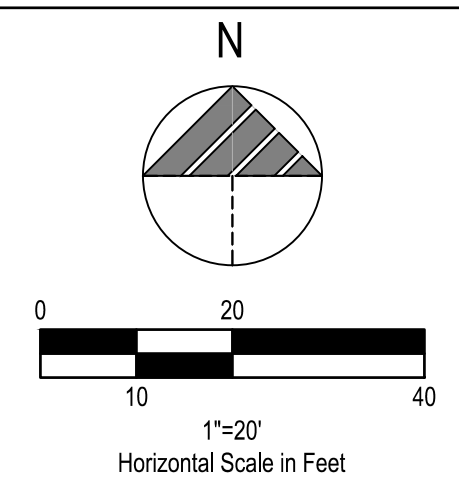




520 South Main Street, Suite 2531
Akron, OH 44311
330.572.2100 Fax: 330.572.2102



PLAN KEYNOTES (#)

- PROPOSED F.D.O.T TYPE "D" CURB, SEE SHEET C-501.
- PROPOSED CURB AT DRIVE THRU, SEE SHEET C-501.
- PROPOSED P.C.C. CURBED WALK, SEE SHEET C-501.
- PROPOSED P.C.C. WALK, SEE SHEET C-501.
- PROPOSED ON-SITE CONCRETE PAVEMENT, APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT, SEE SHEET C-502.
- PROPOSED BOLLARD IN CURB, SEE SHEET C-501.
- PROPOSED HANDICAPPED PARKING SIGN, SEE SHEET C-501.
- PROPOSED LANDSCAPING AREA, SOD ALL DISTURBED AREAS EXCEPT WHERE PLANTING BEDS ARE INDICATED, SEE SHEET L-101.
- PROPOSED PAINTED TRANSVERSE STRIPING, SEE SHEET C-501.
- PROPOSED PAINTED 4" WIDE SOLID STRIPE - WHITE ON ASPHALT, YELLOW ON CONCRETE.
- PROPOSED DIRECTIONAL PAVEMENT MARKINGS - WHITE ON ASPHALT, YELLOW ON CONCRETE PER PAVEMENT MARKINGS AND NOTES - SEE SHEET C-501.
- PROPOSED ADA PAVEMENT SYMBOL PER ADA SPECIFICATIONS AND SHEET C-501.
- PROPOSED DUMPSTER ENCLOSURE, SEE SHEET C-504.
- PROPOSED 200 S.F. MONUMENT SIGN PER SIGN SUPPLIER SPECIFICATIONS.
- PROPOSED SAMPLING STATION, SEE UTILITY PLAN AND DETAIL SHEET C-503 FOR MORE INFORMATION.
- PROPOSED CATCH BASIN PER FDOT SPECIFICATIONS, SEE SHEET C-141 FOR DESIGN INFORMATION.
- PROPOSED CROSSWALK STRIPING, PER F.D.O.T INDEX # 17346.
- PROPOSED ELECTRICAL TRANSFORMER PER ELECTRICAL COMPANY SPECIFICATIONS, G.C TO VERIFY EXACT LOCATION AND SIZE WITH UTILITY ENGINEER.
- STOP SIGN (R1-1) 24" WHITE STOP BAR (TRAFFIC PAINT).
- PROPOSED ELECTRIC METER PER ELECTRIC COMPANY SPECIFICATIONS, SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION.
- PROPOSED PROPANE TANK
- PROPOSED 10" CURB, SEE SHEET C-501.
- PROPOSED CURB TO BE DOWELED INTO EXISTING.
- PROPOSED BENCH ON CONCRETE PADS, PER CITY'S SPECIFICATIONS.
- PROPOSED BIKE RACK, SEE SHEET C-501.
- PROPOSED CARPOOL PARKING SIGN.

NOTE:

- DUMPSTER ENCLOSURE SHALL BE IN COMPLIANCE WITH LDC 4.9.7.
- CONTRACTOR TO REPAIR ANY DAMAGED EXISTING SIDEWALK WHERE PROPOSED SIDEWALK MEETS EXISTING AT NO ADDITIONAL COMPENSATION.
- THE FOLLOWING PROPOSED FACILITIES SHOWN ON THE DEVELOPMENT PLANS ARE FOR REFERENCE PURPOSES ONLY AND EACH SHALL REQUIRE A SEPARATE BUILDING PERMIT. THE LIST INCLUDES, BUT IS NOT LIMITED TO: PROPOSED BUILDINGS, SANITARY LIFT STATIONS, LIGHT FIXTURES (POLES) THAT ARE INDEPENDENT FROM ANY BUILDING STRUCTURE, FENCES, GATES, MONUMENT SIGNS, DUMPSTER ENCLOSURES, AND RETAINING WALLS.

LEGEND
(SEE SHEET C-001 FOR GENERAL LEGEND)

- PROPOSED ASPHALT PAVEMENT PER SHEET C-502.
- PROPOSED CONCRETE
- CONSTRUCTION KEYNOTE
- PROPOSED PARKING SPACE NUMBER
- PROPOSED DRIVE THRU STACK CAR AND NUMBER
- PROPOSED ADA ACCESSIBLE CURB RAMP PER ADA SPECIFICATIONS AND SHEET C-502.
- PROPOSED EXTERIOR GREASE INTERCEPTOR, SEE UTILITY PLAN FOR MORE INFORMATION
- PROPOSED ELECTRIC TRANSFORMER
- PROPOSED LIGHT POLE PER DETAIL SHEET C-501.

BUILDING SETBACKS		
	REQUIRED	PROVIDED
FRONT: BUENAVENTURA	50'	52.7'
REAR: WEST	0'	53.3'
SIDE: NORTH	15'	144.7'
SIDE: SOUTH	15'	70.1'

PARKING SETBACKS		
	REQUIRED	PROVIDED
FRONT: BUENAVENTURA	7'	46.1'
REAR: WEST	7'	38.4'
SIDE: NORTH	7'	55.5'
SIDE: SOUTH	7'	104.8'

LANDSCAPE SETBACKS		
	REQUIRED	PROVIDED
FRONT: BUENAVENTURA	0'	14.1'
REAR: WEST	0'	2.0'
SIDE: NORTH	0'	28.1'
SIDE: SOUTH	0'	1.7'

PARKING SPACES		
	REQUIRED	PROVIDED
NUMBER OF SPACES	21	28
PARKING REQUIREMENTS		
1 SPACE PER 100 SF OF FLOOR AREA		
THEREFORE: 2,054 SF / 100 = 21 SPACES REQUIRED.		

LAND USE DATA		
	% OF SITE AREA	AREA PROVIDED
BUILDING	4.49%	0.0472 AC.
PAVEMENT/IMPERVIOUS	68.98%	0.7255 AC.
LANDSCAPING	26.53%	0.2790 AC.
TOTAL	100%	1.0517 AC.

CURRENT ZONING: PD (PLANNED DEVELOPMENT)

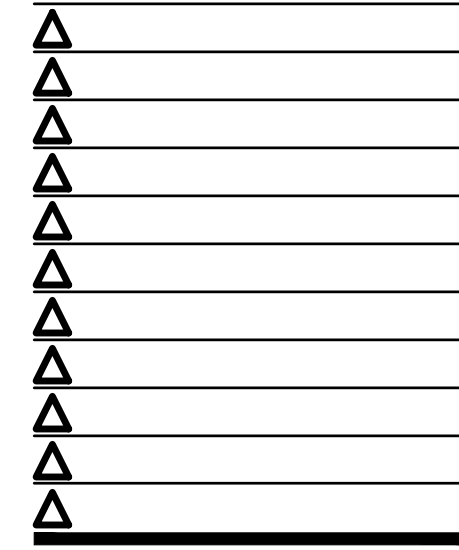


Know what's below
Call before you dig.

BENCHMARKS:

- DATUM - NAVD88
- BENCHMARK #1 - N & D. ELEVATION=84.32'
- BENCHMARK #2 - N & D. ELEVATION=86.07'
- BENCHMARK #3 - N & D. ELEVATION=84.49'

ISSUED FOR CONST. 08.09.18



CONTRACT DATE: 09.18.17
BUILDING TYPE: EXP. LITE MED40
PLAN VERSION: July 2017
SITE NUMBER: 312536/445270
STORE NUMBER: 2017088.45

TACO BELL
PARCEL # 012529302500010020
BUENAVENTURA BLVD.
KISSIMMEE, FL 34743

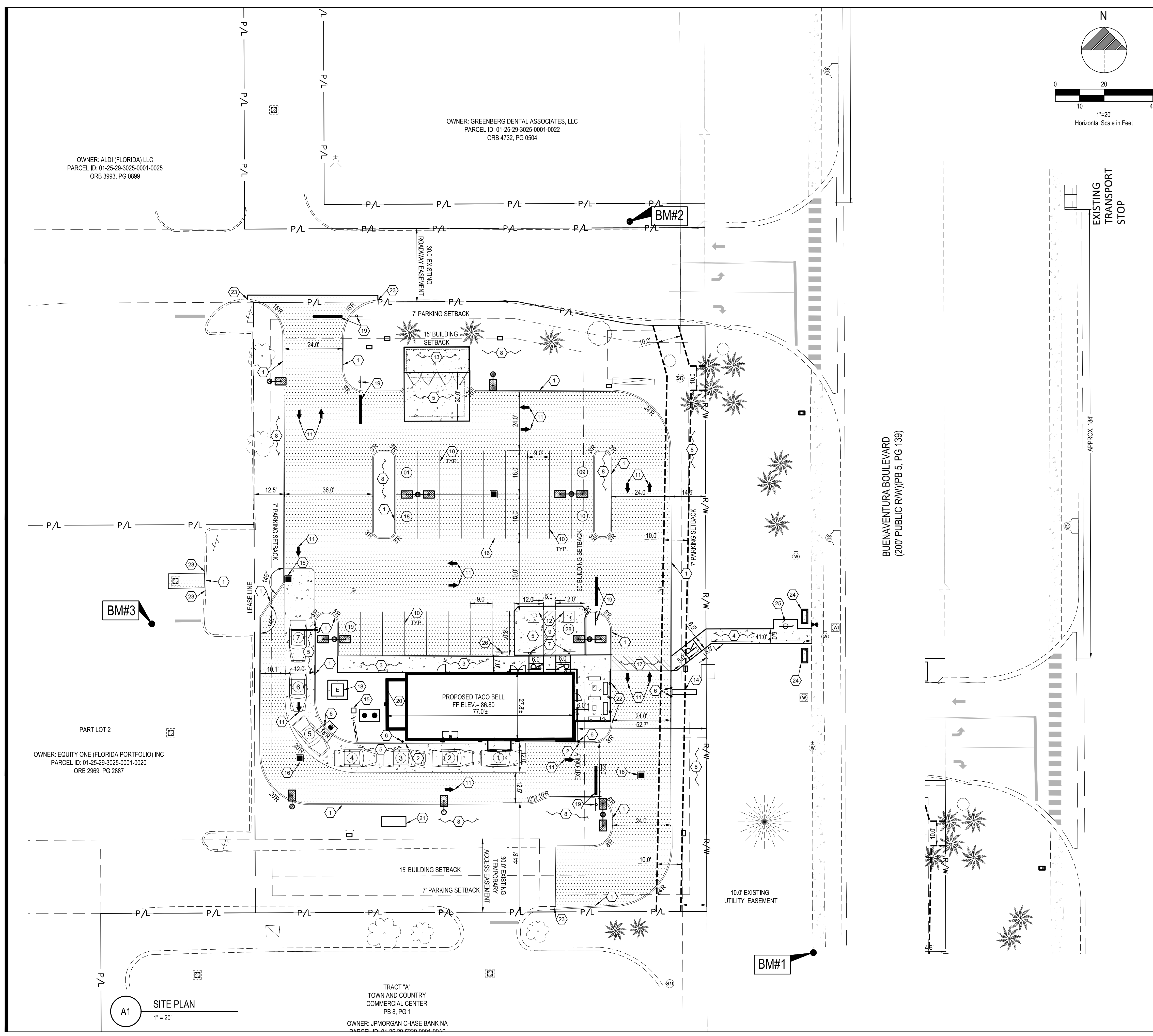


EXPLORER LITE
MEDIUM40

SITE PLAN

C-111

PROJECT NO. - SDP17-0154



A1 SITE PLAN
1" = 20'

TRACT "A"
TOWN AND COUNTRY
COMMERCIAL CENTER
PB 8, PG 1
OWNER: JPMORGAN CHASE BANK NA
PARCEL ID: 01-25-29-3025-0001-0020

OWNER: ALDI (FLORIDA) LLC
PARCEL ID: 01-25-29-3025-0001-0025
ORB 3993, PG 0899

OWNER: GREENBERG DENTAL ASSOCIATES, LLC
PARCEL ID: 01-25-29-3025-0001-0022
ORB 4732, PG 0504

PART LOT 2
OWNER: EQUITY ONE (FLORIDA PORTFOLIO) INC
PARCEL ID: 01-25-29-3025-0001-0020
ORB 2969, PG 2887