERAL CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE OF EQUIPMENT NOT OPERATIONAL.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL FINAL CONNECTIONS OF OWNER PROVIDED EQUIPMENT TO ELECTRICAL, PLUMBING AND COMMUNICATION. REQUIREMENTS SHOWN ARE FOR ONE ITEM, TO DERIVE TOTAL MULTIPLY BY QUANTITY SHOWN.
 - ELECTRICAL CONTRACTOR SHALL PROVIDE MAG. STARTERS, DISCONNECT SWITCHES, INTERLOCKS AND THERMO-OVERLOAD PROTECTION WHERE REQUIRED.
 - PLUMBING CONTRACTOR SHALL PROVIDE STOP VALVES AHEAD OF ALL OPERATING HANDLES AND FAUCETS.
 - SEE EQUIPMENT PLUMBING AND ELECTRICAL ROUGH-IN DRAWINGS FOR ADDITIONAL INFORMATION.
 - GAS SUPPLY TO ALL EQUIPMENTS ITEMS, SHALL BE PROVIDED WITH A MECHANICAL VALVE FOR SUPPLY BY THE PLUMBING CONTRACTOR.
 - ALL WALK-IN BOX COILS REQUIRE CONNECTIONS TO SOLENOID. ALL CONNECTIONS TO THE REMOTE COMPRESSOR TO BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
 - VACUUM BREAKERS WHEN USED TO BE MINIMUM OF SIX INCHES ABOVE THE FLOOR LEVEL RIM WITH NO SHUT OFF DEVICES BEYOND THE DISCHARGE OF THE VACUUM BREAKER.
 - WALL BLOCKING PROVIDED BY GENERAL CONTRACTOR.
 - BACK SPLASHES OF EQUIPMENT SHALL BE SEALED TO WALLS WITH SILVER SILICONE CAULK IN A NEAT WORKMAN LIKE MANNER.
 - GENERAL CONTRACTOR SHALL CONFORM AND COORDINATE ALL UTILITY AND HVAC PENETRATIONS THROUGH ROOF. CONTRACTOR TO VERIFY WITH LANDLORD WARRANTY REQUIREMENTS.
 - GC TO PROVIDE FLASHING AT ALL VERTICAL JOINTS BETWEEN WALL AND WALK-IN UNITS WITH 3"x3" CONTINUOUS STAINLESS STEEL CLOSURE STRIPS. REF: 8/A3.2.
 - GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS FOR CASEWORK WITH CASEWORK VENDOR AND REPORT DISCREPANCIES OR CONFLICTS IMMEDIATELY TO ARCHITECT.
 - SEE PLUMBING DRAWINGS FOR FLOOR SINK AND SLAB PENETRATION LOCATIONS.

- HEALTH NOTES**
- ALL FOOD SERVICE EQUIPMENT, FABRICATED ITEMS, AND THEIR INSTALLATION SHALL MEET NATIONAL SANITATION FOUNDATION (N.S.F.) REQUIREMENTS.
 - ALL STATIONARY EQUIPMENT AND FIXTURES TO BE SEALED TO THE WALL OR ADJACENT EQUIPMENT. USE ALUMINUM COLOR AT STAINLESS STEEL AND CLEAR AT ALL OTHERS.
 - ALL SINKS IN THE FOOD FACILITY MUST BE PROVIDED WITH HOT WATER (MIN. 120 DEG. F.) AND COLD RUNNING WATER UNDER PRESSURE AND WILL HAVE A PREMIXING FAUCET CAPABLE OF SUPPLYING WARM WATER FOR A MINIMUM OF 10 SECONDS.
 - A HAND SINK IS PROVIDED IN EACH FOOD PREPARATION AREA WITH SINGLE SERVICE TOWEL AND SOAP DISPENSER.
 - A MOP SINK IS PROVIDED COMPLETE WITH BUILT-IN VACUUM BREAKER DISPENSER.
 - 4-COMPARTMENT AND/OR 3-COMPARTMENT SINKS ARE PROVIDED WITH MIXING VALVE FAUCETS CAPABLE OF REACHING EACH COMPARTMENT.
 - A MIN. OF 50 FOOT CANDLES (215 LUX) OF LIGHT MEASURED 30" OFF THE FLOOR IS PROVIDED IN ALL FOOD PREPARATION, PACKAGING, AND PROCESSING AREAS AND WHERE UTENSILS ARE CLEANED.
 - A MIN. OF 20 FOOT CANDLES (108 LUX) OF LIGHT MEASURED 30" OFF THE FLOOR IS PROVIDED IN ALL FOOD STORAGE AND UTENSIL STORAGE ROOMS.
 - A MIN. OF 20 FOOT CANDLES (108 LUX) OF LIGHT, MEASURED 30" OFF THE FLOOR IS PROVIDED IN TOILET AND DRESSING ROOMS AND IN ALL AREAS DURING GENERAL CLEANUP ACTIVITIES.
 - ALL SHELVING OVER WET AREAS (SINKS, MOP SINKS, ETC.) WILL BE STAINLESS STEEL.
 - SHATTER SHIELDS OR SHATTERPROOF LIGHT BULBS TO BE PROVIDED FOR ALL LIGHTS ABOVE FOOD PREPARATION, WORK, AND STORAGE AREAS.
 - FOOD FACILITY IS 100% SINGLE SERVICE. ALL UTENSILS AND SERVING WARE ARE DISPOSABLE.
 - ALL PLUMBING, ELECTRICAL, AND GAS LINES SHALL BE CONCEALED WITHIN THE BUILDING STRUCTURE TO THE GREATEST EXTENT AS POSSIBLE.
 - FLOOR SINKS UNDER EQUIPMENT SHALL BE EASILY ACCESSIBLE FOR CLEANING AND SERVICING.
 - ALL FLOOR TILE TO BE SMOOTH UNDER ALL EQUIPMENT, AND WALKWAYS TO HAVE A LIGHT TEXTURE ONLY.
 - REFER TO FINISH PLAN FOR ALL FINISHES IN THIS AREA.
 - ALL EQUIPMENT SHALL BE ON 6" NSF APPROVED LEGS, OR HEAVY-DUTY SYNTHETIC CASTERS, OR CURBS WITH 3/8" RADIUS SANITARY COWL.
 - TENANT TO PROVIDE MENU AS PART OF OSD SUBMISSION
 - TENANT TO PROVIDE NSF APPROVED OR EQUIVALENT CUT SHEETS FOR ALL FOODSERVICE EQUIPMENT
 - ALL LIGHTING WITHIN ALL FOOD SERVICE AREAS MUST BE SHATTERPROOF OR COMPLETELY COVERED.
 - SEALED AND CAULKED AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OTHER OPENINGS CAPABLE OF HARBORING INSECTS/RODENTS.
 - INSTALL TEMPERING DEVICES AND SET HANDWASH SINK TEMPERATURE TO A MINIMUM OF 90°F AND A MAXIMUM TEMPERATURE OF 110°F. ALL OTHER PLUMBING FIXTURES 120°F.
 - AIR GAPS TO BE PROVIDED FOR DRAINPIPES ABOVE FLOOR SINKS MINIMUM 1 INCH.
 - COLD HOLDING UNITS TO BE KEPT AT 33°F TO 38°F
 - Corner guards to be installed on all outside corners
 - Women's bathrooms must have covered waste receptacles
 - ANY EXPOSED UTILITY SERVICE LINES AND PIPES (ELECTRICAL, PLUMBING, ETC.) SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS. MINIMUM OF 6 OFF FLOORS.
 - BACKFLOW PREVENTER TO BE INSTALLED ON ALL FOOD SERVICE EQUIPMENT WITH WATER CONNECTIONS
 - THREE COMPARTMENT SINKS MUST DRAIN PROPERLY, WITHOUT SPLASH OR SPILLAGE, WHEN ALL COMPARTMENTS ARE FILLED AND DRAINED
 - SIMULTANEOUSLY OR INSTALL TWIST/LEVER WASTE VALVES OR EQUIVALENT TO CONTROL WASTE FLOW
 - VERIFY THAT COMPARTMENTS IN THREE-COMPARTMENT SINKS ARE LARGE ENOUGH TO COMPLETELY SUBMERGE ALL EQUIPMENT TO BE WASHED
 - INSTALL BACKFLOW PREVENTER ON PRE-RINSE FAUCET OR VERIFY THAT NOZZLE CANNOT BE LOWERED BELOW FLOOD LEVEL RIM OF SINK OR PRE-RINSE FAUCET HAS AN INTEGRAL BACKFLOW PREVENTER, OR RESTRICT SPRAYER SO THAT IT CANNOT EXTEND BELOW THE FLOOD RIM OF SINK
 - VERIFY THAT ALL FLOOR DRAINS/SINKS ARE EASILY ACCESSIBLE AND 100% VISIBLE.
 - ANY FLOOR DRAINS/SINKS, LOCATED WITHIN THE FOOTPRINT OF ANY CABINET, NEED TO BE BOXED OUT WITH A SURROUNDING COVE BASE FOR ACCESSIBILITY/CLEANING.
 - NO FOOD PRODUCTS OR SUPPLIES ARE TO BE BROUGHT IN UNTIL THE FINAL INSPECTION AND ALL ASSOCIATED PUNCH-LIST ITEMS HAVE BEEN COMPLETED.
 - AT FINAL INSPECTION, DISHWASHER TO BE WORKING PROPERLY AT REQUIRED MANUFACTURER'S OPERATIONAL TEMPERATURES
 - AT FINAL INSPECTION, PROVIDE A COPY OF THE WATER POTABILITY TEST RESULTS FROM A NY LICENSED LAB AFTER LINES HAVE BEEN CHLORINATED AS REQUIRED BY THE NATIONAL STANDARD PLUMBING CODE OR EQUIVALENT.
 - AT FINAL INSPECTION, PROVIDE COPY OF LIQUOR LICENSE FROM THE STATE OF NY LIQUOR AUTHORITY (IF APPLICABLE).
 - AT FINAL INSPECTION, TENANT MUST PROVIDE A COPY OF A CONTRACT WITH A NEW YORK LICENSED PEST-CONTROL COMPANY FOR ROUTINE SERVICE (MINIMUM 2X/MONTH).
 - AT FINAL INSPECTION, PROVIDE COPY OF PRE-DEMOLITION EXTERMINATOR SERVICE RECEIPT (IF APPLICABLE)
 - AT FINAL INSPECTION, PROVIDE COPY OF CONTRACT WITH NYC LICENSED HOOD-CLEANING COMPANY FOR SERVICE 4X YEAR MIN. (IF APPLICABLE)
 - AT FINAL INSPECTION, PROVIDE COPY OF THE FOOD PROTECTION CERTIFICATE ISSUED BY THE NYCDOH AND SERVSAFE CERTIFICATE ISSUED BY NYS FOR THE SUPERVISOR OF THE FOOD SERVICE ESTABLISHMENT.
 - AT FINAL INSPECTION, PROVIDE A COPY OF THE APPLICATION FOR PERMIT RECEIPT ISSUED BY THE DEPARTMENT OF CONSUMER AFFAIRS NYCDOH AND COPY OF NYS CERTIFICATE OF AUTHORITY OR TAX ID FROM THE NYS DEPARTMENT OF TAXATION AND FINANCE.
 - FOR FINAL INSPECTION, ENTIRE SPACE MUST BE IN BROOM CLEAN CONDITION, ALL UTILITIES/EQUIPMENT OPERATIONAL AND ALL CONSTRUCTION ACTIVITIES COMPLETED
 - THE ENTIRE FOOD ESTABLISHMENT WILL BE INCLUDED IN THE FINAL INSPECTION TO ENSURE CURRENT CODE COMPLIANCE.

- KEY NOTES**
- SEAL TO COUNTER WITH CLEAR SILICONE CAULK. PROVIDE CLEARANCE AROUND UNIT FOR CLEANING AT REAR AND SIDES.

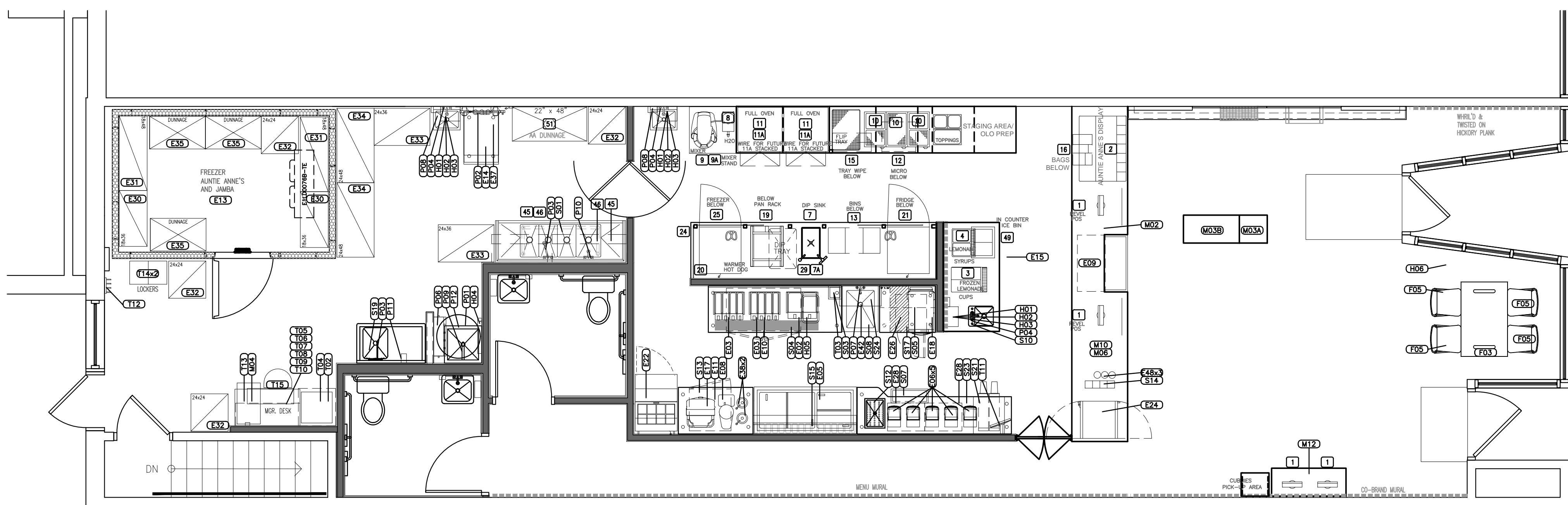
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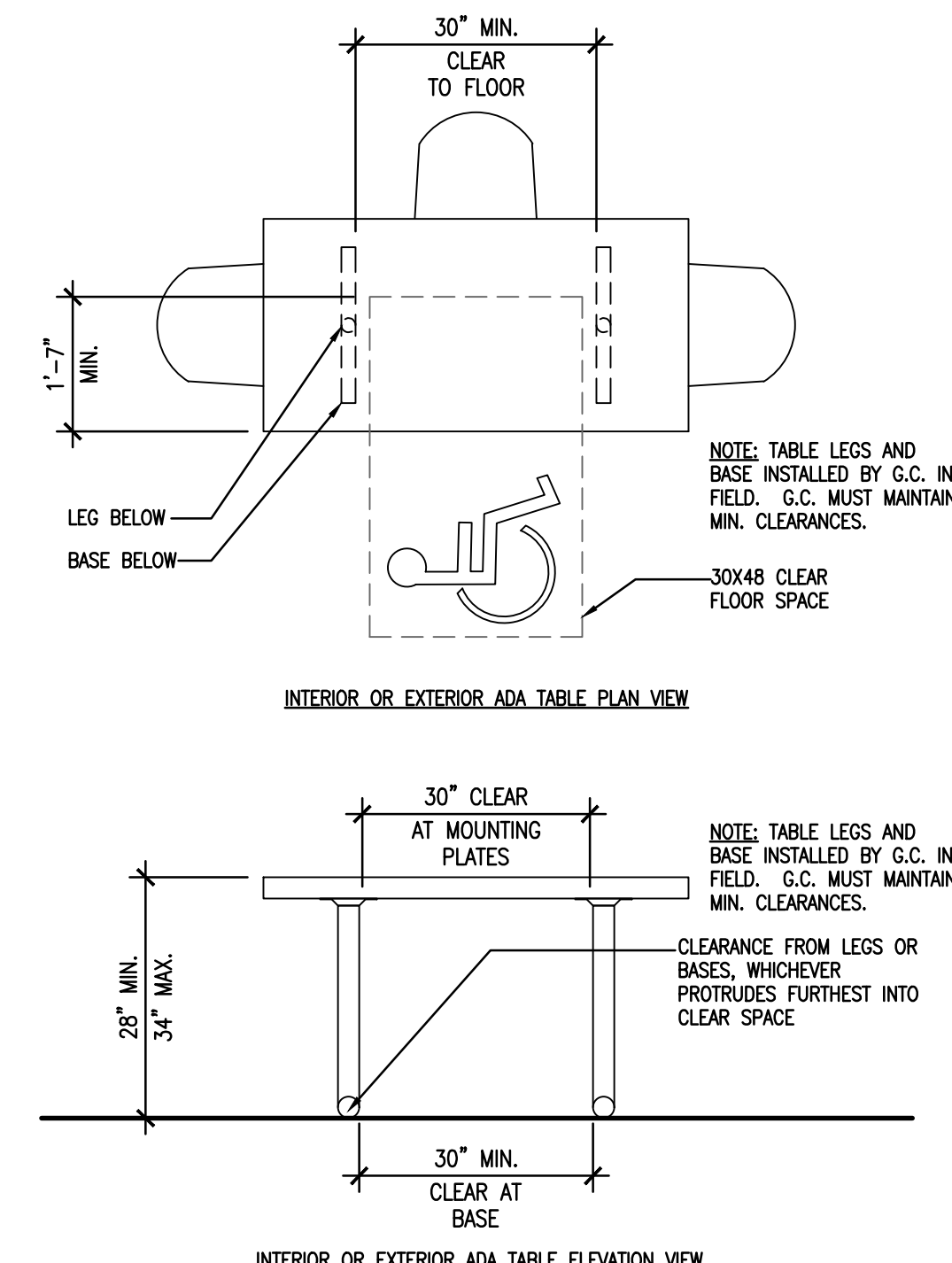
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MADISON, WI 53703

CLIENT: TWISTED PRETZEL, INC
CESAR HERNANDEZ



EQUIPMENT PLAN
1/4"=1'-0"

2



ADA TABLE DETAILS
1/2"=1'-0"

3

Jamba
#103706
AuntieAnne's

DATE	DESCRIPTION
01.07.22	OWNER REVIEW ISSUE
01.31.22	PERMIT ISSUE

DATE	DESCRIPTION
1	09.15.21 PORT AUTHORITY COMMENTS
2	11.22.21 PORT AUTHORITY COMMENTS

SHEET TITLE:
EQUIPMENT PLAN

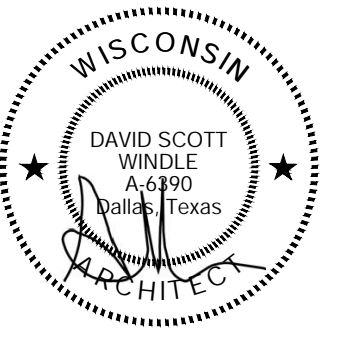
SHEET NUMBER:
EQ1.1

PROJECT NUMBER:
JAJ21024

FURNISHING NOTES	
1	HEIGHT OF TABLES AND COUNTERS SHALL BE 28" MINIMUM-34" MAXIMUM
2	MANEUVERING CLEARANCE SHALL BE 30"X48"
3	KNEE CLEARANCE SHALL BE 27" HIGH, 19" DEEP AND 30" WIDE
4	ISNEEZEGUARD SHALL BE OF NSF APPROVED MATERIAL.

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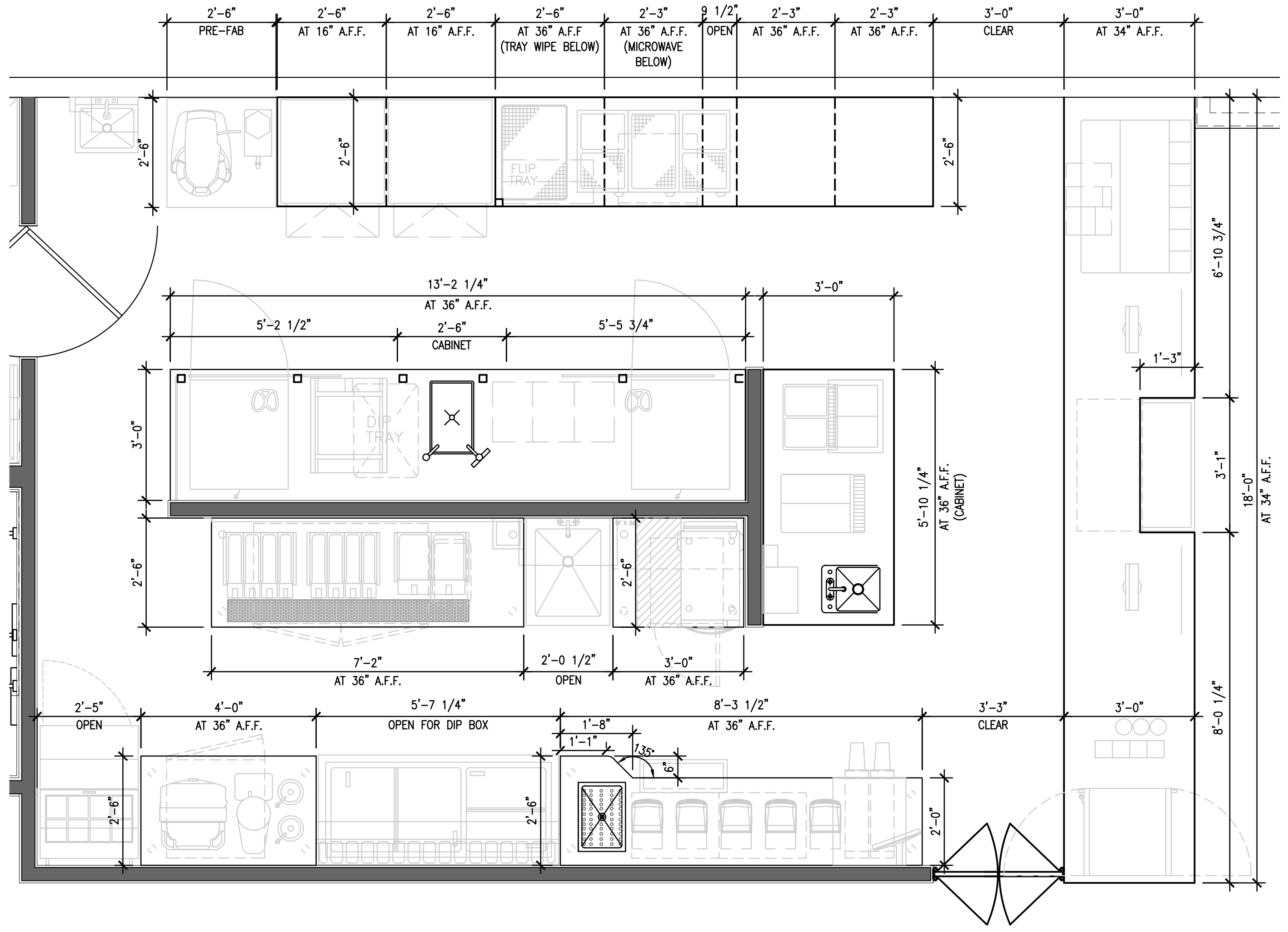
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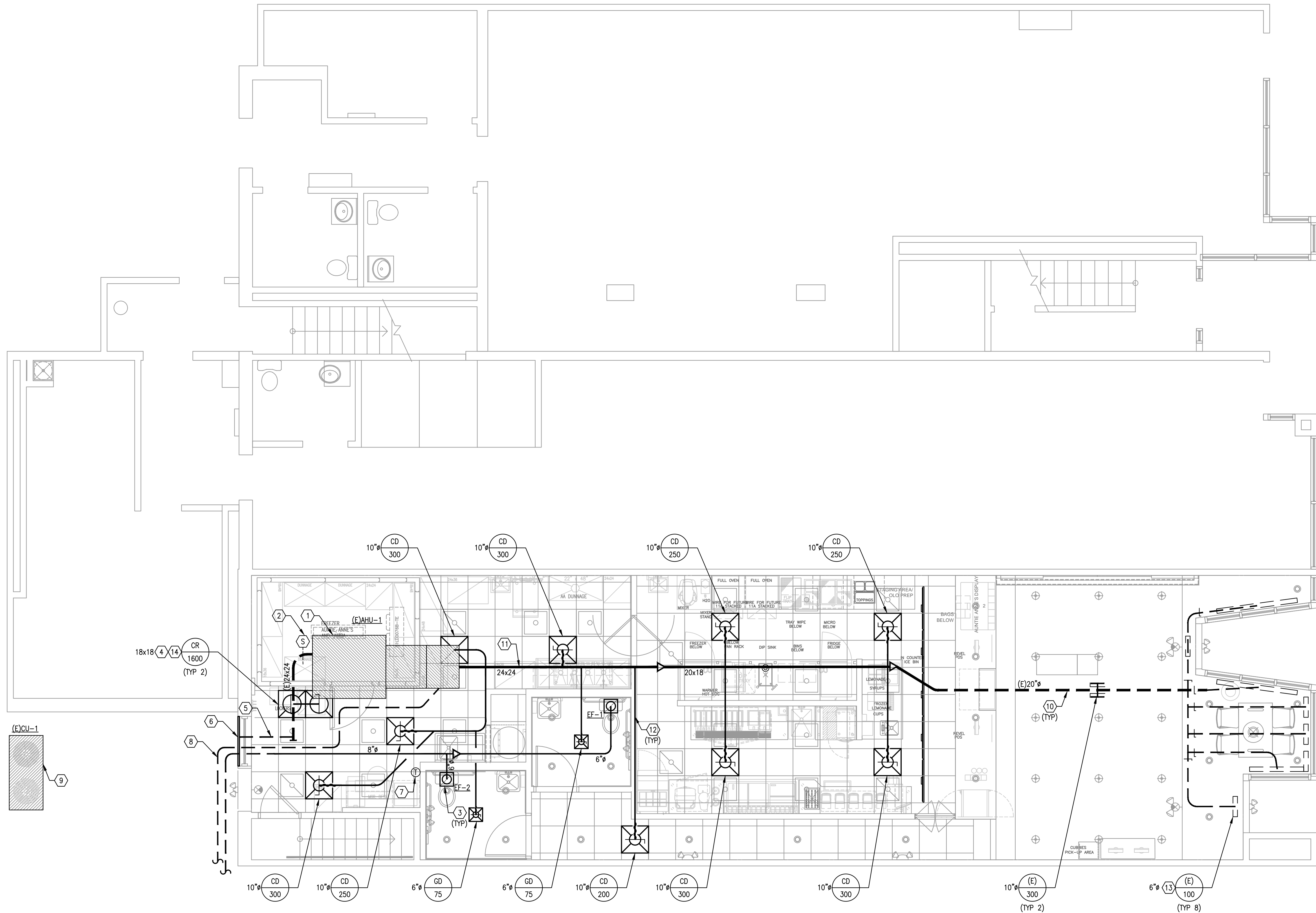
DATE	DESCRIPTION
2 11.22.21	PORT AUTHORITY COMMENTS

SHEET TITLE:
COUNTERTOP PLAN

SHEET NUMBER:
EQ1.2

PROJECT NUMBER:
JAJ21024





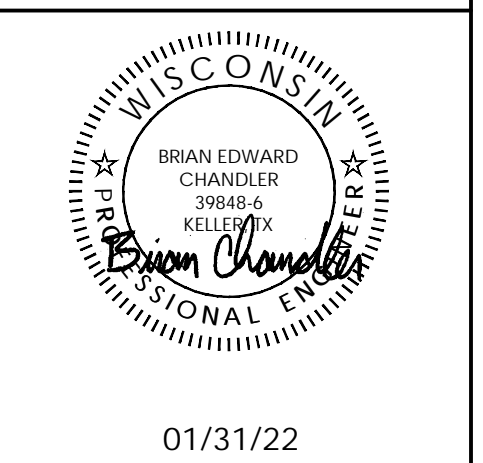
GENERAL NOTES

- A MECHANICAL CONTRACTOR SHALL MAINTAIN A REDLINED SET OF "AS BUILT" CONSTRUCTION DRAWINGS AND PROVIDE RECORD COPIES TO THE ARCHITECT PER HIS SUBMISSION REQUIREMENT TO JAMBA JUICE CORPORATE.
- B ALL NEW HVAC SUPPLY, RETURN, AND RESTROOM EXHAUST DUCTWORK SHALL BE INSTALLED AS HIGH AS POSSIBLE UNDER THE ROOF STRUCTURE.
- C COORDINATE THE INSTALLATION LOCATION OF WALL MOUNTED TEMPERATURE SENSORS TO AVOID PROXIMITY WITH HEAT PRODUCING EQUIPMENT.
- D ALL RECTANGULAR, ROUND, AND FLEXIBLE DUCTWORK SHALL BE SIZED AS SHOWN ON THESE DRAWINGS; AND SHALL BE FABRICATED AND INSTALLED ACCORDING TO THE MOST RECENTLY PUBLISHED SMACNA STANDARDS. ALL JOINTS, SEAMS, AND CONNECTIONS MUST BE SECURELY FASTENED & SEALED BY APPROVED METHODS.
- E FLEXIBLE DUCT TO BE INSTALLED IN CONCEALED SPACES ONLY. THE MAXIMUM ALLOWABLE LENGTH OF FLEXIBLE DUCT SHALL BE 5'-0". ALL FLEXIBLE DUCTS SHALL BE CONNECTED TO BRANCH RUNS AND FITTINGS WITH A PANDUIT-TYPE BAND, AND SHALL NOT BE ATTACHED DIRECTLY TO THE DIFFUSER COLLAR.
- F ALL SUPPLY DIFFUSERS SHALL BE BALANCED WITH DAMPERS AT MAIN TAKEOFF FITTING UNLESS NOTED OTHERWISE.
- G ALL PENETRATIONS IN FIRE RATED WALL ASSEMBLIES SHALL BE SEALED WITH UL LISTED FIRE STOPPING MATERIAL.

KEYED NOTES

- 1 AIR HANDLING UNIT IS EXISTING TO REMAIN. PROVIDE ANY REQUIRED SERVICE AND MAINTENANCE REPAIRS TO BRING THE UNIT TO A "LIKE NEW" CONDITION. REPLACE ALL WORN PARTS, BELTS AND FILTERS. COMB OUT CONDENSER FINS, LUBRICATE SHEAVES, PULLEYS AND OTHER MOVING PARTS.
- 2 VERIFY EXISTING SMOKE DETECTOR CAPABLE OF SHUTTING DOWN THE RESPECTIVE MECHANICAL UNIT UPON ACTIVATION.
- 3 NEW CEILING MOUNTED FAN, ROUTE NEW DUCTWORK FROM FAN AND CONNECT TO EXISTING RESTROOM EXHAUST DUCT PRIOR TO EXITING THE BUILDING.
- 4 RETURN GRILLE AIR QUANTITIES LISTED ARE FOR STANDARD OPERATING HOURS. REFER TO SHEET M2.1 FOR AIR BALANCE ON DESIGN AIRFLOW RATES.
- 5 OUTSIDE AIR DUCT FROM EXISTING FRESH AIR WALL LOUVER TO AHU MAIN RETURN TRUNK IS EXISTING TO REMAIN. FIELD VERIFY EXISTING LOUVER LOCATION AND ASSOCIATED DUCT WORK.
- 6 EXISTING 30x16 OUTDOOR AIR LOUVER TO REMAIN.
- 7 RELOCATE EXISTING WALL MOUNTED 24/7 AUTO-CHANGEOVER PROGRAMMABLE THERMOSTAT COMPATIBLE WITH HVAC UNIT MOUNTED AT 48" A.F.F. COORDINATE LOCATION WITH WALL GRAPHICS AND DECOR. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- 8 EXISTING GAS HEATER FLUE VENTING TO REMAIN. VERIFY REQUIRED 10" CLEARANCE FROM ANY FRESH AIR OPENINGS.
- 9 EXISTING GRADE MOUNTED CONDENSING UNIT REMAIN.
- 10 EXISTING EXPOSED DUCTWORK AND ASSOCIATED DIFFUSERS TO REMAIN AS SHOWN.
- 11 ROUTE NEW MAIN DUCT FROM EXISTING AHU AND CONNECT TO EXISTING EXPOSED DUCTWORK PRIOR TO EXITING CONCEALED SPACE.
- 12 ROUTE NEW BRANCH DUCTS OUT TO NEW DIFFUSERS SIZED AS SHOWN.
- 13 REBALANCE DIFFUSERS TO CFMs SHOWN.
- 14 ROUTE NEW RETURN BRANCH TO NEW CEILING MOUNTED RETURN GRILLES. SIZED AS SHOWN.

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DATE	DESCRIPTION
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DATE	DESCRIPTION

SHEET TITLE:
MECHANICAL FLOOR PLAN

SHEET NUMBER:
M1.1

PROJECT NUMBER:
JAJ21024

FAN SCHEDULE											
MARK	SERVICE	CFM	E.S.P. "WG	RPM	MOTOR HP	VOLTS/ PH	MANUFACTURER	MODEL	TYPE	WEIGHT	NOTES
EF-1	RESTROOM	100	0.25	950	18 W	115/1	GREENHECK	SP-A110	CEILING CABINET FAN	17	1,2,4
EF-2	RESTROOM	100	0.25	950	18 W	115/1	GREENHECK	SP-A110	CEILING CABINET FAN	17	1,2,4

NOTES:
 1. FAN IS EXISTING TO BE REMAIN.
 2. PROVIDE GRAVITY BACKRAFT DAMPER.
 3. FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR.
 4. FAN TO BE TIED TO LIGHT SWITCH FOR SIMULTANEOUS OPERATION.

TEST AND BALANCE NOTES
1. THE GENERAL CONTRACTOR SHALL SUBCONTRACT TO AN INDEPENDENT AIR TEST AND BALANCE CONTRACTOR FOR THE TESTING, ADJUSTING AND BALANCING OF ALL ENVIRONMENTAL SYSTEMS SHOWN OR SPECIFIED ON THE CONTRACT DOCUMENTS. THIS SHALL INCLUDE EQUIPMENT OPERATION IN COOLING, HEATING, AND DEHUMIDIFICATION OPERATIONAL MODES. THE WORK SHALL BE PERFORMED BY A FIRM CERTIFIED BY EITHER ABC OR NEBB, AND FOUR (4) COPIES OF THE FINAL REPORT, SUBMITTED ON CERTIFYING AGENCY FORMS, SHALL BE SUBMITTED TO THE JAMBA CONSTRUCTION MANAGER FOR APPROVAL. THE REPORT SHALL BEAR THE CERTIFICATION SEAL OF THE TAB SUPERVISOR IN CHARGE. REPORTS SHALL CONTAIN ALL AIR SIDE BALANCING DATA, INSTRUMENTS USED AND THEIR LATEST CALIBRATION DATES, PERSON(S) PERFORMING THE WORK AND A WRITTEN GUARANTEE THAT ALL TAB WORK WAS PERFORMED IN ACCORDANCE WITH THE CERTIFYING AGENCY STANDARDS AND PROCEDURES.
2. THE TEST AND BALANCE REPORT SHALL INCLUDE OPERATIONAL DATA FOR EVERY COMPONENT OF THE COMPLETE MECHANICAL SYSTEM INCLUDING HVAC EQUIPMENT, HVAC AIR DEVICES, RESTROOM FANS, ETC. THIS DATA SHALL INCLUDE THE BALANCED OPERATING DATA FOR EQUIPMENT AS COMPARED TO THE DESIGN AIR BALANCE SCHEDULE ON THIS SHEET.
3. FOR CLARIFICATION, THE ENGINEER OF RECORD WILL NOT BE ABLE TO REVIEW THE INSTALLED MECHANICAL SYSTEMS FOR POTENTIAL OPERATIONAL ISSUES OR INSTALLATION DEFICIENCIES WITHOUT THE FULL AND COMPLETE TEST AND BALANCE REPORT.

EXISTING SPLIT SYSTEM SCHEDULE		
AIR HANDLING UNIT		
UNIT TAG	(E)AHU-1	--
YORK MODEL NO.	NJ-10	--
INSTALLED (LBS)	EXISTING	--
FAN SECTION		
MOTOR HP	EXISTING	--
RATED CFM	4000	--
DRIVE	MED	--
E.S.P. (WG)	EXISTING	--
MIN. OUTDOOR AIR (CFM)	800	--
FURNACE GAS HEAT		
MANUFACTURER	MODINE	--
AMBIENT DB (°F)	-11	--
INPUT (MBH)	EXISTING	--
OUTPUT (MBH)	EXISTING	--
M.A.T. DB (°F)	EXISTING	--
TEMPERATURE RISE (°F)	EXISTING	--
LEAVING AIR TEMP. (°F)	EXISTING	--
POWER SUPPLY	115/1/60	--
SUPPLY FAN ELECTRIC DATA		
VOLTS/PH/Hz	208/3/60	--
MIN. CIR. AMPS	EXISTING	--
MOCP	EXISTING	--
MIN. COOLING PERFORMANCE		
YORK MODEL NO.	NJ-10	--
NUMBER OF CIRCUITS	2	--
ENTERING DB/WB (°F)	80/67	--
AMBIENT DB (°F)	90	--
SENS. CAP. (MBH)	99.2	--
TOTAL CAP. (MBH)	124.0	--
AIR COOLED CONDENSER UNIT		
UNIT TAG	(E)CU-1	--
YORK MODEL NO.	YJ-10C	--
NOMINAL CAPACITY (TONS)	10.0	--
INSTALLED (LBS)	EXISTING	--
EER	11.2	--
ELECTRIC DATA		
VOLTS/PH/Hz	208/3/60	--
MIN. CKT AMPS	42	--
MOCP	50	--
NOTES: 1. AIR HANDLING UNIT IS EXISTING TO REMAIN. FIELD VERIFY ALL SPECIFICATIONS SHOWN HERE AND NOTIFY ENGINEER OF ANY DISCREPANCIES. 2. PROVIDE ANY REQUIRED SERVICE AND MAINTENANCE REPAIRS TO BRING THE UNIT TO A "LIKE NEW" CONDITION. REPLACE ALL WORN PARTS, BELTS AND FILTERS. COMB OUT CONDENSER FINS, LUBRICATE SHEAVES, PULLEYS AND OTHER MOVING PARTS. 3. BALANCE AIRFLOWS FOR S/A AND O/A TO VALUES NOTED ABOVE.		

MECHANICAL LEGEND		
SYMBOL	ABBR.	DESCRIPTION
☒	CD	CEILING DIFFUSER - SUPPLY
☒	CD	CEILING DIFFUSER BELOW DUCT - SUPPLY
☒	SAD	RISER - SUPPLY AIR DUCT
☒	SAD	DROP - SUPPLY AIR DUCT
☒	CR	CEILING REGISTER - RETURN
☒	CR	CEILING REGISTER BELOW DUCT - RETURN
☒	RAD	RISER - RETURN AIR DUCT
☒	RAD	DROP - RETURN AIR DUCT
☒	CE	CEILING REGISTER - EXHAUST
☒	CE	CEILING REGISTER BELOW DUCT - EXHAUST
☒	EAD	RISER - EXHAUST AIR DUCT
(L)	(L)	LINED DUCTWORK
VD	VD	MANUAL VOLUME DAMPER
FC	FC	FLEXIBLE CONNECTION
		NEW DUCT
(TAG CFM)		AIR DEVICE DESIGNATION
Ⓢ	TSTAT	PROGRAMMABLE THERMOSTAT
Ⓢ	SENS	REMOTE TEMPERATURE SENSOR
Ⓢ	SD	SMOKE DETECTOR
⊕	POC	POINT OF CONNECTION
	CFM	CUBIC FEET PER MINUTE
	S/A	SUPPLY AIR
	R/A	RETURN AIR
	O/A	OUTSIDE AIR
	E/A	EXHAUST AIR
	S.P.	STATIC PRESSURE

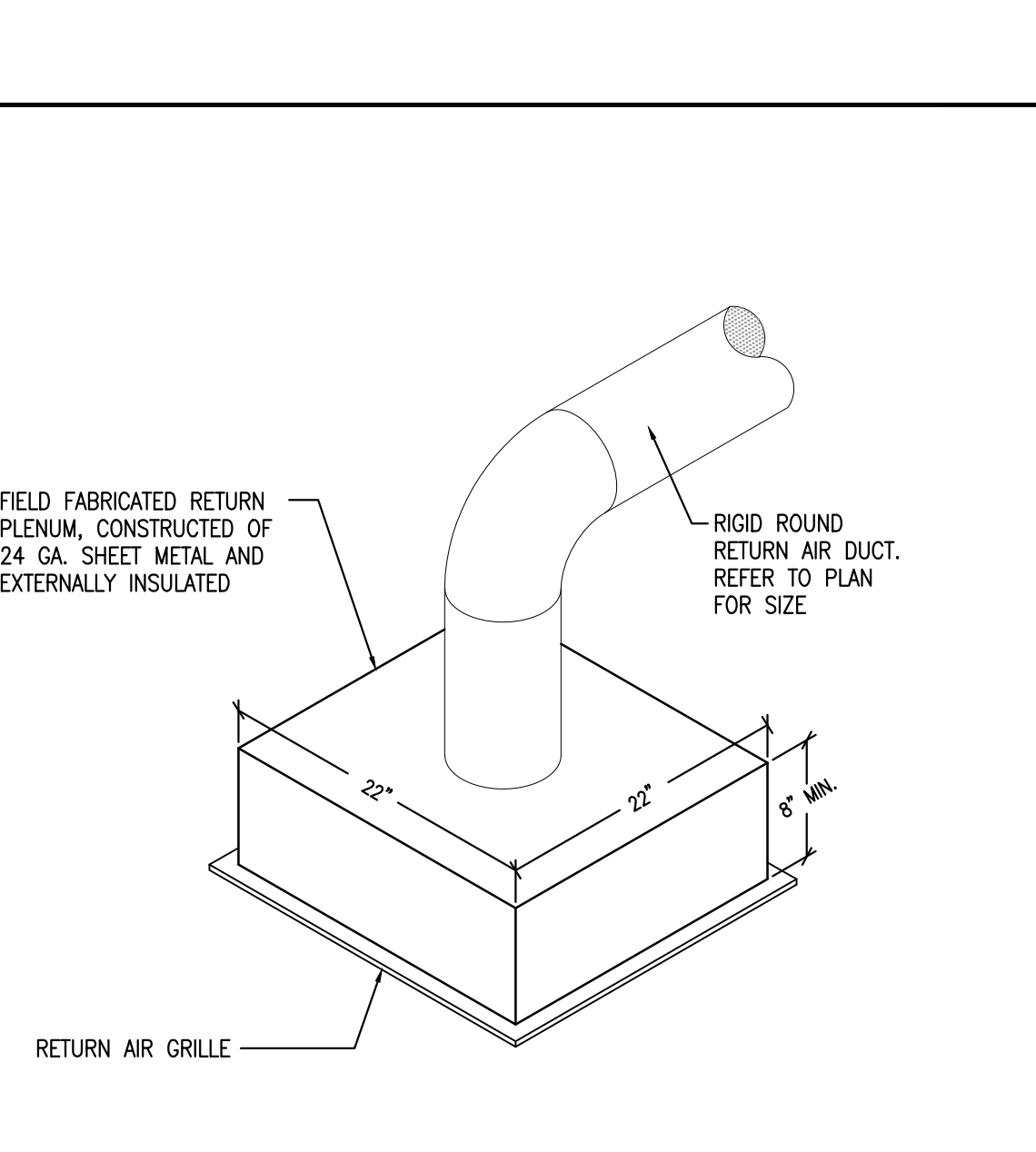
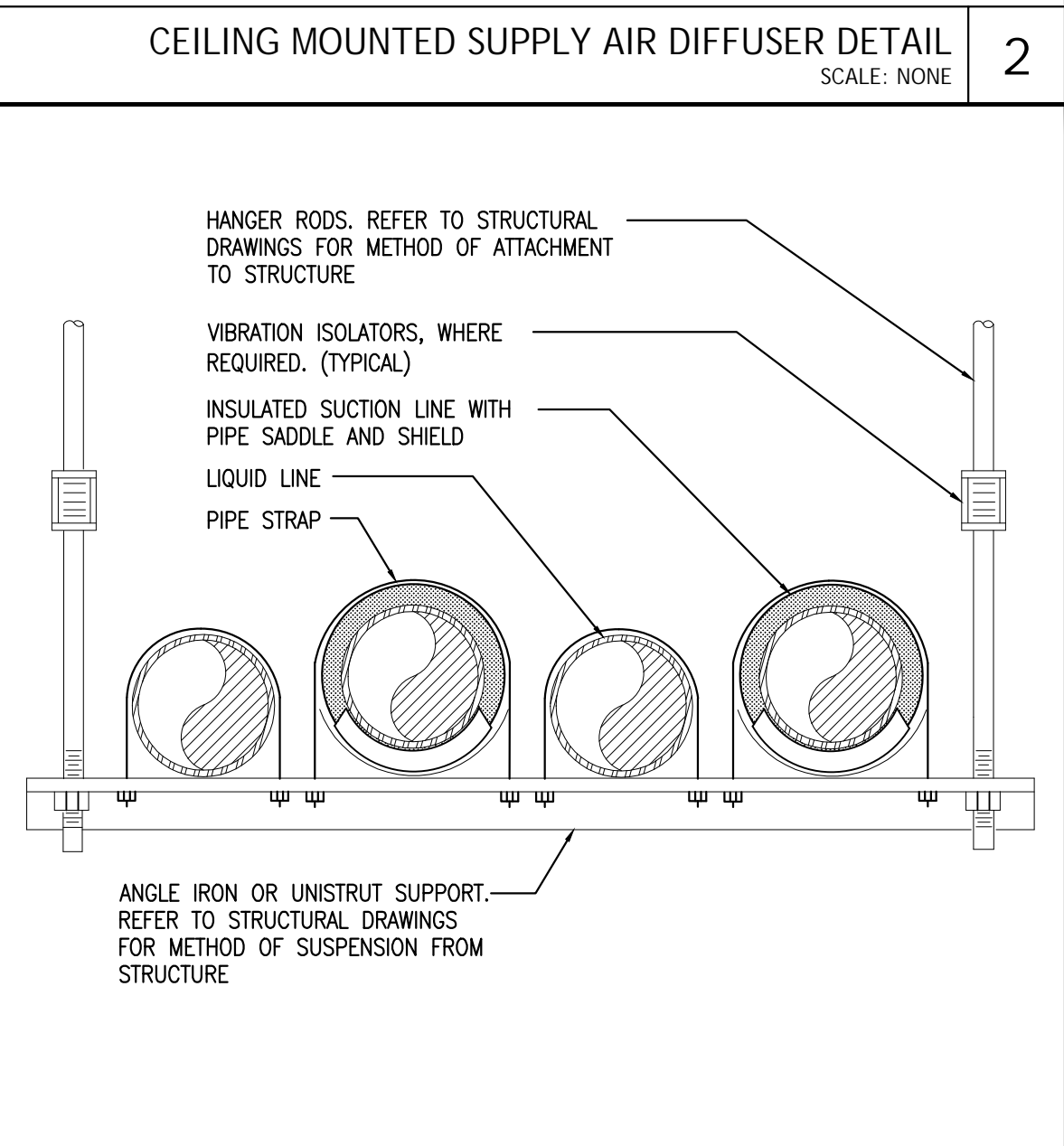
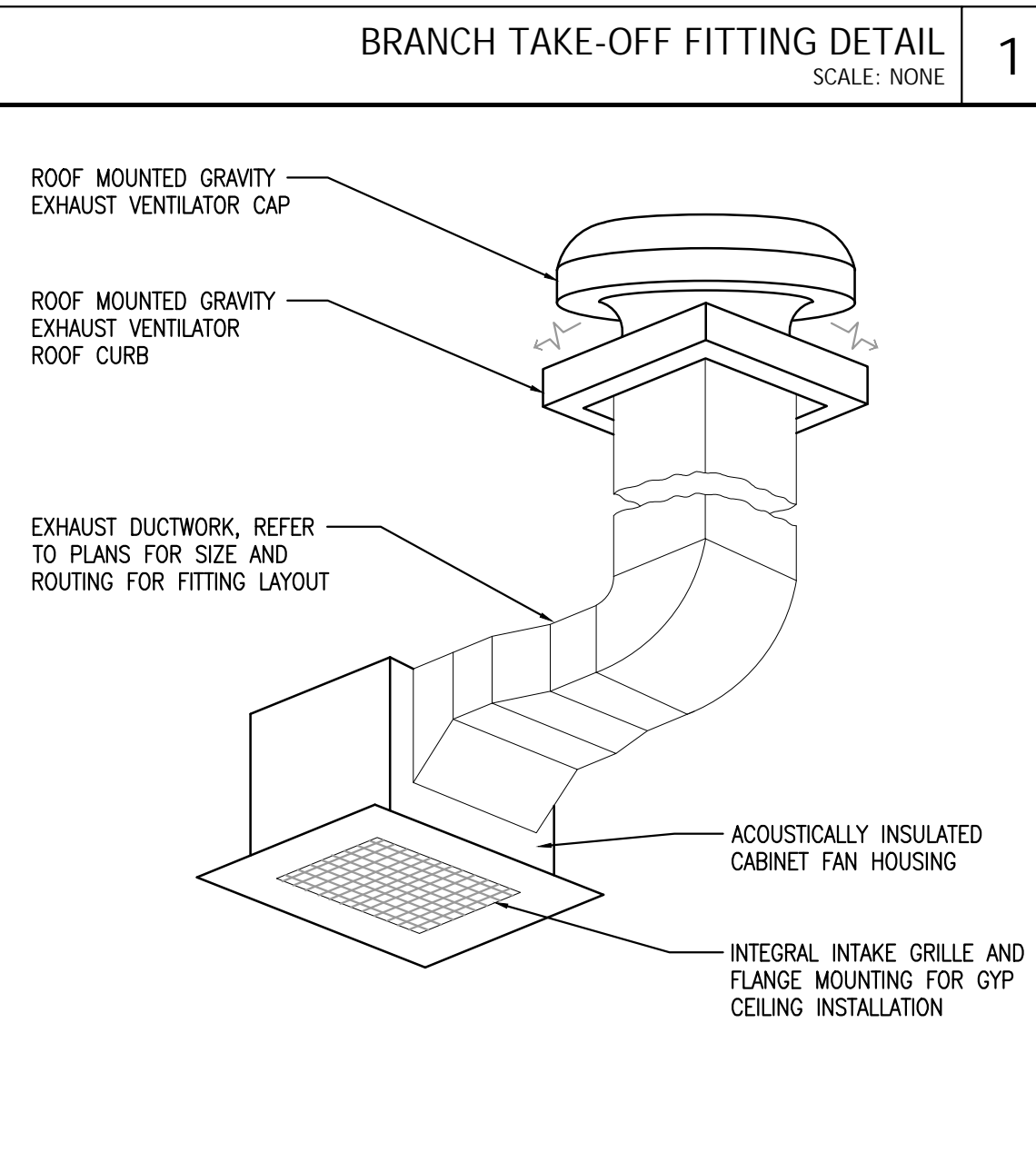
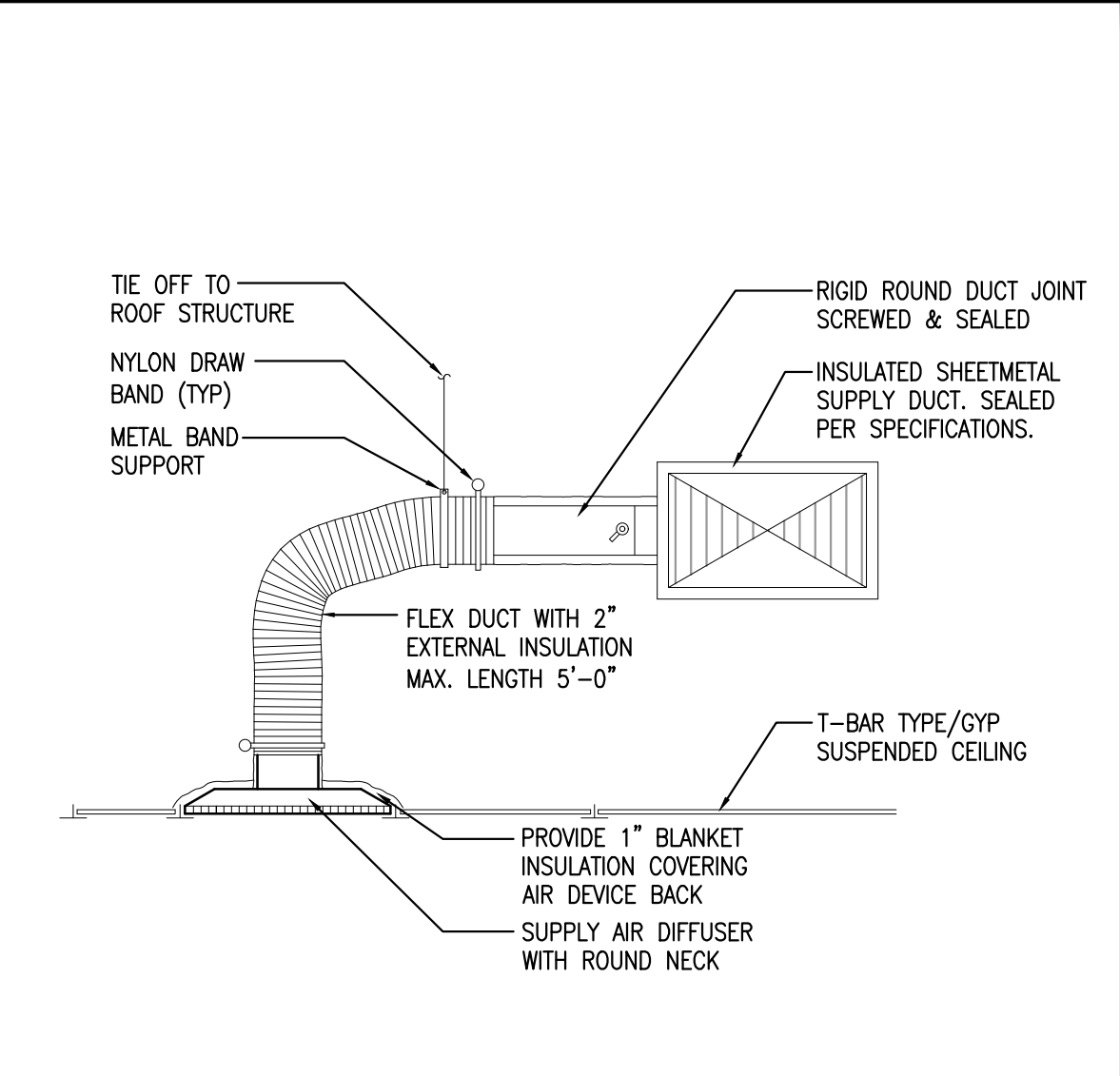
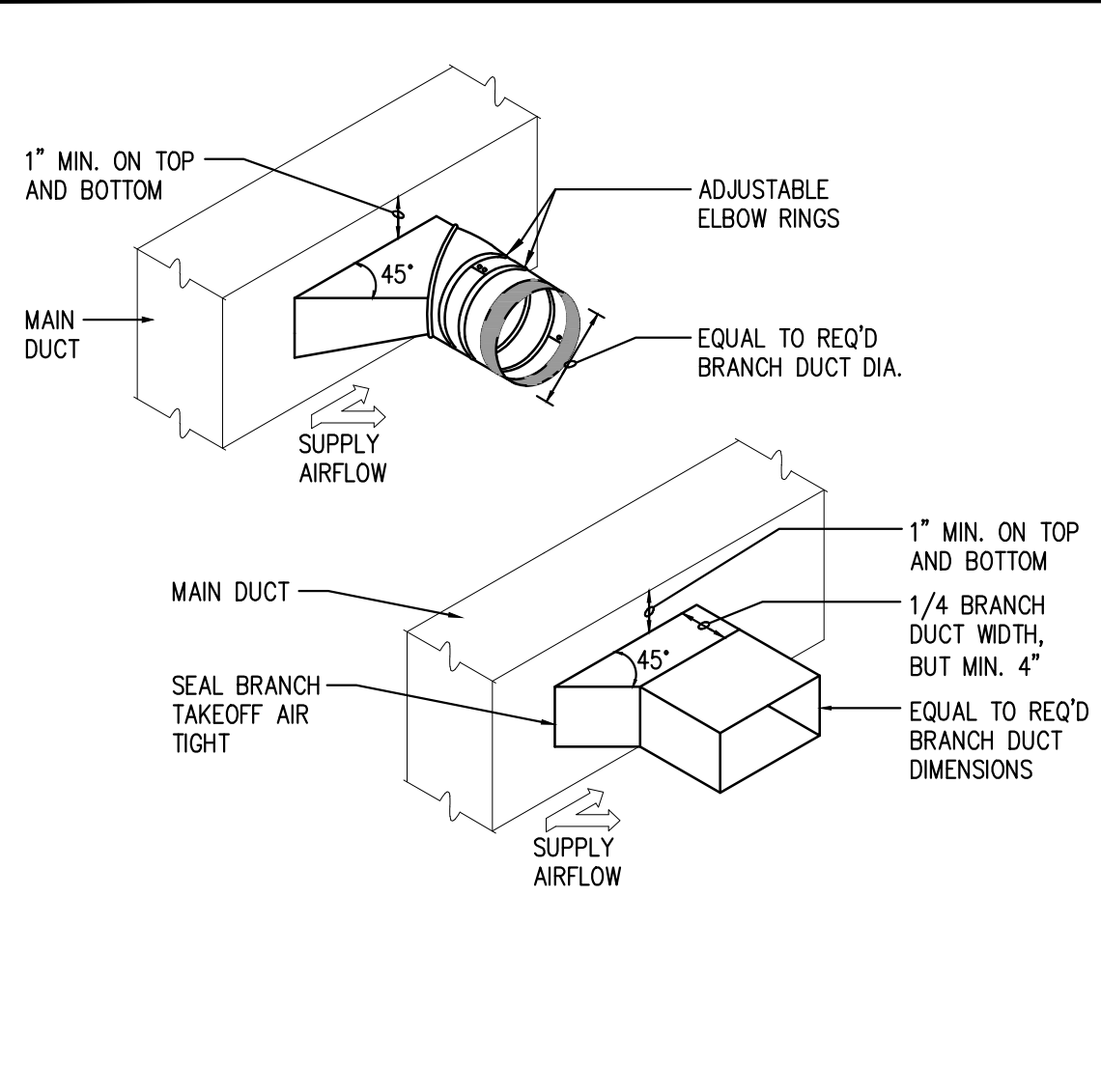
GENERAL NOTES	
1	NOTE: FOR THE PURPOSE OF CLEARNESS AND LEGIBILITY, THE DRAWINGS ARE ESSENTIALLY DIMENSIONAL. THE ALTERNATIVE LOCATIONS OF EQUIPMENT SHALL BE DRAWN TO SCALE WHEREVER POSSIBLE. THE CONTRACTOR SHALL MAKE USE OF ALL DATA IN ALL OF THE CONTRACT DOCUMENTS AND VERIFY THIS INFORMATION PRIOR TO ORDERING, FABRICATING OR INSTALLING ANY MATERIALS.
2	THE MECHANICAL CONTRACTOR SHALL PROVIDE COMPLETE INFORMATION AND COOPERATE WITH THE OTHER CONTRACTORS AND TRADES AS REQUIRED FOR THE COMPLETION AND COORDINATION OF THE COMPLETE PROJECT.
3	UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, MATERIALS, LABOR AND SUPERVISION NECESSARY TO COMPLETE THE HEATING, VENTILATING AND AIR CONDITIONING WORK.
4	THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ADMINISTERING ALL WARRANTIES ON EQUIPMENT WHICH THEY FURNISH AND INSTALL.
5	ALL COMPONENTS AND EQUIPMENT SHALL BE PROVIDED WITH AN EASE OF SERVICE AND MAINTENANCE AS REQUIRED BY CODE AND THE LANDLORD.
6	CONTRACTOR SHALL PROVIDE PRODUCT DATA SUBMITTALS FOR ALL EQUIPMENT AND DEVICES TO THE OWNER FOR HIS REVIEW AND/OR APPROVAL PRIOR TO THE PURCHASE OF ANY SUCH EQUIPMENT OR DEVICES.
7	PROVIDE WRITTEN WARRANTY TO REPLACE ALL FAULTY MATERIALS AND/OR LABOR, AT NO COST TO TENANT, FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE. PROVIDE 5 YEAR COMPRESSOR WARRANTY FOR AC UNIT(S). WARRANTIES SHALL BEGIN ON THE DATE OF SUBSTANTIAL COMPLETION.
8	COORDINATE ALL WORK WITH ARCHITECTURAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND STRUCTURAL CONTRACTORS. INSTALL ALL WORK TO CLEAR NEW AND EXISTING ARCHITECTURAL AND STRUCTURAL MEMBERS. NO ITEM SUCH AS PIPE, DUCT, ETC. IS TO BE IN CONTACT WITH ANY EQUIPMENT.
9	ALL OUTDOOR AIR INTAKE FOR MECHANICAL EQUIPMENT SHALL HAVE A MINIMUM 10'-0" HORIZONTAL CLEARANCE FROM THE DISCHARGE OF ANY EXHAUST FAN OR PLUMBING VENT.
10	PROVIDE VIBRATION ISOLATION DEVICES AND FLEXIBLE DUCT/ PIPING CONNECTIONS TO ALL MOVING MACHINERY NOT INTERNALLY ISOLATED.
11	ALL DUCT DIMENSIONS SHOWN ON DRAWINGS ARE CLEAR INSIDE DIMENSIONS.
12	THE MECHANICAL CONTRACTOR SHALL COORDINATE ALL DUCT AND DIFFUSER LOCATIONS WITH SPRINKLER PIPING, SPRINKLER HEADS AND LIGHT FIXTURES AS REQUIRED FOR A COMPLETE INSTALLATION.
13	THE MECHANICAL CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR AND OTHER TRADES ALL REQUIRED OPENINGS AND PENETRATIONS. ALL REQUIRED OPENINGS IN FOUNDATIONS, FLOORS, WALLS AND ROOF SHALL BE CONSTRUCTED INTO THE STRUCTURE WITH THE USE OF SLEEVES, CURBS, ETC. CUTTING AND PATCHING SHALL BE HELD TO A MINIMUM.
14	ALL ITEMS PROJECTING THROUGH THE ROOF SHALL BE FLASHED THROUGH CURBS OR PIPE SEALS A MINIMUM OF 12" ABOVE THE ROOF. THE PIPE CURBS AND SEALS SHALL BE INSTALLED BY THE ROOFING CONTRACTOR. ENSURE THAT AMPLE BOOT OPENINGS ARE PROVIDED TO ACCOMMODATE ANY ELECTRICAL CONDUIT PENETRATIONS REQUIRED FOR POWER.
15	COORDINATE THE INSTALLATION AND FINISH OF ALL SUPPLY AND RETURN AIR DEVICES. AIR DEVICES LOCATED IN GUEST AREAS SHALL BE FACTORY FINISHED WHITE UNLESS NOTED OTHERWISE PER THE ARCHITECTURAL DRAWINGS FINISH SCHEDULE.
16	THERMOSTATS AND REMOTE SENSORS SHALL BE LOCATED AT 48" A.F.F. MAX EXACT LOCATIONS SHALL BE FIELD COORDINATED TO AVOID INTERFERENCE WITH WALL-MOUNTED WORK.
17	THERMOSTATS SHALL BE RTU MANUFACTURER AVAILABLE 24/7 AUTOMATIC CHANGEOVER TYPE TO SEQUENCE HEATING AND COOLING. SET POINT RANGE SHALL BE 10°F BETWEEN FULL HEATING AND FULL COOLING. ADJUSTABLE TEMPERATURE DIFFERENTIAL SHALL BE 1-1/2°F. THERMOSTAT CONTROL RANGE SHALL BE 55°F TO 85°F. CONTROLS SHALL HAVE CAPABILITY OF TERMINATING HEATING AT NO HIGHER THAN 70°F AND COOLING AT NO LOWER THAN 75°F.
18	ROOFTOP UNITS SHALL BE SET TO RUN IN "FAN CONTINUOUS" MODE DURING OCCUPIED HOURS. DURING SET-BACK HOURS, THE AIR HANDLING UNITS SHALL RUN IN "FAN AUTO" MODE. CONTRACTOR SHALL COORDINATE NECESSARY CONTROL WIRING REQUIREMENTS WITH THE MANUFACTURER TO ACCOMPLISH THIS CONTROL SEQUENCE.
19	ROOF CURBS FOR ROOFTOP UNIT(S) SHALL BE FACTORY FABRICATED OF FULL WELDED STEEL CONSTRUCTION WITH WOOD NAILER. VERIFY REQUIREMENTS FOR THE ROOF CURBS WITH THE EQUIPMENT SUPPLIER. THE GENERAL CONTRACTOR SHALL FLASH ROOF CURBS AND SHIM DEAD LEVEL. COORDINATE EXACT SIZE AND LOCATION OF ROOF OPENINGS WITH THE STRUCTURAL FRAMING. CUTTING OF STRUCTURAL MEMBERS IS NOT PERMITTED.
20	MECHANICAL CONTRACTOR TO FURNISH AND INSTALL 4" HIGH BLACK OVER WHITE LAMINATE NAMEPLATE WITH 2" LETTERS VISIBLE ADJACENT TO DISCONNECT SWITCH FOR ROOFTOP UNIT(S) AND ROOF MOUNTED FAN(S).
21	LINE VOLTAGE WIRING, ALL CONDUIT DISCONNECT SWITCHES AND FINAL CONNECTION BY ELECTRICAL CONTRACTOR. LOW VOLTAGE CONDUIT AND WIRING AND FINAL CONNECTION BY MECHANICAL CONTRACTOR.
22	ALL METAL HVAC SUPPLY AND RETURN DUCTWORK SHALL BE INSTALLED AS FOLLOWS: - CONCEALED HVAC AND MAKEUP AIR DUCTWORK WITHIN THE BUILDING SHALL BE EXTERNALLY WRAPPED AND SECURED WITH MINIMUM R-8.0, 2" INSULATION BARRIER PER THE 2015 INTERNATIONAL MECHANICAL CODE, WITH LOCAL AMENDMENTS. INSULATION SHALL HAVE MAXIMUM RATINGS OF 25 FLAME SPREAD, 50 SMOKE DEVELOPED. - EXPOSED DUCTWORK WITHIN THE BUILDING SHALL BE INTERNALLY LINED SPIRAL AND PINNED WITH MINIMUM R-6.0, 1" INSULATION WITH VAPOR BARRIER PER THE 2015 INTERNATIONAL MECHANICAL CODE WITH LOCAL AMENDMENTS. INSULATION SHALL HAVE MAXIMUM RATINGS OF 25 FLAME SPREAD, 50 SMOKE DEVELOPED. REFER TO SPECS.
23	COORDINATE THE INSTALLATION AND FINISH OF ALL SUPPLY AND RETURN AIR DEVICES. AIR DEVICES LOCATED IN GUEST AREAS SHALL BE PAINTED PER THE ARCHITECTURAL DRAWINGS FINISH SCHEDULE. ALL INTERIOR FACES OF DUCTWORK BEHIND RETURN AIR GRILLES SHALL BE PAINTED FLAT BACK FOR LINE OF SIGHT.
24	SUPPLY, RETURN, AND RESTROOM EXHAUST DUCT CONSTRUCTION SHALL BE GALVANIZED STEEL. ANY REQUIRED GAUGES, SWAY BRACING AND SUSPENSION SHALL CONFORM TO SMACNA STANDARDS. SEAL ALL SEAMS AND JOINTS AIR AND WATER TIGHT. FLEXIBLE ALUMINUM DUCTWORK OR FIBERGLASS DUCTBOARD IS NOT ALLOWED (UNO).
25	THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING THE AIR FILTERS AT THE ROOFTOP UNITS WITH 2" THICK MERV 12 THROW AWAY TYPE AIR FILTERS AT THE COMPLETION OF CONSTRUCTION AND PRIOR TO AIR BALANCE AND STORE TURNOVER.
26	A FULL MECHANICAL AIR TEST AND BALANCE REPORT SHALL BE PERFORMED BY AN INDEPENDENT CONTRACTOR.
27	PRIOR TO STARTUP OF HVAC EQUIPMENT, MECHANICAL CONTRACTOR WILL CONFIRM WITH HVAC MANUFACTURER THAT CORRECT POWER IS PROVIDED TO HVAC UNITS AND HAS BEEN TURNED ON A MINIMUM OF 24 HOURS. JAMBA JUICE RESERVES THE RIGHT TO CHECK CONSTRUCTION COMPLIANCE WITH PLANS AND SPECIFICATIONS. SHOULD JAMBA JUICE FIND CORRECTIVE WORK TO BE NECESSARY, THEY WILL NOTIFY CONTRACTOR OF SUCH WORK IN WRITING AND EXPECT COMPLIANCE PERFORMED WITH DUE DILIGENCE. IF ANY CORRECTIVE WORK IS DEEMED TO BE NECESSARY, THE COST OF REINSPECTIONS WILL BE BORNE BY THE CONTRACTOR.
28	MECHANICAL CONTRACTOR SHALL BE ON SITE AND PRESENT AT THE DATE OF STORE TURNOVER.

O/A VENTILATION SCHEDULE						
AREA SERVED	VENTILATION (OCCUPANCY)			VENTILATION (AREA)		
	# OF PPL	CFM/PERSON	CFM	SF	CFM/SF	
CUSTOMER	12	7.5	90	410	0.18	74
KITCHEN/BOH	10	7.5	75	855	0.12	103
RESTROOMS	-	-	-	150	-	-
SUBTOTALS			165			226
TOTAL O/A REQUIRED				391 CFM		

NOTES:
 1. CALCULATIONS ARE BASED ON 2015 IMC, TABLE 402.1
 2. OUTDOOR AIR DEMAND IS: - 391 CFM
 OUTDOOR AIR PROVIDED IS: + 800 CFM
 OUTDOOR AIR DIFFERENCE IS: + 409 CFM

AIR DEVICE SCHEDULE								
MARK	FACE SIZE	TYPE	MOUNTING TYPE	MAXIMUM N.C.	DIRECTION	MANUF.	MODEL	NOTES
CD	24X24	SUPPLY	LAY-IN/SURFACE	30	4-WAY	TITUS	PAS	1,2,3,4
GD	12X12	SUPPLY	SURFACE (GYP)	30	4-WAY	TITUS	PAS	1,2,3,4
DD	12X8	SUPPLY	DUCT MOUNTED	30	1-WAY	TITUS	300RS	1,2,3,4
CR	24X24	RETURN	LAY-IN	30	1-WAY	TITUS	PAR	1,2,3

NOTES: (NOT ALL MAY APPLY)
 1. PROVIDE NECESSARY MOUNTING HARDWARE AND ACCESSORIES AS REQUIRED.
 2. ALL AIR DEVICES IN THE FRONT OF HOUSE SHALL HAVE MANUFACTURER APPLIED STANDARD WHITE FINISH UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL DRAWINGS FOR RCP COORDINATION.
 3. AIR DEVICE SHALL BE OF STEEL CONSTRUCTION.
 4. AIR DEVICE SHALL BE INSTALLED COMPLETE WITH MANUFACTURER AVAILABLE MOLDED INSULATION BACKING. FIELD FABRICATED INSULATION BACKING IS NOT ALLOWED UNLESS FIRST APPROVED BY THE OWNER'S CONSTRUCTION MANAGER.



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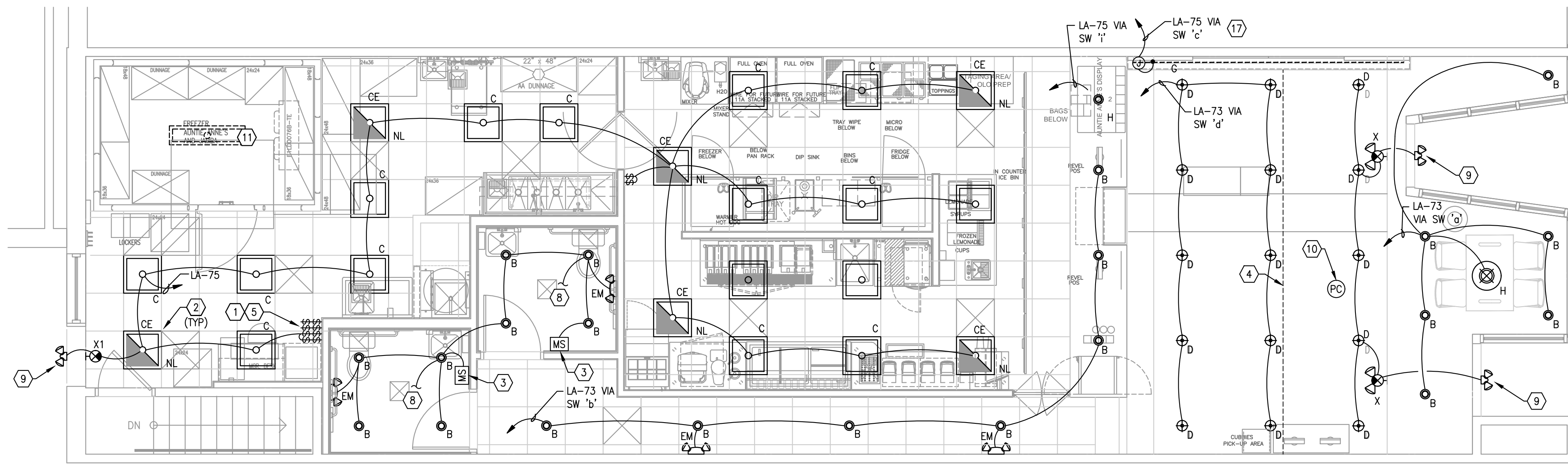
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 AuntieAnne's

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01.07.22	OWNER REVIEW ISSUE
01.31.22	PERMIT ISSUE

SHEET TITLE:
MECHANICAL SCHEDULES AND DETAILS

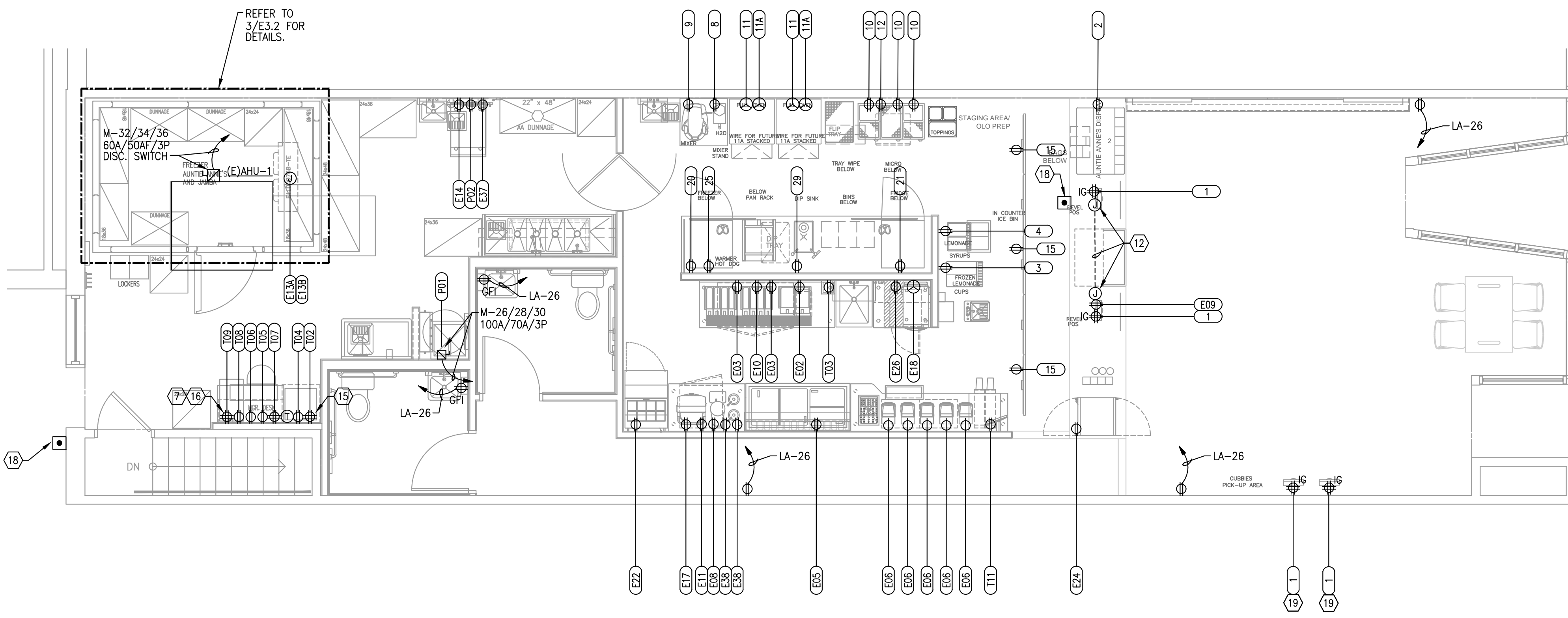
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PROJECT NUMBER:
JA21024



NOTE:
CONTRACTOR SHALL PROVIDE SUFFICIENT LIGHTING TO MAINTAIN AT LEAST 50 FOOT-CANDLE (FT-C) INTENSITY DURING HOURS OF OPERATION IN THE KITCHEN AND OTHER FOOD HANDLING AREAS. OTHER AREAS (INCLUDING WALK-IN REFRIGERATORS AND FREEZER UNITS) MAY OPERATE WITH A LIGHT INTENSITY OF AT LEAST 10 FT-C.

LIGHTING PLAN
1/4"=1'-0" 1



POWER PLAN
1/4"=1'-0" 2

GENERAL NOTES

- A. "VERIFY IN FIELD" OR "EXISTING" MEANS THE CONTRACTOR IS TO CONFIRM THE ITEM SHOWN ON THE DRAWING (I.E. EQUIPMENT, DUCT, WIRE, ETC.) EXISTS AT THE SITE AND IS IN GOOD WORKING CONDITION. SHOULD THE CONTRACTOR FIND THAT THE EQUIPMENT, DUCT, WIRE, ETC. IS NOT THE EQUAL TO THAT SHOWN ON THE DRAWING, IT IS TO BE REPLACED. IF THE CONTRACTOR HAS ANY QUESTION ABOUT WHETHER IT IS EQUAL TO WHAT IS SHOWN ON THE DRAWING, THE CONTRACTOR IS TO CONTACT THE DESIGN ENGINEER AND JAMBA JUICE'S PROJECT MANAGER FOR APPROVAL. CONTRACTOR IS TO NOTIFY JAMBA JUICE'S PROJECT MANAGER AND DESIGN ENGINEER IN WRITING OF ALL REPLACEMENT ITEMS PRIOR TO CONSTRUCTION.
- B. WHERE EXISTING EQUIPMENT (LIGHTS, DIFFUSERS, TOILETS, ETC.) ARE TO BE REUSED, WHETHER IT IS RELOCATED OR REUSED IN THE EXISTING LOCATION, EXTREME CARE SHALL BE TAKEN TO PREVENT DAMAGE DURING THE RENOVATION OF THE STORE. WHERE DAMAGE OCCURS, THE EQUIPMENT SHALL BE REPLACED TO THE SATISFACTION OF THE ARCHITECT, AT NO ADDITIONAL COST TO THE OWNER. ALL ITEMS TO BE THOROUGHLY CLEANED, IF REQUIRED, PAINTED, AND ANY OTHER MAINTENANCE NEEDED TO BRING EQUIPMENT UP TO LIKE NEW CONDITION. THIS INCLUDES RE-LAMPING ALL LIGHTS REUSED.
- C. X-RAY SLAB BEFORE MAKING PENETRATIONS AND OBTAIN LANDLORD APPROVAL FOR FLOOR PENETRATIONS.
- D. ALL OUTLET COVERS IN SERVICE, PREP. KITCHEN AND BOH SHALL BE STAINLESS STEEL. RECEPTACLES AND COVER PLATES WITHIN CUSTOMER AREA SHALL MATCH ADJACENT FINISH.
- E. ALL 125-VOLT, SINGLE PHASE, 15-AMP AND 20-AMP RECEPTACLES LOCATED IN SERVICE AND BACK AREA SHALL BE GFCI PROTECTED AS REQUIRED BY CURRENT NEC.
- F. OUTLETS MUST NOT CONFLICT WITH EQUIPMENT LEGS. VERIFY WITH SHOP DRAWINGS BEFORE LOCATING OUTLETS.
- G. REFER TO MECHANICAL DWGS FOR EXACT SIZE, LOCATION, AND ELEC. REQUIREMENTS FOR ALL MOTORS AND MECHANICAL EQUIPMENT. COORDINATE WITH MECHANICAL CONTRACTOR AND PROVIDE ELECTRICAL CONNECTIONS AS REQUIRED FOR A COMPLETE AND OPERABLE SYSTEM.
- H. POS SYSTEM BRANCH CIRCUITING SHALL BE ROUTED WITHIN ITS OWN DEDICATED CONDUIT RACEWAY. NO OTHER BRANCH CIRCUITS SHALL BE ROUTED WITHIN IT.
- I. ALL NEW POWER AND LIGHTING CONDUITS ON THIS PROJECT SHALL INCLUDE AN INSULATED GREEN EQUIPMENT GROUNDING CONDUCTOR SHALL AS NOTED OR PER NEC WHERE NOT NOTED. THIS GROUNDING CONDUCTOR SHALL BE PROVIDED REGARDLESS OF THE TYPE OF CONDUIT USED.
- J. COORDINATE EXACT LOCATION, TERMINATIONS, MOUNTING HEIGHTS AND ELECTRICAL CHARACTERISTICS FOR EACH SPECIFIC MODEL AND PIECE OF EQUIPMENT WITH JAMBA JUICE'S REPRESENTATIVE AND KITCHEN EQUIPMENT SUPPLIER PRIOR TO INSTALLATION. PROVIDE ELECTRICAL SERVICE AS REQUIRED FOR EACH PIECE OF EQUIPMENT. ALL RECEPTACLES SHALL BE OF VOLTAGE RATING AND AMPACITY TO MATCH MANUFACTURER'S RECOMMENDATIONS. INCLUDE ALL COSTS IN BASE BID PROPOSAL.
- K. EXISTING CONDITIONS SHOWN ARE BASED ON AS-BUILT DRAWINGS PROVIDED BY THE OWNER AND LIMITED FIELD VERIFICATION. CONTRACTOR SHALL ADJUST FOR ACTUAL FIELD CONDITIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
- L. REFER TO SHEET E1.1 THROUGH E1.2 FOR CIRCUIT INFORMATION AND ROUGH-IN HEIGHTS OF ALL TAGGED EQUIPMENT.
- M. THE CONTRACTOR SHALL VERIFY AND INCLUDE IN THEIR FINAL BID ALL LIFE SAFETY, SMOKE/FIRE ALARM SYSTEMS NEEDED TO BRING TENANTS SPACE COMPATIBLE WITH THE LANDLORD'S SYSTEM, AND CURRENT WITH LOCAL AND STATE CODES. FAILURE TO DO SO SHALL RESULT IN NO EXPENSE TO THE TENANT.
- N. CONTRACTOR SHALL PROVIDE POWER, INTERCONNECTING SERVICES AND ALL FINAL CONNECTIONS TO REACH-IN REFRIGERATOR FOR A COMPLETE OPERATING SYSTEM.
- O. ALL WIRING, DEVICES AND FIXTURES INSIDE THE WALK-IN FREEZER ARE TO BE VAPOR PROOF. SEAL ALL CONDUIT PENETRATIONS WITH SILICONE.
- P. CONTRACTOR SHALL PROVIDE SHATTERPROOF PROTECTION OR CONTAINMENT WHEN LIGHTS ARE LOCATED OVER AREAS USED FOR FOOD PREPARATION (INCLUDING BEVERAGES), UTENSIL WASHING, OPENED FOOD STORAGE, AND WHERE THE LIGHT FIXTURES ARE EXPOSED TO EMPLOYEE CONTACT, E.G., INSIDE REFRIGERATION UNITS.

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KEYED NOTES

- 1 SWITCH BANK. REFER TO DETAIL 3/E2.1.
- 2 CONNECT TO UNSWITCHED LEG OF CIRCUIT FOR EMERGENCY, EXIT AND NIGHT LIGHTING (NL).
- 3 PROVIDE WALL MOUNTED MOTION SENSOR IN RESTROOM. SENSOR SHALL BE WATT STOPPER #WI-300-W UNLESS NOTED OTHERWISE.
- 4 DASHED LINE INDICATES 15' DAY LIGHTING ZONE PER ENERGY CODE. ZONE IS TO SWITCH SEPARATE FROM OTHER AREAS AS SHOWN.
- 5 PROVIDE DUAL SWITCHING FOR BACK OF HOUSE LIGHTING. DUAL SWITCHING SHALL CONSIST OF EACH SWITCH CONTROLLING EVERY OTHER FIXTURE FOR A 50% REDUCTION IN LIGHTING. COORDINATE SWITCHING CONTROLS WITH OWNER.
- 6 PROVIDE USB COMBINATION RECEPTACLES MOUNTED HORIZONTALLY, REFER TO ARCHITECTURAL SHEETS FOR MOUNTING HEIGHTS.
- 7 TELEPHONE BOARD LOCATION. REFER TO DETAIL 5/E3.1.
- 8 PROVIDE ALL CONTACTORS AND RELAYS TO INTERLOCK THE EXHAUST FAN TO THE LIGHTING CIRCUIT AND MOTION SENSOR.
- 9 FIELD VERIFY EMERGENCY EXTERIOR EGRESS LIGHTING EXISTS. IF NONE FOUND, PROVIDE NEW EMERGENCY EXTERIOR EGRESS LIGHTING MATCHING THE EXISTING BUILDING EGRESS LIGHTING. CIRCUIT TO NEAREST LIGHTING CIRCUIT AHEAD OF ALL SWITCHING.
- 10 CEILING MOUNTED PHOTOCELL AND POWER PACK FOR LIGHTING CONTROL OF FIXTURE SHALL BE LOCATED WITHIN 6' OF FRONT OF WINDOWS. PHOTOCELL SHALL OPERATE DURING THE DAY. PHOTOCELL AND POWER PACK SHALL BE EQUAL TO LUTRON WIRED DAYLIGHT SENSOR #EC-DIR-WH WITH THE CAPABILITY OF CONTINUOUS DAYLIGHTING.
- 11 LIGHT FIXTURES IN FREEZER, FURNISHED BY VENDOR, INSTALLED BY G.C.
- 12 ROUTE (3) 1" CONDUIT (1 POWER, 1 DATA, 1 SPARE) FROM WALL BELOW SLAB TO STUB-UP LOCATIONS SHOWN. JUNCTION BOXES SHALL BE SURFACE MTD. BELOW POS STANDS. MAKE FINAL CONNECTION IN MILLWORK.
- 13 NOT USED
- 14 MOUNT "SHOW WINDOW" RECEPTACLES +18" ABOVE WINDOW OR IN CEILING ABOVE. COORDINATE LOCATION WITH OWNER.
- 15 QUAD RECEPTACLES FOR RACK POWER. MOUNT RECEPTACLE AT 100" AFF. COORDINATE REQUIREMENTS WITH RACK INSTALLER PRIOR TO ROUGH-IN.
- 16 FOR SOUND SYSTEM. OUTLET IS MOUNTED AT 60" AFF AT DESK SHELVES. A SOUND SYSTEM WILL BE SUPPLIED AND INSTALLED BY VENDOR. CONTACT VENDOR PRIOR TO CONSTRUCTION TO COORDINATE FOR SOUND SYSTEM INSTALLATION, REFER TO 6/E.3.1.
- 17 MOUNT JUNCTION BOX WITH REMOVABLE COVER PLATE AT 8'-0" ON NARROW FACE OF SOFFIT. JUNCTION BOX SHALL BE INSIDE OF SOFFIT.
- 18 MOUNT PUSHBUTTON BELOW ORDER COUNTER AND 48" AFF AT REAR DOOR. REFER TO DETAIL 1/E3.1.
- 19 FUTURE SELF-ORDER KIOSK. REFER TO 3/A3.1 FOR DETAILS.

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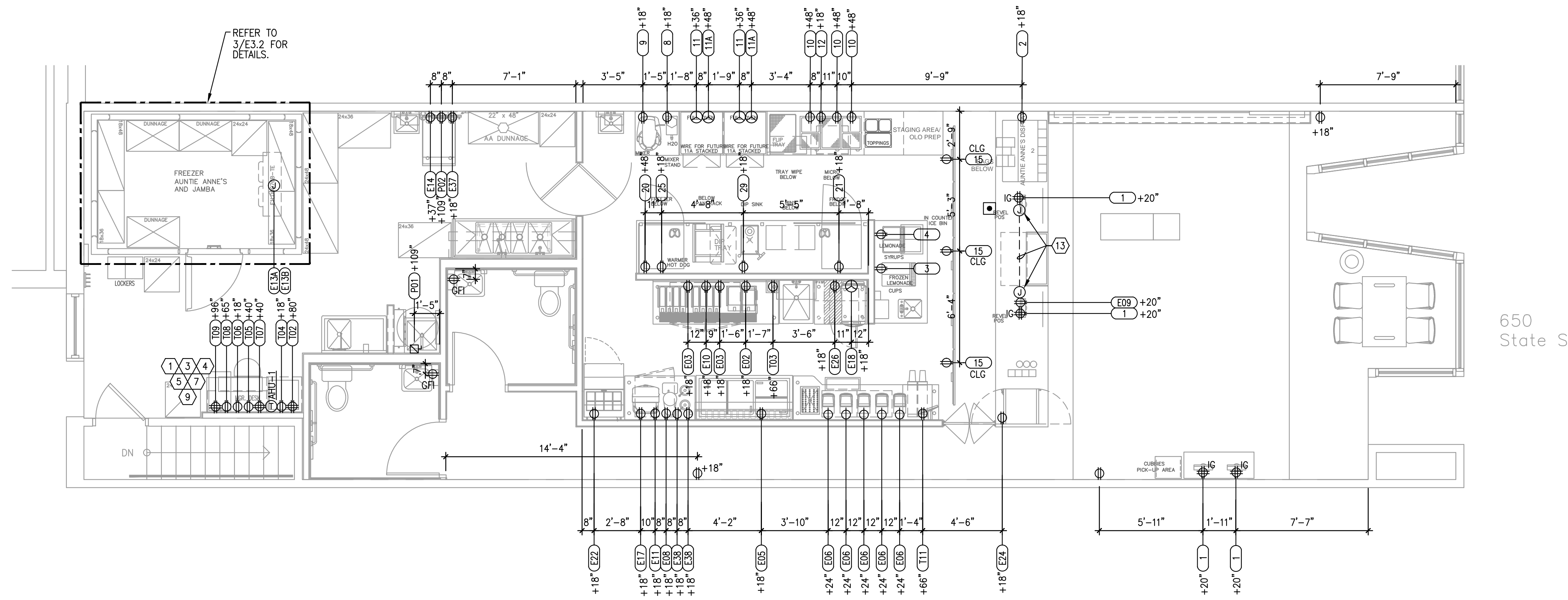
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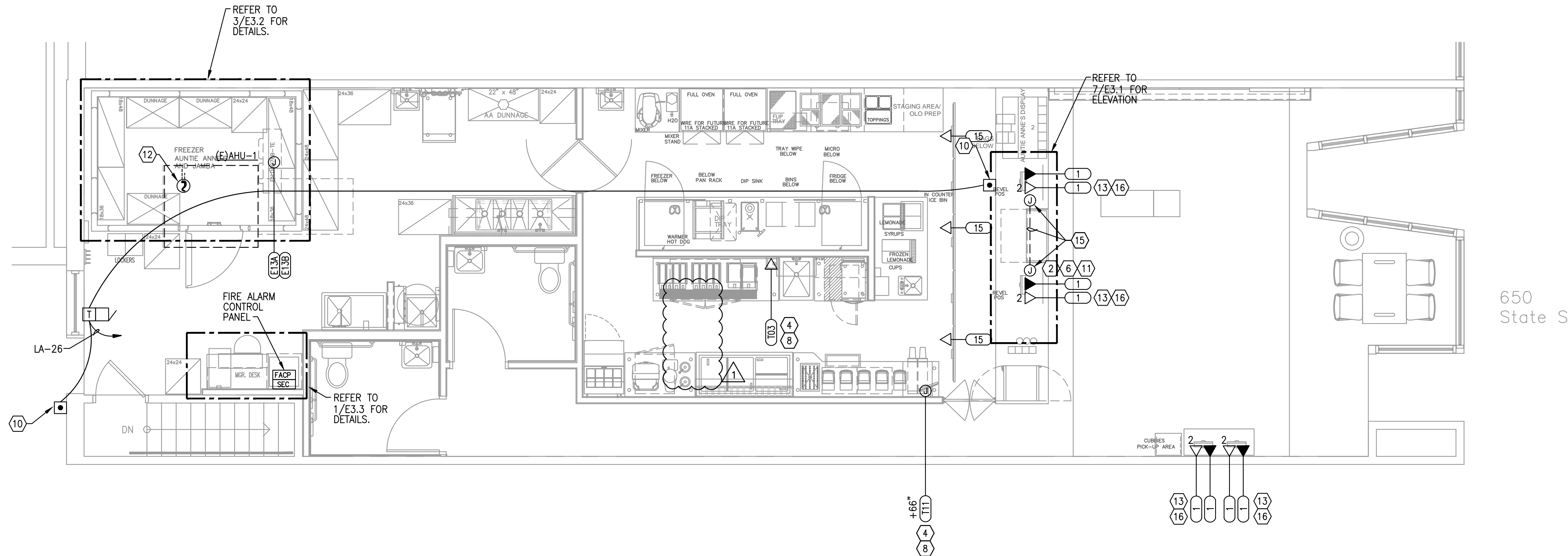
SHEET TITLE:
**ELECTRICAL
LIGHTING AND
POWER PLAN**

SHEET NUMBER:
E1.1

PROJECT NUMBER:
JAJ21024



ROUGH-IN PLAN
1/4"=1'-0" 2



SPECIAL SYSTEMS PLAN
1/4"=1'-0" 1

GENERAL NOTES

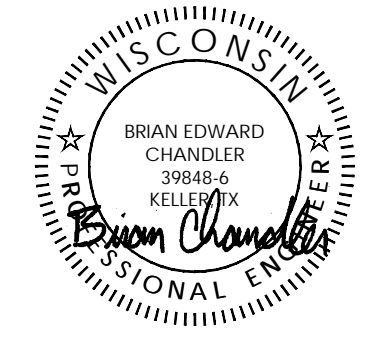
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- C. X-RAY SLAB BEFORE MAKING PENETRATIONS AND OBTAIN LANDLORD APPROVAL FOR FLOOR PENETRATIONS.
- D. ALL OUTLET COVERS IN SERVICE, PREP. KITCHEN AND BACK AREA SHALL BE STAINLESS STEEL. RECEPTACLES AND COVER PLATES WITHIN CUSTOMER AREA SHALL MATCH ADJACENT FINISH.
- E. ALL 125-VOLT, SINGLE PHASE, 15-AMP AND 20-AMP RECEPTACLES LOCATED IN SERVICE AND BACK AREA SHALL BE GFCI PROTECTED AS REQUIRED BY CURRENT NEC.
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- N. THE GENERAL CONTRACTOR AND ELECTRICAL SUB-CONTRACTOR SHALL VERIFY AND INCLUDE IN THEIR FINAL BID ALL LIFE SAFETY, SMOKE/FIRE ALARM SYSTEMS NEEDED TO BRING TENANTS SPACE COMPATIBLE WITH THE LANDLORD'S SYSTEM, AND CURRENT WITH LOCAL AND STATE CODES. FAILURE TO DO SO SHALL RESULT IN NO EXPENSE TO THE TENANT.

KEYED NOTES


- 1 FOR ALARM SYSTEM IN ACCESSIBLE CEILING ABOVE MANAGER'S DESK. SECURITY WIRING AND INSTALLATION PROVIDED BY VENDOR.
- 2 PROVIDE TWO (2) TELEPHONE/DATA OUTLETS, CONDUIT AND JUNCTION BOX. ROUTE CONDUIT FROM WALL TO BELOW POS STAND. REFER TO E1.1 FOR ADDITIONAL INFORMATION. CONNECT TELECOMMUNICATIONS/DATA CABLE TO JUNCTION BOX BELOW CASEWORK. SEE TELEPHONE SCHEMATIC ON SHEET 5/E3.1 FOR DETAILS.
- 3 TELEPHONE BACKBOARD WITH APPROVED GROUNDING MEANS NEAR MANAGERS DESK REFER TO 7/E-301 FOR REQUIREMENTS. MOUNT OUTLET ON TELEPHONE BACKBOARD FOR TELEPHONE AND ALARM SYSTEM'S POWER. PROVIDE (1) 2" CONDUIT, WITH 1/4" PULL ROPE, TO UTILITY TELEPHONE TERMINATION LOCATION, COORDINATE WITH LOCAL UTILITY COMPANY.
- 4 TO HUB AT MGR'S DESK, SEE P.O.S. DETAIL ON SHEET 4/E3.1.
- 5 QUAD WITH 2" MUD RING UNDER MANAGER'S DESK AT 15" A.F.F. FOR P.O.S. WIRING. PROVIDE A 2" CONDUIT WITH A PULL STRING UP TO THE ACCESSIBLE CEILING SPACE.
- 6 CONNECT WHIP FROM TELEPHONE OUTLET FOR VOICE1 AND VOICE 2 WITHIN PRE-WIRED ORDER COUNTER TO WALL JACK. SEE TELEPHONE SCHEMATIC FOR DETAILS.
- 7 (2) 2 x RJ11'S FOR VOICE 1 AND 2, FAX/CC MODEM, AND CPU MODEM. (2) RJ45 FOR DSL AND FUTURE DATA. INSTALL ALL AT 15" A.F.F. REFER TO OFFICE ELEVATION ON SHEET E3.1 FOR DETAILS.
- 8 (1) RJ45 ETHERNET, 3/4", 2 CAT 5 CABLES TO HUB AT MANAGERS DESK. REFER TO OFFICE ELEVATION ON SHEET E3.1 FOR DETAILS.
- 9 THERMOSTAT FOR AC UNIT. WIRING BY ELECTRICAL CONTRACTOR, THERMOSTAT AND CONNECTIONS BY GENERAL CONTRACTOR. REFER TO MECHANICAL DRAWINGS. MOUNT THERMOSTAT AT 48" A.F.F.
- 10 MOUNT PUSHBUTTON BELOW ORDER COUNTER FOR CONNECTION TO BUZZER IN BACK AREA. REFER TO DETAIL 1/E3.1.
- 11 (1) RJ45 ETHERNET, 1-1/2", 1 CAT 5 CABLES TO HUB AT MANAGERS DESK.
- 12 ELECTRICAL CONTRACTOR SHALL PROVIDE A COMPLETE DUCT SMOKE DETECTOR AND ASSOCIATED AUDIBLE/VISUAL NOTIFICATION SYSTEM AS REQUIRED BY NFPA 90A. PROVIDE AUDIBLE/VISUAL ALARM AND TEST/RESET SWITCH ABOVE CASH REGISTER LOCATION. DETECTION SYSTEM SHALL BE AS MANUFACTURED BY EDWARDS OR APPROVED EQUAL.
- 13 CONNECT WHIP FROM DATA OUTLET FOR DATA1 AND DATA2 WITHIN ORDER COUNTER TO WALL JACK. SEE TELEPHONE SCHEMATIC FOR DETAILS. HOMERUN CAT5 CABLE FROM DATA OUTLET TO PATCH PANEL IN MANAGERS OFFICE. PROVIDE 6'-10" SLACK ON EACH END.
- 14 SOUND SYSTEM SPEAKERS. REFER TO 6/E3.1.
- 15 SAW CUT AND PATCH FLOOR FOR DATA RACEWAYS IN TRENCH. PROVIDE JUNCTION BOXES FOR AT EACH LOCATION FOR DATA CIRCUITS. PATCH FLOOR TO MATCH EXISTING.
- 16 PROVIDE TWO (2) DATA OUTLETS, CONDUIT AND JUNCTION BOX. ROUTE CONDUIT FROM WALL TO BELOW POS STAND. REFER TO E1.1 FOR ADDITIONAL INFORMATION. CONNECT TWO (2) CAT5E DATA CABLE TO JUNCTION BOX BELOW CASEWORK. SEE TELEPHONE SCHEMATIC ON SHEET 5/E3.1 FOR DETAILS.

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01/31/22

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CLIENT: TWISTED PRETZEL, INC
CESAR HERNANDEZ


#103706

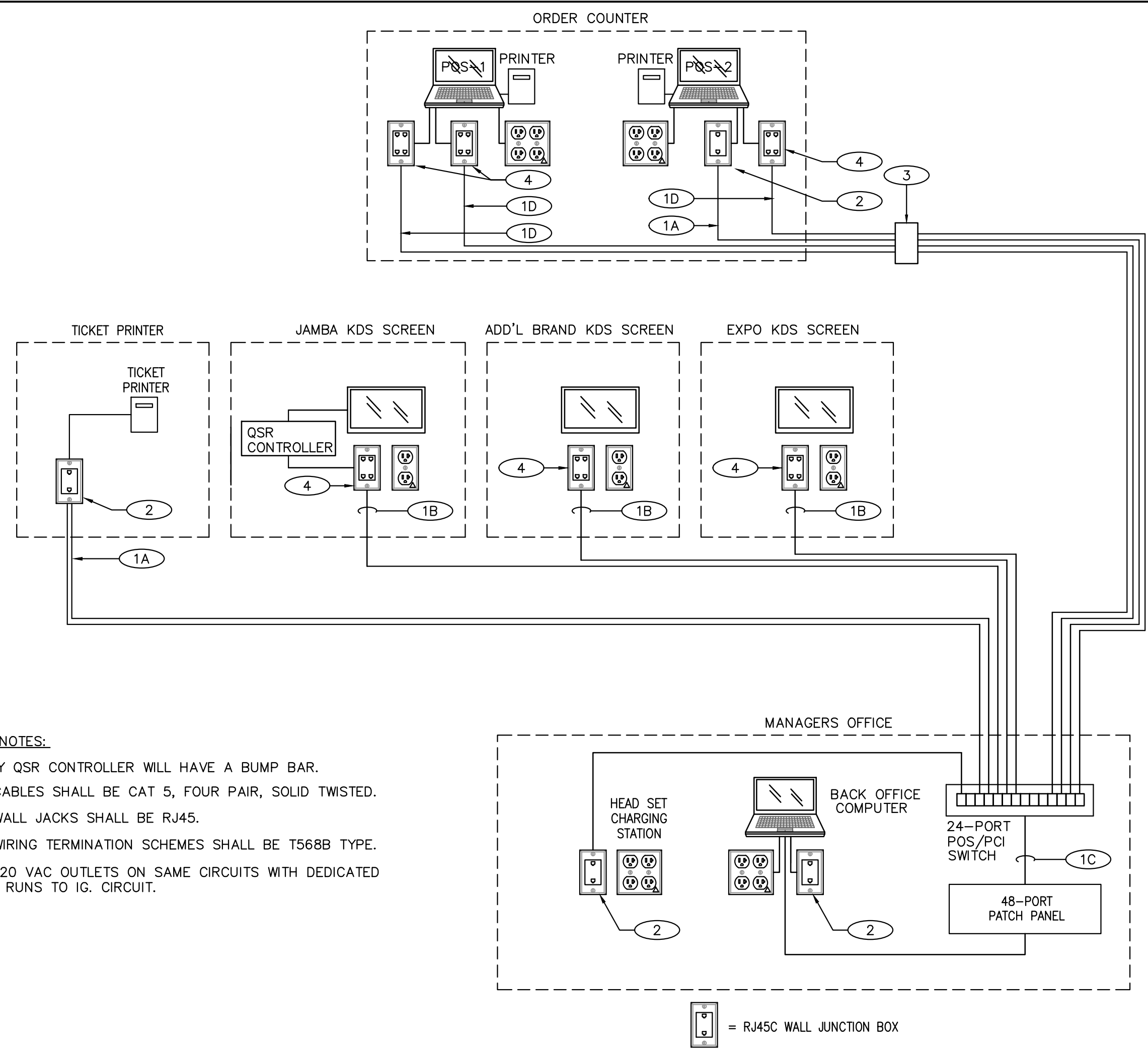
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SHEET TITLE:
**ELECTRICAL
ROUGH-IN AND
ELEVATION
PLAN**

SHEET NUMBER:
E1.2

PROJECT NUMBER:
JAJ21024

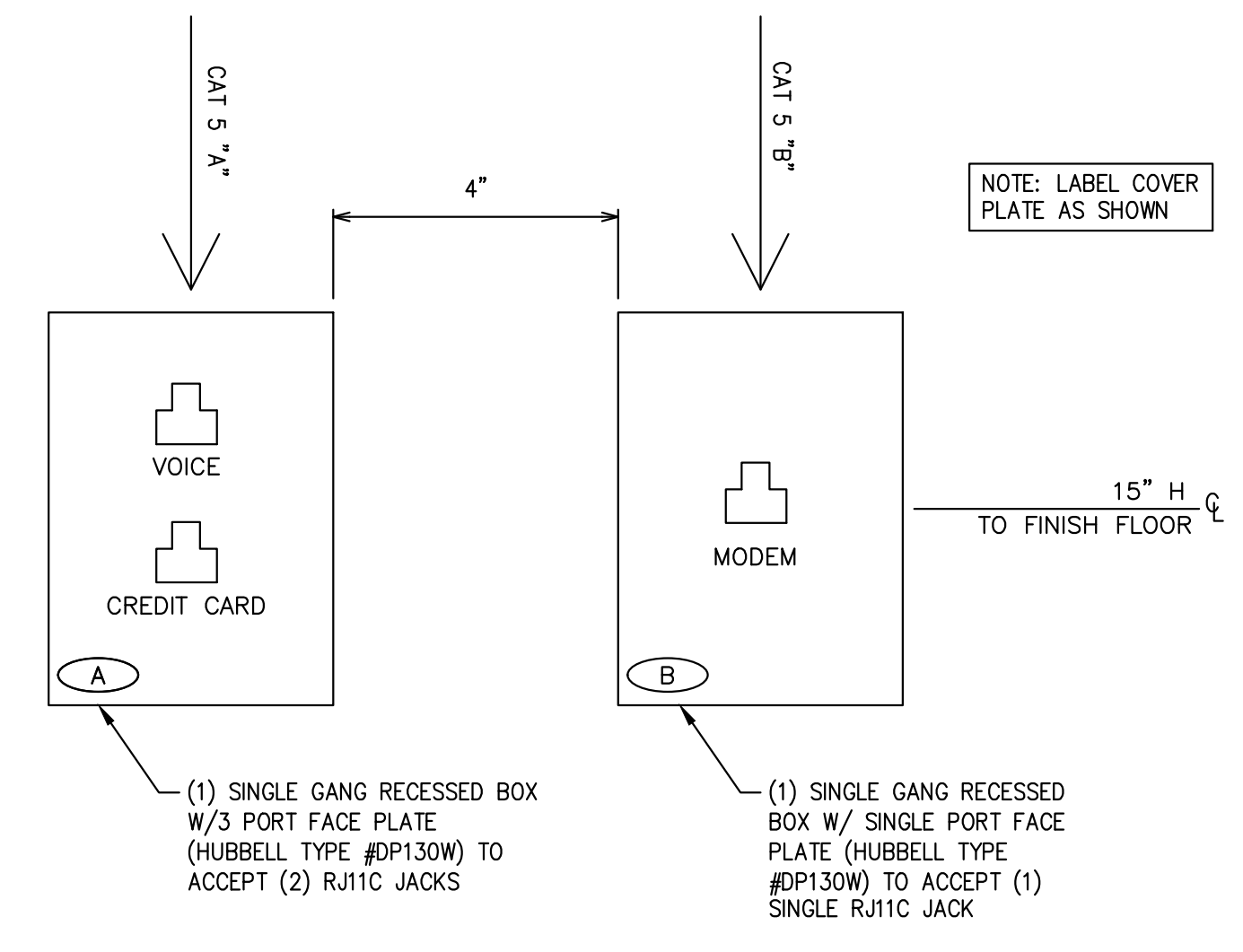


- GENERAL NOTES:**
1. EVERY QSR CONTROLLER WILL HAVE A BUMP BAR.
 2. ALL CABLES SHALL BE CAT 5, FOUR PAIR, SOLID TWISTED.
 3. ALL WALL JACKS SHALL BE RJ45.
 4. ALL WIRING TERMINATION SCHEMES SHALL BE T568B TYPE.
 5. ALL 120 VAC OUTLETS ON SAME CIRCUITS WITH DEDICATED HOME RUNS TO IG. CIRCUIT.

- SCHEMATIC NOTES:**
- 1A 1" CONDUIT WITH TWO CAT 5 CABLE.
 - 1B 1" CONDUIT WITH THREE CAT 5 CABLE.
 - 1C 3" DIA. CONDUIT @ MANAGER'S DESK
 - 1D 2" CONDUIT WITH EIGHT CAT 5 CABLE.
 - 1E 2" CONDUIT WITH FIVE CAT 5 CABLE.
 - 2 SINGLE GANG SURFACE MOUNT JUNCTION BOX WITH TWO RJ45 JACK. IN CABINET BELOW.
 - 3 PROVIDE ALTERNATE BID FOR CONNECTION AT/TO J-BOX FOR PRE-WIRED MILLWORK ASSEMBLIES AS PROVIDED BY OWNER.
 - 4 DOUBLE GANG SURFACE MOUNT JUNCTION BOX WITH FOUR RJ45 JACK. IN CABINET BELOW.

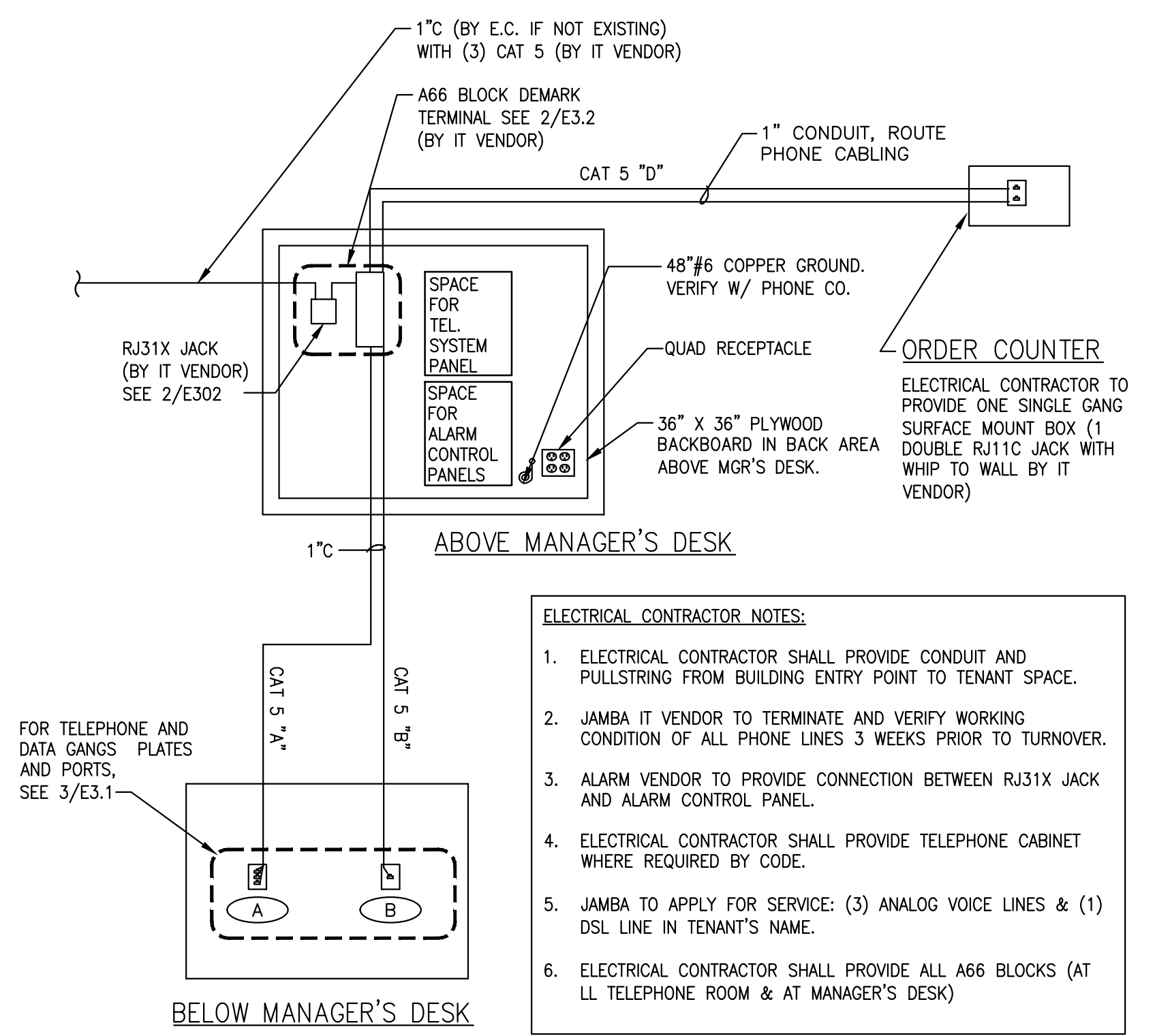
Ⓜ = RJ45C WALL JUNCTION BOX

POS SCHEMATIC
SCALE: NONE 1



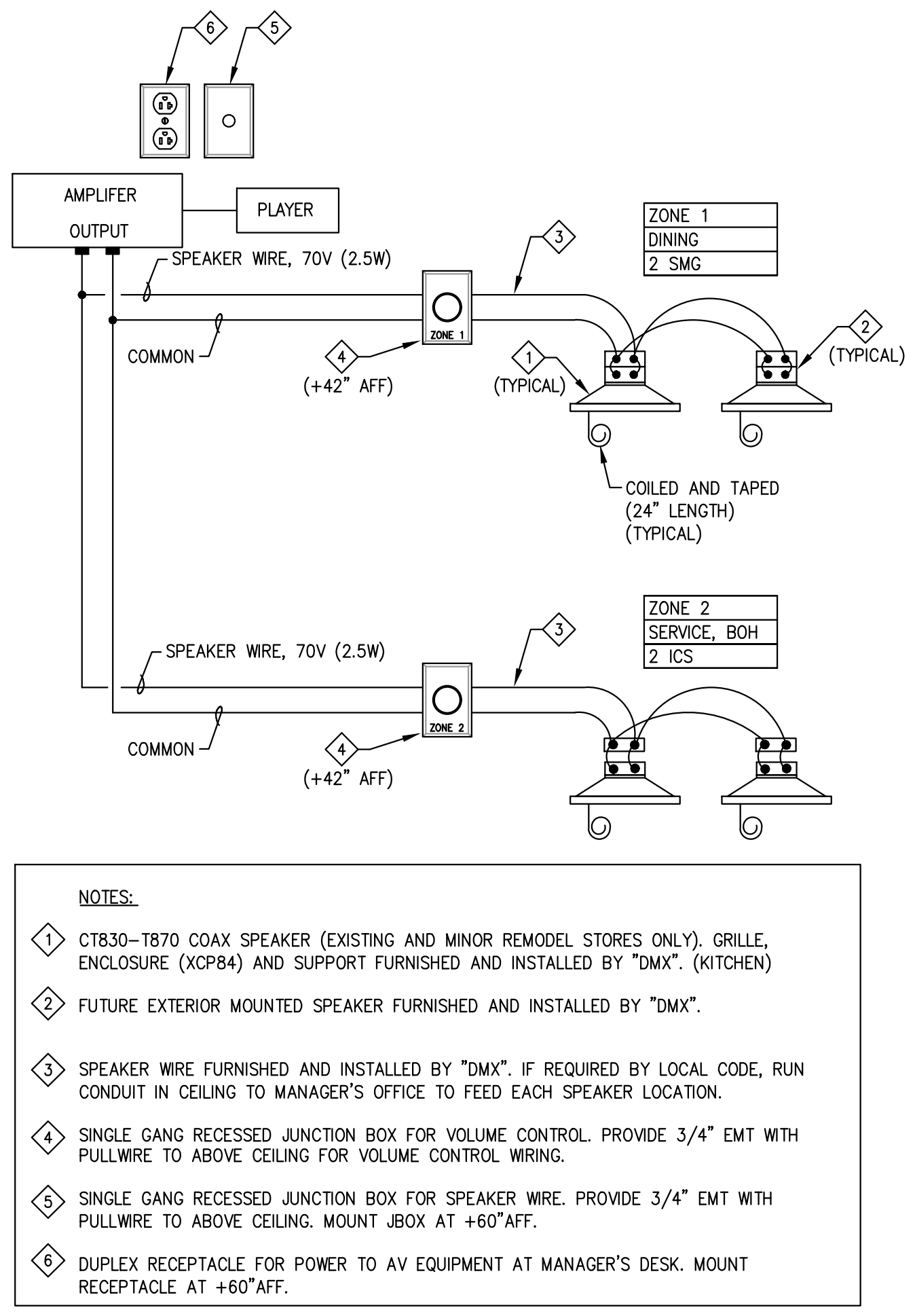
- (1) SINGLE GANG RECESSED BOX W/3 PORT FACE PLATE (HUBBELL TYPE #DP130W) TO ACCEPT (2) RJ11C JACKS
- (1) SINGLE GANG RECESSED BOX W/ SINGLE PORT FACE PLATE (HUBBELL TYPE #DP130W) TO ACCEPT (1) SINGLE RJ11C JACK

TELEPHONE & DATA BELOW MANAGER'S DESK
SCALE: NONE 2



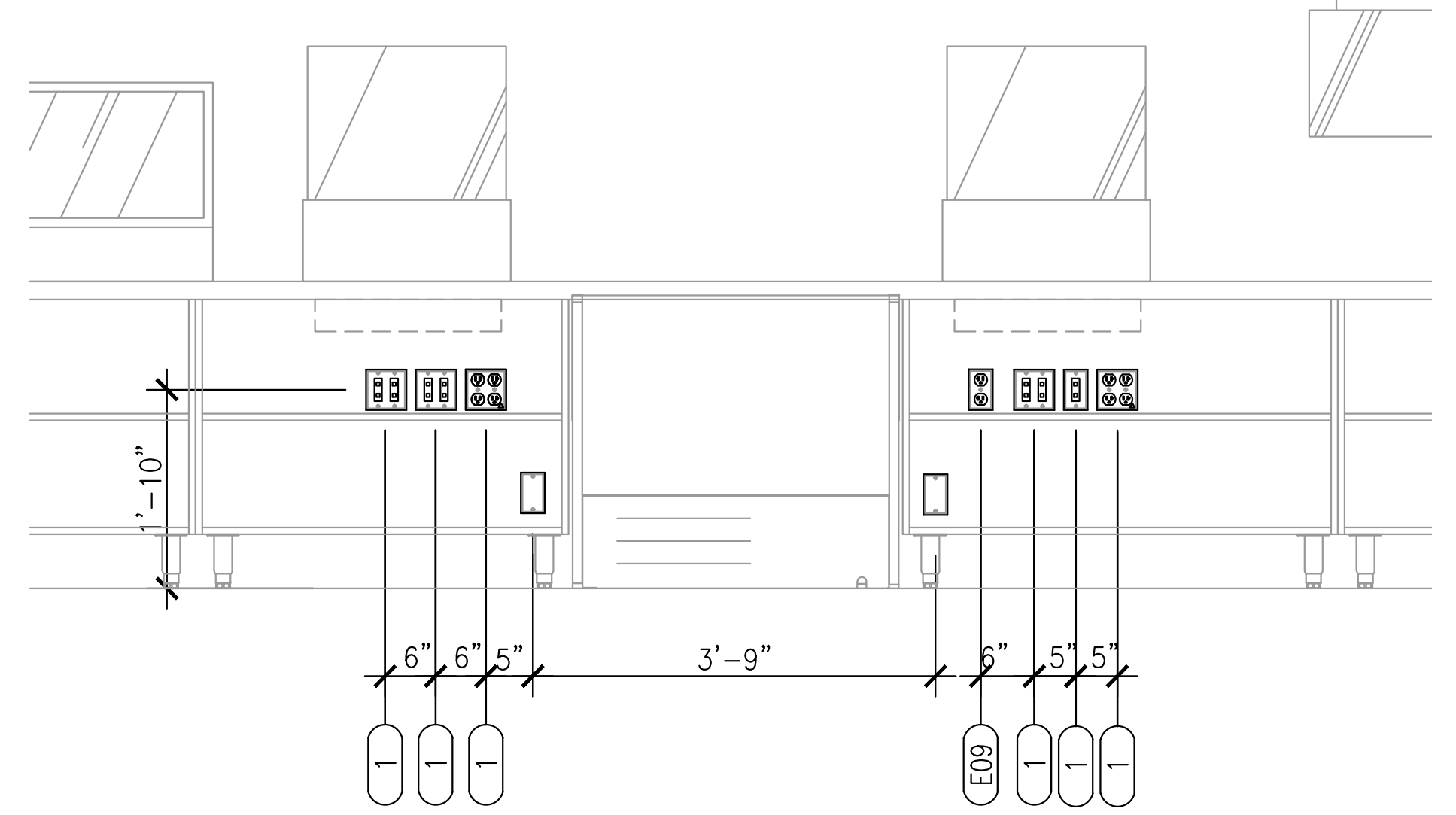
- ELECTRICAL CONTRACTOR NOTES:**
1. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT AND PULLSTRING FROM BUILDING ENTRY POINT TO TENANT SPACE.
 2. JAMBA IT VENDOR TO TERMINATE AND VERIFY WORKING CONDITION OF ALL PHONE LINES 3 WEEKS PRIOR TO TURNOVER.
 3. ALARM VENDOR TO PROVIDE CONNECTION BETWEEN RJ31X JACK AND ALARM CONTROL PANEL.
 4. ELECTRICAL CONTRACTOR SHALL PROVIDE TELEPHONE CABINET WHERE REQUIRED BY CODE.
 5. JAMBA TO APPLY FOR SERVICE: (3) ANALOG VOICE LINES & (1) DSL LINE IN TENANT'S NAME.
 6. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL A66 BLOCKS (AT LL TELEPHONE ROOM & AT MANAGER'S DESK)

TELEPHONE WIRING SCHEMATIC
SCALE: NONE 3

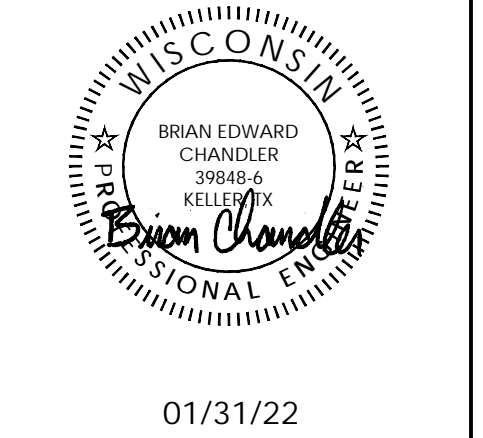


- NOTES:**
- 1 CT830-T870 COAX SPEAKER (EXISTING AND MINOR REMODEL STORES ONLY). GRILLE, ENCLOSURE (XCP84) AND SUPPORT FURNISHED AND INSTALLED BY "DMX". (KITCHEN)
 - 2 FUTURE EXTERIOR MOUNTED SPEAKER FURNISHED AND INSTALLED BY "DMX".
 - 3 SPEAKER WIRE FURNISHED AND INSTALLED BY "DMX". IF REQUIRED BY LOCAL CODE, RUN CONDUIT IN CEILING TO MANAGER'S OFFICE TO FEED EACH SPEAKER LOCATION.
 - 4 SINGLE GANG RECESSED JUNCTION BOX FOR VOLUME CONTROL. PROVIDE 3/4" EMT WITH PULLWIRE TO ABOVE CEILING FOR VOLUME CONTROL WIRING.
 - 5 SINGLE GANG RECESSED JUNCTION BOX FOR SPEAKER WIRE. PROVIDE 3/4" EMT WITH PULLWIRE TO ABOVE CEILING. MOUNT JBOX AT +60" AFF.
 - 6 DUPLEX RECEPTACLE FOR POWER TO AV EQUIPMENT AT MANAGER'S DESK. MOUNT RECEPTACLE AT +60" AFF.

SOUND SYSTEM (PROVIDED & INSTALLED BY VENDOR)
SCALE: NONE 4



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CLIENT: TWISTED PRETZEL, INC
CESAR HERNANDEZ



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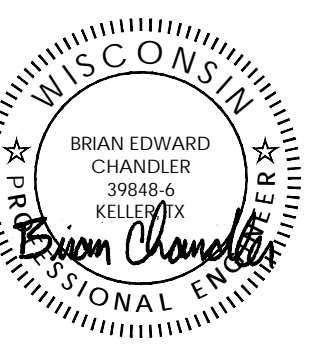
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SHEET TITLE:
ELECTRICAL DETAILS

SHEET NUMBER:
E3.1

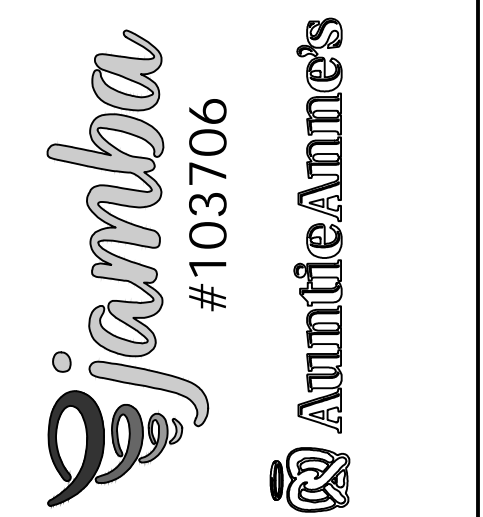
PROJECT NUMBER:
JA21024

POS ELEVATION
3/4" = 1'-0" 5



01/31/22

JAMBA/AUNTIE ANNE'S
 MADISON WISCONSIN
 650 STATE STREET
 MADISON, WI 53703
 CLIENT: TWISTED PRETZEL, INC
 CESAR HERNANDEZ



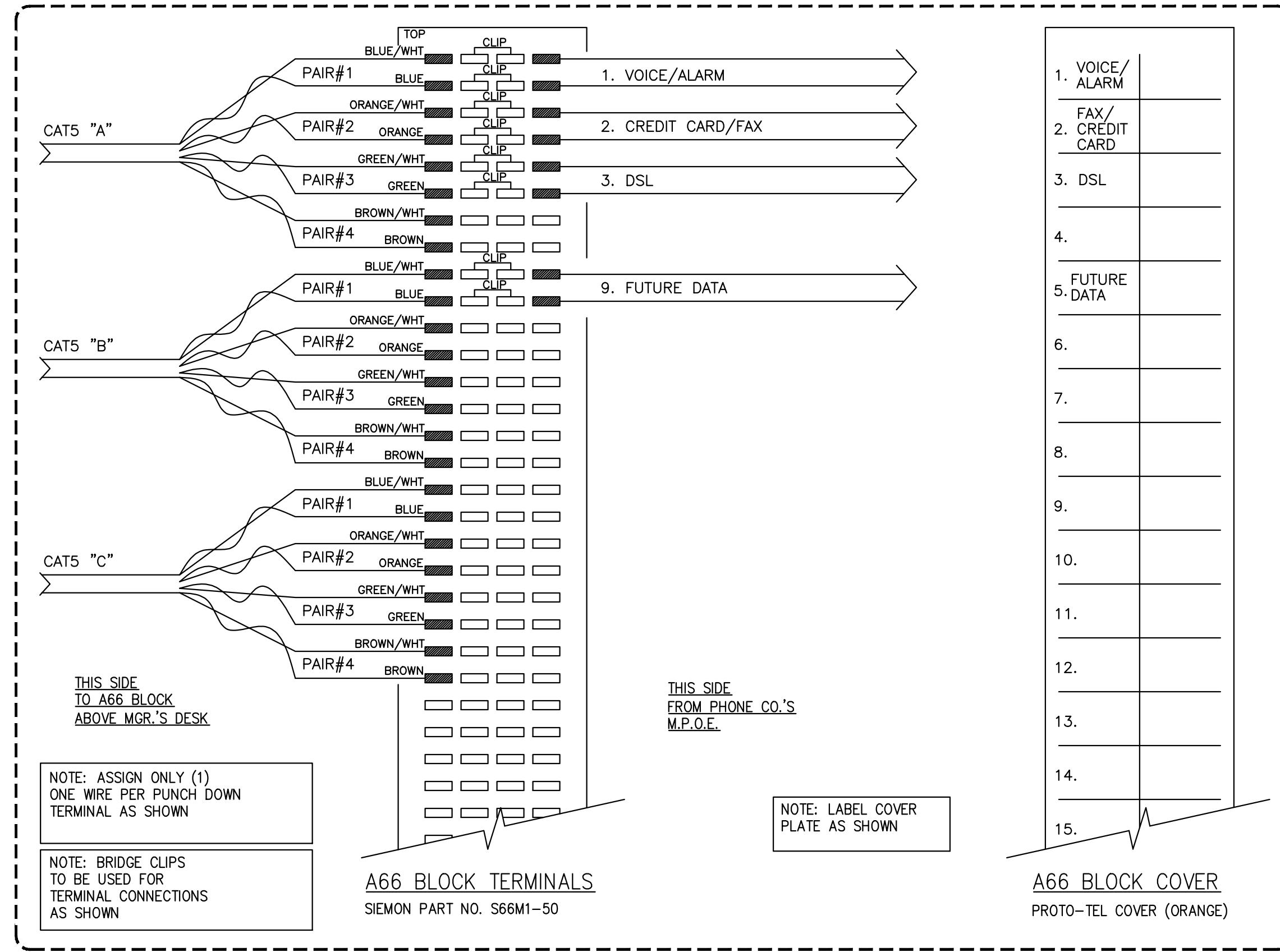
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ELECTRICAL
DETAILS

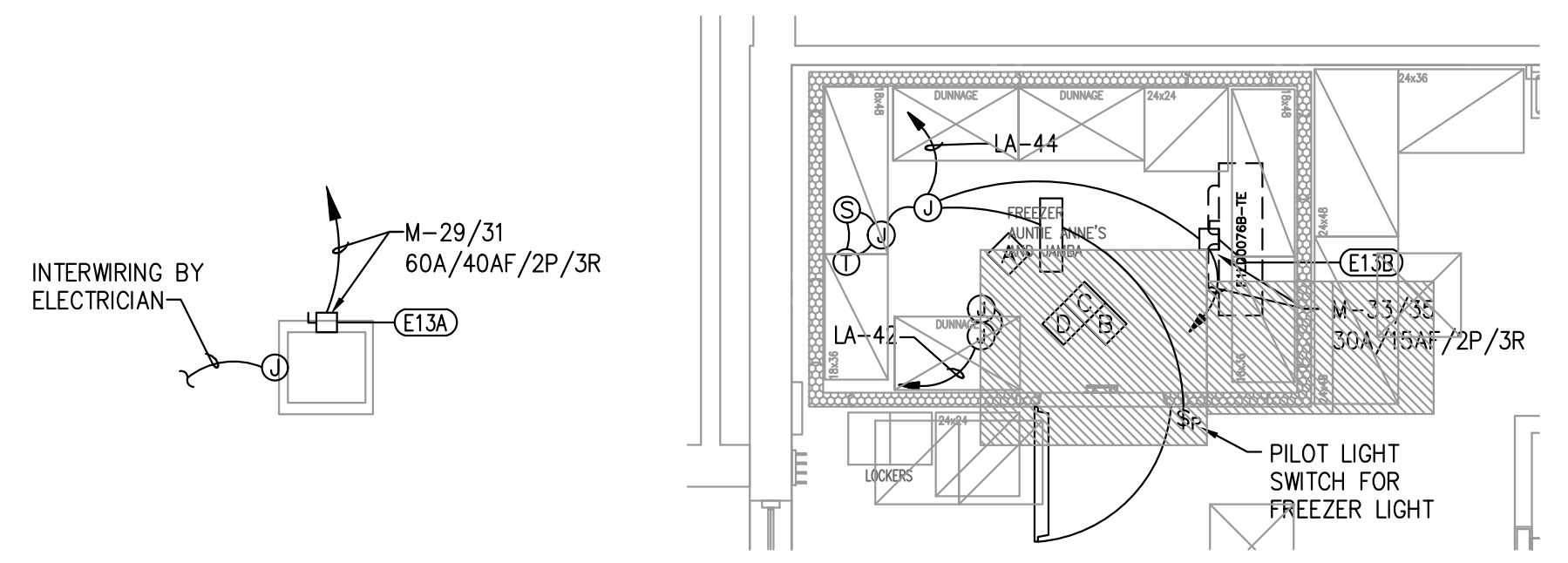
SHEET NUMBER:
E3.2

PROJECT NUMBER:
JA21024



NOT USED
 NO SCALE
 1

A66 BLOCK WIRING @ BACKBOARD BELOW MANAGER'S DESK
 SCALE: NONE
 2



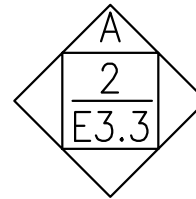
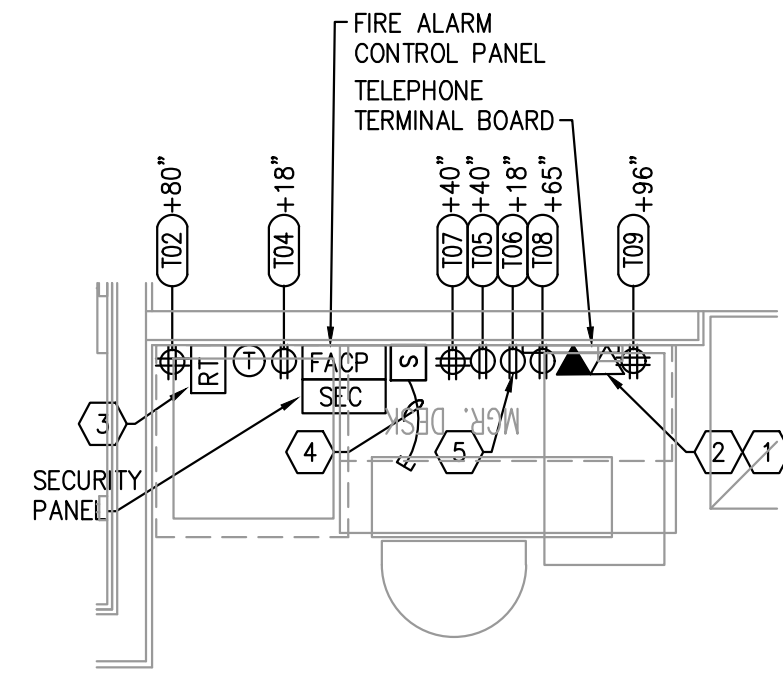
THIS DRAWING IS FOR SCHEMATIC PURPOSES ONLY. REFER TO FLOOR PLAN FOR ACTUAL LAY-OUT OF THE FREEZER.

- ELECTRICAL CONTRACTOR NOTES:**
- ITEMS B,C, D ARE TO BE WIRED AND CONNECTED BY E.C.
 - CONDUIT RUNS ON INTERIOR CEILINGS AND WELLS WILL NOT BE PERMITTED.
 - ALL EXTERIOR FITTINGS TO BE SEALED TO PREVENT CONDENSATION.
 - COORDINATE ALL UTILITY PENETRATIONS INTO COLD ROOMS WITH REFRIGERATION CONTRACTOR.

- NOTES:**
- CONDUITS THAT ARE EXPOSED TO WIDELY DIFFERENT TEMPERATURES, SUCH AS COOLERS, FREEZERS OR SERVICE ENTRANCE CONDUITS, SHALL BE SEALED TO PREVENT CIRCULATION OF THE AIR AND/OR MOISTURE.
 - PROVIDE CABLE SUPPORTS ON VERTICAL RUNS.
 - CONTRACTOR SHALL PROVIDE HEAT TRACE FOR CONDENSATE LINE. COORDINATE CONNECTION OF HEAT TRACE WITH FREEZER MANUFACTURER.

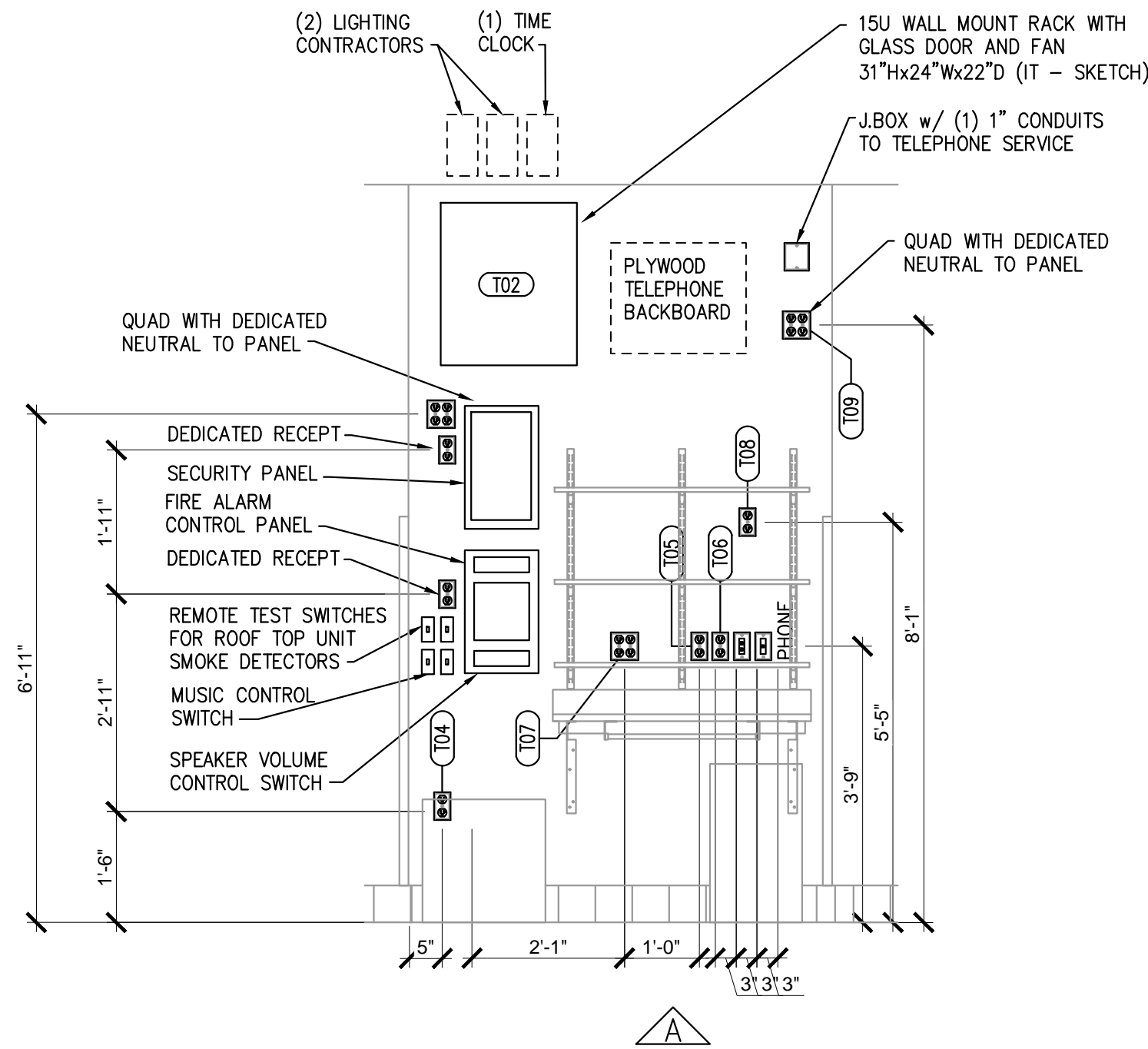
FREEZER ELECTRICAL PLAN
 1/4"=1'-0"
 3

A66 BLOCK WIRING @ BACKBOARD ABOVE MANAGER'S DESK
 SCALE: NONE
 4

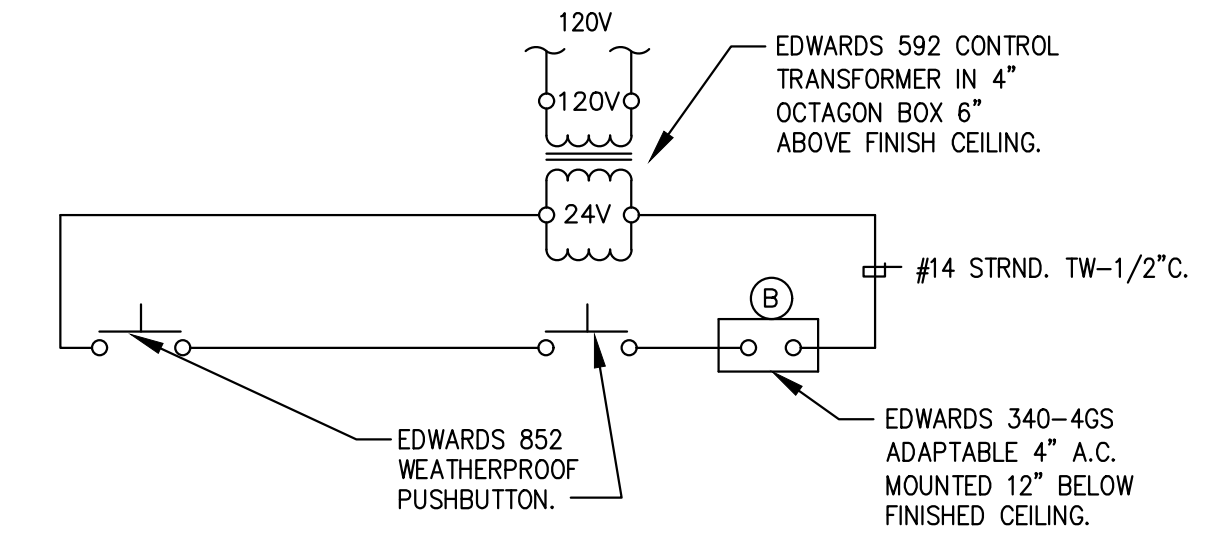


- NOTES BY SYMBOLS:**
1. PROVIDE CONDUIT WITH PULLWIRE, SIZE AS NOTED ON POS SCHEMATIC DETAIL, FROM EACH POS DATA OUTLET LOCATION TO HUB WITHIN OFFICE. ROUTE TO ABOVE ACCESSIBLE CEILING.
 2. PROVIDE 3/4" EMPTY CONDUIT WITH PULLWIRE TO TELEPHONE BACKBOARD.
 3. REMOTE TEST SWITCHES FOR AIR HANDLING UNIT DUCT SMOKE DETECTORS.
 4. PHONE BOARD LOCATION. E.C. TO TERMINATE ALL CAT-5 CABLE AT IT CABINET.
 5. POS HUB. E.C. TO TERMINATE ALL CAT-5 CABLE FOR POS EQUIPMENT.

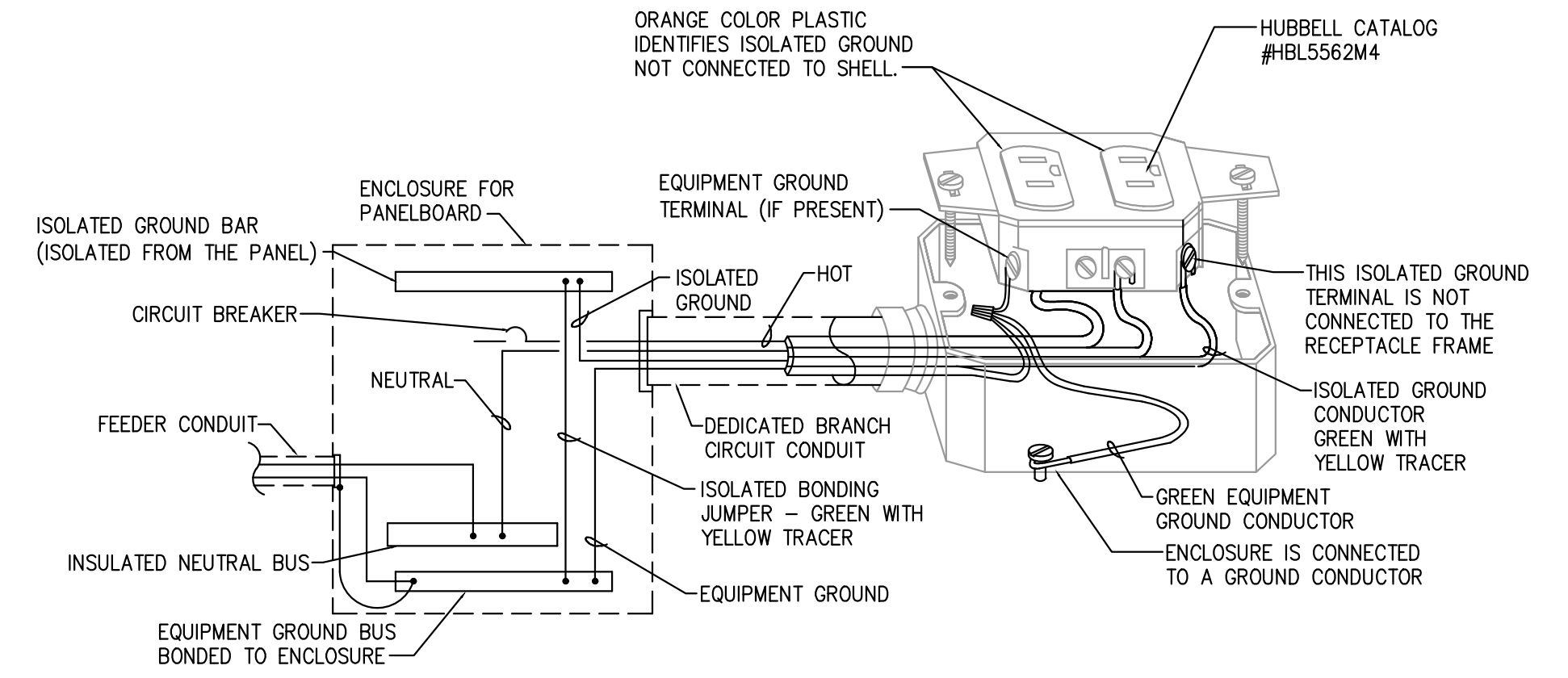
OFFICE PLAN
1/2" = 1'-0" 1



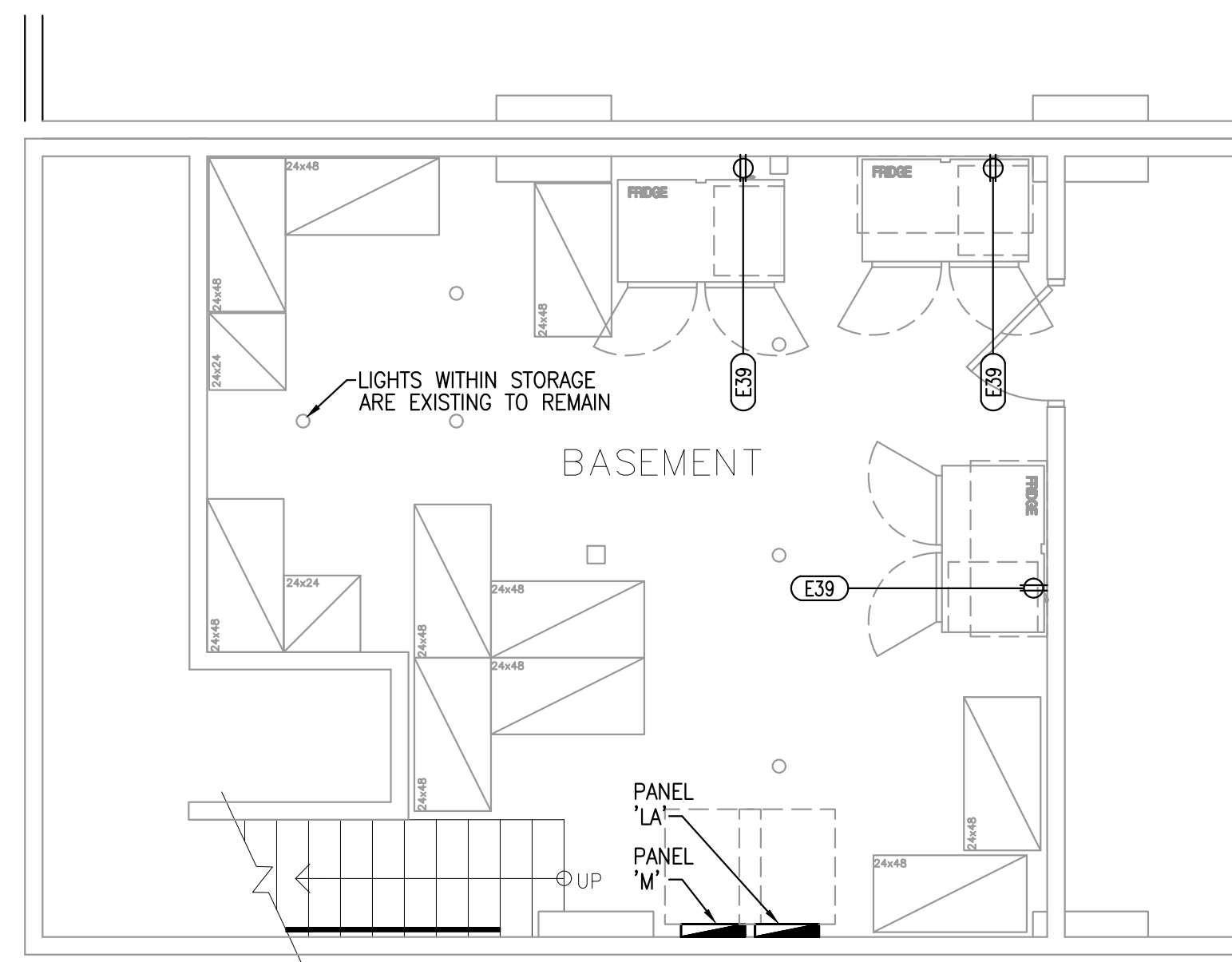
OFFICE ELEVATIONS
1/2" = 1'-0" 2



BUZZER WIRING DIAGRAM
SCALE: NONE 3



ISOLATED GROUNDING DETAIL
SCALE: NONE 4



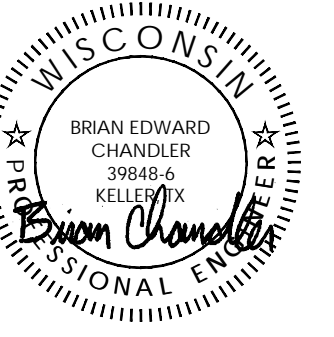
BASEMENT PLAN - ELECTRICAL
1/4" = 1'-0" 5

NOT USED
NO SCALE 6

NOT USED
NO SCALE 7

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CLIENT: TWISTED PRETZEL, INC
CESAR HERNANDEZ

Jamba
#103706
Auntie Anne's

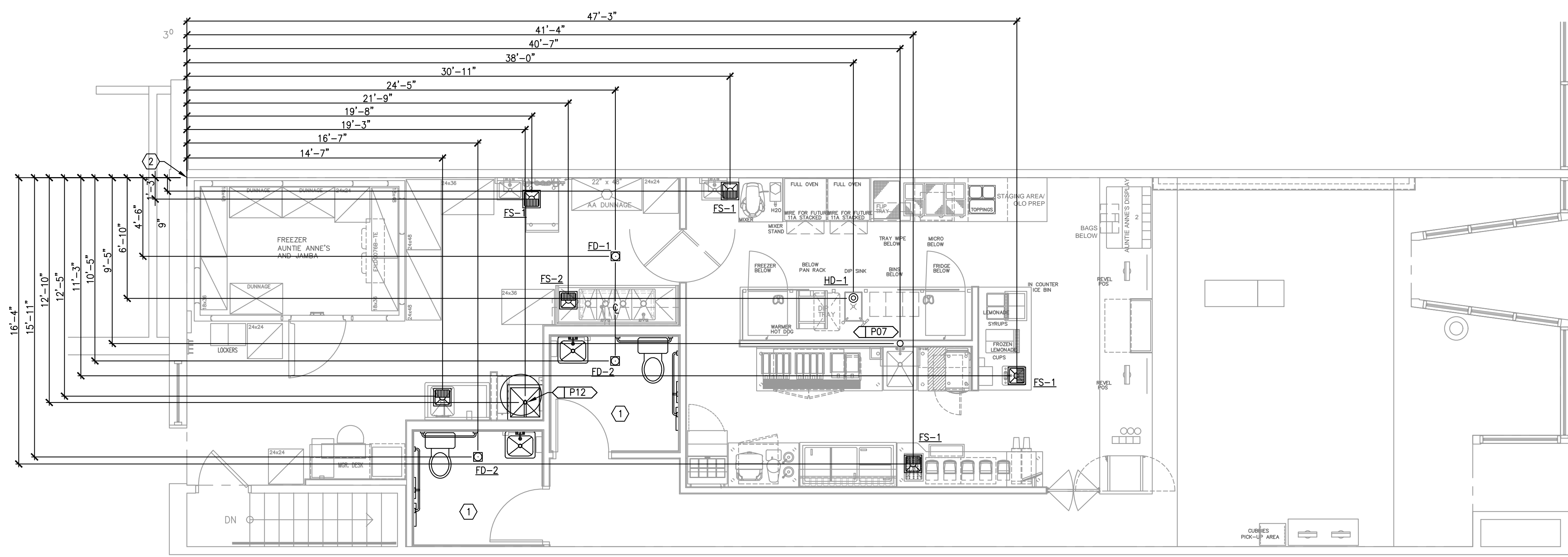
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SHEET TITLE:
**ELECTRICAL
DETAILS**

SHEET NUMBER:
E3.3

PROJECT NUMBER:
JAJ21024



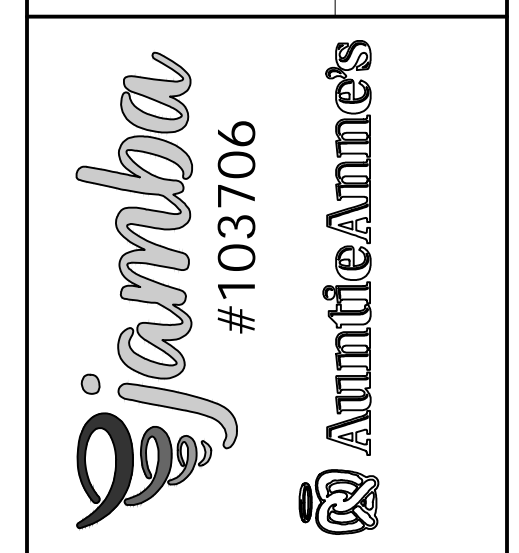
KEYED NOTES	
1.	REFER TO ARCHITECTURAL PLANS FOR ROUGH-IN DIMENSIONS OF RESTROOM PLUMBING FIXTURES.
2.	DIMENSIONS SHOWN ARE FROM THE EXISTING INSIDE FACE OF WALL FINISH.

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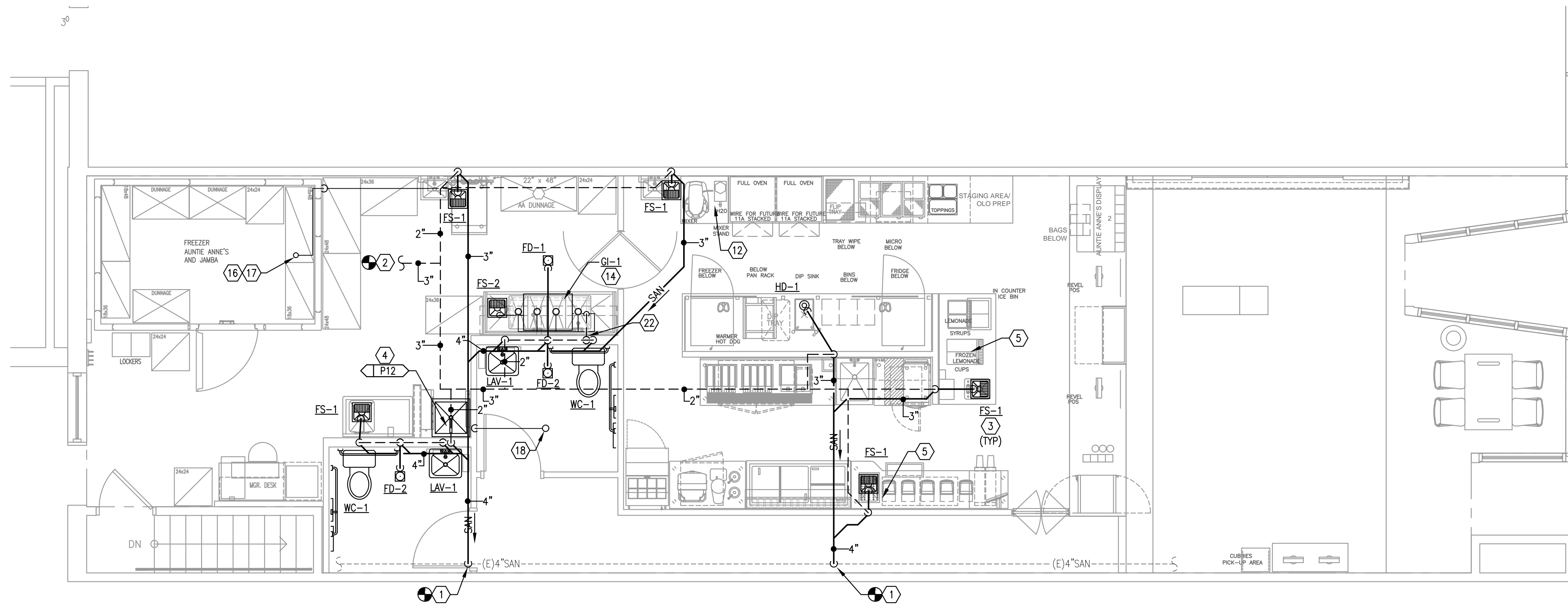
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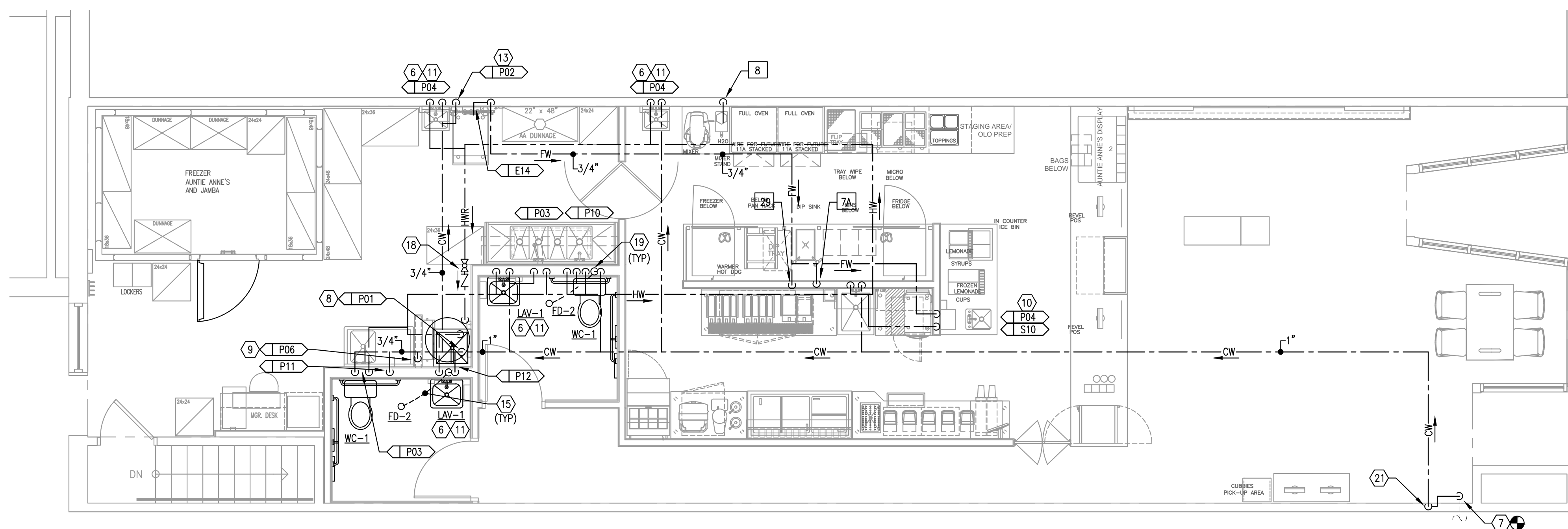
SHEET TITLE:
PLUMBING
ROUGH-IN PLAN -
UNDERSLAB

SHEET NUMBER:
P1.1

PROJECT NUMBER:
JAJ21024



SANITARY PLUMBING PLAN
1/4"=1'-0" 1



WATER AND GAS PLUMBING PLAN
1/4"=1'-0" 2

GENERAL NOTES

- A. KEY NOTES WITH ELLIPTICAL SYMBOL AND NUMBER CORRESPOND TO KITCHEN EQUIPMENT SHOWN IN EQUIPMENT PLAN SHEETS.
- B. ALL EXPOSED PIPING IN PUBLIC AREAS SHALL BE INSTALLED AS TIGHT AS POSSIBLE TO THE WARM SIDE OF THE EXPOSED ROOF STRUCTURE.
- C. THE INSTALLATION OF THE PLUMBING SYSTEMS SHALL BE COORDINATED WITH ALL ELECTRICAL, MECHANICAL EQUIPMENT & STRUCTURAL SLAB AND FRAMING.
- D. REFER TO SHEET EQ2.1, EQ2.2 AND P2.1 FOR PLUMBING FIXTURE AND EQUIPMENT SCHEDULES INCLUDING SPECIFICATIONS AND ROUGH-IN SIZES.
- E. ALL CUTTING OF EXISTING PAVING, WALKS AND/OR FLOORS SHALL UTILIZE MACHINE SAW CUTTING EQUIPMENT. HOLES FOR PIPES IN CONCRETE WALLS OR FLOORS SHALL UTILIZE CORE DRILLING EQUIPMENT. COORDINATE WITH ARCHITECTURAL DETAILS FOR FLOOR CUTTING AND PATCHING.
- F. PLUMBING CONTRACTOR SHALL COORDINATE WITH THE KITCHEN EQUIPMENT SUPPLIER FOR THE COMPLETE INSTALLATION AND SERVICE CONNECTIONS OF ALL KITCHEN EQUIPMENT.
- G. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL DRAIN LINES FROM KITCHEN EQUIPMENT. REFER TO THE EQUIPMENT DRAWINGS FOR PROPOSED SIZES AND ROUTING. ALL INDIRECT DRAIN LINES SHALL BE INSTALLED WITH APPROVED AIR GAPS. ALL WATER LINES UNDER EQUIPMENT/ MILLWORK SHALL BE INSTALLED SECURELY.
- H. REFER TO ARCHITECTURAL AND MILLWORK DRAWINGS FOR DETAILS OF COUNTERTOPS, CASEWORK, AND OTHER FIXTURES, SHOWING EXACT LOCATION OF OPENINGS FOR PLUMBING ITEMS BEING INSTALLED. COORDINATE THE COMPLETE INSTALLATION WITH THE GENERAL CONTRACTOR.
- I. PLUMBING CONTRACTOR TO FLUSH AND SANITIZE ALL WATER LINES PRIOR TO THE INSTALLATION OF THE FILTRATION SYSTEM.
- J. PITCH ALL WASTE AND DRAIN LINES A MINIMUM OF 1/4" PER FOOT IN THE DIRECTION OF FLOW, OR AS REQUIRED BY LOCAL CODE.
- K. ALL OPENINGS IN DW SYSTEMS RESULTING FROM INSTALLATION ROUGH-IN SHALL BE PROTECTED WITH A TEST PLUG THAT IS SECURELY LOCKED IN PLACE UNTIL FINAL FINISHED CONNECTIONS ARE INSTALLED.
- L. ALL WALL PIPING STUB-OUTS SHALL BE SECURELY TIED TO THE STRUCTURE WITH SUFFICIENT BACKING TO ELIMINATE MOVEMENT. FINAL CONNECTIONS TO KITCHEN SINKS SHALL BE HARD PIPED.
- M. ALL FIXTURES AND EQUIPMENT SHALL BE INSTALLED WITH WATER SUPPLY STOP VALVES IN ACCESSIBLE LOCATIONS. PROVIDE LINE SIZED BALL VALVES, REDUCERS & BACKFLOW PREVENTERS FOR BEVERAGE FIXTURES.
- N. ALL PENETRATIONS IN FIRE RATED WALL ASSEMBLIES SHALL BE SEALED WITH UL LISTED FIRE STOPPING MATERIAL.
- O. PLUMBING CONTRACTOR TO ARRANGE AND PAY FOR ALL REQUIRED FEES, PERMITS, AND MISCELLANEOUS COSTS ASSOCIATED WITH THE PLUMBING WORK PER LOCAL PLUMBING CODES.
- P. PLUMBING CONTRACTOR SHALL MAINTAIN A REDLINED SET OF "AS BUILT" CONSTRUCTION DRAWINGS AND PROVIDE RECORD COPIES TO THE ARCHITECT PER THEIR SUBMISSION REQUIREMENT TO JAMBA JUICE CORPORATE.
- Q. ALL WASTE PIPING DOWNSTREAM OF 4 COMPARTMENT SINK SHALL BE SCHEDULE 40 DWV PVC OR DURIRON AS REQUIRED BY LOCAL CODES. ALL OTHER WASTE AND VENT PIPING SHALL BE SCHEDULE 40 DWV PVC UNLESS PROHIBITED BY LOCAL CODES.
- R. VERIFY EXACT LOCATIONS, DEPTH AND SIZE OF ALL PIPING TO WHICH CONNECTIONS ARE REQUIRED. COORDINATE ALL CONNECTIONS WITH SITE CONDITIONS AND SITE UTILITY CONTRACTOR/ REPRESENTATIVE.

KEYED NOTES

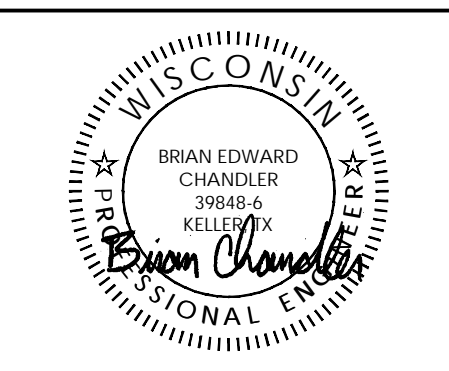
1. CONNECT THE NEW SANITARY PIPING TO THE EXISTING LATERAL AS SHOWN. VERIFY EXACT INVERT ELEVATION AND LOCATION IN THE FIELD.
2. ROUTE NEW VENT LINE TO EXISTING VTR SYSTEM, VERIFY EXACT LOCATION & SUFFICIENT SIZE PRIOR TO BID. COORDINATE ROOF PENETRATION LOCATION WITH OUTDOOR AIR INTAKE OF ROOFTOP EQUIPMENT. MAINTAIN A MINIMUM HORIZONTAL CLEARANCE OF 10'-0".
3. PROVIDE FLOOR SINK WITH 1/2 GRATE FOR INDIRECT DISCHARGE FROM EQUIPMENT. EXTEND 3" SANITARY AND 2" VENT AS SHOWN.
4. COORDINATE INSTALLATION OF SERVICE SINK WITH THE WALL FRAMING. EXTEND 3" SANITARY AND 2" VENT AS SHOWN.
5. ROUTE COUNTERDRAIN TO NEAREST FLOOR SINK AND TERMINATE WITH AN INDIRECT CONNECTION.
6. COORDINATE INSTALLATION OF WALL MOUNTED HAND SINK. EXTEND 2" SANITARY AND 1-1/2" VENT AS SHOWN.
7. CONNECT NEW 1" TENANT DOMESTIC WATER TAP OFF THE LANDLORD PROVIDED STUB, COORDINATE EXACT LOCATION & SUFFICIENT SIZE WITH FIELD CONDITIONS. INSTALL WATER METER BACKFLOW PREVENTER, AND REMOTE WATER METER READER AS REQUIRED BY LANDLORD AND UTILITY.
8. WATER HEATER SHALL BE MOUNTED SECURELY ON PLATFORM. INSTALL COMPLETE WITH DRAIN PAN.
9. PROVIDE 1/2" CW TAP TO THREADED MALE HOSE BIBB MOUNTED 36" AFF FOR FUTURE CONNECTION TO CHEMICAL DISPENSER. INSTALL COMPLETE WITH ACCESSIBLE LINE SIZED DCVA BACKFLOW PREVENTOR.
10. EXTEND 1/2" FW/HW SUPPLY TAPS AS SHOWN. INSTALL COMPLETE WITH STOPS.
11. EXTEND 1/2" CW/HW SUPPLY TAPS AS SHOWN. INSTALL COMPLETE WITH STOPS AND HOT WATER TEMPERING VALVE.
12. ALL DRAINAGE FROM FIXTURES IN THIS AREA TO BE ROUTED TO NEAREST FLOOR SINK AND TERMINATED WITH AN INDIRECT CONNECTION.
13. INSTALL WALL MOUNTED WATER FILTER AND EXTEND FILTERED WATER WATER AS SHOWN.
14. PROPOSED LOCATION FOR GREASE INTERCEPTOR TO BE INSTALLED PER LOCAL REQUIREMENTS, COORDINATE PLACEMENT WITH GRADING, LANDSCAPING, ALL UTILITIES & CONCRETE WORK.
15. 1/2" FW BELOW FLOOR, FROM TRAP PRIMER TO RECEPTOR.
16. ROUTE WALK-IN COOLER CONDENSATE DRAIN LINE AS HIGH AS POSSIBLE AND ALONG WALLS AS SHOWN. INSULATE ALL CONDENSATE PIPING AND PITCH A MINIMUM OF 1/4" PER FOOT IN THE DIRECTION OF FLOW. SEAL ALL COOLER WALL PENETRATIONS WATER TIGHT AND COVER EACH WITH AN ESCUTCHEON PLATE. PROVIDE FULL SIZE TRAP AND EXTEND ABOVE FLOOR AND BEHIND EQUIPMENT FOR AN INDIRECT CONNECTION TO AN APPROVED RECEPTOR.
17. CONDENSATE DRAIN LINE IN THE WALK-IN FREEZER SHALL BE HEAT TRACED TO PREVENT FREEZING. HEAT TRACE TAPE SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
18. FIELD COORDINATE THE INSTALLATION OF THE INLINE HOT WATER RECIRCULATION PUMP, EXPANSION TANK AND CHECK VALVE ASSEMBLY.
19. COORDINATE INSTALLATION OF ACCESSIBLE TRAP PRIMER VALVE BELOW THE LAVATORY. VALVE SHALL BE RECESSED IN THE WALL AND COVERED WITH ACCESS PANEL.
20. ROUTE HVAC CONDENSATE DRAIN LINE FROM UNIT AND RUN AS HIGH AS POSSIBLE. INSULATE ALL CONDENSATE PIPING AND PITCH A MINIMUM OF 1/4" PER FOOT IN THE DIRECTION OF FLOW.
21. EXTEND NEW CW LINE UP TO OVER HEAD FROM CW CONNECTION IN BASEMENT.
22. 2" VENT UP TO OVER HEAD FROM FLOW CONTROL AT GREASE INTERCEPTOR.

ENGINEER:

BRIAN CHANDLER, PE

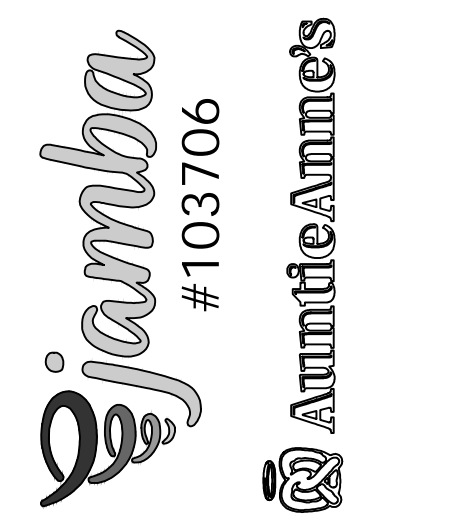
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01/31/22

JAMBA/AUNTIE ANNE'S
MADISON WISCONSIN
650 STATE STREET
MADISON, WI 53703
CLIENT: TWISTED PRETZEL, INC
CESAR HERNANDEZ



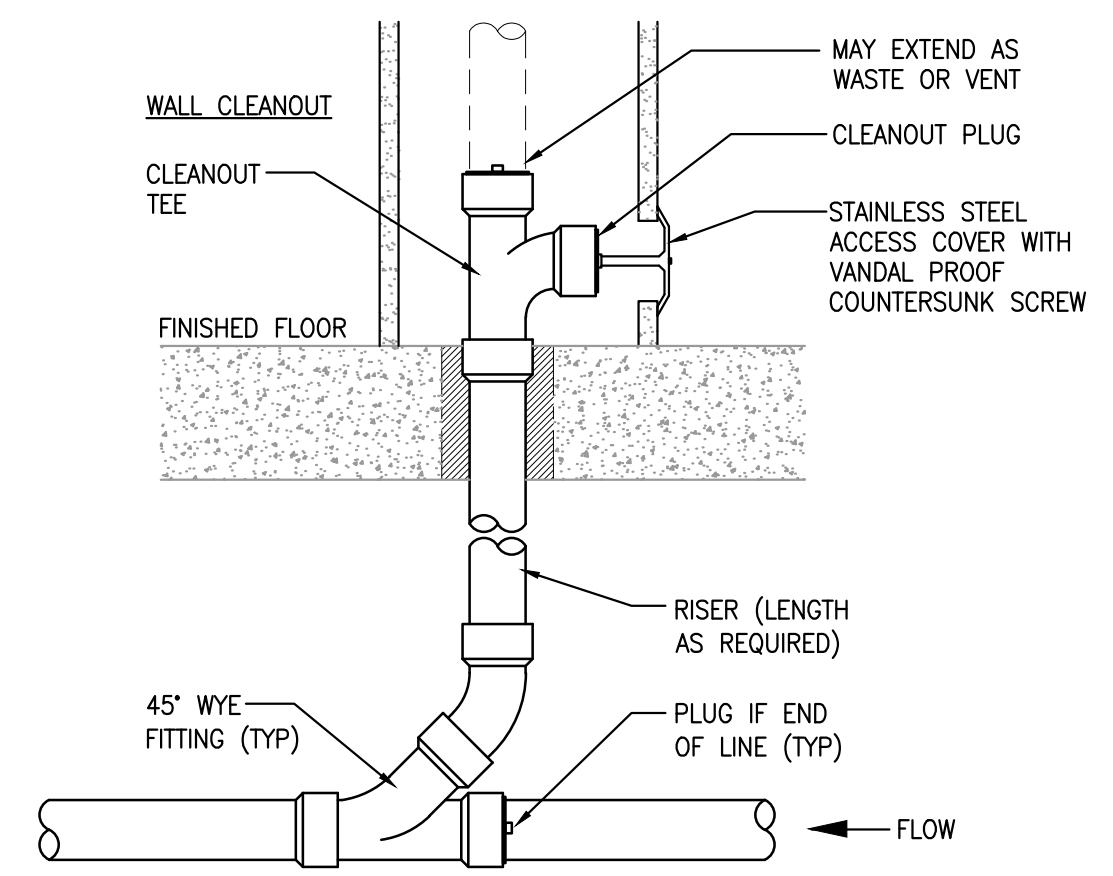
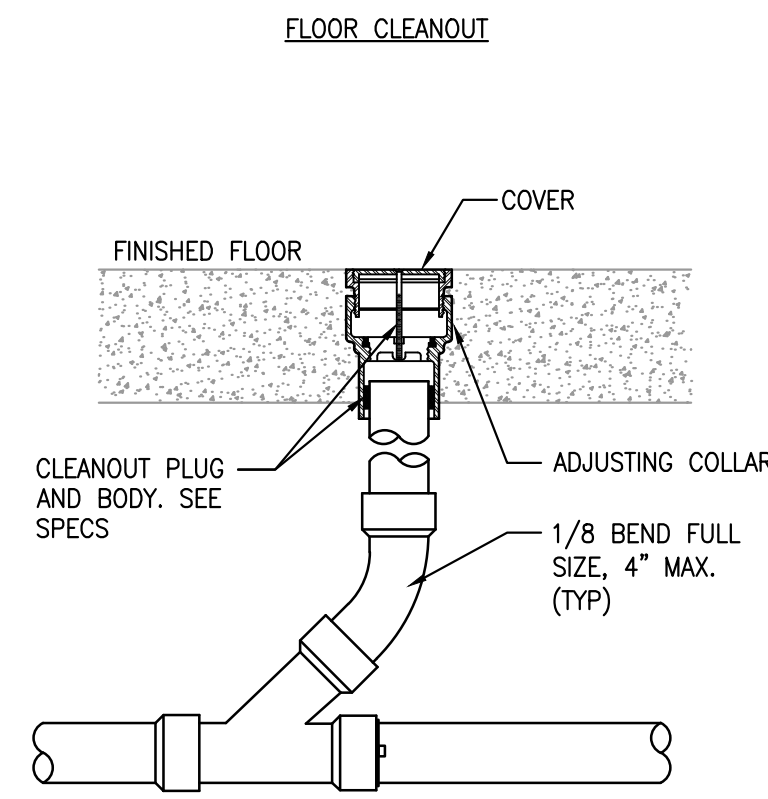
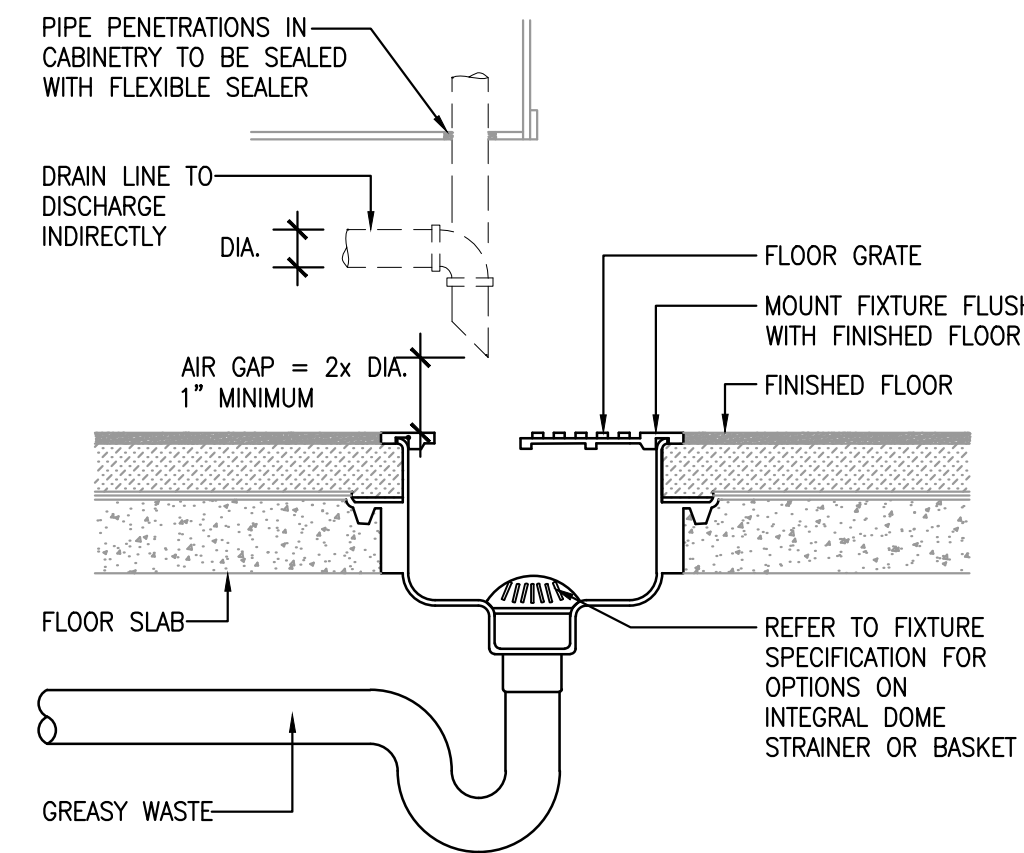
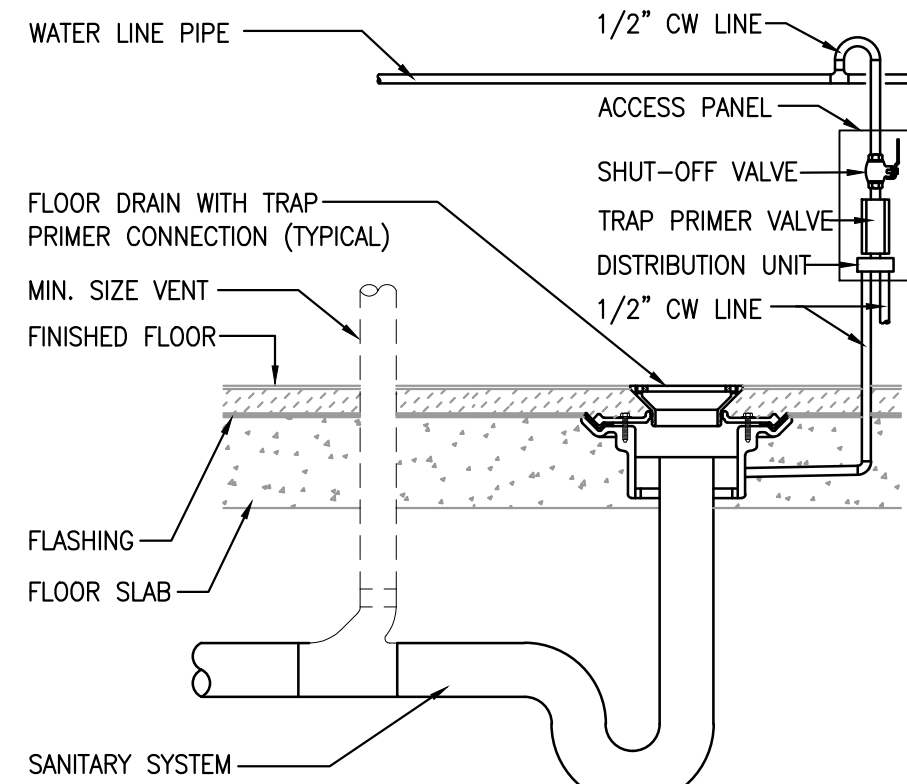
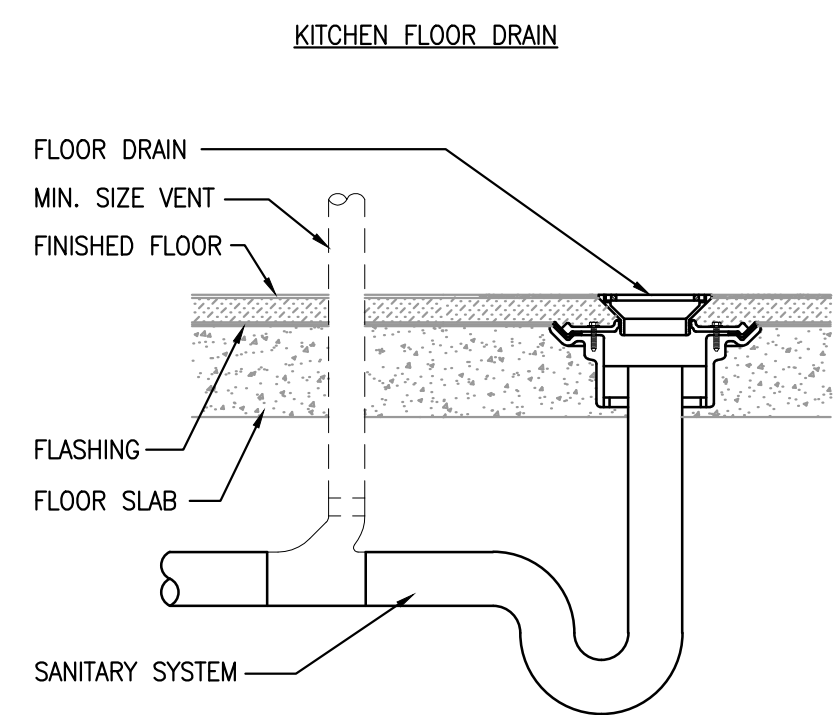
DATE	DESCRIPTION
01.07.22	OWNER REVIEW ISSUE
01.31.22	PERMIT ISSUE

DATE	DESCRIPTION

SHEET TITLE:
PLUMBING FLOOR PLANS

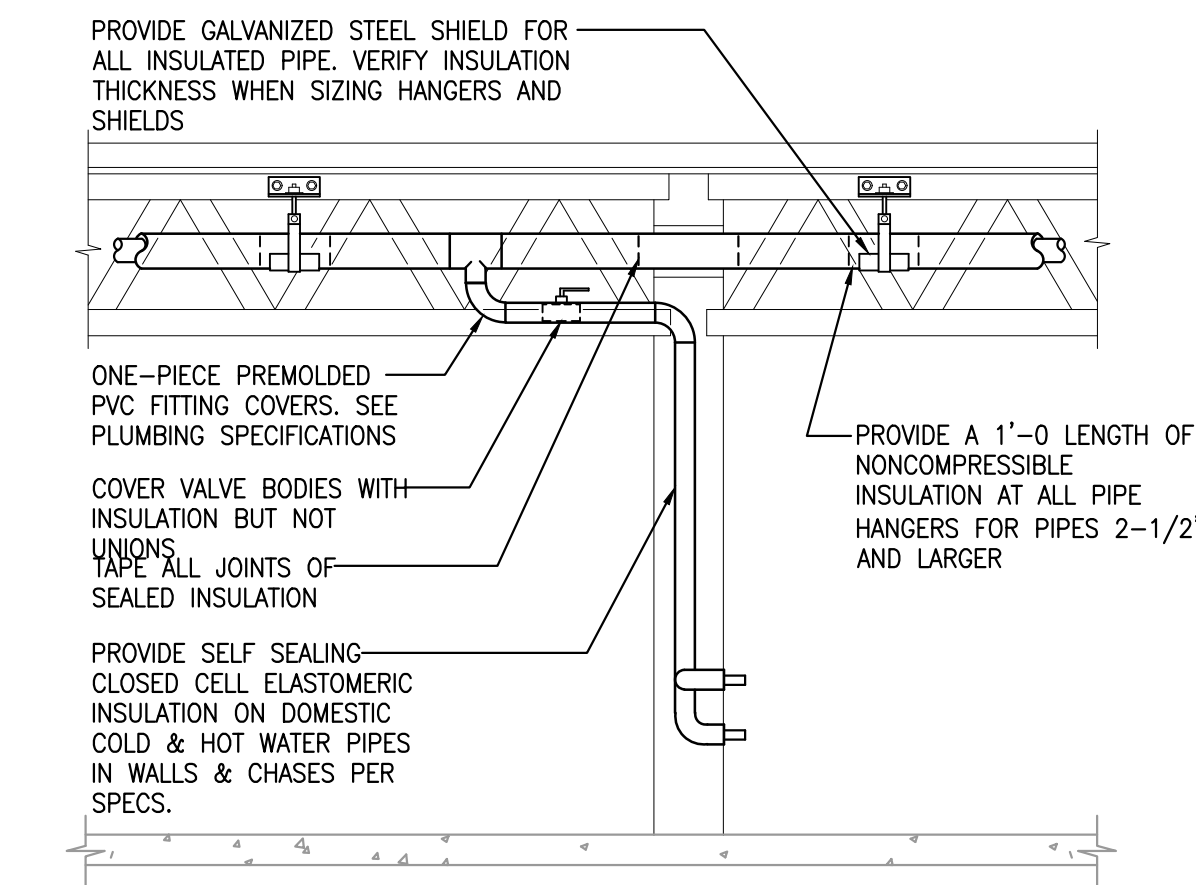
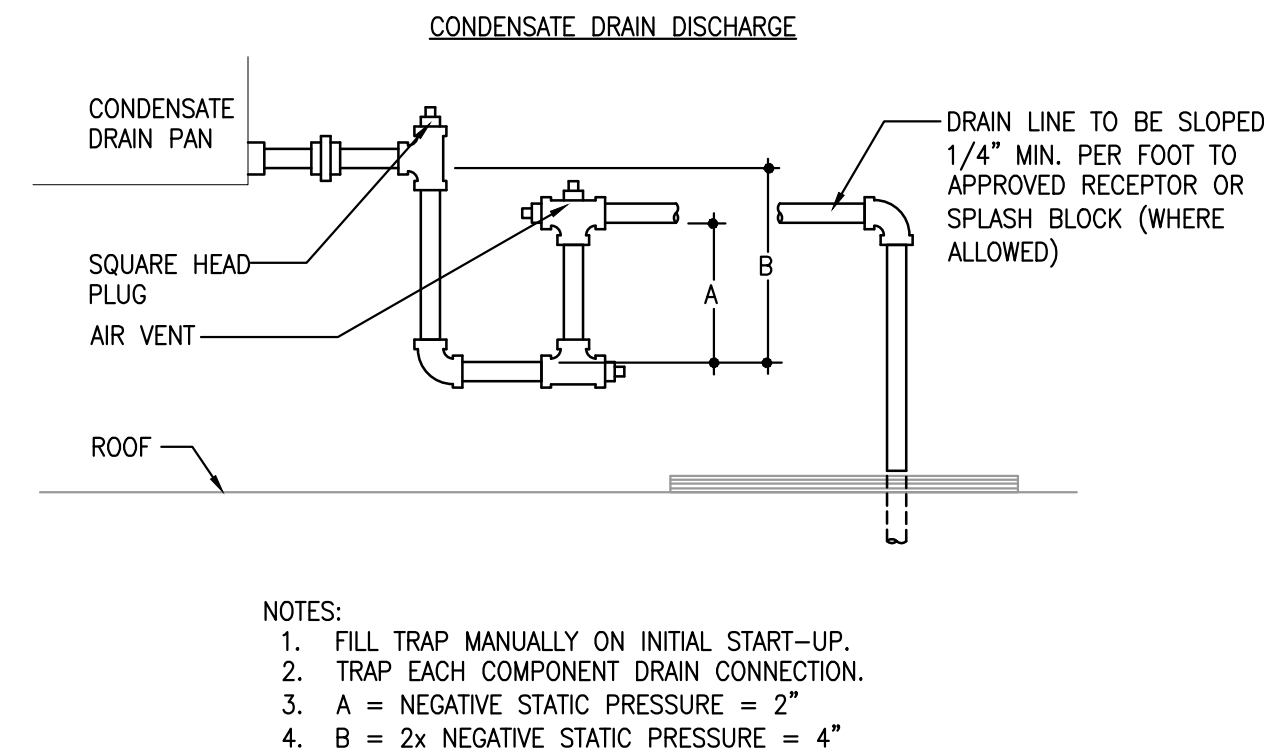
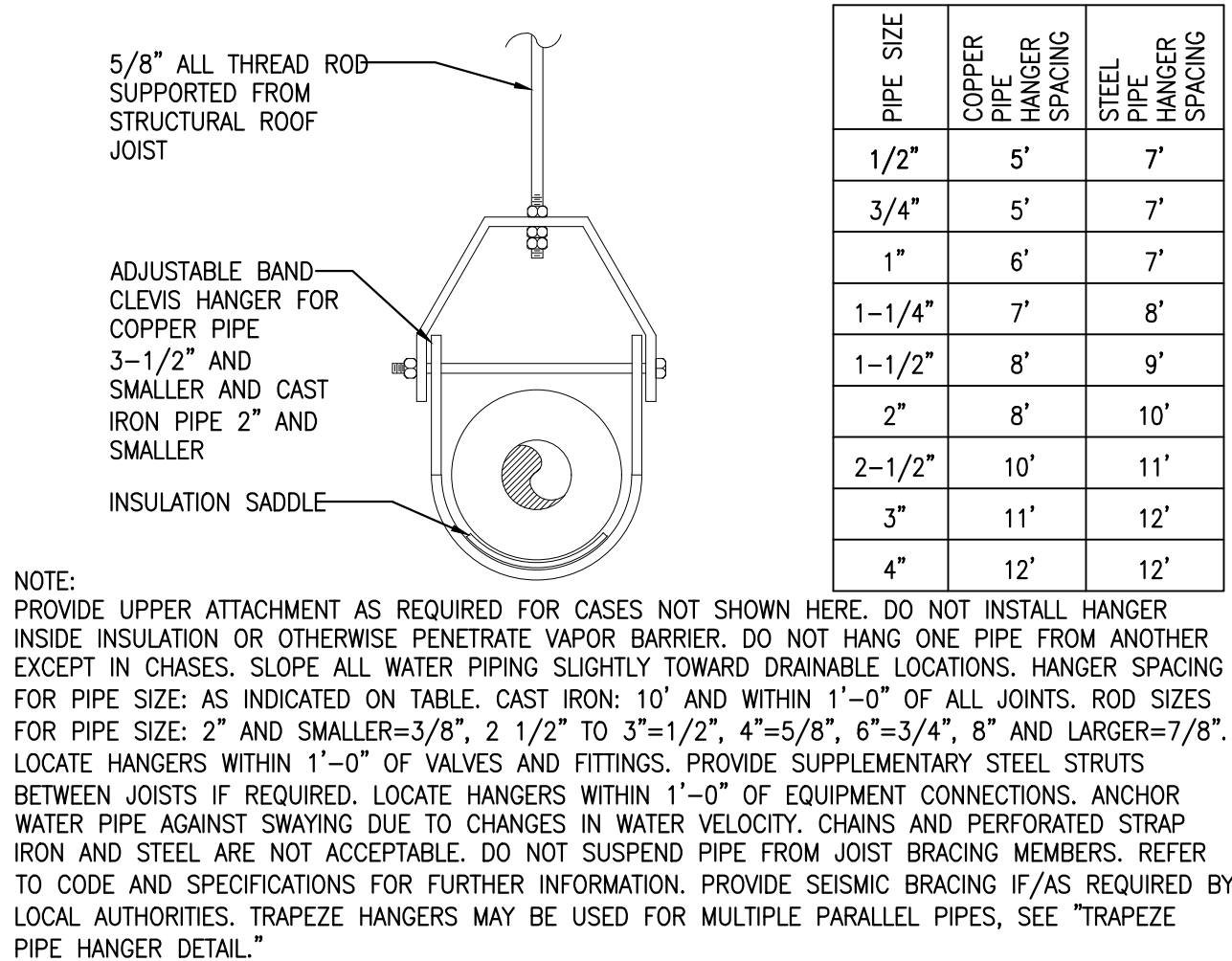
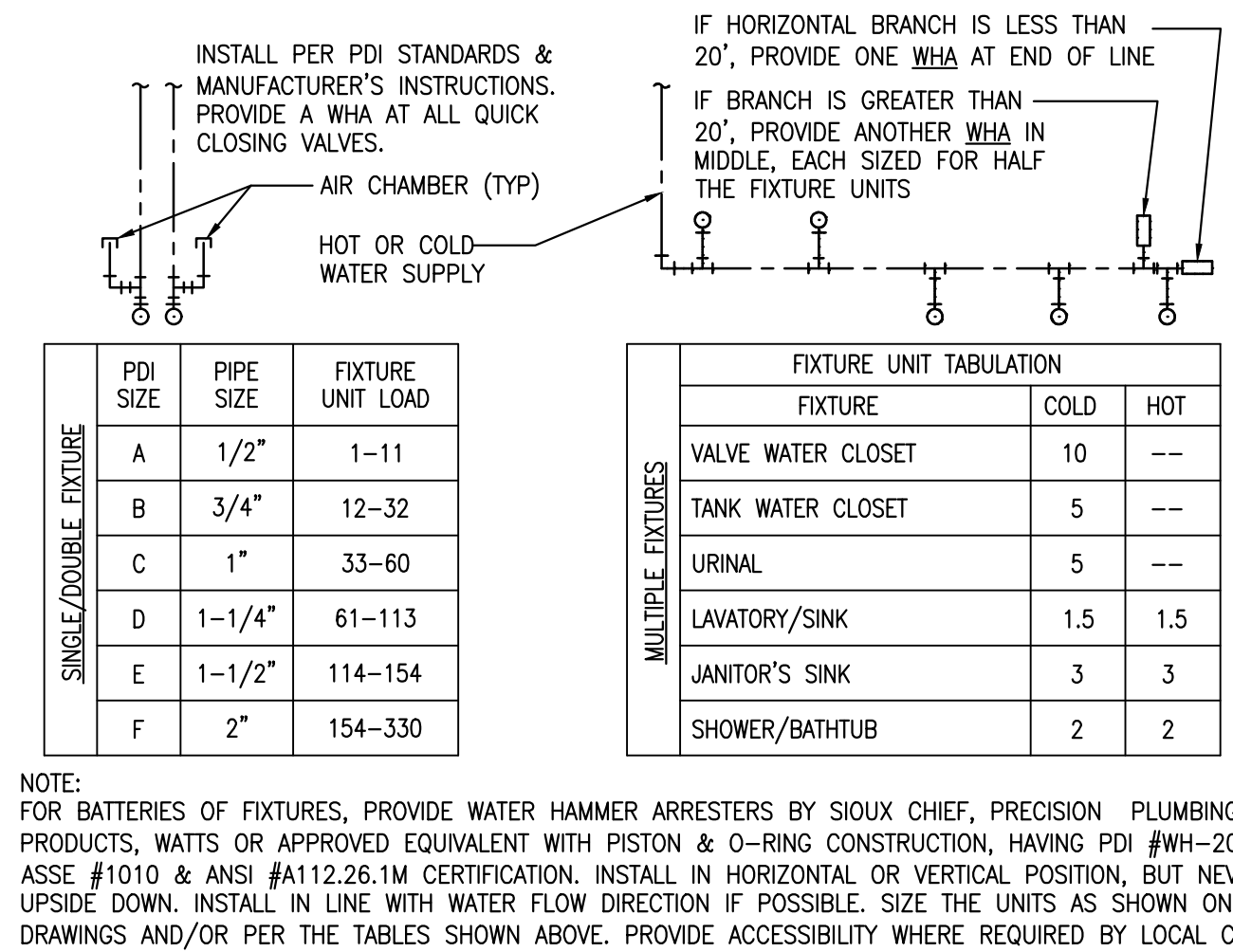
SHEET NUMBER:
P1.2

PROJECT NUMBER:
JAJ21024



DRAINAGE DETAILS
SCALE: NONE

CLEANOUT DETAILS
SCALE: NONE

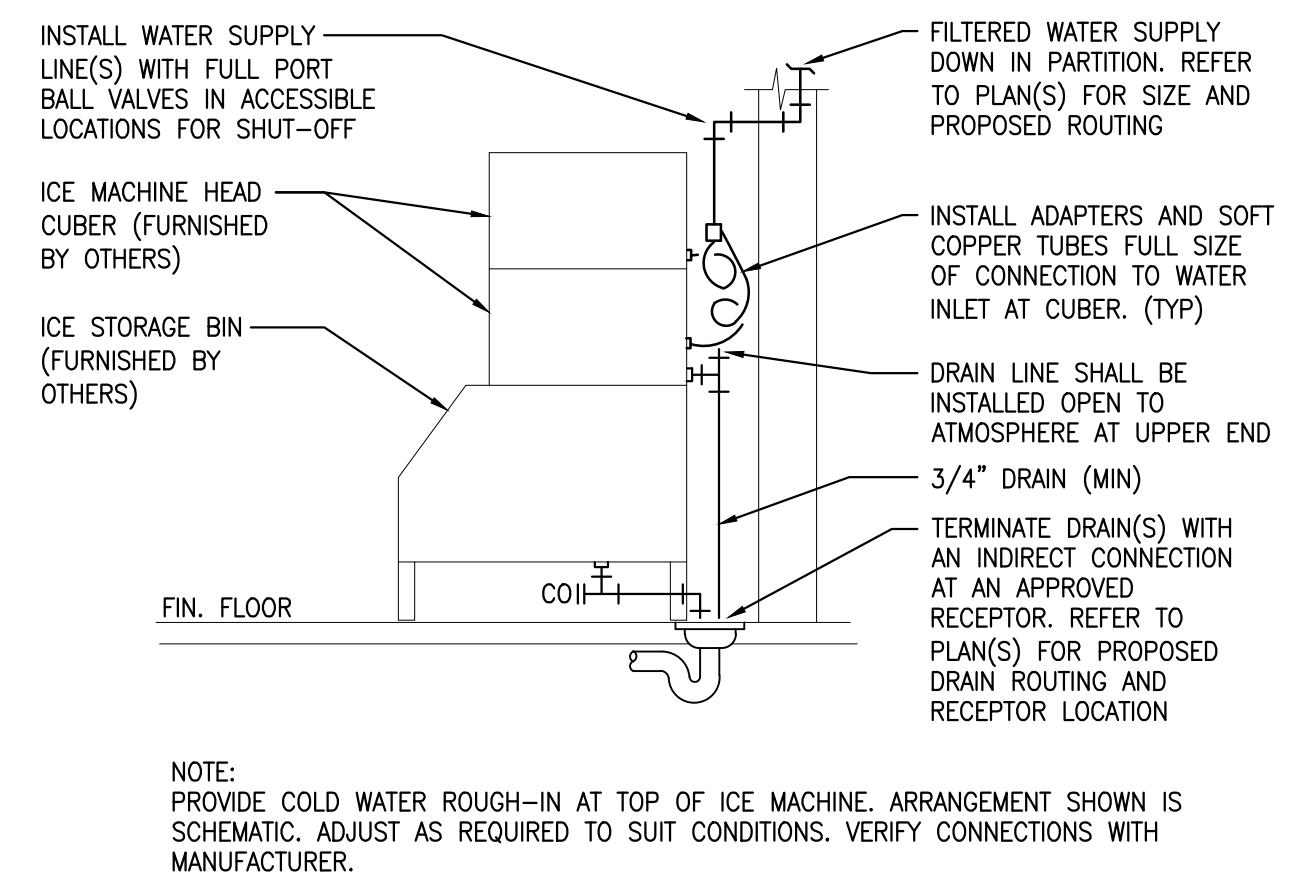


WATER HAMMER ARRESTOR DETAIL
SCALE: NONE

PIPE SUPPORT HANGER DETAIL
SCALE: NONE

HVAC CONDENSATE CONNECTION DETAIL
SCALE: NONE

TRUSS PIPE INSULATION DETAIL
SCALE: NONE



Dimensions

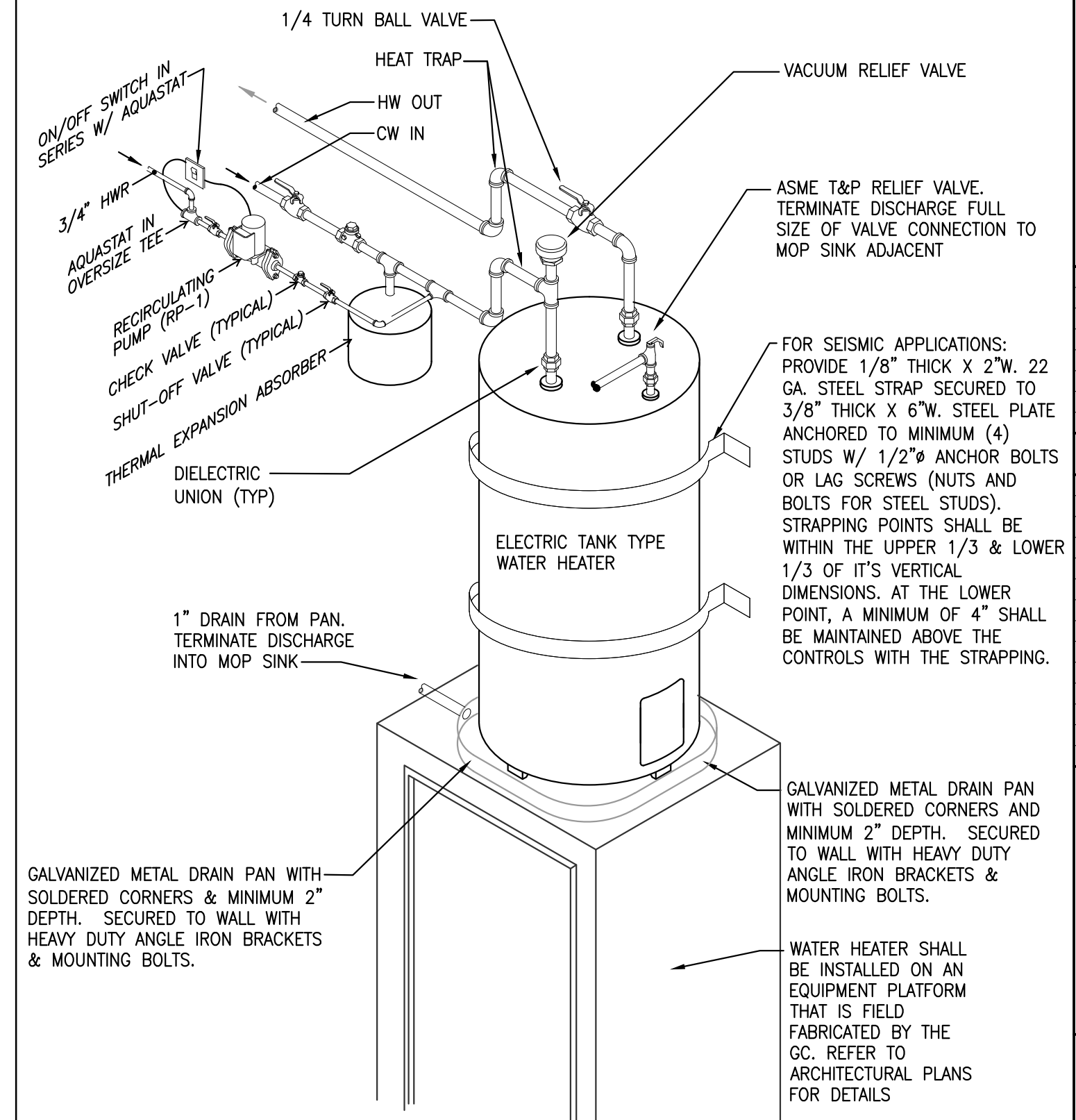
TANK	FLOW CONTROL	AIR INTAKE
GPM/Lbs: 25/50 LD	Connection Size (Nom. Dia.)	2" x h
A: 31.0" (787mm)	A: 3.0" (76.2mm)	2.91" (73.9mm)
B: 23.5" (597mm)	B: Nom. Dia. 2" (50.8mm)	Nom. Dia. 2" (50.8mm)
C: 4" (102mm)	C: 3.84" (97.5mm)	Nom. Dia. 1.5" (38.1mm)
D: 7" (178mm)		
E: 11" (279mm)		

Capacity

US Gallons Per Minute (GPM)	25 LD
CAPACITY - Pounds	50
Liters Per Second (LPS)	1.6
CAPACITY - Kilograms	22.68
Average Efficiency % (ASME 112.4.1)	97.1%
Part Number	3925A02L0
Grease Capacity (lb) actual	13.4 (4.22)
Operating Temperature Capabilities	23°F (5°C) - 212°F (100°C)
Surface Load Capacity	440 lbs (200 kg)
Unit Weight (Empty)	23.9 lbs (10.85 kg)
Liquid Capacity	18.9 gal (71.54L)
Connection Size (Mechanical)	2"

Components for Lo-PRO Grease Interceptor

ITEM	Description	Part No
1A	Latches (left)	49335A-6LH2
1B	Latches (right)	49335A-6RH2
2	Reinforced polypropylene cover	49335A-2
3	Rubber gasket	49335A-5
4	Removable polypropylene baffles	49324A02L0-3
5	Drainage buffer	49324A02L0-4A
6	One-piece tank	49324A02L0-1



ICE MACHINE CONNECTION DETAIL
SCALE: NONE

NOT USED
SCALE: NONE

GREASE INTERCEPTOR DETAIL
SCALE: NONE

GREASE INTERCEPTOR DETAIL
SCALE: NONE

GAS FIRED WATER HEATER DETAIL
SCALE: NONE

ENGINEER:
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CESAR HERNANDEZ

Jamba
#103706
AuntieAnne's

DATE	DESCRIPTION
01.07.22	OWNER REVIEW ISSUE
01.31.22	PERMIT ISSUE

SHEET TITLE:
PLUMBING DETAILS

SHEET NUMBER:
P3.1

PROJECT NUMBER:
JAJ21024