

INTERIOR OPTIONS				EXTERIOR OPTIONS			
DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION
<input checked="" type="checkbox"/> NEW STATIC MENU BOARD	<input checked="" type="checkbox"/> NEW CEILING TILES	<input checked="" type="checkbox"/> MUSIC W/ CEILING MOUNTED SPEAKERS	<input type="checkbox"/> FREESTANDING FIREPLACE	<input checked="" type="checkbox"/> NEW BUILDING SIGNAGE	<input type="checkbox"/> ACM BLADE WALL		
<input checked="" type="checkbox"/> NEW STATIC QUEUING BOARD	<input type="checkbox"/> NEW CEILING GRID	<input checked="" type="checkbox"/> SEPARATE ORDER/PAY FROM PICK-UP	<input type="checkbox"/> ACCESSIBLE BAR SEATING	<input type="checkbox"/> REMOVE DIRECTIONALS			
<input checked="" type="checkbox"/> NEW STATIC RHR	<input type="checkbox"/> NEW PENDANT LIGHTS	<input type="checkbox"/> REPLACE WINDOW SILLS W/ SOLID SURFACE		<input type="checkbox"/> LANDSCAPING			
<input checked="" type="checkbox"/> SELF SERVE DRINK - ONE FREESTYLE	<input type="checkbox"/> REPLACE SERVICE COUNTER BACK WALL FINISHES	<input checked="" type="checkbox"/> REPLACE RESTROOM FINISHES & FIXTURES		<input checked="" type="checkbox"/> RED FLAG BLADE			
<input checked="" type="checkbox"/> CONDIMENT STAND	<input checked="" type="checkbox"/> ARTPACK	<input type="checkbox"/> ONE FREESTYLE IN DT		<input checked="" type="checkbox"/> NEW CORRUGATED PANELS			
<input checked="" type="checkbox"/> NEW DRINK STAND (SMALL, PLUMBED)	<input checked="" type="checkbox"/> WIFI SERVICE	<input type="checkbox"/> (1) - 55" TV		<input checked="" type="checkbox"/> PAINT (E) WALL SCANCES			
<input type="checkbox"/> NEW DRINK STAND (LARGE, PLUMBED)	<input checked="" type="checkbox"/> ALL WOOD LOOK PORCELAIN PLANK TILE			<input type="checkbox"/> PAINT (E) STOREFRONT			

GENERAL NOTES

- DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS CONSTRUCTIBLE AS SHOWN. CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS. IN CASE OF CONFLICT, NOTIFY THE ARCHITECT OF RECORD. FLOOR PLAN BY ARCHITECT OF RECORD SUPERSEDES OTHER PLANS. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES INCLUDING CARPET, PAD, CERAMIC TILE, V.C.T., ETC.
- INTERIOR DIMENSIONS ARE TO THE FACE OF NEW STUD, UNLESS NOTED OTHERWISE.
- COLUMN CENTER LINE (OR GRID LINES) ARE SHOWN FOR DIMENSIONING. VERIFY EXACT LOCATIONS IN FIELD.
- MARK LOCATIONS OF PARTITIONS AND DOORS FOR REVIEW BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. REVIEW WILL BE FOR DESIGN INTENT. COORDINATE AND VERIFY CONDITIONS TO ENSURE PROPER FIT.
- CONTRACTOR IS REQUIRED TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVE TO REVIEW SPECIFIC REQUIREMENTS. CONTRACTOR IS RESPONSIBLE TO FOLLOW THE WENDY'S COMPANY RULES AND REGULATIONS.
- WHEN CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED ON PLANS WHETHER IN CONTRACT OR NOT IN CONTRACT, HE SHALL BE RESPONSIBLE FOR LOSS AND/OR DAMAGE TO THESE ITEMS.
- THE CONTRACTOR SHALL MAINTAIN, FOR THE ENTIRE DURATION OF THE WORK, ALL EXITS, EXIT/EGRESS LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- EXISTING WORK: WITH PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE AND RETURN OF PROPER CREDIT, EXISTING WORK WHICH FITS THE SCHEME MAY BE RE-USED.
- DEMOLITION: REMOVE INTERIOR PARTITIONS, CASEWORK, STOREFRONTS, CEILING, FINISHED FLOORING AND OTHER ITEMS NOT USED IN NEW SCHEME. REMOVE UTILITIES, ELECTRICAL, PLUMBING, PIPING AS REQUIRED BACK TO EXISTING CONSTRUCTION AND TERMINATE AND/OR CAP AS REQUIRED BY LOCAL AUTHORITIES.
- SAW CUTTING AND CORING LOCATIONS SHALL BE REVIEWED IN FIELD AND COORDINATED WITH THE OWNER'S REPRESENTATIVE PRIOR TO CUTTING/CORING.
- DURING ALL PHASES OF WORK, DO NOT DISTURB THE DELIVERIES AND FUNCTIONS OF ADJACENT AND NEIGHBORING TENANTS.
- TYP: MEANS THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED.
- PROVIDE PORTABLE FIRE EXTINGUISHER(S) IN ACCORDANCE WITH NFPA 10, WITH U.L. LABEL AND A RATING OF NOT LESS THAN 2-A WITH 75 FT. TRAVEL DISTANCE TO ALL POSITIONS OF RESTAURANT OR AS DIRECTED BY THE FIRE DEPARTMENT FIELD INSPECTOR. PROVIDE CLASS K FIRE EXTINGUISHER WITHIN 20 FT. OF COMMERCIAL FOOD HEAT-PROCESSING EQUIPMENT.
- EXTERIOR BUILDING SIGNS SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL AS REQUIRED BY LOCAL AUTHORITIES. EXTERIOR SIGNS ARE NOT WITHIN THE SCOPE OF BUILDING DEPARTMENT APPROVAL.
- PRIOR TO COMMENCEMENT OF WORK, AS REQUIRED BY GOVERNING JURISDICTION, OBTAIN A COPY OF THE BUILDING CONSTRUCTION PERMIT FROM THE AUTHORITY HAVING JURISDICTION (AHJ) AND A COPY OF THE SET OF CONSTRUCTION DOCUMENTS SIGNED AND SEALED BY A LICENSED DESIGN PROFESSIONAL FOR ALL DISCIPLINES AS REQUIRED AND USED TO OBTAIN THE BUILDING PERMIT.
- IF REQUIRED BY LOCAL JURISDICTION - SPRINKLER, LIFE SAFETY, AND FIRE ALARM SYSTEMS ARE TO BE DESIGNED AND SUBMITTED FOR REVIEW AND APPROVAL BY LOCALLY LICENSED DESIGN PROFESSIONAL. THE DESIGN OF SYSTEM(S) MUST COMPLY TO LOCAL, STATE, AND NATIONAL CODES.
- EXISTING ENERGY MANAGEMENT SYSTEM (VERIFY IN FIELD) TO REMAIN IN STORE AND BE FULLY FUNCTIONAL AND OPERATIONAL AT COMPLETION OF PROJECT.
- COORDINATE SALVAGE AND REUSE OF EXISTING FIXTURES AND EQUIPMENT WITH OWNER'S REPRESENTATIVE.

CONSTRUCTION / PRODUCT WARRANTIES
 THESE CONSTRUCTION DOCUMENTS NOTE SPECIFIC PRODUCTS, DETAILS AND SPECIFICATIONS THAT WILL PROVIDE CONSTRUCTION / PRODUCT WARRANTIES FOR THE FOLLOWING AREAS OF CONSTRUCTION:
 ROOFING (DURO-LAST)
 INTERIOR TILE (LATICRETE)
 EIFS (STO-CORP)
 ALTERING THESE DOCUMENTS MAY ALTER THE WARRANTY GUIDELINES. DURO-LAST AND LATICRETE WILL BE REQUIRED TO APPROVE THE DRAWINGS TO MAINTAIN THE WARRANTIES. THE CONTRACTOR IS ALSO RESPONSIBLE FOR CONTACTING, DURO-LAST AND LATICRETE FOR ON-SITE INSTALLATION INSPECTIONS OF EACH OF THE AREAS OF WORK.
 FRANCHISEES HAVE THE OPTION OF NOT FOLLOWING WENDY'S CORPORATE WARRANTY RECOMMENDATIONS OUTLINED IN THESE DOCUMENTS.

ABBREVIATIONS		ABBREVIATIONS	
☉ CENTERLINE	ALUMINUM COMPOSITE PANEL	I.D. INSIDE DIAMETER	INSUL. INSULATION
ACT ACoustical	CEILING TILE	JT. JOINT	KITCHEN EQUIPMENT DISTRIBUTOR
ADJ. ADJUSTABLE	ABOVE FINISH FLOOR	KED LAMINATE	MAX. MAXIMUM
A.F.F. AUTHORITY	HAVING JURISDICTION	LB(S) POUND(S)	N. NORTH
ALUM. ALUMINUM	ARCHITECT OF RECORD	MECH. MECHANICAL	MFR. MANUFACTURER
A.O.R. ARCHITECTURAL	BOARD	MGR. MANAGER	MIN. MINIMUM
BLDG. BUILDING	BLOCKING	MISC. MISCELLANEOUS	MTL. METAL
BLKG. BEAM	BOTTOM	N.I.C. NOT IN CONTRACT	N.T.S. NOT TO SCALE
CAB. CABINET	CER. CERAMIC	NO. NUMBER	NOM. NOMINAL
CLG. CEILING	CAULKING	O.D. OUTSIDE DIAMETER	OPNG. OPENING
CLK.G. CLEAR	CONCRETE MASONRY UNIT	OPNG. OPPOSITE	P.LAM. PLASTIC LAMINATE
CLR. C.M.U. COLUMN	CONC. CONCRETE	CONT. CONTINUOUS	COORD. COORDINATE
COOR.D. COORDINATE	COOR.D. COORDINATE	DBL. DOUBLE	DET. DETAIL
DIA. DIAMETER	DND. DO NOT DISTURB	DR. DOOR	D.S. DOWNSPOUT
DWG. DRAWING	EA. EACH	ELEV. ELEVATION	ELEC. ELECTRICAL
(E) EXISTING	EQ. EQUAL	EMER. EMERGENCY	F/MAS. FACE OF MASONRY
F.D. FLOOR DRAIN	F.D.N. FOUNDATION	F.E. FIRE EXTINGUISHER	F.O. FACE OF
F.O.S. FACE OF STUDS	F.I.F. FINISH TO FINISH	F.R. FIRE RETARDANT	FIN. FINISH
FL. FLOOR	FLUOR. FLUORESCENT	FT. FOOT, FEET	F.V. FIELD VERIFY
G.B. GENERAL CONTRACTOR	G.C. GAUGE	GL. GLASS	GYP. GYPSUM
H. HIGH	H.C. HOLLOW CORE	H.M. HOLLOW METAL	HC. HANDICAPPED
HDWD. HARDWOOD	HORIZ. HORIZONTAL	HGT. HEIGHT	H.T. HANGER-TIGHT UNIT
HVAC HEATING, VENTILATION, AIR CONDITIONING			

SYMBOLS LEGEND	
(X.X)	NEW GRID LINE
Ⓛ	DOOR MARK
Ⓜ	WINDOW MARK
Ⓧ	KEY NOTE
XXX	EQUIPMENT NOTE
4/5	ELEVATION REFERENCE SHEET NUMBER
①	SECTION DETAIL REFERENCE SHEET NUMBER
NAME 101A	ROOM NAME / ROOM NUMBER
(9)	DETAIL REFERENCE SHEET NUMBER
11 (6A) 12	ELEVATION NUMBER & DIRECTION SHEET NUMBER
⊕	ELEVATION HEIGHT TARGET LOCATION IN SPACE
CEILING WALL FLOOR BASE	FINISH CODE (SEE SCHEDULE)
△	REVISION SYMBOL
○	REVISION CLOUD

DESCRIPTIVE SUMMARY OF WORK

THE WORK INCLUDES ALL LABOR, MATERIALS, AND EQUIPMENT TO REPLACE EXISTING PRE-FABRICATED FASCIA AND INTERIOR FINISHES FOR A PROPOSED REFRESH OF AN EXISTING RESTAURANT FOR THE "OWNER". THE WORK SHALL INCLUDE ALL ITEMS REQUIRED AS SHOWN ON THE DRAWINGS. ALL ELECTRICAL SYSTEMS AND PLUMBING ARE TO BE INCLUDED FOR A COMPLETE OPERATING SYSTEM WITH COORDINATION AND INSTALLATION INCLUDED.

CODE DATA AND SQUARE FOOTAGE

STORE TYPE: 3076 REFRESH
 LOCATION: 2650 W. NEW HAVEN AVE., MELBOURNE, FL 32904
 BUILDING LEVEL: 1 OF 1
 APPLICABLE CODES: 2020 FLORIDA BUILDING CODE (BUILDING), 2020 FLORIDA BUILDING CODE (EXISTING BUILDING), 2020 FLORIDA BUILDING CODE (PLUMBING), 2020 FLORIDA BUILDING CODE (MECHANICAL), 2020 FLORIDA BUILDING CODE (ENERGY CONSERVATION), 2020 FLORIDA FIRE PREVENTION CODE (7th EDITION), 2020 FLORIDA BUILDING CODE (FUEL GAS), 2020 FLORIDA BUILDING CODE (ACCESSIBILITY), 2009 ADA STANDARDS/ANSI A117.1.23
 ZONING CLASSIFICATION: A-2 (RESTAURANT) WITH NO MIXED USE OCCUPANCIES
 OCCUPANCY CLASSIFICATION: VB
 AREA / HEIGHT LIMITATIONS: ALLOWED: ONE STORY, 40' HIGH, MAXIMUM 6,000 SQ.FT. PROVIDED: ONE STORY, 15'-4" HIGH, 3,009 SQ.FT.
 BUILDING SUMMARY: EXISTING: 2,939 SQ.FT.
 THE SQUARE FOOTAGE REMAINS UNCHANGED

OCCUPANCY CALCULATIONS:					
FLOOR	USE	SQUARE FOOTAGE	OCCUPANT LOAD FACTOR	NUMBER OF OCCUPANTS	NUMBER OF SEATS
1 OF 1	DINING (UNCONCENTRATED)	835 SQ.FT.	1:15	56	55
1 OF 1	DINING (STANDING)	54 SQ.FT.	1:5	8	-
1 OF 1	KITCHEN	941 SQ.FT.	1:200	5	-
1 OF 1	RESTROOMS	133 SQ.FT.	-	-	-
1 OF 1	UNOCCUPIED AREAS*	976 SQ.FT.	-	-	-
TOTAL NUMBER OF OCCUPANTS:				69	-

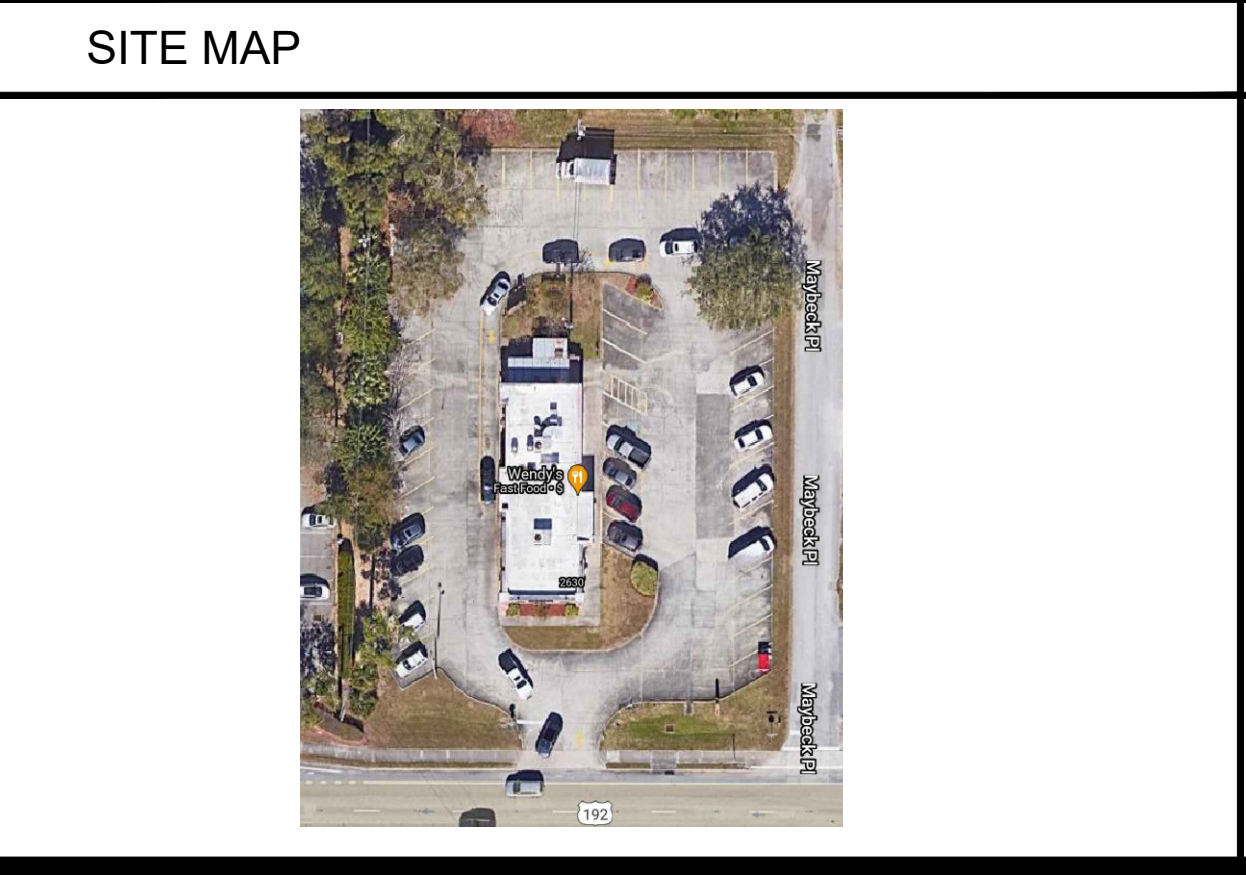
* UNOCCUPIED AREAS INCLUDE: FREEZER/COOLER, WALLS, CLOSET, HALLWAY, AND VESTIBULE
 ** BOOTH (FIXED SEATING CALCULATIONS BASED ON LENGTH OF BOOTHS: 1 PER 24" OF BOOTH LENGTH.

EGRESS CALCULATION:			
TOTAL OCCUPANTS	INCH PER OCCUPANT	EGRESS WIDTH REQUIRED:	EGRESS WIDTH PROVIDED:
69	0.20"	14"	96" TOTAL
TOTAL EXITS REQUIRED:		2	TOTAL EXITS PROVIDED: 3
EGRESS WIDTH PROVIDED PER EXIT: 32"			
THE LOSS OF ONE REQUIRED MEANS OF EGRESS SHALL NOT REDUCE THE EGRESS CAPACITY TO LESS THAN 50% OF REQUIRED.			

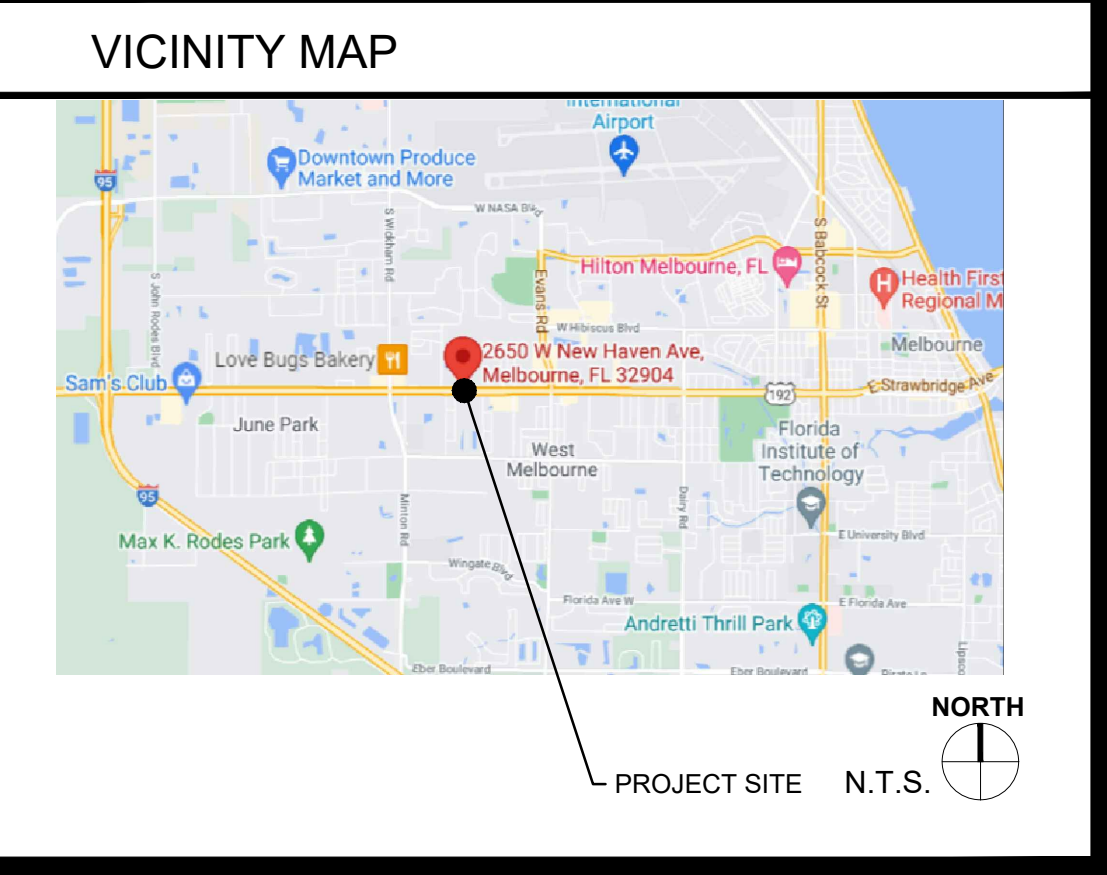
FIRE RESISTIVE REQUIREMENTS:	
EXTERIOR BEARING WALL(0 HOUR)
ROOF CONSTRUCTION(0 HOUR)
CEILING(0 HOUR)

FIRE SPRINKLERS:	FIRE ALARM:	NO SYSTEM REQUIRED
NO	NO	NO

SHEET INDEX		REVISION				
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SP3	SPECIFICATIONS					
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SP5	MECHANICAL SPECIFICATIONS					
SP6	ELECTRICAL SPECIFICATIONS					



PROJECT TEAM DIRECTORY	
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MEP ENGINEER	ACERTUS GROUP 14817 WEST 95th ST. LENEXA, KANSAS 66215 CONTACT: CHUCK FREEMAN TEL: 913-322-5150
STRUCTURAL ENGINEER	RONALD A ROBERTS ASSOCIATES, INC 2948 N STEMMONS FREEWAY DALLAS, TX 75247 CONTACT: CRAIG BAILEY TEL: 214-637-6299



SITE NUMBER:	01325
BUILDING TYPE:	3076
ASSET TYPE:	FREE STANDING
CLASSIFICATION:	REFRESH
OWNER:	STARBOARD
BASE VERSION:	2021 SUMMER
UPGRADE CLASSIFICATION:	N/A
PROJECT YEAR:	2021
DESIGN TYPE:	(2.0) UM BRIGHT
DRAWING RELEASE:	SUMMER 2021

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STARBOARD GROUP
 12540 W. ATLANTIC BLVD.
 CORAL SPRINGS, FL 33071
 OFFICE: (954)255-2266

PROJECT TYPE: 3076
 REFRESH

Wendy's
 #01741 (STARBOARD #463)
 2650 W. NEW HAVEN AVE.
 MELBOURNE, FL 32904



REV.	DATE	DESCRIPTION

ISSUE DATE: 01/17/2021
 PROJECT NUMBER: 21-124
 DRAWN BY:
 CHECKED BY:

SHEET NAME: COVER SHEET
 SHEET NUMBER: G1.1

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