

LOCATION MAP
SCALE: 1" = 1,000'

GENERAL NOTES

- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:
 SURVEY CONTROL POINT ASSOCIATES, INC.
 1600 MANOR DRIVE, SUITE 210
 CHALFONT, PA 18914
 ENTITLED "BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY"
 FILE NO.: 02-210106-00
 DATED: 04/12/2021
- OWNER: HIGHGLEN PINEVILLE QUAKERTOWN, ASSOCIATES, L.P.
 1780 SWEDE ROAD
 BLUE BELL, PA 19422
- APPLICANT: AB III, LLC
 C/O AGMAN PARTNERS
 1780 SWEDE ROAD
 BLUE BELL, PA 19422
- CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL SPECIFIC RESOURCES, TECHNICAL REPORTS, AND DESIGN DOCUMENTS RELATED TO THIS PROJECT AND FAMILIARIZE HIMSELF WITH THE SAME FOR APPLICATION BOTH PRIOR TO AND DURING CONSTRUCTION.
- ALL ELEVATIONS ARE SHOWN IN ACCORDANCE WITH THE REFERENCED BENCHMARK AND MUST BE VERIFIED BY GENERAL CONTRACTOR PRIOR TO GROUND BREAK.
- PARCEL DATA: APN 36-017-001-003
- ALL A.D.A. ACCESSIBLE PARKING SPACES, RAMPS, AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET CURRENT REQUIREMENTS, AS NEEDED.
- ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
- FEATURES TO BE REMOVED ARE NOTED (TBR).

SURVEY NOTES

- PROPERTY KNOWN AS T.M.P. 36-017-001-003 AS IDENTIFIED ON THE TAX MAPS OF RICHLAND TOWNSHIP, BUCKS COUNTY, COMMONWEALTH OF PENNSYLVANIA.
- AREA = 68,033 S.F. OR 1.562 AC.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUTS DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- THIS PLAN IS BASED ON INFORMATION PROVIDED, BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN). PER REF. #2.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).

TEMPORARY BENCH MARKS SET:
 TBM-1: MAG NAIL SET IN CONC. CURB
 ELEVATION=523.77
 TBM-2: MAG NAIL SET IN CONC. CURB
 ELEVATION=525.10

PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
 9. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 10. BUILDING DIMENSIONS SHOWN HEREON ARE MEASURED AT GROUND LEVEL OF BUILDING EXTERIOR.

LEGEND
EXISTING

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
SETBACK LINE	---
PARKING SETBACK LINE	---
BUILDING	[Symbol]
RETAINING WALL	[Symbol]
CONCRETE CURB	[Symbol]
FLUSH CURB	[Symbol]
TREELINE	[Symbol]
CONTOUR	[Symbol]
CONCRETE MONUMENT/IRON PIN	[Symbol]
SIGN	[Symbol]
PARKING COUNT	[Symbol]
AREA LIGHT	[Symbol]
TREE	[Symbol]
DRAINAGE INLET	[Symbol]
STORM/SANITARY MANHOLE	[Symbol]
WATER/GAS VALVES	[Symbol]
ROOF DRAIN/CLEANOUT	[Symbol]
UTILITY POLE W/LIGHT	[Symbol]
UTILITY POLE	[Symbol]
OVERHEAD UTILITY WIRES	[Symbol]
ELECTRIC LINE	[Symbol]
WATER LINE	[Symbol]
SANITARY SEWER	[Symbol]
STORM PIPE	[Symbol]
TOPO SPOTS	[Symbol]

LEGEND
TO BE REMOVED

CONCRETE CURB	---
CONTOUR	---
ACCESSIBLE SYMBOL	[Symbol]
SIGN	[Symbol]
PARKING COUNT	[Symbol]
TREE	[Symbol]
TOPO SPOTS	[Symbol]

LEGEND
PROPOSED

LIMIT OF DISTURBANCE	---
SAWCUT	---

UTILITIES

THE FOLLOWING COMPANIES WERE NOTIFIED BY PENNSYLVANIA ONE-CALL SYSTEM, INC. (1-800-242-1776) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER: 20210852146

UTILITY COMPANY	PHONE NUMBER
BUCKS COUNTY WATER & SEWER	215-750-0585
COMCAST CABLEVISION	215-961-3800
MILFORD TWP	215-536-2090
MILFORD-TRUMBACHERS SEWER	215-538-1417
PP&L	610-774-3213
QUAKERTOWN BOROUGH	610-865-5001
RICHLAND TOWNSHIP, BUCKS COUNTY	215-536-4066
RICHLAND TOWNSHIP, CAMBRIA COUNTY	814-266-2922
SERVICE ELECTRIC CABLEVISION (SVC)	610-865-9100
UGI	610-866-0951
VERIZON	215-968-0025

THE FOLLOWING WAIVERS HAVE BEEN REQUESTED FROM RICHLAND TOWNSHIP BOARD OF SUPERVISORS:

FROM SECTION 22 - TO WAIVE LAND DEVELOPMENT PROCESS DUE TO THE LIMITED SCOPE OF WORK.

- ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE ENGINEER OF RECORD'S RESPONSIBILITY. IN THE EVENT OF ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
- ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON OFF-AND TO THE AFFECTED PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER.
- IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS OR THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY AND IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE OWNER AND ENGINEER OF RECORD AND BOHLER. THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER AND COMPLIANT REMOVAL OF SAME.
- THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT BE USED OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT SPECIFIC WRITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION.
- THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND RESULTS TO THE ENGINEER OF RECORD AND THE OWNER.
- EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE, NECESSARY AND REQUIRED GOVERNMENTAL AUTHORITIES. PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM, AND/OR ANY DEMOLITION ACTIVITIES, THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION AND OPERATION OF ALL OF THE REQUIRED PERMIT AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL, STATE, AND LOCAL GOVERNMENTS REQUIRE. THE CONTRACTOR IS ALSO RESPONSIBLE TO CONDUCT AND

DRAWING SHEET INDEX

SHEET TITLE	SHEET NUMBER
EXISTING CONDITIONS/DEMOLITION PLAN	C-201
SITE PLAN	C-301
GRADING PLAN	C-401
LIGHTING PLAN	C-701
NOTES & DETAILS SHEET	C-901

DEMOLITION NOTES

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLAN SPECIFIC NOTES.
- THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES. THE CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
- WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY, THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AND THE FEDERAL, STATE AND LOCAL REGULATIONS.
- THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY CONDITIONS REGARDING ITEMS TO BE DEMOLISHED, REMOVED, AND/OR TO REMAIN.
 - THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
 - THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE EMPLOYED TO ACCOMPLISH THE WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC.
- THE CONTRACTOR MUST PROVIDE ALL METHODS AND MEANS NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, MUST REPAIR ALL DAMAGE TO ALL ITEMS AND FEATURES THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.
- ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, COMPLYING WITH ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY AND TO ALL PROPERTY ON THE SITE OR ADJACENT OR NEAR TO THE SAME.
 - THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH MUST INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST ENSURE THE SAFETY OF ALL UNAUTHORIZED PERSONS AT ANY TIME, TO OR NEAR THE DEMOLITION AREA.
 - PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY, THE CONTRACTOR MUST, IN WRITING, RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS, ALL CONCERNS OR QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS, AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT. ANY SUCH CONCERNS MUST BE CONVEYED TO THE ENGINEER OF RECORD AND BOHLER, IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO, BY THE ENGINEER OF RECORD AND BOHLER, IN WRITING. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.
 - THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED, REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
 - PRIOR TO COMMENCING ANY DEMOLITION, THE CONTRACTOR MUST:
 - OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND ALL PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.
 - NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION AGENCY AT LEAST 72 BUSINESS HOURS PRIOR TO THE COMMENCEMENT OF WORK.
 - INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
 - IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT, IN ADVANCE OF ANY EXCAVATION.
 - LOCATE AND PROTECT ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES.
 - PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED
 - DURING ANY DEMOLITION ACTIVITIES,
 - ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE ENGINEER OF RECORD'S RESPONSIBILITY. IN THE EVENT OF ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
 - ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON OFF-AND TO THE AFFECTED PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER.
 - IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS OR THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY AND IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE OWNER AND ENGINEER OF RECORD AND BOHLER. THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER AND COMPLIANT REMOVAL OF SAME.
 - THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
 - DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT BE USED OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT SPECIFIC WRITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION.
 - THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND RESULTS TO THE ENGINEER OF RECORD AND THE OWNER.
 - EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE, NECESSARY AND REQUIRED GOVERNMENTAL AUTHORITIES. PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM, AND/OR ANY DEMOLITION ACTIVITIES, THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION AND OPERATION OF ALL OF THE REQUIRED PERMIT AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL, STATE, AND LOCAL GOVERNMENTS REQUIRE. THE CONTRACTOR IS ALSO RESPONSIBLE TO CONDUCT AND

BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	11/9/2021	REV. PER TOWNSHIP REVIEW	CDB	SWG
2	1/12/2022	REV. FOR BID SET	CDB	SWG

811
 Know what's below.
 Call before you dig.
 PENNSYLVANIA
 YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S PRIVATE OR PUBLIC LAND.
 1-800-242-1776
 www.811.org
 20210852146

NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PY212033
 DRAWN BY: CDB
 CHECKED BY: SWG/MCM
 DATE: 07/28/2021
 CAD ID.: PY212033-SFPD-2A

SITE IMPROVEMENT PLANS

FOR AMPLER DEVELOPMENT

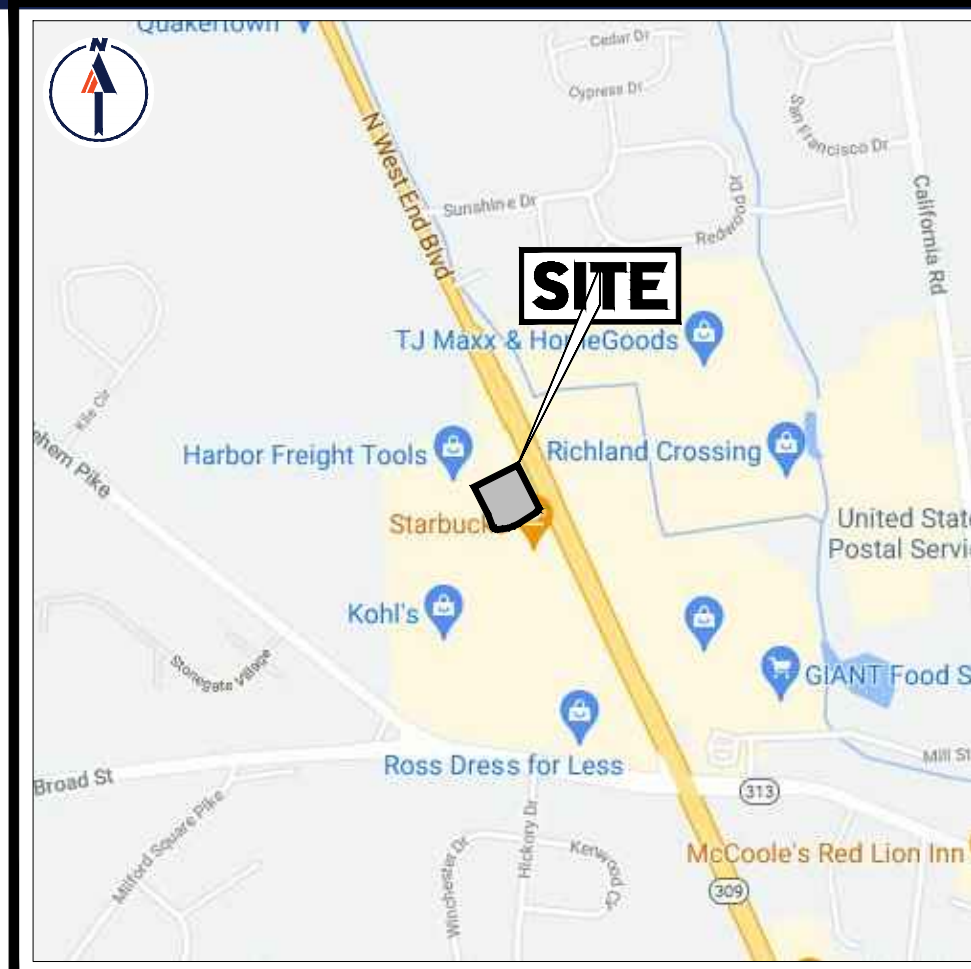
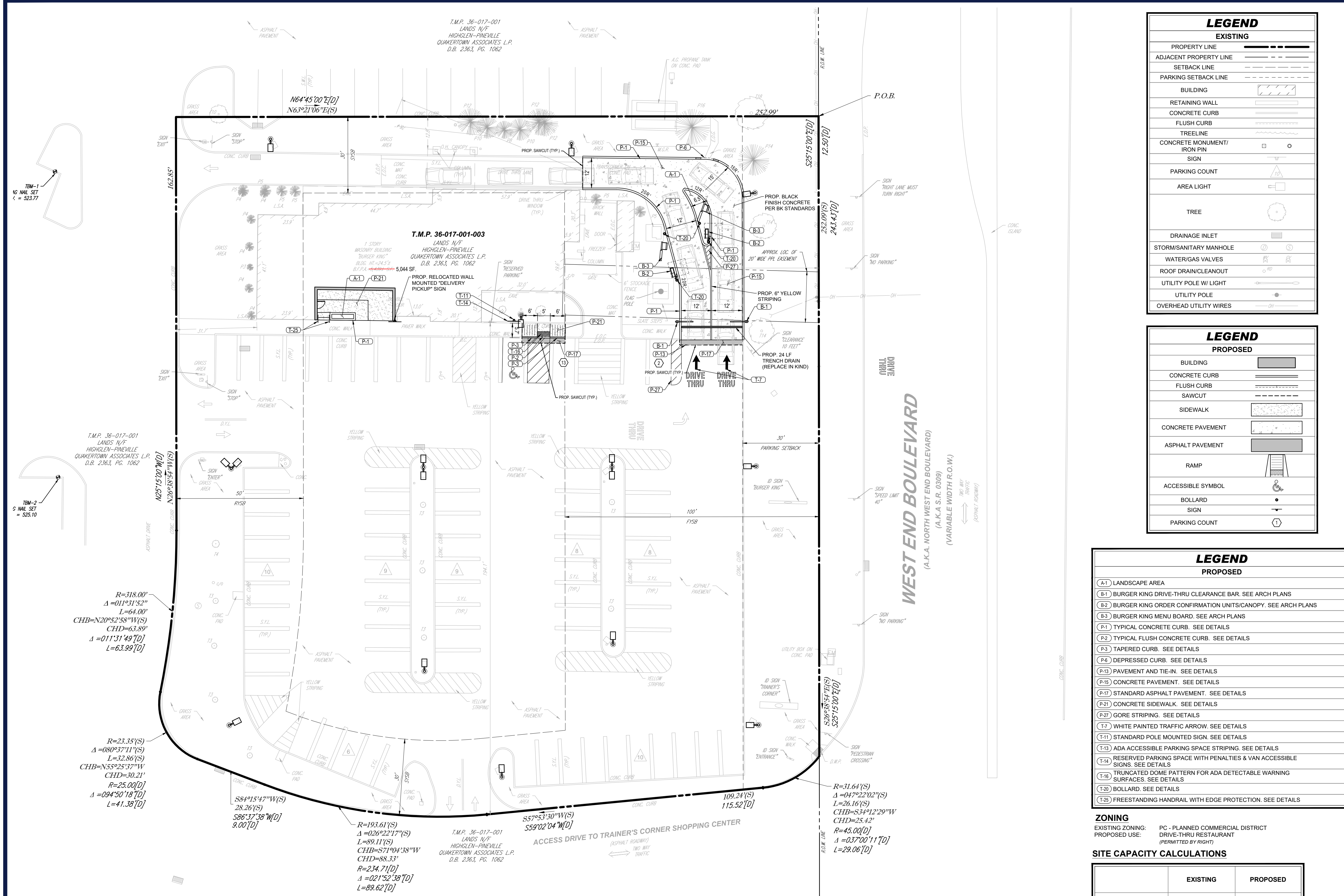
SITE IMPROVEMENT

100 N WEST END BLVD
 QUAKERTOWN, PA 19551
 RICHLAND TOWNSHIP
 BUCKS COUNTY, PENNSYLVANIA

BOHLER
 74 W BROAD STREET, SUITE 500
 BETHLEHEM, PA 18018
 Phone: (610) 709-9971
 Fax: (610) 709-9976
 www.BohlerEngineering.com

M.M. CHARTRAND
 PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE NO. PE071444

SHEET TITLE:
EXISTING CONDITIONS/DEMOLITION PLAN
 SHEET NUMBER:
C-201
 REVISION 2 - 1/12/2022



BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

LEGEND
EXISTING

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
SETBACK LINE	---
PARKING SETBACK LINE	---
BUILDING	[Symbol]
RETAINING WALL	[Symbol]
CONCRETE CURB	[Symbol]
FLUSH CURB	[Symbol]
TREELINE	[Symbol]
CONCRETE MONUMENT/ IRON PIN	[Symbol]
SIGN	[Symbol]
PARKING COUNT	[Symbol]
AREA LIGHT	[Symbol]
TREE	[Symbol]
DRAINAGE INLET	[Symbol]
STORM/SANITARY MANHOLE	[Symbol]
WATER/GAS VALVES	[Symbol]
ROOF DRAIN/CLEANOUT	[Symbol]
UTILITY POLE W/ LIGHT	[Symbol]
UTILITY POLE	[Symbol]
OVERHEAD UTILITY WIRES	[Symbol]

LEGEND
PROPOSED

BUILDING	[Symbol]
CONCRETE CURB	[Symbol]
FLUSH CURB	[Symbol]
SAWCUT	[Symbol]
SIDEWALK	[Symbol]
CONCRETE PAVEMENT	[Symbol]
ASPHALT PAVEMENT	[Symbol]
RAMP	[Symbol]
ACCESSIBLE SYMBOL	[Symbol]
BOLLARD	[Symbol]
SIGN	[Symbol]
PARKING COUNT	[Symbol]

LEGEND
PROPOSED

(A-1) LANDSCAPE AREA
(B-1) BURGER KING DRIVE-THRU CLEARANCE BAR. SEE ARCH PLANS
(B-2) BURGER KING ORDER CONFIRMATION UNITS/CANOPY. SEE ARCH PLANS
(B-3) BURGER KING MENU BOARD. SEE ARCH PLANS
(P-1) TYPICAL CONCRETE CURB. SEE DETAILS
(P-2) TYPICAL FLUSH CONCRETE CURB. SEE DETAILS
(P-3) TAPERED CURB. SEE DETAILS
(P-6) DEPRESSED CURB. SEE DETAILS
(P-13) PAVEMENT AND TIE-IN. SEE DETAILS
(P-15) CONCRETE PAVEMENT. SEE DETAILS
(P-17) STANDARD ASPHALT PAVEMENT. SEE DETAILS
(P-21) CONCRETE SIDEWALK. SEE DETAILS
(P-27) GORE STRIPING. SEE DETAILS
(T-7) WHITE PAINTED TRAFFIC ARROW. SEE DETAILS
(T-11) STANDARD POLE MOUNTED SIGN. SEE DETAILS
(T-13) ADA ACCESSIBLE PARKING SPACE STRIPING. SEE DETAILS
(T-14) RESERVED PARKING SPACE WITH PENALTIES & VAN ACCESSIBLE SIGNS. SEE DETAILS
(T-16) TRUNCATED DOME PATTERN FOR ADA DETECTABLE WARNING SURFACES. SEE DETAILS
(T-20) BOLLARD. SEE DETAILS
(T-25) FREESTANDING HANDRAIL WITH EDGE PROTECTION. SEE DETAILS

LOCATION MAP
 SCALE: 1" = 1,000'

GENERAL NOTES

- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:
 SURVEY CONTROL POINT ASSOCIATES, INC. 1600 MANOR DRIVE, SUITE 210 CHALFONT, PA 18914 ENTITLED: "BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY" FILE NO. 02-210106-00 DATED: 04/12/2021
- OWNER HIGHGLEN PINEVILLE QUAKERTOWN, ASSOCIATES, L.P. 1780 SWIWE ROAD BLUE BELL, PA 19422
- APPLICANT AB III, LLC C/O AGMAN PARTNERS 1780 SWIWE ROAD BLUE BELL, PA 19422
- CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL SPECIFIC RESOURCES, TECHNICAL REPORTS, AND DESIGN DOCUMENTS RELATED TO THIS PROJECT AND FAMILIARIZE HIMSELF WITH THE SAME FOR APPLICATION BOTH PRIOR TO AND DURING CONSTRUCTION.
- ALL ELEVATIONS ARE SHOWN IN ACCORDANCE WITH THE REFERENCED BENCHMARK AND MUST BE VERIFIED BY GENERAL CONTRACTOR PRIOR TO GROUND/BREAK.
- ALL A.D.A. ACCESSIBLE PARKING SPACES, RAMPS, AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET CURRENT REQUIREMENTS, AS NEEDED.
- ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
- FEATURES TO BE REMOVED ARE NOTED (TBR).

SITE LAYOUT NOTES

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY, THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS SPECIFIC NOTES.
- PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY.
- ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS, GUIDELINES, RULES, REGULATIONS, STANDARDS AND THE LIKE.
- THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS, UNLESS NOTED CLEARLY OTHERWISE.

WAIVERS GRANTED AT THE 10/19/21 MEETING OF THE RICHLAND TOWNSHIP PLANNING COMMISSION:

FROM S.A.L.D. SECTION 22 - TO WAIVE THE LAND DEVELOPMENT PROCESS DUE TO THE LIMITED SCOPE OF WORK.

ZONING

EXISTING ZONING:	PC - PLANNED COMMERCIAL DISTRICT
PROPOSED USE:	DRIVE-THRU RESTAURANT (PERMITTED BY RIGHT)

SITE CAPACITY CALCULATIONS

	EXISTING	PROPOSED
SITE AREA	1,562 AC. (68,032.72 SF.)	EXISTING TO REMAIN
PPAL EASEMENT	0.046 AC. (2,015 SF.)	EXISTING TO REMAIN
BASE SITE AREA	1,516 AC. (66,017.72 SF.)	EXISTING TO REMAIN
RECREATION LAND	0.0 AC.	EXISTING TO REMAIN
NET BUILDABLE SITE AREA	1,516 AC. (66,017.72 SF.)	EXISTING TO REMAIN

ZONING DISTRICT REQUIREMENTS

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	1 ACRE	1,562 AC. (68,032.72 SF.)	EXISTING TO REMAIN
MIN. LOT WIDTH	50 FT.	271.88 FT.	EXISTING TO REMAIN
MIN. YARD SETBACKS			
FRONT	100 FT.	72.9 FT. (ENC)	EXISTING TO REMAIN
SIDE YARD (EA)	30 FT.	29.2 FT (ENC) / 194.1 FT.	EXISTING TO REMAIN
REAR	50 FT.	31.7 FT. (ENC)	EXISTING TO REMAIN
PARKING SETBACK FROM R.O.W.	30 FT.	30 FT.	EXISTING TO REMAIN
MAX. BUILDING HEIGHT	35 FT.	24.5 FT.	EXISTING TO REMAIN
MAX. IMPERVIOUS COVERAGE	85%	70.42% (46,489.82 SF.)	71.69% (47,329.64 SF.)
MAX. FLOOR AREA RATIO	40%	8.0% (5,439 SF.)	7.4% (5,044 SF.)

(ENC) - EXISTING NON CONFORMING
 *IMPERVIOUS COVERAGE IS BASED ON THE NET BUILDABLE AREA OF 66,017.72 SF.

ENVIRONMENTAL PERFORMANCE STANDARDS

PER THE RICHLAND TOWNSHIP ZONING ORDINANCE, SECTION 27-51.1:

RESOURCE	ACRES OF LAND IN RESOURCES	PERMITTED RESOURCE DISTURBANCE	AREA OF PROTECTION	AREA OF DISTURBANCE
FLOODWAY	0.0 AC.	0%	N/A	0.00 AC. (0%)
100 YEAR FLOODPLAIN	0.0 AC.	20%	N/A	0.00 AC. (0%)
STEEP SLOPES				
8% - 15%	0.0 AC.	40%	N/A	0.00 AC. (0%)
15% - 25%	0.0 AC.	30%	N/A	0.00 AC. (0%)
25% OR MORE	0.0 AC.	15%	N/A	0.00 AC. (0%)
WOODLANDS	0.0 AC.	20%	N/A	0.00 AC. (0%)
LAKES AND PONDS	0.0 AC.	0%	N/A	0.00 AC. (0%)
WATERCOURSE	0.0 AC.	0%	N/A	0.00 AC. (0%)
WETLANDS	0.0 AC.	5%	N/A	0.00 AC. (0%)

PARKING REQUIREMENTS

REQUIRED	PROVIDED
RESTAURANT WITH DRIVE-UP WINDOW SERVICE - 1 SPACE PER 100 SF. OF GFA	(5,439 GFA / 100 = 54.39) = 54 SPACES
	75 SPACES

NUISANCE STANDARDS

- §27-531 NOISE**
 THE PROPOSED USE WILL BE IN CONFORMANCE WITH §27-531 FOR NOISE LEVEL REQUIREMENTS AS OUTLINED ASSOCIATED WITH A COMMERCIAL USE.
- §27-532 SMOKE, ASH, DUST, FUMES, VAPORS AND GASES**
 A. THE USE WILL NOT PROVIDE EMISSION OF SMOKE, ASH, DUST, FUMES, VAPORS OR GASES WHICH VIOLATE THE PENNSYLVANIA AIR POLLUTION CONTROL LAWS OR OTHER REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) OR THE U.S. ENVIRONMENTAL PROTECTION AGENCY.
 B. THE USE WILL NOT PROVIDE EMISSION OF SMOKE, ASH, DUST, FUMES, VAPORS OR GASES WHICH CAN CAUSE ANY DAMAGE TO HUMAN HEALTH, TO ANIMALS, TO VEGETATION, OR TO PROPERTY, OR WHICH CAN CAUSE ANY SOILING OR STAINING OF PERSONS OR PROPERTY AT ANY POINT BEYOND THE LOT LINE OF THE USE CREATING THE EMISSION.
- §27-533 HEAT**
 THE USE WILL NOT PROVIDE HEAT PERCEPTIBLE BEYOND ITS LOT LINES.
- §27-534 ODOR**
 A. THE USE WILL NOT PROVIDE ODOROUS MATTER IN SUCH QUANTITIES AS TO BE OFFENSIVE AT ANY POINT ON OR BEYOND ITS LOT LINES.
- §27-535 GLARE**
 THE USE WILL NOT PRODUCE A STRONG, DAZZLING LIGHT OR A REFLECTION OF A STRONG, DAZZLING LIGHT BEYOND ITS LOT LINES. ALL DEVELOPMENT IS SUBJECT TO THE LIGHTING REQUIREMENTS FOUND IN §27-519.
- §27-536 VIBRATIONS**
 THE USE WILL NOT PRODUCE A VIBRATION WHICH IS TRANSMITTED THROUGH THE GROUND AND IS DISCERNIBLE WITHOUT THE AID OF INSTRUMENTS AT OR AT ANY POINT BEYOND THE LOT LINES, WITH THE EXCEPTION OF VIBRATION PRODUCED AS A RESULT OF TEMPORARY CONSTRUCTION ACTIVITY.
- §27-537 STORAGE AND WASTE DISPOSAL**
 A. THE USE WILL NOT STORE FLAMMABLE OR COMBUSTIBLE LIQUIDS IN EXCESS OF THIRTY (30) GALLONS WITHOUT WRITTEN APPROVAL OBTAINED FROM THE DIRECTOR OF THE PENNSYLVANIA STATE POLICE, FIRE MARSHALL DIVISION. THIS REQUIREMENT SHALL NOT APPLY TO DOMESTIC FUEL OIL HEATING SYSTEMS.
 B. THE USE WILL NOT DEPOSIT MATERIALS OR WASTES ON A LOT IN SUCH FORM OR MANNER THAT THEY MAY BE TRANSPORTED OFF THE LOT BY NATURAL CAUSES OR FORCES, NO SUBSTANCE WHICH CAN CONTAMINATE ANY STREAM OR WATERCOURSE OR OTHERWISE RENDER SUCH STREAM OR WATERCOURSE UNDESIRABLE AS A SOURCE OF WATER SUPPLY OR RECREATION, OR WHICH WILL DESTROY AQUATIC LIFE. BE ALLOWED TO ENTER ANY STREAM OR WATERCOURSE. DISPOSAL OF SEWAGE, SEPTICAGE OR SLUDGE MUST MEET THE REQUIREMENTS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP).
 C. THE USE WILL STORE ALL MATERIALS OR WASTES WHICH MIGHT CAUSE FUMES OR DUST, OR WHICH CONSTITUTE A FIRE HAZARD, OR WHICH MAY BE EDIBLE OR OTHERWISE ATTRACTIVE TO RODENTS OR INSECTS, OUTDOORS ONLY IF ENCLOSED IN CONTAINERS ADEQUATE TO ELIMINATE SUCH HAZARDS.
 D. THE USE WILL NOT BURY OR BURN CONSTRUCTION DEBRIS RESULTING FROM ANY IMPROVEMENT DUE TO A SUBDIVISION AND/OR LAND DEVELOPMENT AND WILL BE WHOLLY CONTAINED IN DUMPSTERS THAT ARE TO BE PERIODICALLY HAULLED OFF THE PROPERTY WITH THE TRASH CONTAINED THEREIN PROPERLY DISPOSED.
- §27-538 RADIOACTIVITY AND ELECTRICAL DISTURBANCE**
 A. THE USE WILL NOT EMIT DANGEROUS OR HARMFUL RADIOACTIVITY, IF ANY USE IS PROPOSED WHICH INCORPORATES THE USE OF RADIOACTIVE MATERIAL, EQUIPMENT, OR SUPPLIES, SUCH USE WILL BE IN STRICT CONFORMITY WITH TITLE 25 OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) RULES AND REGULATIONS.
 B. THE USE WILL NOT PRODUCE AN ELECTRICAL DISTURBANCE WHICH ADVERSELY AFFECTS THE OPERATION OF ANY EQUIPMENT BEYOND ITS PROPERTY LINE. THIS REQUIREMENT SHALL NOT APPLY TO THE ELECTRONIC AND ELECTRICAL EQUIPMENT WHICH MEET THE APPLICABLE STANDARDS OF THE FEDERAL COMMUNICATIONS COMMISSION (FCC), THE UNDERWRITERS LABORATORIES (UL), AND THE ELECTRONICS INDUSTRIES ASSOCIATION (EIA).

R:\1921\2023\CADD\DRAWINGS\PLAN SET\CIVIL - SITE PLANS\SP121033-SPFD-2A.dwg - LAYOUT: C-301 SITE

REVISIONS

REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	11/9/2021	REV. PER TOWNSHIP REVIEW	CDB	SWG
2	1/12/2022	REV. FOR BID SET	CDB	SWG

811
 Know what's below.
 Call before you dig.
 PENNSYLVANIA
 YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S PRIVATE OR PUBLIC LAND.
 1-800-242-1779
 www.811.org
 20210852146

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: PY212033
 DRAWN BY: CDB
 CHECKED BY: SWG/MMC
 DATE: 07/28/2021
 CAD ID.: PY212033-SPFD-2A

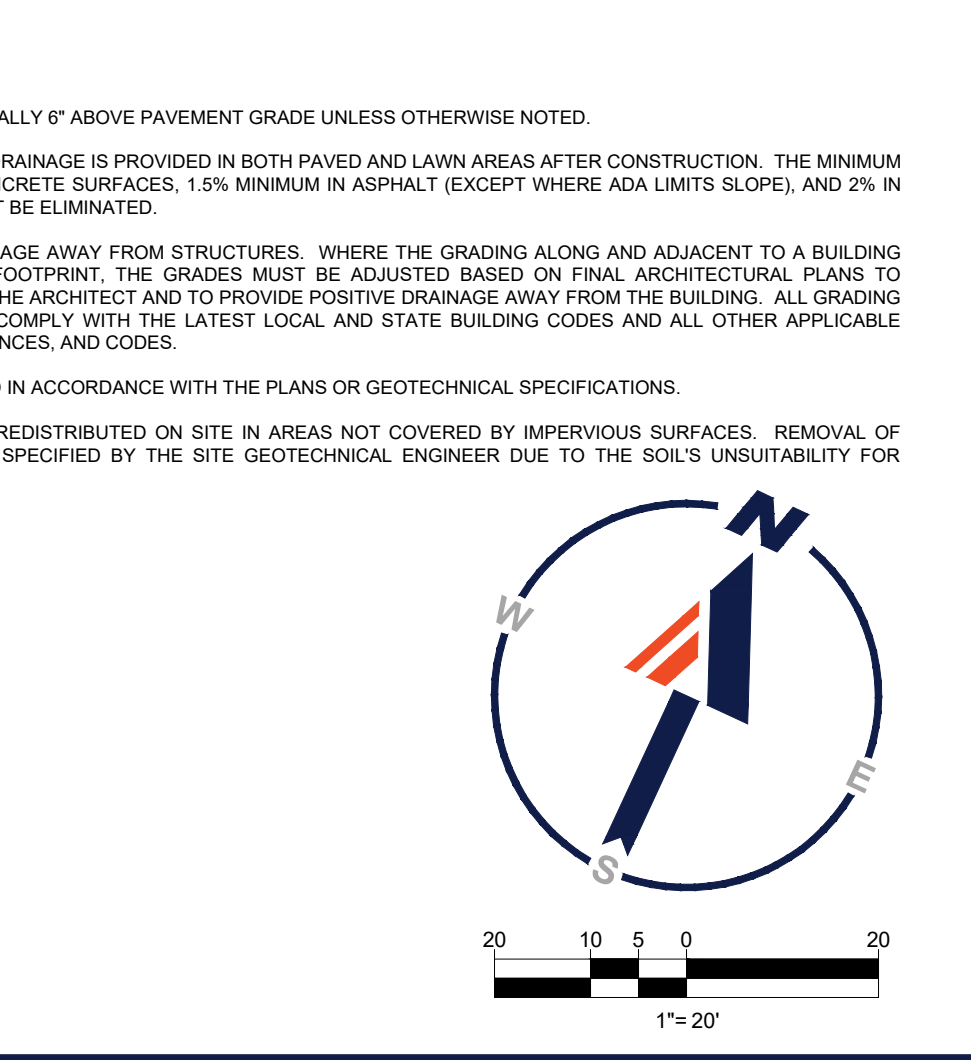
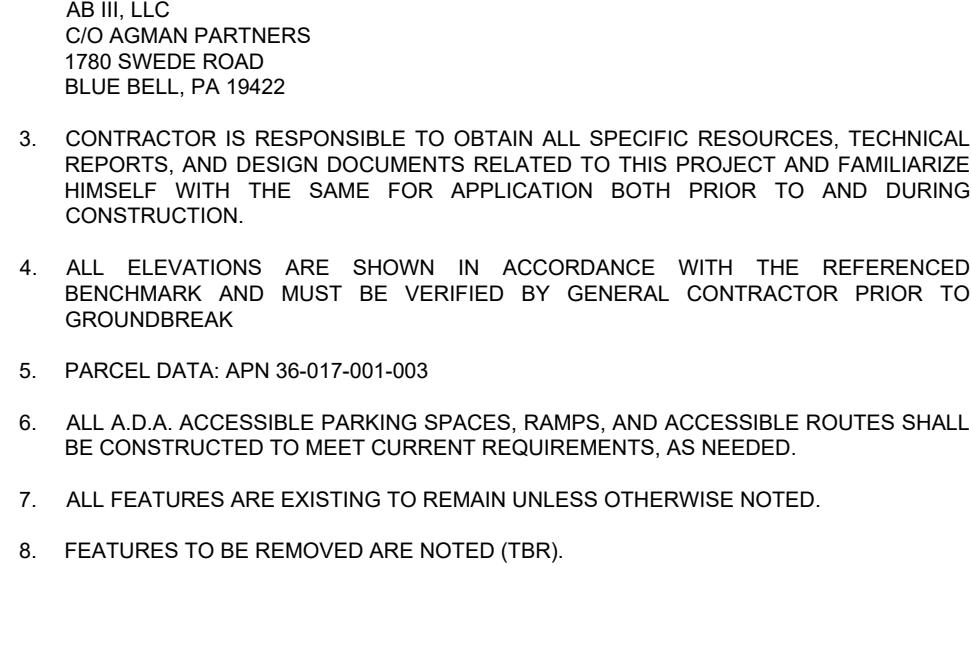
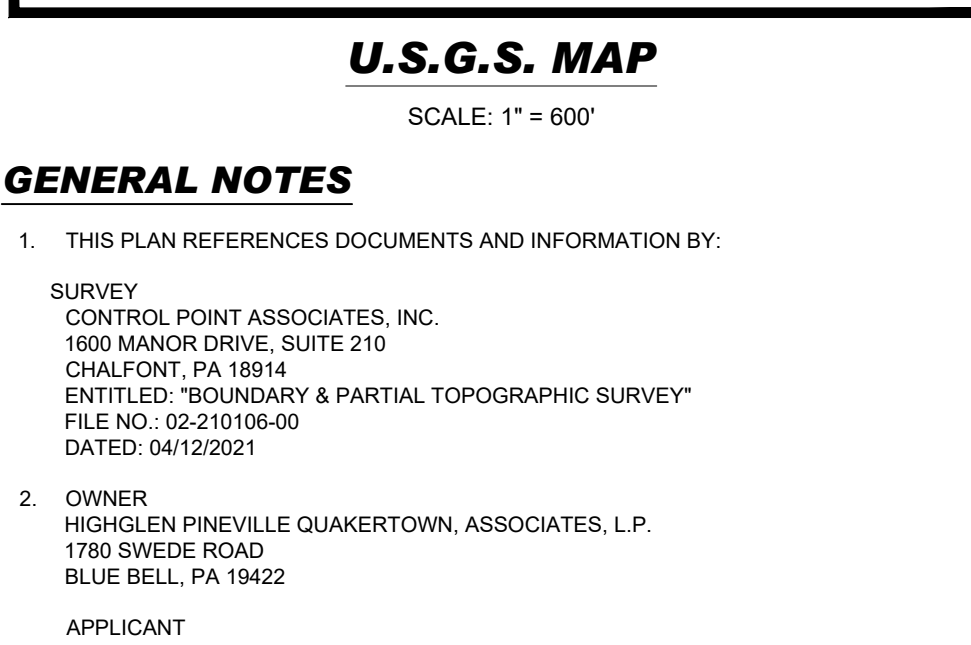
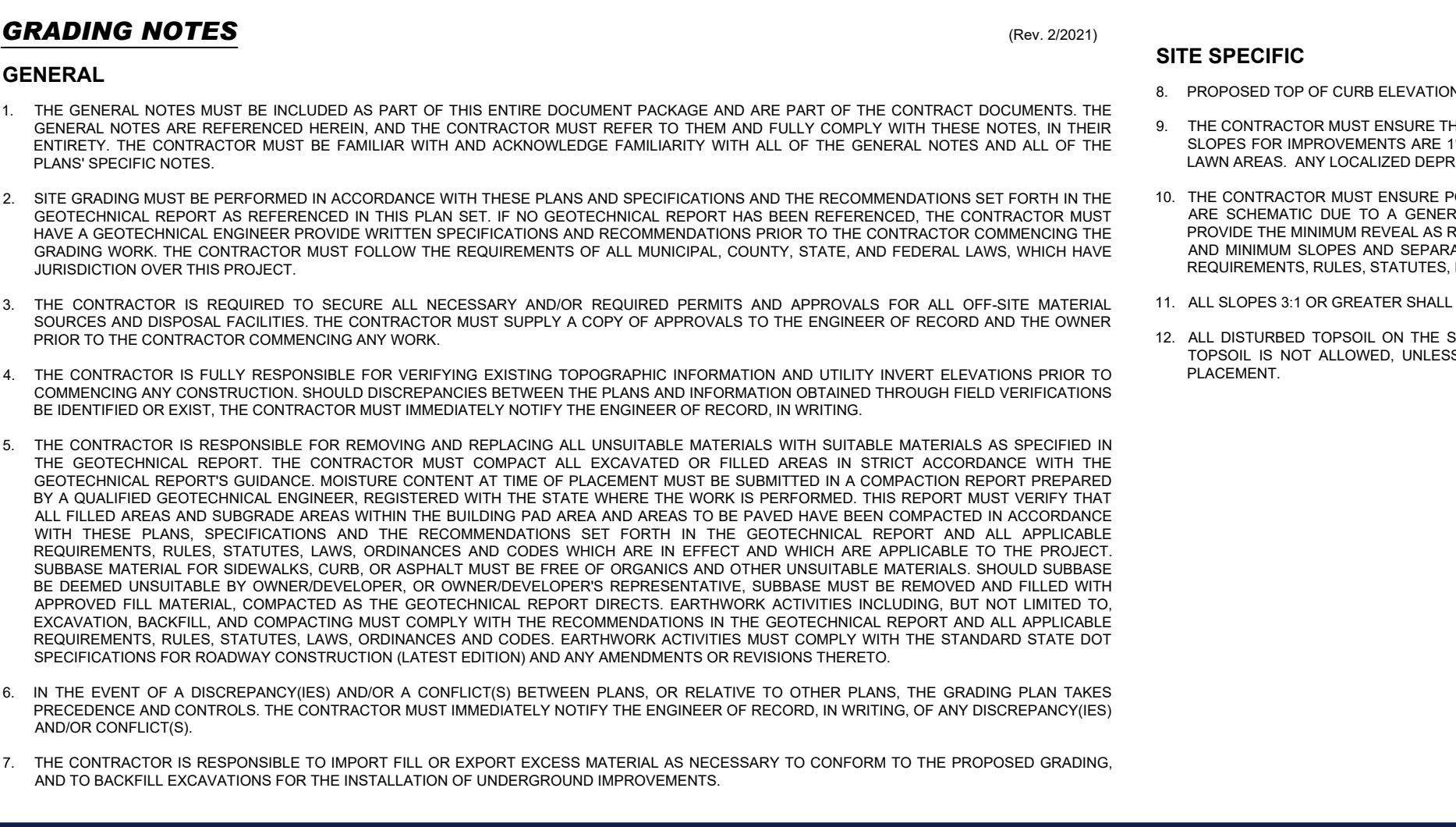
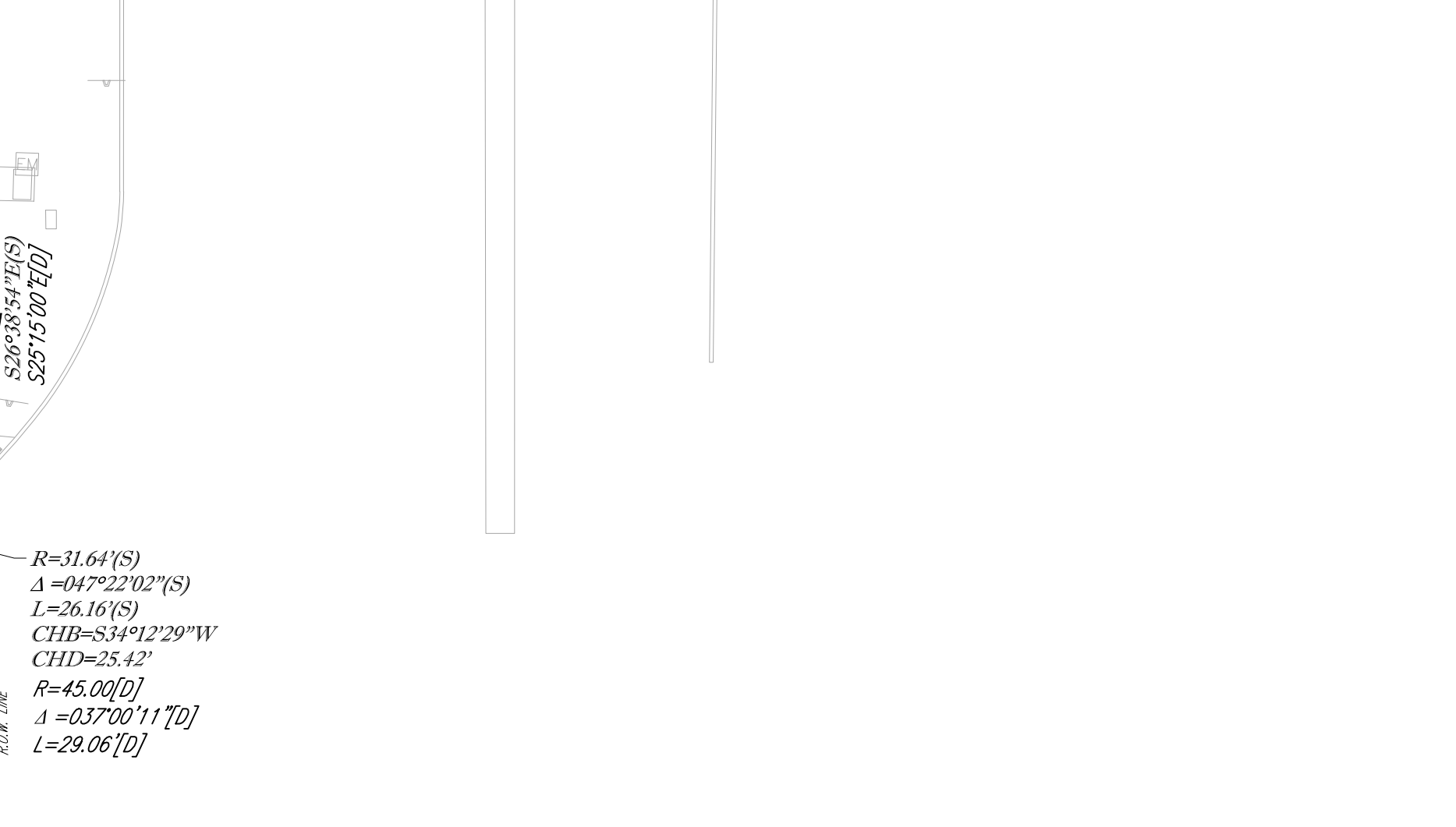
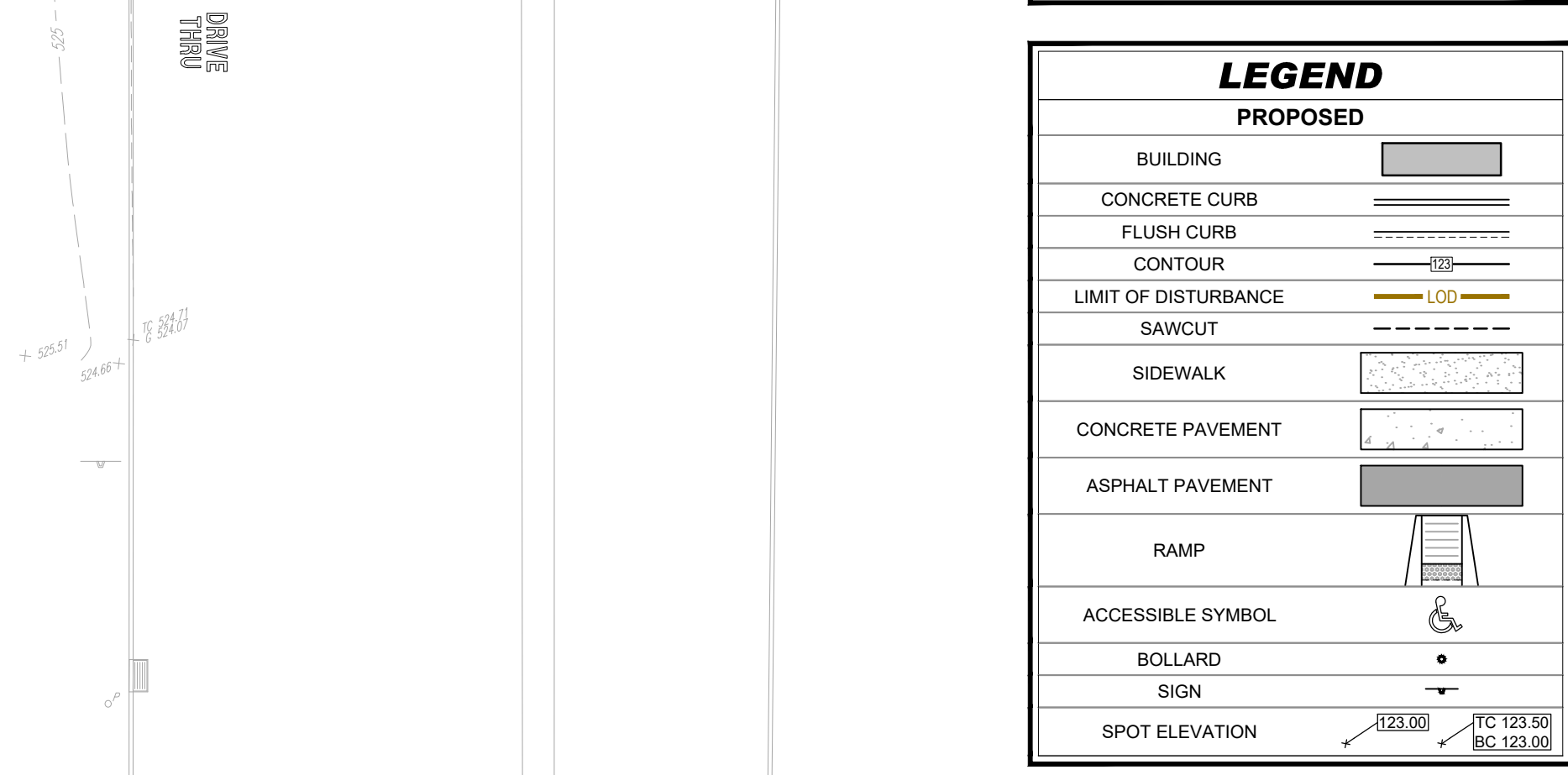
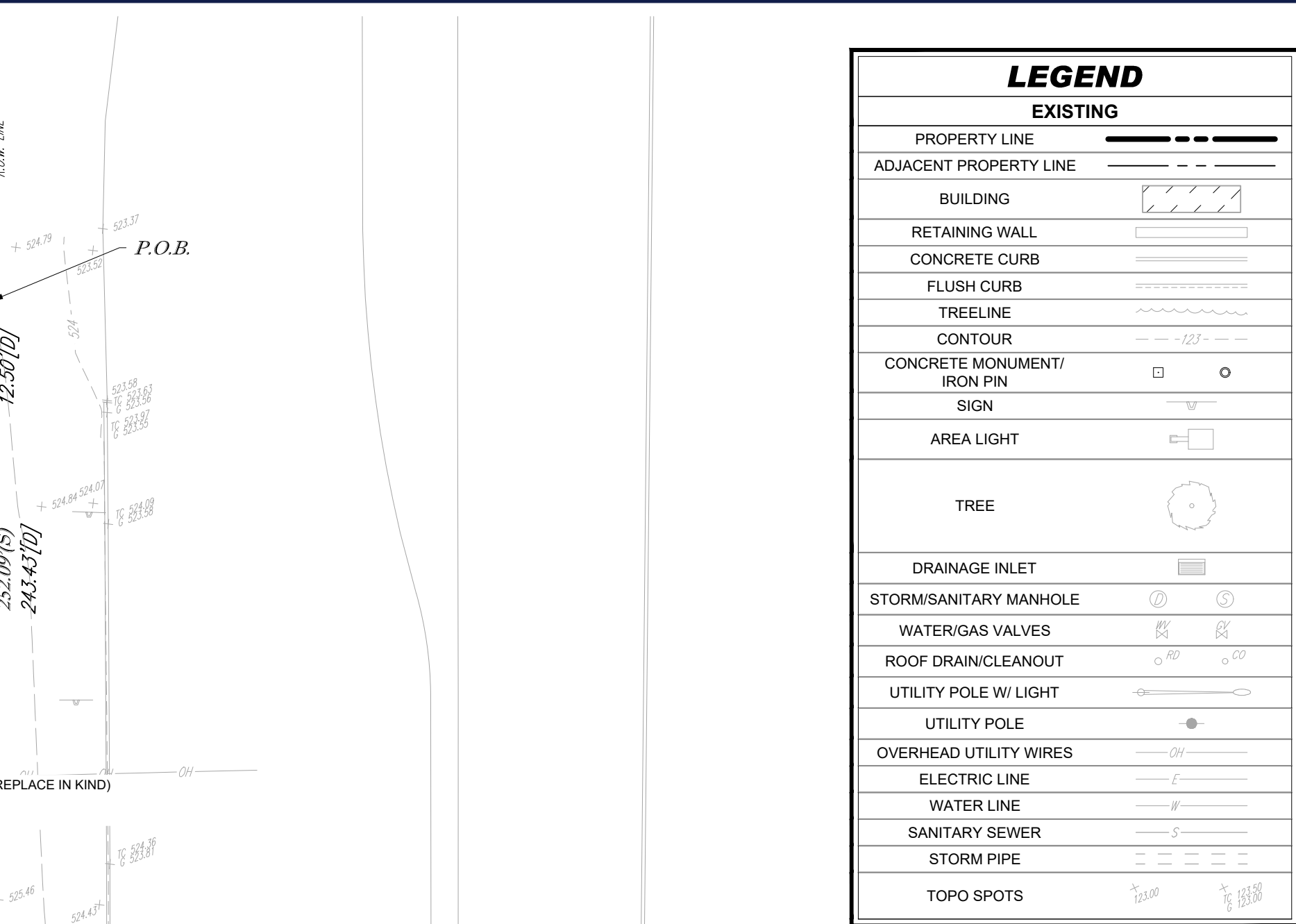
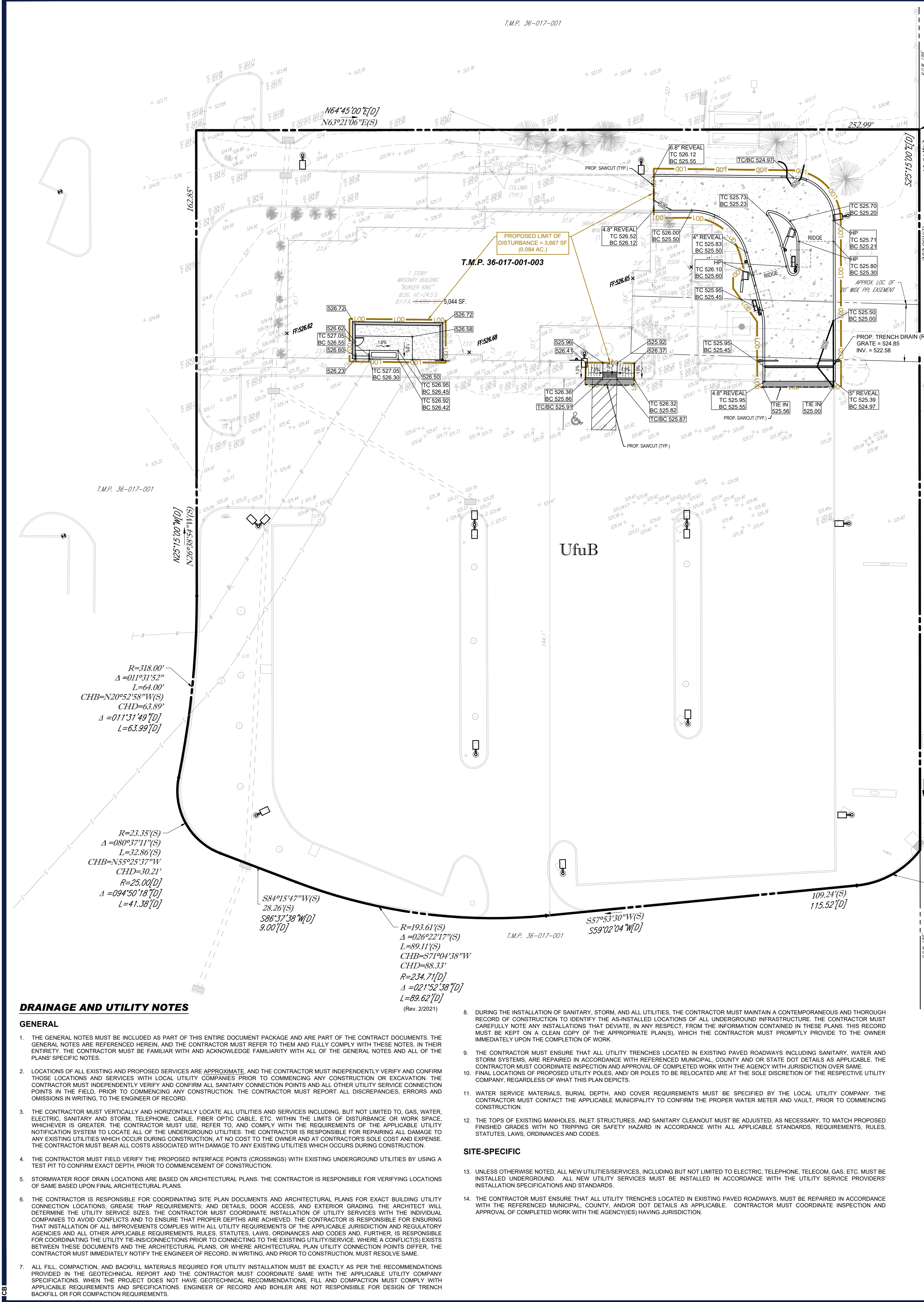
SITE IMPROVEMENT PLANS
 FOR
AMPLER DEVELOPMENT

SITE IMPROVEMENT
 100 N WEST END BLVD
 QUAKERTOWN, PA 19551
 RICHLAND TOWNSHIP
 BUCKS COUNTY, PENNSYLVANIA

BOHLER
 74 W BROAD STREET, SUITE 500
 BETHLEHEM, PA 18018
 Phone: (610) 709-9971
 Fax: (610) 709-9976
 www.BohlerEngineering.com

M.M. CHARTRAND
 PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE NO. PE071444

SHEET TITLE:
SITE PLAN
 SHEET NUMBER:
C-301
 REVISION 2 - 1/12/2022



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	11/9/2021	REV. PER TOWNSHIP REVIEW	CDB
2	1/12/2022	REV. FOR BID SET	SWG

811
Know what's below.
Call before you dig.
PENNSYLVANIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-242-1779
www.811.org
20210852146

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: PY212033
DRAWN BY: CDB
DATE: 07/28/2021
CAD ID.: PY212033-SFPD-2A

SITE IMPROVEMENT PLANS
FOR
AMPLER DEVELOPMENT

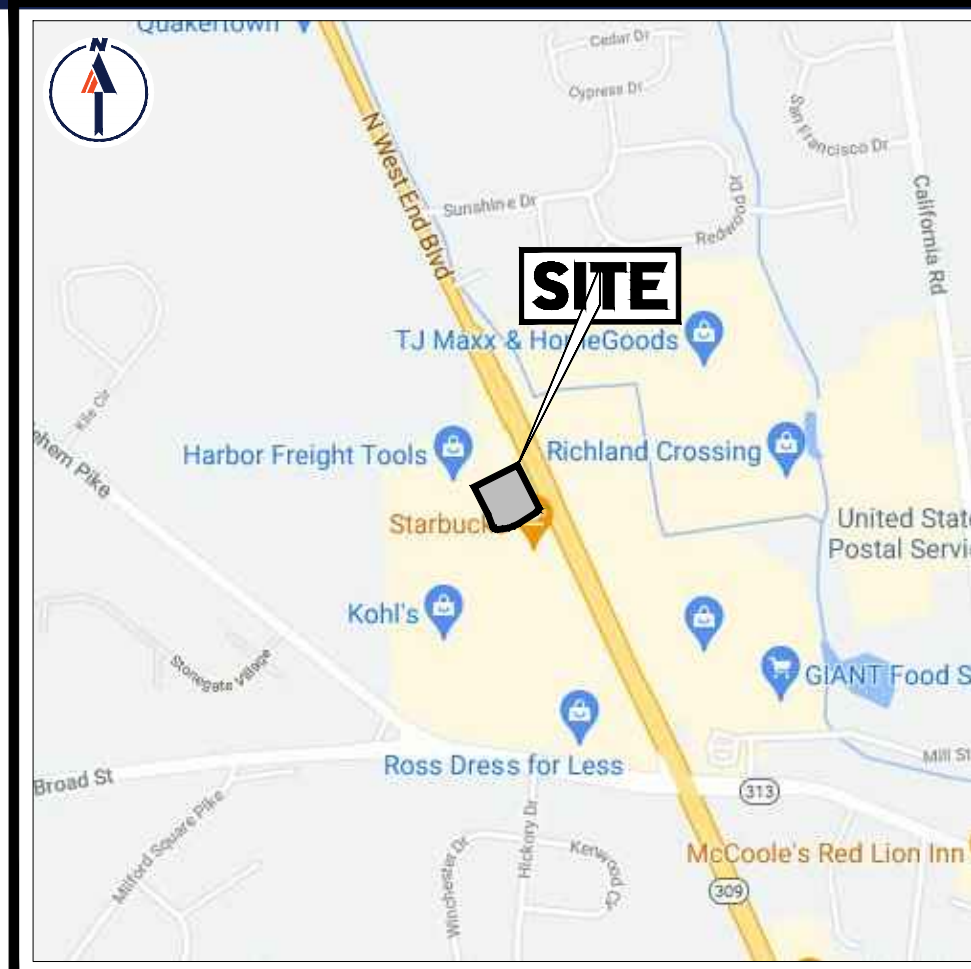
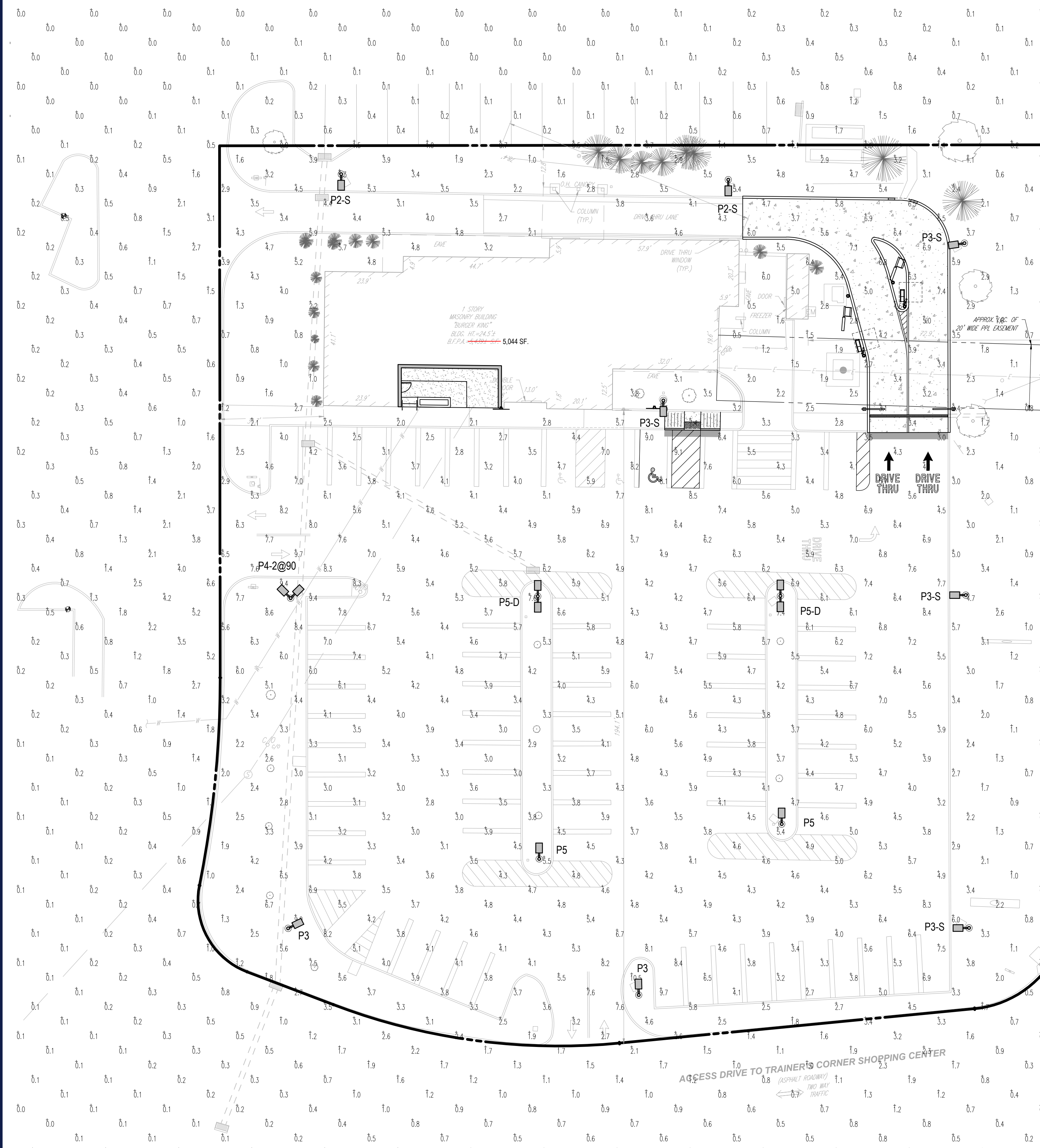
SITE IMPROVEMENT
100 N WEST END BLVD
QUAKERTOWN, PA 18951
RICHLAND TOWNSHIP
BUCKS COUNTY, PENNSYLVANIA

BOHLER
74 W BROAD STREET, SUITE 500
BETHLEHEM, PA 18018
Phone: (610) 709-9971
Fax: (610) 709-9976
www.BohlerEngineering.com

M.M. CHARTRAND
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE No. PE071444

SHEET TITLE:
GRADING PLAN
SHEET NUMBER:
C-401
REVISION 2 - 1/12/2022

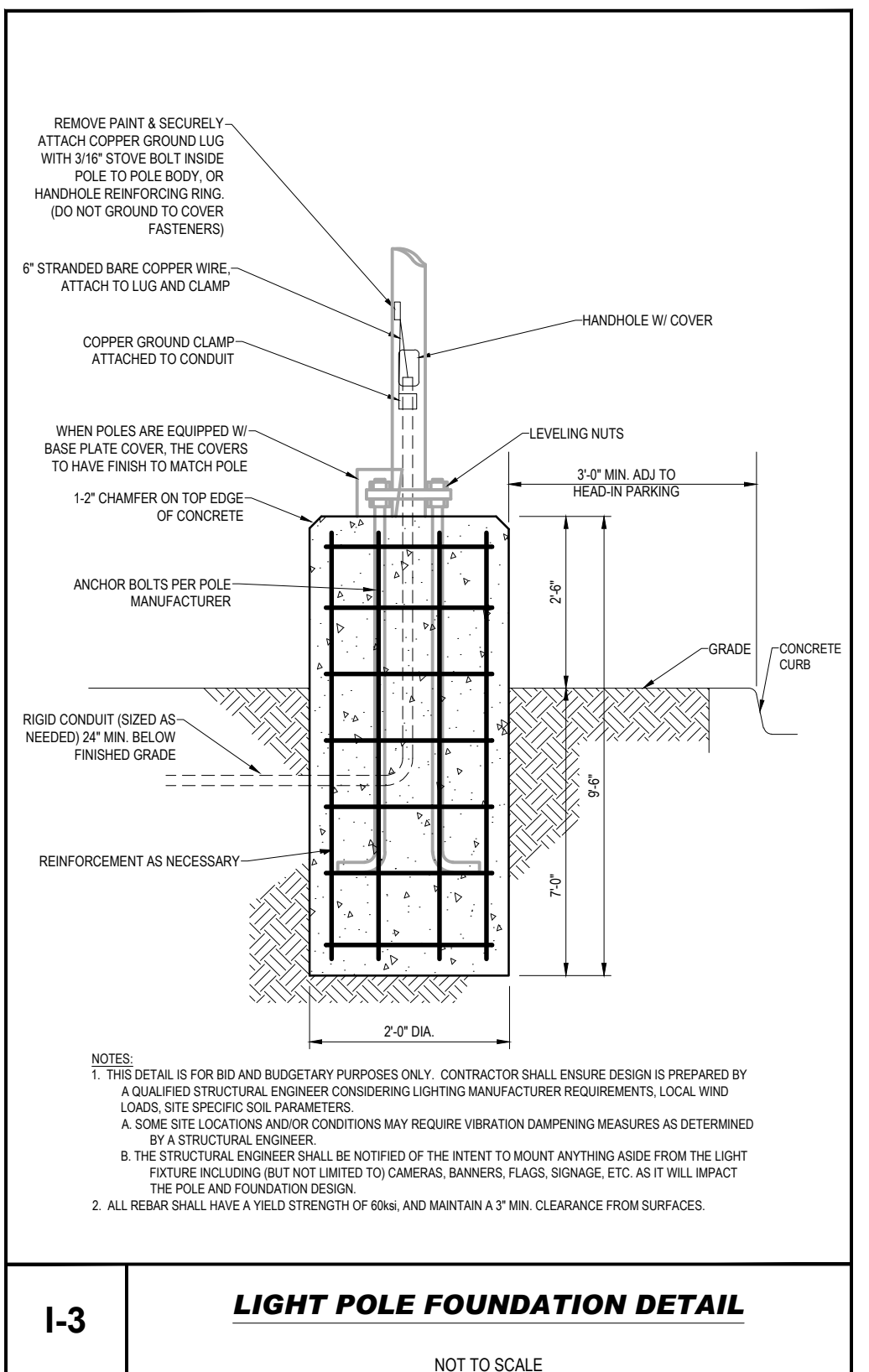
R:\212033\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\PT212033-SFPD-2A.dwg - LAUGHIT - C-401 GRADING



LOCATION MAP
SCALE: 1" = 1,000'

GENERAL LIGHTING NOTES

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE ELECTRICAL CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES IN THEIR ENTIRETY. THE ELECTRICAL CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
2. THE ELECTRICAL CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.
3. THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
4. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN HAVE BEEN ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL ARE UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC).
5. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND REPLACING ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNERS.
6. THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER'S AND/OR ELECTRICAL CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
7. THE ELECTRICAL CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES) TO THE ENGINEER OF RECORDS' ATTENTION, PRIOR TO THE START OF CONSTRUCTION.
8. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND/OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
9. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
10. THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-80-08 TESTING. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE SCHEDULE.
11. WHERE EXISTING POLE LOCATIONS ARE BEING UTILIZED, EXISTING FOUNDATIONS SHOULD NOT BE USED. CONTRACTOR MAY UTILIZE EXISTING WIRING AND CONDUIT IF POSSIBLE. (SEE POLE DETAIL.)
12. WHERE FIXTURES ARE PROPOSED AT NEW LOCATIONS, CONTRACTOR MAY NEED TO DISTURB SOIL OR PAVEMENT TO PROVIDE REQUIRED CONDUIT AND WIRING. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING PAVEMENT AND RESTORING LANDSCAPED AREAS. ALL WORK MUST BE DONE PRIOR TO MOWING AND OVERLAYING TOPSOIL.



1-3 LIGHT POLE FOUNDATION DETAIL
NOT TO SCALE

LUMINAIRE SCHEDULE

LABEL	QTY	MOUNTING HT.	ARRANGEMENT	LUM. LUMENS	LLF	DESCRIPTION	POLE
P2-S	2	24'-6" AFG	SINGLE	22200	0.950	CREE LIGHTING, OSO LED AREA LUMINAIRE SIZE LARGE, TYPE 2 WITH BACKLIGHT SHIELD, ZERO UP LIGHT (OSQ-A-NM-2ME-T-57K-xx-82-w-OSQ-BL.SLF.)OSQ-DA-B2	HERMITAGE LIGHTING, SQUARE STEEL POLE, 22' LENGTH (CL.SSP-4011-22-01-B2)
P3	2	24'-6" AFG	SINGLE	24557	0.950	CREE LIGHTING, OSO LED AREA LUMINAIRE SIZE LARGE, TYPE 3, ZERO UP LIGHT (OSQ-A-NM-3ME-T-57K-xx-82)OSQ-DA-B2	HERMITAGE LIGHTING, SQUARE STEEL POLE, 22' LENGTH (CL.SSP-4011-22-01-B2)
P3-S	4	24'-6" AFG	SINGLE	17500	0.950	CREE LIGHTING, OSO LED AREA LUMINAIRE SIZE LARGE, TYPE 3 WITH BACKLIGHT SHIELD, ZERO UP LIGHT (OSQ-A-NM-3ME-T-57K-xx-82-w-OSQ-BL.SLF.)OSQ-DA-B2	HERMITAGE LIGHTING, SQUARE STEEL POLE, 22' LENGTH (CL.SSP-4011-22-01-B2)
P4-2@90	1	24'-6" AFG	2 @ 90 DEGREES	22100	0.950	CREE LIGHTING, OSO LED AREA LUMINAIRE SIZE LARGE, TYPE 4, ZERO UP LIGHT (OSQ-A-NM-4ME-T-57K-xx-82)OSQ-DA-B2	HERMITAGE LIGHTING, SQUARE STEEL POLE, 22' LENGTH (CL.SSP-4011-22-03-B2)
P5	2	24'-6" AFG	SINGLE	21700	0.950	CREE LIGHTING, OSO LED AREA LUMINAIRE SIZE LARGE, TYPE 5, ZERO UP LIGHT (OSQ-A-NM-5ME-T-57K-xx-82)OSQ-DA-B2	HERMITAGE LIGHTING, SQUARE STEEL POLE, 22' LENGTH (CL.SSP-4011-22-01-B2)
P5-D	2	24'-6" AFG	BACK-BACK	21700	0.950	CREE LIGHTING, OSO LED AREA LUMINAIRE SIZE LARGE, TYPE 5, ZERO UP LIGHT (OSQ-A-NM-5ME-T-57K-xx-82)OSQ-DA-B2	HERMITAGE LIGHTING, SQUARE STEEL POLE, 22' LENGTH (CL.SSP-4011-22-02-B2)

CALCULATION SUMMARY

LABEL	CACTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
ALL POINTS	ILLUMINANCE	Fc	1.61	10.5	0.0	N/A	N/A
DRIVE THRU	ILLUMINANCE	Fc	4.61	7.4	2.1	2.20	3.52
PARKING LOT	ILLUMINANCE	Fc	5.04	9.7	2.5	2.02	3.88

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	11/9/2021	REV. PER TOWNSHIP REVIEW	CDB SWG
2	1/12/2022	REV. FOR BID SET	CDB SWG

811
Know what's below. Call before you dig.
PENNSYLVANIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-888-811-1176
www.811.org
20210852146

NOT APPROVED FOR CONSTRUCTION
THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PY212033
DRAWN BY: CDB
CHECKED BY: SWG/MMC
DATE: 07/28/2021
CAD LID.: PY212033-LIGHT-2A

SITE IMPROVEMENT PLANS

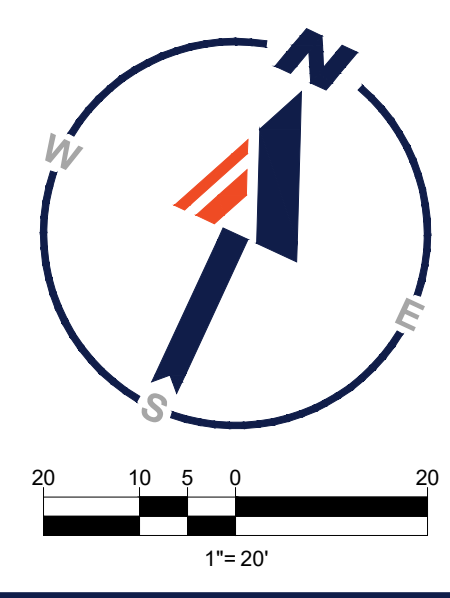
AMPLER DEVELOPMENT

SITE IMPROVEMENT
100 N WEST END BLVD
QUAKERTOWN, PA 18951
RICHLAND TOWNSHIP
BUCKS COUNTY, PENNSYLVANIA

BOHLER
74 W BROAD STREET, SUITE 500
BETHLEHEM, PA 18018
Phone: (610) 709-9971
Fax: (610) 709-9976
www.BohlerEngineering.com

D.T. NORTH
REGISTERED LANDSCAPE ARCHITECT
PENNSYLVANIA LICENSE NO. LA002729

SHEET TITLE:
LIGHTING PLAN
SHEET NUMBER:
C-701
REVISION 2 - 1/12/2022

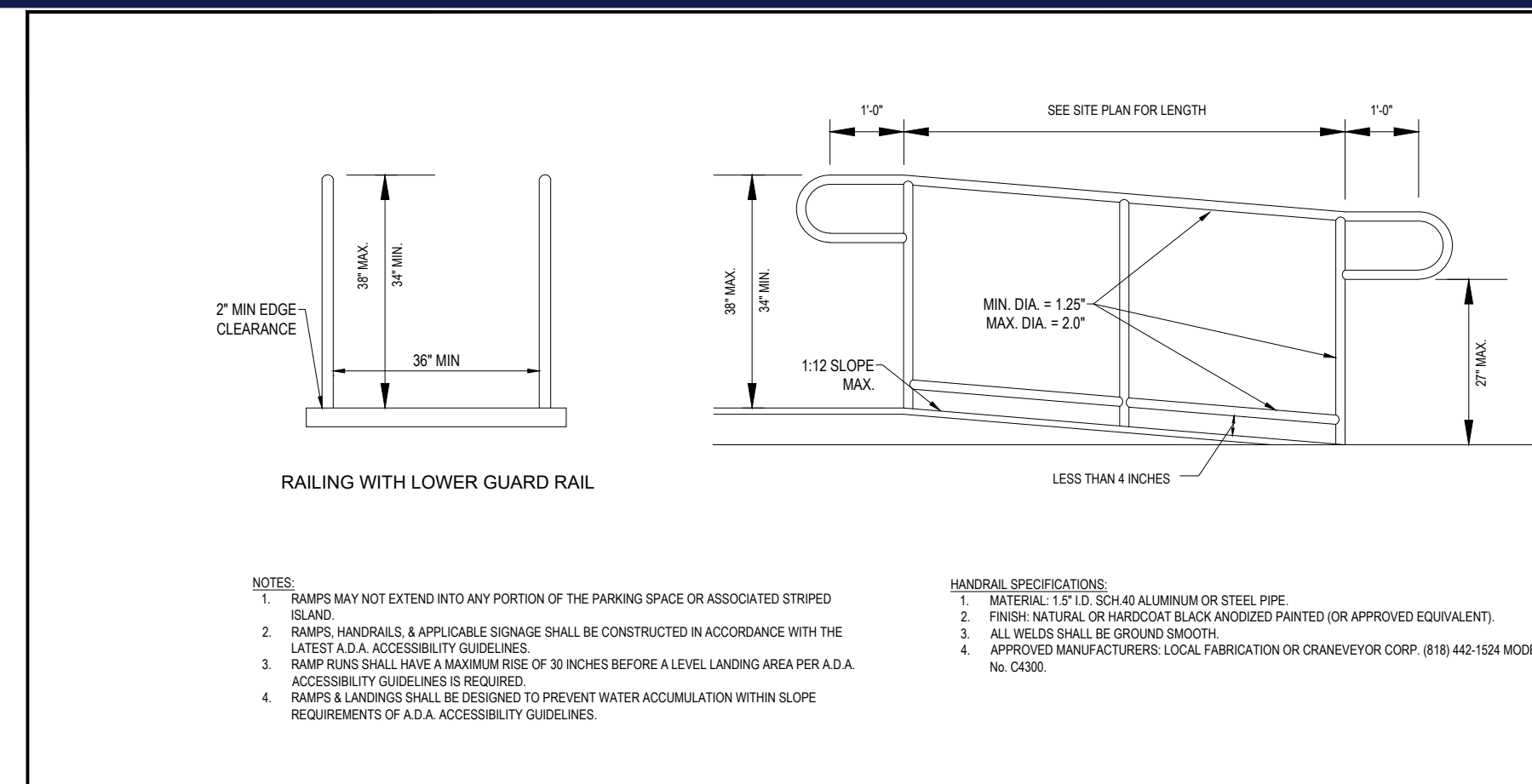


R:\PI212033\CADD\DRAWINGS\PLAN SET\CIVIL - SITE PLANS\PI212033-LIGHT-2A.dwg - LAYOUT: C-701 LIGHT

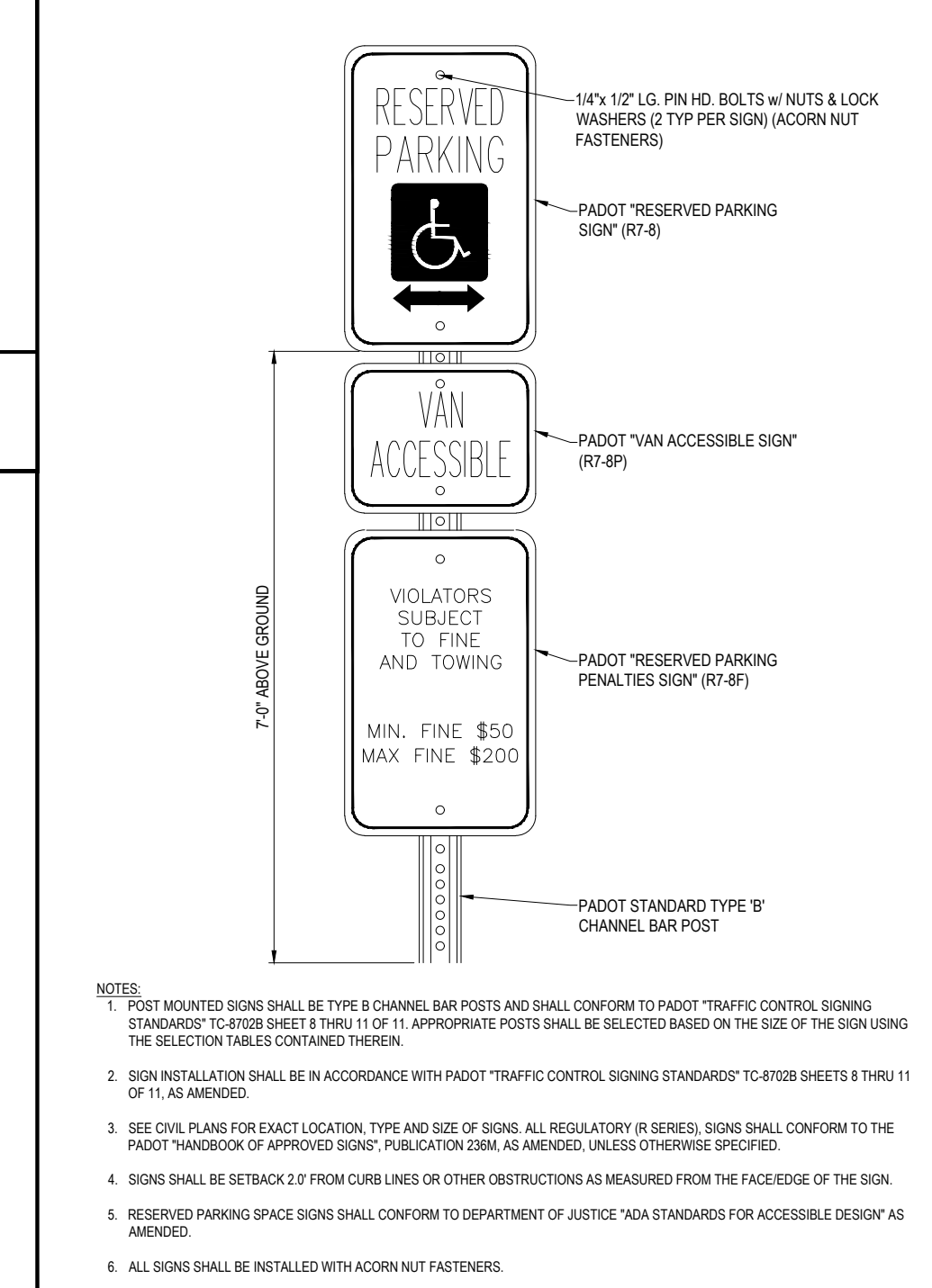
GENERAL NOTES

- 1. THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING, PENNSYLVANIA... 2. THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN... 3. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE ENGINEER OF RECORD AND BOHLER... 4. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS... 5. THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS... 6. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFULLY... 7. CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS... 8. THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS... 9. THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS... 10. THE OWNER AND CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS... 11. WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS, THE GEOTECHNICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS... 12. ENGINEER OF RECORD AND BOHLER ARE NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS... 13. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING... 14. THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ADJACENT TO PAVEMENT, STRUCTURES... 15. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE... 16. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL... 17. THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION... 18. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITIES... 19. THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING, TO THE ENGINEER OF RECORD AND BOHLER, ANY DISCREPANCIES... 20. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE CONTRACTOR'S... 21. ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY... 22. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES... 23. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER, NOR THE PRESENCE OF BOHLER AND/OR ITS PAST, PRESENT AND FUTURE OWNERS... 24. WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER... 25. IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS... 26. THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN ACCORDANCE

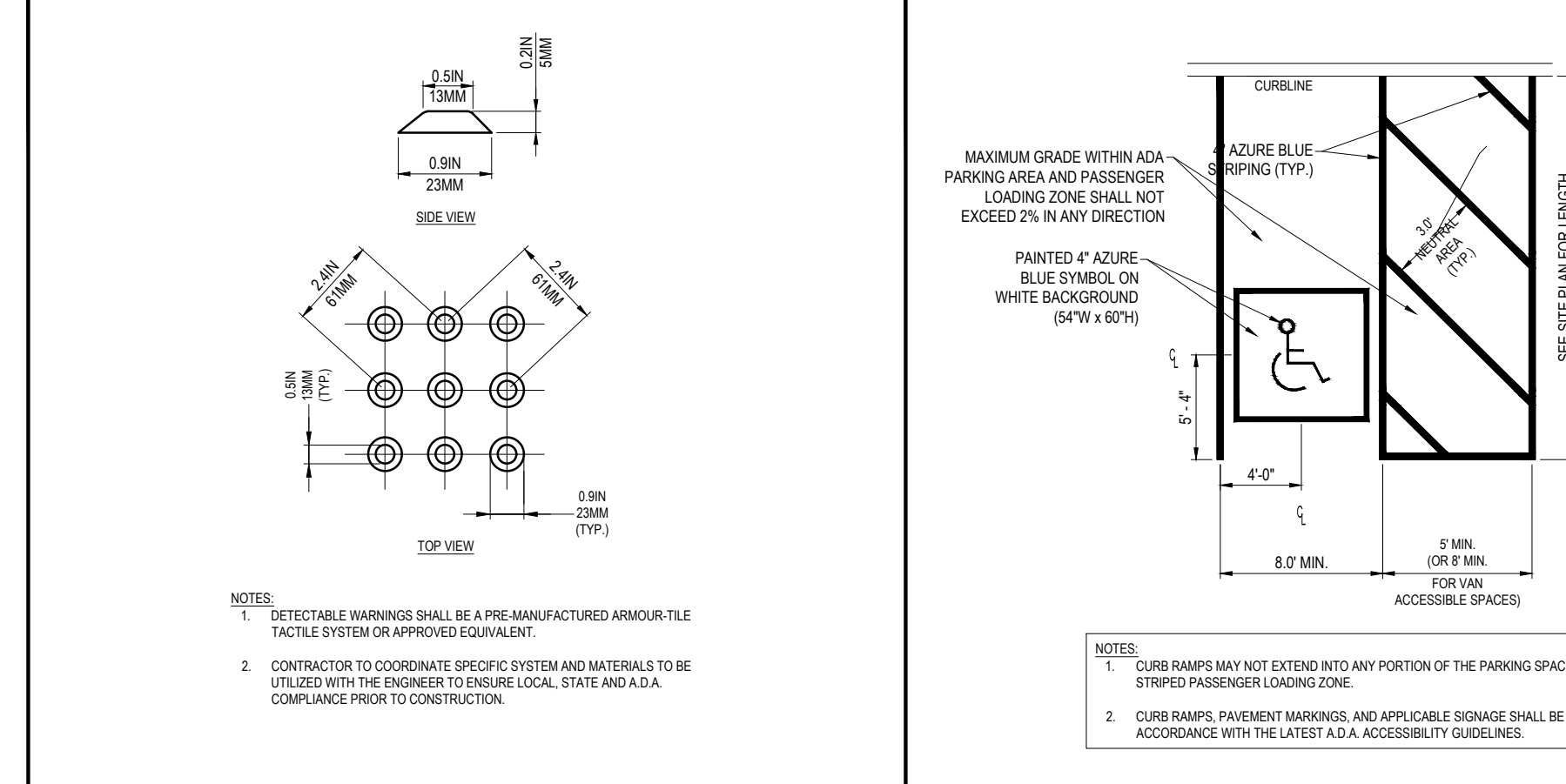
- WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS, FOR ALL WORK THAT REQUIRES PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE... 27. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES... 28. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS... 29. THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS... 30. THE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE... 31. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS... 32. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE ENGINEER OF RECORD AND BOHLER, THE USE OF THE WORDS 'CERTIFY' OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION...



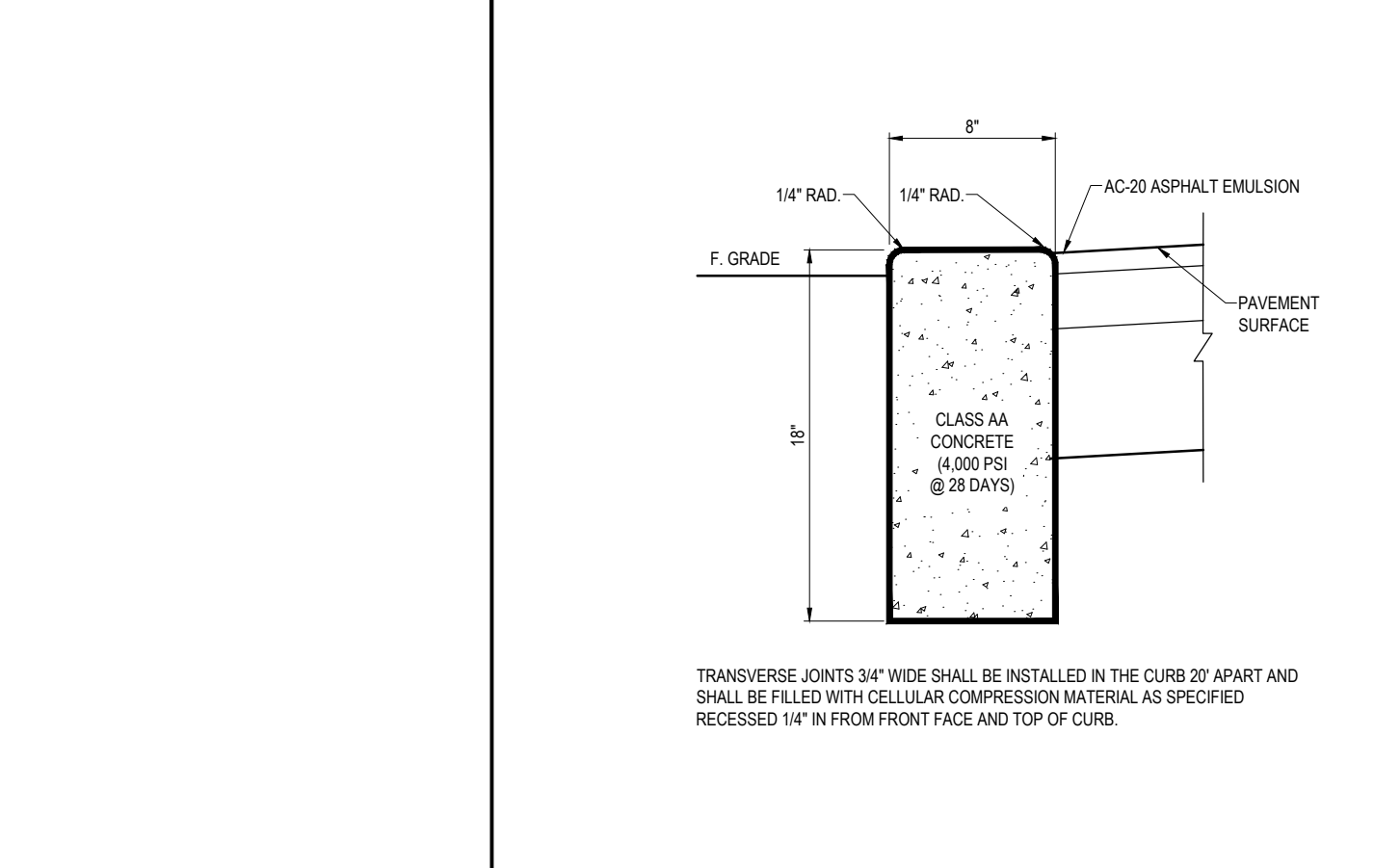
P-27 PAVEMENT GORE STRIPING DETAIL



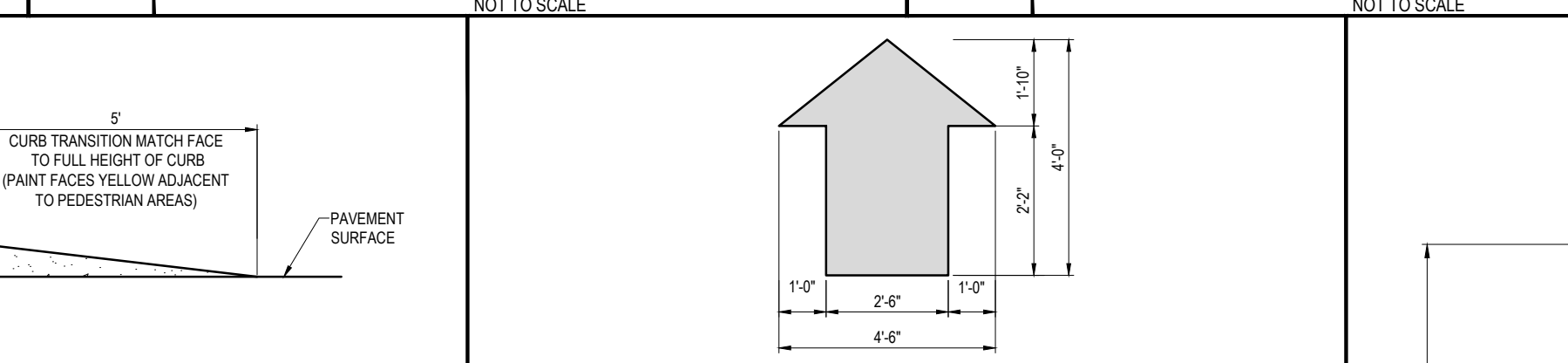
T-25 FREESTANDING HANDRAIL WITH EDGE PROTECTION



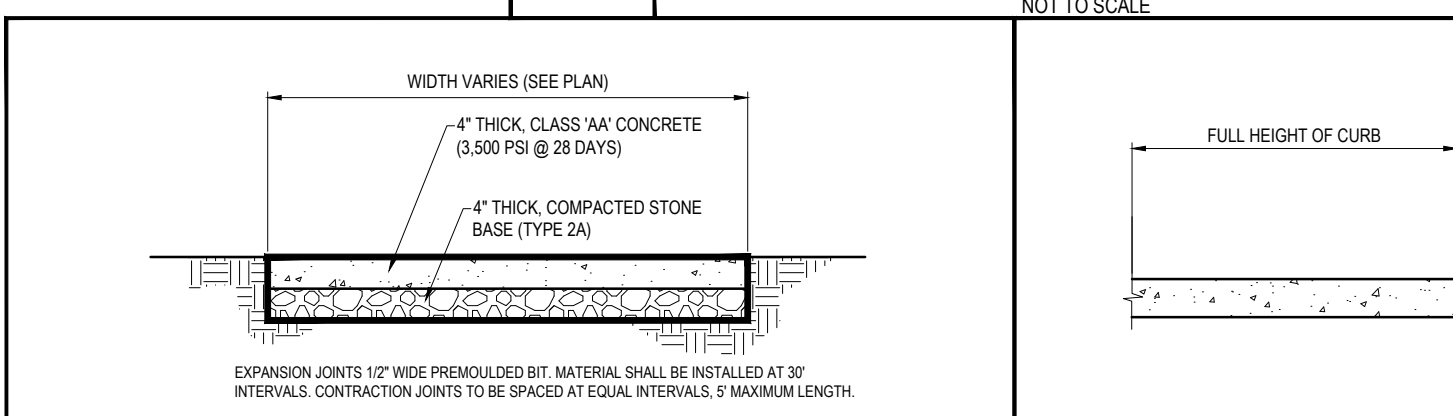
T-16 TYPICAL FLUSH CONCRETE CURB DETAIL



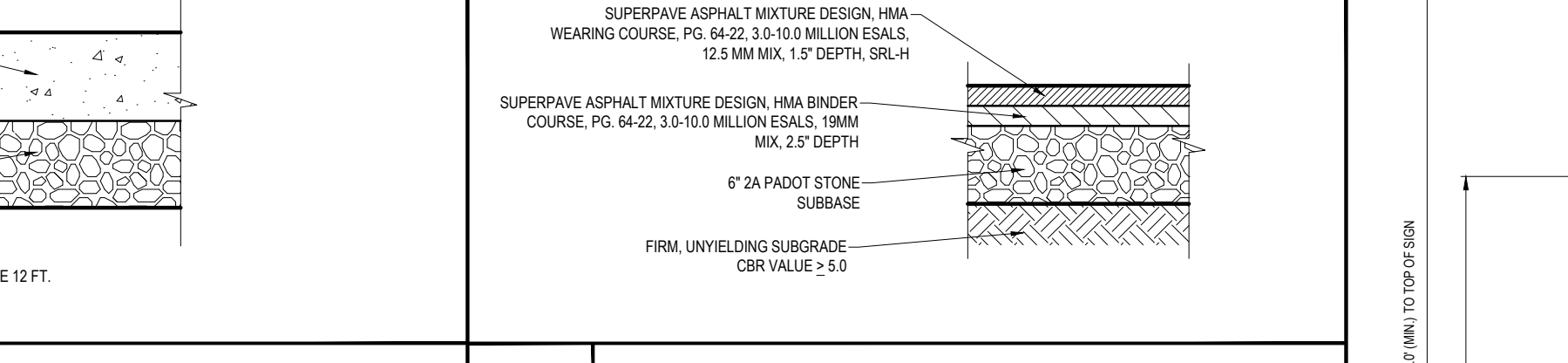
T-13 ADA ACCESSIBLE PARKING SPACE STRIPING (1 SPACE)



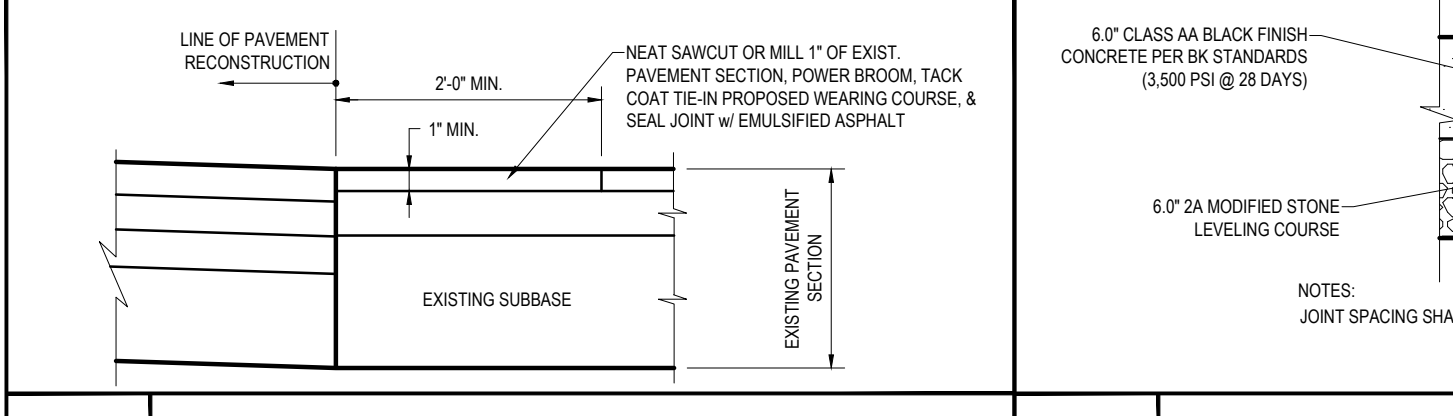
P-21 CONCRETE SIDEWALK DETAIL



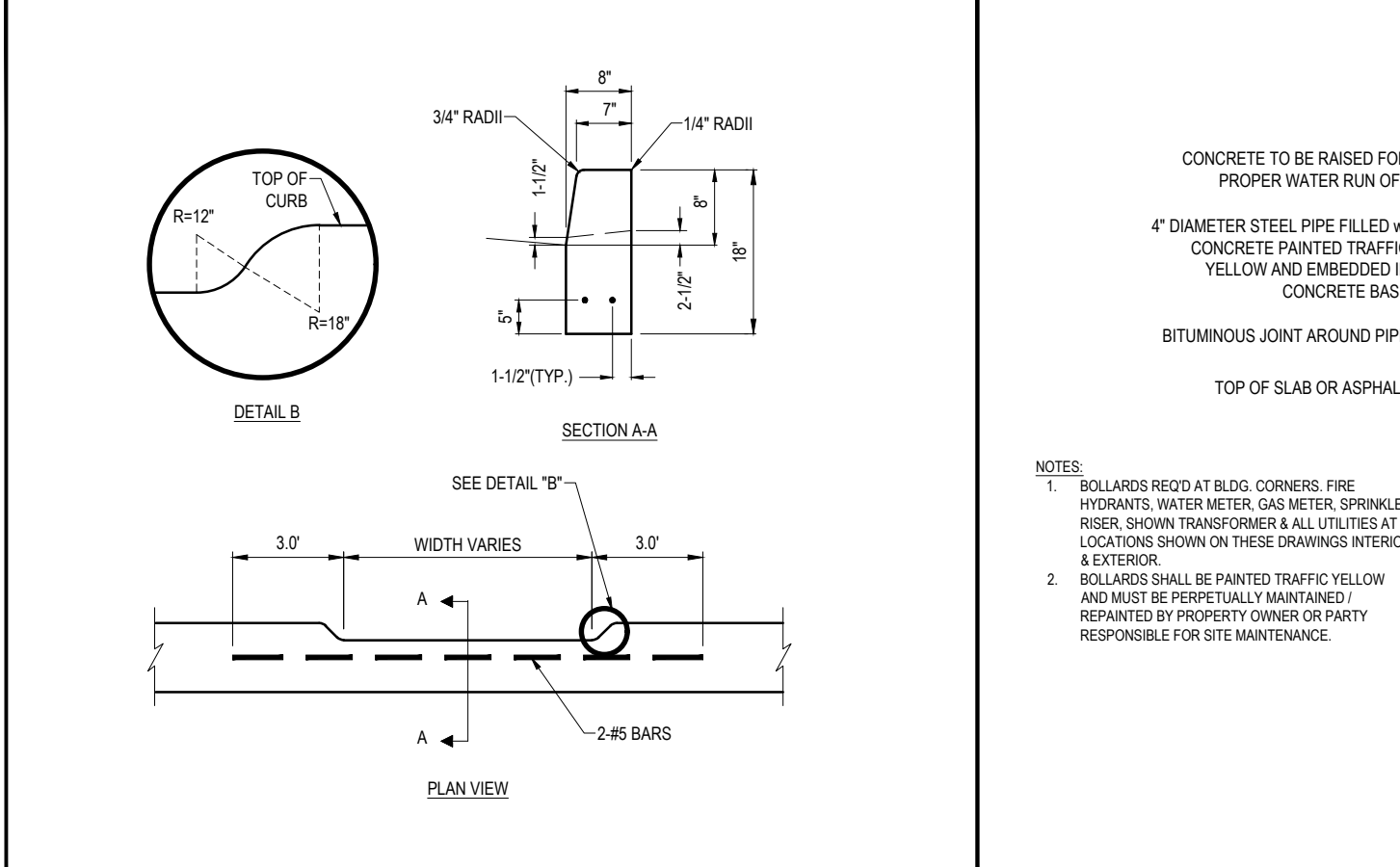
T-7 WHITE PAINTED TRAFFIC ARROW DETAIL



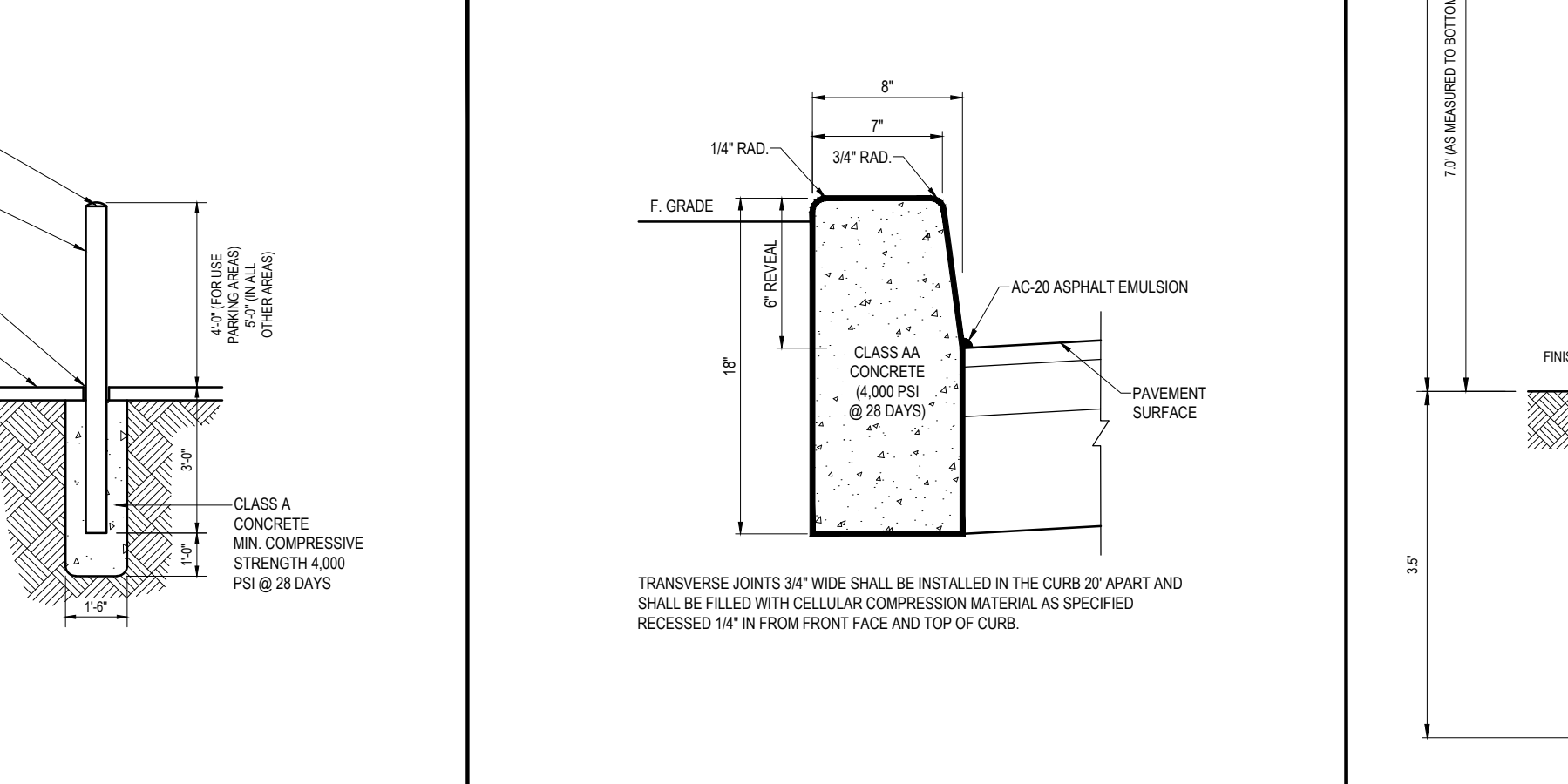
P-3 TAPERED CURB DETAIL



P-13 PAVEMENT TIE-IN DETAIL



P-17 STANDARD ASPHALT PAVEMENT DETAIL



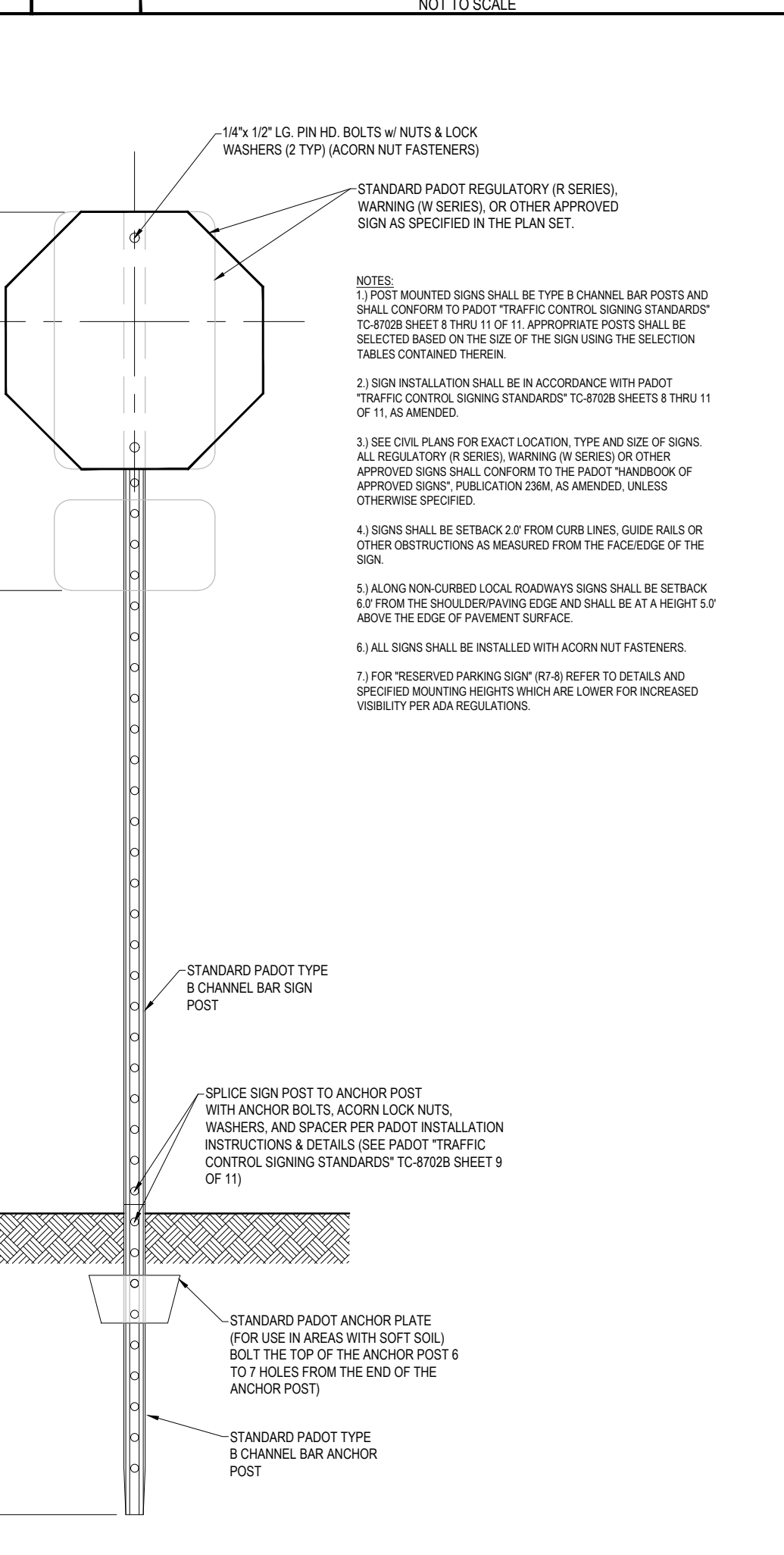
P-6 DEPRESSED CURB DETAIL



T-20 BOLLARD DETAIL



T-14 RESERVED PARKING SPACE WITH PENALTIES & VAN ACCESSIBLE SIGNS



BOHLER logo and contact information: SITE CIVIL AND CONSULTING ENGINEERING, PROGRAM MANAGEMENT, LANDSCAPE ARCHITECTURE, SUSTAINABLE DESIGN, PERMITTING SERVICES, TRANSPORTATION SERVICES. PROJECT: SITE IMPROVEMENT PLANS FOR AMPLER DEVELOPMENT. 100 N WEST END BLVD QUAKERTOWN, PA 19051. 74 W BROAD STREET, SUITE 500 BETHLEHEM, PA 18018. Phone: (610) 709-9971. Fax: (610) 709-9976. www.BohlerEngineering.com. SHEET NUMBER: C-901. REVISION 2 - 1/12/2022.