

ABBREVIATIONS

Table of abbreviations for architectural and construction terms, including symbols for materials, dimensions, and structural elements.

CODE INFORMATION

Table detailing code information such as building code (2018 International Building Code), fire protection, and occupancy classification.



BURGER KING RESTAURANT #10839

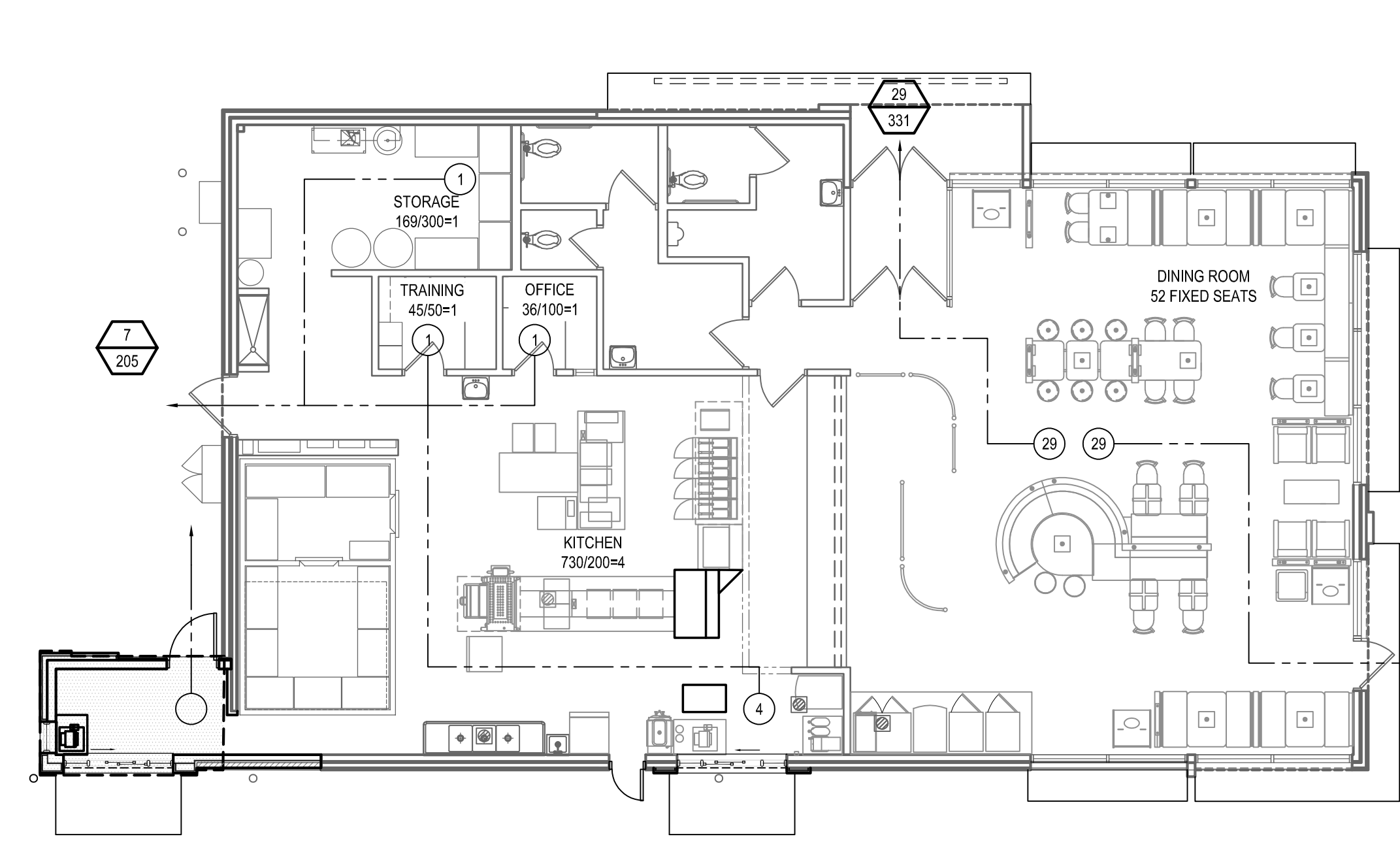
200 SOUTH FOUNTAIN GREEN ROAD BEL AIR, MARYLAND 21015

DISTRICT-03 ACCOUNT NUMBER - 057844 MAP-0041 GRID- 0004E PARCEL-0108 SUBDIVISION-0000 ZONING - B2 (COMMUNITY BUSINESS)

DRAWING SHEET INDEX

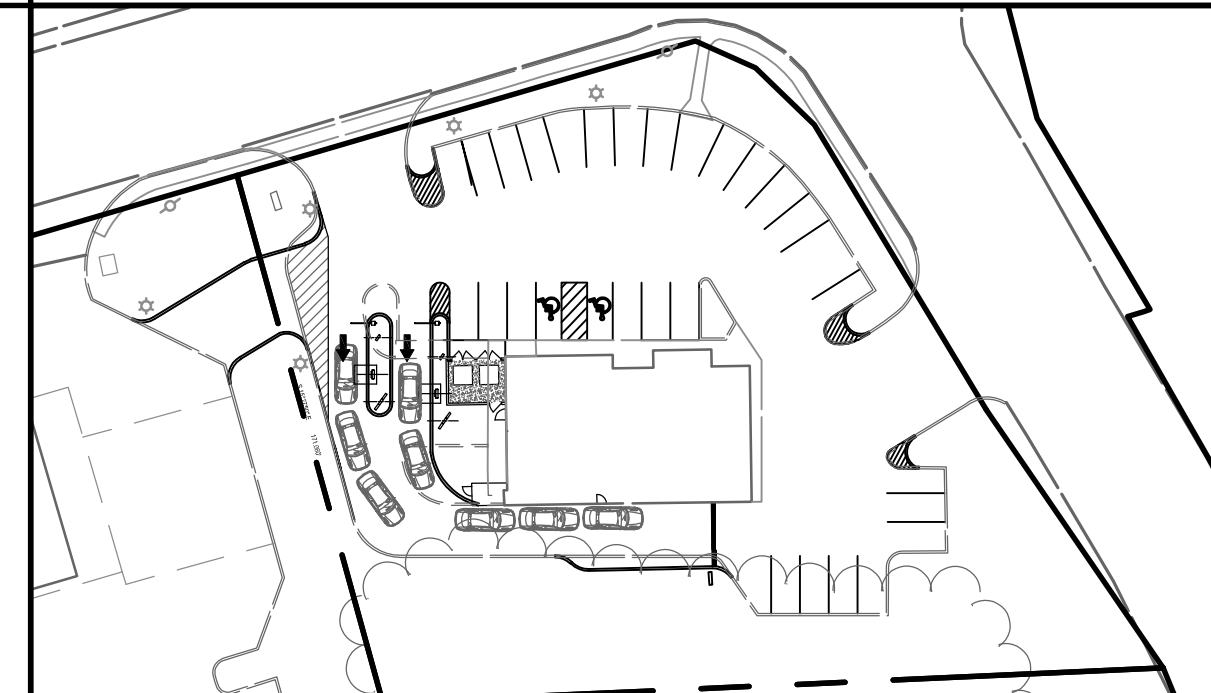
Table listing drawing sheets, including architectural, structural, and mechanical drawings, with sheet numbers and titles.

EGRESS PLAN

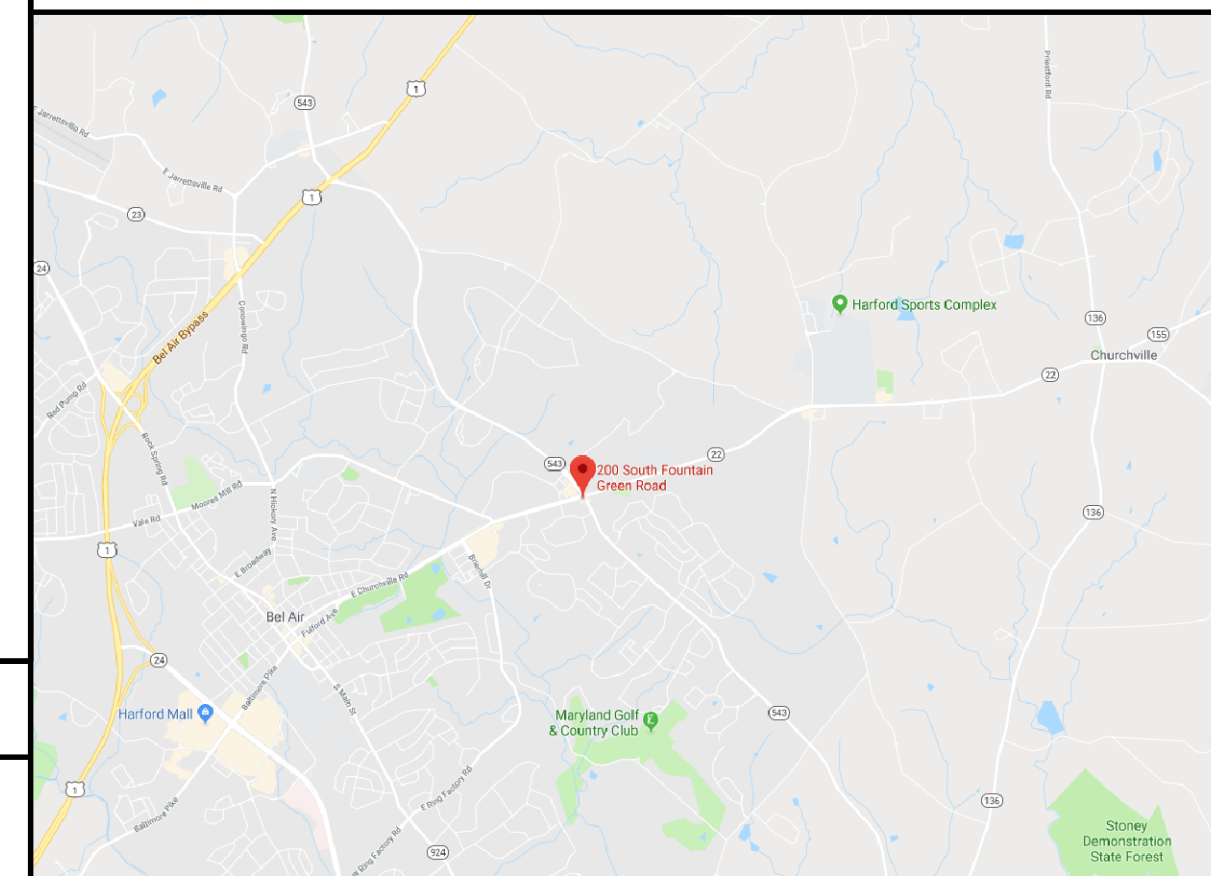


ROOM OCCUPANCY INFO, EGRESS DOOR SYMBOL, EGRESS PATH SYMBOL, and NOTES detailing egress capacity calculations.

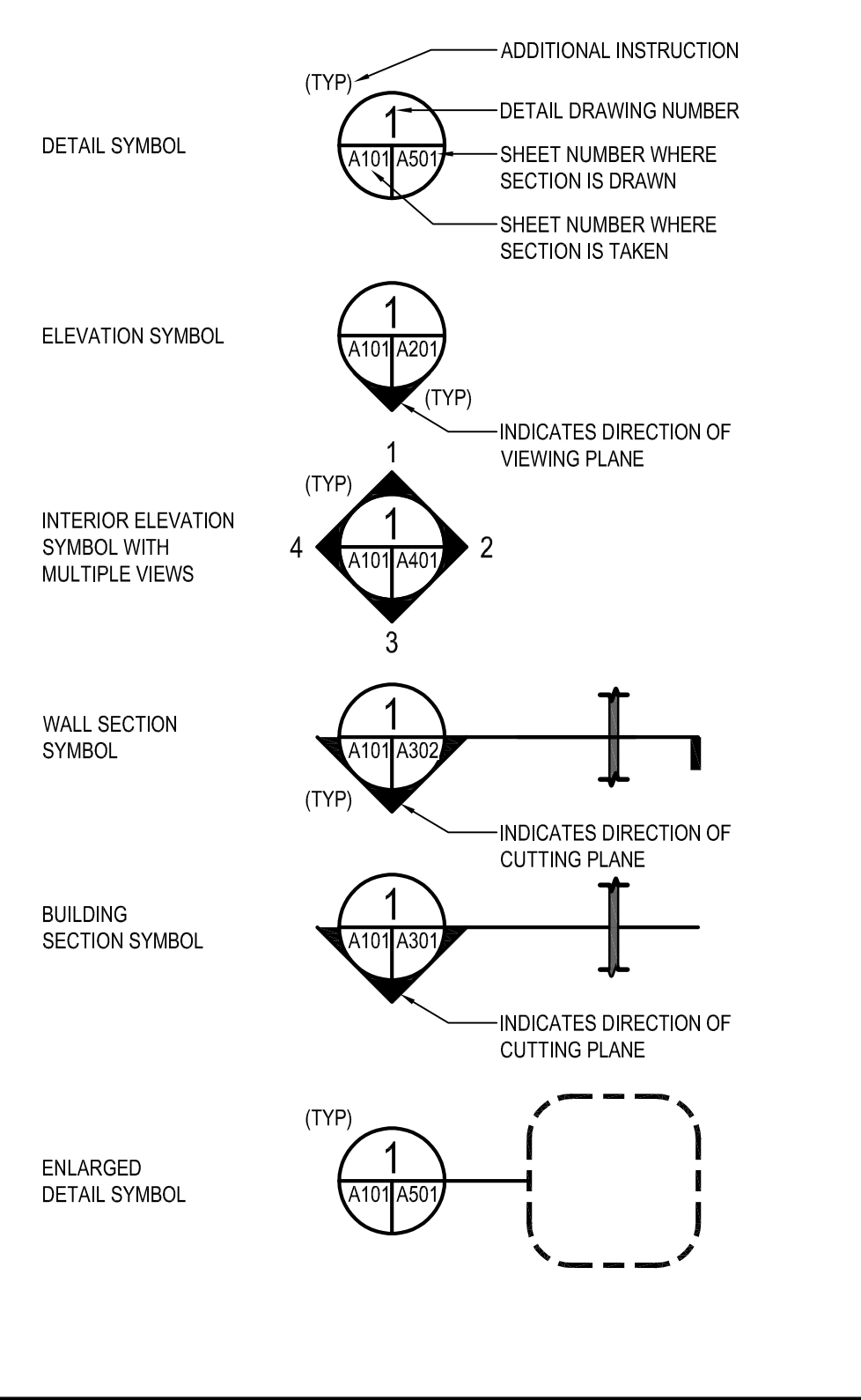
LOCATION MAP



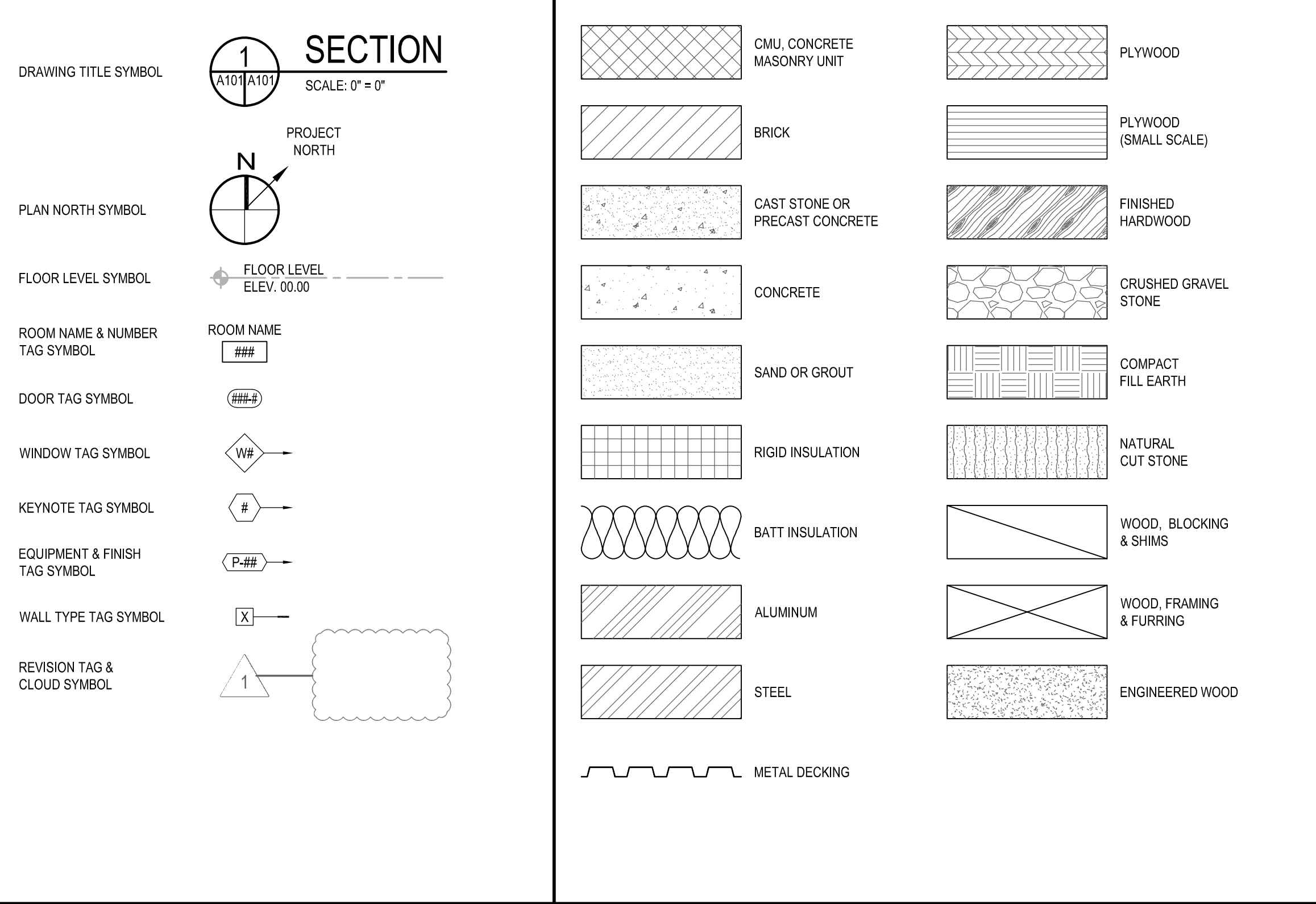
VICINITY MAP



DETAIL SYMBOLS



MATERIALS



APPLICABLE CODES

Table listing applicable codes including building, fire, and mechanical codes, along with their respective editions.

GENERAL NOTE

- General notes providing instructions for contractors and designers regarding plan dimensions, fire protection, and occupancy.

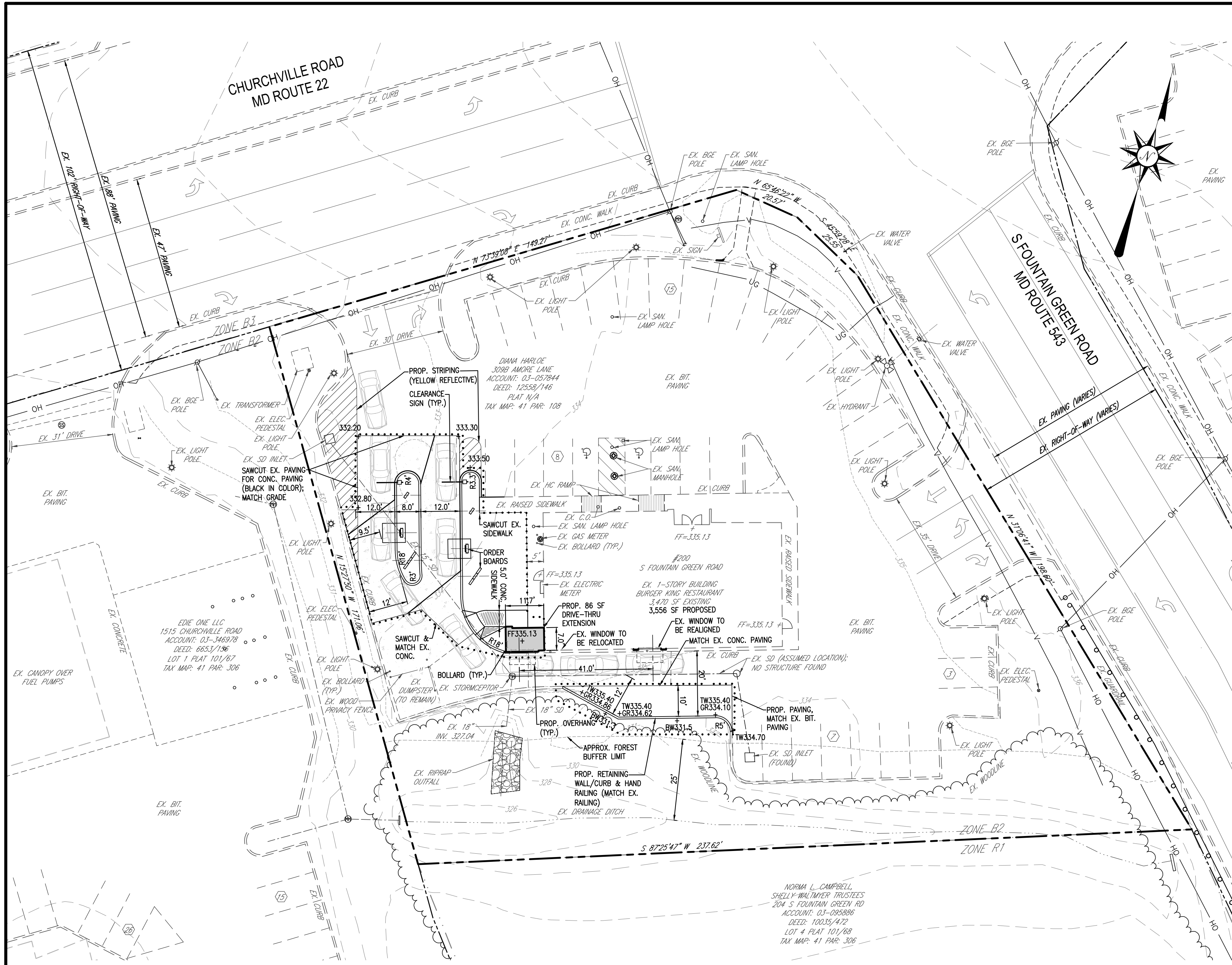
Revision table with columns for revision number, date, and description.

WBCM logo and contact information for Whitney Bailey Cox & Magnani LLC.

Certification statement: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.

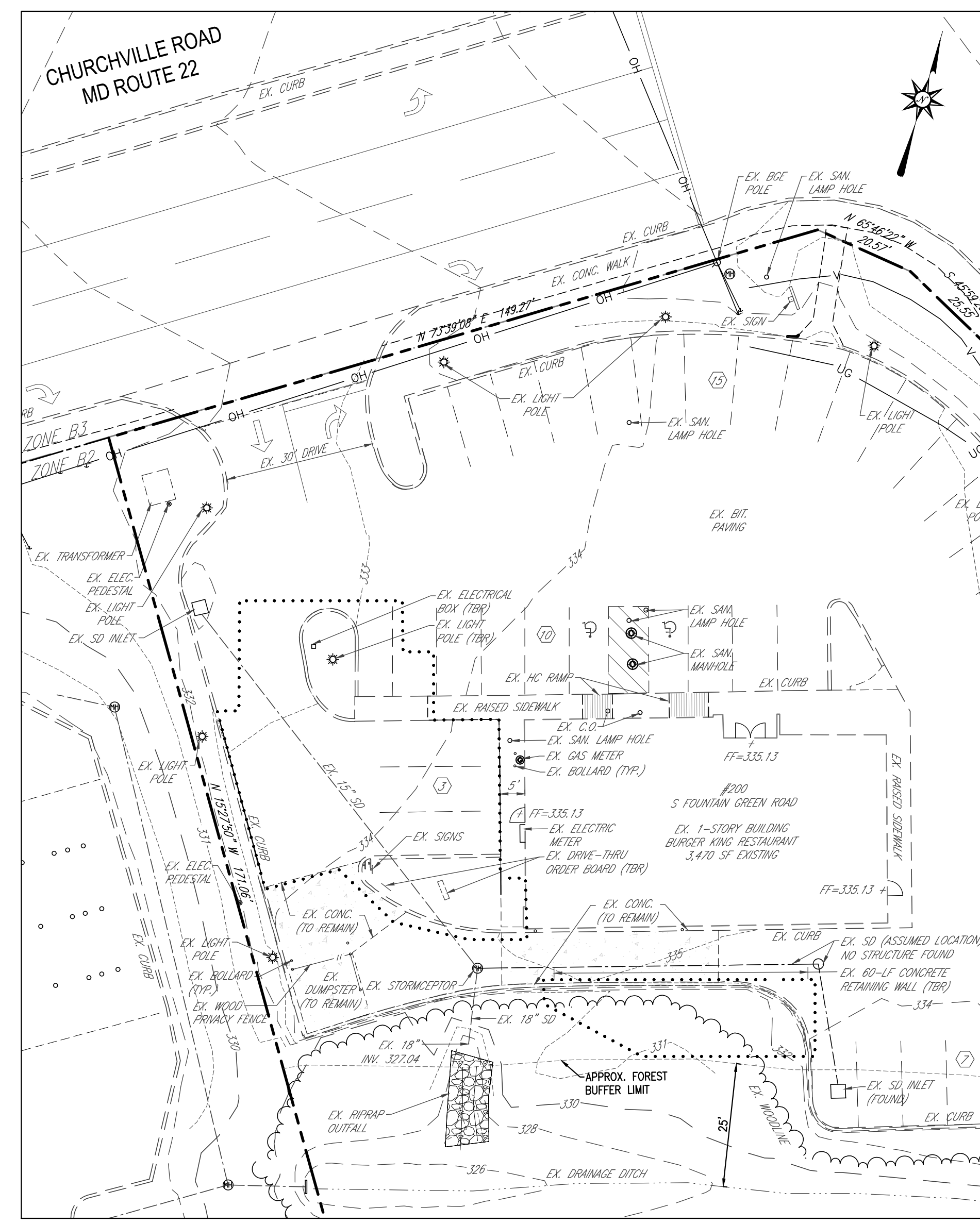
Project title block: ALTERATIONS - BURGER KING # 10839, BURGERS OF BALTIMORE, LLC.

Table listing project details: DESIGNED: J.M.M., DRAWN: J.M.M., CHECKED: S.C.B., SCALE: AS SHOWN, DATE: 04/21/2021, PROJECT: 2018.0375.05, DRAWING: G101



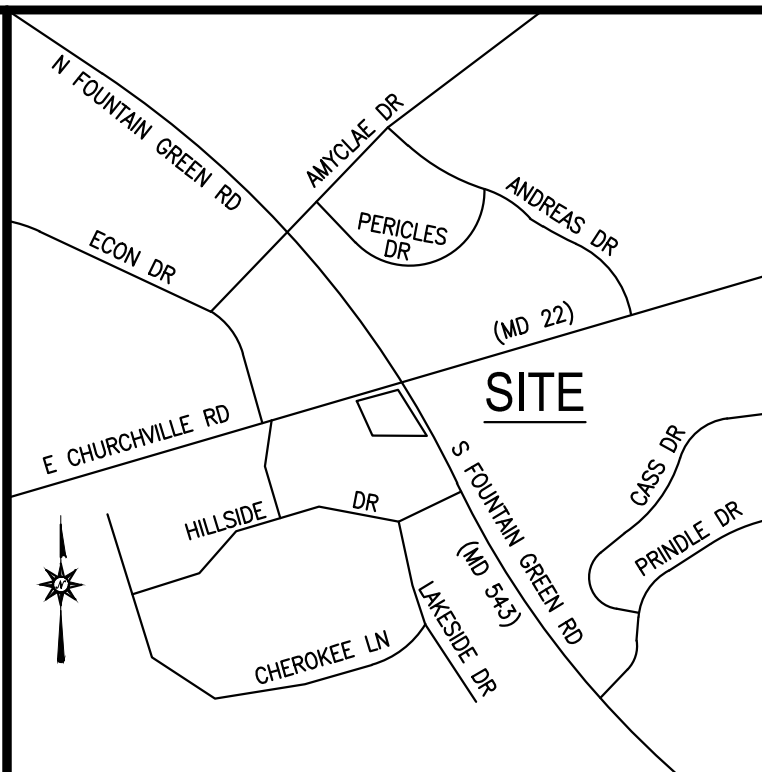
PROPOSED CONDITION PLAN VIEW

SCALE: 1" = 20'



EXISTING CONDITION PLAN VIEW

SCALE: 1" = 20'



LOCATION MAP

SCALE: 1" = 1000'

GENERAL NOTES

- SITE AREA:
GROSS AREA= 37,635 SQ. FT. OR 0.86 AC±
NET AREA= 37,635 SQ. FT. OR 0.86 AC±
- DEED REFERENCE: 12558/146
- TAX ACCOUNT NO. 03057844
- TAX MAP 41, GRID 4E, PARCEL 108
- PLAT REFERENCE: NA
- NEIGHBORHOOD: 32000.13
- ELECTION DISTRICT: 03-23
- COUNCILMANIC DISTRICT: E
- LAND USE: MI (MEDIUM INTENSITY)
- WATERSHED: BUSH RIVER
- ZONING: B2
- UTILITIES: EX. PUBLIC WATER / PUBLIC SEWER
PROP. (NO CHANGE)
- USE: EX. RESTAURANT
PROP. (NO CHANGE)
- BUILDING COVERAGE: 3550 SF
PERMITTED: 30%
- IMPERVIOUS COVERAGE: 27,475 SF
PERMITTED: 85%
- NO KNOWN PERMITS ON FILE.
- THERE ARE NO HISTORICAL FEATURES ON SITE, NOR IS THE SITE ITSELF HISTORIC.
- ALL PROPOSED SIGNAGE SHALL CONFORM TO THE HARFORD COUNTY ZONING REGULATIONS SECTION 287.33.
- THIS SITE IS NOT WITHIN A FLOODPLAIN (CLASSIFIED AS FLOOD ZONE "X") PER PANEL 24025C0162E; EFF. 04/19/16.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS PREPARED BY THOMPSON & ASSOCIATES INC. ON APRIL 16, 2020, AND ALSO TAKEN FROM COUNTY GIS TOPS.
- PARKING CALCULATIONS (FAST-FOOD RESTAURANT):
EXISTING = 38 SPACES (2 HANDICAP SPACE)
STACKING = 7 (5 BEHIND THE ORDER BOARD)
REQUIRED (1 PER 200 SF FLOOR AREA)
3,475 SF / 200 SF = 18 SPACES
STACKING = 7 (5 MUST BE BEHIND ORDER BOARD)
PROPOSED = 73%
EXISTING = 33 SPACES (2 HANDICAP SPACE)
STACKING = 10 SPACES (5 BEHIND ORDER BOARD)
- THIS PLAN IS SUBJECT TO A BUILDING PERMIT SINCE THE LIMIT OF DISTURBANCE IS LESS THAN 5,000 SQ. FT.
- LIMIT OF DISTURBANCE = 3,600 S.F.
- ON AUGUST 4, 2020, HARFORD COUNTY APPROVED THIS PROJECT FOR A DAC WAIVER.

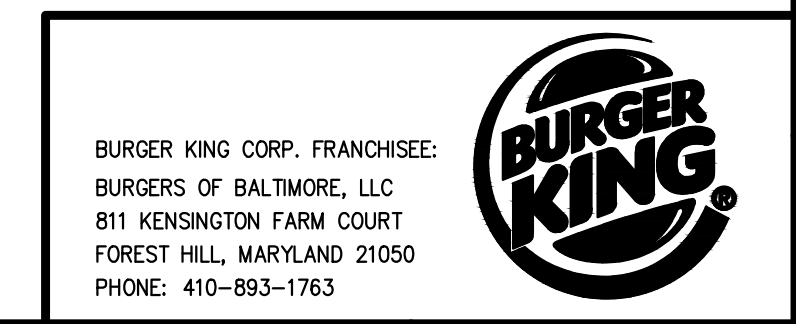
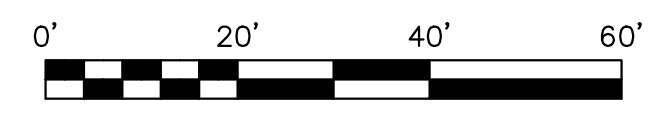
STORMWATER MANAGEMENT NOTE

THE PROPOSED COMMERCIAL REDEVELOPMENT CONSISTS OF A 48 SF BUILDING ADDITION ONTO AN EXISTING BUILDING AND REDESIGN OF THE DRIVE-THRU TO ALLOW FOR (2) ORDER STATIONS. THE TOTAL LIMIT OF DISTURBANCE (LOD) TO COMPLETE THE PROJECT IS 3,600 SF. AS A RESULT, THIS PROJECT WILL BE EXEMPT FROM STORMWATER MANAGEMENT REQUIREMENTS SINCE THE LOD IS LESS THAN 5,000 SF.

DAILY STABILIZATION NOTE

CONTRACTOR SHALL ONLY DISTURB THAT AREA WHICH CAN BE STABILIZED BY THE END OF THE WORK DAY. STABILIZATION SHALL BE AS FOLLOWS:
1) FOR PAVED AREAS, THE APPLICATION OF STONE BASE.
2) FOR VEGETATED AREAS,
a) PERMANENT SEED AND SOIL STABILIZATION MATING OR SOD FOR ALL STEEP SLOPES, CHANNELS OR SWALES.
b) PERMANENT SEED AND MULCH FOR ALL OTHER AREAS. ANY AREAS WHICH CANNOT BE STABILIZED BY THE END OF EACH WORKING DAY MUST HAVE SILT FENCE INSTALLED ON THE DOWNSLOPE SIDE, OR STEEL PLATES FOR TRAFFIC AREAS.

DISTURBED AREA:
3,630 Sq.Ft. or 0.08 Ac.±



CONTACT RICHARDSON ENGINEERING, LLC 30 EAST PADONIA ROAD SUITE 500 TIMONIUM, MD 21093 ATTN: RICK RICHARDSON PHONE: (410) 560-1502 x112	OWNER DIANA HARLO 309B AMORE LANE BEL AIR, MD 21015	DEVELOPER / APPLICANT BURGERS OF BALTIMORE, LLC 811 KENSINGTON FARM COURT FOREST HILL, MARYLAND 21050 ATTN: GARY EDWARDS PHONE: (410) 893-1763
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DESIGN AND DRAWINGS ARE BASED ON MARYLAND COORDINATE SYSTEM (MCS).
HORIZONTAL - NAD 83(2011)
VERTICAL - NAVD 88

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 16597, EXPIRATION DATE: 08-15-2021



Richardson Engineering, LLC

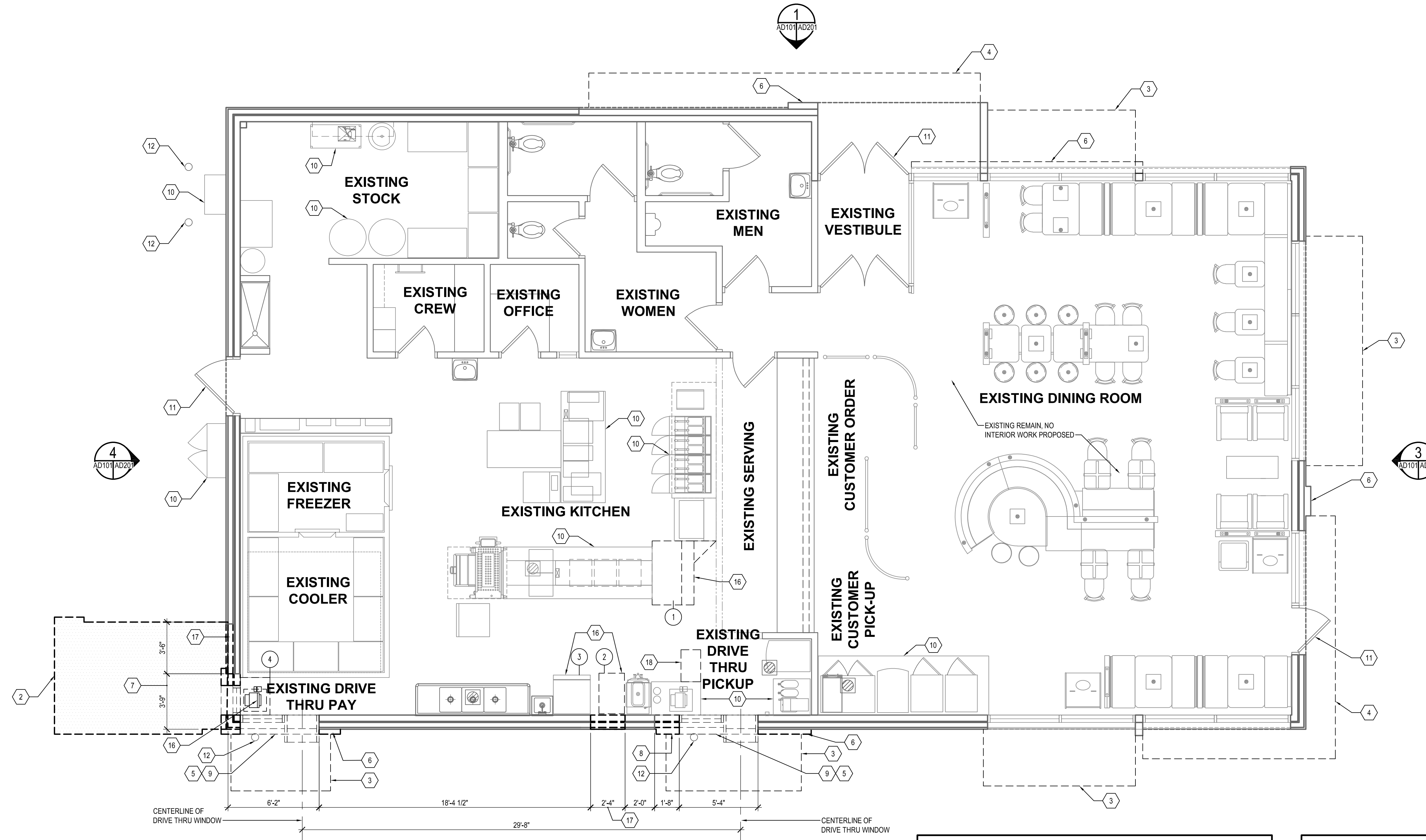
30 East Padonia Road, Suite 500
Timonium, Maryland 21093
Phone: 410-560-1502 Fax: 443-901-1208

**SITE PLAN
TO ACCOMPANY BUILDING PERMIT
BURGER KING
(STORE #10839)
200 S. FOUNTAIN GREEN ROAD
BEL AIR, MD 21014**

HARFORD COUNTY ELECTION DISTRICT "03-23" MARYLAND COUNCILMANIC DISTRICT "E"

REVISIONS	DRAWN BY: BTK	CHECKED BY: PCR	SCALE: 1" = 20'
	DATE: 06/05/20	JOB NO.:19203	SHEET NO.:01 OF 01

NOTE:
THE CORRECTNESS OR COMPLETENESS OF EXISTING INFORMATION SHOWN ON THE DRAWINGS IS NOT WARRANTED OR GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND UNDERGROUND FACILITIES, BY TEST PITS OR OTHER METHODS APPROVED BY THE OWNER'S REPRESENTATIVE, AS REQUIRED TO VERIFY EXACT LOCATIONS AND DEPTHS WITHIN THE LIMIT OF DISTURBANCE. ALL DISCREPANCIES BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND THAT VERIFIED IN THE FIELD SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION.



1 DEMOLITION FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 CAUTION:
 IF THIS DRAWING IS A REDUCTION,
 USE THE GRAPHIC SCALES.
 1/4" = 1'-0"

#	QTY.	DESCRIPTION	SUPPLIED BY	INSTALLED BY
1		SANDWICH WARM STATION	H&K	G.C.
2		SHAKE MACHINE	EXISTING	RELOCATED
3		ICE MACHINE	EXISTING	TO REMAIN
4		CASHIER COUNTER	EXISTING	RELOCATED

CONSTRUCTION LEGEND	
	EXISTING PARTITION TO REMAIN.
	EXISTING WINDOW AND FRAME TO REMAIN.
	EXISTING DOOR AND FRAME TO REMAIN.
	EXISTING PARTITION TO BE DEMOLISHED.
	EXISTING WINDOW AND FRAME TO BE DEMOLISHED.
	EXISTING DOOR AND FRAME TO BE DEMOLISHED.

- GENERAL SHEET NOTES**
- CONTRACTOR TO COORDINATE CONSTRUCTION AND CONTINUED OPERATIONS SCHEDULING WITH THE OWNER.
 - CONTRACTOR TO COORDINATE SERVICE DISCONNECTS AND RECONNECTIONS WITH UTILITIES, SUBCONTRACTORS AND AUTHORITIES HAVING JURISDICTION.
 - REPAIR AND PATCH DAMAGE TO BUILDING ENVELOPE WATERPROOFING BEFORE CONSTRUCTION PHASE.
 - CONTRACTOR TO PROVIDE ALL TEMPORARY BARRIERS AND ENCLOSURES REQUIRED TO MAINTAIN A WEATHER TIGHT BUILDING. COORDINATE CONTINUOUS ACCESS FOR OPERATION WITH OWNER.
 - CONTRACTOR TO NOTIFY ARCHITECT OF ANY VARIATION OF EXISTING CONDITIONS TO INFORMATION PROVIDED ON THE DRAWINGS. NOTIFY ARCHITECT OF ANY STRUCTURAL DEFICIENCIES FOUND IN THE FIELD.
 - ALL DEMOLITION WORK SHALL COMPLY WITH IBC 2015 REQUIREMENTS.
 - REMOVE ALL BUILDING COMPONENTS IN WHOLE CONDITION IF POSSIBLE AND DEMOLITION DEBRIS FROM BUILDING. STORE, PROTECT AND DISPOSE AS PER USGBG, COMMERCIAL INTERIORS V2.0 MR2.1 CRITERIA FOR HANDLING & DISPOSAL OF CONSTRUCTION WASTE.
 - USE CARE DURING DEMOLITION WORK TO PREVENT DAMAGE TO EXISTING BUILDING COMPONENTS TO REMAIN.
 - GENERAL CONTRACTOR TO COORDINATE DEMOLITION OF ALL TRADES.
 - EXISTING KITCHEN EQUIPMENT TO REMAIN. REFER TO EQUIPMENT SCHEDULE FOR RELOCATION OR REPLACEMENT OF EXISTING EQUIPMENT. EXISTING KITCHEN WALL AND FLOOR FINISH TO REMAIN. CONTRACTOR TO PATCH AND REPAIR BROKEN FLOOR TILES AND DAMAGED FRP WALL PANELS. EXISTING CEILING IN KITCHEN TO BE DEMOLISHED. EXISTING LIGHTS TO BE DEMOLISHED AND REPLACED IN NEW CONSTRUCTION PHASE. EXISTING MECHANICAL SUPPLY AND EXHAUST DIFFUSERS TO BE DEMOLISHED WITH CARE NO TO DAMAGE EXISTING. HVAC DUCTS TO REMAIN. ALL SUPPLY EXHAUST DIFFUSERS TO BE REPLACED IN KIND.

- SHEET KEYNOTES**
- EXISTING CURB AND PAVEMENT TO BE REMOVED. SEE CIVIL DRAWINGS.
 - EXISTING CURB AND PAVEMENT TO BE REMOVED AND PREPARED FOR NEW BUILDING ADDITION.
 - EXISTING CANOPY AND SUPPORTS ABOVE TO BE DEMOLISHED.
 - EXISTING CANOPY ABOVE TO BE REMOVED, STORED ON SITE AND REINSTALLED DURING CONSTRUCTION PHASE.
 - EXISTING BRICK VENEER AND WALL TIES TO BE REMOVED WITH CARE NOT TO DAMAGE EXISTING WATER PROOFING AND PLYWOOD SHEAR WALL TO REMAIN.
 - EXISTING EIFS FINISH TO BE REMOVED WITH CARE NOT TO DAMAGE PLYWOOD SHEAR WALL AND WATERPROOFING TO REMAIN.
 - SAW CUT AND REMOVE PORTION OF EXISTING EIFS FINISH ON STUD WALL. DEMOLISH WITH CARE NOT TO DAMAGE EXISTING WALK-IN COOLER, ROOF SUPPORT COLUMN, FOOTINGS AND CONCRETE SLAB TO REMAIN.
 - ENLARGE EXISTING OPENING FOR PROPOSED DRIVE THRU WINDOW.
 - EXISTING DRIVE THRU WINDOWS TO BE DEMOLISHED
 - EXISTING EQUIPMENT TO REMAIN.
 - EXISTING DOOR AND FRAME TO REMAIN.
 - EXISTING CONCRETE FILLED STEEL BOLLARD TO REMAIN.
 - NOT USED.
 - EXISTING MENU BOARD, FOUNDATION AND UTILITIES TO BE DEMOLISHED.
 - EXISTING ORDER BOARD, FOUNDATION AND UTILITIES TO BE DEMOLISHED.
 - EXISTING EQUIPMENT TO BE RELOCATED WITHIN KITCHEN OR REPLACE IN KIND BY OWNER.
 - EXISTING PORTION OF BRICK WALL TO BE DEMOLISHED WITH CARE NOT TO DAMAGE SHEAR WALL AND EXISTING COOLER. CONTRACTOR TO PROVIDE ADDITIONAL BLOCKING AT NEW BUILDING ADDITION, REFER TO STRUCTURAL DRAWINGS.
 - DEMOLISH AND REMOVE PORTION OF COUNTER TO ALLOW FOR SHAKE MACHINE TO BE REINSTALLED.

NO.	DATE	REVISION	BY

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 300 East Japan Road Suite 200
 410.512.4500 www.wbcm.com

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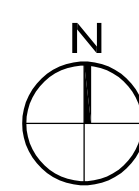
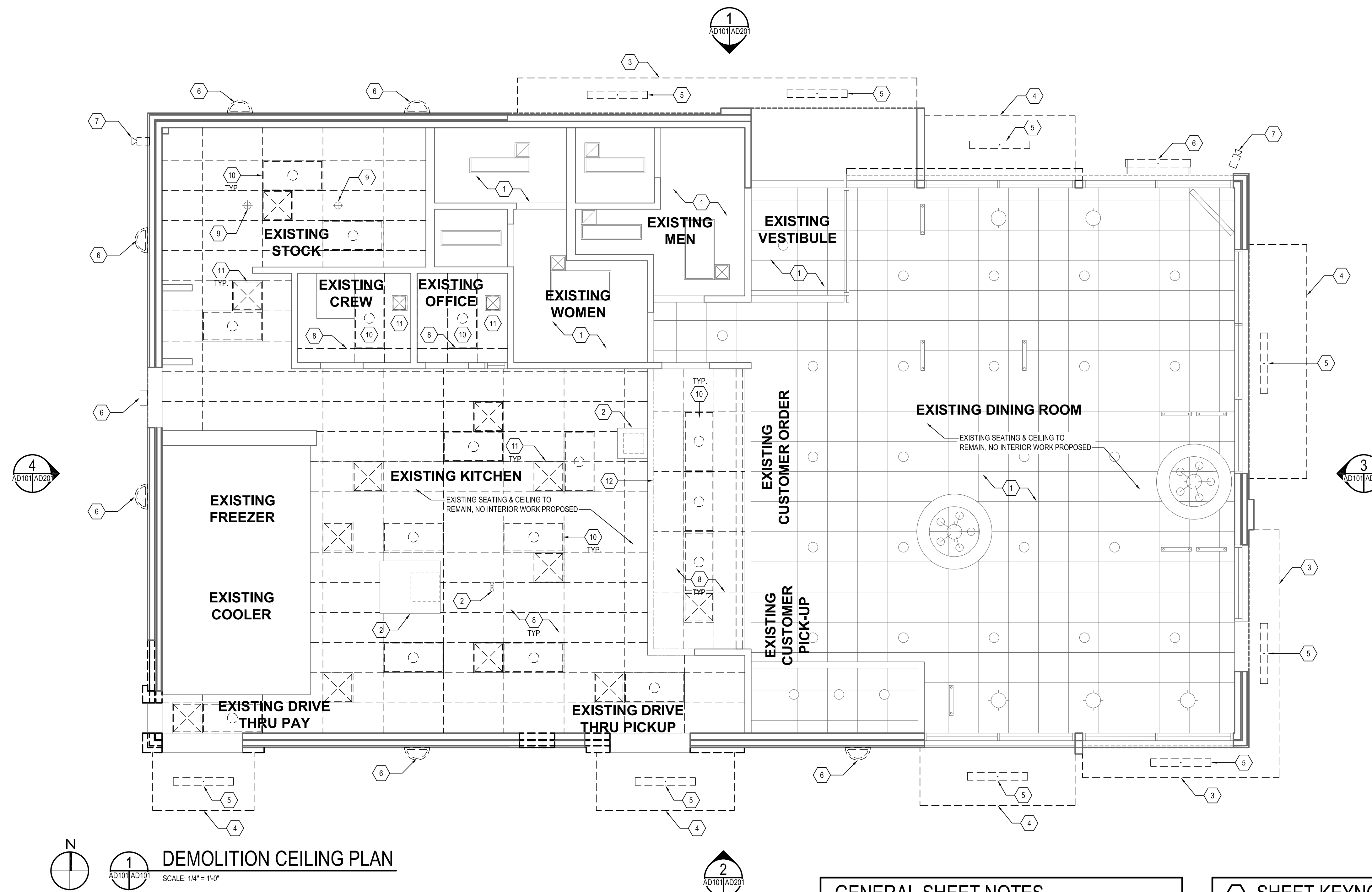
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
 License #6140 Expiration Date: 08/21/2022

DEMOLITION FLOOR PLAN

ALTERATIONS - BURGER KING # 10839
 BURGERS OF BALTIMORE, LLC.
 200 SOUTH FOUNTAIN GREEN ROAD
 BEL AIR, MD. 21015

DESIGNED:	J.M.M.
DRAWN:	J.M.M.
CHECKED:	S.C.B.
SCALE:	AS SHOWN
DATE:	04/21/2021
PROJECT:	2018.0375.05
DRAWING:	

AD101



1 DEMOLITION CEILING PLAN

SCALE: 1/4" = 1'-0"

CAUTION:
IF THIS DRAWING IS A REDUCTION,
USE THE GRAPHIC SCALES.



- GENERAL SHEET NOTES**
- ALL DIMENSIONS SHOWN ON REFLECTED CEILING PLAN ARE FROM FACE OF WALL FINISH UNLESS NOTED OTHERWISE.
 - THE REFERENCE HEIGHTS INDICATED ON PLAN ARE FROM FINISH FLOOR (F.F.)
 - CONTRACTOR SHALL VERIFY FIXTURE QUANTITIES AND ALSO MAKE PROPER ADJUSTMENTS FOR ANY CHANGES IN PLAN DUE TO ADDITIONAL REQUIREMENTS, LOCAL CODES, ETC.
 - FOR H.V.A.C. PLAN, SECTIONS, DUCT LOCATIONS, SUPPLY AND RETURN GRILLE SIZES AND ADDITIONAL INFORMATION, REFER TO MECHANICAL DRAWINGS.
 - ALL FIXTURES SHALL BE LOCATED IN THE CENTER OF CEILING TILES UNLESS NOTED OTHERWISE.
 - REFER TO ELECTRICAL DRAWINGS AND SCHEDULE FOR LIGHTING LAYOUT REQUIREMENTS AND ADDITIONAL INFORMATION.
 - REFER TO FINISH SCHEDULE AND DIRECTORY OF MANUFACTURERS AND SUPPLIERS SCHEDULE FOR FINISH SPECIFICATIONS.

- SHEET KEYNOTES**
- EXISTING CEILING SYSTEM, LIGHTING AND HVAC DIFFUSERS TO REMAIN.
 - EXISTING STAINLESS STEEL FRYER, BROILER HOODS AND ELECTRICAL KITCHEN EQUIPMENT CHASE TO REMAIN.
 - EXISTING PRE FABRICATED CANOPY TO BE REMOVED, STORED ON SITE AND REINSTALLED AFTER NEW EXTERIOR WALL FINISHED WERE INSTALLED.
 - EXISTING CANOPY AND SUPPORTS TO BE REMOVED WITH CARE NOT TO DAMAGE EXISTING WALL FINISH TO REMAIN.
 - EXISTING EXTERIOR CANOPY LIGHTING TO BE DEMOLISHED. EXISTING POWER TO REMAIN, TO BE REUSED FOR NEW LIGHTING TO BE INSTALLED. REFER TO ELECTRICAL DRAWINGS.
 - EXISTING EXTERIOR WALL MOUNTED BUILDING LIGHTING TO BE DEMOLISHED. EXISTING POWER TO BE REUSED FOR NEW LIGHTING TO BE INSTALLED. REFER TO ELECTRICAL DRAWINGS.
 - EXISTING WALL MOUNTED CAMERA TO BE REMOVED WITH CARE, NOT TO DAMAGE EXISTING EXTERIOR WALL FINISHED TO REMAIN.
 - EXISTING CEILING SYSTEM TO BE DEMOLISHED WITH CARE NOT TO DAMAGE EXISTING EQUIPMENT TO REMAIN.
 - EXISTING SPRINKLER HEADS TO REMAIN.
 - EXISTING INTERIOR LIGHTING TO BE DEMOLISHED. EXISTING POWER TO BE REMAIN, TO BE REUSED FOR NEW LIGHTING TO BE INSTALLED. REFER TO ELECTRICAL DRAWINGS.
 - EXISTING MECHANICAL SUPPLY AND EXHAUST DIFFUSERS TO BE DEMOLISHED WITH CARE NOT TO DAMAGE EXISTING HVAC DUCTS TO REMAIN. REFER TO MECHANICAL DRAWINGS.
 - EXISTING SURFACE MOUNTED MENU BOARD TO REMAIN.

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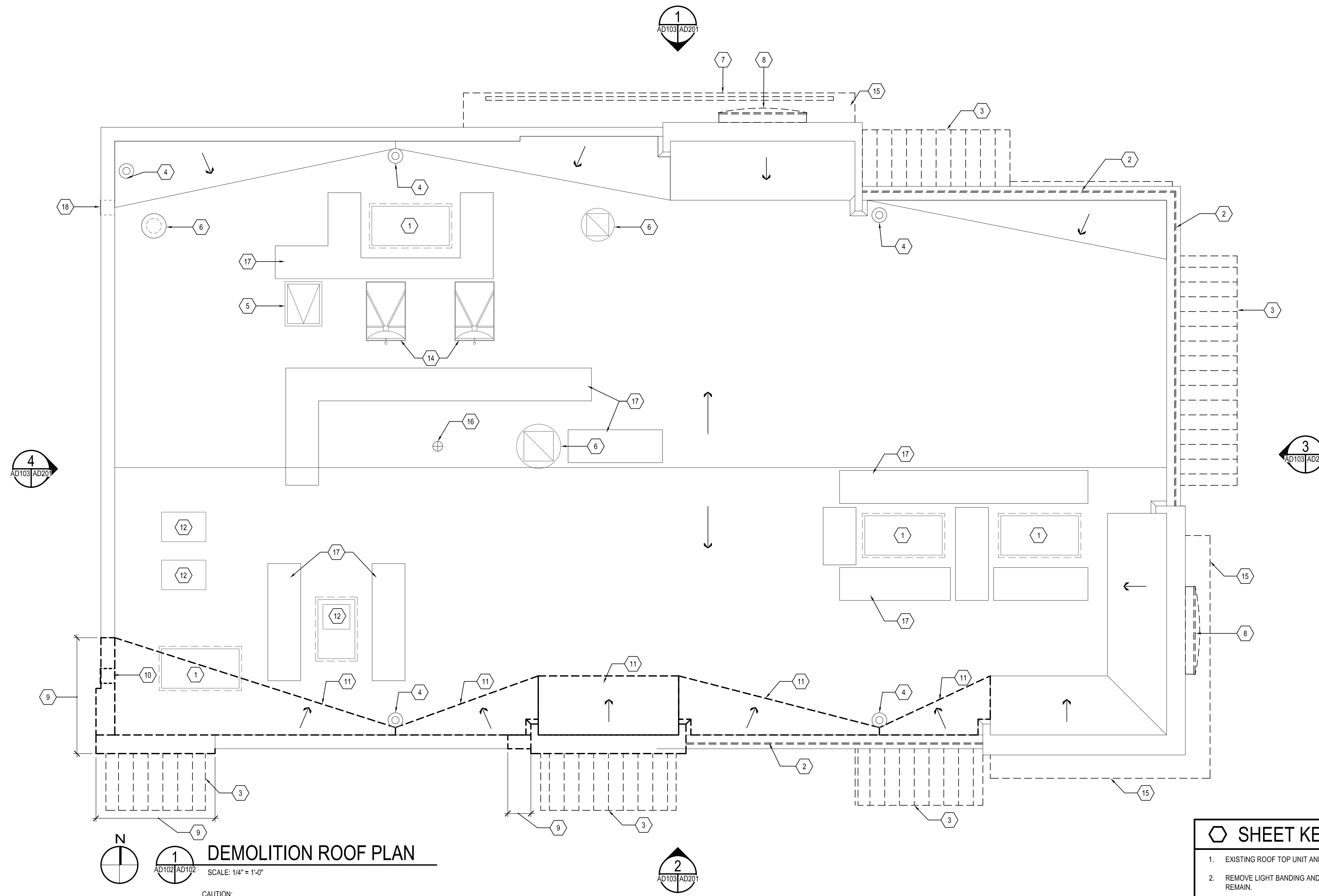
EXISTING REFLECTED CEILING PLAN

ALTERATIONS - BURGER KING # 10839
BURGERS OF BALTIMORE, LLC.
200 SOUTH FOUNTAIN GREEN ROAD
BEL AIR, MD, 21015

DESIGNED:	J.M.M.
DRAWN:	J.M.M.
CHECKED:	S.C.B.
SCALE:	AS SHOWN
DATE:	04/21/2021
PROJECT:	2018.0375.05
DRAWING:	

AD102

Apr 22, 2021 - 7:28am User: jmagner
P:\2018\18037505\Drawings\01-Arch\2018037505 - AD102 - Existing Ceiling Plan.dwg



DEMOLITION ROOF PLAN
 SCALE: 1/4" = 1'-0"
 CAUTION:
 IF THIS DRAWING IS A REDUCTION,
 USE THE GRAPHIC SCALES.
 1/4" = 1'-0"

- KEY SHEET KEYNOTES**
- EXISTING ROOF TOP UNIT AND CURB TO REMAIN.
 - REMOVE LIGHT BANDING AND ASSOCIATED COPING WITH CARE, EXISTING PARAPET WALL TO REMAIN.
 - REMOVE EXISTING WALL MOUNTED CANOPY AND ASSOCIATED STRUCTURE.
 - EXISTING ROOF DRAIN & RAIN LEADERS TO REMAIN, EXISTING STRAINER CLAMP AND BOWL TO BE ADJUSTED AS NEEDED DURING NEW CONSTRUCTION.
 - EXISTING ROOF SCUTTLE AND CURB TO REMAIN.
 - EXISTING EXHAUST FAN AND CURB TO REMAIN.
 - EXISTING SIGNAGE TO BE DEMOLISHED WITH CARE NOT TO DAMAGE EXISTING CANOPY TO REMAIN.
 - EXISTING SIGNAGE TO BE REMOVED WITH CARE, SALVAGED AND STORED ON SITE. SIGNAGE TO BE REINSTALLED DURING CONSTRUCTION PHASE.
 - PORTION OF EXISTING ROOF PARAPET TO BE DEMOLISHED DOWN TO EXISTING TOP OF ROOF DECK AND WOOD TRUSS TO REMAIN.
 - EXISTING PARAPET SCUPPER TO BE DEMOLISHED AND RELOCATED.
 - PORTION OF EXISTING ROOF MEMBRANE, CRICKETS AND FLASHING TO BE DEMOLISHED, EXISTING ROOF INSULATION, PLYWOOD AND TRUSS FRAMING TO REMAIN, GENERAL CONTRACTOR TO VERIFY AND REPLACE DAMAGED PLYWOOD AND INSULATION AS NECESSARY TO PREPARE SUBSTRATE FOR NEW ROOF MEMBRANE.
 - EXISTING EQUIPMENT TO REMAIN.
 - EXISTING WALL MOUNTED METAL VENT TO BE REMOVED, PROVIDE BLOCKING AND PLYWOOD SUBSTRATE FLUSH WITH ADJACENT PARAPET WALL. PATCH AND REPAIR WITH ADJACENT ROOF MEMBRANE.
 - EXISTING SATELLITE EQUIPMENT TO REMAIN.
 - EXISTING CANOPY TO BE REMOVED AND SALVAGED ON SITE, CANOPY TO BE REINSTALLED DURING CONSTRUCTION PHASE AFTER FINISHES ARE INSTALLED.
 - EXISTING ROOF VENT TO REMAIN.
 - EXISTING WALK PADS TO REMAIN.
 - EXISTING PARAPET SCUPPER TO REMAIN.

NO.	DATE	REVISION	BY

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 Baltimore, MD 21202
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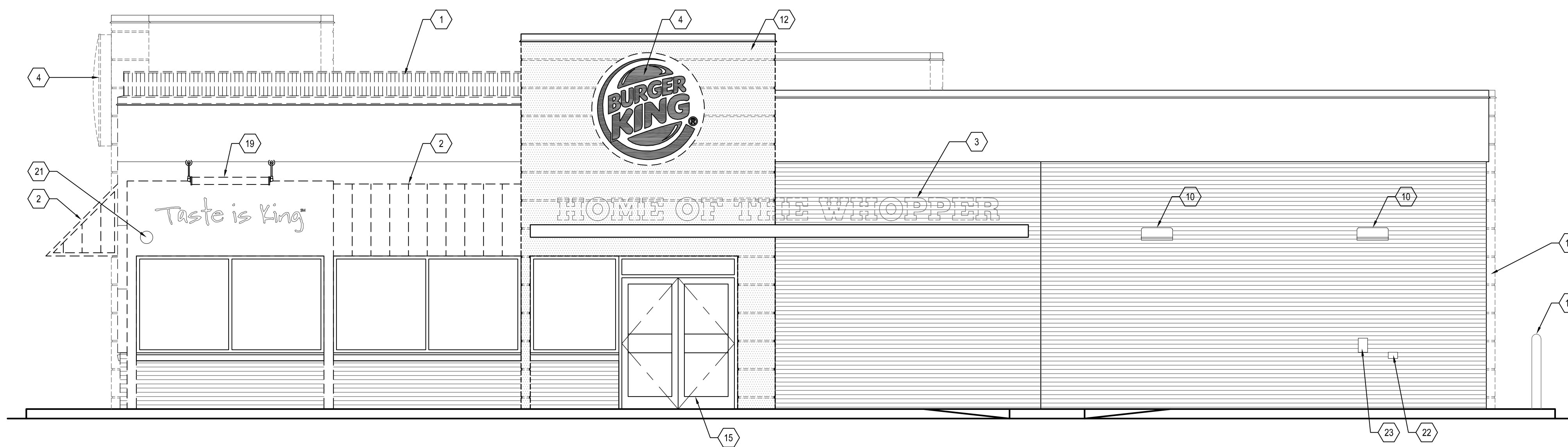
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
 License #6140 Expiration Date: 08/21/2022

EXISTING ROOF PLAN

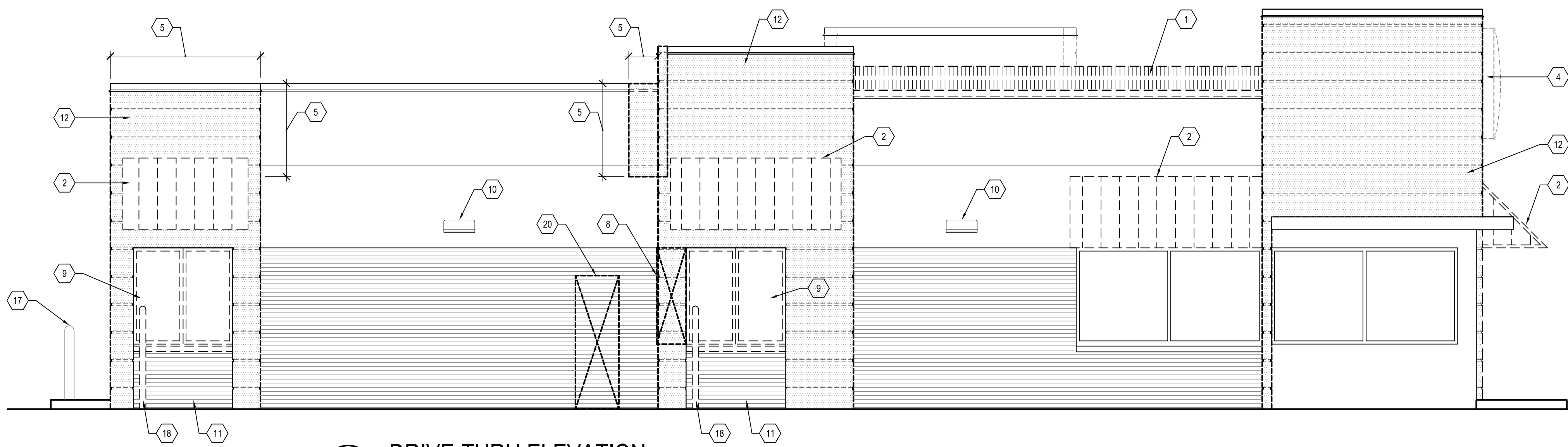
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 BURGERS OF BALTIMORE, LLC.
 200 SOUTH FOUNTAIN GREEN ROAD
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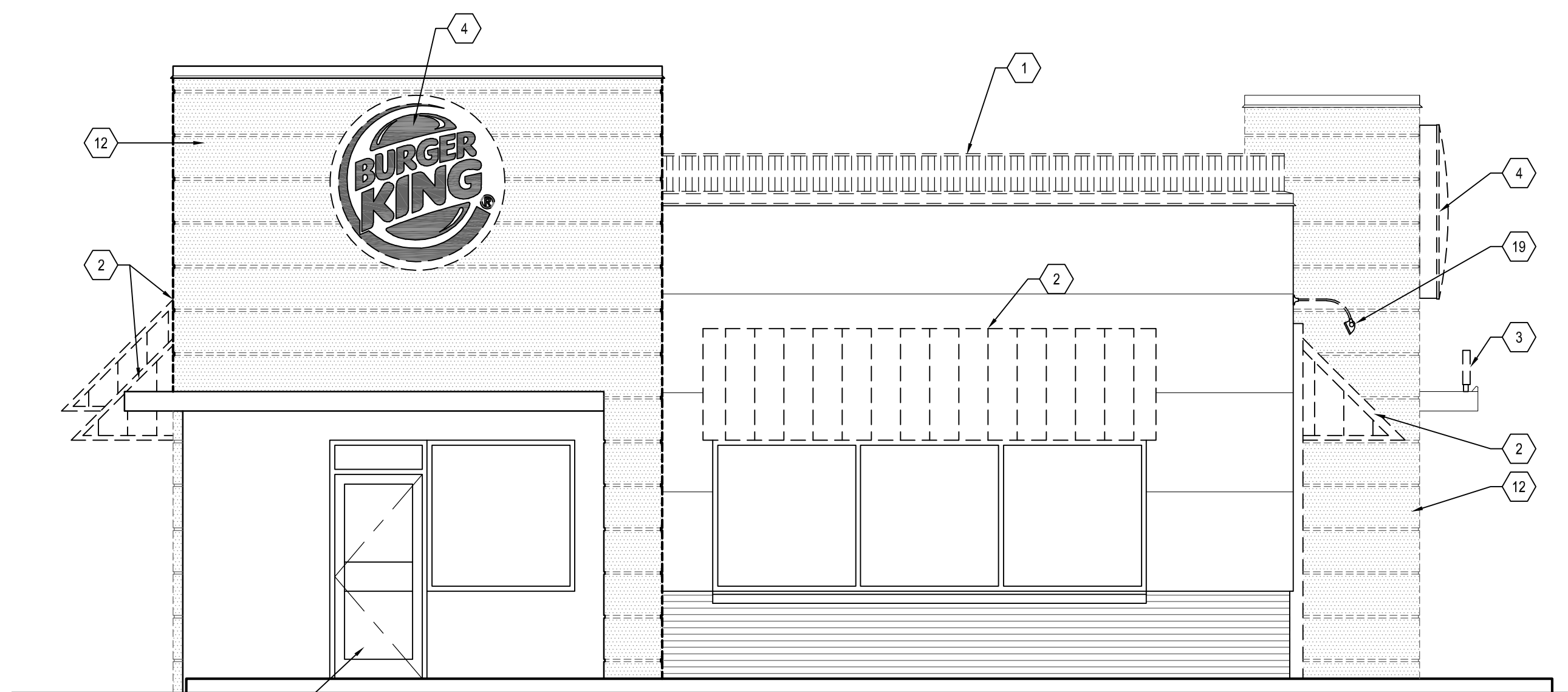
AD103



1 MAIN ENTRANCE ELEVATION
SCALE: 1/4" = 1'-0"

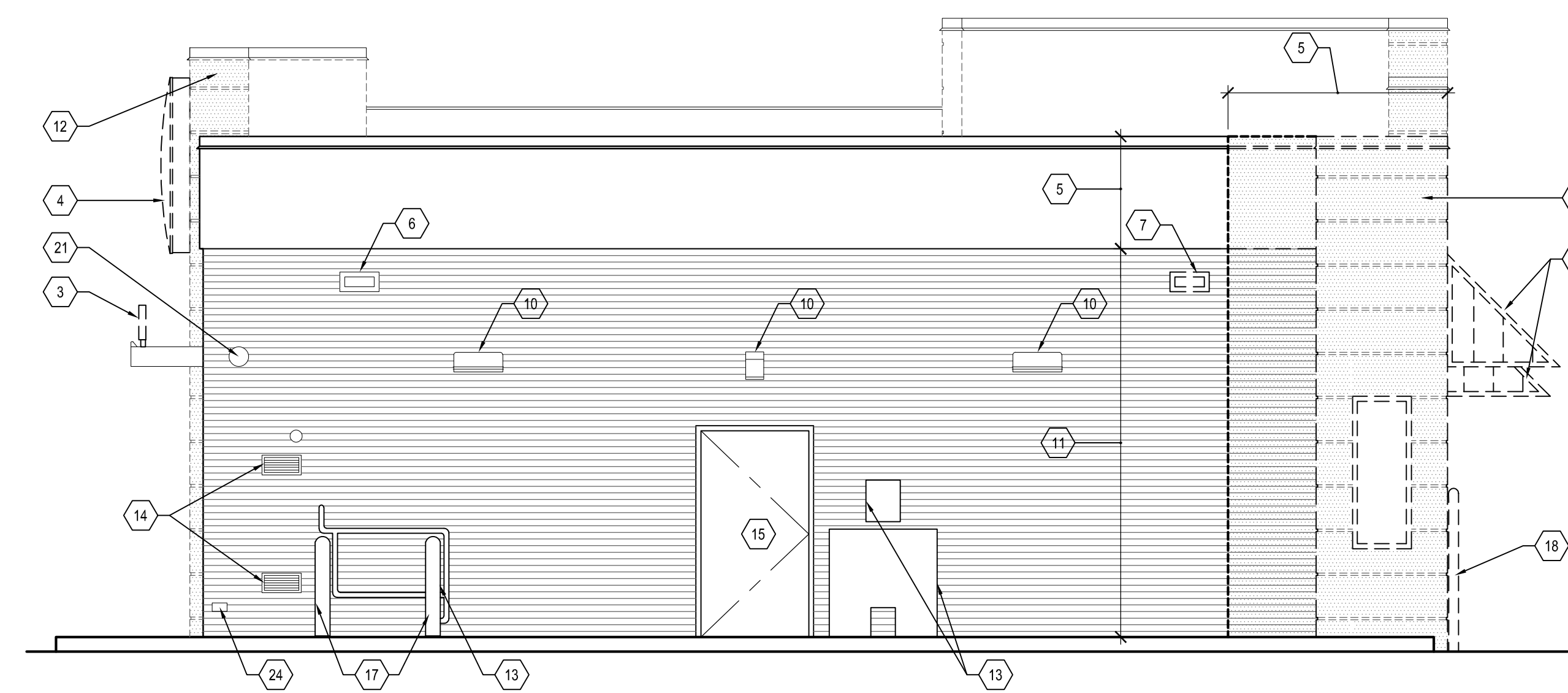


2 DRIVE-THRU ELEVATION
SCALE: 1/4" = 1'-0"



3 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING BUILDING ELEVATIONS PROVIDED FOR CONTRACTOR INFORMATIONAL REFERENCE ONLY.



4 BACK ELEVATION
SCALE: 1/4" = 1'-0"

SHEET KEYNOTES

1. REMOVE EXISTING LIGHT BANDING AND ASSOCIATED COPING WITH CARE. EXISTING PARAPET WALL TO REMAIN. EXISTING POWER TO REMAIN FOR USE IN CONSTRUCTION PHASE.
2. REMOVE EXISTING WALL MOUNTED CANOPY AND ASSOCIATED STRUCTURE.
3. EXISTING SIGNAGE TO BE DEMOLISHED WITH CARE NOT TO DAMAGE EXISTING CANOPY TO REMAIN.
4. EXISTING SIGNAGE TO BE REMOVED WITH CARE. SALVAGED AND STORED ON SITE. SIGNAGE TO BE REINSTALLED DURING CONSTRUCTION PHASE.
5. PORTION OF EXISTING ROOF PARAPET TO BE DEMOLISHED DOWN TO EXISTING TOP OF ROOF DECK AND WOOD TRUSSES TO REMAIN.
6. EXISTING PARAPET SCUPPER TO REMAIN.
7. EXISTING PARAPET SCUPPER TO BE DEMOLISHED AND RELOCATED.
8. ENLARGE EXISTING OPENING FOR PROPOSED DRIVE THRU WINDOW.
9. EXISTING DRIVE THRU WINDOWS TO BE DEMOLISHED.
10. EXISTING WALL MOUNTED LIGHT FIXTURE TO REMAIN AND RETROFITTED FOR LED FIXTURES.
11. EXISTING BRICK VENEER AND SUPPORTS TO BE DEMOLISHED WITH CARE NOT TO DAMAGE ADJACENT PLYWOOD SHEAR WALL AND WATERPROOFING TO REMAIN.
12. EXISTING EIFS FINISH TO BE REMOVED WITH CARE NOT TO DAMAGE PLYWOOD SHEAR WALL AND WATERPROOFING TO REMAIN.
13. EXISTING EQUIPMENT TO REMAIN.
14. EXISTING LOUVER TO REMAIN.
15. EXISTING DOOR AND FRAME TO REMAIN.
16. NOT USED.
17. EXISTING CONCRETE FILLED STEEL BOLLARD TO REMAIN.
18. EXISTING CONCRETE FILLED STEEL BOLLARD AND FOUNDATION TO BE DEMOLISHED.
19. EXISTING LIGHT FIXTURE AND ASSOCIATED POWER TO BE REMOVED.
20. SAW CUT AND REMOVE PORTION OF WALL AS SHOWN. TAKE CARE NOT TO DAMAGE EXISTING STRUCTURE TO REMAIN. PROVIDE NEW LINTEL SUPPORT AS NECESSARY FOR NEW DOOR OPENING.
21. EXISTING CAMERA TO BE REMOVED WITH CARE AND RETURNED TO CLIENT.
22. EXISTING CO2 TO REMAIN.
23. EXISTING GREASE/ WASTE TO REMAIN.
24. EXISTING HOSE BIB TO REMAIN.

NO.	DATE	REVISION	BY

WHITNEY BAILEY COX & MAGNANI, LLC
300 East Japan Road Suite 200
Baltimore, MD 21202
410.512.4500 www.wbcm.com

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License #6140 Expiration Date: 08/21/2022

EXISTING BUILDING ELEVATIONS

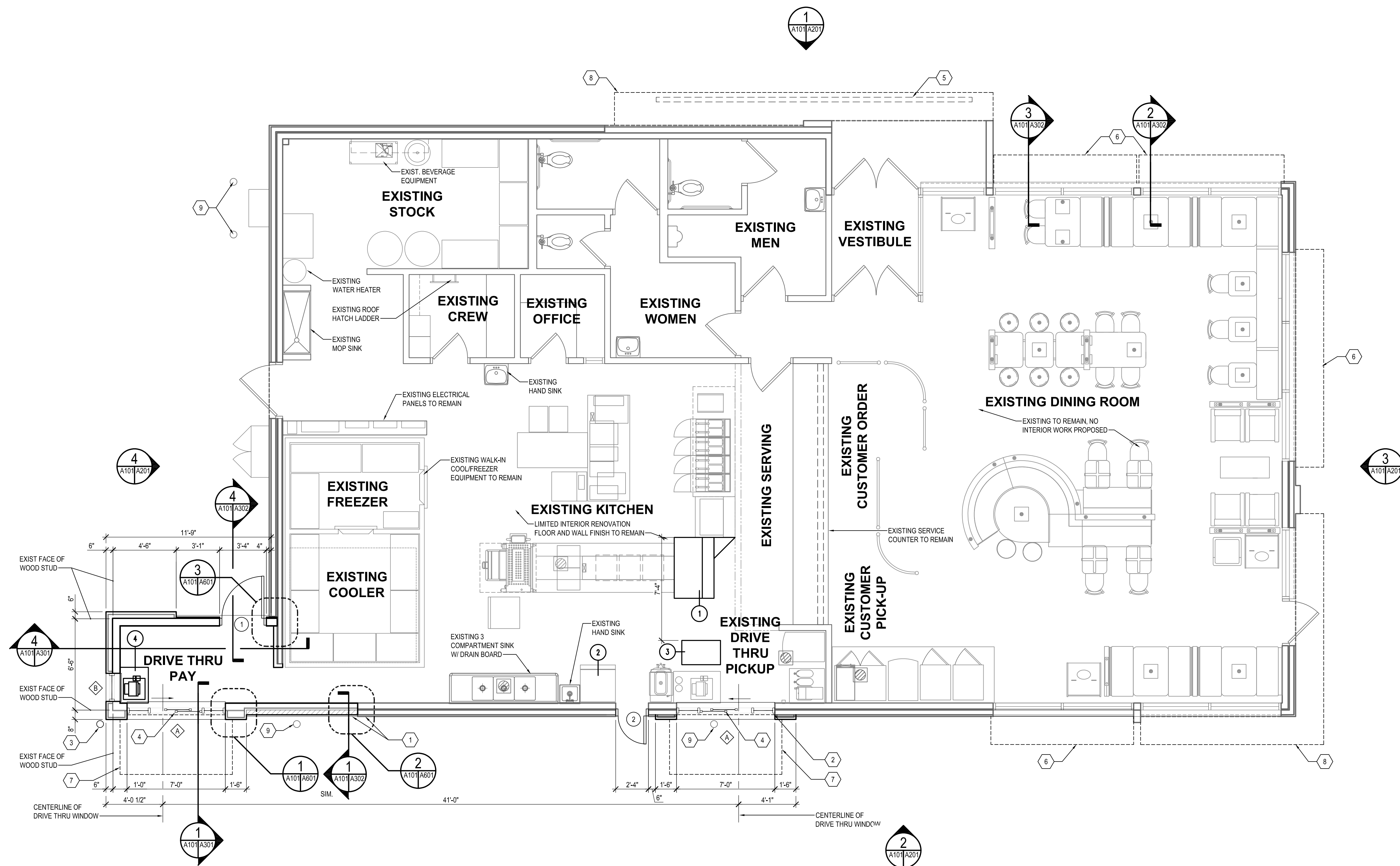
ALTERATIONS - BURGER KING # 10839

BURGERS OF BALTIMORE, LLC.
200 SOUTH FOUNTAIN GREEN ROAD
BEL AIR, MD, 21015

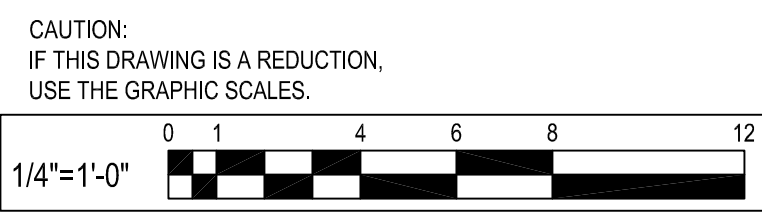
DESIGNED:	J.M.M.
DRAWN:	J.M.M.
CHECKED:	S.C.B.
SCALE:	AS SHOWN
DATE:	04/21/2021
PROJECT:	2018.0375.05
DRAWING:	

AD201

04-21-2021 PERMIT SUBMISSION



NEW WORK FLOOR PLAN
SCALE: 1/4" = 1'-0"



CONSTRUCTION LEGEND	
	EXISTING PARTITION TO REMAIN.
	EXISTING WINDOW AND FRAME TO REMAIN.
	EXISTING DOOR AND FRAME TO REMAIN.
	NEW PARTITION TO BE CONSTRUCTED.
	NEW WINDOW AND FRAME TO BE CONSTRUCTED.
	NEW DOOR AND FRAME TO BE CONSTRUCTED.

GENERAL SHEET NOTES

- GC SHALL REVIEW ALL CONCRETE CURBING GUTTERS, WALKWAYS, DRIVEWAY APRONS, ETC. FOR DETERMINATION AND NEEDED REPAIRS. GC SHALL PROVIDE AN ITEMIZED LIST OF DEFICIENCIES, WITH SPECIFICATIONS FOR REPAIRS, AND PROVIDE PRICING TO PERFORM AND COMPLETE THE WORK.
- GC SHALL INSTALL ALL NEW SIGNAGE, PROVIDED BY THE OWNER. GC SHALL PROVIDE ALL FOUNDATIONS FOR EXTERIOR SIGNS AND ASSOCIATED COMPONENTS.
- GC SHALL PAINT ALL PAINTABLE SURFACES ON THE EXTERIOR OF THE BUILDING TO INCLUDE, BUT NOT LIMITED TO, THE BUILDING TRIM, ALL LIGHT POLES, SIGNS, SIGN POSTS, DOORS, ETC. ALL PAINTS MUST BE APPROVED AND AS SPECIFIED BY BURGER KING CORPORATION.
- GC TO POWER WASH AND CLEAN ALL AREAS OF THE BUILDING NOT BEING RE-SURFACED OR PAINTED, AND ALL CONCRETE.
- GC SHALL REPAIR/REPLACE FRP PANELS IN THE KITCHEN AREA AS NEEDED. INCLUDE THE REPLACEMENT OF UP TO 4 SHEETS OF NEW FRP PANELS. SUPPLY COST PER PANEL.
- GC SHALL CLEAN, REPAIR/REPLACE DAMAGED AND BROKEN TILES IN THE KITCHEN AREA. REGROUT THE FLOOR AS REQUIRED/NEEDED.
- GC SHALL INSTALL ALL CEILING MONITORS AND OTHER MISCELLANEOUS ITEMS DISTURBED AND OR REMOVED AS PART OF THE WORK. ANY ITEMS THAT CANNOT BE CLEANED / REFURNISHED TO LOOK AS NEW WILL BE REPLACED WITH NEW.
- UNDER THE CONSTRUCTION WORK OF THIS PROJECT, GC SHALL INSTALL ALL BLOCKING, SUPPORT FRAMING, EMBEDS, CONCEALED OR OTHERWISE FOR ALL SIGNS, CANOPIES, AND BUILDING ATTACHMENTS. CHECK DRAWINGS AND FIELD CONDITIONS TO VERIFY PROPER SUPPORT FOR SUCH ITEMS.
- ALL EXISTING AND REMAINING SIGNS SHALL BE CLEANED, RETROFITTED FOR LED AND RE-LAMPED AS NEEDED.
- GC IS RESPONSIBLE FOR RECEIVING ALL SHIPMENTS AND CONSTRUCTION MATERIALS AND DISPOSING OF ALL MATERIALS ASSOCIATED WITH THE REMODEL OF THE RESTAURANT.
- ALL EQUIPMENT SHOWN ON PLAN IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE. REFER TO EQUIPMENT SCHEDULE ON THIS SHEET FOR ALL EQUIPMENT TO BE RELOCATED BY GENERAL CONTRACTOR. GENERAL CONTRACTOR TO MAKE NECESSARY CHANGES TO PLUMBING, ELECTRICAL, FINISHES, ETC. TO ACCOMMODATE THEIR NEW LOCATIONS.

SHEET KEYNOTES

- REPAIR WALL SUBSTRATE TO MATCH ADJACENT WALL.
- PROVIDE NEW NECESSARY BRACING FOR NEW DRIVE THRU WINDOW. INSTALL NEW LINTEL AND BRACING. FINISH OPENING TO RECEIVE NEW FINISHES.
- PROVIDE AND INSTALL NEW 6" DIA. STEEL BOLLARD, FILLED WITH CONCRETE.
- PROVIDE AND INSTALL NEW DRIVE THRU WINDOW ASSEMBLY.
- EXISTING CANOPY TO REMAIN. PROVIDE NEW SIGN ATTACHED TO EXISTING SUPPORTS.
- PROVIDE NEW CANOPY OVER EXISTING STOREFRONT WINDOW TO REMAIN. PROVIDE ADDITIONAL TREATED WOOD BLOCKING BEHIND WALL AS NECESSARY.
- PROVIDE NEW CANOPY OVER DRIVE THRU WINDOW. PROVIDE ADDITIONAL TREATED WOOD BLOCKING BEHIND WALL AS NECESSARY.
- EXISTING CANOPY TO BE REINSTALLED DURING CONSTRUCTION PHASE AFTER EXTERIOR FINISHES HAVE BEEN INSTALLED.
- EXISTING BOLLARD TO REMAIN.

EQUIPMENT SCHEDULE

ITEM #	QTY.	DESCRIPTION	SUPPLIED BY	INSTALLED BY
1		SANDWICH WARM STATION	H&K	G.C.
2		ICE MACHINE	EXISTING	TO REMAIN
3		SHAKE MACHINE	EXISTING	RELOCATED
4		CASHIER COUNTER	EXISTING	RELOCATED

NO.	DATE	REVISION	BY

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NEW WORK - FLOOR PLAN

ALTERATIONS - BURGER KING # 10839

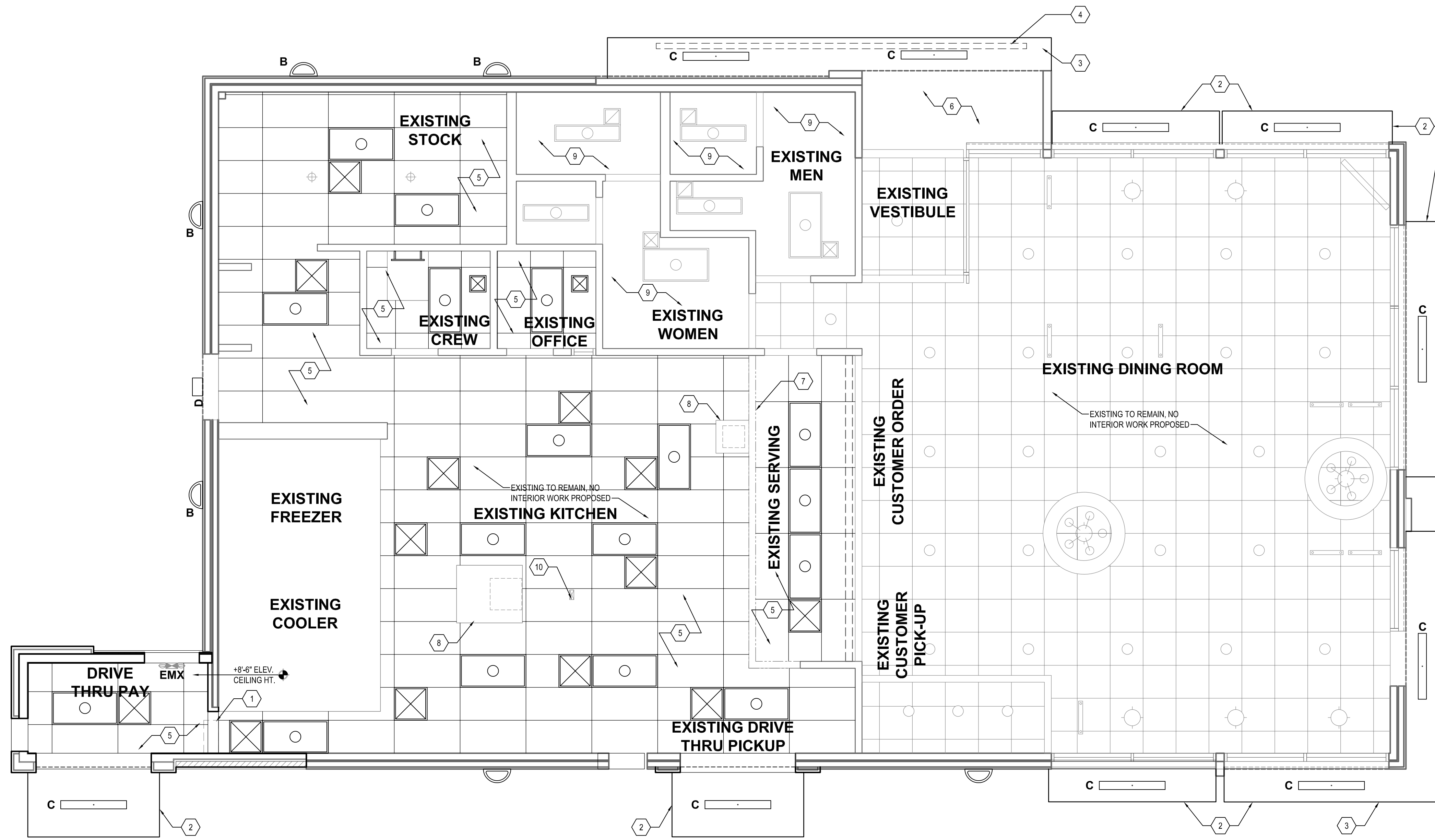
BURGERS OF BALTIMORE, LLC.
200 SOUTH FOUNTAIN GREEN ROAD
BEL AIR, MD. 21015

DESIGNED: J.M.M.
DRAWN: J.M.M.
CHECKED: S.C.B.
SCALE: AS SHOWN
DATE: 04/21/2021
PROJECT: 2018.0375.05
DRAWING:

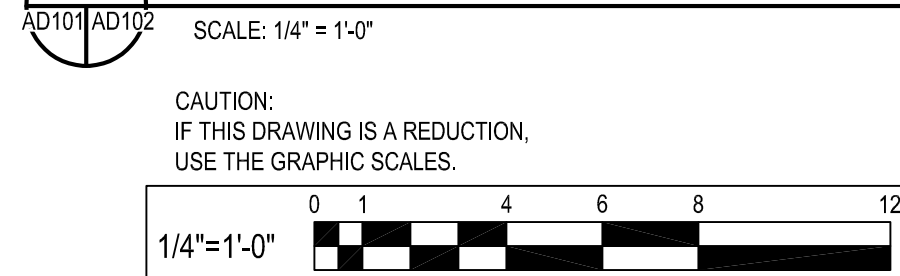
A101

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1 NEW WORK CEILING PLAN



SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
	SUPPLY AIR DIFFUSERS
	RETURN AIR GRILLES
	EXHAUST FAN GRILLES
A	2X4 RECESSED FLAT LENS (NIGHT LIGHT WHEN SHOWN HATCHED)
B	SURFACE MOUNTED EXTERIOR WALL SCONCE
C	WET LISTED 4-0" CANOPY LIGHT USED UNDER CLOSED CANOPIES
D	WALL MOUNTED SECURITY LIGHT
EM	EMERGENCY LIGHT
EMX	EXIT LIGHT

REF. SHEET M-1 FOR SPEC.
REF. SHEET E-1 FOR SPECIFICATIONS

GENERAL SHEET NOTES	
1.	ALL DIMENSIONS SHOWN ON REFLECTED CEILING PLAN ARE FROM FACE OF WALL FINISH UNLESS NOTED OTHERWISE.
2.	THE REFERENCE HEIGHTS INDICATED ON PLAN ARE FROM FINISH FLOOR (F.F.)
3.	CONTRACTOR SHALL VERIFY FIXTURE QUANTITIES AND ALSO MAKE PROPER ADJUSTMENTS FOR ANY CHANGES IN PLAN DUE TO ADDITIONAL REQUIREMENTS, LOCAL CODES, ETC.
4.	FOR H.V.A.C. PLAN, SECTIONS, DUCT LOCATIONS, SUPPLY AND RETURN GRILLE SIZES AND ADDITIONAL INFORMATION, REFERENCE SHEET M-1.
5.	ALL FIXTURES SHALL BE LOCATED IN THE CENTER OF CEILING TILES UNLESS NOTED OTHERWISE.
6.	REFERENCE SHEET E-1 FOR LIGHTING LAYOUT REQUIREMENTS AND ADDITIONAL INFORMATION.
7.	PERFORM MAINTENANCE AND CLEANING OF EXISTING EQUIPMENT, MECHANICAL UNITS, AND DUCTWORK BEFORE REINSTALLATION OF CEILING AND DIFFUSERS.

SHEET KEYNOTES	
1.	PROVIDE NEW GYPSUM BOARD BULKHEAD AT OPENING.
2.	PROVIDE AND INSTALL NEW PREFABRICATED METAL CANOPY.
3.	EXISTING PREFABRICATED METAL CANOPY TO REMAIN. REINSTALL AFTER EXTERIOR WALL FINISHES ARE INSTALLED.
4.	PROVIDE NEW SIGN ATTACHED TO EXISTING SUPPORTS ON EXISTING CANOPY.
5.	NEW SUSPENDED ACOUSTIC CEILING SYSTEM TO BE INSTALLED. NEW CEILING GRID AND PANELS TO BE ALIGNED WITH EXISTING HVAC SUPPLY AND EXHAUST DUCTS TO REMAIN. NEW ACOUSTIC CEILING PANEL FINISH TO BE CERTAINTED, VINYROCK, 24"X48" MODEL NO. 1140-CFR.
6.	VESTIBULE SOFFIT ABOVE ENTRY, CEILING PAINT TO MATCH INTERIOR CEILING.
7.	NEW MENU BOARD, REFER TO INTERIOR DECOR. DRAWINGS.
8.	EXISTING MECHANICAL EXHAUST HOOD ABOVE TO REMAIN.
9.	EXISTING GYPSUM BOARD CEILING TO REMAIN. PROVIDE NEW PAINT FINISH. EXISTING LIGHTS AND DIFFUSERS TO REMAIN.
10.	ELECTRICAL EQUIPMENT CHASE TO REMAIN.

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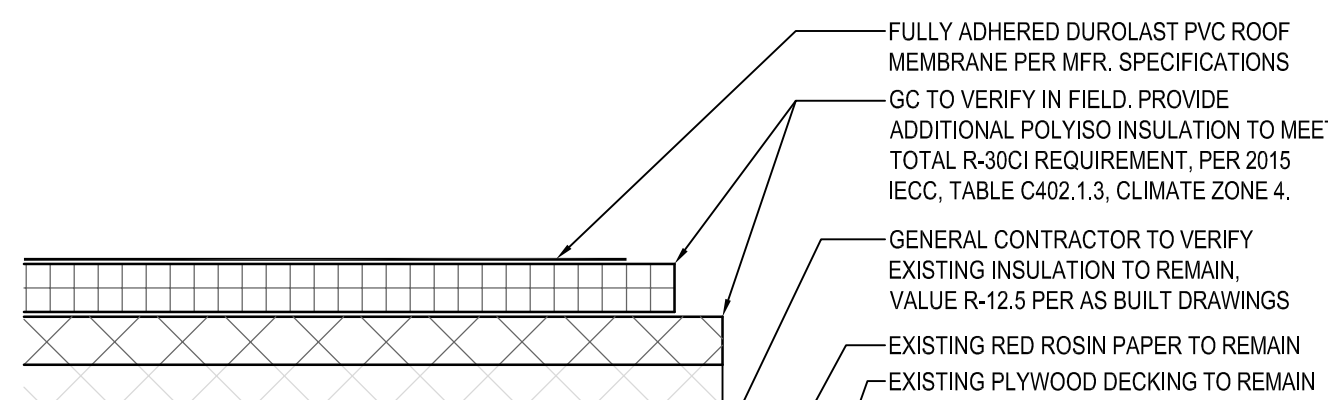
REFLECTED CEILING PLAN

ALTERATIONS - BURGER KING # 10839

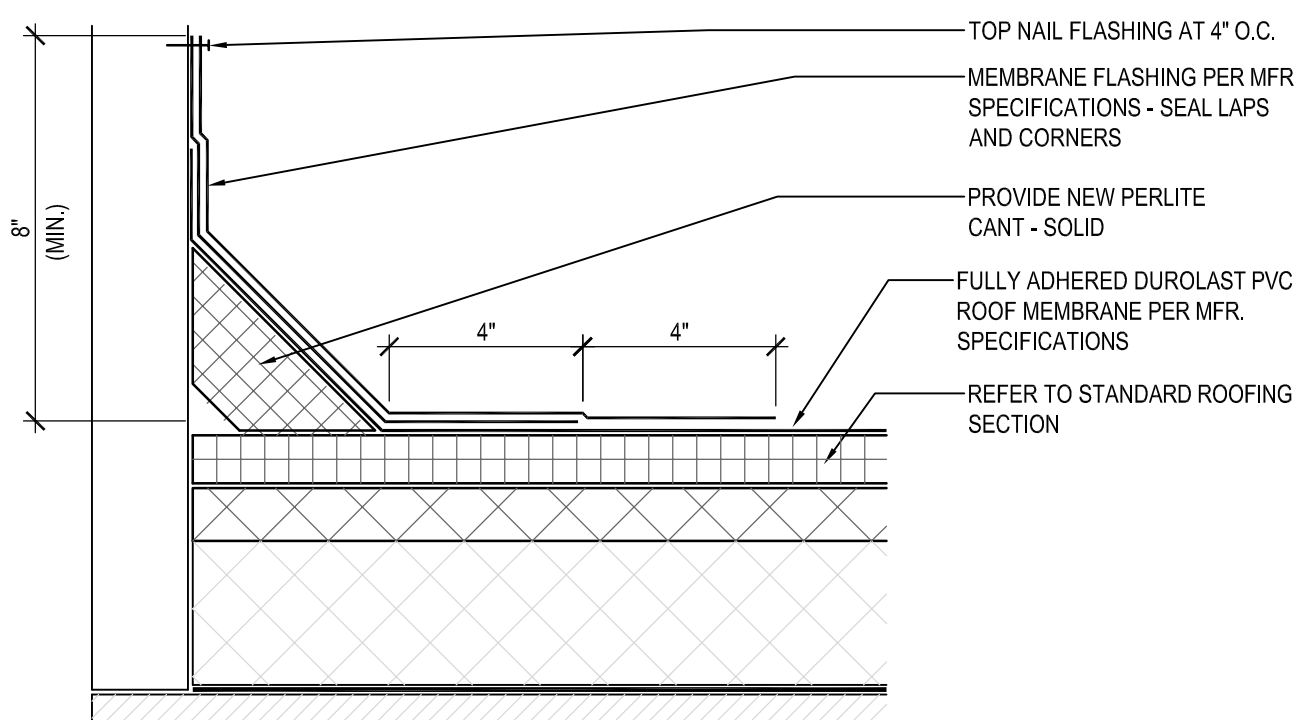
BURGERS OF BALTIMORE, LLC.
200 SOUTH FOUNTAIN GREEN ROAD
BEL AIR, MD, 21015

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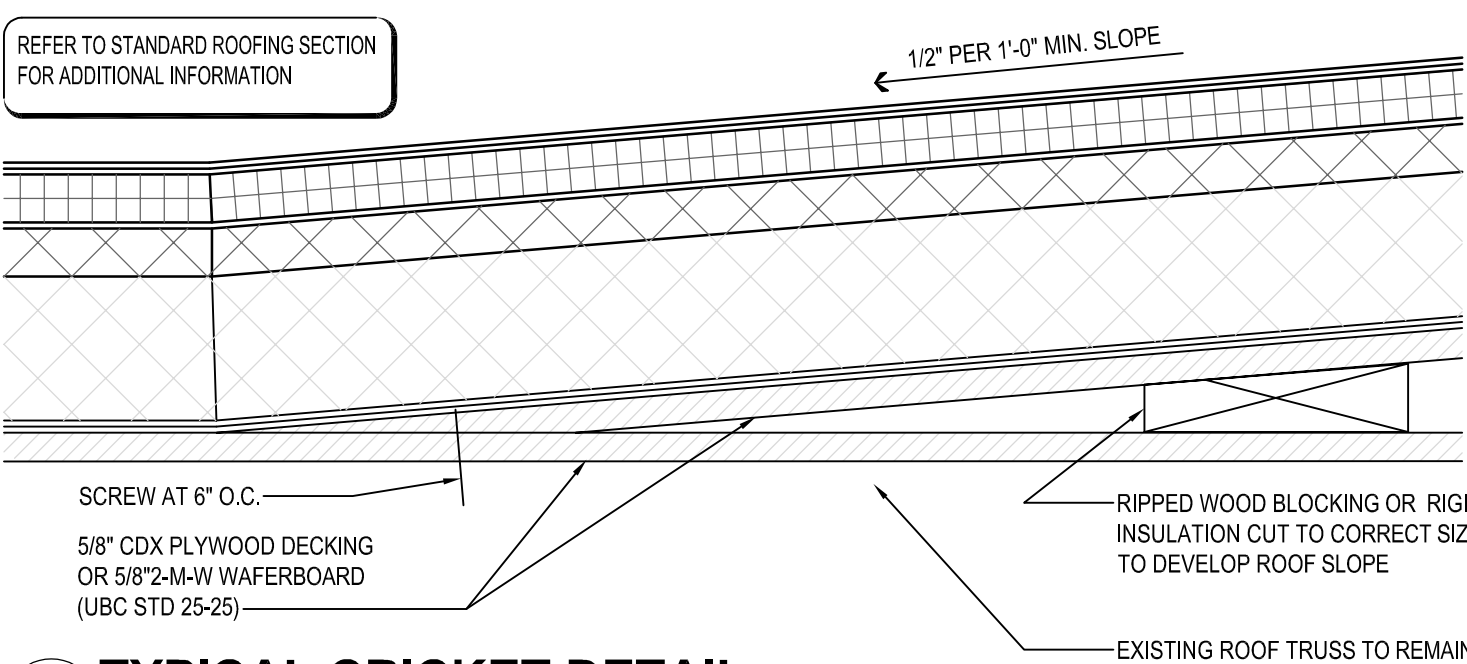
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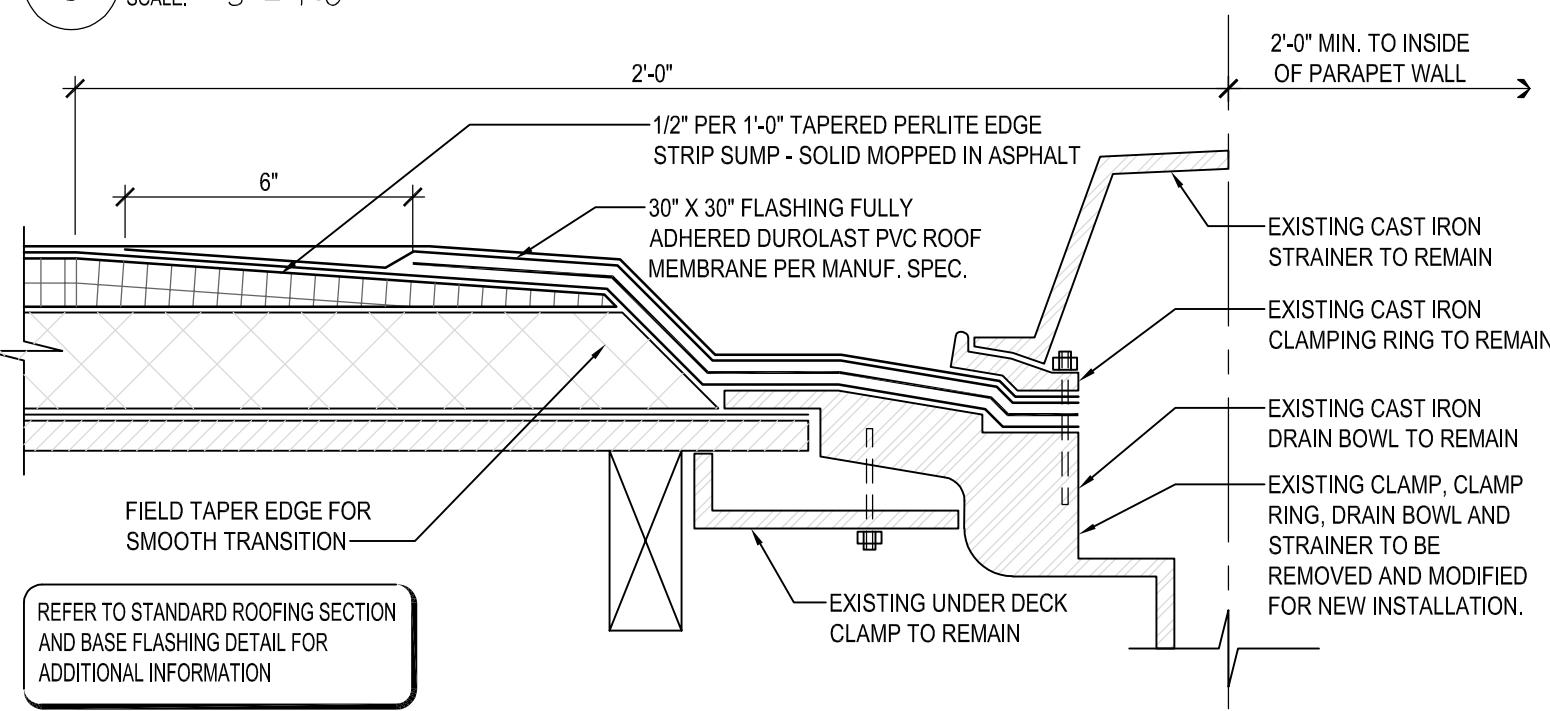
1 STANDARD ROOFING SECTION
SCALE: 3" = 1'-0"



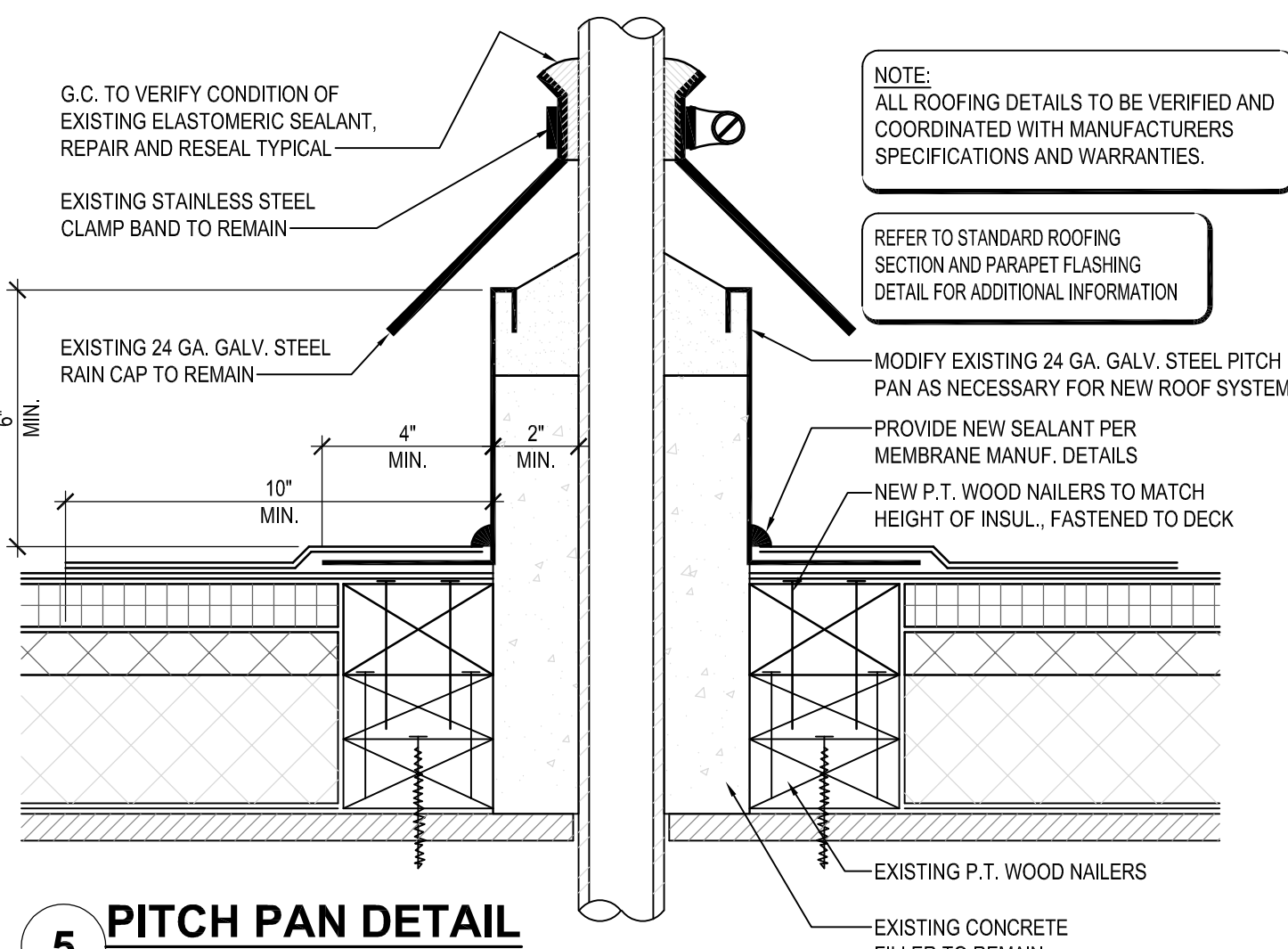
2 STANDARD BASE FLASHING CONFIGURATION
SCALE: 3" = 1'-0"



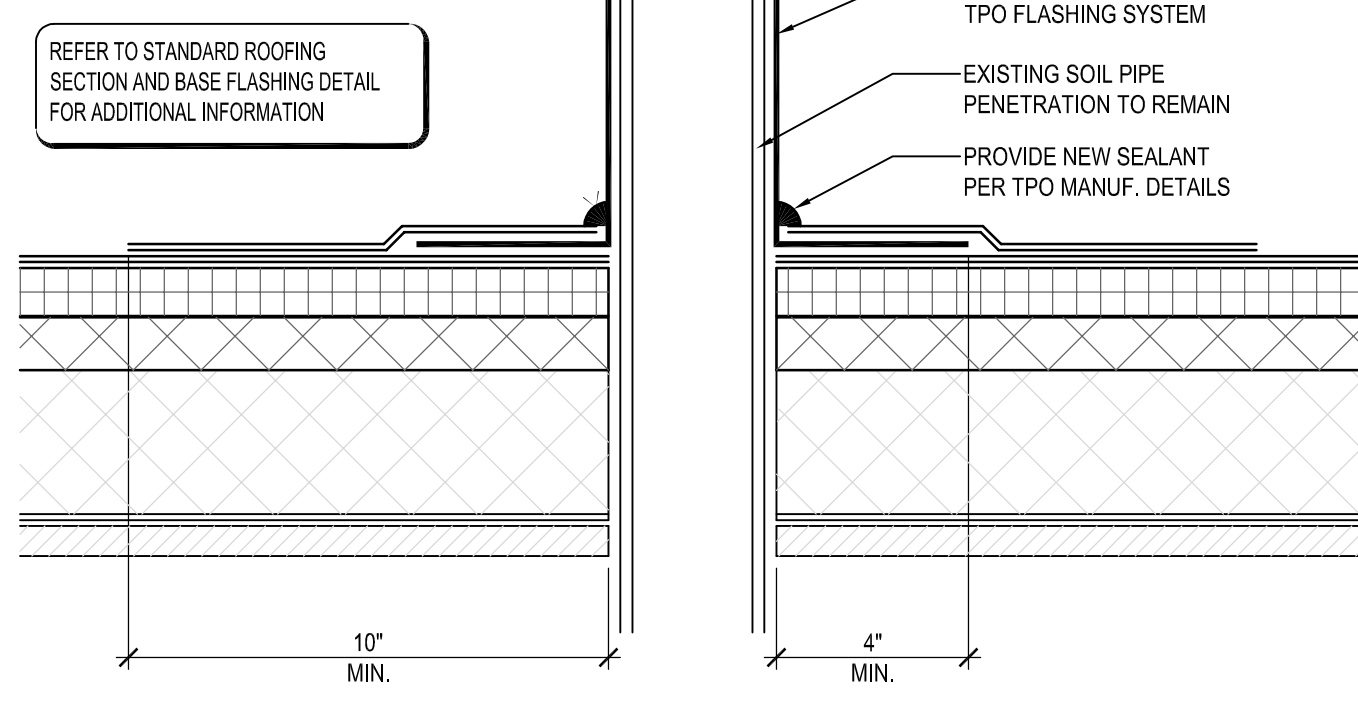
3 TYPICAL CRICKET DETAIL
SCALE: 3" = 1'-0"



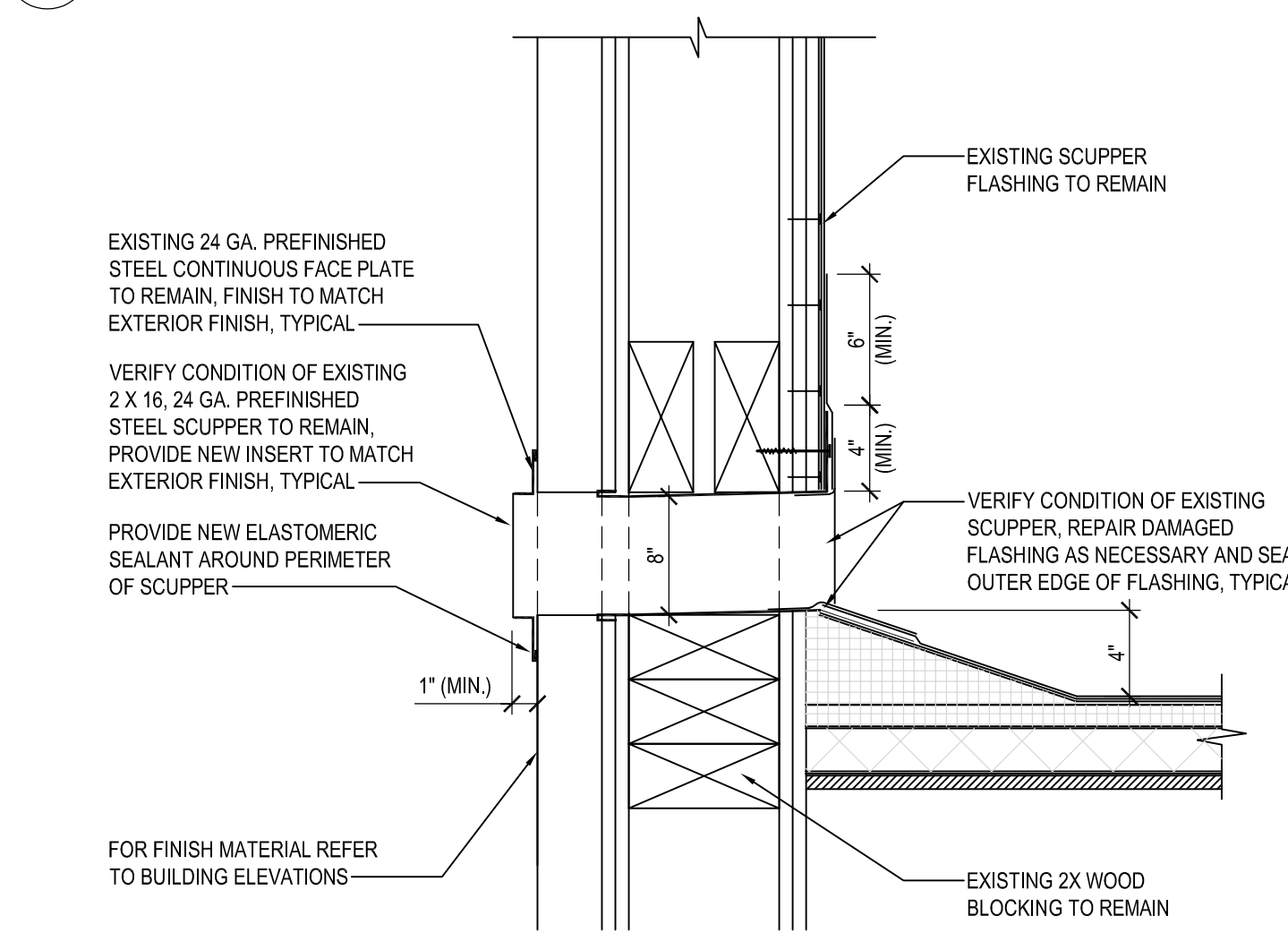
4 ROOF DRAIN DETAIL
SCALE: 3" = 1'-0"



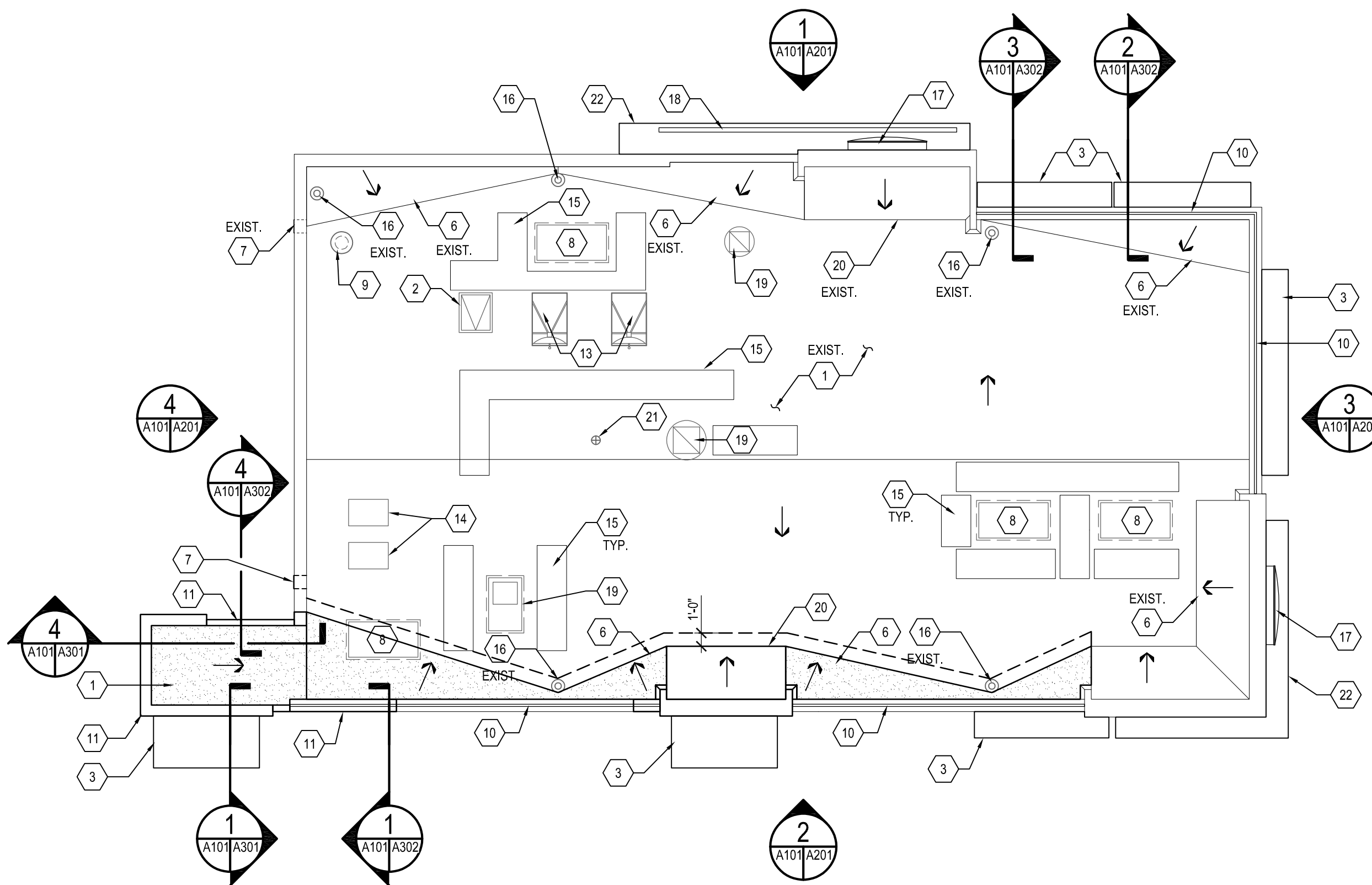
5 PITCH PAN DETAIL
SCALE: 3" = 1'-0"



6 SOIL PIPE FLASHING DETAIL
SCALE: 3" = 1'-0"

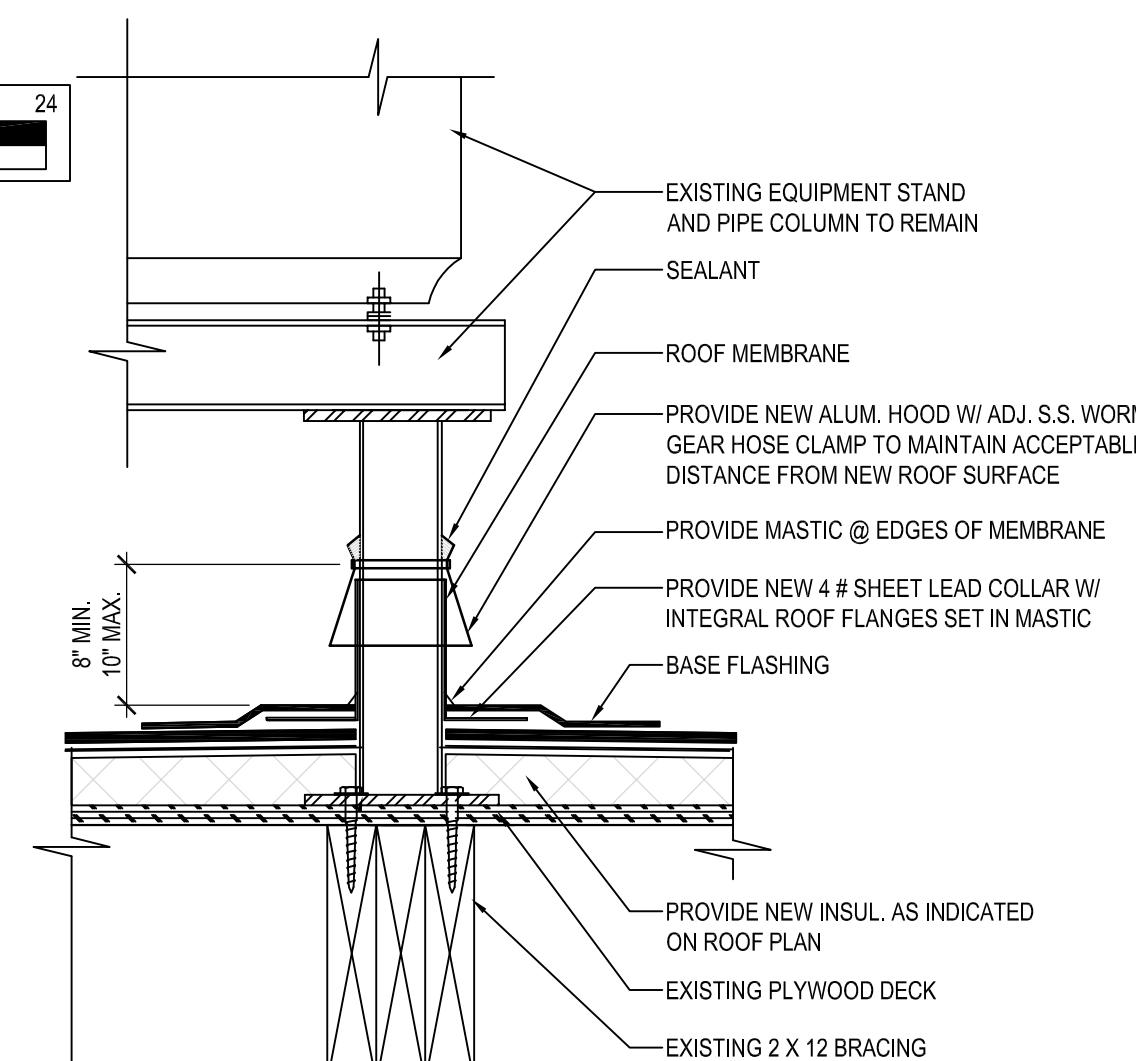
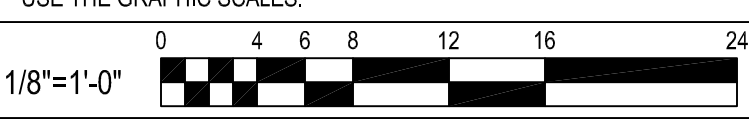


7 OVERFLOW SCUPPER DETAIL
SCALE: 3" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

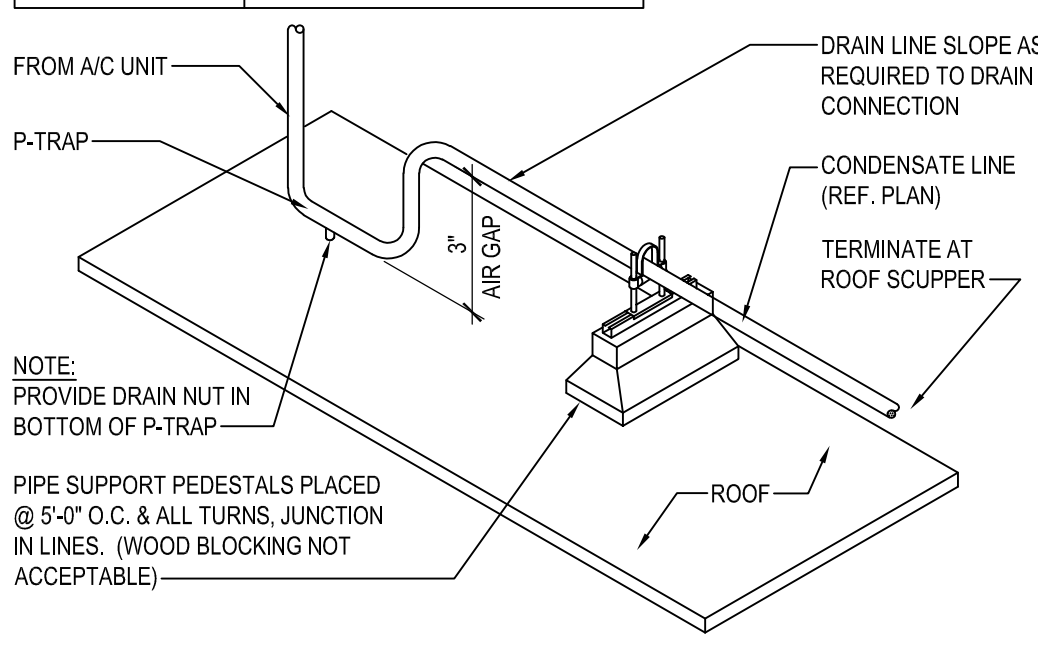
CAUTION: IF THIS DRAWING IS A REDUCTION, USE THE GRAPHIC SCALES.



9 EQUIPMENT STAND DETAIL
SCALE: 3" = 1'-0"

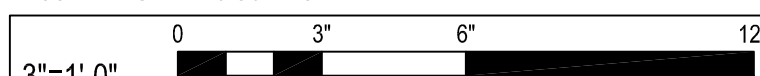
VERIFY W/ EQUIPMENT SUPPLIER IF IN CONTRACT.

WIDTH OF UNIT	MINIMUM CLEARANCE ABOVE ROOF SURFACE (INCHES)
< 24	14
24 - 36	18
36 - 48	24
48 - 60	30
> 60	48



8 CONDENSATE LINE SUPPORT DETAIL
SCALE: NONE

CAUTION: IF THIS DRAWING IS A REDUCTION, USE THE GRAPHIC SCALES.



GENERAL NOTES

- THE EXISTING ROOF STRUCTURE SHALL NOT BE USED FOR STOCKPILING OF EQUIPMENT OR MATERIALS UNLESS APPROVED BY THE ARCHITECT, STRUCTURAL ENGINEER AND THE JOIST MANUFACTURER.
- THE ROOFING SYSTEM SHALL BE AS PER DRAWINGS AND PER MANUFACTURERS SPECIFICATIONS.
- COORDINATE ROOF ELEVATIONS WITH EXISTING ROOF STRUCTURE AND EXISTING OPENING FOR MECHANICAL EQUIPMENT. REFER TO SPECIFICATION SHEET FOR ROOF RELATED ITEMS, INCLUDING GUARANTEES, CURBS, FLASHING, ETC.
- PER AS-BUILT DRAWINGS, EXISTING ROOF INSULATION IS 1 1/2" THICK. REPLACEMENT INSULATION FOR NEW ROOFING SYSTEM MAY BE 8" THICK TO PROVIDE AN R-30. MODIFY EXISTING ROOF TOP EQUIPMENT SUPPORTS, ETC. TO ACCOMMODATE THIS INCREASE IN THICKNESS.
- MINIMUM CURB HEIGHT: 8"

GENERAL SHEET NOTES

- ROOFING SUBCONTRACTOR TO COORDINATE LOCATION OF EXISTING H.V.A.C. UNITS AND ROOF TOP ACCESSORIES WITH EXISTING OPENINGS AND EXISTING STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. COORDINATE WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. COORDINATE PLACEMENT AND TAPERED RIGID INSULATION BOARD LAY-OUT AND SUBSEQUENT INSTALLATION IN ORDER TO AVOID PONDING WATER CONDITIONS ATTRIBUTABLE TO BOARD LAY-OUT ISSUES.
- ROOF SYSTEMS SPECIFIED SHALL BE APPLIED ONLY BY MANUFACTURER APPROVED APPLICATOR IN ORDER TO MEET GUARANTEE REQUIREMENTS.
- HVAC CONDENSATE LINES TO TERMINATE AT ROOF DRAIN OR AS REQUIRED BY LOCAL CODE.
- REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL CURBS AND PIPE PENETRATIONS SHALL HAVE A MINIMUM OF 16" CLEAR FROM EACH OTHER FOR ROOF FLASHING PURPOSES. ALL EQUIPMENT SHALL HAVE A MINIMUM OF 16" CLEAR FROM ALL ADJACENT PARAPETS. ALL HVAC MOUNTED EQUIPMENT (DISCONNECT BOXES, GFCL, PIPE SUPPORTS) SHALL NOT BE CLOSER THAN 16" FROM EACH OTHER OR CURB. NO UNISTRUT PIPE SUPPORTS SHALL BE USED AS VERTICAL MEMBERS FOR MOUNTING EQUIPMENT TO ROOF SURFACE.
- PONDING WATER IS DEFINED AS WATER THAT DOES NOT DRAIN OR DISSIPATE FROM THE ROOF WITHIN 48 HOURS AFTER PRECIPITATION.
- ALL FLASHING CEMENTS, DURO-LAST MEMBRANE, PRODUCTS AND ACCESSORIES SHALL BE APPROVED BY ROOFING MANUFACTURER WITH THE MANUFACTURER'S BRAND. ALL ROOFING PRODUCTS SHALL BE AMERICAN MANUFACTURED PRODUCTS.

SHEET KEYNOTES

- FULLY ADHERED DURO-LAST PVC ROOF MEMBRANE.
- ROOF ACCESS SCUTTLE TO BE REMOVED, RAISE AND REINSTALLED WITH INSTALLATION OF NEW INSULATION AND ROOF SYSTEM. GENERAL CONTRACTOR TO VERIFY CONDITION OF EXISTING SCUTTLE AND REPAIR FINISH AS NECESSARY.
- PREFABRICATED METAL CANOPY. REFERENCE SHEETS A304.
- EXISTING VENT THROUGH ROOF. PROVIDE PREFABRICATED DURO-LAST VENT FLASHING FOR ALL VENTS AND PIPE PENETRATIONS. REFERENCE DETAIL #6, THIS SHEET.
- INSTALL DURO-LAST PVC ROOF MEMBRANE SACRIFICE SHEET AS SPECIFIED AT KITCHEN EXHAUST.
- ROOF CRICKET WITH SLOPE TO MATCH ROOF, REFER TO DETAIL #3, THIS SHEET.
- OVERFLOW ROOF SCUPPERS - REFER TO DETAIL #7 THIS SHEET.
- ROOFTOP AIR CONDITIONING UNIT - REFER TO MECHANICAL PLANS.
- EXHAUST FAN - REFER TO MECHANICAL PLANS.
- ILLUMINATED PARAPET LIGHT BAND MP-1.
- RAISED PARAPET WALL WITH NEW PRE FINISHED METAL COPING.
- PVC CONDENSATE DRAIN (SIZE AS SHOWN) WITH PIPE SUPPORTS EVERY 5'-0". TERMINATE CONDENSATE DRAIN AT PRIMARY SCUPPER. REFER TO DETAIL #8, THIS SHEET FOR ADDITIONAL INFORMATION.
- PROVIDE NEW PITCH PAN WITH CONDUIT OVER OFFICE FOR EXISTING SATELLITE DISH ANTENNA TO BE REMOVED AND REINSTALLED.
- EQUIPMENT STAND FOR WALK-IN BOX COOLER/FREEZER CONDENSERS AND ICE MACHINE CONDENSER. REFER TO EQUIPMENT STAND DETAIL, THIS SHEET.
- ROOF WALKWAY PADS, INSTALL IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
- EXISTING ROOF DRAINS. MODIFY AND EXTEND RAIN WATER LEADER, AS REQUIRED FOR NEW ROOFING SYSTEM AND THICKER INSULATION REFER TO DETAIL #4 THIS SHEET.
- REINSTALL EXISTING SALVAGED SIGNAGE. SIGNAGE TO BE REINSTALLED DURING CONSTRUCTION PHASE.
- NEW SIGNAGE TO BE INSTALLED
- EXISTING EXHAUST FAN ON MODIFY EXISTING CURBS AND OPENING. COORDINATE WITH LOCATION OF FRYER AND BROILER BELOW. CONNECT EXISTING FRYER AND BROILER HOOD WITH ASSOCIATED DUCTWORK.
- CRIPPLE ONTO OTHER SHEATHING AND RAFTERS/KICKERS.
- EXISTING SEALED ROOF VENT TO REMAIN.
- REINSTALL SALVAGED CANOPY. REINSTALL DURING CONSTRUCTION PHASE.
- EXISTING WALL MOUNTED METAL VENT TO BE REMOVED, CAPPED AND SEALED WITH MEMBRANE ROOF PATCH. MEMBRANE PATCH SHALL BE COMPATIBLE WITH EXISTING ROOF SYSTEM AND INSTALLED PER MANUFACTURER RECOMMENDATIONS.
- EXISTING ABANDONED ROOF TOP EQUIPMENT TO REMAIN.
- WALL MOUNTED METAL VENT REMOVED. PROVIDE BLOCKING AND PLYWOOD SUBSTRATE FLUSH WITH ADJACENT PARAPET WALL. PATCH AND REPAIR WITH ADJACENT ROOF WITH COMPATIBLE DURO-LAST ROOF MEMBRANE.

BY	
REVISION	
DATE	
NO.	

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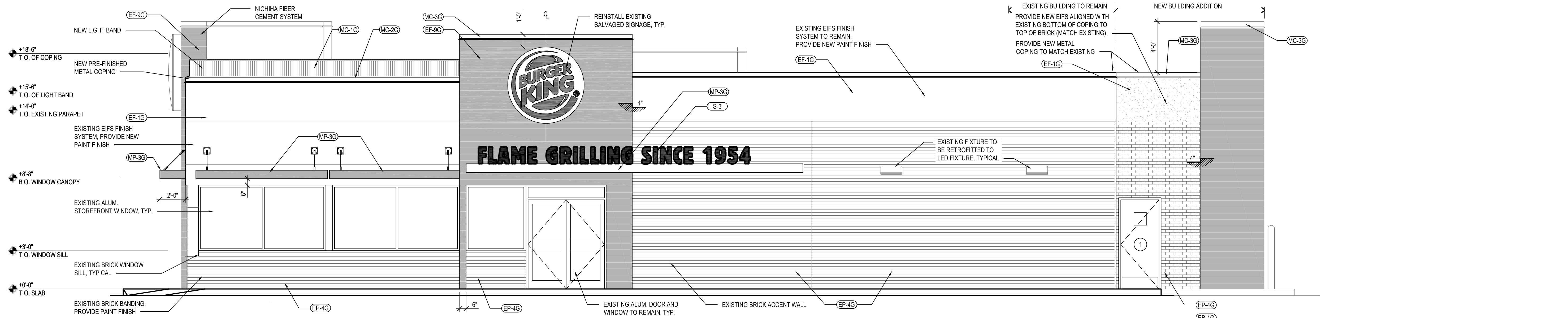
NEW WORK ROOF PLAN

ALTERATIONS - BURGER KING # 10839

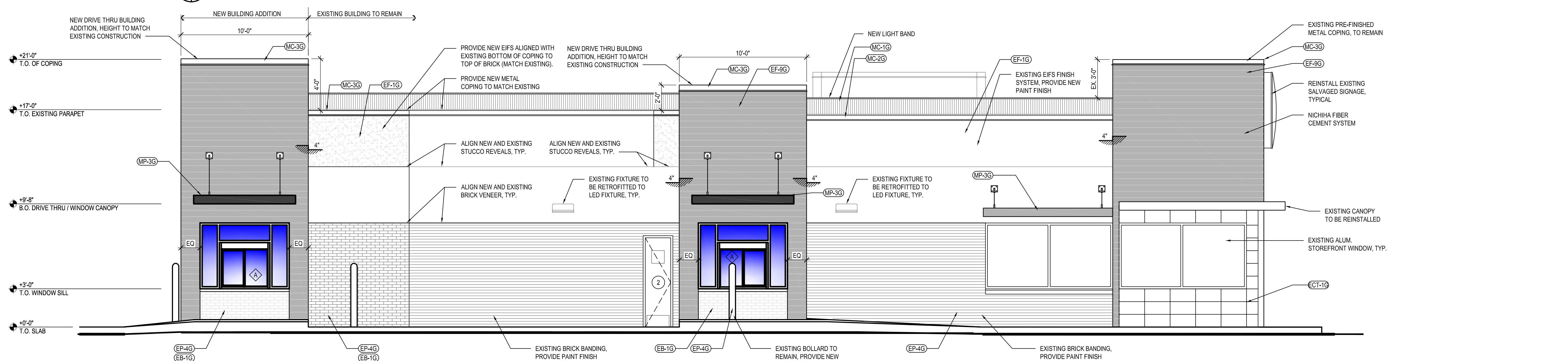
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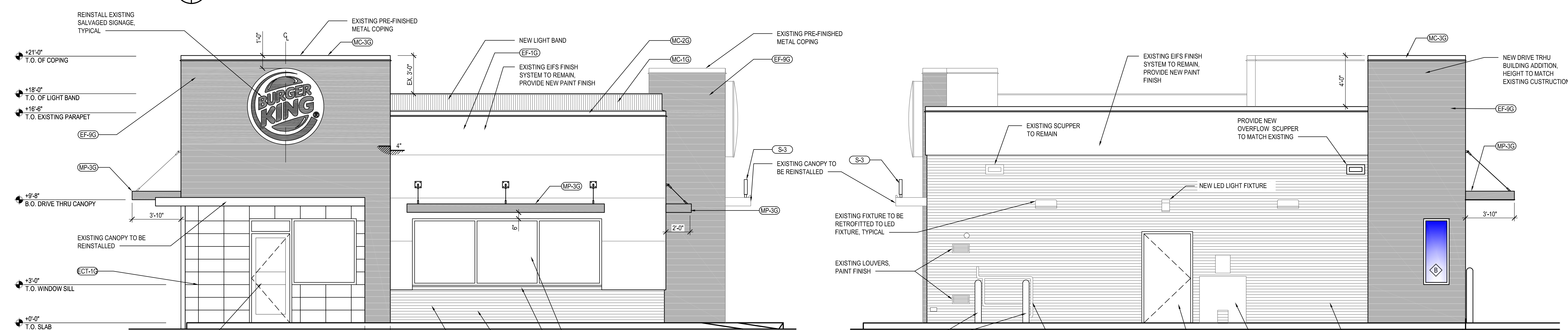
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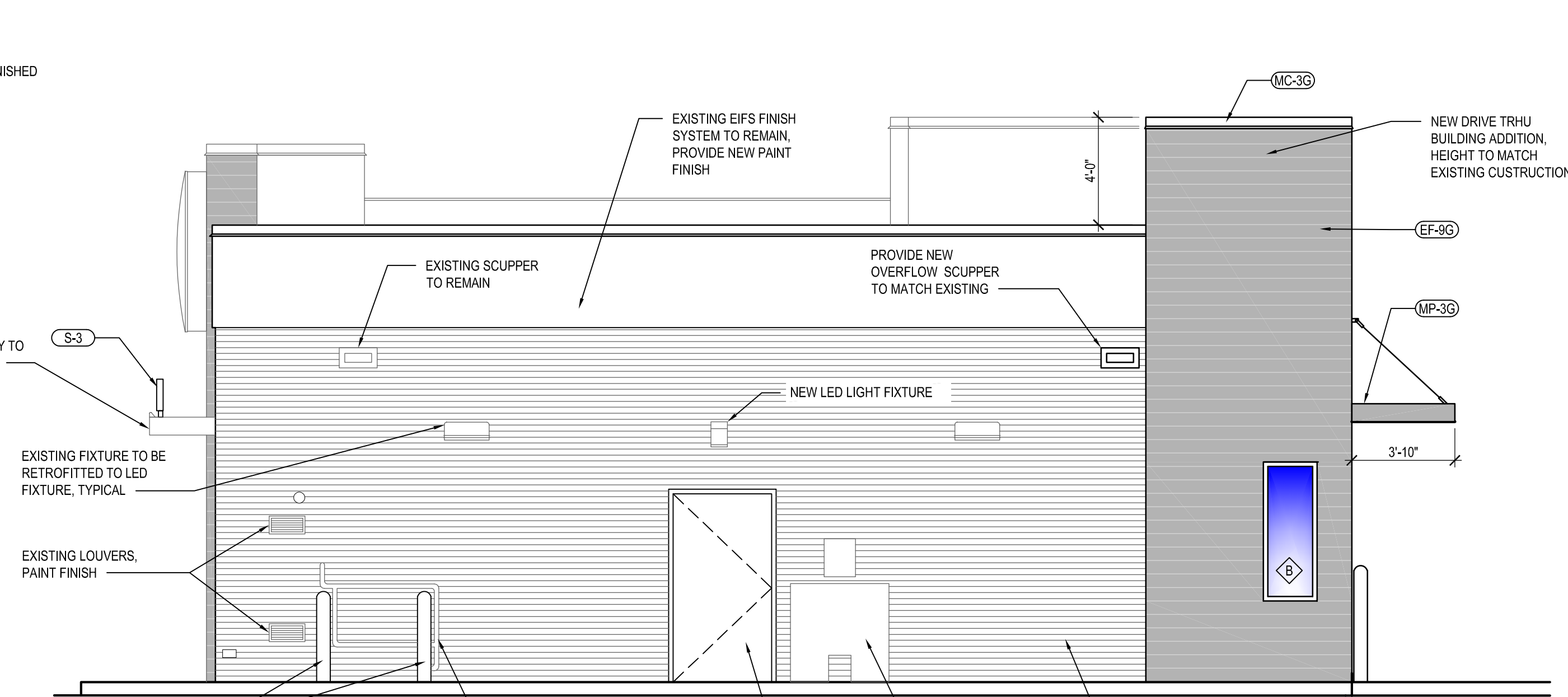
1 MAIN ENTRANCE ELEVATION
SCALE: 1/4" = 1'-0"



2 DRIVE-THRU ELEVATION
SCALE: 1/4" = 1'-0"



3 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



4 BACK ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: (EF-9G) - INSTALL PER MANUFACTURER'S SPECIFICATIONS. VERTICAL SEAMS SHALL BE MINIMIZED. ALL SPANS OF 10' OR MORE SHALL HAVE VERTICAL CAULKED SEAMS ALIGNED IN THE CENTER OF THE ARCHON

NO.	DATE	REVISION	BY

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EXTERIOR BUILDING ELEVATIONS

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BURGER KING - 20/20 GARDEN GRILL EXTERIOR

EXTERIOR MATERIALS & FINISH SCHEDULE (not all specs are used on every project)

08/07/19							
CODE	MATERIAL	LOCATION	MANUFACTURER	DESCRIPTION	DIMENSION	ADDITIONAL INFORMATION	
				PRODUCT	COLOR		
EB-1G	EXTERIOR BRICK	GENERAL	EVOLUTION BRICK	MOD / QS TUMBLED (FULL BRICK)	OLDE HILLSBORO	CONTACT: GABE POWERS (502) 558-4612 NOTE: USE WITH EGR-3G	
				(THIN BRICK)	SIERRA TUMBLED		
			PINE HALL BRICK	FACE BRICK	OLD IRVINGTON O/S	CONTACT: THERESA BEANE (800) 334-8689 - tbeane@pinehallbrick.com NOTE: USE WITH EGR-3G	
			H.C. MUDDOX BRICK	THIN BRICK	BK WEST COAST BLEND	CONTACT: ERIN LYNCH (916) 206-7831 NOTE: USE WITH EGR-3G	
ECT-1G	EXTERIOR CERAMIC TILE	ACCENT AT BUILDING FRONT	GRANITI GIANDRE / EUROWEST	SENSIBLE STONE ED5052	"RED NATURAL" STACKED BOND PATTERN	12" X 24" CONTACT: JOY DETER AT EUROWEST (714) 309-9551 OR JOY KLEIN (813) 334-3302 jklein@transamerica.com NOTE: USE WITH EGR-4G	
EF-1G	EXTERIOR FINISH - STUCCO, STO, FIBER CEMENT SIDING PANELS	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM TEXTURE: FINE SAND OR STO THERM CI EIFS SYSTEM	COLOR TO MATCH EP-2G PPG "DESERT DUNE"	CONTACT: TIM SALERNO AT STO CORP (407) 466-5371	
			NICHIHA FIBER CEMENT	NICHIHA TUFFBLOCK	PREPAINTED TO MATCH EP-2G - PPG "DESERT DUNE" STACKED BOND PATTERN	18" X 6" CONTACT: NICHIHA CUSTOMER SERVICE (770) 805-9466 BK@NICHIHA.COM INSTALL PER MANUFACTURER'S SPECIFICATIONS VERTICAL APPLICATIONS ONLY (NOT FOR USE ON SOFFITS)	
EF-4G	EXTERIOR FINISH STUCCO	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM	COLOR TO MATCH EP-4G PPG "GRANITE"	CONTACT: TIM SALERNO AT STO CORP (407) 466-5371	
EF-9G	EXTERIOR FINISH FIBER CEMENT	EXTERIOR SIGN ARCHONS	NICHIHA FIBER CEMENT	VINTAGE WOOD EF762	"CEDAR"	18" X 10" CONTACT: NICHIHA CUSTOMER SERVICE (770) 805-9466 BK@NICHIHA.COM INSTALL PER MANUFACTURER'S SPECIFICATIONS. VERTICAL SEAMS SHALL BE MINIMIZED. ALL SPANS OF 10' OR MORE SHALL HAVE VERTICAL SEAMS ALIGNED IN THE CENTER OF THE ARCHON. SEAMS TO BE CAULKED WITH EC-1G OR USE "H-MOLD" FACTORY TRIMS. ALL TRIMS SHALL BE FACTORY PAINTED TO MATCH PANELS. VERTICAL APPLICATIONS ONLY (NOT FOR USE ON SOFFITS)	
TR-1G	ALUMINUM TRIMS			ADSEAL PRODUCTS	ADSEAL 458-63	"VINTAGE WOOD CEDAR"	CONTACT: MATT KLINGE AT ADFAST (314) 753-0964 matt.klinge@adfastcorp.com NOTE: USE WITH EF-9G
EP-2G	EXTERIOR PAINT	EXTERIOR GENERAL	PPG	PRIMER: 17-921 PAINT: 6-2045XI	"DESERT DUNE" 1023-4, former "TANNERS TAUPE" PPG1023-4	CONTACT: KEVIN LASTACY @ PPG Corporate National Accounts Manager (816) 335-3259 klastacy@ppg.com	
EP-4G	EXTERIOR PAINT	EXTERIOR WAINSCOT		PRIMER: 17-921 PAINT: 6-2045XI	"GRANITE" 1022-6, former "MONTERREY CLIFFS" 10Y 14/080	"STEPPING STONE" 1010-4, former "BURGER KING SILVER" Custom Formula	NOTE: FOR REMODELS ONLY NOT FOR USE ON ROOFS. SEE EP-6AG & EP-6BG
EP-6G	EXTERIOR PAINT	LOGO SIGN CABINETS & BURGER KING CHANNEL LETTER CABINETS		PRIMER: 17-921 PAINT: 90-1110	"DOVER GRAY" 1001-1, former "GRYMMYS GREY" 00NN 20/000		NOTE: BY EXCEPTION FOR REMODELS ONLY
EP-6AG	EXTERIOR PAINT	EXISTING MANSARD ROOFS, SHINGLES & BARREL TILE		PRIMER: 90-712 PAINT: 90-1110	"GRAY STONE" 1009-4, former "MARCH WIND" Custom Formula		NOTE: BY EXCEPTION FOR REMODELS ONLY
EP-6BG	EXTERIOR PAINT	EXISTING STANDING SEAM METAL ROOF		PRIMER: 17-921 PAINT: 6-2045XI	"CARAVEL BROWN" 1079-6, former "CEDAR" Custom Formula		
EP-8BG	EXTERIOR PAINT	METAL COPING AT ARCHON TOWERS		PRIMER: 90-712 PAINT: 90-353	"BLACK"	Tint to match	
EXT-1G	EXTERIOR PAINT	POLES & POLE SIGN		PRIMER: 90-712 PAINT: 90-375	"TAUPE TONE" SW 7633	PPG 1006-6 "DECONSTRUCTION"	Contact: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217
EXT-2G	EXTERIOR PAINT	SIGNS		PRIMER: 90-712 PAINT: 90-375	"HOMESTEAD BROWN" SW 7515		email: Glenn.J.Remler@Sherwin.com
EP-2G	EXTERIOR PAINT	EXTERIOR GENERAL		PRIMER: Loxon Concrete & Masonry A24W300 PAINT: Superpaint Ext Satin A89 Series Satin			
EP-4G	EXTERIOR PAINT	EXTERIOR WAINSCOT		PRIMER: Loxon Concrete & Masonry A24W300 PAINT: Superpaint Ext Satin A89 Series Satin			
EP-6G	EXTERIOR PAINT	LOGO SIGN CABINETS & BURGER KING CHANNEL LETTER CABINETS		PRIMER: Kem Bond HS B50A28 PAINT: Silver Brite B59S11	FACTORY FINISH SILVER		NOTE: FOR REMODELS ONLY NOT FOR USE ON ROOFS.
EP-8G	EXTERIOR PAINT	METAL COPING AT ARCHON TOWERS		PRIMER: Pro Industrial Pro-Cryl Primer B66-310 PAINT: Pro Industrial High Performance Acrylic B66-650 Semi-Gloss	"CEDAR" Custom Formula		
EXT-1G	EXTERIOR PAINT	POLES & POLE SIGN		PRIMER: Pro Industrial Pro-Cryl Primer B66-310 PAINT: Pro Industrial High Performance Acrylic B66-600 Gloss	FACTORY FINISH BLACK		
EXT-2G	EXTERIOR PAINT	SIGNS		PRIMER: Pro Industrial Pro-Cryl Primer B66-310 PAINT: Pro Industrial High Performance Acrylic B66-600 Gloss	FACTORY FINISH TO MATCH SW 6075 "GARRET GRAY"		
EGR-3G	GROUT	BRICK	MAPEI		#5 "CHAMOIS"	NOTE: USE WITH EB-1G	
EGR-4G	GROUT	CERAMIC TILE	CUSTOM BUILDING PRODUCTS	POLYBLEND SANDED	#335 "WINTER GRAY"	NOTE: USE WITH ECT-1G *** FOR SETTING MATERIALS USE COMPLETE CONTACT RAPID SET *** SEAL GROUT WITH AQUAMIX SEALERS CHOICE GOLD	
MC-1G	METAL COPING	TOP OF LIGHT BAND WALL CAP	W.P. HICKMAN SYSTEMS, INC.	PERMA SNAP PLUS	A-30 "SILVERSMITH"	CONTACT: W.P. HICKMAN COMPANY (828)676-1700 - WWW.WPH.COM	
MC-2G	METAL COPING	BELOW LIGHT BAND		PERMA SNAP PLUS	FACTORY FINISH TO MATCH EP-2G PPG "TANNERS TAUPE"		
MC-3G	METAL COPING	TOP OF ARCHON		PERMA SNAP PLUS	TO BE PAINTED TO MATCH EP-8G PPG "CEDAR"		
MP-1G		PARAPET LIGHT BAND	LEKTRON *SEE APPROVED SIGN SUPPLIERS	LED LIGHT BAND		PRODUCT INFORMATION: KEVIN RUBOTTOM AT LEKTRON (800) 634-4059 OR (918) 622-4978 Email: KRubottom@lektroninc.com	
MP-3G	METAL CANOPY	ABOVE DOORS AND WINDOWS	*SEE APPROVED CANOPY SUPPLIERS	CUSTOM METAL CANOPY	COLOR: CLEAR ANODIZED	*SEE PLANS	

BY	
REVISION	
DATE	
NO.	

WHITNEY BAILEY COX & MAGNANI, LLC
300 East Joplin Road Suite 200
Joplin, MO 64601
417.519.4500 www.wbcm.com



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License #6140 Expiration Date: 08/21/2022

EXTERIOR FINISH SCHEDULE

ALTERATIONS - BURGER KING # 10839

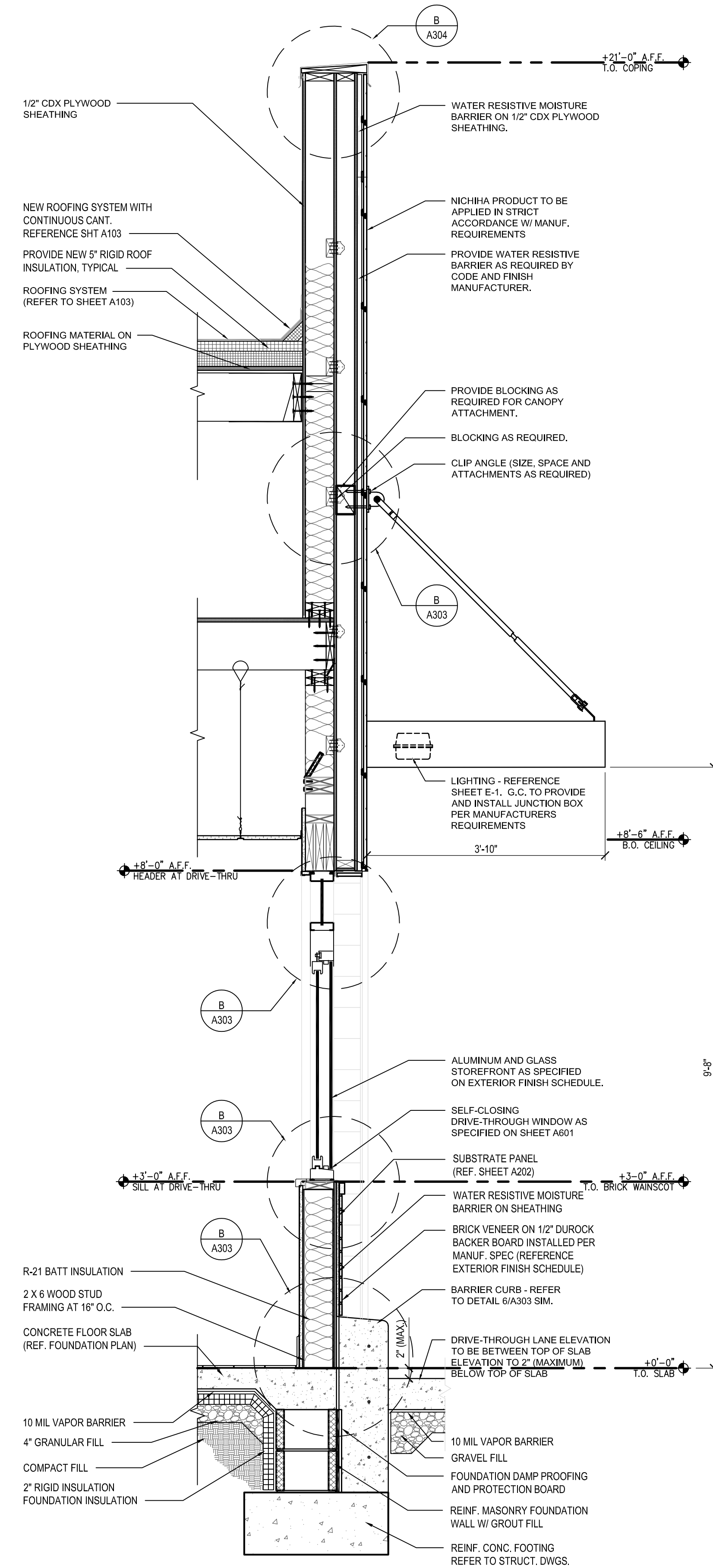
BURGERS OF BALTIMORE, LLC.
200 SOUTH FOUNTAIN GREEN ROAD
BEL AIR, MD 21015

DESIGNED:	J.M.M.
DRAWN:	J.M.M.
CHECKED:	S.C.B.
SCALE:	AS SHOWN
DATE:	04/21/2021
PROJECT:	2018.0375.05
DRAWING:	

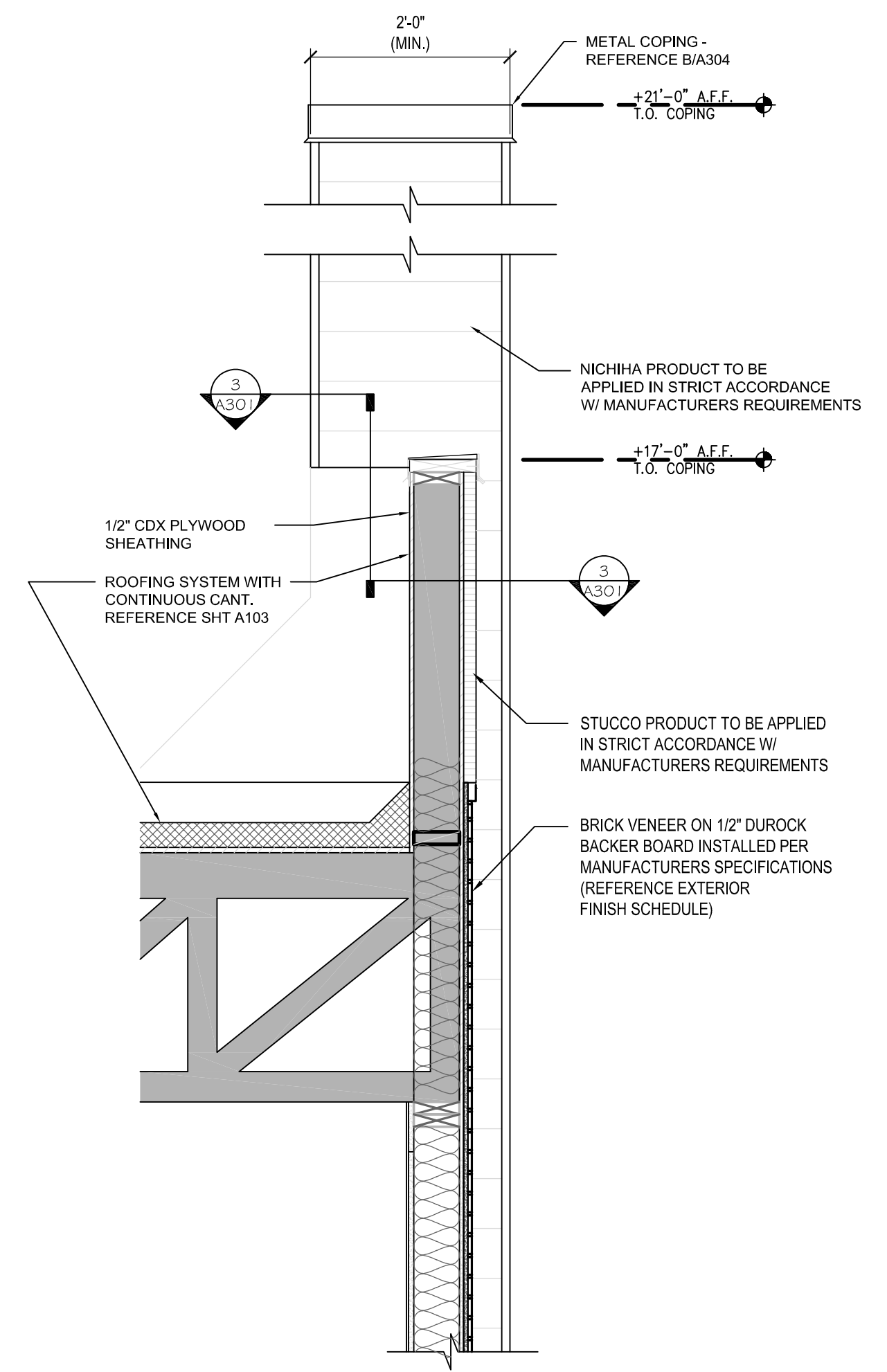
A202

04-21-2021 PERMIT SUBMISSION

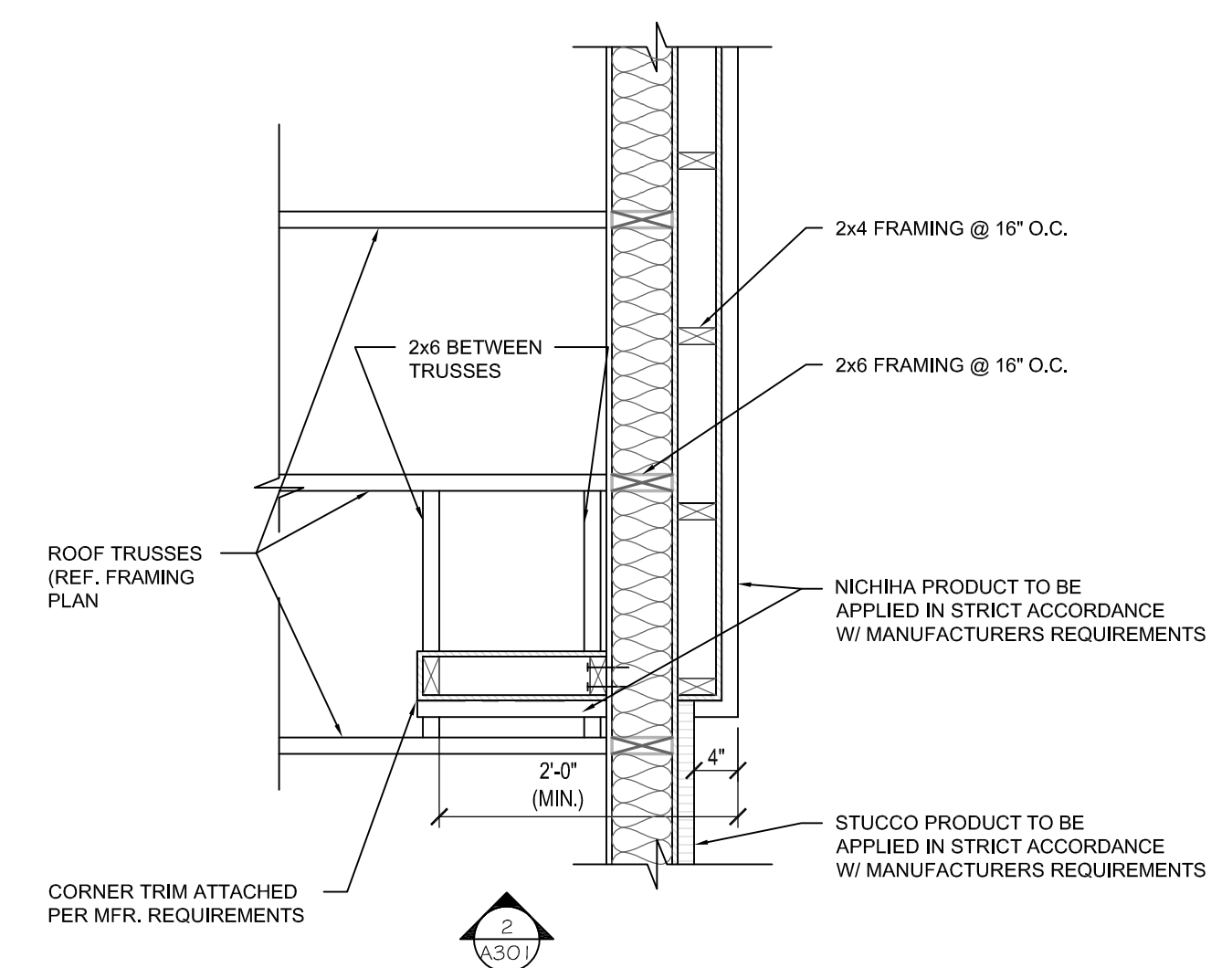
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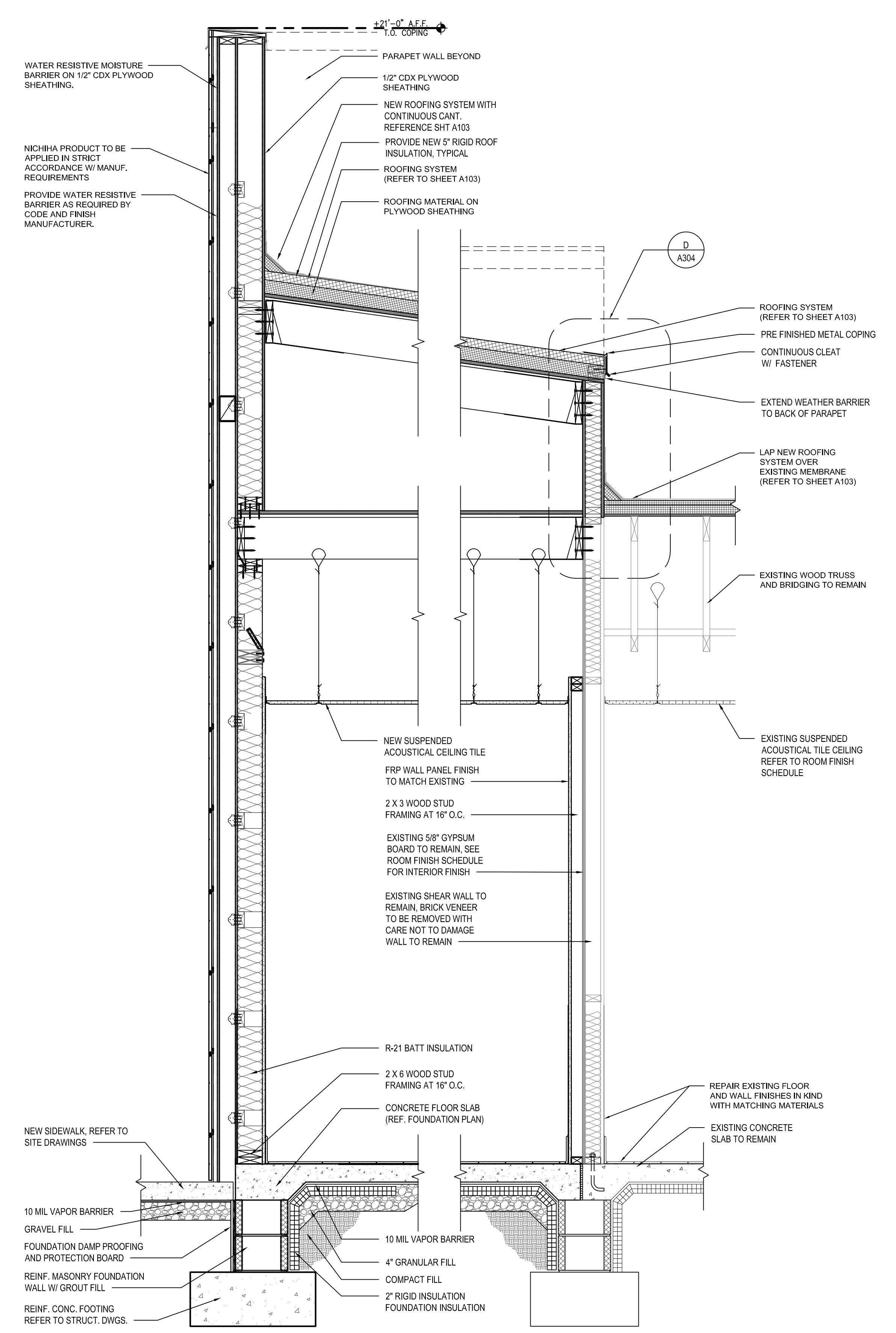
1 DRIVE-THROUGH WINDOW WALL
SCALE: 3/4" = 1'-0"



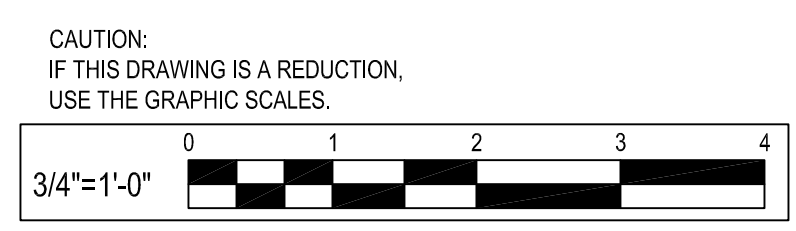
2 TYPICAL TOWER RETURN WALL
SCALE: 3/4" = 1'-0"



3 SECTION (PLAN) AT TYPICAL TOWER RETURN WALL
SCALE: 3/4" = 1'-0"



4 DRIVE-THROUGH SECTION
SCALE: 3/4" = 1'-0"



NO.	DATE	REVISION	BY

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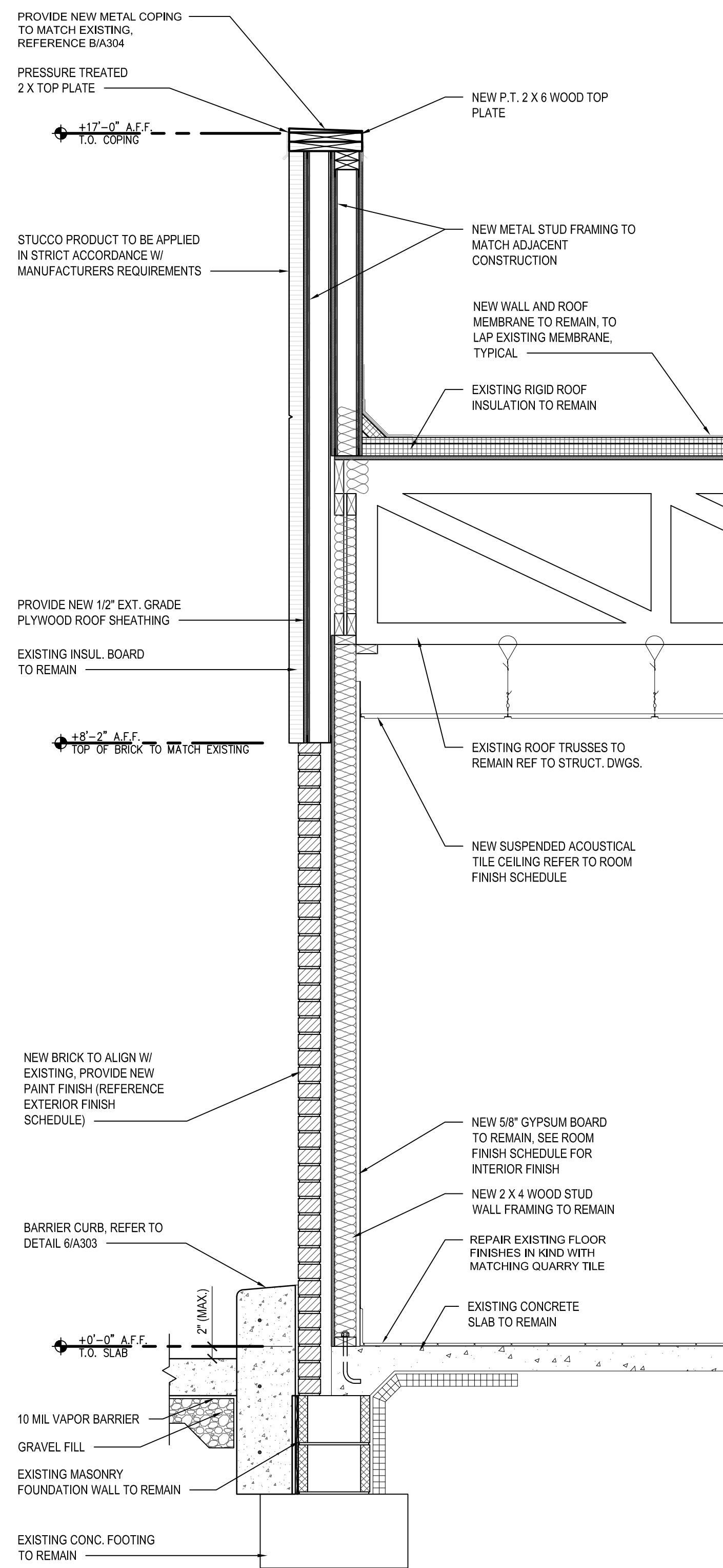
WALL SECTIONS

ALTERATIONS - BURGER KING # 10839
BURGERS OF BALTIMORE, LLC.
200 SOUTH FOUNTAIN GREEN ROAD
BEL AIR, MD, 21015

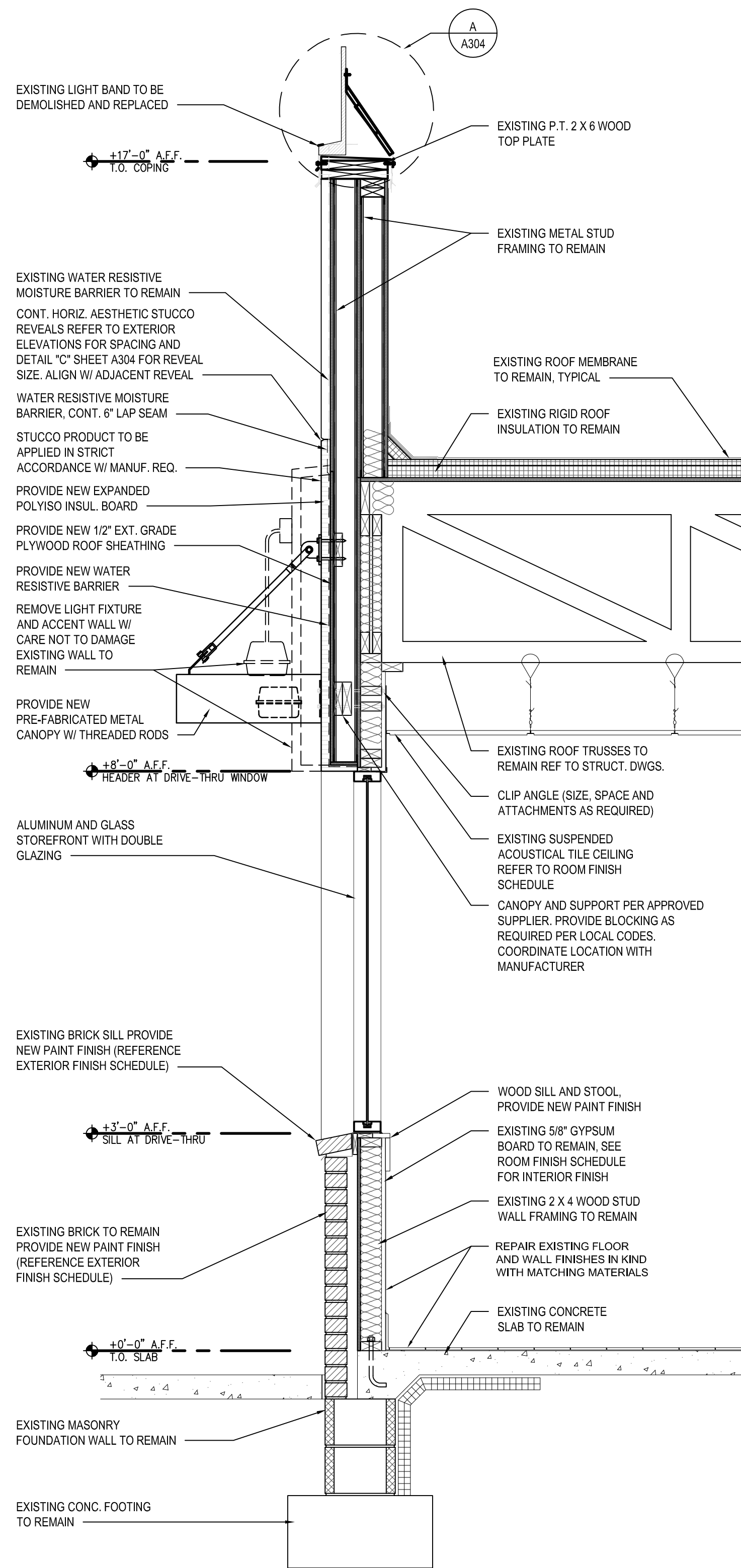
DESIGNED:	J.M.M.
DRAWN:	J.M.M.
CHECKED:	S.C.B.
SCALE:	AS SHOWN
DATE:	04/21/2021
PROJECT:	2018.0375.05
DRAWING:	

A301

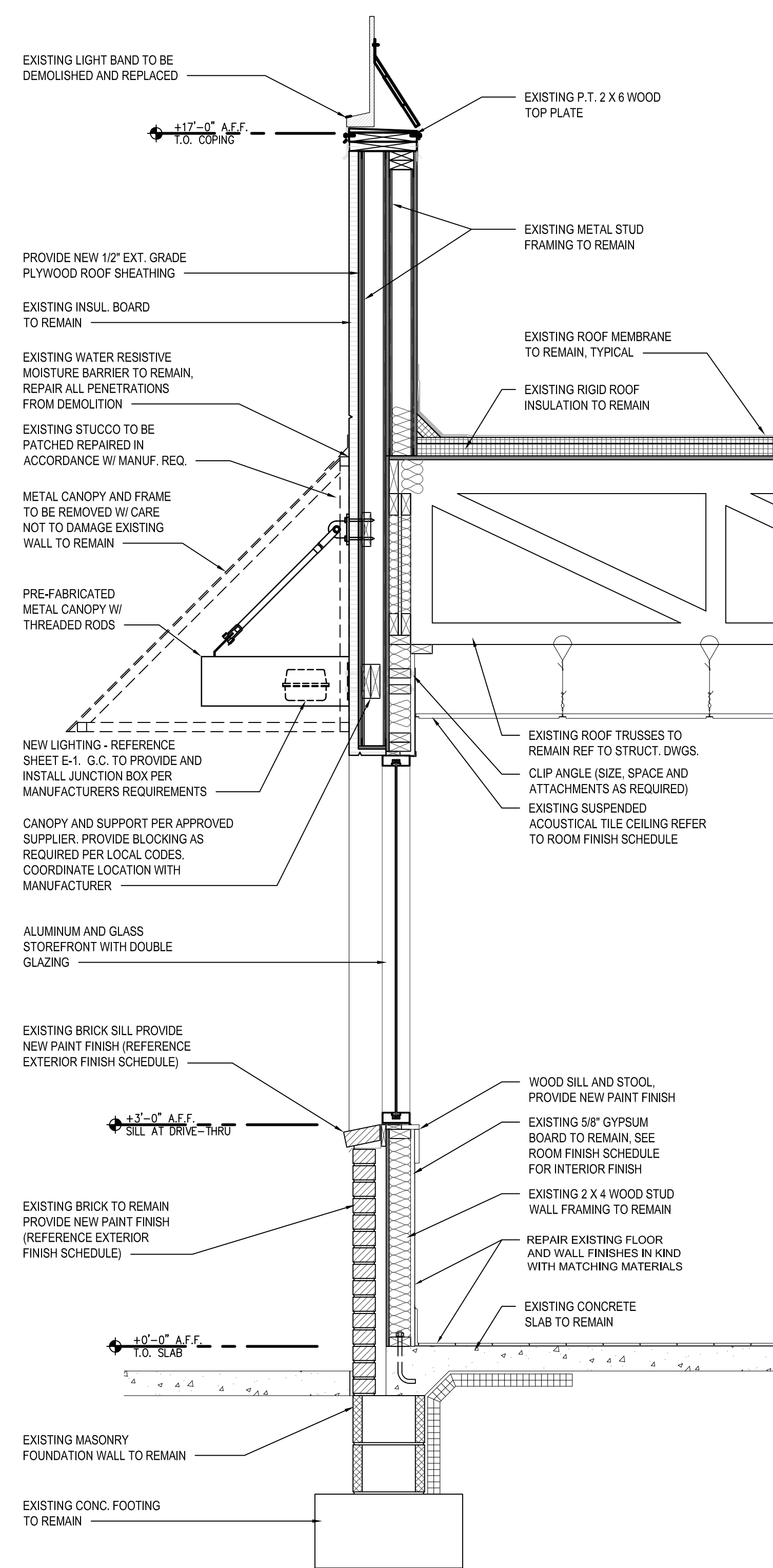
04-21-2021 PERMIT SUBMISSION



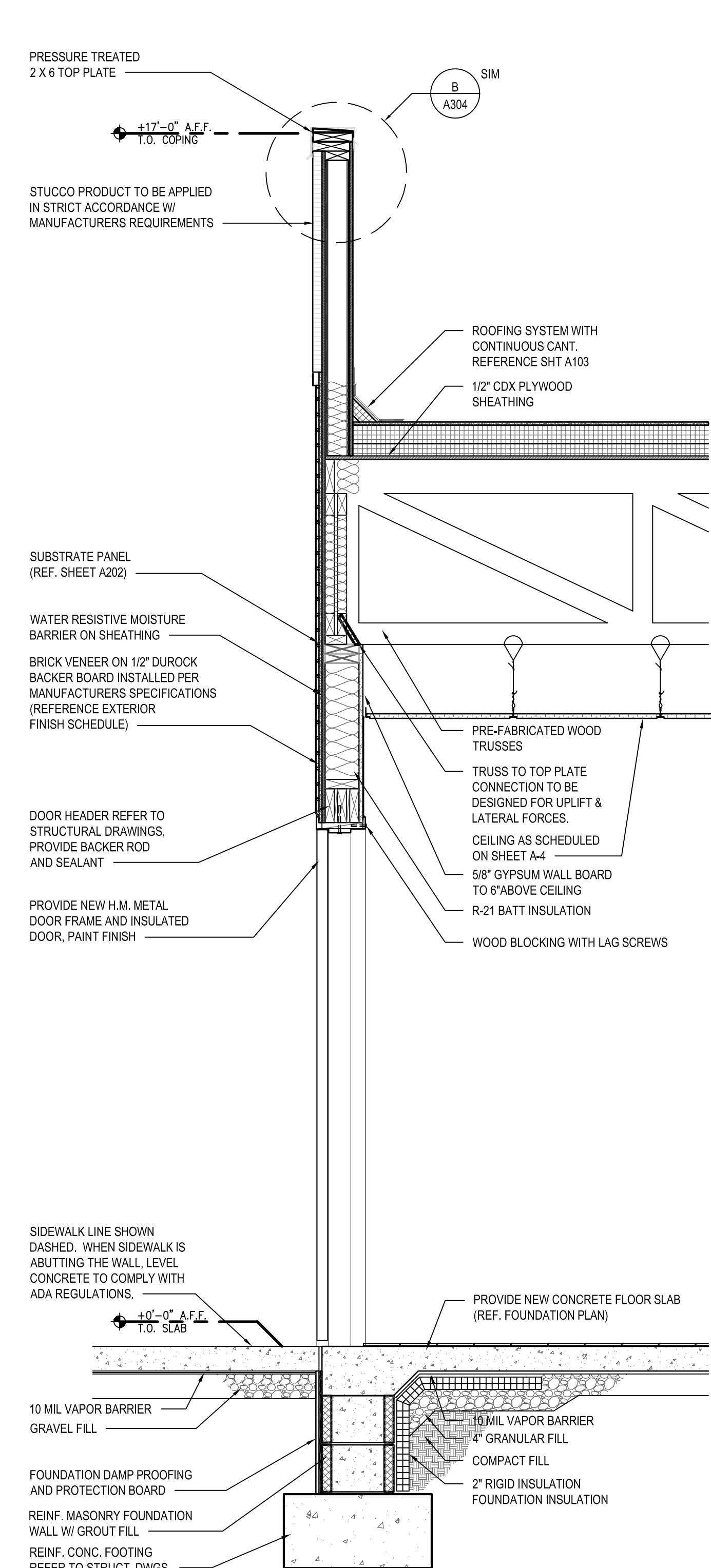
1 DRIVE-THROUGH EXTERIOR WALL
 A101/A302 SCALE: 3/4" = 1'-0"



2 WALL SECTION
 A101/A302 SCALE: 3/4" = 1'-0"



3 WALL SECTION
 A101/A302 SCALE: 3/4" = 1'-0"



4 WALL SECTION
 A101/A302 SCALE: 3/4" = 1'-0"

NO.	DATE	REVISION	BY

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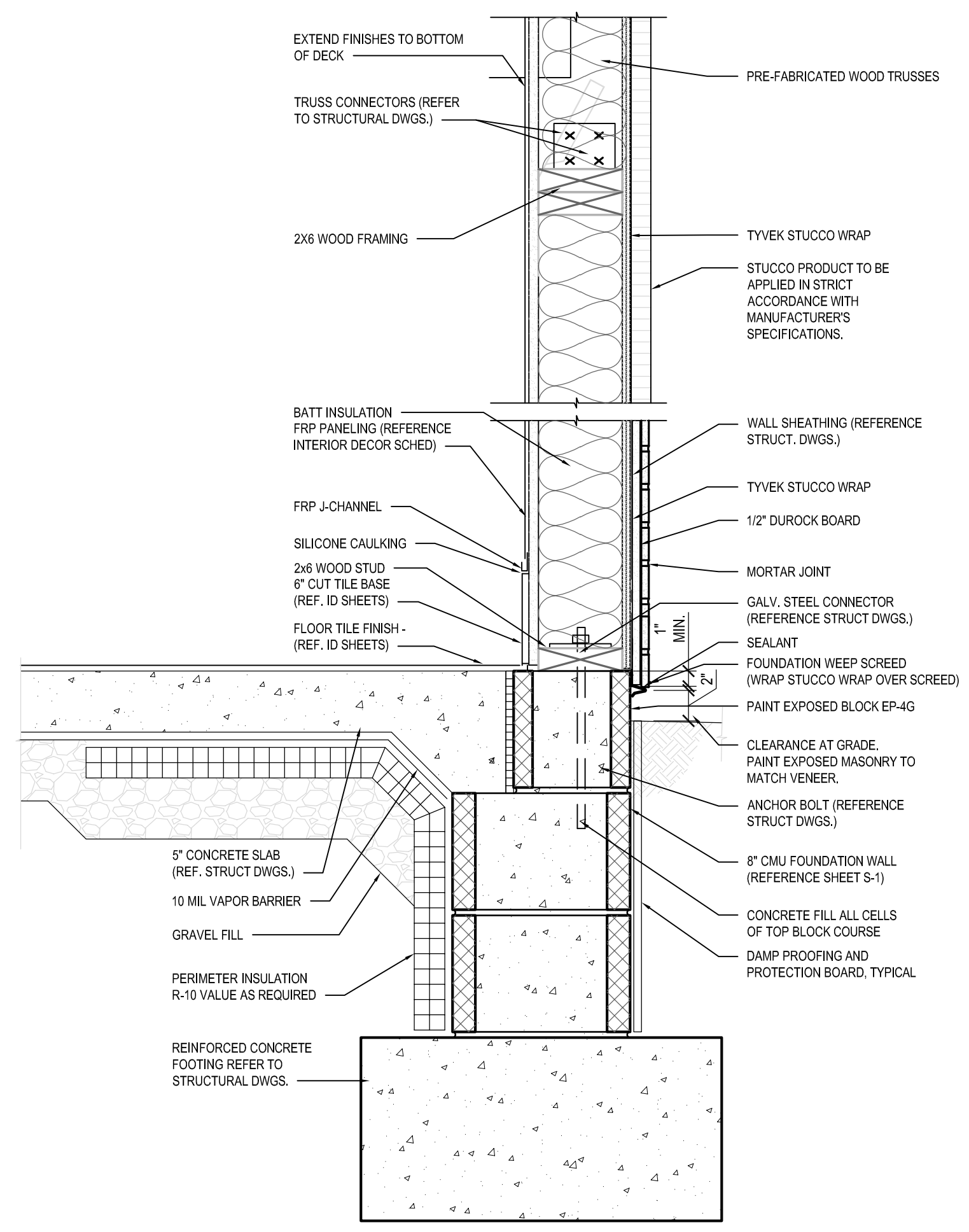
WALL SECTIONS

ALTERATIONS - BURGER KING # 10839
 BURGERS OF BALTIMORE, LLC.
 200 SOUTH FOUNTAIN GREEN ROAD
 BELAIR, MD, 21015

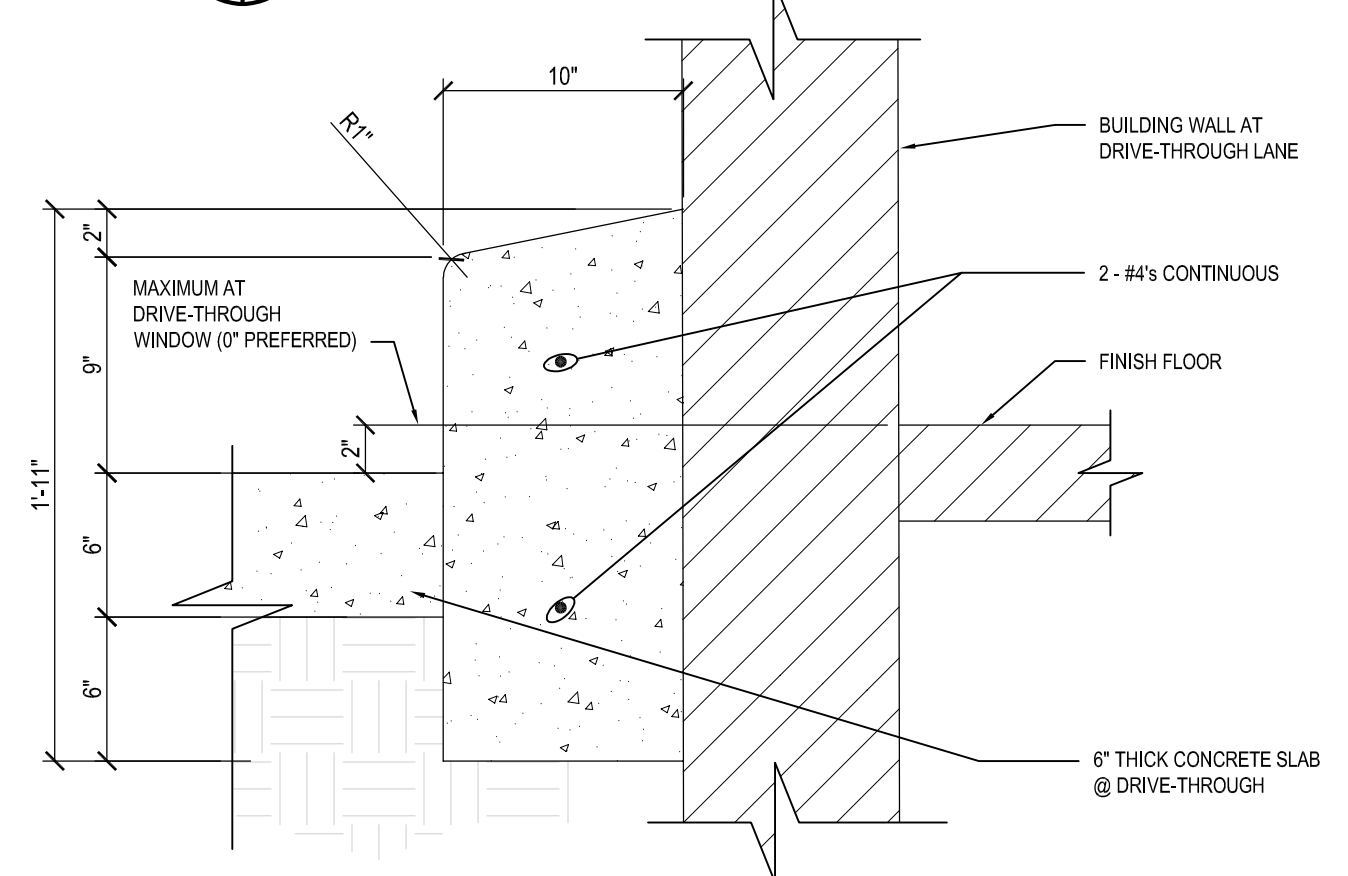
DESIGNED:	J.M.M.
DRAWN:	J.M.M.
CHECKED:	S.C.B.
SCALE:	AS SHOWN
DATE:	04/21/2021
PROJECT:	2018.0375.05
DRAWING:	

A302

04-21-2021 PERMIT SUBMISSION

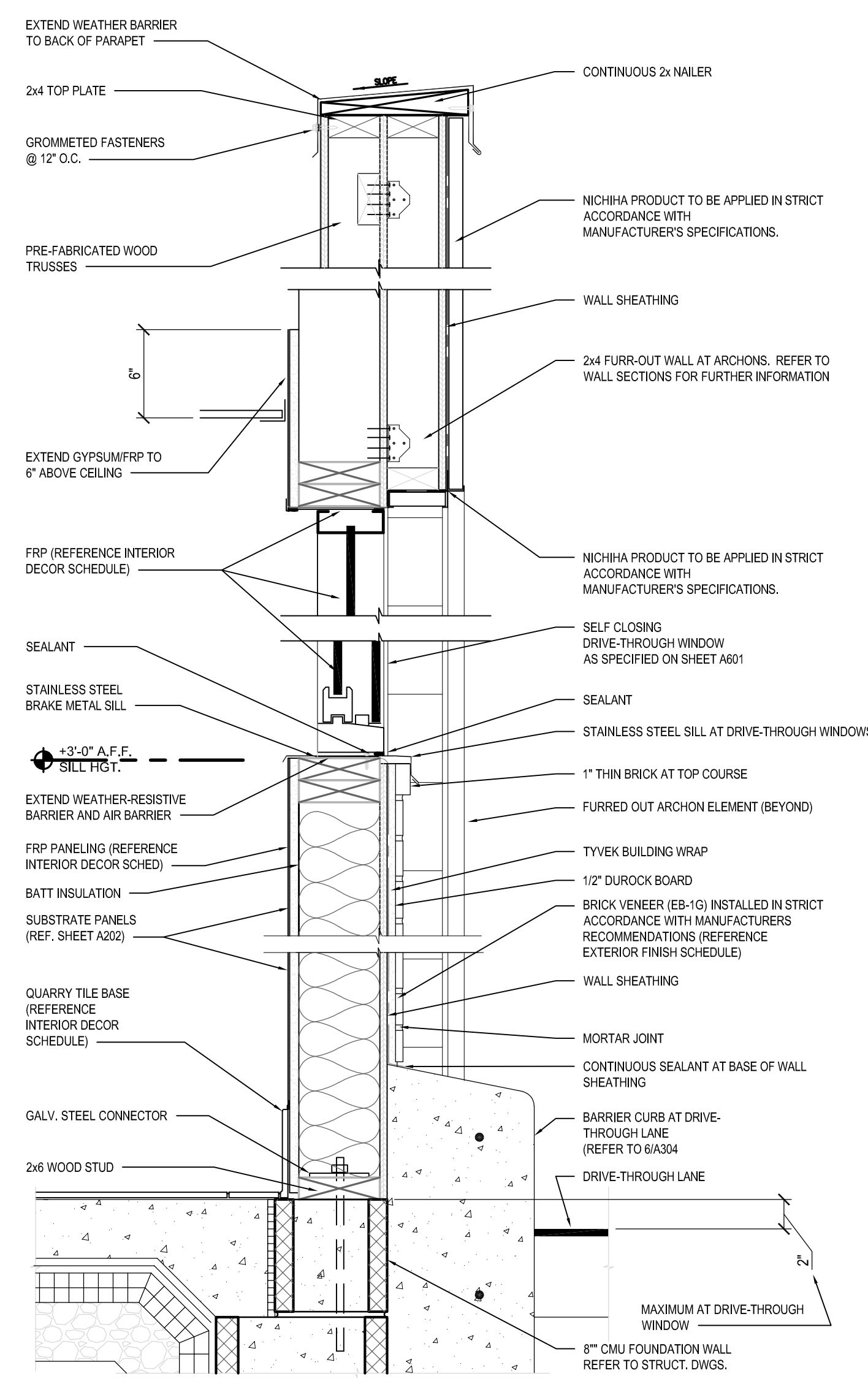


A BASE-SILL-HEADER-CAP DETAILS
SCALE: 1 1/2" = 1'-0"

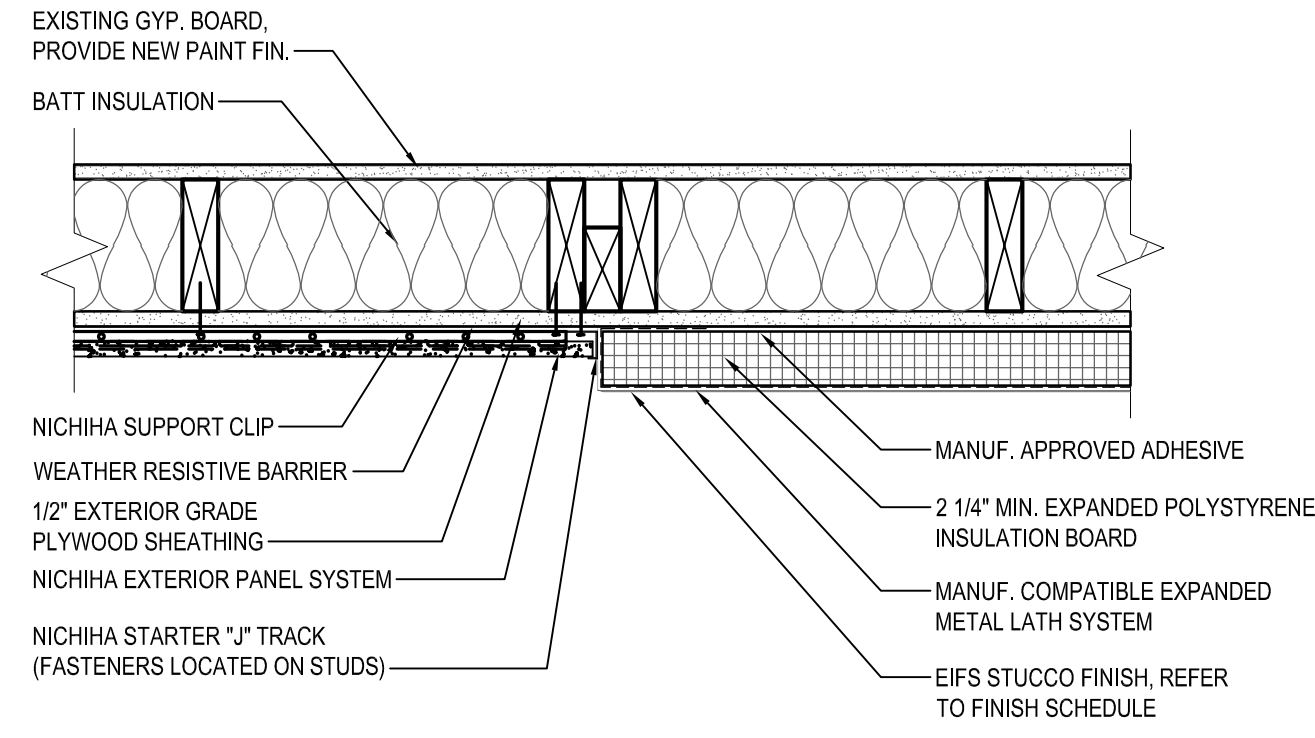


B DRIVE THROUGH BASE-SILL-HEADER-CAP DETAILS
SCALE: 1 1/2" = 1'-0"

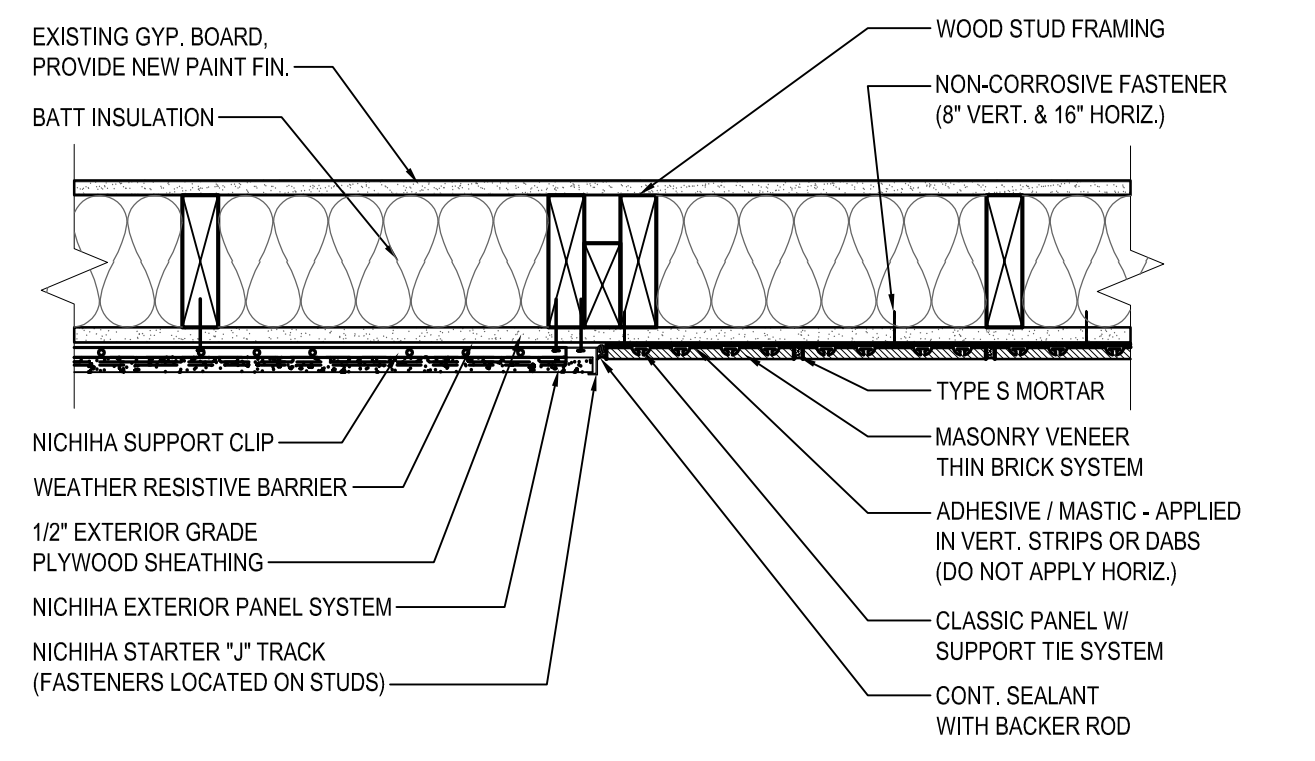
6 BARRIER CURB DETAIL
SCALE: 1 1/2" = 1'-0"



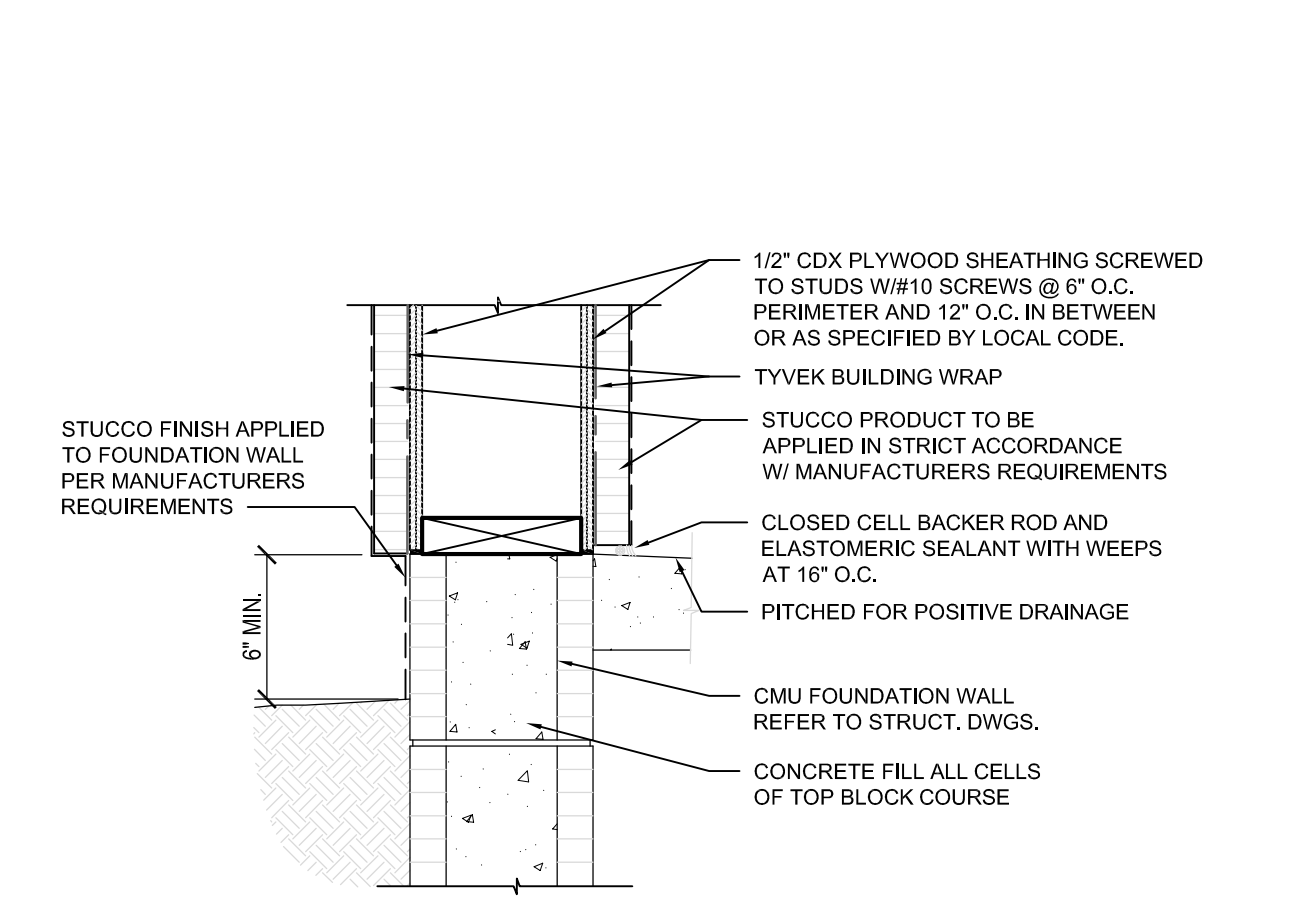
1 THIN BRICK/EIFS DETAIL
SCALE: 1 1/2" = 1'-0"



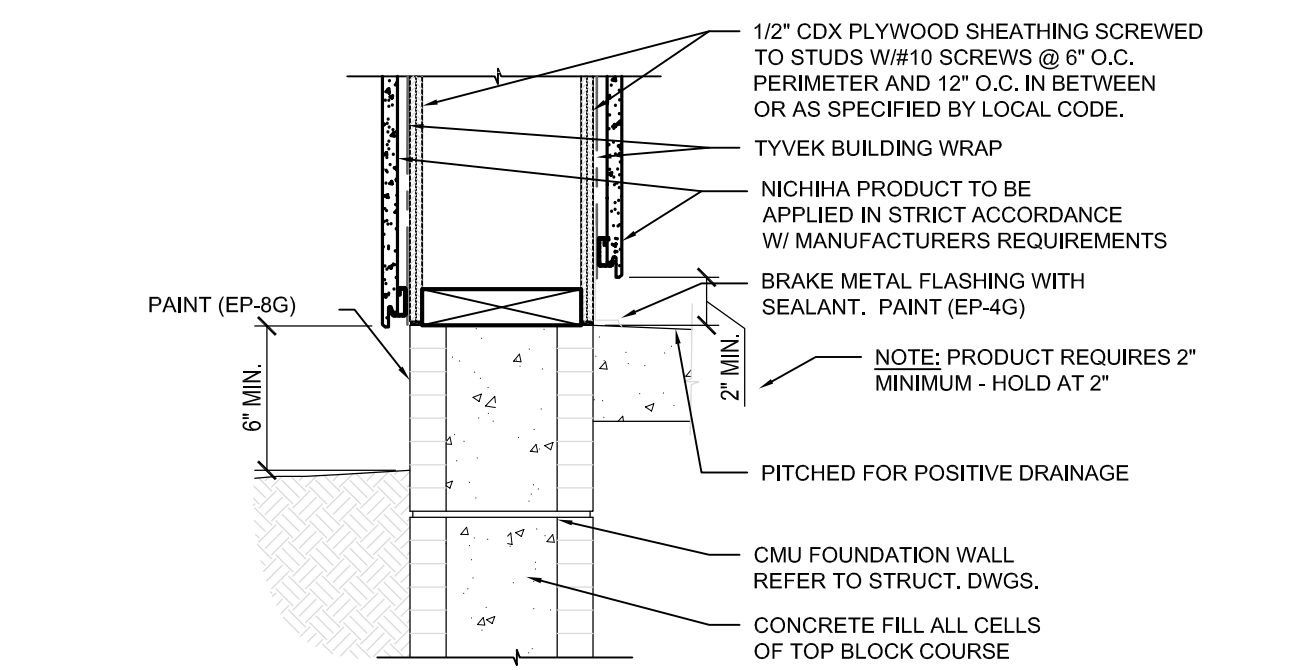
2 NICHHA/EIFS DETAIL
SCALE: 1 1/2" = 1'-0"



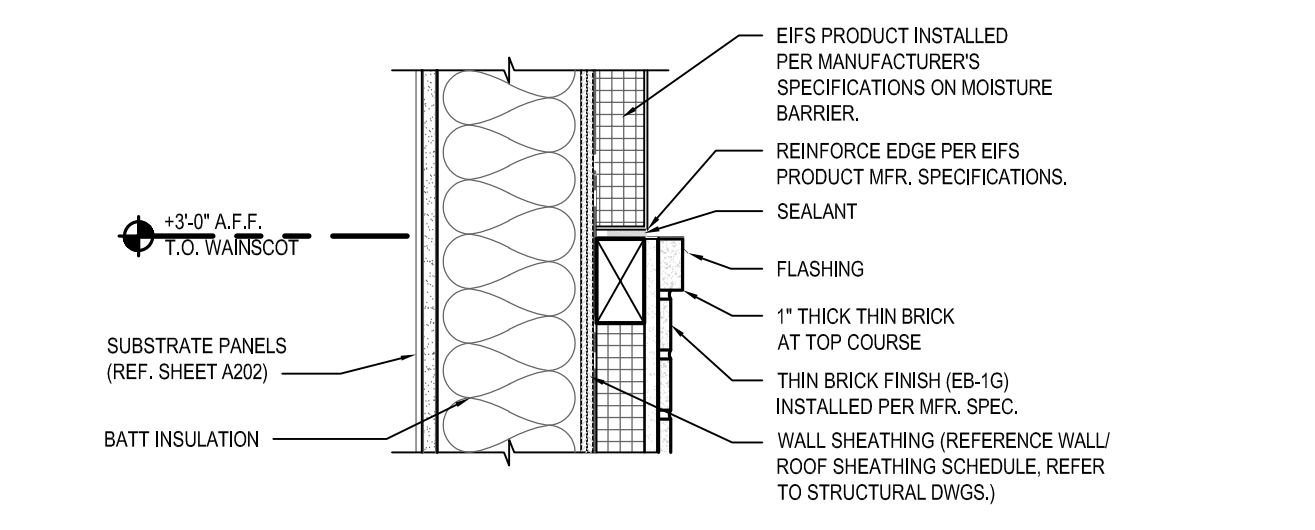
3 NICHHA/THIN BRICK DETAIL
SCALE: 1 1/2" = 1'-0"



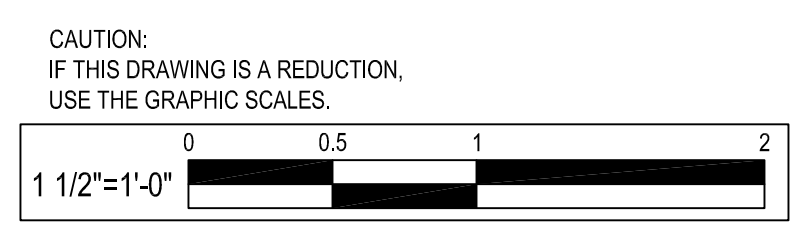
4 EIFS TERMINATION AT GRADE
SCALE: 1 1/2" = 1'-0"



5 NICHHA TERMINATION AT GRADE
SCALE: 1 1/2" = 1'-0"



C WAINSCOT/STUCCO TRANSITION
SCALE: 1 1/2" = 1'-0"



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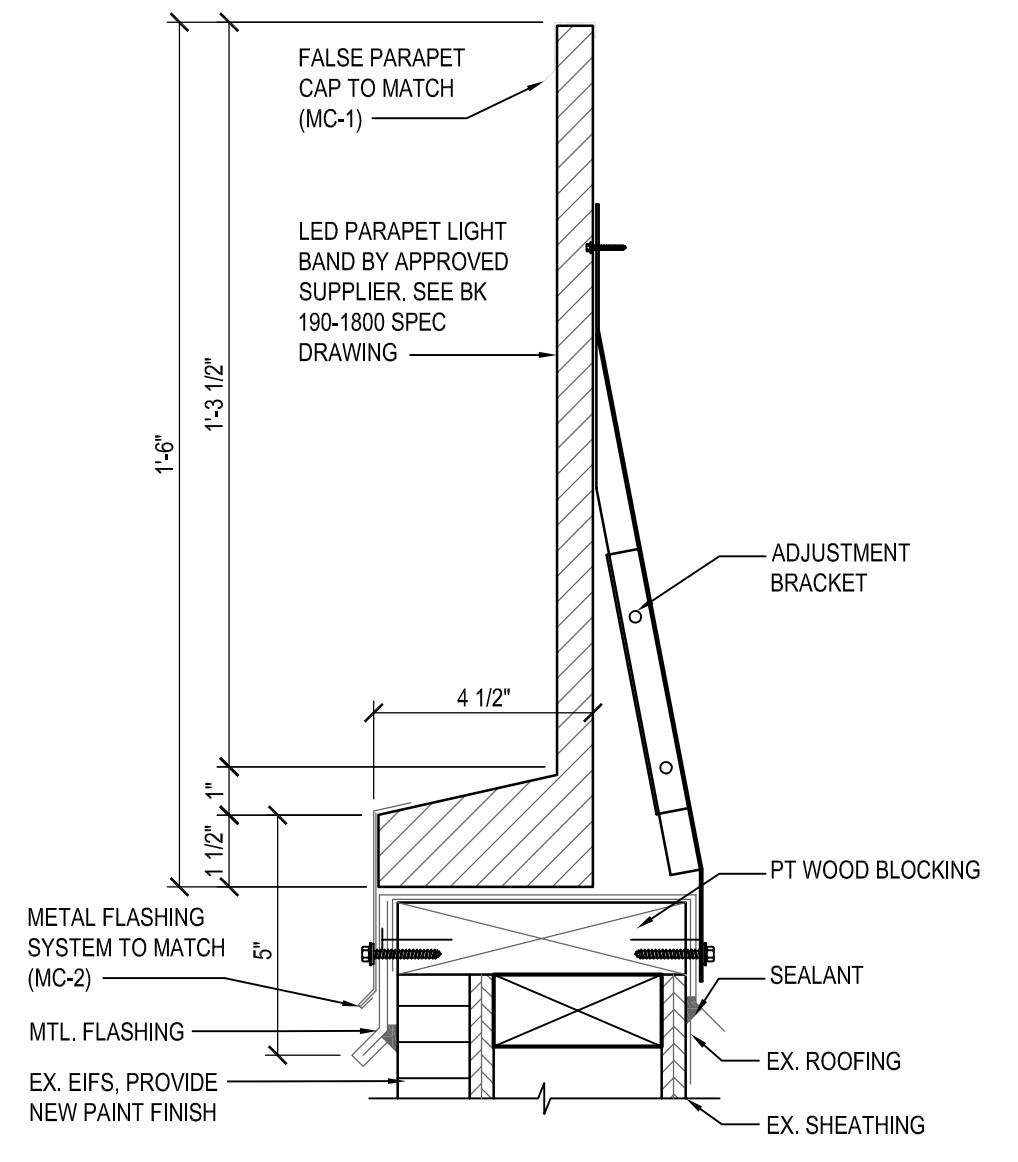
WALL SECTIONS

ALTERATIONS - BURGER KING # 10839
BURGERS OF BALTIMORE, LLC.
200 SOUTH FOUNTAIN GREEN ROAD
BEL AIR, MD. 21015

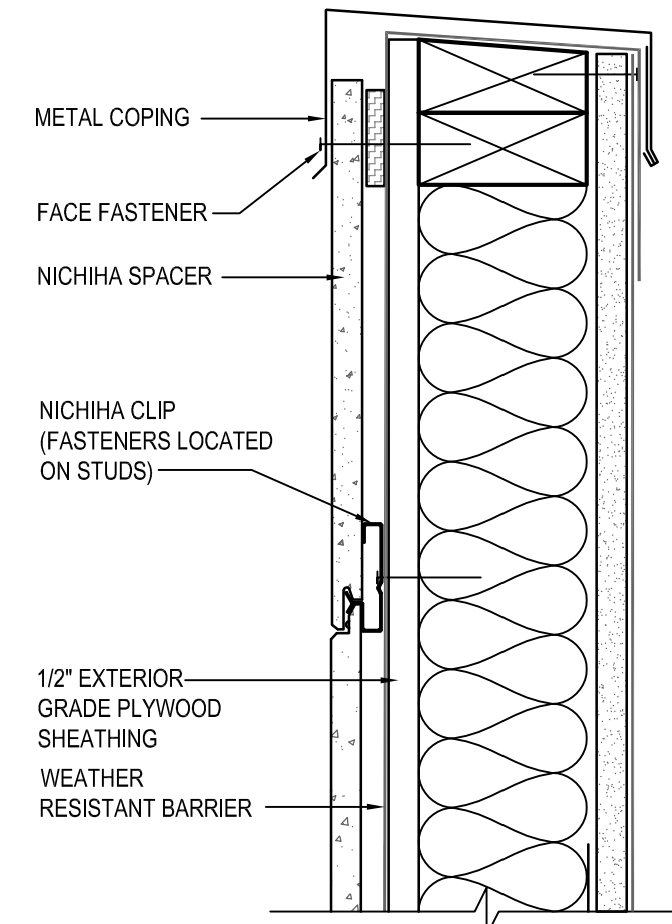
DESIGNED:	J.M.M.
DRAWN:	J.M.M.
CHECKED:	S.C.B.
SCALE:	AS SHOWN
DATE:	04/21/2021
PROJECT:	2018.0375.05
DRAWING:	

A303

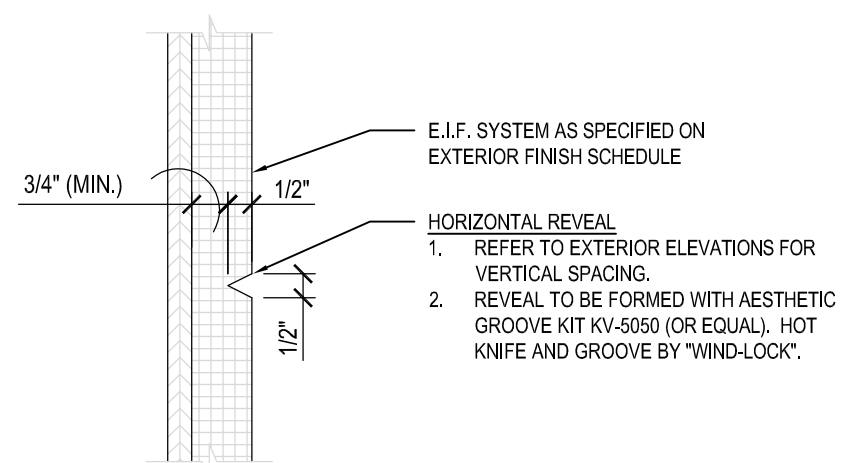
04-21-2021 PERMIT SUBMISSION



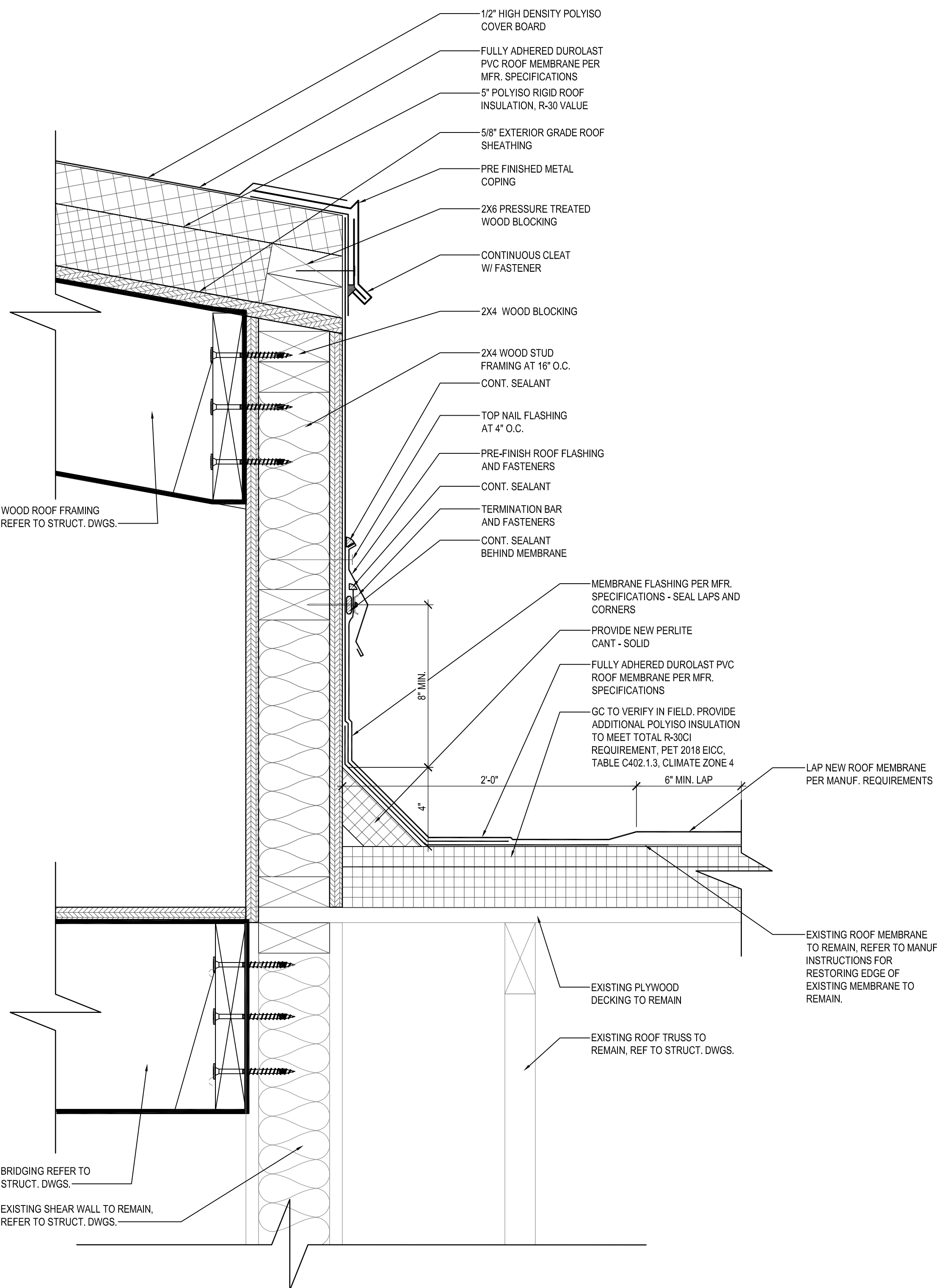
A LIGHT BAND PARAPET DETAIL
SCALE: 3" = 1'-0"



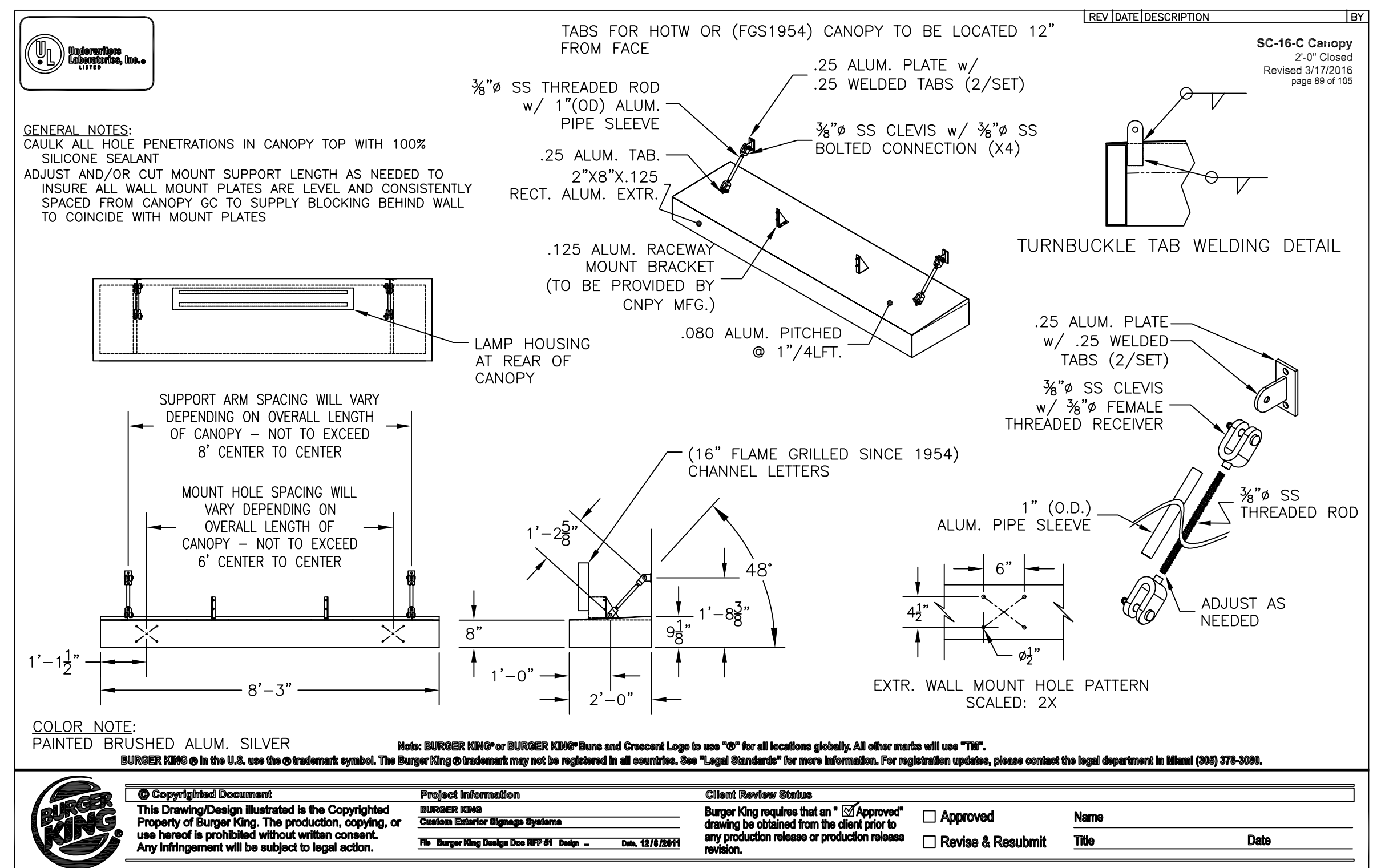
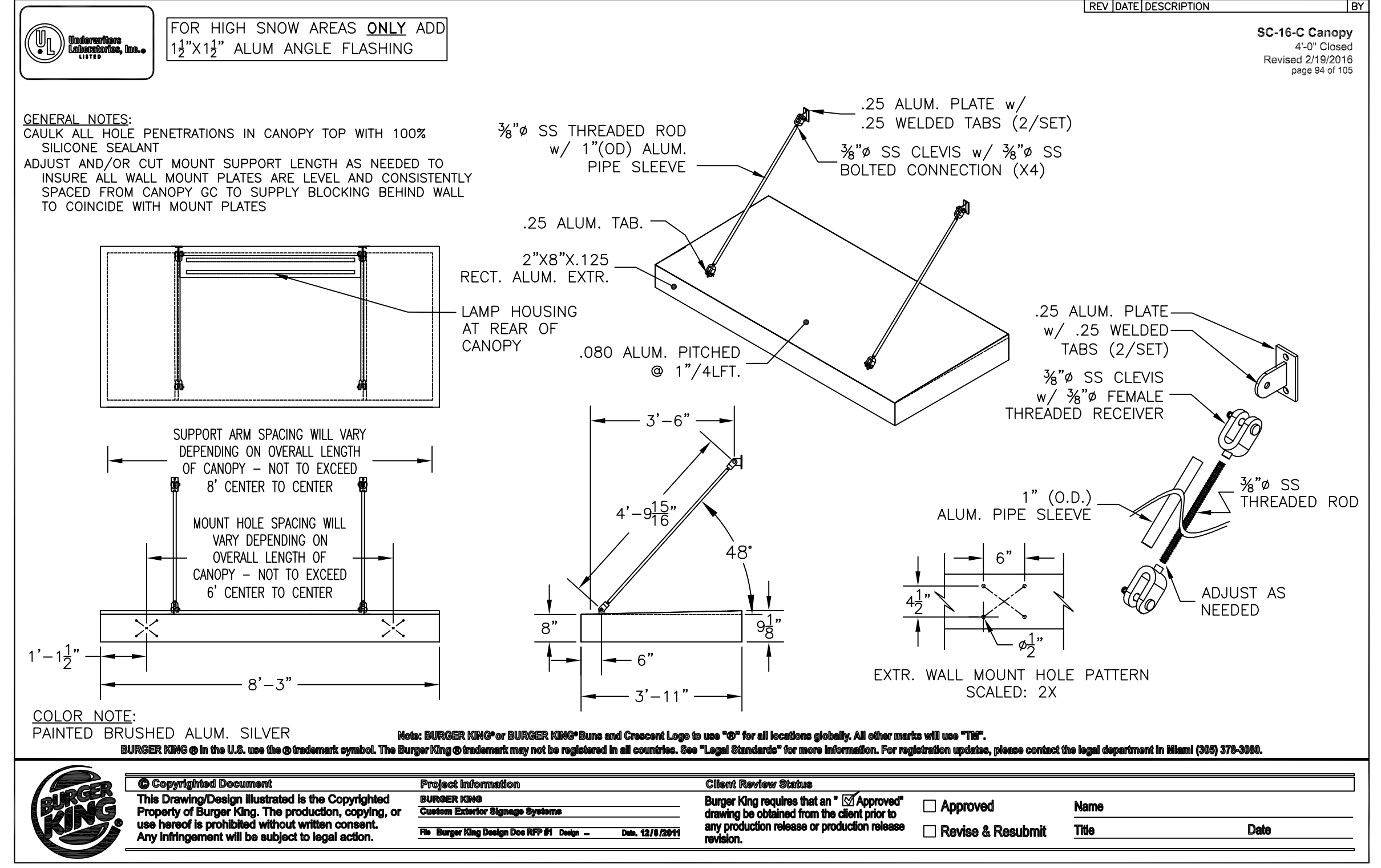
B TOWER PARAPET DETAIL
SCALE: 3" = 1'-0"



C BUILDING HORIZONTAL REVEALS - EIFS DETAIL
SCALE: 3" = 1'-0"



D ROOF DETAIL
SCALE: 3" = 1'-0"



GENERAL NOTE: GENERAL CONTRACTOR TO VERIFY SIGNAGE, DINING ROOM WINDOW CANOPY & DRIVE THRU CANOPY WITH OWNER AND BURGER KING, BEFORE ORDER AND INSTALLATION.

NO.	DATE	REVISION

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Bel Air, MD 21034
410.512.4500 www.wbcm.com

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WALL SECTIONS
ALTERATIONS - BURGER KING # 10839
BURGERS OF BALTIMORE, LLC.
200 SOUTH FOUNTAIN GREEN ROAD
BEL AIR, MD, 21015

DESIGNED:	J.M.M.
DRAWN:	J.M.M.
CHECKED:	S.C.B.
SCALE:	AS SHOWN
DATE:	04/21/2021
PROJECT:	2018.0375.05
DRAWING:	

A304

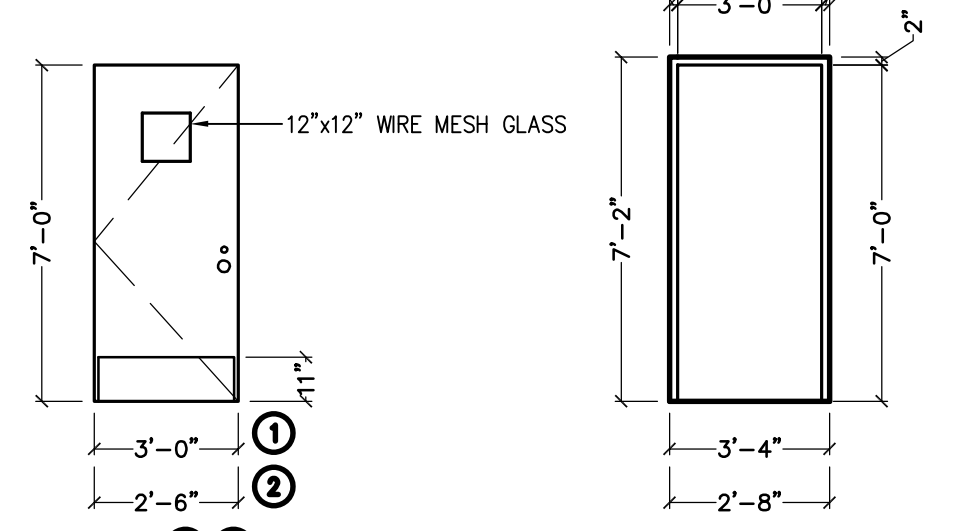
04-21-2021 PERMIT SUBMISSION

DOOR
 OPENING: 3'-0"x7'-0"x1 3/4" MD x MF
 2'-6"x7'-0"x1 3/4" MD x MF
 MATERIAL: HOLLOW METAL
 FINISH: PAINT - REFER TO SHEET A202

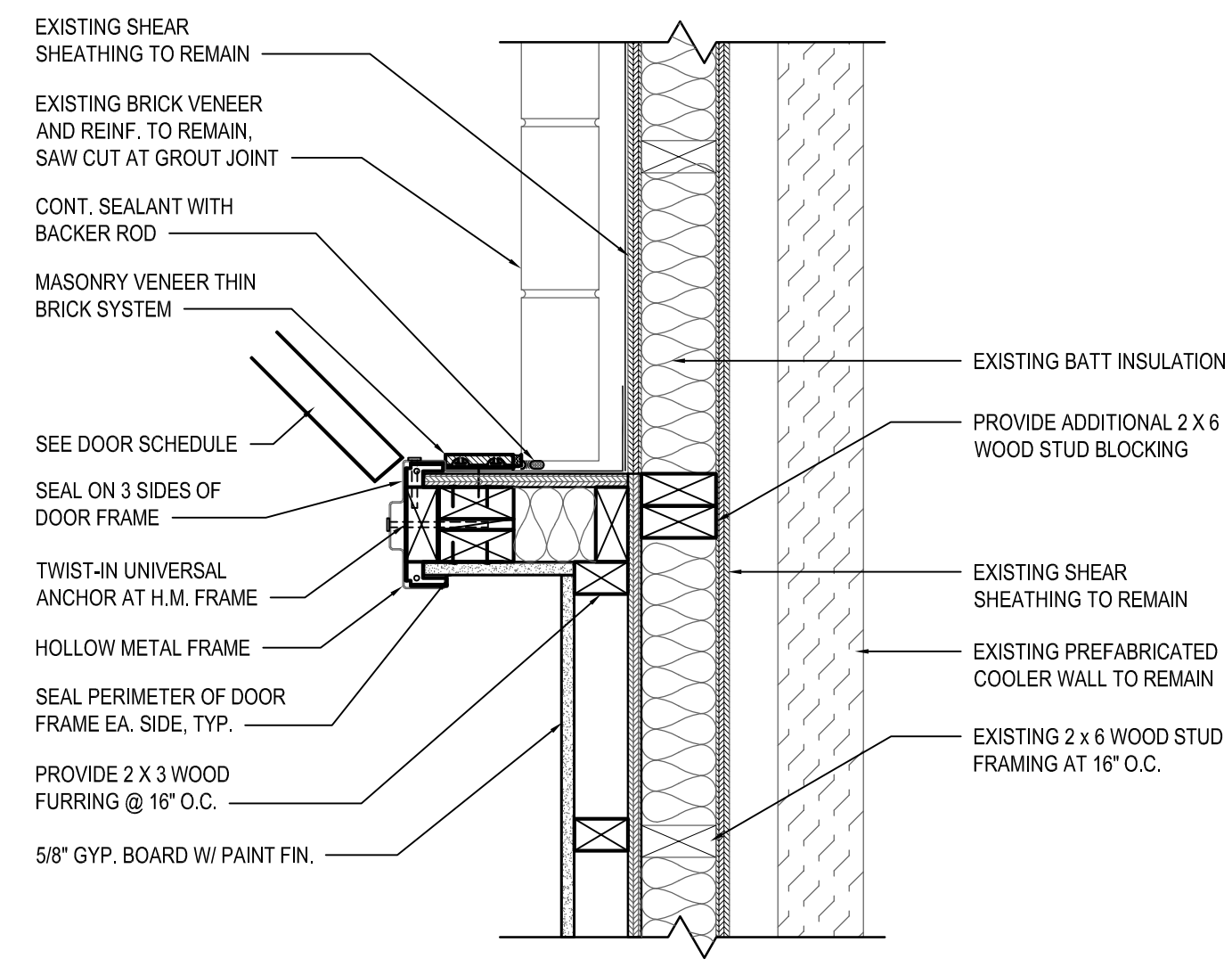
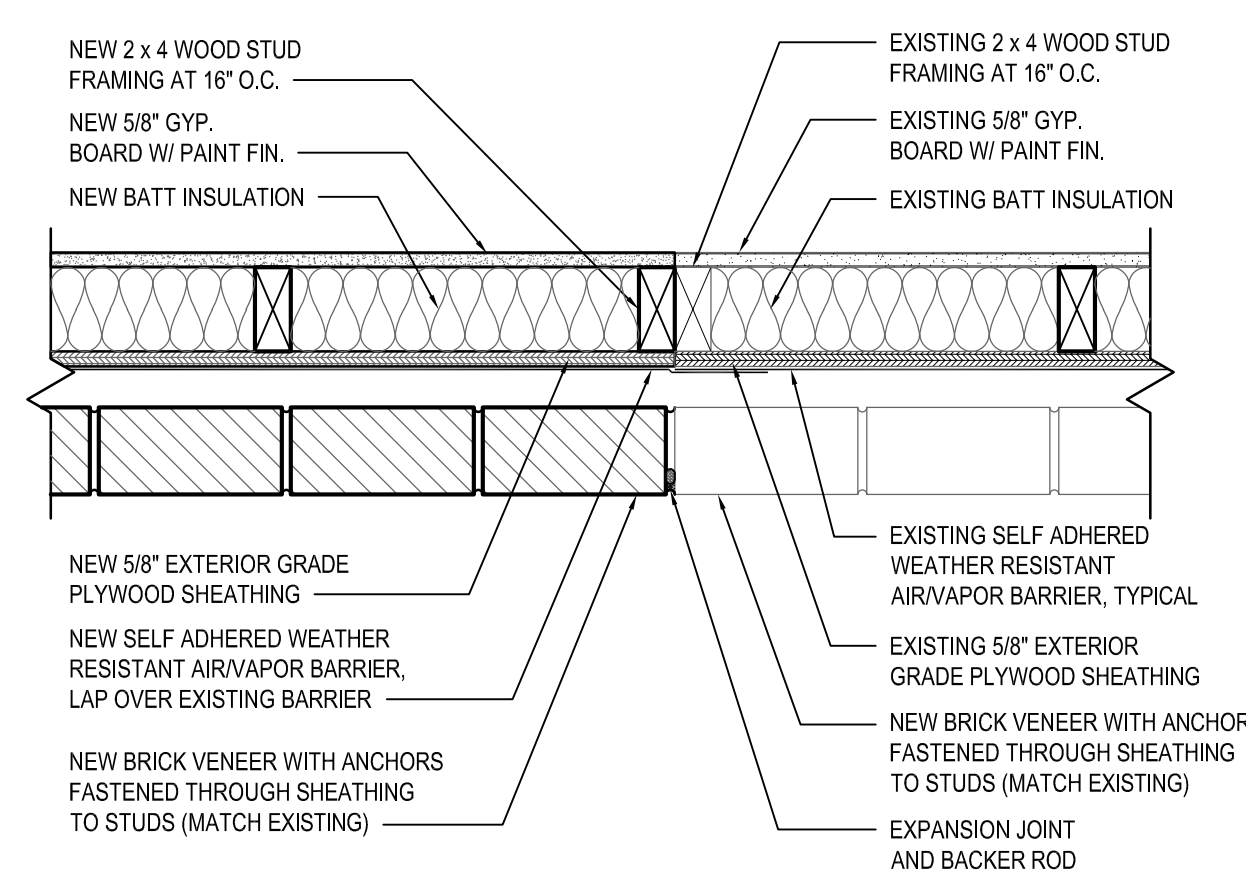
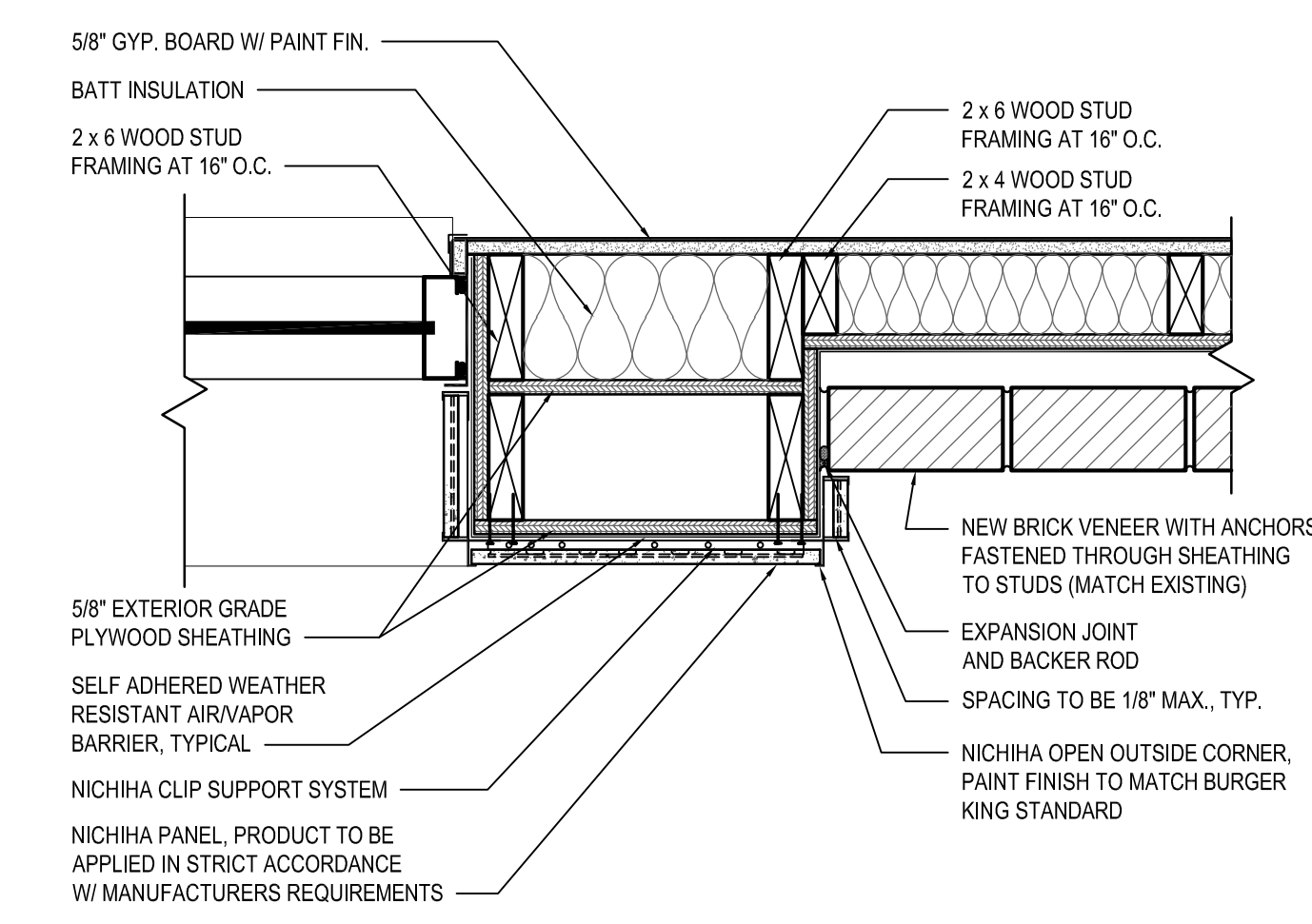
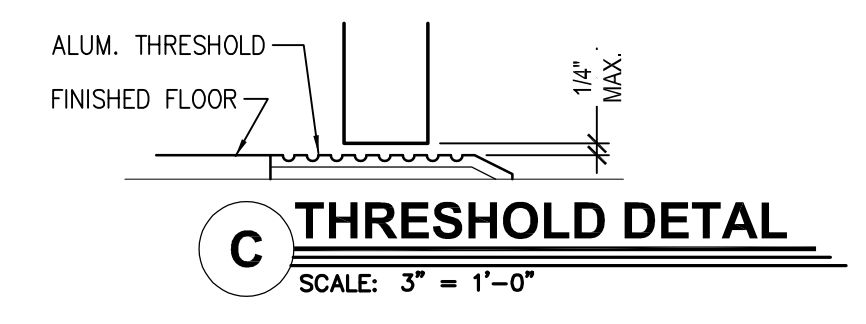
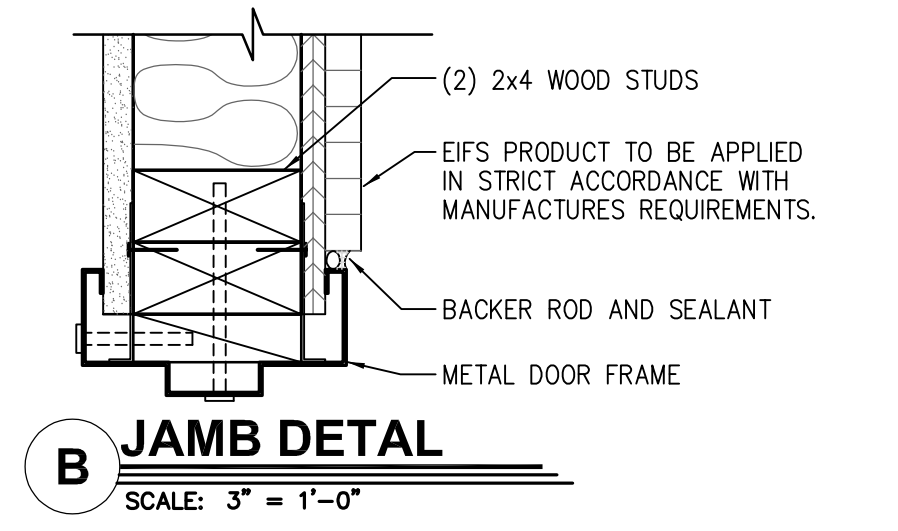
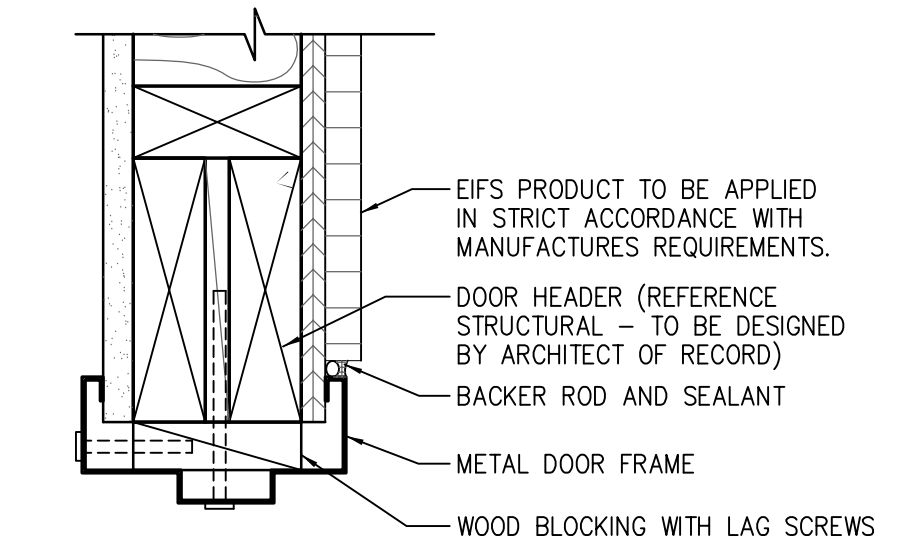
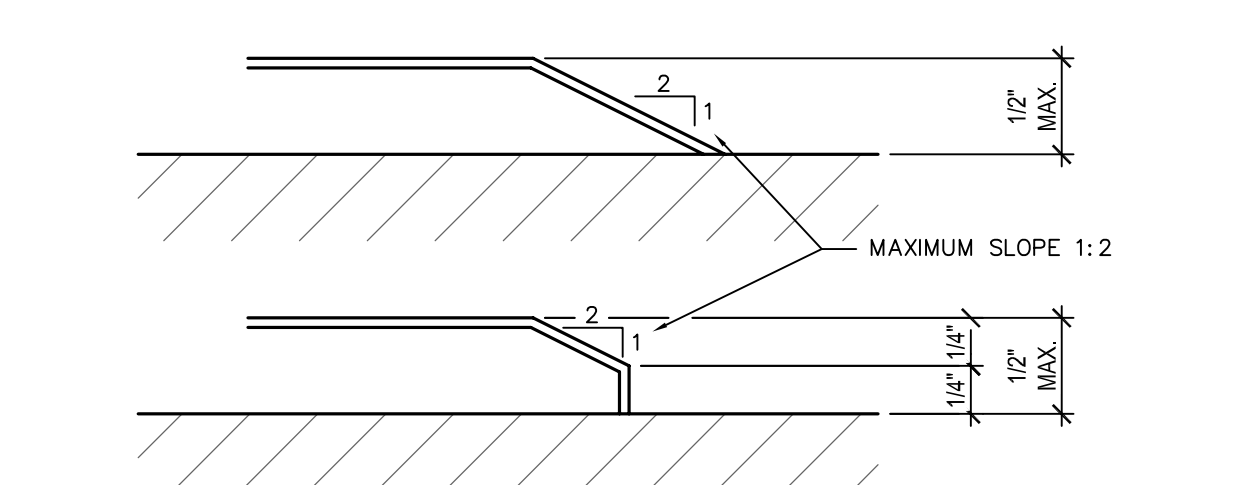
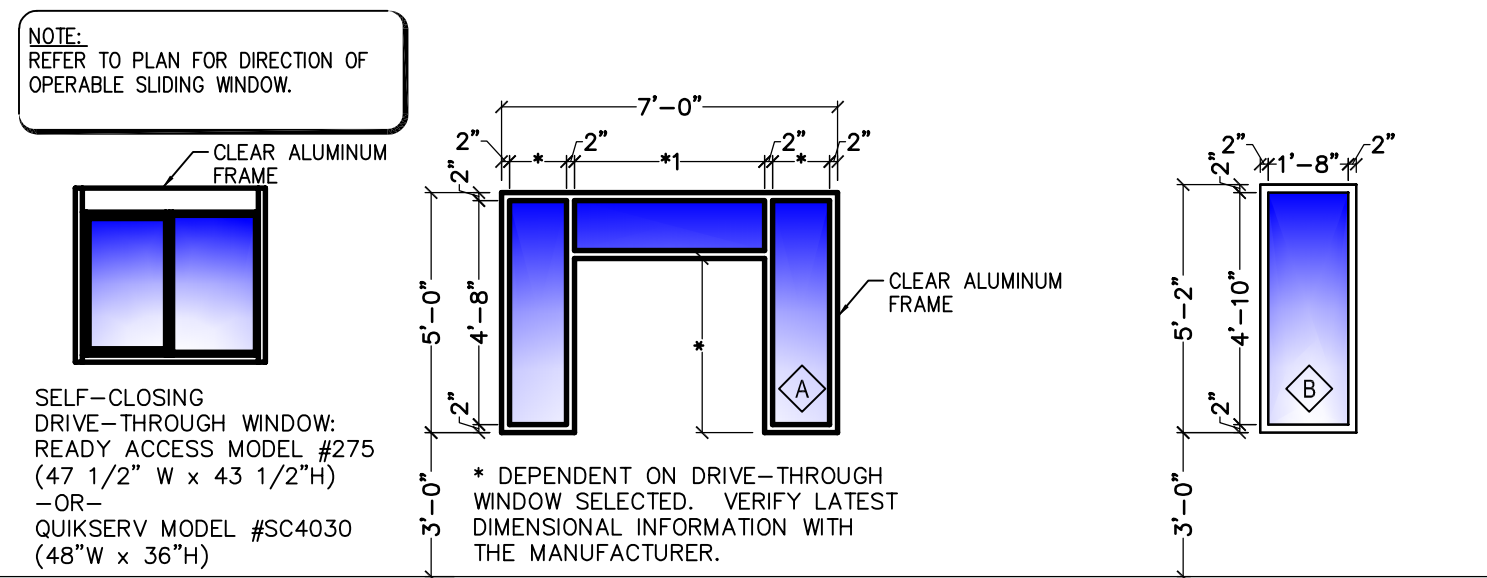
FRAME
 MATERIAL: HOLLOW METAL
 FINISH: PAINT - REFER TO SHEET A202

HARDWARE
 DOOR TO RECEIVE:
 HINGES: 4 EACH HAGER: BB1168 4 1/2" x 4 1/2" x USP x NRP
 EXIT DEVICE: 1 EACH VON DUPRIN 22EO x 689 (DOOR #1 & 2)
 CLOSER: 1 EACH LCN 4111 EDA
 VENER: 1 EACH ROCKWOOD 622 x 626
 KICKPLATES: 1 EACH HAGER 1935 10"x2" LOW 628 (INSTALL W/FLAT HEAD PHILLIPS HEAD SCREWS)
 THRESHOLD: 1 EACH NATIONAL GUARD 325 x 48" x AL
 DOOR SWEEP: 1 EACH NATIONAL GUARD 200NA x 48"
 WEATHERSTRIP: 1 SET NATIONAL GUARD 1605A 10448", 2084"

RODENT PROOF COMMERCIAL DOOR SWEEPS SHALL BE PROVIDED ON THE EXTERIOR OF ALL MAIN ENTRY, SERVICE AND EXPEDITOR DOORS.



HEAD (A)
JAMB (B)
SILL (C)



Specified Products and Approved Equals

Hinges - Provide features, functions, size and finish as shown in hardware sets.

HAGER	BB1279	BB1168	253
MCKINNEY	1A2714	14A3786	
BOMMER	BB5000	BB5004	

Locks - Provide features, functions and finish as shown in hardware sets.

FALCON - DEADLOCK	D871		NO SUBSTITUTIONS
SCHLAGE	AL53PD	AL405	
YALE	AU5307LN	AU5302LN	
FALCON	BS11D	BS01D	

Exit Device - Provide features, functions and finish as shown in hardware sets.

VON DUPRIN	22 EO		
YALE	2100 EO		
SARGENT	3828 EO		

Closers - Provide features, functions and finish as shown in hardware sets.

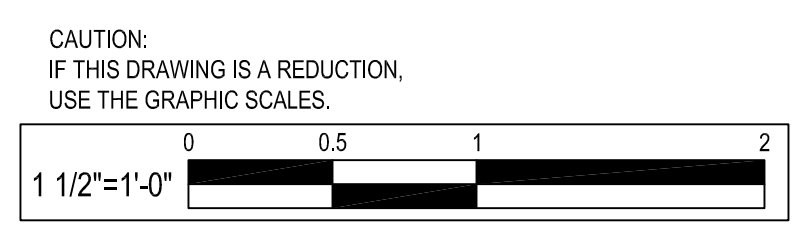
LCN	1461	4115 H-CUSH	
YALE	3301	4425T / 4421T	
DORMA	861G	891G DST / 895G DST	

Push/Pull, KP, Stops, Etc. - Provide features, functins, size and finish as shown in hardware sets.

HAGER	KICKPLT 1935	PULL FLT H33E	PUSH FLT 305	FL STOP 241F	WALL STOP 236W	VIEWER 175G
ROCKWOOD	K1050 B3E	BF106 X 70C	70C	441 CU	409	622
TRIMCO	K0050	1017-3x2+PROJ.	1001-3	1211	1270WV	976U

Weatherstripping, Thresholds, Etc. - provide features, functions, size and finish as shown in hardware sets.

NATIONAL GUARD	THRESHOLD 325A	SWEEP 200NA	WEATHERSTRIP 1605A
PEMKO	228A	315CN	303AS
ZERO	1675A	39A	99A
XCLUDER RODENT CONTROL DOOR SWEEP		LOW PROFILE 36" - 162500 AND 48" - 162520	



BY	
REVISION	
DATE	
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DOOR SCHEDULE AND DETAILS

ALTERATIONS - BURGER KING # 10839

BURGERS OF BALTIMORE, LLC.
 200 SOUTH FOUNTAIN GREEN ROAD
 BEL AIR, MD, 21015

DESIGNED: J.M.M.
 DRAWN: J.M.M.
 CHECKED: S.C.B.
 SCALE: AS SHOWN
 DATE: 04/21/2021
 PROJECT: 2018.0375.05
 DRAWING:

A601

04-21-2021 PERMIT SUBMISSION

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DIRECTORY OF MANUFACTURERS AND SUPPLIERS

This list is intended to assist the contractor in sourcing building materials and products. In many cases, approved Burger King materials and products may be purchased directly from these sources at a national approved price. For a complete listing of approved manufacturers, see plans and specifications, and visit RS'i's eRedbook.

UPDATE: 2-20-2018		DIVISION 9 - FINISHES		DIVISION 15 - MECHANICAL		SIGNS, EQUIPMENT, PLAYGROUNDS AND DÉCOR			
<p>UPDATE: 2-20-2018</p> <p>DIVISION 4 - MASONRY</p> <p>PINE HALL BRICK CO. (FACE BRICK) 2701 SHOREFAIR DRIVE, NW WINSTON-SALEM, NC 27105 THERESA BEANE: (800) 334-8689 TBEANE@PINEHALLBRICK.COM</p>		<p>EVOLUTION BRICK (FACE BRICK) 126 OLD HIGHWAY 60 EAST HARDINSBURG, KY 40143 GABE POWERS: (502) 558-4612</p>		<p>FOR FINISH MATERIALS, AND CONTACTS, REFER TO FINISH SCHEDULES FOUND IN THE "COMMON DOCUMENTS" SECTION OF THE WWW.DESIGNWITHBK.COM WEBSITE.</p>		<p>RINNAI (INSTANT WATER HEATERS) RINNAI NATIONAL ACCOUNT PRICING THROUGH HAINES, JONES, & CADBURY. CONTACT THE BURGER KING CSR AT HJC 800-459-7099 FOR RINNAI TANKLESS WATER HEATER PRICING (MISCELLANEOUS)</p>		<p>EVERPURE, INC (MENU BOARDS) 1040 MUIRFIELD DRIVE HANOVER PARK, IL 60133 JEANNINE GAINÉ: 630-240-1288 jeannine.gaine@pentair.com</p>	
<p>HC MUDDOX BRICK CO. (FACE BRICK) 4875 BRADSHAW ROAD SACRAMENTO, CA 95827 916-859-6320</p>		<p>SUMMITVILLE TILE CO (REPLACEMENT STRATA TILE) 330-223-1511</p>		<p>RHEEM (WATER HEATERS) 101 BELL ROAD MONTGOMERY, AL 36117 800-621-5622 OR CONTACT HAINES, JONES, & CADBURY (MISCELLANEOUS)</p>		<p>SELECTO SCIENTIFIC, INC (WATER FILTERS) 3980 LAKEFIELD COURT TAMPA, FL 33626 EHUD LEVY: 678-475-1445 edlevy@selectoinc.com</p>		<p>FEDERAL HEALTH SIGN CO (AWNINGS, CANOPIES AND SIGNS) 12704 DUPONT CIRCLE TAMPA, FL 33626 FIONA PAUL: 800-284-3284 EXT. 19 fpaul@federalhealth.com</p>	
<p>DIVISION 5 - METALS</p> <p>ADDISON STEEL (STRUCTURAL STEEL) ADDISON, IL 256-747-1554</p>		<p>DIVISION 10 - SPECIALTIES</p> <p>BOBRICK PRODUCTS (RESTROOM ACCESSORIES, TOILET PARTITIONS* AND HARDWARE) CONTACT: HAINES, JONES, & CADBURY (MISCELLANEOUS) *GREEN PRODUCT</p>		<p>KOALA KARE PRODUCTS (BABY CHANGING STATIONS) CONTACT: HAINES, JONES, & CADBURY (MISCELLANEOUS)</p>		<p>N.C.A. (WATER HEATERS) 600 E. JOHN CARPENTER FREEWAY, SUITE 200 IRVING, TX 75062 800-447-1953 877-719-5900</p>		<p>CUMMINGS SIGNS, INC (AWNINGS, CANOPIES AND SIGNS) 105 DALTON PLACE WAY KNOXVILLE, TN 37912 AMANDA HICKMAN: 865-862-4416 amanda.hickman@cummingsigns.com</p>	
<p>AMERICAN STANDARD (PLUMBING FIXTURES) PISCATAWAY, NJ 08854 CONTACT HAINES, JONES, & CADBURY (MISCELLANEOUS)</p>		<p>COLUMBIA VORTEX (HAND DRYERS) 825 GARLAND STREET 866-337-7286 EXT. 1136</p>		<p>CARRIER CORPORATION (AIR CONDITIONING) 6204 CARRIER PARKWAY SYRACUSE, NY 13221 DEBORAH ROY-JONES: 315-432-7941 800-690-1086</p>		<p>LOREN COOK CO (EXHAUST FANS) 1200 ENTERA DRIVE PANAMA CITY, FL 32401 850-797-1779 ken.dickson@tampabay.rr.com</p>		<p>ENTERA SIGNS (AWNINGS, CANOPIES AND SIGNS) 1200 ENTERA DRIVE PANAMA CITY, FL 32401 850-797-1779</p>	
<p>DIVISION 7 - THERMAL MOISTURE PROTECTION</p> <p>DURO-LAST ROOFING (FLAT ROOFING) 525 MORLEY DRIVE SAGINAW, MI 48601 LINDY BEUTHIN: 800-432-9331 SAMANTHA PICKELMAN 989-758-1048 OR 989-930-9826</p>		<p>G.A.F. (FLAT ROOF) 1361 ALPS ROAD WAYNE, NJ 07470 (201) 628-3000 800-766-3411</p>		<p>WORLD DRYER, CO (HAND DRYERS) CONTACT: HAINES, JONES, AND CADBURY (MISCELLANEOUS)</p>		<p>TRANE (AIR CONDITIONING UNITS, RTU'S/SPLIT SYSTEMS CONTROLS) 2884 CORPORATE WAY MIRAMAR, FL 33025 AL MARTINEZ: 954-499-2289 OR 800-440-9554 almartinez@trane.com</p>		<p>AMEREX CORPORATION (FIRE PROTECTION SYSTEMS) 7595 GADSDEN HIGHWAY TRUSSVILLE, AL 35173-0081 LISA JONES: 205-655-5760 ljones@amerex-fire.com www.amerex-fire.com</p>	
<p>BERRIDGE ROOFING (METAL ROOF) TYLER HALL SAN ANTONIO, TX 210-650-7047</p>		<p>TAMKO ROOFING PRODUCTS (FLAT ROOFING) P.O. BOX 1404 JOPLIN, MO 64802 800-641-4691</p>		<p>SAN JAMAR (RESTROOM ACCESSORIES & SUPPLIES) 555 KOOPMAN LANE PISCATAWAY, NJ 08855 262-723-6133 www.sanjamar.com OR CONTACT HAINES, JONES, & CADBURY (MISCELLANEOUS)</p>		<p>AMERICAN STANDARD (TOILET, URINAL, FAUCETS) 1 CENTENNIAL AVE. PISCATAWAY, NJ 08855 800-442-1902 OR CONTACT: HAINES, JONES, & CADBURY (MISCELLANEOUS)</p>		<p>ALLEN INDUSTRIES, INC (AWNINGS, CANOPIES AND SIGNS) 11351 49TH STREET NORTH CLEARWATER, FL 33762 THERESA TRIMMER: 800-677-3075 EXT. 3422 theresa.trimmer@allenindustries.com</p>	
<p>FIRESTONE METAL PRODUCTS (METAL ROOF) 250 WEST 96TH STREET INDIANAPOLIS, IN 46260 YUSUKE KOREDA: 615-345-9991 koredayusuke@firestonebp.com</p>		<p>BASF CORPORATION (POLYURETHANE ROOFING SYSTEMS) 1703 CROSS POINT AVE HOUSTON, TX 77054 MOSES M CLARK, JR: 315-263-4665 800-821-1414</p>		<p>UNIVERSAL MANUFACTURING (RESTROOM ACCESSORIES) 5366 CRESTVIEW DR. MEMPHIS, TN 38134 901-458-5881 800-821-1414</p>		<p>LEKTRON, INC (PARAPET LIGHT BANDS) 7450 E. 46th PLACE TULSA, OK 74145 KEVIN RUBOTTOM 800-634-4059 OR 918-622-4978 EXT 309 krubottom@lektroninc.com</p>		<p>NIECO CORPORATION (BROILERS) 7950 CAMERON DRIVE MILWAUKEE, WI 53202 JIM ZIELINSKI: 414-232-3502 JZielinski@isiamerica.com JASON FREDRICKSON: 414-224-0972 jfredrickson@isiamerica.com</p>	
<p>DIVISION 8 - DOORS AND WINDOWS</p> <p>QUIKSERV (DRIVE-THRU WINDOWS) 11441 BRITTMOORE PARK DRIVE HOUSTON, TX 77041 800-388-8307 STEVEN BERT sbert@quikserv.com</p>		<p>MARLITE (DOOR, ALUMINUM FRAMES) 202 HARGER STREET DOVER, NH 44622 800-377-1221 KURT HORSTMANN khorstmann@marlite.com</p>		<p>LSI INDUSTRIES INC. (INTERIOR AND EXTERIOR LIGHTING, SURVEYS AND PHOTOMETRICS) 10000 ALLIANCE ROAD CINCINNATI, OH 45242 BRITTANY KOESTER: 513-372-3391 OR 513-315-3725</p>		<p>SECURITY LIGHTING SYSTEMS (EXTERIOR SITE AND BUILDING LIGHTING, SURVEYS AND PHOTOMETRICS) 2100 GOLF ROAD, SUITE 460 ROLLING MEADOWS, IL 60008 ERIC HILLESAND: 630-636-8493 ehillesand@securitylighting.com</p>		<p>FRANKE (KITCHEN EQUIPMENT, SMALLWARES, HOODS) 800 AVIATION PARKWAY SMYRNA, TN 37086 CUSTOMER SERVICE: 800-877-5178 fs-bkparts.us@franke.com</p>	
<p>READY ACCESS (DRIVE THRU WINDOWS & AIR CURTAINS) 1815 ARTHUR DRIVE WEST CHICAGO, IL 60185 KELLY MCGOLDRICK: 800-621-5045 EXT 113 kelly@ready-access.com</p>		<p>UNIVERSAL MANUFACTURING CO (HOLLOW METAL FRAMES & DOORS, WOOD DOORS, HARDWARE (HINGES, LOCKS, ETC)) 5366 CRESTVIEW RD. MEMPHIS, TN 38134 901-458-5881 OR 800-821-1414</p>		<p>3M SOUND PRODUCTS (DRIVE-THRU SOUND SYSTEM & SATELITE ANTENNA) 3M CENTER BLDG. 223-2N-20 ST. PAUL, MN 55144-1000 JOE CIAMPI: 704-771-2449 jjciampi@mmm.com</p>		<p>CREE / HERMITAGE LIGHTING NATIONAL ACCOUNTS (INTERIOR AND EXTERIOR LIGHTING, SURVEYS AND PHOTOMETRICS) 3640 TROUSDALE DRIVE NASHVILLE, TN 37204 STEVE FRIEDMAN: 847-830-1444 OR WYATT CULVER: 615-843-3379 800-264-3383</p>		<p>QUALSERV SOLUTION (KITCHEN EQUIPMENT, SMALLWARES) 7400 SOUTH 28th STREET FORT SMITH, AR 72908 BECKY DUBOSE: 479-221-1467 bdubose@qualservsolutions.com</p>	
<p>3M COMMERCIAL CORE DIVISION (WINDOW FILM) 3M CENTER ST. PAUL, MN 704-771-2449 OR 800-328-0033</p>		<p>SECURITY PRODUCTS, INC (REAR DOOR ALARM) 30950 COREAL DRIVE, SUITE B COARSEGOLD, CA 93614 BOB BARR OR EMILY BEACH: 800-452-5276 orders@securityproductsinc.com</p>		<p>HM ELECTRONICS, INC (HME) (DRIVE-THRU SOUND SYSTEM) 14110 STOWIE DRIVE POWAY, CA 92064 PAUL KOOSER: 800-848-4468 pauk@hme.com</p>		<p>H & K INTERNATIONAL (KITCHEN EQUIPMENT, SMALLWARES, HOODS) 2200 SKYLINE DR DALLAS, TX 75223 HEATHER VALVERDE: 214-818-3521 heather.valverde@hki.com</p>		<p>SPI INDUSTRIES (PLAYGROUND MANUFACTURER) BOX 100, R.R. #2, JOINT ST. SHALLOW LAKE, ON, NOH 2K0 CANADA CYNTHIA MASTERS: 519-935-2174 OR 519-378-4356 cmasters@spiastics.com www.spiastics.com</p>	
<p>N.C.A. (NATIONAL HVAC PRODUCTS, LLC. (MASTER CONTROL SYSTEM) 4585 140 AVENUE NORTH CLEARWATER, FL 33762 877-530-0078</p>		<p>SUNCOAST ENVIRONMENTAL CONTROLS, INC. (ELECTRICAL SWITCH GEAR) 8655 15th AVENUE NORTH LARGO, FL 34643 877-544-6679</p>		<p>INTERNATIONAL COLD STORAGE (ICS) (WALK-IN COOLERS / FREEZERS, DRY STORAGE COMPARTMENTS) 215 EAST 13th STREET ANDOVER, KS 67802 LISA MOORE: 800-835-0001 EXT 4177 lisa.moore@icisco.com</p>		<p>SOFT PLAY, LLC (PLAYGROUND MANUFACTURER, SAFETY SURFACING, NON-CONTAINED PLAY EQUIPMENT) 13620 EAST REESE BLVD, SUITE 300 HUNTERSVILLE, NC 28078 JIM SWINTEK: 704-948-3448 jim.swintek@softplay.com</p>		<p>MITYLITE (2020 LIGHT CHAIRS AND BARSTOOLS) 1301 WEST NORTH OREM, UT KAREN EDWARDS: 865-213-2810</p>	
<p>HILL PHOENIX POWER SYSTEMS DIVISION (FACTORY INTEGRATED SWITCH GEAR) 8166 INDUSTRIAL BLVD COVINGTON, GA 30014 PAUL BROWN: 678-699-0129 paul.brown@hillphoenix.com</p>		<p>TRANE CO. (ENERGY MANAGEMENT PANEL) 2884 CORPORATE WAY MIRAMAR, FL 33025 AL MARTINEZ: 954-499-2289 ammartinez@trane.com</p>		<p>3M FOOD SERVICE BUSINESS (DRIVETHRU COMMUNICATION PRODUCTS, MAINTENANCE PRODUCTS, MATTING AND TRACTION PRODUCTS, MONITOR STRIPS, TAPES AND DISPENSERS, LAMINATING SYSTEMS) 3M CENTER BLDG. 223-2N-20 ST. PAUL, MN 55144-1000 JOE CIAMPI: 704-771-2449 jjciampi@mmm.com</p>		<p>MOSS RETAIL AND ENVIRONMENTS (GRAPHICS) 2643 WEST CHICAGO AVE CHICAGO, IL 60622 DJ SCANDIFF: 773-435-7600 EXT 617 ROB LORTS: 773-435-7600 EXT 655 rlorts@mossinc.com</p>		<p>TWENTY FOUR 7 GLOBAL SOLUTIONS, INC. (2020 LIGHT AND GARDEN GRILL CHAIRS AND BARSTOOLS) 898 NORTH SEPULVEDA BLVD, SUITE 465 EL SEGUNDO, CA 90245 BARRY WOOD: 323-319-2722</p>	
						<p>VGS, INC (GRAPHICS) 1696 MARRY MILL DRIVE, SW NORTH CANTON, OH 44709 GREG MOROZ: 201-528-9680 ORDER EMAIL: BURGERKING@VGS-INC.COM</p>		<p>WAUSAU TILE, INC (EXTERIOR DÉCOR) P.O. BOX 1520 WALSAU, WI 54402-1520 STEVE THUT: 800-388-8728 EXT 320 sthut@wausautile.com</p>	
						<p>MISCELLANEOUS</p> <p>HAINES, JONES, AND CADBURY (PACKAGE PRICING ON MULTIPLE ITEMS PLUMBING, TILE, RESTROOM ACCESSORIES, ETC) 310 SW 24TH STREET BENTONVILLE, AR 72712 BARRY BRYANT: 479-899-3555 barry.bryant@hjcinc.com</p>			

BY	
REVISION	
DATE	
NO.	



I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.

License #6140 Expiration Date: 08/21/2022

MANUFACTURERS AND SUPPLIERS

ALTERATIONS - BURGER KING # 10839

BURGERS OF BALTIMORE, LLC.
200 SOUTH FOUNTAIN GREEN ROAD
BEL AIR, MD 21015

DESIGNED:	J.M.M.
DRAWN:	J.M.M.
CHECKED:	S.C.B.
SCALE:	AS SHOWN
DATE:	04/21/2021
PROJECT:	2018.0375.05
DRAWING:	A701

04-21-2021 PERMIT SUBMISSION

STRUCTURAL GENERAL NOTES

- 1. CODE
A. ALL CONSTRUCTION SHALL CONFORM TO 2018 INTERNATIONAL BUILDING CODE, AND HARFORD COUNTY LOCAL AMENDMENTS.
2. DESIGN LOADING
A. THE DESIGN DEAD LOAD FOR THE FRAMING IS AS FOLLOWS:
ROOF DL = 25 PSF
B. THE FOLLOWING LIVE LOADS WERE USED IN DESIGN:
IBC 1603.1.2 - ROOF LIVE LOAD
ROOF LIVE LOAD = 30 PSF
IBC 1603.1.3 - ROOF SNOW LOAD
IBC 1603.1.4 - WIND LOAD
ULTIMATE DESIGN WIND SPEED (VULT) = 115 MPH
NOMINAL DESIGN WIND SPEED (VND) = 89 MPH
RISK CATEGORY = II
WIND EXPOSURE = C
INTERNAL PRESSURE COEFFICIENT = ±0.18
3. GENERAL
A. THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL DIMENSIONS AND ELEVATIONS OF EXISTING WORK PRIOR TO FABRICATION OF ANY NEW MATERIALS.
B. THE CONTRACTOR IS ADVISED THAT ALL PLANS, DIMENSIONS, AND DETAILS DEPICT FIELD CONDITION AS SHOWN. MINOR VARIATIONS ARE TO BE EXPECTED AND ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE APPROVED BY THE ARCHITECT IN WRITING PRIOR TO PROCEEDING.
C. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE THE EXISTING BUILDING DURING THE COURSE OF CONSTRUCTION AND IMMEDIATELY ADVISE THE ARCHITECT OF ANY AREAS WHERE THE STRUCTURE EXHIBITS DISTRESS OR FAILURE.
D. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SATISFY HIMSELF AS TO THE LOCATION OF ANY UTILITIES IN THE IMMEDIATE VICINITY OF CONSTRUCTION SO AS TO PREVENT DAMAGE TO THEM. SHOULD ANY DAMAGE TO SUCH UTILITIES OCCUR THE CONTRACTOR SHALL BE REQUIRED TO REPAIR SUCH DAMAGE AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER.
E. THE CONTRACTOR SHALL PROVIDE ALL SHORING, NEEDLING AND BRACING AS REQUIRED TO SUPPORT THE EXISTING STRUCTURE. THE CONTRACTOR SHALL EXAMINE THE EXISTING STRUCTURE TO DETERMINE THE EXTENT OF NECESSARY SHORING, NEEDLING AND UNDERPINNING. THE CAPACITY AND METHOD USED FOR SHORING AND NEEDLING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
F. ALL WORK SPECIFIED HEREIN SHALL BE INSPECTED IN ACCORDANCE WITH THE BUILDING CODE AND ALL LOCAL ORDINANCES. THE OWNER OR CONTRACTOR SHALL HIRE AN EXPERIENCED, QUALIFIED INSPECTOR TO PERFORM ALL THE REQUIRED INSPECTION WORK. THE ENGINEER WILL NOT PERFORM THE REQUIRED INSPECTION AS A PART OF THEIR DESIGN SERVICES. THE ENGINEER MAY VISIT THE SITE TO ASCERTAIN GENERAL CONFORMANCE WITH THE CONTRACT DOCUMENTS. SUCH SITE VISITS ARE NOT TO BE CONSTRUED AS MEETING ANY INSPECTION REQUIREMENTS UNLESS THE ENGINEER SPECIFICALLY SO STATES IN WRITING.
G. ANY REVIEW OF STRUCTURAL ITEM SHOP DRAWINGS BY (THE STRUCTURAL ENGINEER) IS FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT AS PRESENTED BY THE CONTRACT DOCUMENTS. NO DETAILED CHECK OF QUANTITIES OR DIMENSIONS WILL BE MADE. SEE WBCM SHOP DRAWING STAMP FOR RESPONSIBILITIES OF EACH PARTY.
H. SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS MUST BE SUBMITTED BY THE GENERAL CONTRACTOR. IF A CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS, THE ENGINEER WILL NOT BE RESPONSIBLE FOR THE STRUCTURAL CERTIFICATION OR FOR THE DESIGN OF THE PROJECT.
I. FOOTINGS ARE DESIGNED FOR AN ASSUMED BEARING CAPACITY OF 2000 PSF. CONTRACTOR SHALL VERIFY SOIL PRESSURE IN THE FIELD. IF FOUND TO BE LESS THAN THIS VALUE, THE FOOTINGS WILL HAVE TO BE REDESIGNED.
4. CAST-IN-PLACE CONCRETE
4A. GENERAL CONSTRUCTION
A. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST APPROVED (BY LOCAL GOVERNMENT) EDITIONS OF THE FOLLOWING A.C.I. AND A.S.T.M. DOCUMENTS:
ACI-301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS
ACI-302.1R FLOOR AND SLAB CONSTRUCTION
ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
ACI-214 COMPRESSION TESTS
ACI-306 COLD WEATHER
ACI-315 DETAILING
ACI-347 FORMWORK
ACI-305 HOT WEATHER
ACI-211 PROPORTIONS OF CONCRETE
ACI-304 PLACING CONCRETE
ACI-ASCE423 UNBONDED TENDONS
ASTM C94 READY-MIX CONCRETE
B. ALL FIELD AND LAB TESTING OF CONCRETE SHALL CONFORM TO THE LATEST APPROVED (BY LOCAL GOVERNMENT) EDITIONS OF ASTM:
ASTM C31 FIELD CYLINDER SPECIMENS
ASTM C143 SLUMP TEST
ASTM C231 AIR CONTENT (WHEN REQUIRED)
ASTM C39 LAB TESTING CYLINDERS
ASTM C172 SAMPLING FRESH CONCRETE
ASTM C42 HARDENED CORES (WHEN REQUIRED)
C. ALL CONCRETE, UNLESS NOTED OTHERWISE, SHALL BE STONE AGGREGATE CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE AN AIR ENTRAINMENT OF 5%±1%. NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED. MAXIMUM AGGREGATE SIZE FOR CONCRETE SHALL BE 1", AND MAXIMUM SLUMP SHALL BE 4" AND 3" FOR SLABS ON GRADE. ALL CONCRETE, EXCEPT FOOTINGS, SHALL CONTAIN A WATER REDUCING ADMIXTURE.
D. ALL CONCRETE MIX DESIGNS AND ADMIXTURES SHALL BE APPROVED BY THE ARCHITECT 30 DAYS PRIOR TO INITIATION OF FIRST POUR.

- E. ALL REINFORCING BARS SHALL CONFORM TO ASTM A-615 GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
F. CONCRETE EXPOSED TO PUBLIC VIEW SHALL MEET THE REQUIREMENTS FOR ARCHITECTURAL CONCRETE OF ACI 301.
G. ALL FORMWORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "FORMWORK FOR CONCRETE", SPECIAL PUBLICATION NO. 4 AND ACTS "STANDARD RECOMMENDED PRACTICE FOR CONCRETE FORMWORK" (ACI-347, LATEST LOCAL APPROVED EDITION).
H. ALL LAP SPLICES SHALL BE CLASS "B" (1'-0" MIN.) EXCEPT AS NOTED ON PLANS. BEND OUTSIDE FACE WALL HORIZONTAL REINFORCING 1'-0" AROUND ALL CORNERS OR PROVIDE 4'-0" LONG CORNER BARS TO MATCH HORIZONTAL REINFORCING.
I. PROVIDE CONCRETE PROTECTION FOR REINFORCING BARS AS FOLLOWS:
FOOTINGS 3"
J. WHERE CONTINUOUS BARS ARE CALLED FOR, THEY SHALL BE RUN CONTINUOUSLY AROUND CORNERS AND LAPPED AT NECESSARY SPLICES OR HOOKED AT DISCONTINUOUS ENDS. LAPS SHALL BE NOT LESS THAN THE TYPICAL SPLICE LENGTH UNLESS NOTED.
K. REINFORCEMENT SHALL BE CONTINUOUS THROUGH ALL CONSTRUCTION JOINTS UNLESS OTHERWISE INDICATED ON THE DRAWINGS. AT VERTICAL CONSTRUCTION JOINTS.
5. WOOD FRAMING
5A. GENERAL WOOD FRAMING
A. STRUCTURAL SOLID WOOD JOISTS, BEAMS, COLUMNS AND STUDS SHALL BE SOUTHERN PINE #2 SURFACED DRY AT A MAXIMUM OF 19% MOISTURE CONTENT. ALL FABRICATION, ERECTION, OTHER PROCEDURES, AND MINIMUM UNIT STRESSES SHALL CONFORM TO THE CURRENT "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION".
B. ALL WOOD FRAMING SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION SPECIFICATION AITC 105 "RECOMMENDED PRACTICE FOR THE ERECTION OF STRUCTURAL TIMBER FRAMING, AITC 106," "CODE OF STANDARD PRACTICE," AND "THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", LATEST EDITION, AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
C. ALL WOOD PLATES BEARING ON CONCRETE WALL SHALL BE WOLMANIZED PRESSURE TREATED LUMBER AS MANUFACTURED BY KOPPERS COMPANY OR AN APPROVED ALTERNATE.
D. ANCHOR ALL SILL PLATES TO CONCRETE SLABS OR MASONRY WALLS WITH 5/8" DIAMETER ANCHOR BOLTS WITH 15" MIN. EMBEDMENT DEPTH AND 2" HOOK SPACED AT MAX. 32" ON CENTER. PROVIDE 2 ANCHOR BOLTS MINIMUM PER PLATE.
E. ALL LAMINATED VENEER LUMBER (LVL) SHALL BE FABRICATED TO PRODUCE THE FOLLOWING MINIMUM ALLOWABLE STRESSES:
EXTREME FIBER IN BENDING F = 2,900 PSI
MODULUS OF ELASTICITY E = 2,000,000 PSI
5B. WOOD WALLS AND COLUMNS
A. ALL PERIMETER STUD BEARING WALLS AND INTERIOR BEARING WALLS SHALL BE 2X6 @ 16" O/C UNLESS NOTED OTHERWISE. PROVIDE SOLID BRIDGING AT MID HEIGHT OF ALL STUD WALLS TO 9'-0" HIGH UNLESS NOTED OTHERWISE. STUD WALLS OVER 9'-0" SHALL BE PROVIDED WITH 2 ROWS OF SOLID BRIDGING LOCATED AT THE THIRD POINT OF THE STUD HEIGHT UNLESS NOTED OTHERWISE.
B. PROVIDE DOUBLE STUDS AT ALL CORNERS, SIDES OF ALL OPENINGS, WINDOWS AND DOORS, AND BENEATH ALL WOOD BEAMS AND LINTELS UNLESS NOTED OTHERWISE ON PLANS. DOUBLE STUDS BENEATH WOOD BEAMS AND LINTELS SHALL BE CARRIED THROUGH ANY INTERMEDIATE FLOOR FRAMING TO THE TOP OF FOOTINGS OR MASONRY FOUNDATION WALLS.
5C. PLYWOOD
A. ALL PLYWOOD SHALL MEET THE REQUIREMENTS OF THE PLYWOOD DESIGN SPECIFICATIONS AS PUBLISHED BY THE AMERICAN PLYWOOD ASSOCIATION.
B. ENTIRE ROOF DECK SHALL BE 5/8"-2/40 PLYWOOD. PROVIDE PLY CLIPS AT CENTERLINE OF PLYWOOD SPAN AT ALL EDGES PARALLEL TO SPAN.
C. PLYWOOD SHEATHING SHALL BE CONTINUOUS OVER A MINIMUM OF 2 SPANS.
D. PLYWOOD SHALL BE SECURELY FASTENED 3/8" FROM THE EDGE.
E. PLYWOOD 1/2" IN THICKNESS AND LESS SHALL BE PROVIDED WITH PLY-CLIPS ALONG EDGES AT MIDSPAN. PLYWOOD 5/8" AND THICKER SHALL EITHER HAVE TONGUE AND GROOVE EDGES OR PLY-CLIPS AT MIDSPAN. FOR 48" SPANS PROVIDE 2 PLY CLIPS AT THIRD JOINTS OR TONGUE AND GROOVE PLYWOOD.
F. MINIMUM NAIL SIZE NO. 11 GAGE, 1-3/4" LONG, 7/16" HEAD, DIAMOND POINT, GALVANIZED, ALTERNATE NAILS MAY BE USED IF THEIR DIMENSIONS ARE NOT LESS THAN THE SPECIFIED VALUES.
G. END JOINTS OF ADJACENT COURSES OF GYPSUM BOARD SHEATHING SHALL NOT OCCUR OVER THE SAME STUD.
H. WHERE BLOCKING IS REQUIRED BLOCKING SHALL BE THE SAME SIZE AS TYPICAL STUDS AND SHALL BE PROVIDED AT ALL JOINTS THAT ARE PERPENDICULAR TO STUDS.
I. NAILS SHALL BE SPACED NOT LESS THAN 3/8" FROM EDGES AND ENDS OF GYP BOARD SHEATHING.
J. NAIL SPACING SPECIFIED APPLIES TO ALL STUDS, TOP AND BOTTOM PLATES, AND BLOCKING.

- 6. STRUCTURAL AND MISCELLANEOUS STEEL
A. GENERAL AND NEW CONSTRUCTION
1) ALL STRUCTURAL AND MISCELLANEOUS STEEL SHALL CONFORM TO THE FOURTEENTH EDITION OF THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" AND ALL ITS SUPPLEMENTS, AND TO THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES."
2) ALL STRUCTURAL STEEL SHALL BE AS FOLLOWS:
W-SHAPES ASTM A992, Fy = 50,000 PSI
MISCELLANEOUS STEEL ASTM A572 GRADE 50, Fy = 50,000 PSI
RECTANGULAR/SQUARE HSS ASTM A500 GRADE C, Fy = 50,000 PSI
3) NO OPENINGS IN BEAMS SHALL BE PERMITTED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.
4) THE USE OF A GAS-CUTTING TORCH IN THE FIELD FOR CUTTING HOLES OR FOR CORRECTIONS FABRICATION ERRORS WILL NOT BE PERMITTED ON NEW STRUCTURAL FRAMING MEMBERS EXCEPT WITH THE WRITTEN APPROVAL OF THE ARCHITECT FOR EACH SPECIFIC CONDITION.
5) FIELD STRUCTURAL STEEL TO BE INSPECTED BY QUALIFIED INSPECTORS APPROVED BY THE STRUCTURAL ENGINEER AND RETAINED BY THE CONTRACTOR. FIELD INSPECTION REPORTS TO BE FILED WITH THE STRUCTURAL ENGINEER WITHIN 5 DAYS OF TIME OF ACTUAL INSPECTION. INSPECTORS MUST BE NOTIFIED OF ALL PHASES OF CONSTRUCTION AND WELDING BY GENERAL CONTRACTOR.
6) ALL WELDED CONNECTIONS SHALL BE DONE WITH E70XX ELECTRODES. SHOP AND FIELD WELDS SHALL BE MADE BY APPROVED CERTIFIED WELDERS AND SHALL CONFORM TO THE AMERICAN WELDING SOCIETY CODE FOR BUILDINGS AWS D1.1. WELDS SHALL DEVELOP THE FULL STRENGTH OF MATERIALS BEING WELDED UNLESS OTHERWISE NOTED.
7) ALL BUTT WELDS SHALL BE FULL PENETRATION BUTT WELDS IN ACCORDANCE WITH THE STRUCTURAL WELDING CODE (ANSI/AWS D1.1). THESE WELDS SHALL BE MADE ONLY BY OPERATORS QUALIFIED BY PRESCRIBED TESTS IN THE STRUCTURAL WELDING CODE IN BUILDING CONSTRUCTION OF THE AMERICAN WELDING SOCIETY. ACCEPTANCE TO BE SUBJECT TO THE INSPECTION AND REVIEW OF AN INDEPENDENT INSPECTION AGENCY.
8) WELDING SEQUENCE AND TECHNIQUE SHALL BE SUCH THAT DISTORTION OF STEEL MEMBERS IS MINIMIZED AND UNDE DISTORTION IS AVOIDED.
7. POST-INSTALLED ANCHORS
A. ANCHORS IN CONCRETE AND MASONRY
1) POST INSTALLED ANCHORS SHALL BE USED ONLY WHERE SPECIFIED ON STRUCTURAL CONTRACT DRAWINGS
2) THE INSTALLATION OF POST INSTALLED ANCHORS FOR MISSING OR MISPLACED CAST IN-PLACE ANCHORS SHALL BE APPROVED BY THE ENGINEER OF RECORD
3) EXISTING EMBEDDED ITEMS IN THE CONCRETE STRUCTURE (I.E., REINFORCING BARS, CONDUIT, ETC.) SHALL NOT BE CUT UNLESS APPROVED BY THE STRUCTURAL ENGINEER OF RECORD.
4) SUBMITTAL OF ALL PROPOSED PRODUCTS, WITH TECHNICAL DATA AND CURRENT ICC-ESR REPORTS IS REQUIRED FOR REVIEW AND APPROVAL BY ENGINEER OF RECORD. ADDITIONAL APPLICATION CALCULATIONS MAY BE REQUIRED BY THE ENGINEER OF RECORD.
5) ALL ANCHORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS (MPI) IN CONJUNCTION WITH EDGE DISTANCE, SPACING AND EMBEDMENT DEPTH AS INDICATED ON THE CONTRACT DRAWINGS.
6) THE CONTRACTOR SHALL ARRANGE FOR A MANUFACTURER'S FIELD REPRESENTATIVE TO PROVIDE INSTALLATION TRAINING FOR ALL PRODUCTS TO BE USED, PRIOR TO COMMENCEMENT OF WORK. ONLY TRAINED INSTALLERS SHALL PERFORM POST INSTALLED ANCHOR INSTALLATION. A RECORD OF TRAINING SHALL BE KEPT ON SITE AND BE MADE AVAILABLE TO THE ENGINEER OF RECORD AS REQUESTED.
7) ADHESIVE ANCHORS INSTALLED IN HORIZONTAL TO VERTICALLY OVERHEAD ORIENTATION TO SUPPORT SUSTAINED TENSION LOADS SHALL BE DONE BY A CERTIFIED ADHESIVE ANCHOR INSTALLER (AAI) AS CERTIFIED THROUGH AICORSI (ACI 318-14 17.8). PROOF OF CURRENT CERTIFICATION SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF INSTALLATION.
8) ADHESIVE ANCHORS MUST BE INSTALLED IN CONCRETE AGED A MINIMUM OF 21 DAYS (ACI 318-14 17.1.2).
9) PROVIDE SPECIAL INSPECTION FOR ALL MECHANICAL AND ADHESIVE ANCHORS PER THE APPLICABLE BUILDING CODE AND PER THE CURRENT ICC-ES REPORT (IBC 2015 TABLE 1705.3 NOTE B).
10) SUBSTITUTION REQUESTS, FOR PRODUCTS OTHER THAN THOSE SPECIFIED BELOW, SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER OF RECORD ALONG WITH CALCULATIONS THAT ARE PREPARED & SEALED BY A REGISTERED PROFESSIONAL ENGINEER. THE CALCULATIONS SHALL DEMONSTRATE THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING EQUIVALENT PERFORMANCE VALUES (MINIMUM) OF THE SPECIFIED PRODUCT USING THE APPROPRIATE DESIGN PROCEDURE AND/OR STANDARD(S) AS REQUIRED BY ACI 318-14 CHAPTER 17.
11) THE FOLLOWING MANUFACTURER'S HAVE BEEN PRE-APPROVED FOR SUBMITTAL.
a. POWERS FASTENERS
b. HILTI INC
c. SIMPSON

- B. CONCRETE ANCHORS
1) MECHANICAL ANCHORS SHALL HAVE BEEN TESTED AND QUALIFIED FOR USE IN ACCORDANCE WITH ACI 308.2 AND ICC-ES AC308 FOR CRACKED, UNCRACKED AND SEISMIC CONCRETE RECOGNITION.
2) ADHESIVE ANCHORS SHALL HAVE BEEN TESTED AND QUALIFIED FOR USE IN ACCORDANCE WITH ACI 308.4 AND ICC-ES AC308 FOR CRACKED, UNCRACKED AND SEISMIC CONCRETE RECOGNITION.
3) CAST-IN-PLACE INSERTS SHALL HAVE BEEN TESTED AND QUALIFIED FOR USE IN ACCORDANCE WITH ICC-ES AC446 FOR CRACKED, UNCRACKED AND SEISMIC CONCRETE RECOGNITION.
C. MASONRY ANCHORS
1) MECHANICAL ANCHORS SHALL HAVE BEEN TESTED AND QUALIFIED FOR USE IN ACCORDANCE WITH ICC-ES AC01 OR AC106.
2) ADHESIVE ANCHORS SHALL HAVE BEEN TESTED AND QUALIFIED FOR USE IN ACCORDANCE WITH ICC-ES AC58.
8. MASONRY
A. ALL MASONRY CONSTRUCTION AND MATERIALS USED THEREIN (CONCRETE MASONRY, CLAY MASONRY, MORTAR, GROUT AND STEEL REINFORCEMENT) SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530/ASCE 5/TMS 402) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TMS 602) IN ALL RESPECTS. WHERE ANCHORS (INCLUDING ANCHOR BOLTS) ARE INDICATED TO BE GROUTED IN CELLS OF HOLLOW CMU, THE CELL CONTAINING THE ANCHOR (OR ANCHOR BOLT) SHALL BE FULLY GROUTED AND IN ADDITION TO THIS CELL THE CELLS ABOVE, BELOW, TO EACH SIDE, AND THE FOUR CELLS ON EACH 45 DEGREE DIAGONAL ADJACENT TO THE CELL CONTAINING THE ANCHOR/ANCHOR BOLT SHALL BE FULLY GROUTED AND THE EIGHT SURROUNDING CELLS SHALL BE FULLY GROUTED.
B. UNLESS OTHERWISE NOTED CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM NET AREA COMPRESSIVE STRENGTH OF 2,000 PSI. TYPE "S" PORTLAND CEMENT/LIME MORTAR SHALL BE USED FOR ALL MASONRY.
C. MASONRY BEARING WALLS SHALL CONSIST OF STANDARD HOLLOW UNITS CONFORMING TO ASTM C 90 UNLESS OTHERWISE NOTED. WHERE SOLID UNITS ARE REQUIRED, PROVIDE UNITS CONFORMING TO ASTM C 145. CONCRETE MASONRY SHALL BE SAMPLED AND TESTED BY THE MASONRY SUPPLIER ACCORDING TO THE REQUIREMENTS OF "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530/ASCE 5/TMS 402) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TMS 602) AND RESULTS SUBMITTED TO THE ENGINEER FOR APPROVAL. USE FULL HEAD JOINTS, FILL COLLAR JOINTS 100% SOLID, BOND PIERS INTO WALLS BY TOOTHING, AND BOND WALLS TO CROSS-WALLS BY TOOTHING.
D. ALL MORTAR SHALL CONFORM TO THE REQUIREMENTS FOR PROPORTIONS, MIXING, STRENGTH, SAMPLING, TESTING, AND APPLICATION FOR PORTLAND CEMENT/LIME TYPE "S" MORTAR AS DESCRIBED IN ACI 530.
E. MASONRY CONSTRUCTION IS TO BE INSPECTED BY AN EXPERIENCED, QUALIFIED INSPECTOR APPROVED BY THE STRUCTURAL ENGINEER. INSPECTION IS TO BE PROVIDED IN ACCORDANCE WITH THE AIA/ASCE/TMS CODE AND SPECIFICATION.
F. ALL SOLID CMU IS TO BE 100% SOLID CMU OR HOLLOW CMU WITH ALL CELLS FILLED 100% WITH GROUT CONFORMING TO ASTM C 478.
G. LOOSE LINTELS FOR MASONRY WALLS SHALL BE FOR EACH 4" WIDTH OF MASONRY ONE STEEL ANGLE AS FOLLOWS:
0'-0" TO 3'-0" L3 1/2" x 3 1/2" x 5/16"
3'-1" TO 5'-0" L4" x 3 1/2" x 5/16"
5'-1" TO 6'-6" L5" x 3 1/2" x 3/8"
6'-7" TO 8'-0" L6" x 3 1/2" x 3/8"
H. ALL ANGLES SHALL HAVE THEIR SHORT LEG OUTSTANDING AND 6" MINIMUM BEARING LINTELS OVER OPENINGS IN INTERIOR NON-BEARING MASONRY PARTITIONS NOT OTHERWISE SPECIFIED SHALL BE PRECAST LIGHTWEIGHT CONCRETE LINTELS WITH 1 NO. 5 BAR TOP AND BOTTOM FOR EACH 4" WIDTH. ALL MULTIPLE ANGLE LINTELS SHALL BE TACK WELDED TOGETHER AT ENDS AND AT THIRD POINTS. SHORE LINTELS TO PREVENT ROTATION DURING CONSTRUCTION.
I. LAP ALL VERTICAL REINFORCING 48 BAR DIAMETERS MINIMUM.
J. ALL EXTERIOR WALLS AND ALL WALLS SUPPORTING LOADS OTHER THAN THEIR OWN WEIGHT SHALL BE CONSTRUCTED OF LOAD BEARING UNITS.
K. ALL MASONRY WALLS SHALL BE REINFORCED WITH NO. 9 GAGE TRUSS-TYPE HOT DIPPED GALVANIZED JOINT REINFORCEMENT SPACED VERTICALLY AT 16" O/C U.N.O. PROVIDE CORNER AND TEE PIECES AT ALL INTERSECTIONS. LAP ALL JOINT REINFORCEMENT 6" MINIMUM.
L. PROVIDE 16" MINIMUM DEPTH OF 100% SOLID MASONRY OR HOLLOW BLOCK FILLED SOLID WITH GROUT BELOW ALL LINTELS.
M. BRACE AND SHORE ALL NEW MASONRY WALLS AS REQUIRED UNTIL ROOF DECKS HAVE BEEN COMPLETELY INSTALLED.
N. PROVIDE SOLID BLOCK OR FILL WALL SOLID WITH GROUT DIRECTLY BELOW ALL CHANGES IN WALL THICKNESS OR CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS BEARING FOR ALL FACE BLOCKS OF BLOCK.
O. PROVIDE 8" DEEP SOLID BEARING BELOW ALL WOOD JOISTS AND STUDS BEARING ON MASONRY WALLS. SOLID BEARING SHALL BE SOLID BLOCK OR BRICK OR HOLLOW BLOCK FILLED SOLID WITH GROUT.

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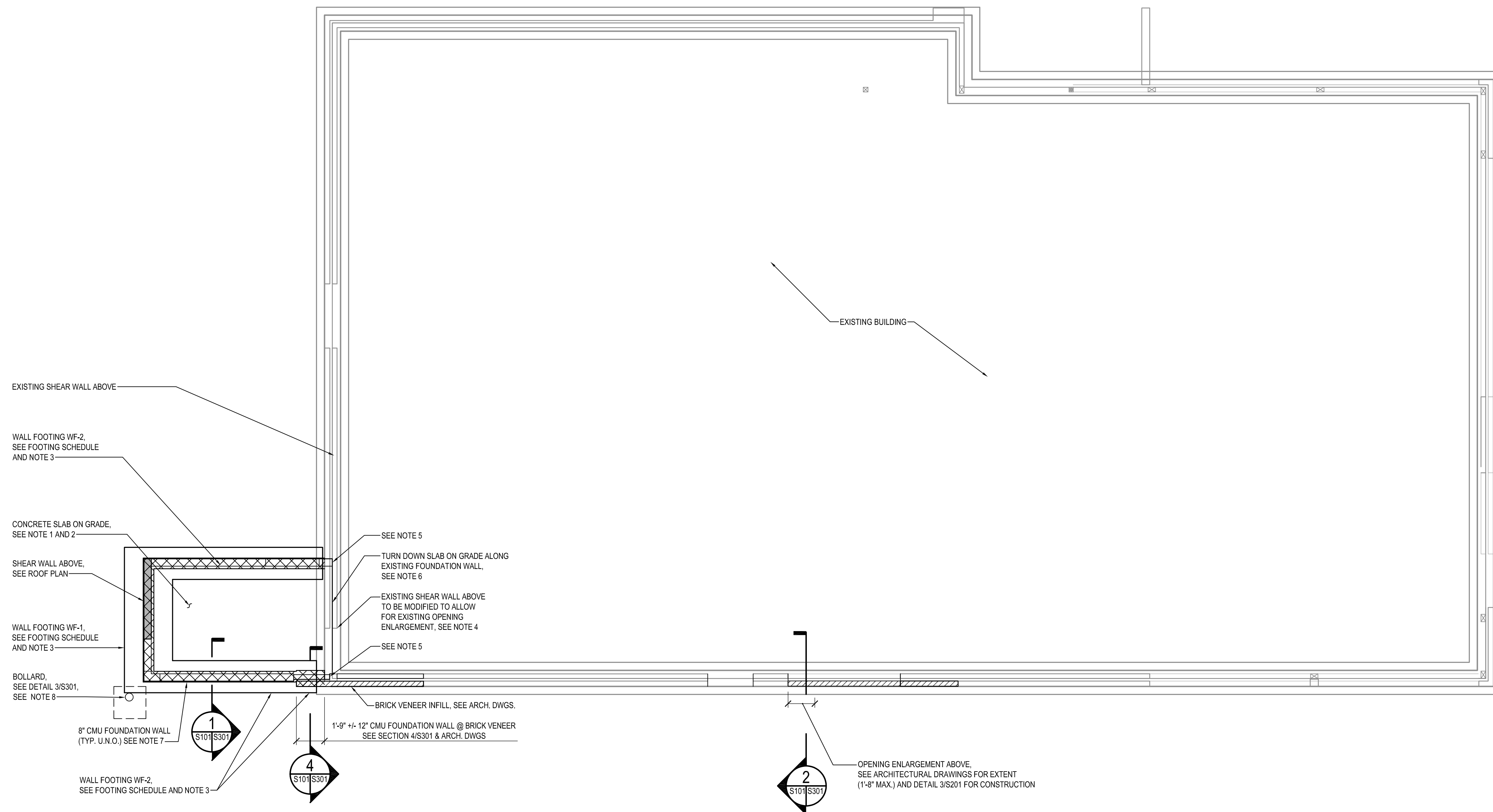
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GENERAL NOTES
ALTERATIONS - BURGER KING # 10839
BURGERS OF BALTIMORE, LLC.
200 SOUTH FOUNTAIN GREEN ROAD
BEL AIR, MD. 21015

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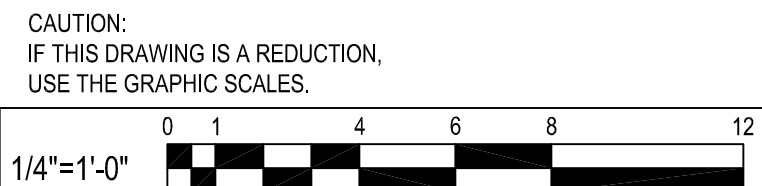


STRUCTURAL DRAWINGS OF THE EXISTING STRUCTURE ARE NOT AVAILABLE. DESIGN IS BASED ON STRUCTURAL DRAWINGS OF SIMILAR EXISTING BUILDINGS. FIELD CONDITIONS MAY DIFFER AND MUST BE VERIFIED BY CONTRACTOR PRIOR TO ORDER MATERIALS AND CONSTRUCTION.

N
A
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

- FOUNDATION PLAN NOTES:
1. FINISH FLOOR ELEVATION TO MATCH EXISTING, REF. ARCH. DWGS.
 2. CONCRETE SLAB ON GRADE SHALL BE 5" CONCRETE SLAB REINFORCED W/ 6x6-W2.9xW2.9 WWF PLACED OVER 4" THICK LAYER OF #57 STONE & 10 MIL VAPOR BARRIER.
 3. BOTTOM OF FOOTING TO MATCH BOTTOM OF EXISTING ADJACENT FOOTINGS OR TO BE 2'-0" MIN. BELOW GRADE, WHICHEVER IS GREATER. IF BOTTOM OF EXISTING FOOTING IS FOUND TO BE LOCATED AT AN ELEVATION LESSER THAN 2'-0" BELOW GRADE, UNDERPINNING OF EXISTING FOOTING WILL BE REQUIRED.
 4. RELOCATE EXISTING END WOOD STUDS, HOLDOWN AND ALL CONNECTED PARTS OF EXISTING SHEAR WALL TO ALLOW FOR EXISTING OPENING ENLARGMENT (SEE ARCH. DWGS FOR EXTENT (MAX. 6'-12" WIDTH INCREASE) AND ADDITIONAL INFORMATION), USE 5/8" DIAMETER ASTM F1554 GR 36 THREADED ROD W/ HIT-RE 500 V3 ADHESIVE W/ 6" MIN. EMBEDMENT DEPTH IN EXISTING CONCRETE @ RELOCATED HOLDOWN. MODIFY EXISTING PLYWOOD SHEATHING AND RECONNECT IT TO RELOCATED END STUDS W/ 10d NAILS @ 6" O/C.
 5. SEE DETAIL 8/S301 FOR NEW FOOTING AT EXISTING WALL, DETAIL 2/S301 FOR CONNECTION BETWEEN EXISTING AND NEW CMU WALLS AND DETAIL 7/S301 FOR TYPICAL REINFORCED MASONRY CONSTRUCTION.
 6. TURN DOWN SLAB ON GRADE TO TOP OF EXISTING CMU LEDGE AT INTERFACE WITH EXISTING SLAB / FOUNDATION WALL. ADDITIONAL REINFORCEMENT TO BE #4 @ 24" O/C L-SHAPED BARS, 24" MIN. HORIZONTAL LENGTH, VERTICAL LENGTH TO BE COORDINATED WITH TOP ELEVATION OF EXISTING CMU LEDGE (VIF). PROVIDE 1/2" EXPANSION JOINT MATERIAL @ INTERFACE W/ EXISTING SLAB.
 7. SEE SECTION 1/S301 FOR CMU FOUNDATION WALL INFORMATION AND DETAIL 7/S301 FOR TYPICAL REINFORCED MASONRY CONSTRUCTION.
 8. COORDINATE LOCATION OF BOLLARDS WITH ARCHITECTURAL AND SITE DRAWINGS, EXISTING BUILDING FOUNDATIONS, WALLS, ETC. MUST NOT BE DEMOLISHED.
 9. SEE ARCH. DRAWINGS FOR DIMENSIONS AND ELEVATIONS NOT SHOWN.

WALL FOOTING SCHEDULE				
MARK	SIZE		REINFORCEMENT	
	DEPTH	WIDTH	LONGITUDINAL	TRANSVERSAL
WF-1	12"	3'-0"	(4) #5 CONT.	#5 @ 24" O/C
WF-2	12"	2'-0"	(3) #5 CONT.	#5 @ 24" O/C



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FOUNDATION PLAN

ALTERATIONS - BURGER KING # 10839

BURGERS OF BALTIMORE, LLC.
200 SOUTH FOUNTAIN GREEN ROAD
BEL AIR, MD. 21015

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DATE: 01/18/2021
PROJECT: 2018.0375.05
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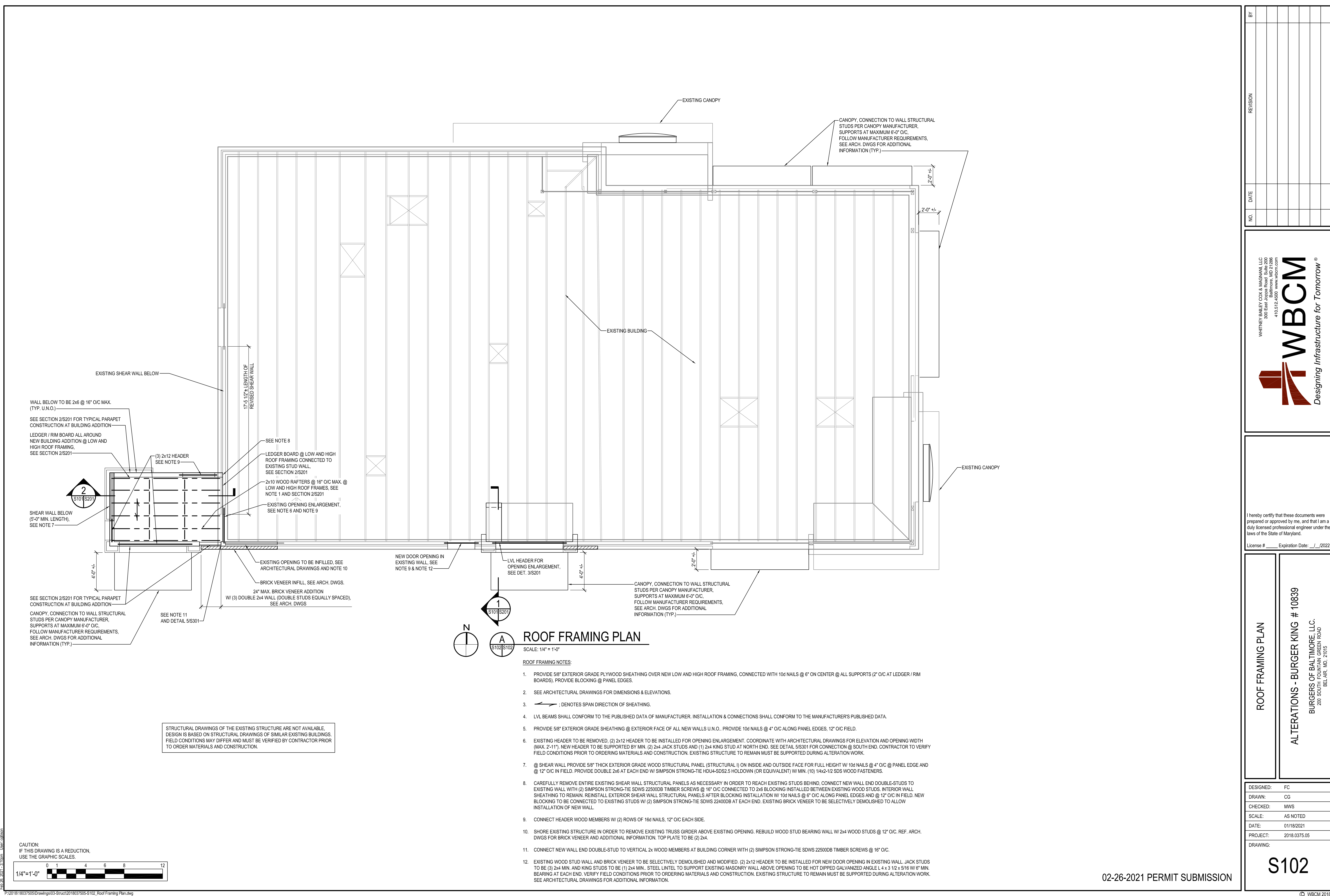


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ROOF FRAMING PLAN
ALTERATIONS - BURGER KING # 10839
BURGERS OF BALTIMORE, LLC.
200 SOUTH FOUNTAIN GREEN ROAD
BAL, MD, 21015

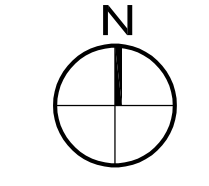
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WALL BELOW TO BE 2x6 @ 16" O/C MAX. (TYP. U.N.O.)
SEE SECTION 2/S201 FOR TYPICAL PARAPET CONSTRUCTION AT BUILDING ADDITION
LEDGER / RIM BOARD ALL AROUND NEW BUILDING ADDITION @ LOW AND HIGH ROOF FRAMING. SEE SECTION 2/S201
WALL BELOW (5'-0" MIN. LENGTH). SEE NOTE 7
SEE SECTION 2/S201 FOR TYPICAL PARAPET CONSTRUCTION AT BUILDING ADDITION
CANOPY, CONNECTION TO WALL STRUCTURAL STUDS PER CANOPY MANUFACTURER. SUPPORTS AT MAXIMUM 6'-0" O/C. FOLLOW MANUFACTURER REQUIREMENTS. SEE ARCH. DWGS FOR ADDITIONAL INFORMATION (TYP.)

(3) 2x12 HEADER SEE NOTE 9
LEDGER BOARD @ LOW AND HIGH ROOF FRAMING CONNECTED TO EXISTING STUD WALL. SEE SECTION 2/S201
2x10 WOOD RAFTERS @ 16" O/C MAX. @ LOW AND HIGH ROOF FRAMES. SEE NOTE 1 AND SECTION 2/S201
EXISTING OPENING ENLARGEMENT. SEE NOTE 6 AND NOTE 9
EXISTING OPENING TO BE INFILLED. SEE ARCHITECTURAL DRAWINGS AND NOTE 10
BRICK VENEER INFILL. SEE ARCH. DWGS.
24" MAX. BRICK VENEER ADDITION W/ (3) DOUBLE 2x4 WALL (DOUBLE STUDS EQUALLY SPACED). SEE ARCH. DWGS.
SEE NOTE 11 AND DETAIL 5/S301

NEW DOOR OPENING IN EXISTING WALL. SEE NOTE 9 & NOTE 12
LVL HEADER FOR OPENING ENLARGEMENT. SEE DET. 3/S201



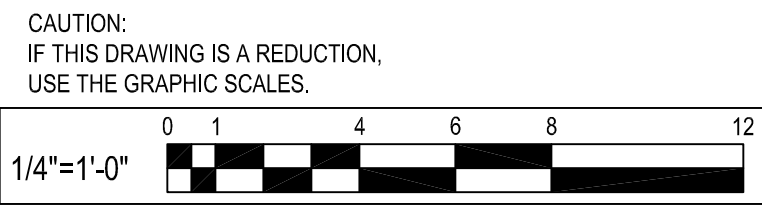
ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

ROOF FRAMING NOTES:

- 1. PROVIDE 5/8" EXTERIOR GRADE PLYWOOD SHEATHING OVER NEW LOW AND HIGH ROOF FRAMING, CONNECTED WITH 10d NAILS @ 6" ON CENTER @ ALL SUPPORTS (2" O/C AT LEDGER / RIM BOARDS). PROVIDE BLOCKING @ PANEL EDGES.
2. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS & ELEVATIONS.
3. [Symbol]; DENOTES SPAN DIRECTION OF SHEATHING.
4. LVL BEAMS SHALL CONFORM TO THE PUBLISHED DATA OF MANUFACTURER. INSTALLATION & CONNECTIONS SHALL CONFORM TO THE MANUFACTURER'S PUBLISHED DATA.
5. PROVIDE 5/8" EXTERIOR GRADE SHEATHING @ EXTERIOR FACE OF ALL NEW WALLS U.N.O.. PROVIDE 10d NAILS @ 4" O/C ALONG PANEL EDGES, 12" O/C FIELD.
6. EXISTING HEADER TO BE REMOVED. (2) 2x12 HEADER TO BE INSTALLED FOR OPENING ENLARGEMENT. COORDINATE WITH ARCHITECTURAL DRAWINGS FOR ELEVATION AND OPENING WIDTH (MAX. 2'-11"). NEW HEADER TO BE SUPPORTED BY MIN. (2) 2x4 JACK STUDS AND (1) 2x4 KING STUD AT NORTH END. SEE DETAIL 5/S301 FOR CONNECTION @ SOUTH END. CONTRACTOR TO VERIFY FIELD CONDITIONS PRIOR TO ORDERING MATERIALS AND CONSTRUCTION. EXISTING STRUCTURE TO REMAIN MUST BE SUPPORTED DURING ALTERATION WORK.
7. @ SHEAR WALL PROVIDE 5/8" THICK EXTERIOR GRADE WOOD STRUCTURAL PANEL (STRUCTURAL I) ON INSIDE AND OUTSIDE FACE FOR FULL HEIGHT W/ 10d NAILS @ 4" O/C @ PANEL EDGE AND @ 12" O/C IN FIELD. PROVIDE DOUBLE 2x6 AT EACH END W/ SIMPSON STRONG-TIE HDU4-SDS2.5 HOLDOWN (OR EQUIVALENT) W/ MIN. (10) 1/4x2-1/2 SDS WOOD FASTENERS.
8. CAREFULLY REMOVE ENTIRE EXISTING SHEAR WALL STRUCTURAL PANELS AS NECESSARY IN ORDER TO REACH EXISTING STUDS BEHIND, CONNECT NEW WALL END DOUBLE-STUDS TO EXISTING WALL WITH (2) SIMPSON STRONG-TIE SDWS 22500DB TIMBER SCREWS @ 16" O/C CONNECTED TO 2x6 BLOCKING INSTALLED BETWEEN EXISTING WOOD STUDS. INTERIOR WALL SHEATHING TO REMAIN. REINSTALL EXTERIOR SHEAR WALL STRUCTURAL PANELS AFTER BLOCKING INSTALLATION W/ 10d NAILS @ 6" O/C ALONG PANEL EDGES AND @ 12" O/C IN FIELD. NEW BLOCKING TO BE CONNECTED TO EXISTING STUDS W/ (2) SIMPSON STRONG-TIE SDWS 22400DB AT EACH END. EXISTING BRICK VENEER TO BE SELECTIVELY DEMOLISHED TO ALLOW INSTALLATION OF NEW WALL.
9. CONNECT HEADER WOOD MEMBERS W/ (2) ROWS OF 16d NAILS, 12" O/C EACH SIDE.
10. SHORING EXISTING STRUCTURE IN ORDER TO REMOVE EXISTING TRUSS GIRDER ABOVE EXISTING OPENING. REBUILD WOOD STUD BEARING WALL W/ 2x4 WOOD STUDS @ 12" O/C. REF. ARCH. DWGS FOR BRICK VENEER AND ADDITIONAL INFORMATION. TOP PLATE TO BE (2) 2x4.
11. CONNECT NEW WALL END DOUBLE-STUD TO VERTICAL 2x WOOD MEMBERS AT BUILDING CORNER WITH (2) SIMPSON STRONG-TIE SDWS 22500DB TIMBER SCREWS @ 16" O/C.
12. EXISTING WOOD STUD WALL AND BRICK VENEER TO BE SELECTIVELY DEMOLISHED AND MODIFIED. (2) 2x12 HEADER TO BE INSTALLED FOR NEW DOOR OPENING IN EXISTING WALL. JACK STUDS TO BE (3) 2x4 MIN. AND KING STUDS TO BE (1) 2x4 MIN. STEEL LINTEL TO SUPPORT EXISTING MASONRY WALL ABOVE OPENING TO BE HOT DIPPED GALVANIZED ANGLE L 4 x 3 1/2 x 5/16 W/ 6" MIN. BEARING AT EACH END. VERIFY FIELD CONDITIONS PRIOR TO ORDERING MATERIALS AND CONSTRUCTION. EXISTING STRUCTURE TO REMAIN MUST BE SUPPORTED DURING ALTERATION WORK. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

STRUCTURAL DRAWINGS OF THE EXISTING STRUCTURE ARE NOT AVAILABLE. DESIGN IS BASED ON STRUCTURAL DRAWINGS OF SIMILAR EXISTING BUILDINGS. FIELD CONDITIONS MAY DIFFER AND MUST BE VERIFIED BY CONTRACTOR PRIOR TO ORDER MATERIALS AND CONSTRUCTION.



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SECTIONS

ALTERATIONS - BURGER KING # 10839

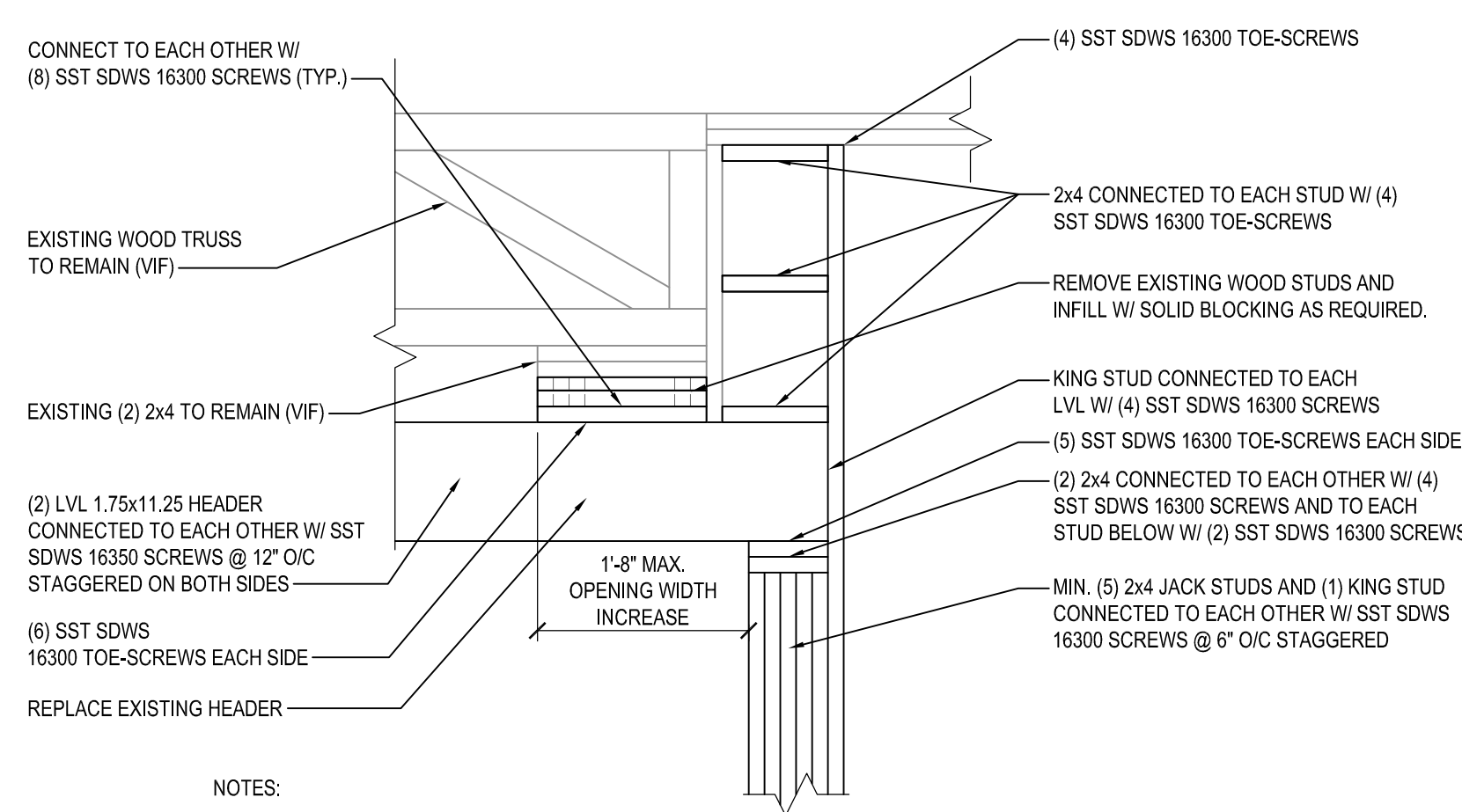
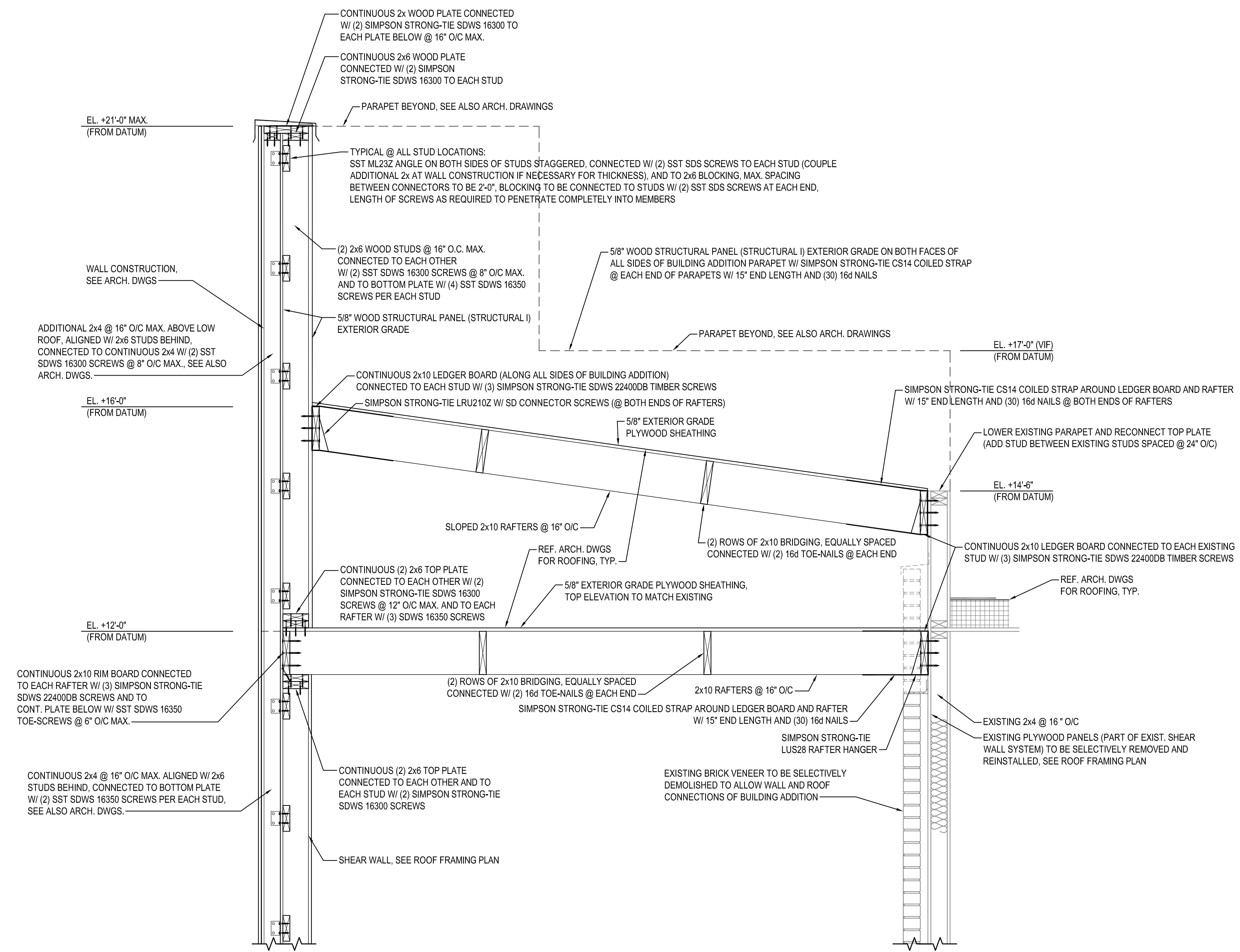
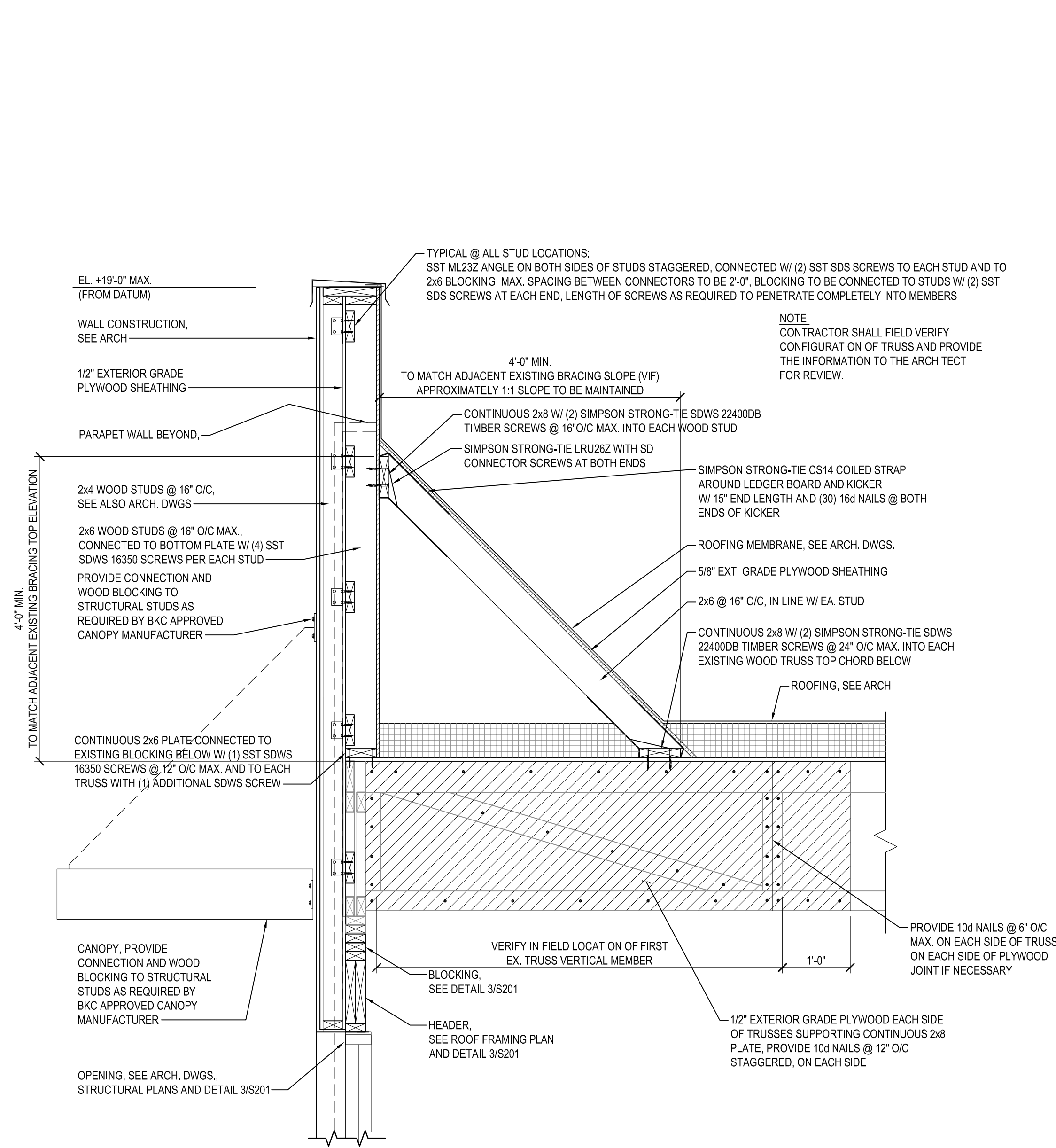
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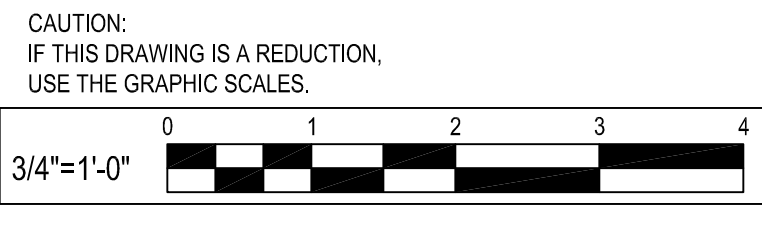
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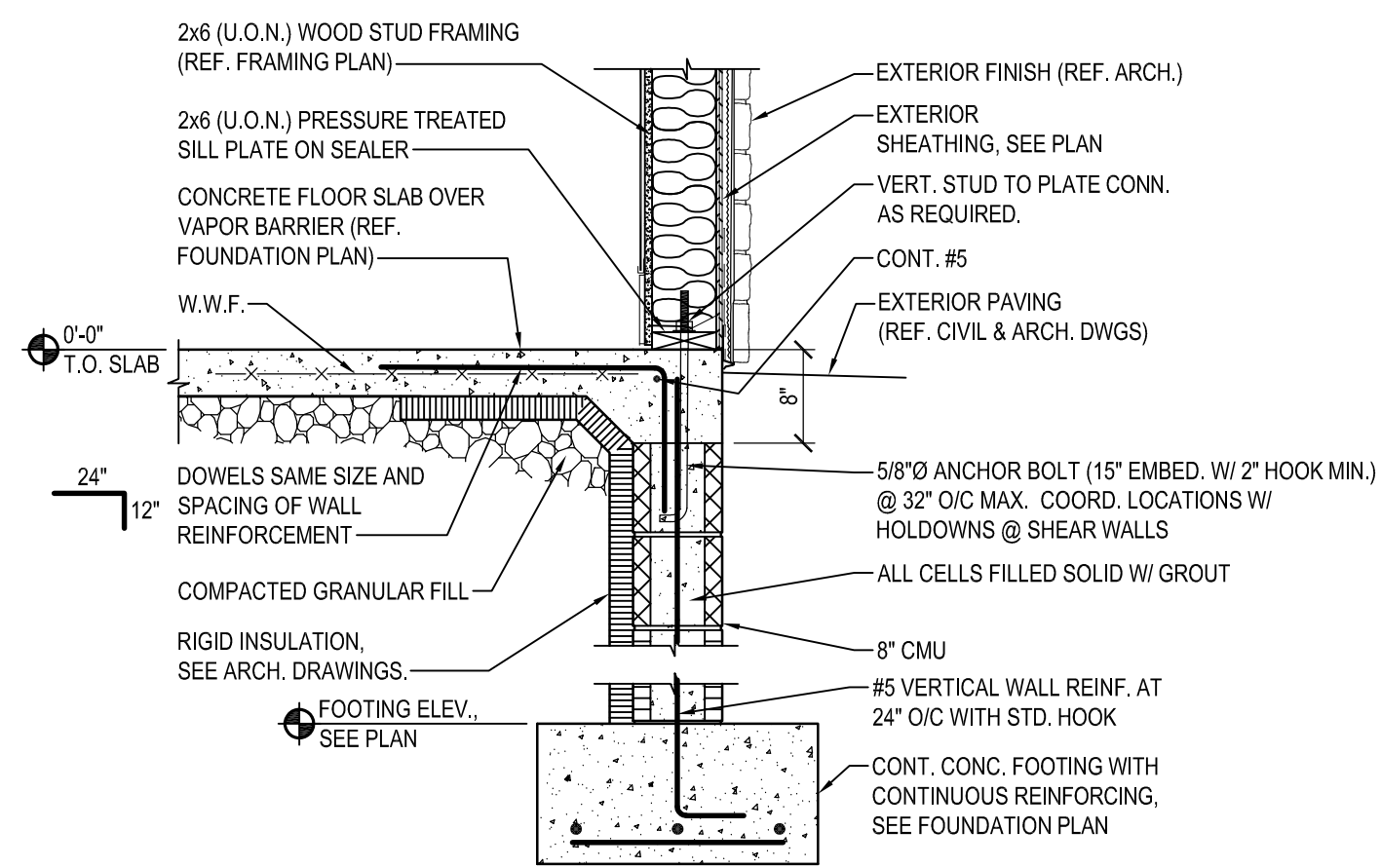


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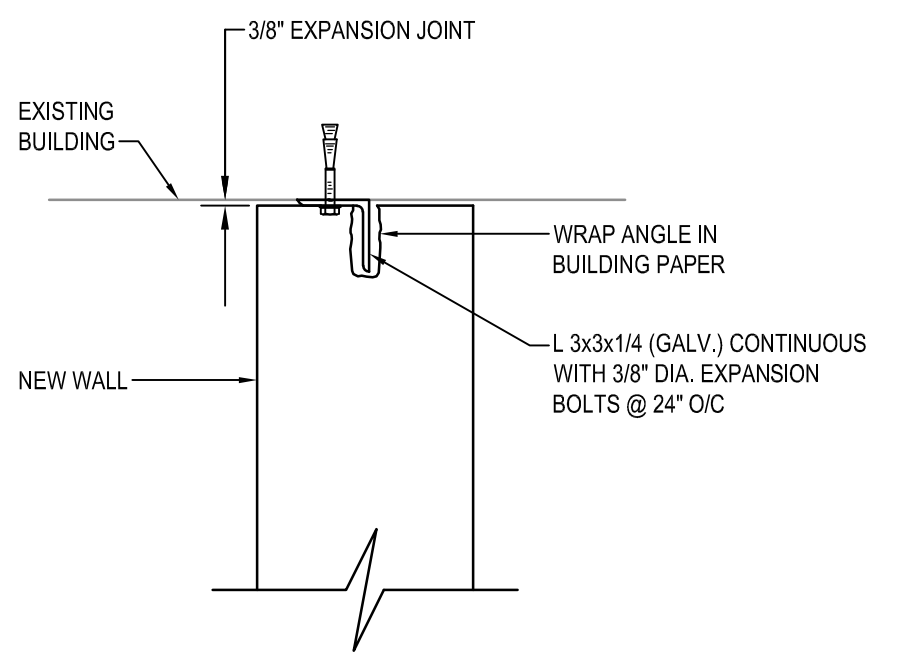
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- EXISTING STRUCTURE TO REMAIN MUST BE SUPPORTED DURING ALTERATION WORK.
- DETAIL DESIGN CONCEPT TO BE USED ALSO AT OPPOSITE END TO SUPPORT NEW LVL HEADER.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR REQUIRED OPENING WIDTH AND HEIGHT.

3 OPENING ENLARGEMENT DETAIL
 SCALE: 3/4" = 1'-0"

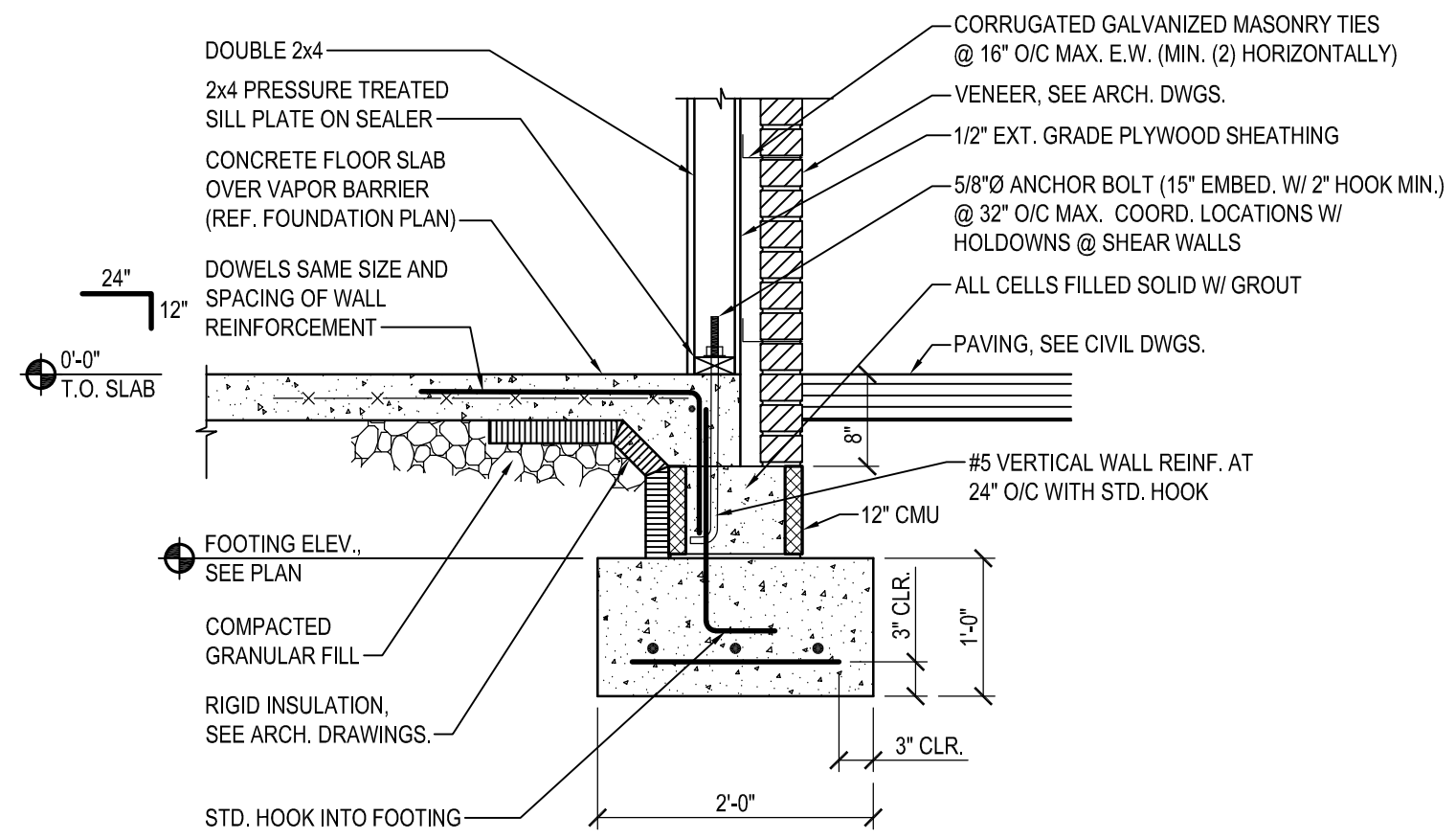




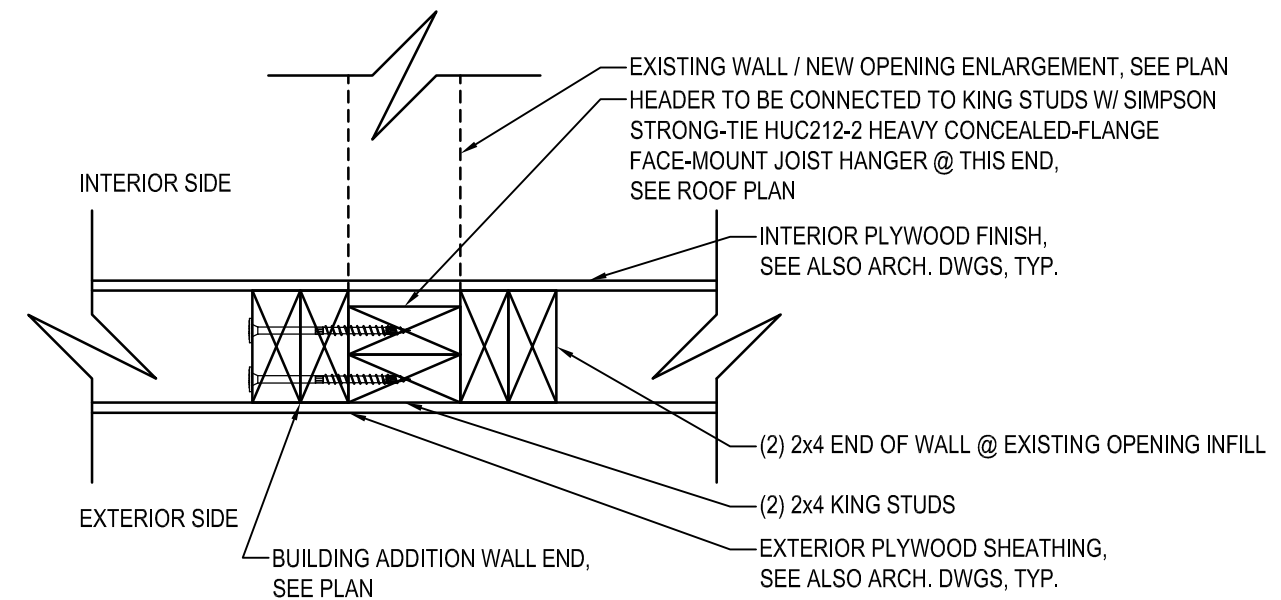
1 SECTION
 S101/S301 SCALE: 3/4" = 1'-0"



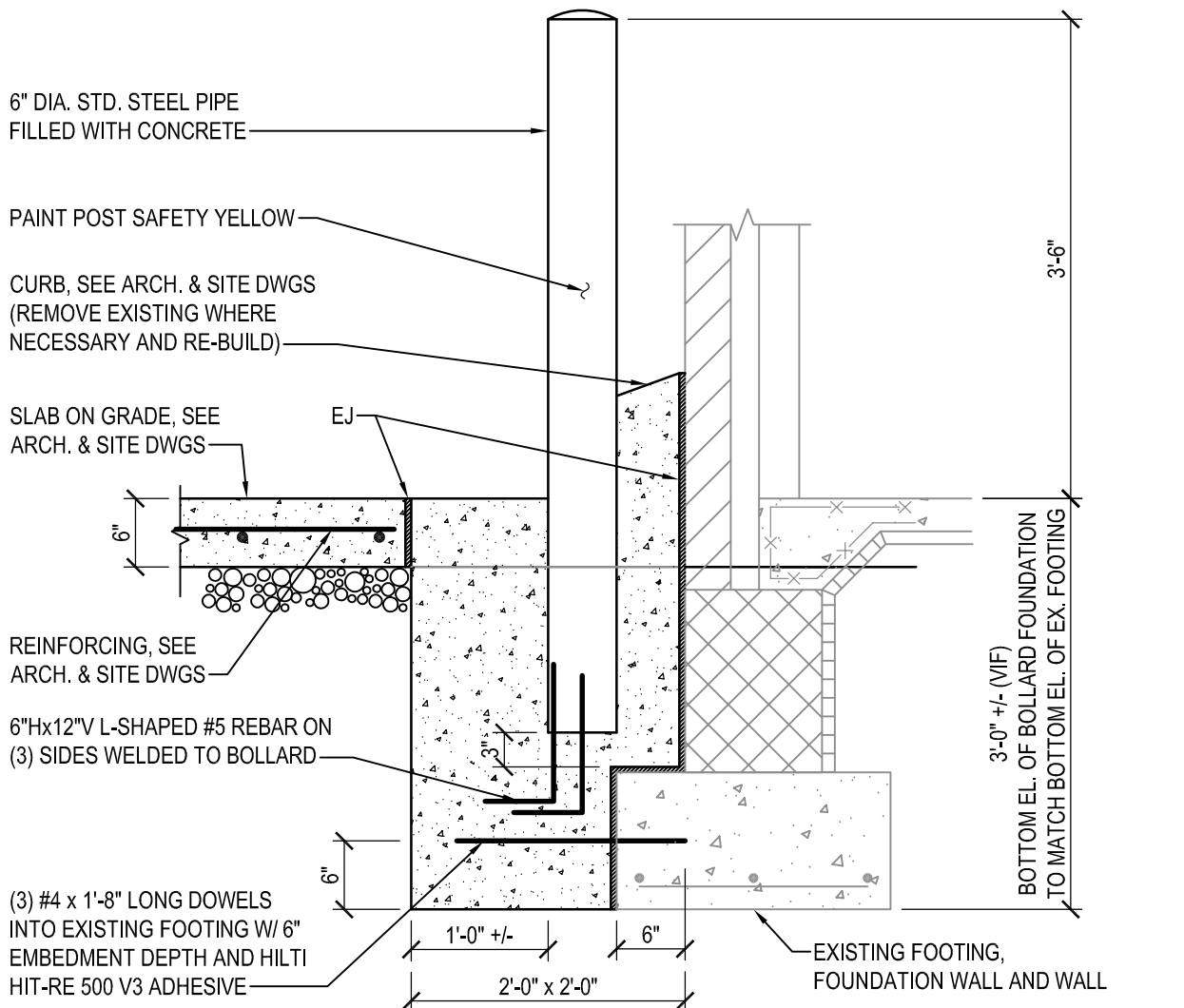
2 DETAIL
 TYP/S301 NOT TO SCALE



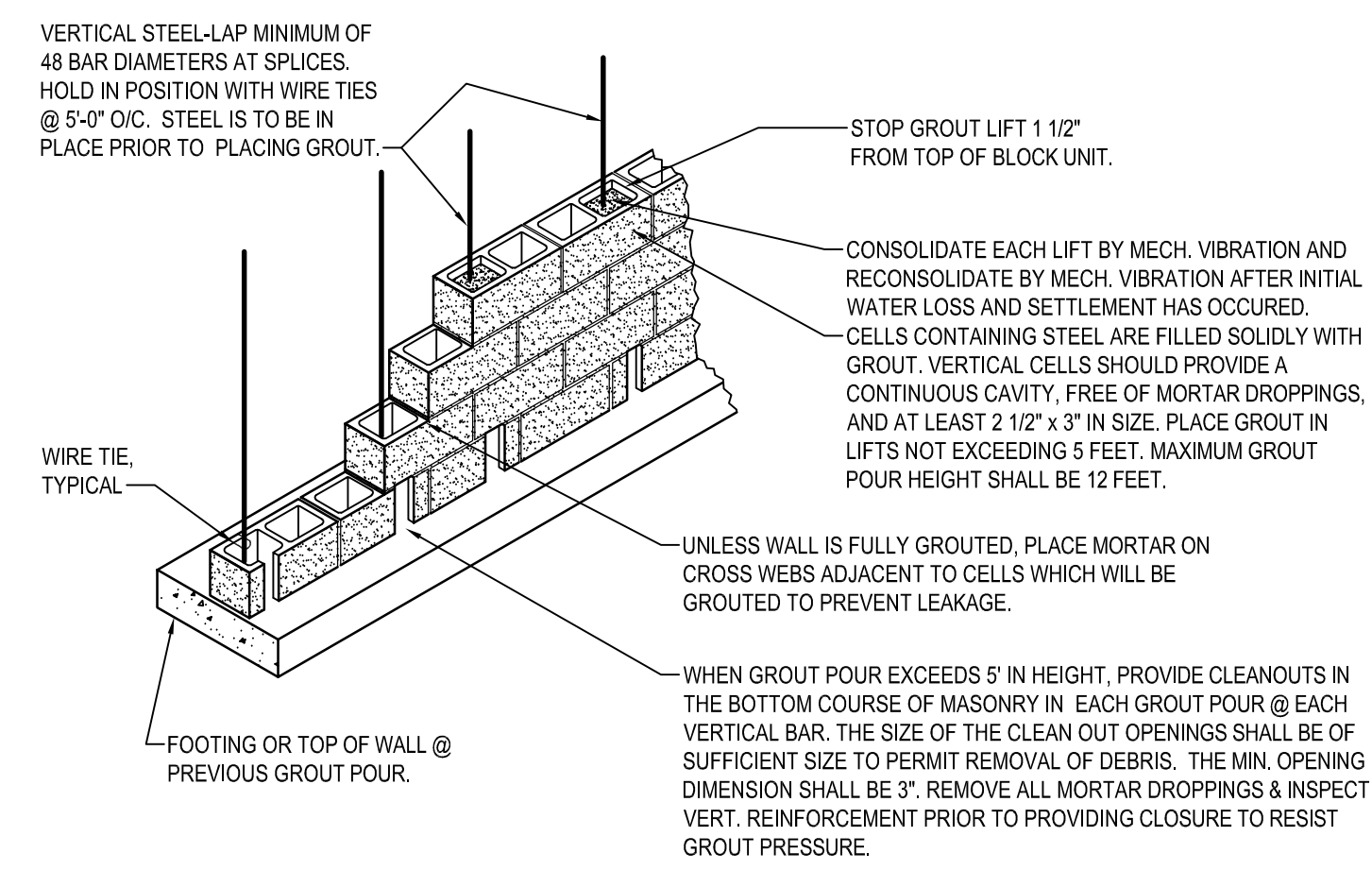
4 SECTION
 S101/S301 SCALE: 3/4" = 1'-0"



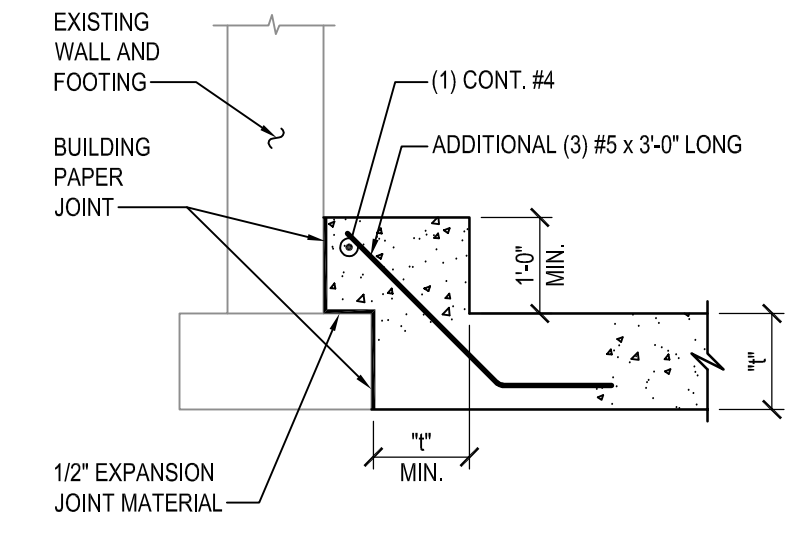
5 DETAIL
 TYP/S301 NOT TO SCALE



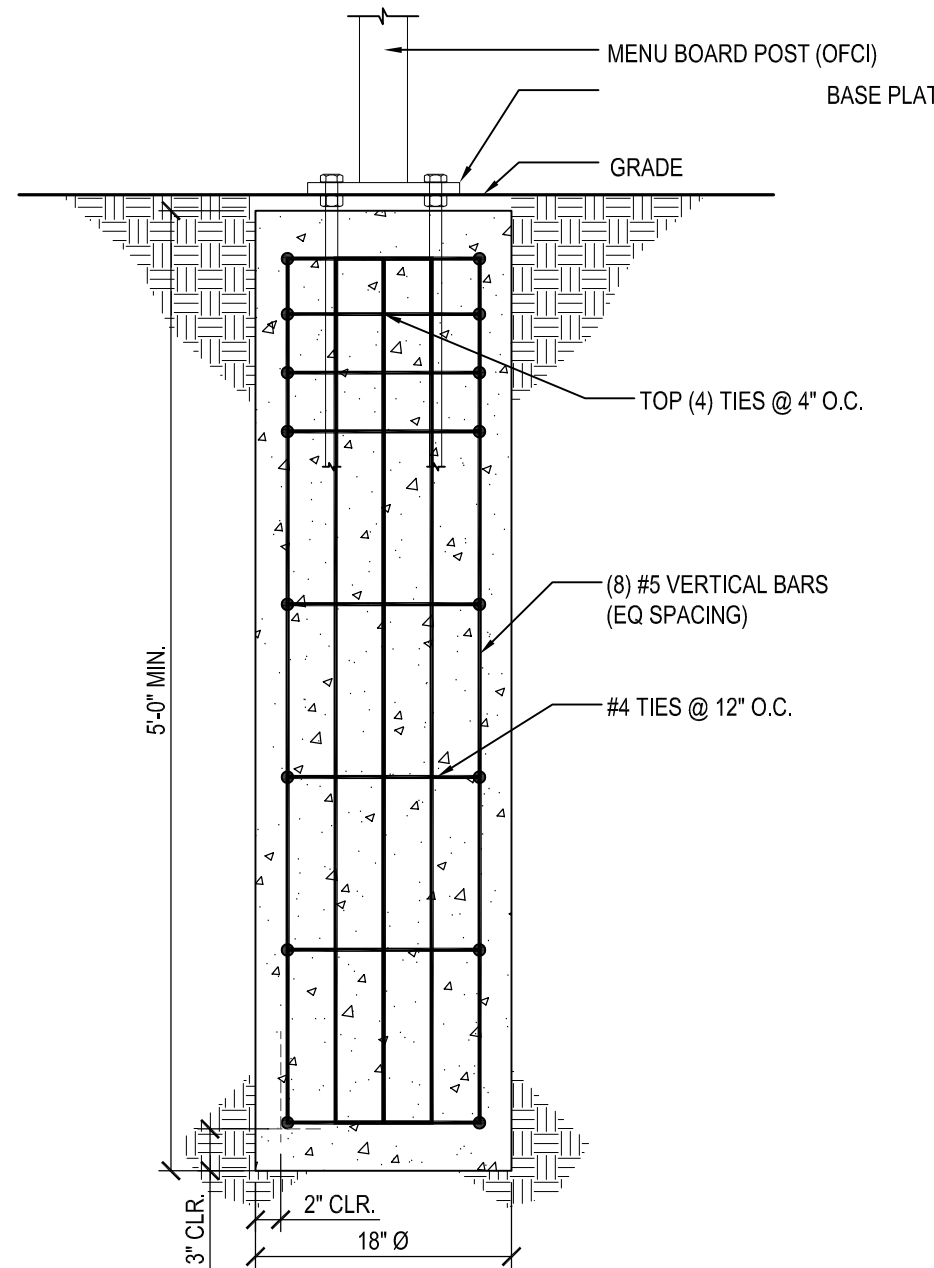
3 BOLLARD DETAIL AT EXISTING FOOTING
 S101/S301 SCALE: 3/4" = 1'-0"



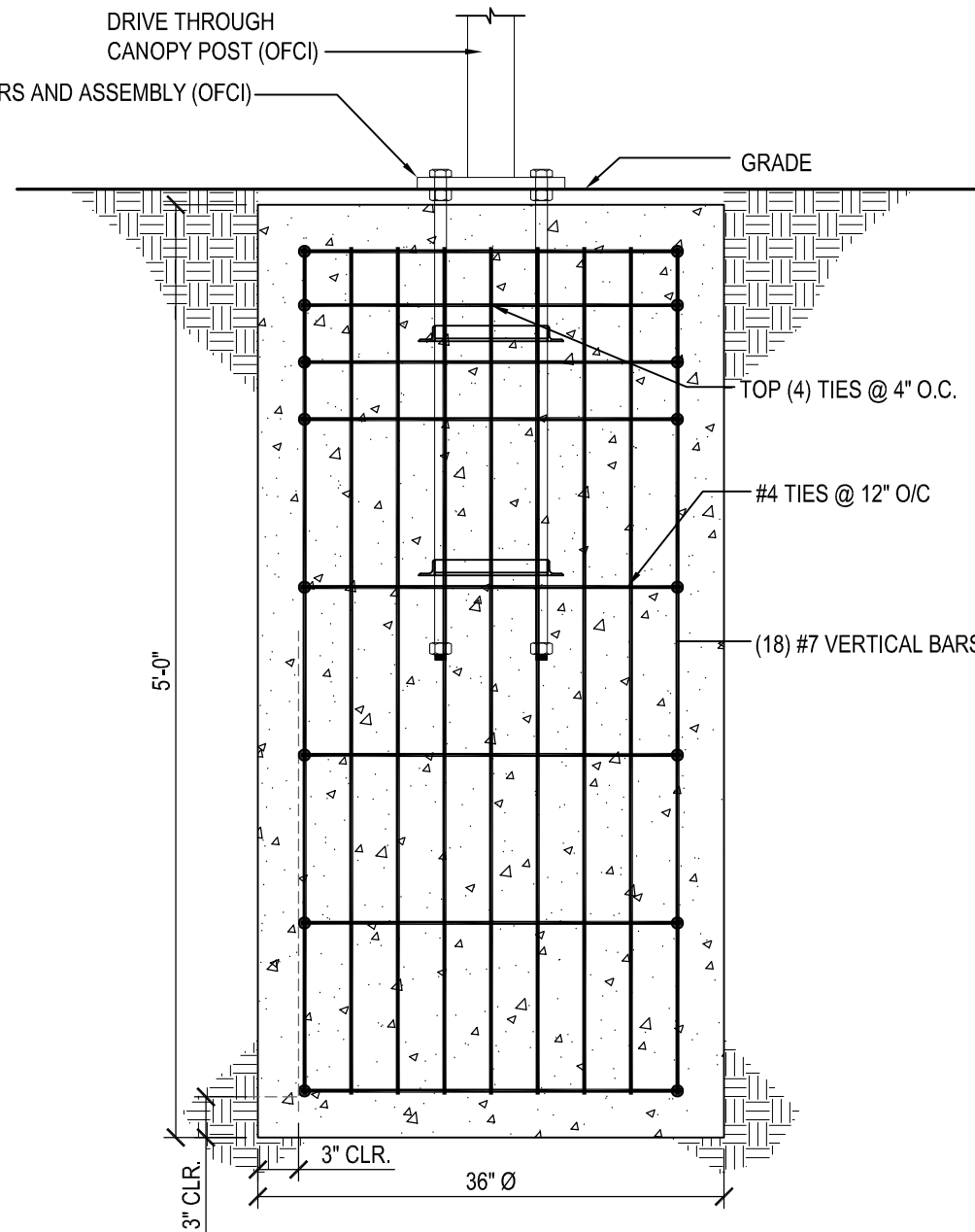
REINFORCED MASONRY CONSTRUCTION
7 DETAIL
 S101/S301 NOT TO SCALE



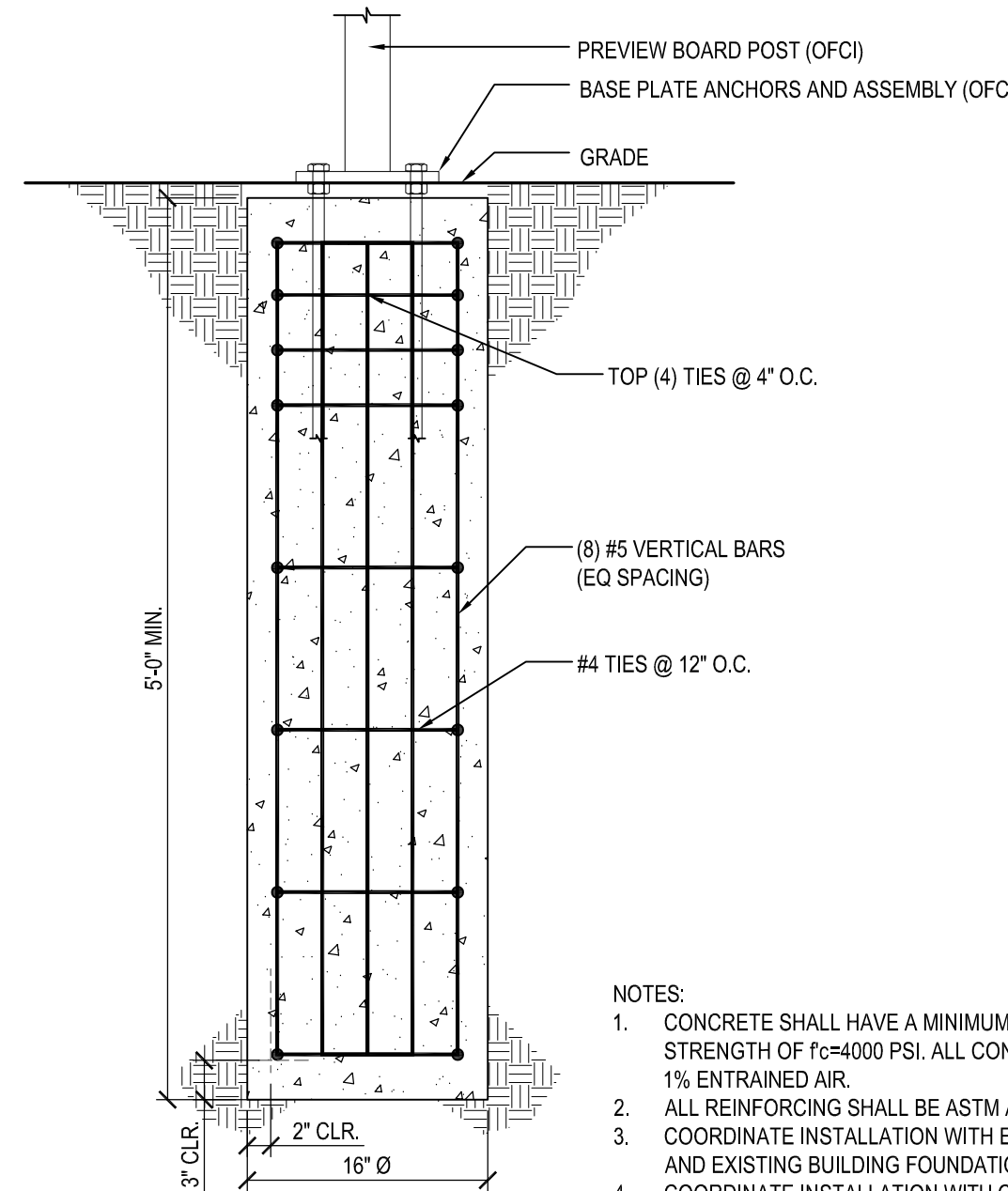
TYPICAL FOOTING AT EXISTING WALL
8 DETAIL
 TYP/S301 NOT TO SCALE



9 MENU BOARD & CLEAR. SIGN FOOTING DETAIL
 S101/S301 SCALE: 1" = 1'-0"

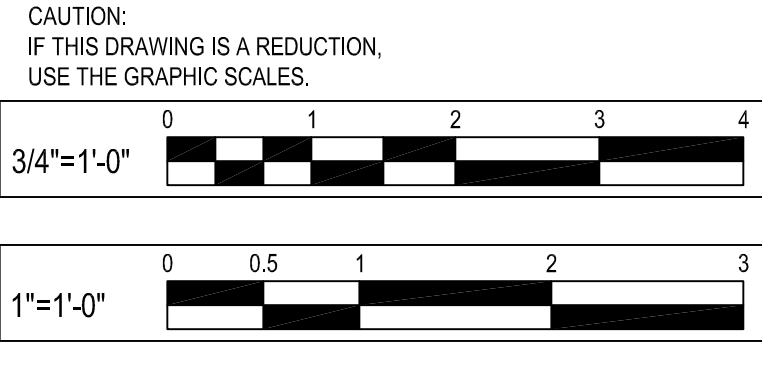


10 DRIVE THRU ORDER CONFIRMATION UNIT & CANOPY FOOTING DETAIL
 S101/S301 SCALE: 1" = 1'-0"



11 PREVIEW BOARD FOOTING DETAIL
 S101/S301 SCALE: 1" = 1'-0"

- NOTES:
 1. CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF $f_c=4000$ PSI. ALL CONCRETE SHALL HAVE 5% ± 1% ENTRAINED AIR.
 2. ALL REINFORCING SHALL BE ASTM A-615 GRADE 60.
 3. COORDINATE INSTALLATION WITH EXISTING & NEW UTILITIES, AND EXISTING BUILDING FOUNDATIONS.
 4. COORDINATE INSTALLATION WITH OWNER.



BY	
REVISION	
DATE	
NO.	

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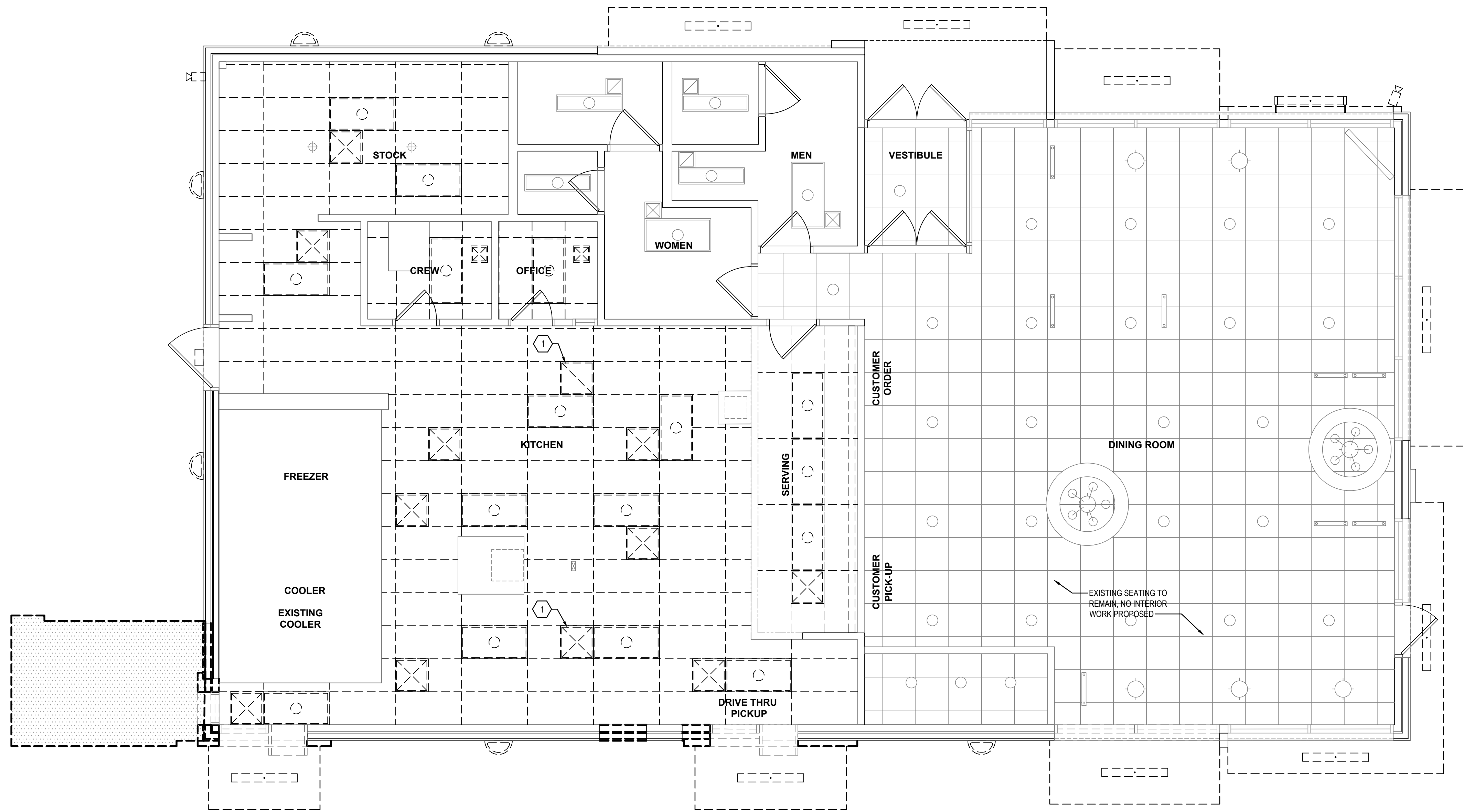
SECTIONS


ALTERATIONS - BURGER KING # 10839
 BURGERS OF BALTIMORE, LLC.
 200 SOUTH FOUNTAIN GREEN ROAD
 BEL AIR, MD. 21015

DESIGNED:	FC
DRAWN:	CG
CHECKED:	MWS
SCALE:	AS NOTED
DATE:	01/18/2021
PROJECT:	2018.0375.05
DRAWING:	

S301

02-26-2021 PERMIT SUBMISSION

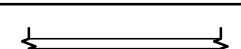


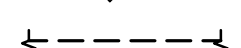




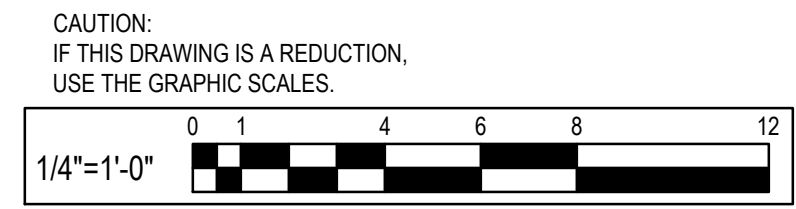


MECHANICAL DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"

- ### GENERAL SHEET NOTES
- CONTRACTOR TO COORDINATE CONSTRUCTION AND CONTINUED OPERATIONS SCHEDULING WITH THE OWNER.
 - ALL EQUIPMENT AND WORK TO REMAIN SHALL BE SUITABLY PROTECTED AGAINST DAMAGE.
 - CONTRACTOR TO NOTIFY ARCHITECT OF ANY VARIATION OF EXISTING CONDITIONS TO INFORMATION PROVIDED ON THE DRAWINGS. NOTIFY ARCHITECT OF ANY STRUCTURAL DEFICIENCIES FOUND IN THE FIELD.
 - USE CARE DURING DEMOLITION WORK TO PREVENT DAMAGE TO EXISTING BUILDING COMPONENTS TO REMAIN.

- ### SHEET KEYNOTES
- REMOVE EXISTING DIFFUSER, RETAIN ALL DUCTWORK FOR RE-CONNECTION, TYPICAL.
 - REMOVE EXISTING RETURN GRILLE, TYPICAL.

CONSTRUCTION LEGEND

	EXISTING PARTITION TO REMAIN.
	EXISTING WINDOW AND FRAME TO REMAIN.
	EXISTING DOOR AND FRAME TO REMAIN.
	EXISTING PARTITION TO BE DEMOLISHED.
	EXISTING WINDOW AND FRAME TO BE DEMOLISHED.
	EXISTING DOOR AND FRAME TO BE DEMOLISHED.




NO.	DATE	REVISION	BY

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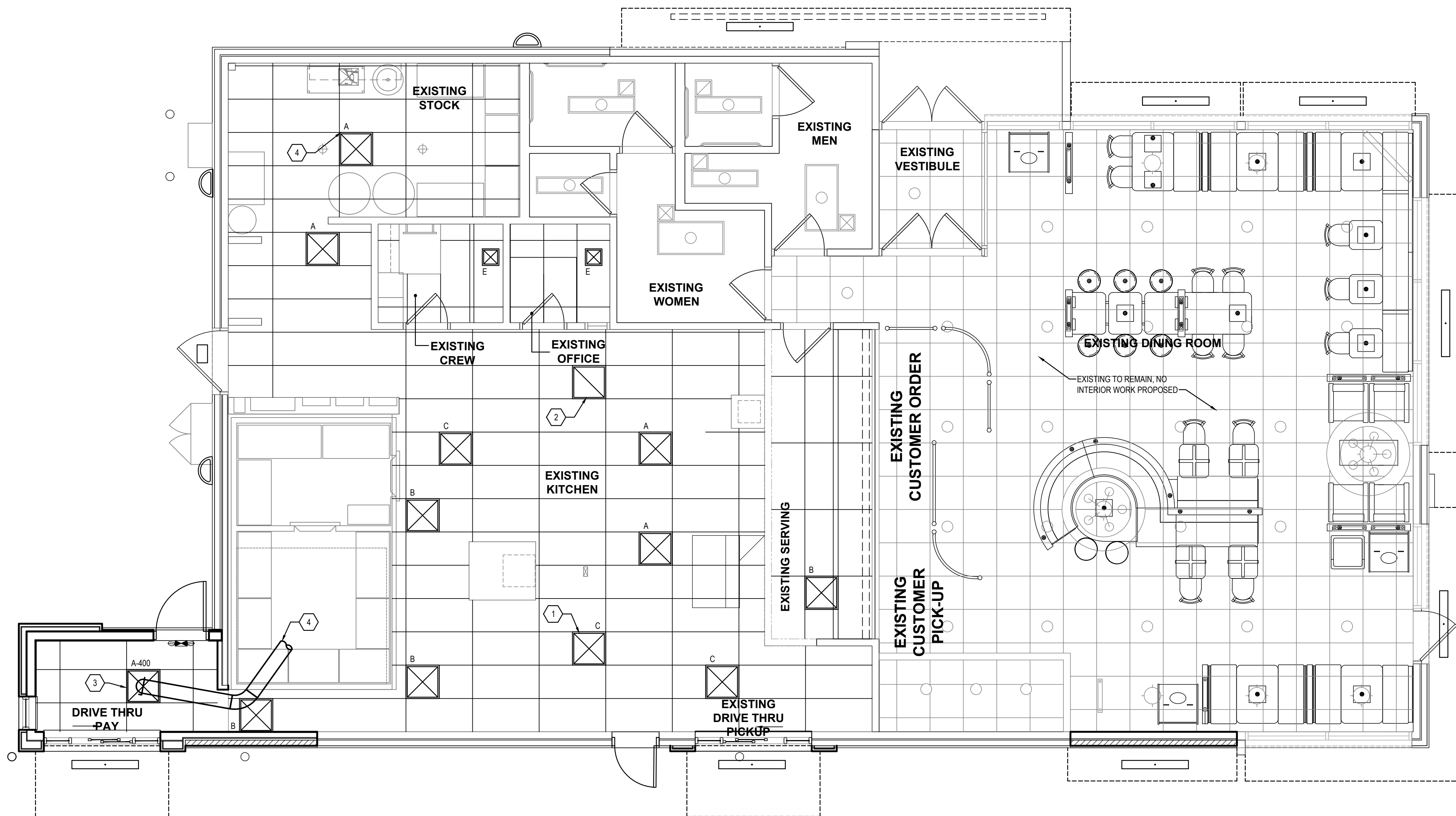
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ELECTRICAL DEMOLITION
 ALTERATIONS - BURGER KING # 10839
 BURGERS OF BALTIMORE, LLC.
 200 SOUTH FOUNTAIN GREEN ROAD
 BEL AIR, MD, 21039

DESIGNED: EWB
 DRAWN: EME
 CHECKED: JWA
 SCALE: AS SHOWN
 DATE: 04/12/2021
 PROJECT: 2018.0375.05
 DRAWING:

MD101

P:\2021\121007 - Burger King Fountain Green Road\09-Drawings\CAD Drawings\Mech\21007 - MD101 - Mechanical Demolition.dwg



MECHANICAL PLAN
 SCALE: 1/4" = 1'-0"

AIR DEVICE SCHEDULE								
SYM.	SIZE	TYPE	DUCT SIZE	MODEL #	FINISH	ROOT SIZE	OPENING SIZE	QTY
A*	24X24	SUPPLY 4 WAY	12"	NCA12	WHITE	12"	T-BAR	4
A2**	24"	SUPPLY ROUND	12"	PARC0-14	WHITE	---	---	9
B†	24X24	SUPPLY 2 WAY (PARALLEL)	12"	NCA12-2P	WHITE	12"	T-BAR	3
C*	24X24	SUPPLY 3 WAY	10"	NCA12-2C	WHITE	10"	T-BAR	1
D*	24X24	SUPPLY 2 WAY (CORNER)	10"	NCA10-3	WHITE	12"	T-BAR	1
E*	12X12	SUPPLY 1 WAY W/O.B.D.	6"	630	WHITE	12X12	SIZE + 1/4"	1
F	12X12	SUPPLY 1 WAY W/O.B.D.	6"	630	WHITE	12X12	SIZE + 1/4"	2
G	24X24	RETURN	18"	630TR	WHITE	22X22	T-BAR	3
H	12X12	EXHAUST	6"	630	WHITE	12X12	SIZE + 1/4"	4

ALL DIFFUSERS SHALL BE MANUFACTURED BY METALAIR OR EQUIVALENT AND 100% ALUMINUM CONSTRUCTION
 * PROVIDE WITH PVC99 SLIDING-BLADE DAMPER AND THREE 24X24 LAY-IN FRAMES FOR INSTALLATION IN SHEETROCK CEILING
 ** PROVIDE WITH SIX 1/4"-TO-1/2" REDUCERS FOR INSTALLATION ON TOP OF DIFFUSERS
 NOTE: LOCATION AND ORIENTATION OF DIRECTIONAL BLOW PATTERN DIFFUSERS IN THE KITCHEN IS CRITICAL. INSTALLER WILL ENSURE PROPER INSTALLATION OF DIFFUSERS. CONTACT THE NCA CONSULTANTS PROJECT COORDINATOR IMMEDIATELY WITH ANY CONFLICTS THAT PREVENT INSTALLATION PER THE PROPOSED DESIGN.

SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
	SUPPLY AIR DIFFUSERS
	RETURN AIR GRILLES
	EXHAUST FAN GRILLES
	2X4 RECESSED FLAT LENS (NIGHT LIGHT WHEN SHOWN HATCHED)
	SURFACE MOUNTED EXTERIOR WALL SCONCE
	WET LISTED 4'-0" CANOPY LIGHT USED UNDER CLOSED CANOPIES
	WALL MOUNTED SECURITY LIGHT
	EMERGENCY LIGHT
	EXIT LIGHT

REFERENCE SHEET E-1 FOR SPECIFICATIONS
 REF. SHEET M-1 FOR SPEC.

GENERAL SHEET NOTES

- CONTRACTOR SHALL TAKE NOTE OF EXISTING THROW PATTERN OF DIFFUSERS PRIOR TO DEMOLITION AND REPLACEMENT DIFFUSER SHALL MATCH EXISTING PATTERN AND ORIENTATION.

- SHEET KEYNOTES**
- PROVIDE NEW DIFFUSER, TYPICAL. MATCH EXISTING AIR DISTRIBUTION PATTERN.
 - PROVIDE NEW RETURN GRILLE, TYPICAL.
 - PROVIDE NEW DIFFUSER AT LISTED CFM.
 - PROVIDE 10"Ø FLEX DUCT TO EXISTING SUPPLY PLENUM BOX IN APPROXIMATELY LOCATION.

NO.	DATE	REVISION	BY

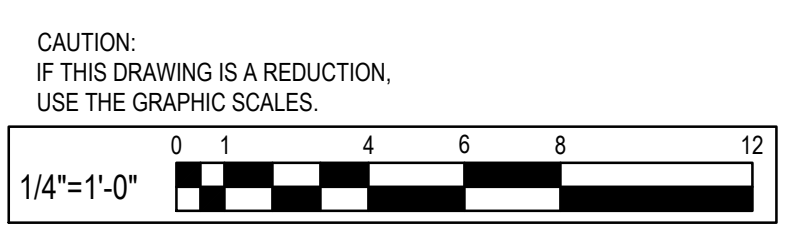
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MECHANICAL PLAN

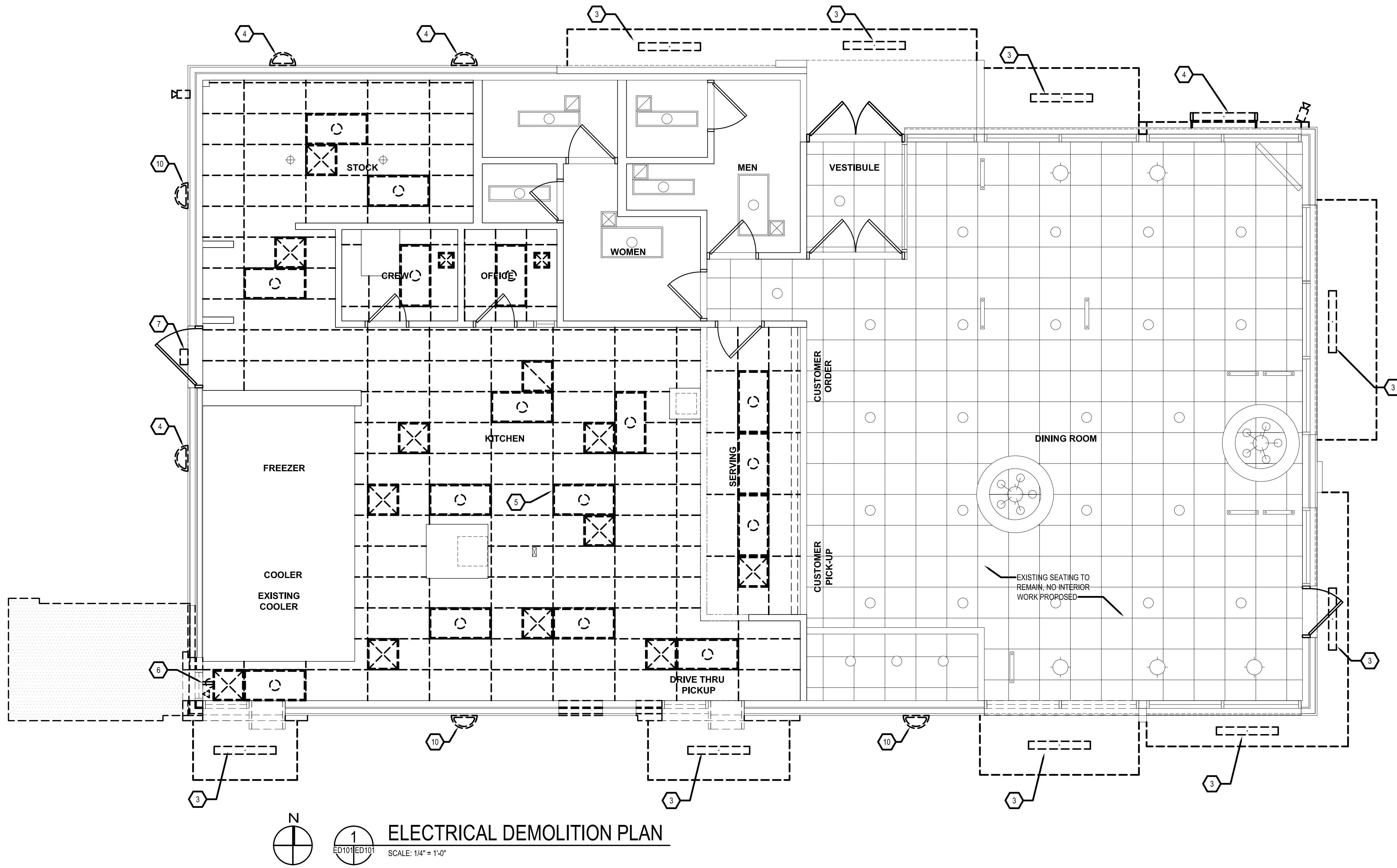
ALTERATIONS - BURGER KING # 10839
 BURGERS OF BALTIMORE, LLC.
 200 SOUTH FOUNTAIN GREEN ROAD
 BEL AIR, MD. 21038



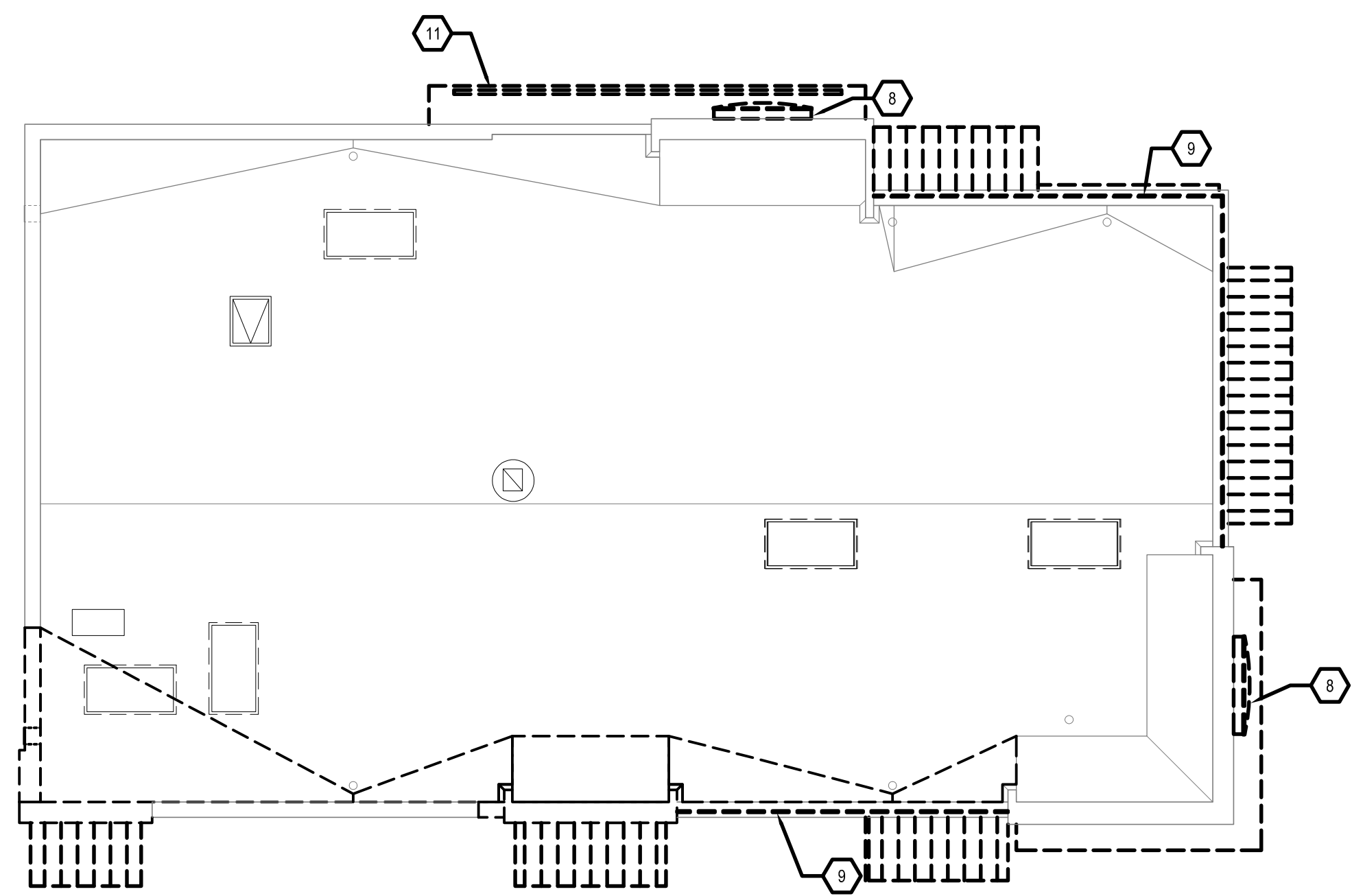
DESIGNED:	SWC
DRAWN:	LHD
CHECKED:	JWA
SCALE:	AS SHOWN
DATE:	04/12/2021
PROJECT:	2018.0375.05
DRAWING:	

04-21-2021 BID SET SUBMISSION

M102



ELECTRICAL DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"



GENERAL SHEET NOTES

1. CONTRACTOR TO COORDINATE CONSTRUCTION AND CONTINUED OPERATIONS SCHEDULING WITH THE OWNER.
2. WHERE WORK PASSES THROUGH THE RENOVATED AREA TO SERVE OTHER PORTIONS OF THE BUILDING OR WORK IN THE RENOVATION AREA TO REMAIN, IT SHALL BE SUITABLY RELOCATED AND THE SYSTEM RESTORED TO NORMAL.
3. ALL EQUIPMENT AND WORK TO REMAIN SHALL BE SUITABLY PROTECTED AGAINST DAMAGE.
4. CONTRACTOR TO NOTIFY ARCHITECT OF ANY VARIATION OF EXISTING CONDITIONS TO INFORMATION PROVIDED ON THE DRAWINGS. NOTIFY ARCHITECT OF ANY STRUCTURAL DEFICIENCIES FOUND IN THE FIELD.
5. USE CARE DURING DEMOLITION WORK TO PREVENT DAMAGE TO EXISTING BUILDING COMPONENTS TO REMAIN.
6. ALL REMOVED WALL DEVICE PENETRATIONS SHALL BE PATCHED AND PAINTED TO MATCH EXISTING WALL COLOR OR FINISH PER ARCHITECTURAL DIRECTION.

SHEET KEYNOTES

1. REMOVE EXISTING MENU BOARD.
2. REMOVE EXISTING ORDER BOARD.
3. REMOVE EXISTING CANOPY MOUNTED LIGHT FIXTURE. RETAIN EXISTING WIRING AND CONDUIT FOR RE-CONNECTION TO NEW LIGHT FIXTURES.
4. EXISTING WALL MOUNTED LIGHT FIXTURE TO REMAIN. CLEAN AND RE-LAMP FIXTURE WITH LED EQUIVALENT LAMP.
5. REMOVE EXISTING RECESSED LIGHT FIXTURE, TYPICAL. RETAIN EXISTING WIRING AND CONDUIT FOR RE-CONNECTION TO NEW LIGHT FIXTURES.
6. REMOVE EXISTING RECEPTACLE AND DATA OUTLETS.
7. EXISTING EMERGENCY LIGHT TO REMAIN.
8. REMOVE EXISTING ILLUMINATED SIGNAGE, TYPICAL. RETROFIT WITH LED SOURCE AND RE-INSTALL.
9. REMOVE EXISTING LIGHT BAND, TYPICAL. RETAIN EXISTING WIRING AND CONDUIT FOR RE-CONNECTION.
10. REMOVE WALL MOUNTED LIGHT FIXTURE AND REPLACE WITH NEW.
11. REMOVE EXISTING SIGN LETTERS. RETAIN POWER CONNECTIONS FOR RECONNECTION.

CONSTRUCTION LEGEND

	EXISTING PARTITION TO REMAIN.
	EXISTING WINDOW AND FRAME TO REMAIN.
	EXISTING DOOR AND FRAME TO REMAIN.
	EXISTING PARTITION TO BE DEMOLISHED.
	EXISTING WINDOW AND FRAME TO BE DEMOLISHED.
	EXISTING DOOR AND FRAME TO BE DEMOLISHED.

CAUTION:
 IF THIS DRAWING IS A REDUCTION,
 USE THE GRAPHIC SCALES.

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ELECTRICAL DEMOLITION

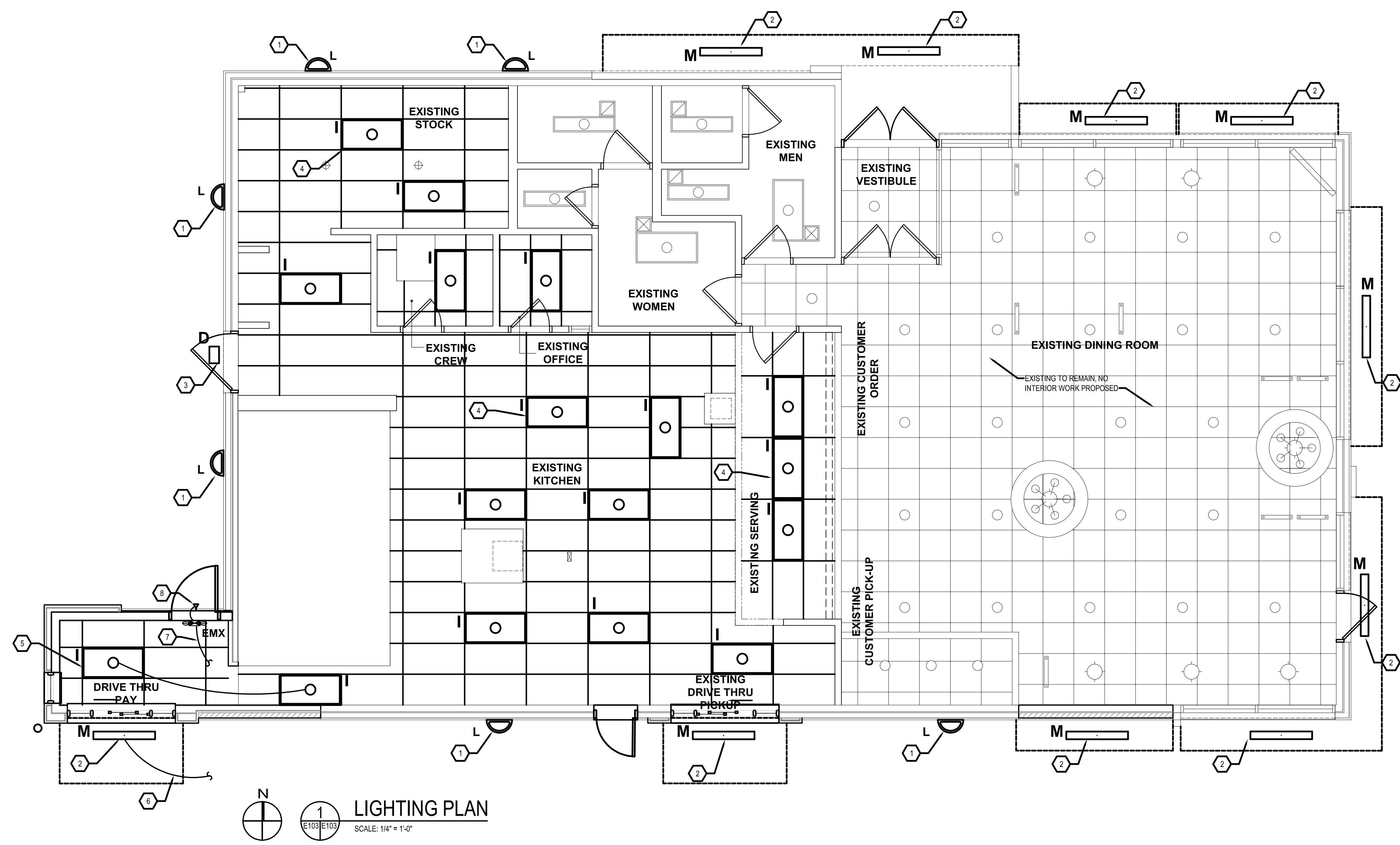
ALTERATIONS - BURGER KING # 10839

BURGERS OF BALTIMORE, LLC.
 200 SOUTH GREEN ROAD
 BALTIMORE, MD, 21015

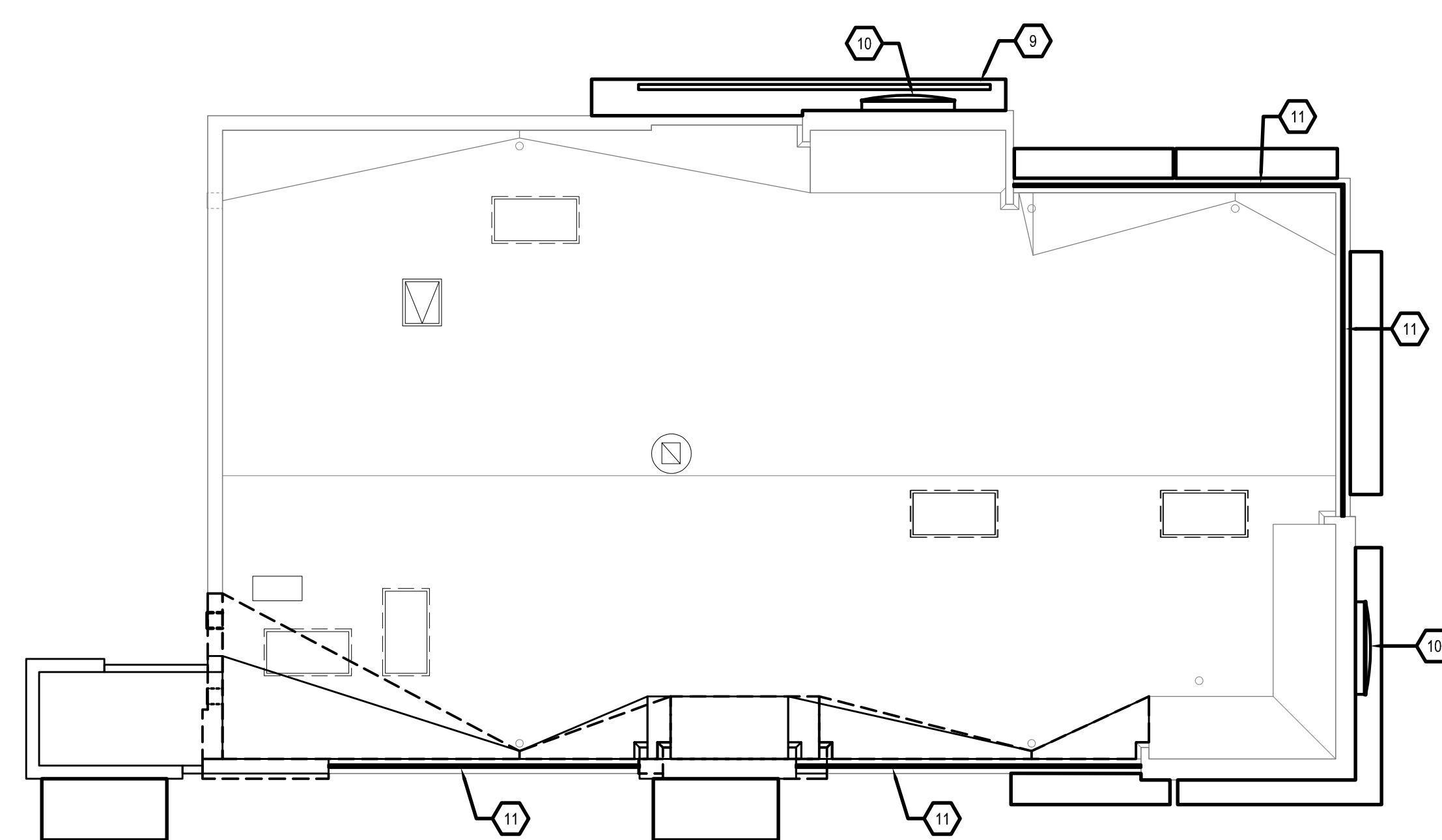
DESIGNED:	SWC
DRAWN:	LHD
CHECKED:	JWA
SCALE:	AS SHOWN
DATE:	04/12/2021
PROJECT:	2018.0375.05
DRAWING:	

ED101

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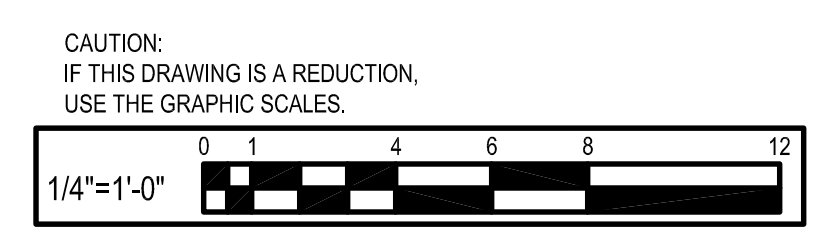
LIGHTING PLAN
 SCALE: 1/4" = 1'-0"
 E103/E103



SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
	SUPPLY AIR DIFFUSERS
	RETURN AIR GRILLES
	EXHAUST FAN GRILLES
	2X4 RECESSED FLAT LENS (NIGHT LIGHT WHEN SHOWN HATCHED)
	SURFACE MOUNTED EXTERIOR WALL SCONCE
	WET LISTED 4'-0" CANOPY LIGHT USED UNDER CLOSED CANOPIES
	WALL MOUNTED SECURITY LIGHT
	EMERGENCY LIGHT
	EXIT LIGHT

- ### GENERAL SHEET NOTES
- REFER TO SHEET E-1.1 FOR LIGHT FIXTURE SPECIFICATIONS
 - SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION AND MOUNTING HEIGHTS OF LIGHT FIXTURES. COORDINATE FIXTURE LOCATIONS WITH DECOR DRAWINGS.
 - ALL WORK AND MATERIALS SHALL BE BY THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
 - MC CABLE ONLY PERMITTED FOR LIGHT WHIPS. ALL OTHER TO BE E.M.T CONDUIT IN CEILING AND WALLS - RIGID CONDUIT UNDER SLAB.
 - PROVIDE JUNCTION BOXES AT LIGHT FIXTURES PER MANUFACTURERS REQUIREMENTS. (TYPICAL FOR ALL LIGHTING FIXTURES)
 - WHERE TRUSSES ARE EXPOSED, RUN ALL ELECTRICAL CONDUITS ABOVE THE BOTTOM CHORD OF THE TRUSS.

- ### SHEET KEYNOTES
- NEW WALL MOUNTED FIXTURE TYPICAL. RECONNECT TO EXISTING CIRCUIT.
 - MOUNT FIXTURE IN CANOPY, RE-CONNECT TO EXISTING CIRCUIT. EXTEND EXISTING LIGHTING CIRCUIT TO ACCOMMODATE NEW CANOPY LIGHT LOCATION.
 - EXISTING EMERGENCY LIGHT FIXTURE TO REMAIN.
 - NEW RECESSED LIGHT FIXTURE IN NEW CEILING, TYPICAL. RE-CONNECT TO EXISTING LIGHTING CIRCUIT.
 - EXTEND 2#12-#12GW IN 3/4" CONDUIT TO NEAREST ADJACENT FIXTURE (CONTROLLED WITH KITCHEN LIGHTING) AND MAKE ALL CONNECTIONS.
 - EXTEND 2#12-#12GW IN 3/4" CONDUIT TO NEAREST ADJACENT CANOPY FIXTURE (CONTROLLED WITH EXISTING CANOPY LIGHTING) AND MAKE ALL CONNECTIONS. ROUTE ALL WIRING INSIDE BUILDING.
 - CONNECT TO LIGHTING CIRCUIT IN SAME AREA AHEAD OF SWITCH LEG WITH 2#12-#12GW IN 3/4" CONDUIT.
 - REMOTE HEAD FOR EMERGENCY LIGHTING. PROVIDE INDOOR UNIT WITH SUFFICIENT BATTERY CAPACITY TO ACCOMMODATE REMOTE HEAD LOAD. CONNECT WITH 2#12-#12GW IN 3/4" CONDUIT.
 - INSTALL NEW ILLUMINATED SIGNAGE ON NEW CANOPY, RECONNECT TO EXISTING CIRCUIT.
 - RE-INSTALL EXISTING SIGNAGE, RECONNECT TO EXISTING CIRCUIT.
 - INSTALL NEW LIGHT BAND, RECONNECT TO EXISTING CIRCUIT.



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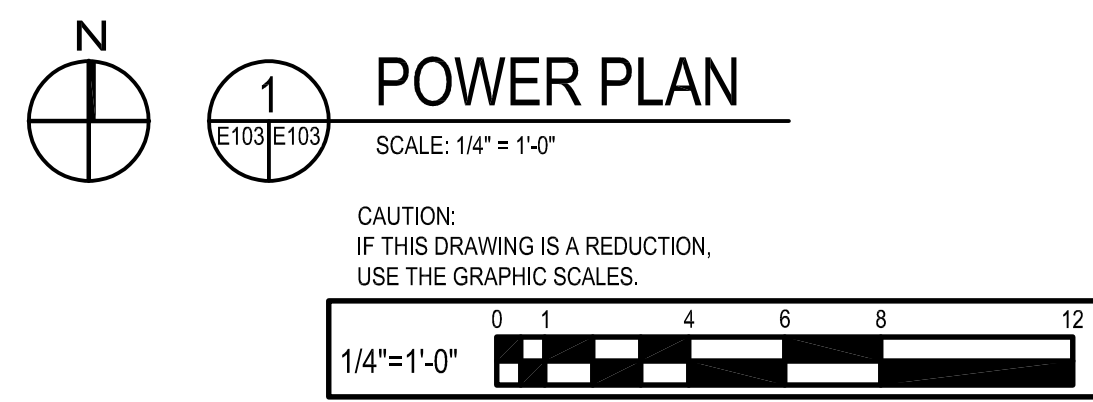
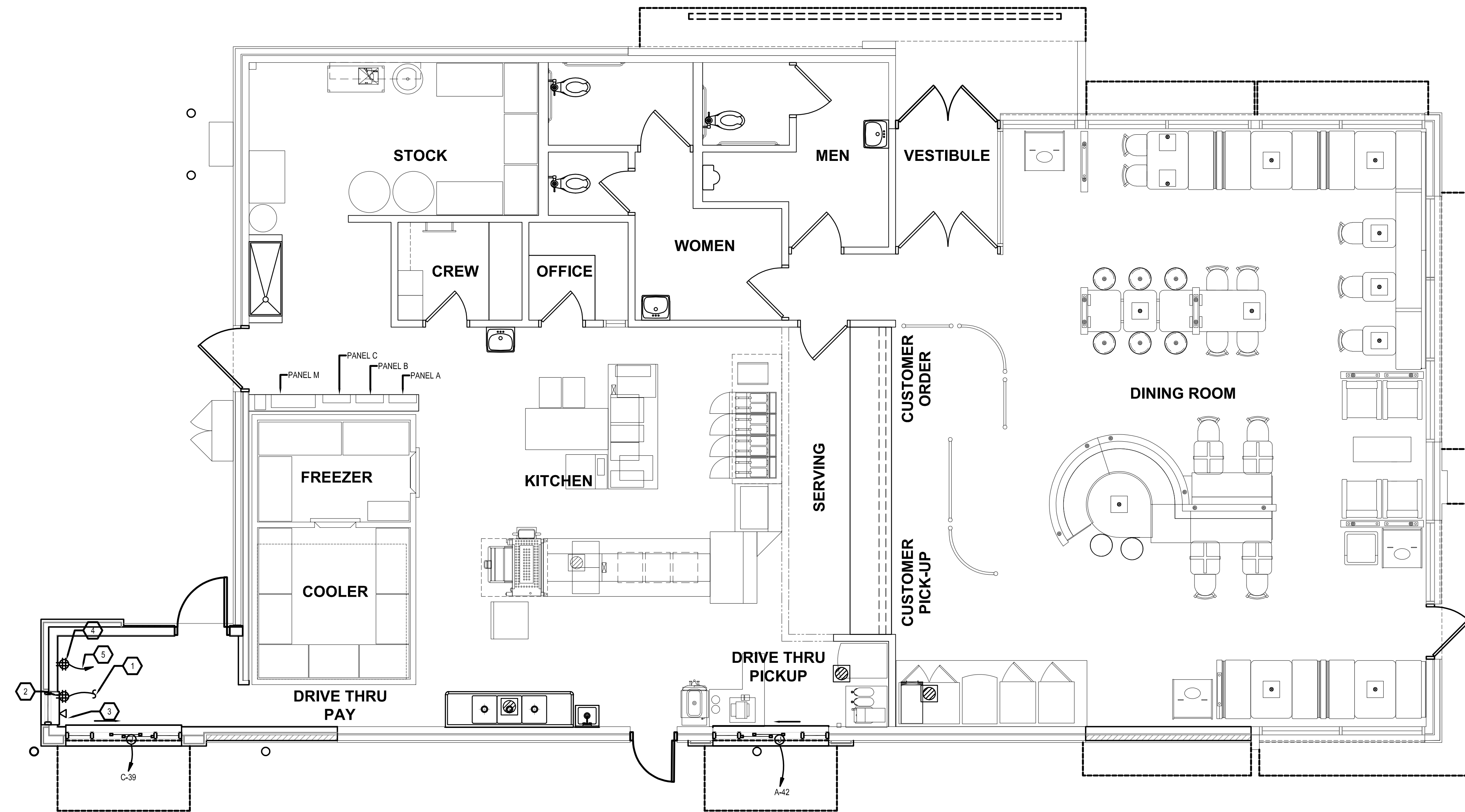
POWER PLAN

ALTERATIONS - BURGER KING # 10839
 BURGERS OF BALTIMORE, LLC.
 200 SOUTH GREEN ROAD
 BALTIMORE, MD 21015

DESIGNED:	SWC
DRAWN:	LHD
CHECKED:	JWA
SCALE:	AS SHOWN
DATE:	04/12/2021
PROJECT:	2018.0375.05
DRAWING:	

E102

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CONSTRUCTION LEGEND	
	EXISTING PARTITION TO REMAIN.
	EXISTING WINDOW AND FRAME TO REMAIN.
	EXISTING DOOR AND FRAME TO REMAIN.
	NEW PARTITION TO BE CONSTRUCTED.
	NEW WINDOW AND FRAME TO BE CONSTRUCTED.
	NEW DOOR AND FRAME TO BE CONSTRUCTED.

SHEET KEYNOTES	
1.	2#12x#12GW IN 3/4" CONDUIT, EXTEND AND CONNECT TO EXISTING RECEPTACLE CIRCUIT PREVIOUSLY SERVING DRIVE THRU WINDOW RECEPTACLE.
2.	DOUBLE DUPLEX RECEPTACLE (WHITE) WITH STAINLESS STEEL COVER PLATE, 2P., 3W., 20A., 125V. NEMA 5-20R CONFIGURATION. MOUNT AT 18" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
3.	DATA OUTLET, SINGLE GANG BACK BOX WITH 3/4" CONDUIT WITH BUSHED ENDS TO ACCESSIBLE CEILING.
4.	DOUBLE DUPLEX RECEPTACLE (WHITE) WITH STAINLESS STEEL COVER PLATE, 2P., 3W., 20A., 125V. NEMA 5-20R CONFIGURATION. MOUNT AT 72" ABOVE FINISHED FLOOR.
5.	2#12x#12GW IN 3/4" CONDUIT BACK TO PANEL A, PROVIDE 1P-20A CB IN EXISTING SPACE AND MAKE ALL CONNECTIONS. PANEL A IS A SIEMENS TYPE S1 PANEL BOARD.

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POWER PLAN

ALTERATIONS - BURGER KING # 10839

BURGERS OF BALTIMORE, LLC.
GREEN ROAD
BELL MEAD, MD, 21015

DESIGNED:	SWC
DRAWN:	LHD
CHECKED:	JWA
SCALE:	AS SHOWN
DATE:	04/12/2021
PROJECT:	2018.0375.05
DRAWING:	

E103

PANEL A (EXISTING)										MOUNTING: RECESSED									
VOLTAGE: 208Y/120V, 3ø, 4W										LOCATION: KITCHEN									
250 AMPERE BUS					125 A MLO					100% RATED NEUTRAL BUS					22,000 A.I.C.				
CONN KVA	CKT	DESCRIPTION	BREAKER			CIRCUIT WIRING			CKT	DESCRIPTION	BREAKER			CIRCUIT WIRING			CONN KVA		
			P	AMPS	NO	SIZE	GND	C			P	AMPS	NO	SIZE	GND	C			
	1	EXISTING CIRCUIT	1	20	-	-	-	-	2	EXISTING CIRCUIT	1	20	-	-	-	-			
	3	EXISTING CIRCUIT	1	20	-	-	-	-	4	EXISTING CIRCUIT	1	20	-	-	-	-			
	5	EXISTING CIRCUIT	1	20	-	-	-	-	6	EXISTING CIRCUIT	1	20	-	-	-	-			
	7	EXISTING CIRCUIT	1	20	-	-	-	-	8	EXISTING CIRCUIT	1	30	-	-	-	-			
	9	EXISTING CIRCUIT	1	20	-	-	-	-	10	-	1	-	-	-	-	-			
	11	EXISTING CIRCUIT	1	20	-	-	-	-	12	-	1	-	-	-	-	-			
	13	EXISTING CIRCUIT	1	20	-	-	-	-	14	EXISTING CIRCUIT	1	20	-	-	-	-			
	15	EXISTING CIRCUIT	1	20	-	-	-	-	16	EXISTING CIRCUIT	1	20	-	-	-	-			
	17	EXISTING CIRCUIT	2	30	-	-	-	-	18	EXISTING CIRCUIT	2	20	-	-	-	-			
	19	-	-	-	-	-	-	-	20	EXISTING CIRCUIT	-	-	-	-	-	-			
	21	EXISTING CIRCUIT	2	30	-	-	-	-	22	EXISTING CIRCUIT	2	20	-	-	-	-			
	23	-	-	-	-	-	-	-	24	EXISTING CIRCUIT	-	-	-	-	-	-			
	25	EXISTING CIRCUIT	2	30	-	-	-	-	26	EXISTING CIRCUIT	1	20	-	-	-	-			
	27	-	-	-	-	-	-	-	28	EXISTING CIRCUIT	1	20	-	-	-	-			
	29	EXISTING CIRCUIT	2	30	-	-	-	-	30	EXISTING CIRCUIT	2	30	-	-	-	-			
	31	-	-	-	-	-	-	-	32	EXISTING CIRCUIT	-	-	-	-	-	-			
	33	EXISTING CIRCUIT	2	20	-	-	-	-	34	-	1	20	-	-	-	-			
	35	-	-	-	-	-	-	-	36	EXISTING CIRCUIT	3	30	-	-	-	-			
	37	EXISTING CIRCUIT	1	20	-	-	-	-	38	-	-	-	-	-	-	-			
	39	EXISTING CIRCUIT	1	20	-	-	-	-	40	DRIVETHRU RECEPTACLE	1	20	2	12	12	3/4			
	41	EXISTING CIRCUIT	1	20	-	-	-	-	42	AIR CURTAIN	1	15	2	12	12	3/4			
TOTAL CONNECTED LOAD			0.0 KVA			KVA PER PHASE:			A	0.0	B	0.0	C	0.0					

PANEL B (EXISTING)										MOUNTING: RECESSED									
VOLTAGE: 208Y/120V, 3ø, 4W										LOCATION: KITCHEN									
250 AMPERE BUS					125 A MLO					100% RATED NEUTRAL BUS					22,000 A.I.C.				
CONN KVA	CKT	DESCRIPTION	BREAKER			CIRCUIT WIRING			CKT	DESCRIPTION	BREAKER			CIRCUIT WIRING			CONN KVA		
			P	AMPS	NO	SIZE	GND	C			P	AMPS	NO	SIZE	GND	C			
	1	EXISTING CIRCUIT	1	20	-	-	-	-	2	EXISTING CIRCUIT	1	20	-	-	-	-			
	3	EXISTING CIRCUIT	1	20	-	-	-	-	4	EXISTING CIRCUIT	1	20	-	-	-	-			
	5	EXISTING CIRCUIT	1	20	-	-	-	-	6	EXISTING CIRCUIT	1	20	-	-	-	-			
	7	EXISTING CIRCUIT	1	20	-	-	-	-	8	EXISTING CIRCUIT	1	20	-	-	-	-			
	9	EXISTING CIRCUIT	1	20	-	-	-	-	10	EXISTING CIRCUIT	1	20	-	-	-	-			
	11	EXISTING CIRCUIT	1	20	-	-	-	-	12	EXISTING CIRCUIT	1	20	-	-	-	-			
	13	EXISTING CIRCUIT	1	20	-	-	-	-	14	EXISTING CIRCUIT	2	20	-	-	-	-			
	15	EXISTING CIRCUIT	1	20	-	-	-	-	16	-	-	-	-	-	-	-			
	17	EXISTING CIRCUIT	1	20	-	-	-	-	18	EXISTING CIRCUIT	1	20	-	-	-	-			
	19	EXISTING CIRCUIT	1	20	-	-	-	-	20	EXISTING CIRCUIT	2	20	-	-	-	-			
	21	EXISTING CIRCUIT	1	20	-	-	-	-	22	-	-	-	-	-	-	-			
	23	EXISTING CIRCUIT	1	20	-	-	-	-	24	EXISTING CIRCUIT	1	20	-	-	-	-			
	25	EXISTING CIRCUIT	1	20	-	-	-	-	26	EXISTING CIRCUIT	1	20	-	-	-	-			
	27	EXISTING CIRCUIT	3	30	-	-	-	-	28	EXISTING CIRCUIT	2	20	-	-	-	-			
	29	-	-	-	-	-	-	-	30	-	-	-	-	-	-	-			
	31	-	-	-	-	-	-	-	32	EXISTING CIRCUIT	2	20	-	-	-	-			
	33	EXISTING CIRCUIT	2	30	-	-	-	-	34	-	-	-	-	-	-	-			
	35	-	-	-	-	-	-	-	36	EXISTING CIRCUIT	2	20	-	-	-	-			
	37	EXISTING CIRCUIT	2	40	-	-	-	-	38	-	-	-	-	-	-	-			
	39	-	-	-	-	-	-	-	40	EXISTING CIRCUIT	2	40	-	-	-	-			
	41	EXISTING CIRCUIT	1	20	-	-	-	-	42	-	-	-	-	-	-	-			
TOTAL CONNECTED LOAD			0.0 KVA			KVA PER PHASE:			A	0.0	B	0.0	C	0.0					

PANEL C (EXISTING)										MOUNTING: RECESSED									
VOLTAGE: 208Y/120V, 3ø, 4W										LOCATION: KITCHEN									
250 AMPERE BUS					125 A MLO					100% RATED NEUTRAL BUS					22,000 A.I.C.				
CONN KVA	CKT	DESCRIPTION	BREAKER			CIRCUIT WIRING			CKT	DESCRIPTION	BREAKER			CIRCUIT WIRING			CONN KVA		
			P	AMPS	NO	SIZE	GND	C			P	AMPS	NO	SIZE	GND	C			
	1	SHAKE MACHINE	3	20	-	-	-	-	2	REC. STOCK ROOM	1	20	-	-	-	-			
	3	-	-	-	-	-	-	-	4	CARBONATORS	1	20	-	-	-	-			
	5	-	-	-	-	-	-	-	6	REC. STOCK ROOM	1	20	-	-	-	-			
	7	FREEZER COND	3	20	-	-	-	-	8	SMOOTHIE MACHINE	1	20	-	-	-	-			
	9	-	-	-	-	-	-	-	10	EXISTING CIRCUIT	1	20	-	-	-	-			
	11	-	-	-	-	-	-	-	12	EXISTING CIRCUIT	1	20	-	-	-	-			
	13	COOLER COND	2	20	-	-	-	-	14	EXISTING CIRCUIT	1	20	-	-	-	-			
	15	-	-	-	-	-	-	-	16	EXISTING CIRCUIT	1	20	-	-	-	-			
	17	COOLER FAN & LTG	1	20	-	-	-	-	18	EXISTING CIRCUIT	1	20	-	-	-	-			
	19	REC. TWIST LOCK	2	20	-	-	-	-	20	EXISTING CIRCUIT	2	30	-	-	-	-			
	21	-	-	-	-	-	-	-	22	-	-	-	-	-	-	-			
	23	REC.	2	20	-	-	-	-	24	EXISTING CIRCUIT	1	20	-	-	-	-			
	25	-	-	-	-	-	-	-	26	EXISTING CIRCUIT	3	30	-	-	-	-			
	27	REC.	2	20	-	-	-	-	28	-	-	-	-	-	-	-			
	29	-	-	-	-	-	-	-	30	-	-	-	-	-	-	-			
	31	SPEAKER POST 1	1	20	2	12	12	1"	32	EXISTING CIRCUIT	2	30	-	-	-	-			
	33	SPEAKER POST 2	1	20	2	12	12	1"	34	-	-	-	-	-	-	-			
	35	ODMB 1	1	20	2	12	12	1"	36	EXISTING CIRCUIT	3	20	-	-	-	-			
	37	ODMB 2	1	20	2	12	12	1"	38	-	-	-	-	-	-	-			
	39	CAMERA POWER SUPPLY	1	20	2	12	12	1"	40	-	-	-	-	-	-	-			
	41	AIR CURTAIN	1	20	2	12	12	3/4"	42	EXISTING CIRCUIT	1	-	-	-	-	-			
TOTAL CONNECTED LOAD			0.0 KVA			KVA PER PHASE:			A	0.0	B	0.0	C	0.0					

BY									
REVISION									
DATE									
NO.									

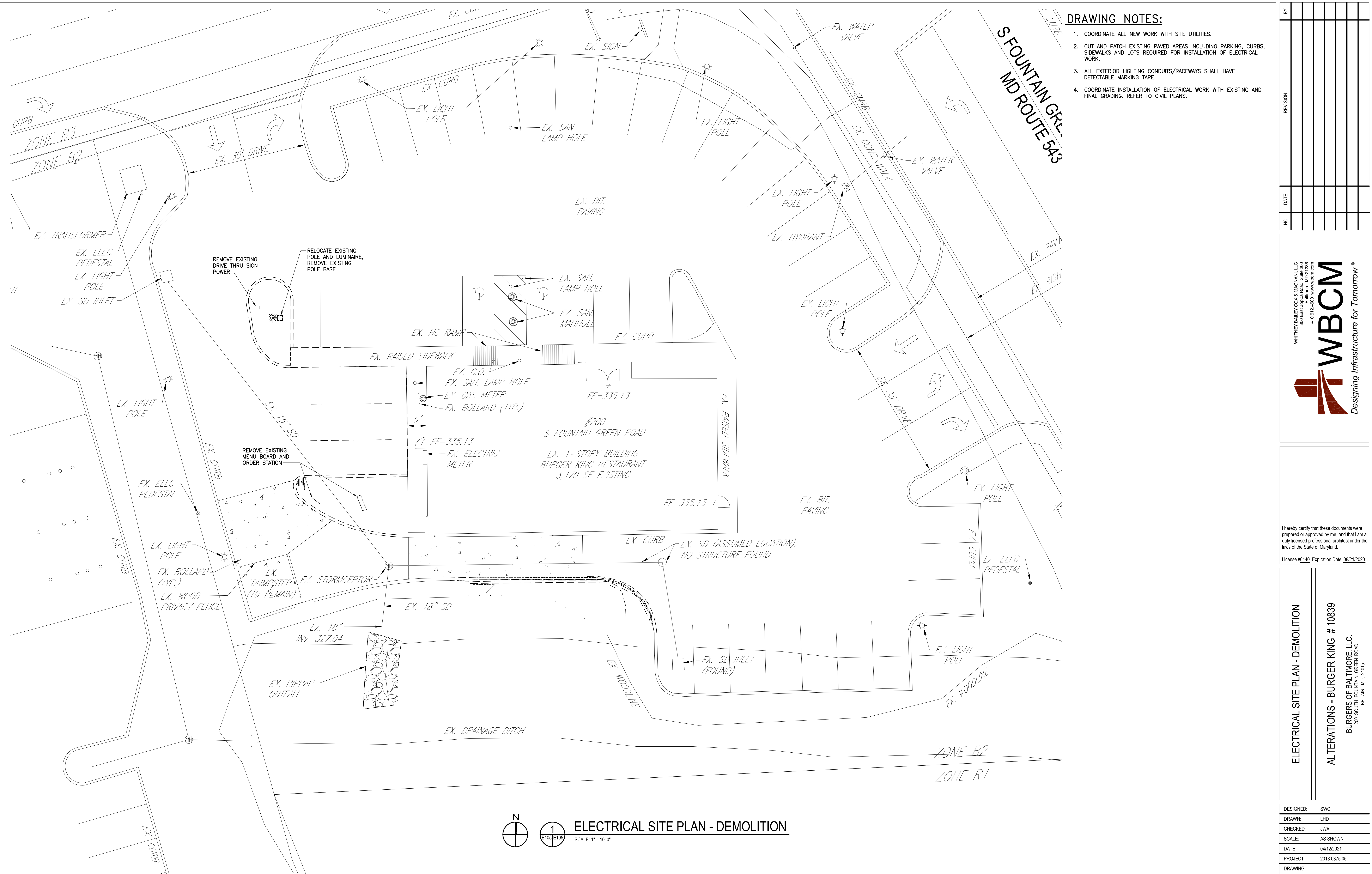


I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
License #6140 Expiration Date: 08/21/2020

POWER PLAN
ALTERATIONS - BURGER KING # 10839
BURGERS OF BALTIMORE, LLC.
GREEN ROAD
BELL MEAD, MD, 21035

DESIGNED:	SWC
DRAWN:	LHD
CHECKED:	JWA
SCALE:	AS SHOWN
DATE:	04/12/2021
PROJECT:	2018.0375.05
DRAWING:	

E104



- DRAWING NOTES:**
- COORDINATE ALL NEW WORK WITH SITE UTILITIES.
 - CUT AND PATCH EXISTING PAVED AREAS INCLUDING PARKING, CURBS, SIDEWALKS AND LOTS REQUIRED FOR INSTALLATION OF ELECTRICAL WORK.
 - ALL EXTERIOR LIGHTING CONDUITS/RACEWAYS SHALL HAVE DETECTABLE MARKING TAPE.
 - COORDINATE INSTALLATION OF ELECTRICAL WORK WITH EXISTING AND FINAL GRADING. REFER TO CIVIL PLANS.

NO.	DATE	REVISION

WHITNEY GANLEY COX & HANNAH, LLC
300 East Poplar Road, Suite 200
Baltimore, MD 21286
410.512.4500 www.wbcm.com

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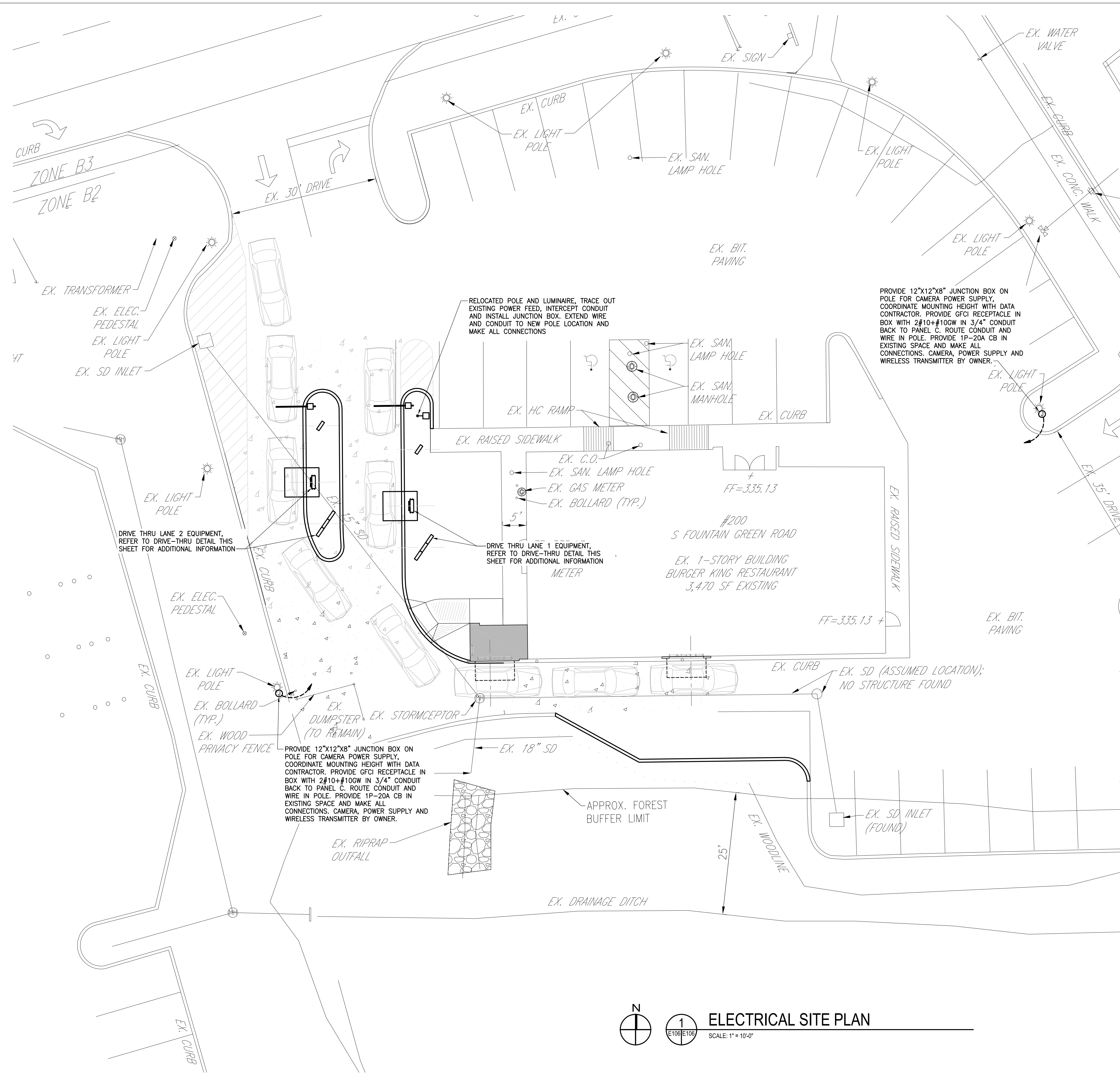
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
License #6140 Expiration Date: 08/21/2020

ELECTRICAL SITE PLAN - DEMOLITION

ALTERATIONS - BURGER KING # 10839
BURGERS OF BALTIMORE, LLC.
200 S FOUNTAIN GREEN ROAD
BELL MEAD, MD, 21035

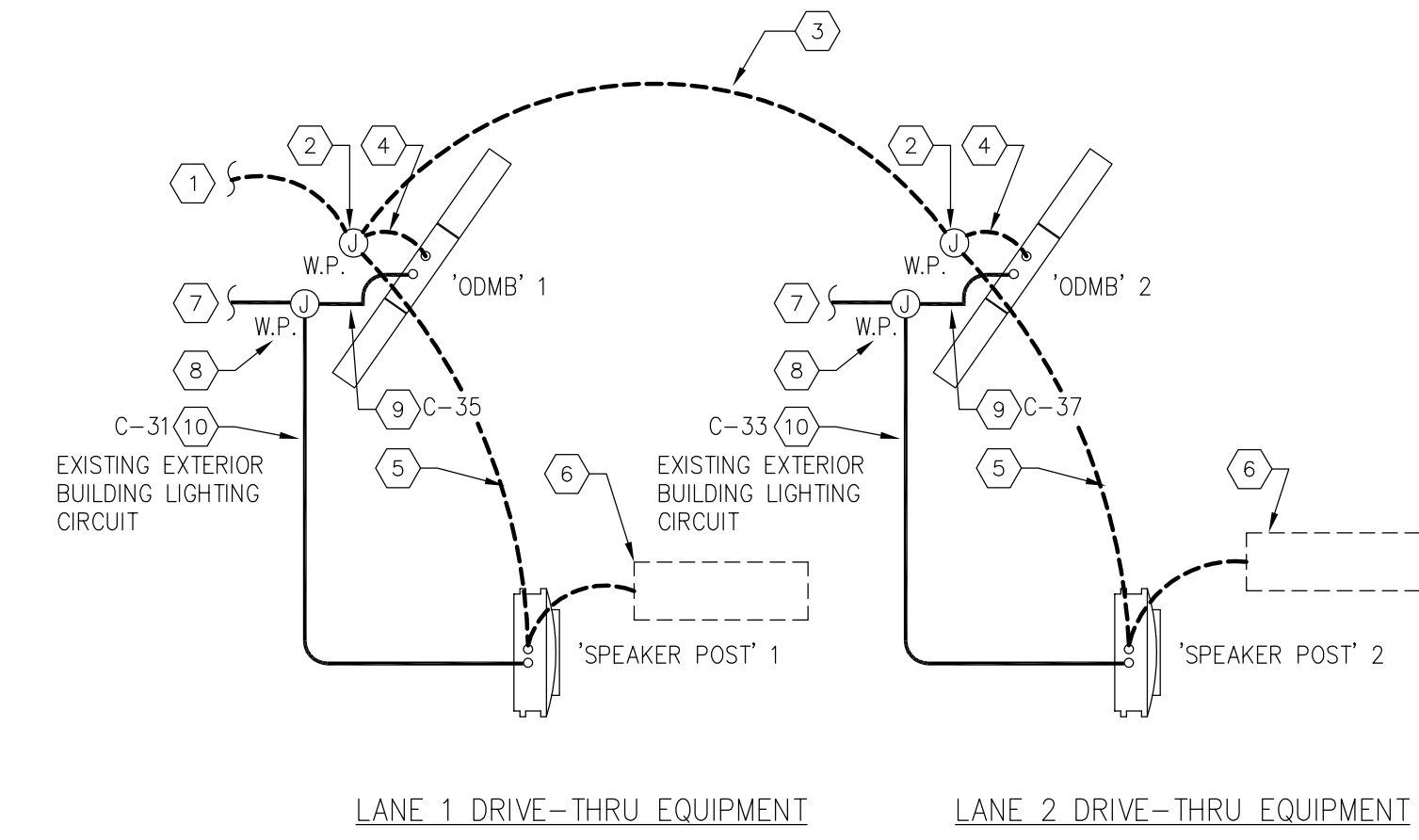
DESIGNED:	SWC
DRAWN:	LHD
CHECKED:	JWA
SCALE:	AS SHOWN
DATE:	04/12/2021
PROJECT:	2018.0375.05
DRAWING:	E105

ELECTRICAL SITE PLAN - DEMOLITION
SCALE: 1" = 10'-0"



DRAWING NOTES:

- COORDINATE ALL NEW WORK WITH SITE UTILITIES.
- CUT AND PATCH EXISTING PAVED AREAS INCLUDING PARKING, CURBS, SIDEWALKS AND LOTS REQUIRED FOR INSTALLATION OF ELECTRICAL WORK.
- ALL EXTERIOR LIGHTING CONDUITS/RACEWAYS SHALL HAVE DETECTABLE MARKING TAPE.
- COORDINATE INSTALLATION OF ELECTRICAL WORK WITH EXISTING AND FINAL GRADING. REFER TO CIVIL PLANS.



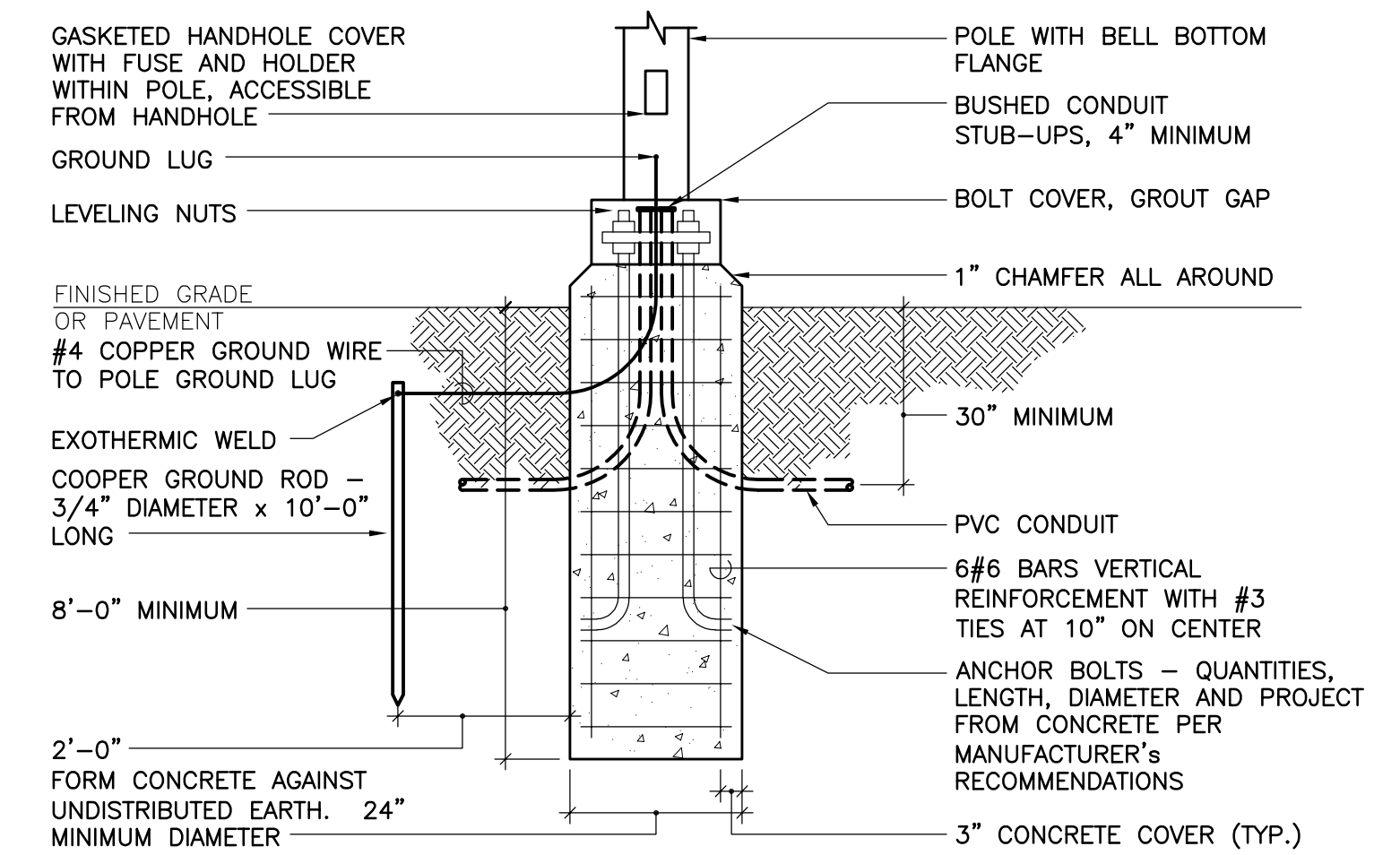
KEYED NOTES - DRIVE THRU:

DATA

- 2" UNDERGROUND DATA CONDUIT FROM DRIVE-THRU. ROUTE CONDUIT UP IN NEW DRIVE-THRU WALL AND INTO ACCESSIBLE CEILING SPACE.
- WATERPROOF JUNCTION DATA BOX LOCATED BEHIND 'ODMB'.
- 2" UNDERGROUND DATA CONDUIT TO LANE 2.
- 3/4" PVC SWEEP INTO 'ODMB' FOOTER.
- 3/4" PVC SWEEP INTO 'SPEAKER POST'.
- 1/2" PVC SWEEP INTO 'SPEAKER POST' FROM UNDER CONCRETE LOOP.

ELECTRICAL

- 1" UNDERGROUND POWER CONDUIT TO DEDICATED CIRCUIT. REFER TO PANEL SCHEDULE. ROUTE CONDUIT UP IN NEW DRIVE-THRU WALL AND INTO ACCESSIBLE CEILING SPACE.
- WATERPROOF JUNCTION POWER BOX LOCATED BEHIND 'ODMB'.
- 1/2" CONDUIT SWEEP INTO 'ODMB' FOOTER FOR DEDICATED POWER. REFER TO PANEL SCHEDULE.
- 3/4" CONDUIT SWEEP INTO 'SPEAKER POST' FOOTER FOR DEDICATED POWER. REFER TO PANEL SCHEDULE. 2#12+2#10GW IN 1" CONDUIT, CONNECT TO EXISTING EXTERIOR BUILDING MOUNTED LIGHTING CIRCUIT.

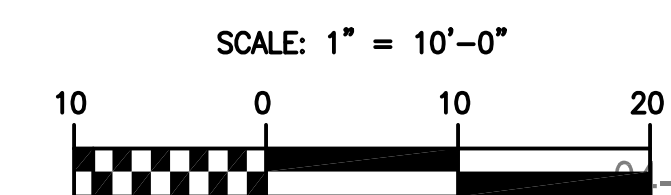


NOTES:

- ALL REINFORCING STEEL TO BE ASTM A615, GRADE 60 EXCEPT TIES. TIES SHALL BE GRADE 40.
- PROVIDE 1-1/4" CONDUIT MINIMUM TO EACH POLE FOR NORMAL POWER WIRING.

POLE BASE AND FOUNDATION

SCALE: NONE



NO.	DATE	REVISION



I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.

License #6140 Expiration Date: 08/21/2020

ELECTRICAL SITE PLAN

ALTERATIONS - BURGER KING # 10839

BURGERS OF BALTIMORE, LLC.
200 S FOUNTAIN GREEN ROAD
BALTIMORE, MD, 21015

DESIGNED:	SWC
DRAWN:	LHD
CHECKED:	JWA
SCALE:	AS SHOWN
DATE:	04/12/2021
PROJECT:	2018.0375.05
DRAWING:	

E106