

# TACO BELL

## DRIVE THRU RESTAURANT

### EXPLORER LITE MEDIUM40



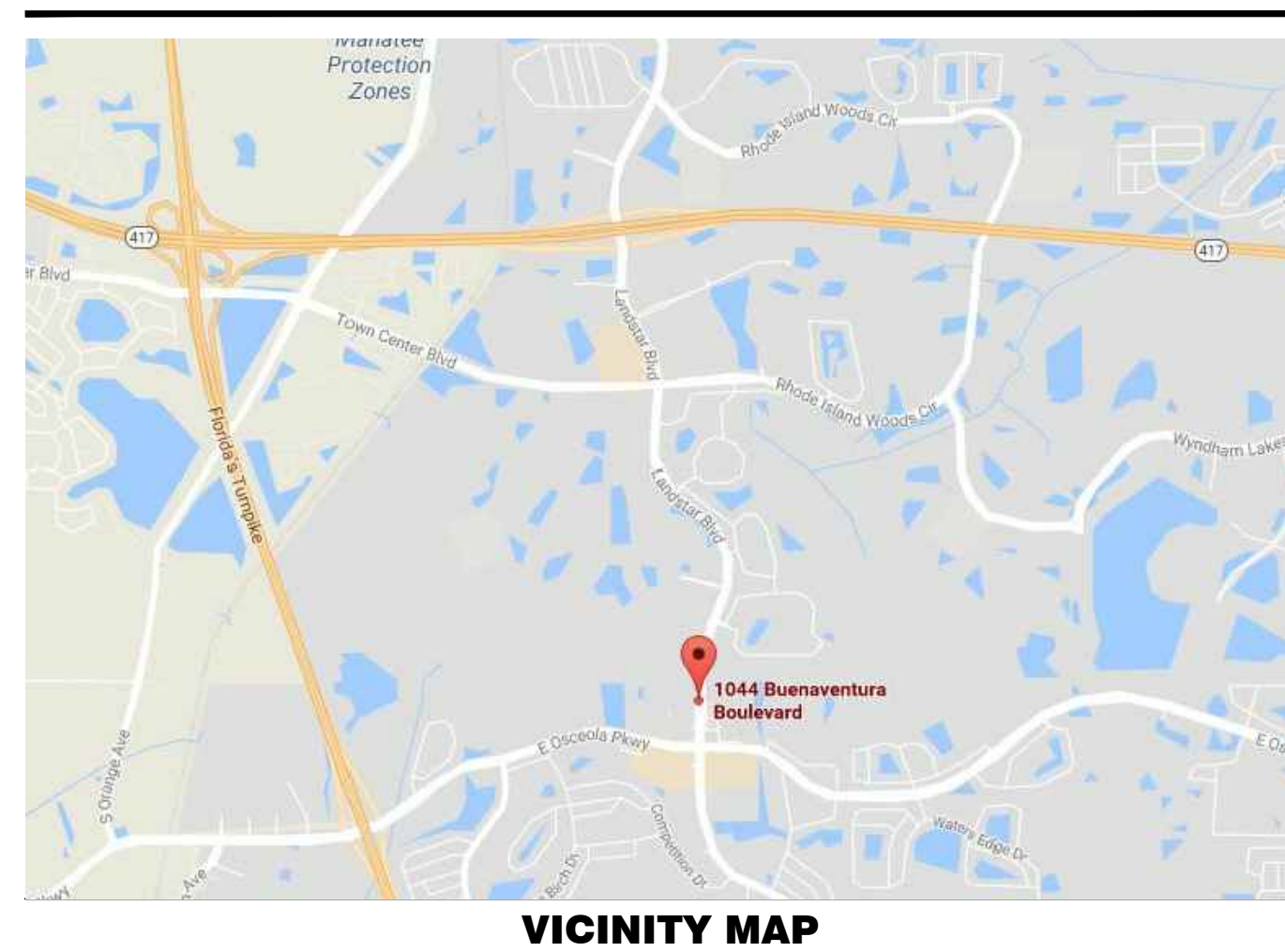
- A. ALL WORK SHALL CONFORM TO THE 2017 EDITION OF THE FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE CODES, STANDARDS, AND REGULATIONS OF THE CITY OF BUENA VENTURA AND COUNTY OF OSCEOLA.
- B. IT IS INTENDED THAT A COMPLETE OCCUPIABLE BUILDING PROJECT IS PROVIDED.
- C. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION (A.I.A. A201 LATEST EDITION) ARE A PART OF THESE CONTRACT DOCUMENTS. A COPY IS ON FILE AT THE ARCHITECT'S OFFICE.
- D. DRAWINGS ARE BASED ON A SURVEY, DATED 8/18/17 PREPARED BY ACCURIGHT SURVEYS OF ORLANDO INC. AND IS INCLUDED IN THESE DOCUMENTS.
- E. THIS BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH THE RECOMMENDATIONS OF A GEOTECHNICAL INVESTIGATION DATED 10.20.17 BY GPD GROUP, INC. THE REPORT IS PART OF THESE CONTRACT DOCUMENTS, AND THE CONTRACTOR IS RESPONSIBLE FOR CARRYING OUT ITS RECOMMENDATIONS, THOUGH SOME MAY NOT BE SPECIFICALLY DETAILED ON THE PLANS.
- F. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING WORK.
- G. ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE YUM BRANDS CONSTRUCTION MANAGER, IN WRITING, PRIOR TO INSTALLATION.
- H. RETAIN THE PROJECT GEOTECHNICAL ENGINEER TO PROVIDE OBSERVATION AND TESTING SERVICES DURING THE GRADING (INCLUDING UTILITY TRENCHES) AND FOUNDATION PHASE OF CONSTRUCTION AS RECOMMENDED IN THE GEOTECHNICAL REPORT. ALL TESTING AND INSPECTION REPORTS, INCLUDING FINAL SUMMATION LETTER, SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND OWNER. G.C. SHALL CERTIFY PAD ELEVATION PRIOR TO START OF FOUNDATION WORK.
- I. SUBMIT PAY FEES AND OBTAIN ALL PERMITS ASSOCIATED WITH THE PROJECT EXCEPT GENERAL BUILDING PERMIT. THIS INCLUDES, BUT IS NOT LIMITED TO ELECTRICAL, MECHANICAL, PLUMBING, FIRE SPRINKLER, HOOD ANSUL, OR OTHER RELATED FIRE PERMITS, ENCROACHMENT PERMIT, ETC. YUM BRANDS WILL PAY FOR 'CONNECTION FEES' ASSOCIATED WITH UTILITY PERMITS. PAY FOR TEMPORARY FACILITIES FEES AS REQUIRED TO COMPLETE THE WORK IN A TIMELY MANNER.
- J. PROVIDE EACH SUBCONTRACTOR WITH A COMPLETE AGENCY-PERMITTED DRAWING SET AT TIME OF CONSTRUCTION.
- K. ALL ABBREVIATIONS INCLUDED FOLLOW INDUSTRY STANDARDS. CONTACT ARCHITECT IF ANY ABBREVIATIONS ARE NOT CLEAR.
- L. GC SHALL SUPPLY AND INSTALL ALL ASPECTS OF THE PROJECT DESCRIBED IN THIS DRAWING SET UNLESS OTHERWISE NOTED. SEE SCOPE OF WORK FOR EXCEPTIONS.
- M. GRAPHIC AND WRITTEN INFORMATION ON DRAWINGS SHALL BE COORDINATED WITH ALL TRADES PRIOR TO INSTALLATION.
- N. ALL MATERIALS STAGED TO BE USED FOR CONSTRUCTION SHALL BE PROTECTED FROM EXCESSIVE MOISTURE. IF THEY ARE EXPOSED TO MOISTURE THEY SHOULD BE ADEQUATELY DRIED BEFORE ENCAPSULATED INTO THE BUILDING.
- O. ALL PAINTS, ADHESIVES, COATINGS AND SEALANTS USED INSIDE THE BUILDING SHALL HAVE A LOW VOC CONTENT.

#### PROJECT GENERAL NOTES

**GENERAL DRAWING SYMBOLS**

	NAME	ROOM NAME		ELEV. LETTER
	1	SHEET NUMBER		ELEV. SHEET
	2	ELEVATION NUMBER		DOOR NUMBER
	8'-4"	CEILING HEIGHT		WINDOW NUMBER / DECOR ITEM NUMBER
	X	BLDG. SECTION LETTER		EXTERIOR WALL FINISH NUMBER
	AX.X	BLDG. SECTION SHEET		KEY NOTE NUMBER
	X	DETAIL NUMBER		EQUIPMENT NUMBER
	AX.X	DIRECTION OF DETAIL		INTERIOR FINISH
	AX.X	DETAIL SHEET		INTERIOR WALL TYPE
	XXX 000	REVISION NUMBER		INTERIOR ELEVATION DESIGNATION
	0'-0" ELEV	BLDG. HEIGHT REFERENCE POINT		SHEAR WALL TYPE (STRUCTURAL)
				EQUIPMENT / FIXTURE NUMBER (M.E.P.)
				INDICATES SUSTAINABLE DESIGN

REFER TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL SHEETS FOR SPECIFIC SYMBOLS



LEGAL JURISDICTION:	OSCEOLA COUNTY BUILDING OFFICE
BUILDING CODE:	2017 FLORIDA BUILDING CODE, 6TH EDITION
ACCESSIBILITY:	2017 FLORIDA BUILDING CODE, 6TH EDITION
MECHANICAL:	2017 FLORIDA BUILDING CODE, 6TH EDITION
PLUMBING:	2017 FLORIDA BUILDING CODE, 6TH EDITION
ELECTRICAL:	NFPA 70 NATIONAL ELECTRIC CODE, 2014 EDITION
FIRE:	FLORIDA FIRE PREVENTION CODE, 2017 EDITION
ENERGY:	2017 FLORIDA BUILDING CODE, 6TH EDITION
HEALTH:	FDA FOOD CODE 2009
BUILDING AREA:	2,053 S.F. GROSS
SEATING:	42 INTERIOR, 12 EXTERIOR
OCCUPANCY:	A2
TYPE CONSTRUCTION:	TYPE VB - UNPROTECTED

AREA	TYPE	AREA	FACTOR	OCCUPANTS	
DINING ROOM	650	S.F.	1:15	S.F.	44
QUEING	40	S.F.	1:5	S.F.	8
KITCHEN	887	S.F.	1:200	S.F.	5
OFFICE	73	S.F.	1:100	S.F.	1
ACCESSORY STORAGE	173	S.F.	1:300	S.F.	1
RESTROOMS & PASSAGE	230	S.F.	0		0
TOTAL					59

PROJECT SUMMARY	
# PHONE LINES:	25 PAIR CABLE IN 2" CONDUIT
ELECTRIC SERVICE:	600 AMPS / 3 PHASE / 120-208 VOLT
GAS:	785,000 BTUH

DESIGN CRITERIA	
REFER TO CIVIL DRAWINGS.	

#### LEGAL DESCRIPTION

<b>OWNER</b> YUM! BRANDS, INC. 1900 COLONEL SANDERS LANE LOUISVILLE, KY 40213 CONTACT: JIM McNALLY PHONE: 513-808-5245	<b>ARCHITECT</b> MARK S. SALOPEK, LLC 3638 W. GALLOWAY DRIVE RICHFIELD OH, 44286 CONTACT: JIM NEIDLINGER PHONE: 330-572-2100
<b>CONSTRUCTION MANAGER</b> YUM! BRANDS, INC. 1900 COLONEL SANDERS LANE LOUISVILLE, KY 40213 CONTACT: JIM McNALLY PHONE: 513-808-5245	<b>STRUCTURAL ENGINEER</b> GPD GROUP INC. 520 S. MAIN STREET, SUITE 2531 AKRON, OH 44311 CONTACT: JIM NEIDLINGER PHONE: 330-572-2100
<b>CIVIL ENGINEER</b> GPD GROUP INC. 520 S. MAIN STREET, SUITE 2531 AKRON, OH 44311 CONTACT: JIM NEIDLINGER PHONE: 330-572-2100	<b>MECH. / ELEC. ENGINEER</b> GPD GROUP INC. 520 S. MAIN STREET, SUITE 2531 AKRON, OH 44311 CONTACT: JIM NEIDLINGER PHONE: 330-572-2100
	<b>LANDSCAPE ARCHITECT</b> GPD GROUP INC. 520 S. MAIN STREET, SUITE 2531 AKRON, OH 44311 CONTACT: JIM NEIDLINGER PHONE: 330-572-2100

#### PROJECT DIRECTORY

<b>SEWER</b> TOHO WATER AUTHORITY 951 MARTIN LUTHER KING BLVD., KISSIMMEE, FL 34741 CONTACT: ROBERT PELHAM PHONE: 407-944-5000	<b>TELEPHONE</b> CENTURY LINK PHONE: 855-972-6081
<b>WATER</b> TOHO WATER AUTHORITY 951 MARTIN LUTHER KING BLVD., KISSIMMEE, FL 34741 CONTACT: ROBERT PELHAM PHONE: 407-944-5000	<b>ROADS</b> OSCEOLA COUNTY 1 COURTHOUSE SQUARE, SUITE 1400 KISSIMMEE, FL 34741 CONTACT: JOSE GOMEZ PHONE: 407-742-0231
	<b>HEALTH</b> DEPARTMENT OF BUSINESS & PROFESSIONAL REGULATION 2601 BLAIRE STONE RD. TALLAHASSEE, FL 32399 CONTACT: JOSH PHILLIPS PHONE: 850-487-1395
<b>ELECTRIC</b> DUKE ENERGY - LAKE WALES & HIGHLANDS OPERATIONS CONTACT: THOMAS DILLAHUNT PHONE: 863-678-4431	<b>REFUSE</b> WASTE MANAGEMENT 3303 LAKE DR. COCOA, FL 32926 PHONE: 877-494-8811

#### UTILITY CONTACTS

TITLE/SITE	CIVIL	STRUCTURAL	ARCHITECTURAL	ACCESSIBILITY	MECHANICAL	PLUMBING	ELECTRICAL	SCOPE OF WORK	SPECIFICATIONS
T1.0 TITLE SHEET	T001 TITLE SHEET	S1.0A FOUNDATION PLAN	A1.0 FLOOR PLAN	ADA1.0 ACCESSIBILITY REQUIREMENTS	M1.0 MECHANICAL SCHEDULES AND NOTES	P1.0 PLUMBING SCHEDULES AND NOTES	E1.0 SITE ELECTRICAL PLAN	SW1.0 SCOPE OF WORK MATRIX	
G1.0 GREEN CHECKLIST SHEET	1 OF 2 BOUNDARY SURVEY	S2.0A WALL FRAMING PLAN	A1.1 DOOR & WINDOW ELEVATIONS & SCHEDULES	ADA1.1 ACCESSIBILITY REQUIREMENTS	M2.0 DUCT AND DIFFUSER PLAN	P2.0 WASTE AND VENT PLAN	E2.0 RISER DIAGRAM AND LEGEND		
G2.0 TRASH ENCLOSURE DETAILS	2 OF 2 BOUNDARY SURVEY	S3.0A ROOF FRAMING PLAN	A2.0 EQUIPMENT AND SEATING PLAN		M3.0 HOOD DRAWINGS PLANS AND SECTIONS	P3.0 WATER AND GAS PLAN	E2.1 PANEL SCHEDULES AND LOAD SUMMARY		
	C-001 GENERAL NOTES	S4.0 STRUCTURAL DETAILS FOUNDATION	A2.1 EQUIPMENT SCHEDULE		M4.0 MECHANICAL AND HOOD DETAILS	P4.0 PLUMBING ROUGH-IN PLAN	E2.2 ELECTRICAL SCHEDULES		
	C-002 GENERAL NOTES	S4.1 STRUCTURAL DETAILS FRAMING	A3.0 ROOF PLAN		M5.0 INSTALLATION START-UP PRE-COMM CHECKLIST	P5.0 RISER DIAGRAMS	E3.0 POWER FLOOR PLAN		
	C-100 EASEMENT PLAN	S4.2 STRUCTURAL DETAILS ROOF	A4.0 EXTERIOR ELEVATIONS		MP1.0 MP ROOF PLAN	P6.0 PLUMBING DETAILS	E3.1 ENLARGED POWER PLAN AND DETAILS		
	C-101 DEMOLITION PLAN	S4.3 STRUCTURAL DETAILS TACO BELL TOWER	A4.1 EXTERIOR ELEVATIONS				E3.2 POWER ROOF PLAN		
	C-111 SITE PLAN	SS.0A CANOPY / AWNING BLOCKING ELEVATIONS	A5.0 WALL SECTIONS				E4.0 LIGHTING PLAN AND SCHEDULE		
	C-121 GRADING PLAN		A5.1 WALL SECTIONS				E5.0 COMMUNICATIONS PLAN		
	C-131 SWPPP NOTES		A5.2 WALL SECTIONS				E6.0 ELECTRICAL DETAILS		
	C-132 SWPPP PLAN		A6.0 CONSTRUCTION DETAILS ROOF				E6.1 ELECTRICAL DETAILS		
	C-133 SWPPP PLAN NOTES AND DETAILS		A6.1 CONSTRUCTION DETAILS DOOR / WINDOW				E6.2 ELECTRICAL DETAILS		
	C-134 SWPPP PLAN DETAILS		A6.2 CONSTRUCTION DETAILS WALL				E6.3 ELECTRICAL DETAILS		
	C-141 UTILITY PLAN		A6.3 FINISH DETAILS				E6.4 ELECTRICAL DETAILS		
	C-501 DETAILS		A6.4 CONSTRUCTION DETAILS INTERIOR				E6.5 ELECTRICAL DETAILS		
	C-502 DETAILS		A7.0 FLOOR FINISH PLAN				E7.0 ELECTRICAL DETAILS		
	C-503 DETAILS		A7.1 REFLECTED CEILING PLAN						
	C-504 DETAILS		A7.2 FINISH SCHEDULE						
	C-505 DETAILS		A8.0 INTERIOR ELEVATIONS DINING ROOM						
			A8.1 INTERIOR ELEV. ENLARGED RESTROOM & OFFICE PLAN						
			A8.2 INTERIOR ELEVATIONS KITCHEN						
			A8.3 INTERIOR ELEVATIONS KITCHEN						

#### SHEET INDEX

Mark S. Salopek, LLC

3638 West Galloway Drive  
Richfield, OH 44286  
330.802.6265 Fax: 330.572.2102

ISSUED FOR CONST. 08.09.18

- BULLETIN #1 08.15.18

CONTRACT DATE: 09.18.17  
BUILDING TYPE: EXP. LITE MED40  
PLAN VERSION: July 2017  
SITE NUMBER: 312536/445270  
STORE NUMBER: 2017088.45

TACO BELL  
PARCEL #012529302500010020  
BUENAVENTURA BLVD.  
KISSIMMEE, FL 34743



#### TITLE SHEET

# T1.0

PROJECT NO. - SDP17-0154