



LOCATION MAP
SCALE: 1" = 1,000'

GENERAL NOTES

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:
SURVEY CONTROL POINT ASSOCIATES, INC. 1600 MANOR DRIVE, SUITE 210 CHALFONT, PA 18914 ENTITLED: "BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY" FILE NO. 02-210106-00 DATED: 04/12/2021
2. OWNER HIGHGLEN PINEVILLE QUAKERTOWN, ASSOCIATES, L.P. 1780 SWIWE ROAD BLUE BELL, PA 19422
3. CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL SPECIFIC RESOURCES, TECHNICAL REPORTS, AND DESIGN DOCUMENTS RELATED TO THIS PROJECT AND FAMILIARIZE HIMSELF WITH THE SAME FOR APPLICATION BOTH PRIOR TO AND DURING CONSTRUCTION.
4. ALL ELEVATIONS ARE SHOWN IN ACCORDANCE WITH THE REFERENCED BENCHMARK AND MUST BE VERIFIED BY GENERAL CONTRACTOR PRIOR TO GROUNDWORK.
5. PARCEL DATA: APN 36-017-001-003
6. ALL A.D.A. ACCESSIBLE PARKING SPACES, RAMPS, AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET CURRENT REQUIREMENTS, AS NEEDED.
7. ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
8. FEATURES TO BE REMOVED ARE NOTED (TBR).

SITE LAYOUT NOTES

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY, THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS SPECIFIC NOTES.
2. PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY.
3. ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS, GUIDELINES, RULES, REGULATIONS, STANDARDS AND THE LIKE.
4. THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT.
5. ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS, UNLESS NOTED CLEARLY OTHERWISE.

WAIVERS GRANTED AT THE 10/19/21 MEETING OF THE RICHLAND TOWNSHIP PLANNING COMMISSION:

FROM S.A.L.D. SECTION 22 - TO WAIVE THE LAND DEVELOPMENT PROCESS DUE TO THE LIMITED SCOPE OF WORK.

LEGEND

EXISTING

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
SETBACK LINE	---
PARKING SETBACK LINE	---
BUILDING	[Symbol]
RETAINING WALL	[Symbol]
CONCRETE CURB	[Symbol]
FLUSH CURB	[Symbol]
TREELINE	[Symbol]
CONCRETE MONUMENT/ IRON PIN	[Symbol]
SIGN	[Symbol]
PARKING COUNT	[Symbol]
AREA LIGHT	[Symbol]
TREE	[Symbol]
DRAINAGE INLET	[Symbol]
STORM/SANITARY MANHOLE	[Symbol]
WATER/GAS VALVES	[Symbol]
ROOF DRAIN/CLEANOUT	[Symbol]
UTILITY POLE W/ LIGHT	[Symbol]
UTILITY POLE	[Symbol]
OVERHEAD UTILITY WIRES	[Symbol]

LEGEND

PROPOSED

BUILDING	[Symbol]
CONCRETE CURB	[Symbol]
FLUSH CURB	[Symbol]
SAW CUT	[Symbol]
SIDEWALK	[Symbol]
CONCRETE PAVEMENT	[Symbol]
ASPHALT PAVEMENT	[Symbol]
RAMP	[Symbol]
ACCESSIBLE SYMBOL	[Symbol]
BOLLARD	[Symbol]
SIGN	[Symbol]
PARKING COUNT	[Symbol]

LEGEND

PROPOSED

(A-1) LANDSCAPE AREA
(B-1) BURGER KING DRIVE-THRU CLEARANCE BAR. SEE ARCH PLANS
(B-2) BURGER KING ORDER CONFIRMATION UNITS/CANOPY. SEE ARCH PLANS
(B-3) BURGER KING MENU BOARD. SEE ARCH PLANS
(P-1) TYPICAL CONCRETE CURB. SEE DETAILS
(P-2) TYPICAL FLUSH CONCRETE CURB. SEE DETAILS
(P-3) TAPERED CURB. SEE DETAILS
(P-6) DEPRESSED CURB. SEE DETAILS
(P-13) PAVEMENT AND TIE-IN. SEE DETAILS
(P-15) CONCRETE PAVEMENT. SEE DETAILS
(P-17) STANDARD ASPHALT PAVEMENT. SEE DETAILS
(P-21) CONCRETE SIDEWALK. SEE DETAILS
(P-27) GORE STRIPING. SEE DETAILS
(T-7) WHITE PAINTED TRAFFIC ARROW. SEE DETAILS
(T-11) STANDARD POLE MOUNTED SIGN. SEE DETAILS
(T-13) ADA ACCESSIBLE PARKING SPACE STRIPING. SEE DETAILS
(T-14) RESERVED PARKING SPACE WITH PENALTIES & VAN ACCESSIBLE SIGNS. SEE DETAILS
(T-16) TRUNCATED DOME PATTERN FOR ADA DETECTABLE WARNING SURFACES. SEE DETAILS
(T-20) BOLLARD. SEE DETAILS
(T-25) FREESTANDING HANDRAIL WITH EDGE PROTECTION. SEE DETAILS

ZONING
EXISTING ZONING: PC - PLANNED COMMERCIAL DISTRICT
PROPOSED USE: DRIVE-THRU RESTAURANT (PERMITTED BY RIGHT)

SITE CAPACITY CALCULATIONS

	EXISTING	PROPOSED
SITE AREA	1,562 AC. (68,032.72 SF.)	EXISTING TO REMAIN
PPAL EASEMENT	0.046 AC. (2,015 SF.)	EXISTING TO REMAIN
BASE SITE AREA	1,516 AC. (66,017.72 SF.)	EXISTING TO REMAIN
RECREATION LAND	0.0 AC.	EXISTING TO REMAIN
NET BUILDABLE SITE AREA	1,516 AC. (66,017.72 SF.)	EXISTING TO REMAIN

ZONING DISTRICT REQUIREMENTS

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	1 ACRE	1,562 AC. (68,032.72 SF.)	EXISTING TO REMAIN
MIN. LOT WIDTH	50 FT.	271.88 FT.	EXISTING TO REMAIN
MIN. YARD SETBACKS			
FRONT	100 FT.	72.9 FT. (ENC)	EXISTING TO REMAIN
SIDE YARD (EA)	30 FT.	29.2 FT (ENC) / 194.1 FT.	EXISTING TO REMAIN
REAR	50 FT.	31.7 FT. (ENC)	EXISTING TO REMAIN
PARKING SETBACK FROM R.O.W.	30 FT.	30 FT.	EXISTING TO REMAIN
MAX. BUILDING HEIGHT	35 FT.	24.5 FT.	EXISTING TO REMAIN
MAX. IMPERVIOUS COVERAGE	85%	70.42% (46,489.82 SF.)	71.69% (47,329.64 SF.)
MAX. FLOOR AREA RATIO	40%	8.0% (5,439 SF.)	7.4% (5,044 SF.)

(ENC) - EXISTING NON CONFORMING
* IMPERVIOUS COVERAGE IS BASED ON THE NET BUILDABLE AREA OF 66,017.72 SF.

ENVIRONMENTAL PERFORMANCE STANDARDS
PER THE RICHLAND TOWNSHIP ZONING ORDINANCE, SECTION 27-51.1:

RESOURCE	ACRES OF LAND IN RESOURCES	PERMITTED RESOURCE DISTURBANCE	AREA OF PROTECTION	AREA OF DISTURBANCE
FLOODWAY	0.0 AC.	0%	N/A	0.00 AC. (0%)
100 YEAR FLOODPLAIN	0.0 AC.	20%	N/A	0.00 AC. (0%)
STEEP SLOPES				
8% - 15%	0.0 AC.	40%	N/A	0.00 AC. (0%)
15% - 25%	0.0 AC.	30%	N/A	0.00 AC. (0%)
25% OR MORE	0.0 AC.	15%	N/A	0.00 AC. (0%)
WOODLANDS	0.0 AC.	20%	N/A	0.00 AC. (0%)
LAKES AND PONDS	0.0 AC.	0%	N/A	0.00 AC. (0%)
WATERCOURSE	0.0 AC.	0%	N/A	0.00 AC. (0%)
WETLANDS	0.0 AC.	5%	N/A	0.00 AC. (0%)

PARKING REQUIREMENTS

REQUIRED	PROVIDED
RESTAURANT WITH DRIVE-UP WINDOW SERVICE - 1 SPACE PER 100 SF. OF GFA	(5,439 GFA / 100 = 54.39) = 54 SPACES
	75 SPACES

NUISANCE STANDARDS

- §27-531 NOISE**
THE PROPOSED USE WILL BE IN CONFORMANCE WITH §27-531 FOR NOISE LEVEL REQUIREMENTS AS OUTLINED ASSOCIATED WITH A COMMERCIAL USE.
- §27-532 SMOKE, ASH, DUST, FUMES, VAPORS AND GASES**
A. THE USE WILL NOT PROVIDE EMISSION OF SMOKE, ASH, DUST, FUMES, VAPORS OR GASES WHICH VIOLATE THE PENNSYLVANIA AIR POLLUTION CONTROL LAWS OR OTHER REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) OR THE U.S. ENVIRONMENTAL PROTECTION AGENCY.
B. THE USE WILL NOT PROVIDE EMISSION OF SMOKE, ASH, DUST, FUMES, VAPORS OR GASES WHICH CAN CAUSE ANY DAMAGE TO HUMAN HEALTH, TO ANIMALS, TO VEGETATION, OR TO PROPERTY, OR WHICH CAN CAUSE ANY SOILING OR STAINING OF PERSONS OR PROPERTY AT ANY POINT BEYOND THE LOT LINE OF THE USE CREATING THE EMISSION.
- §27-533 HEAT**
THE USE WILL NOT PROVIDE HEAT PERCEPTIBLE BEYOND ITS LOT LINES.
- §27-534 ODOR**
A. THE USE WILL NOT PROVIDE ODOROUS MATTER IN SUCH QUANTITIES AS TO BE OFFENSIVE AT ANY POINT ON OR BEYOND ITS LOT LINES.
- §27-535 GLARE**
THE USE WILL NOT PRODUCE A STRONG, DAZZLING LIGHT OR A REFLECTION OF A

STRONG, DAZZLING LIGHT BEYOND ITS LOT LINES. ALL DEVELOPMENT IS SUBJECT TO THE LIGHTING REQUIREMENTS FOUND IN §27-519.

§27-536 VIBRATIONS
THE USE WILL NOT PRODUCE A VIBRATION WHICH IS TRANSMITTED THROUGH THE GROUND AND IS DISCERNIBLE WITHOUT THE AID OF INSTRUMENTS AT OR AT ANY POINT BEYOND THE LOT LINES, WITH THE EXCEPTION OF VIBRATION PRODUCED AS A RESULT OF TEMPORARY CONSTRUCTION ACTIVITY.

§27-537 STORAGE AND WASTE DISPOSAL
A. THE USE WILL NOT STORE FLAMMABLE OR COMBUSTIBLE LIQUIDS IN EXCESS OF THIRTY (30) GALLONS WITHOUT WRITTEN APPROVAL OBTAINED FROM THE DIRECTOR OF THE PENNSYLVANIA STATE POLICE, FIRE MARSHALL DIVISION. THIS REQUIREMENT SHALL NOT APPLY TO DOMESTIC FUEL OIL HEATING SYSTEMS.
B. THE USE WILL NOT DEPOSIT MATERIALS OR WASTES ON A LOT IN SUCH FORM OR MANNER THAT THEY MAY BE TRANSPORTED OFF THE LOT BY NATURAL CAUSES OR FORCES, NO SUBSTANCE WHICH CAN CONTAMINATE ANY STREAM OR WATERCOURSE OR OTHERWISE RENDER SUCH STREAM OR WATERCOURSE UNDESIRABLE AS A SOURCE OF WATER SUPPLY OR RECREATION, OR WHICH WILL DESTROY AQUATIC LIFE. BE ALLOWED TO ENTER ANY STREAM OR WATERCOURSE. DISPOSAL OF SEWAGE, SEPTICAGE OR SLUDGE MUST MEET THE REQUIREMENTS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP).
C. THE USE WILL STORE ALL MATERIALS OR WASTES WHICH MIGHT CAUSE FUMES OR DUST, OR WHICH CONSTITUTE A FIRE HAZARD, OR WHICH MAY BE EDIBLE OR OTHERWISE ATTRACTIVE TO RODENTS OR INSECTS, OUTDOORS ONLY IF ENCLOSED IN CONTAINERS ADEQUATE TO ELIMINATE SUCH HAZARDS.
D. THE USE WILL NOT BURY OR BURN CONSTRUCTION DEBRIS RESULTING FROM

ANY IMPROVEMENT DUE TO A SUBDIVISION AND/OR LAND DEVELOPMENT AND WILL BE WHOLLY CONTAINED IN DUMPSTERS THAT ARE TO BE PERIODICALLY HAULLED OFF THE PROPERTY WITH THE TRASH CONTAINED THEREIN PROPERLY DISPOSED.

§27-538 RADIOACTIVITY AND ELECTRICAL DISTURBANCE
A. THE USE WILL NOT EMIT DANGEROUS OR HARMFUL RADIOACTIVITY, IF ANY USE IS PROPOSED WHICH INCORPORATES THE USE OF RADIOACTIVE MATERIAL, EQUIPMENT, OR SUPPLIES, SUCH USE WILL BE IN STRICT CONFORMITY WITH TITLE 25 OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) RULES AND REGULATIONS.
B. THE USE WILL NOT PRODUCE AN ELECTRICAL DISTURBANCE WHICH ADVERSELY AFFECTS THE OPERATION OF ANY EQUIPMENT BEYOND ITS PROPERTY LINE. THIS REQUIREMENT SHALL NOT APPLY TO THE ELECTRONIC AND ELECTRICAL EQUIPMENT WHICH MEET THE APPLICABLE STANDARDS OF THE FEDERAL COMMUNICATIONS COMMISSION (FCC), THE UNDERWRITERS LABORATORIES (UL), AND THE ELECTRONICS INDUSTRIES ASSOCIATION (EIA).

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SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	11/9/2021	REV. PER TOWNSHIP REVIEW	CDB	SWG
2	1/12/2022	REV. FOR BID SET	CDB	SWG

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SITE IMPROVEMENT PLANS
FOR
AMPLER DEVELOPMENT

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QUAKERTOWN, PA 19551

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PENNSYLVANIA LICENSE NO. PE071444

SHEET TITLE:
SITE PLAN
SHEET NUMBER:
C-301
REVISION 2 - 1/12/2022