

ABBREVIATIONS

| | | | | | | | |
|-------|------------------------------|-------|---------------------------------|-------|----------------------|------|------------------------|
| AFF | ABOVE FINISHED FLOOR | FD | FLOOR DRAIN | OD | OUTSIDE DIAMETER | UN | UNLESS OTHERWISE NOTED |
| ACT | ACOUSTICAL CEILING TILE | FIN | FINISH | OPNG | OPENING | UR | URINAL |
| APP | APPROXIMATE | FLR | FLOOR | OPP | OPPOSITE | VCT | VINYL COMPOSITION TILE |
| ARCH | ARCHITECT | FT | FEET | OH | OPPOSITE HAND | VERT | VERTICAL |
| AWT | ACOUSTICAL WALL TREATMENT | FD | FLOOR DRAIN | OTO | OUT TO OUT | VT | VINYL TILE |
| BLKG | BLOCKING | FE | FIRE EXTINGUISHER | PLAS | LAM PLASTIC LAMINATE | W/ | WITH |
| B.O. | BOTTOM OF | FEC | FIRE EXTINGUISHER CABINET | PLWD | PLYWOOD | W/O | WITHOUT |
| BOT | BOTTOM | | | PS | PROJECTION SCREEN | WB | WOOD BASE |
| CAB | CABINET | GA | GAUGE | QT | QUARRY TILE | WC | WATER CLOSET |
| CAR | CARPET | GB | GRAB BAR | R | RISER | WD | WOOD |
| CJ | CONTROL JOINT | GWB | GYPSON WALLBOARD | RA | RETURN AIR | WH | WATER HEATER |
| CL | CENTER LINE | HDWR | HARDWARE | RB | RESILIENT BASE | WP | WORKING POINT |
| CMU | CONCRETE MASONRY UNIT | HM | HOLLOW METAL | REF | REFERENCE | | |
| COL | COLUMN | HORIZ | HORIZONTAL | REFR | REFRIGERATOR | | |
| CONC | CONCRETE | HVAC | HEATING, VENTILATING, AIR COND. | REQD | REQUIRED | | |
| CONST | CONSTRUCTION | HW | HOT WATER | RO | ROUGH OPENING | | |
| CONT | CONTINUOUS | | | | | | |
| CT | CERAMIC TILE | JST | JOIST | SA | SUPPLY AIR | | |
| CW | COLD WATER | JT | JOINT | SCHED | SCHEDULE | | |
| DET | DETAIL | KIT | KITCHEN | SEC | SECTION | | |
| DF | DRINKING FOUNTAIN | LAM | LAMINATE | SIM | SIMILAR | | |
| DIM | DIMENSION | LAV | LAVATORY | SPECS | SPECIFICATIONS | | |
| DRWGS | DRAWINGS | LLH | LONG LEG HORIZONTAL | SF | SQUARE FOOT | | |
| EA | EACH | LLV | LONG LEG VERTICAL | SA | SUPPLY AIR | | |
| EC | EXPOSED CEILING | MAS | MASONRY | SS | STAINLESS STEEL | | |
| EJ | EXPANSION JOINT | MAX | MAXIMUM | STD | STANDARD | | |
| EIFS | EXTERIOR INSU. FINISH SYSTEM | MB | MARKER BOARD | STL | STEEL | | |
| EL | ELEVATION | MECH | MECHANICAL | SUSP | SUSPENDED | | |
| EL | ELEVATION | MEZZ | MEZZANINE | TB | TACK BOARD | | |
| ENG | ENGINEER | MFR | MANUFACTURER | TEL | TELEPHONE | | |
| EXIST | EXISTING | MIN | MINIMUM | T.O. | TOP OF | | |
| EXP | EXPANSION | M.O. | MASONRY OPENING | TV | TELEVISION | | |
| EXT | EXTERIOR | | | TYP | TYPICAL | | |

SCOPE NOTES

IN THE EVENT OF QUESTIONS REGARDING THE CONTRACT DOCUMENTS, SPECIFICATIONS, EXISTING CONDITIONS OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO BID SUBMITTAL AND PROCEEDING WITH ANY WORK IN QUESTION.

THESE CONTRACT DOCUMENTS ARE INTENDED TO DESCRIBE ONLY THE SCOPE AND APPEARANCE OF THE REAL PROPERTY IMPROVEMENTS, INCLUDING THE PERFORMANCE AND LEVEL OF QUALITY EXPECTED OF ITS COMPONENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL WORK COMPLETED AND MATERIALS INSTALLED BE IN FULL COMPLIANCE AT A MINIMUM, WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES HAVING JURISDICTIONAL AUTHORITY OVER THE PROJECT.

THESE CONTRACT DOCUMENTS DO NOT ATTEMPT TO INSTRUCT THE CONTRACTOR IN THE DETAILS OF HIS TRADE. THEY ARE PERFORMANCE SPECIFICATIONS IN THAT THEY DO REQUIRE THAT ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT BE INSTALLED IN STRICT CONFORMANCE TO THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT. ANY MISCELLANEOUS ITEMS OR MATERIALS NOT SPECIFICALLY NOTED, BUT REQUIRED FOR PROPER INSTALLATION SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.

ALL WORK SHALL BE WARRANTED SATISFACTORY, IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR, OR FOR THE PERIOD OF WARRANTY CUSTOMARY, OR STIPULATED FOR THE TRADE, CRAFT, OR PRODUCT, WHICHEVER IS LONGER. ONLY COMPETENT MECHANICS CAPABLE OF PRODUCING GOOD WORKMANSHIP CUSTOMARY TO THE TRADE SHOULD BE USED. COMMENCING WORK BY A CONTRACTOR OR SUBCONTRACTOR CONSTITUTES ACCEPTANCE OF THE CONDITIONS AND SURFACES CONCERNED. IF ANY SUCH CONDITIONS ARE UNACCEPTABLE, THE GENERAL CONTRACTOR SHALL BE NOTIFIED IMMEDIATELY, AND NO WORK SHALL BE PERFORMED UNTIL THE CONDITIONS ARE CORRECTED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH THE PROJECT SCOPE OF WORK, BUILDING STANDARDS, SCHEDULE AND DEADLINES. THE CONTRACTOR SHALL FURTHER BE RESPONSIBLE FOR ADVISING THE OWNER OF ALL LONG LEAD ITEMS AFFECTING THE PROJECT SCHEDULE AND SHALL, UPON REQUEST FROM THE OWNER, SUBMIT ORDER CONFIRMATIONS AND DELIVERY DATES FOR SUCH LONG LEAD ITEMS TO THE OWNER.

ALL CONTRACTOR OR SUPPLIER REQUESTS FOR SUBSTITUTIONS OF SPECIFIED ITEMS SHALL BE SUBMITTED, IN WRITING, ACCOMPANIED BY THE ALTERNATIVE PRODUCT INFORMATION, TO THE ARCHITECT, NO LATER THAN TEN (10) BUSINESS DAYS, PRIOR TO BID OPENING DATE. SUBSTITUTIONS SHALL ONLY BE CONSIDERED IF THEY DO NOT SACRIFICE QUALITY, FUNCTIONALITY, APPEARANCE OR WARRANTY. UNDER NO CIRCUMSTANCES WILL THE OWNER BE REQUIRED TO ACCEPT THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OR IS NOT OF EQUAL QUALITY TO THE PRODUCT SPECIFIED.

UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR SCALE THE DRAWINGS TO DETERMINE DIMENSIONS. REFER TO PLANS, SECTIONS AND DETAILS FOR ALL DIMENSIONAL INFORMATION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL SELECTED MATERIALS WHICH SHALL BE COMPLETE IN ALL RESPECTS PRIOR TO THE FINAL ACCEPTANCE, UNLESS OTHERWISE NOTED.

THE CONTRACTOR SHALL PRESERVE ALL PRINTED INSTRUCTIONS AND WARRANTY INFORMATION THAT IS PROVIDED WITH EQUIPMENT OR MATERIALS USED, AND DELIVER SAID PRINTED MATTER TO THE OWNER AT THE TIME OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL INSTRUCT THE OWNER IN THE PROPER USE OF THE EQUIPMENT FURNISHED BY THEIR TRADE.

GENERAL CONTRACTOR SHALL PROVIDE A THOROUGH CONSTRUCTION CLEANING AT PROJECT CLOSE OUT, PRIOR TO PUNCH LIST WALK THROUGH.

THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL FABRICATED ITEMS, AND PHYSICAL SAMPLES OF ALL FINISH MATERIALS SPECIFIED TO THE ARCHITECT FOR REVIEW.

REVIEWED SHOP DRAWINGS AND SUBMITTALS BY OTHERS SHALL NOT BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR DRAWINGS, SCHEDULES, AND/OR SPECIFICATIONS FOR WORK ON THE PROJECT PREPARED BY OTHERS.

THE ARCHITECT WILL REVIEW ALL SHOP DRAWINGS, SUBMITTALS AND SAMPLES FOR CONFORMITY WITH THE CONTRACT DOCUMENTS AND RETURN THEM TO THE CONTRACTOR WITHIN SEVEN (7) WORKING DAYS EXCEPT AS MAY OTHERWISE BE PROVIDED FOR BY THE OWNER.

THE CONTRACTOR SHALL NOT REPRODUCE OR MARK UP ANY PART OF THE CONTRACT DOCUMENTS FOR SUBMITTAL AS A SHOP DRAWING. ANY SUCH SUBMITTAL WILL BE REJECTED. ANY SUBMITTAL REQUIRED TO BE REVIEWED MORE THAN THE INITIAL REVIEW AND ONE (1) ADDITIONAL REVIEW, WILL BE CONSIDERED TO BE IN EXCESS OF THE SCOPE OF THIS PROJECT. THE TIME REQUIRED FOR THIRD AND SUBSEQUENT REVIEWS OF A SUBMITTAL WILL BE PAID FOR BY THE CONTRACTOR TO THE ARCHITECT AT THE ARCHITECT'S STANDARD BILLING RATES, PLUS REIMBURSABLE EXPENSES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ANY EXISTING CONDITIONS AND ALL CRITICAL DIMENSIONS ASSOCIATED WITH THE PROPOSED WORK. THE CONTRACTOR SHALL CONFIRM THAT ALL WORK OUTLINED WITHIN THE CONTRACT DOCUMENTS CAN BE ACCOMPLISHED AS SHOWN, PRIOR TO BID OPENING. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS ENCOUNTERED WHICH MAY AFFECT BUILDING CODE COMPLIANCE, LIFE SAFETY, ISSUANCE OF CERTIFICATE OF OCCUPANCY, OR COMPLETION OF THE PROJECT AS DIRECTED IN THE CONTRACT DOCUMENTS.

NO ADDITIONAL FUNDS WILL BE APPROVED FOR WORK OMITTED FROM THE CONTRACTOR'S BID DUE TO LACK OF VERIFICATION BY THE CONTRACTOR, EXCEPT AS OTHERWISE APPROVED BY THE OWNER FOR WORK ASSOCIATED WITH HIDDEN CONDITIONS WHICH ARE NOT ACCESSIBLE PRIOR TO CONSTRUCTION.

SYMBOLS

- (NOT ALL MAY APPLY)
- # KEYED NOTE REFER TO SHEET WHERE SHOWN.
- ◇ WINDOW OR GLAZED OPENING TAG. SEE SCHED. IF WINDOW - WT, IF STOREFRONT - SF?, IF CURTAINWALL - CW?
- ID ACCESSORY TAG. SEE ENLARGED TOILET PLANS.
- XXXX BUILDING SECTION CUT.
- XXXX ELEVATION TAG - INTERIOR OR EXTERIOR.
- X/XXX SECTION CUT AT AREAS SHOWN SMALL SCALE
- X/XXX ENLARGED PLAN.
- XXXX ELEVATION TARGET. FINISH FLOOR = ASSUMED 0'-0" U.O.N.
- xxx FINISH TAG. REFER TO LEGEND
- ⊕ REVISION
- N PLAN OR TRUE NORTH
- ⊗ BATT INSULATION; WIDTH OF FRAMING U.O.N.
- ROOM NAME ROOM TAG. REFER TO ROOM FINISH SCHEDULE
- 100 DOOR WITH DOOR NUMBER.
- WINDOW OR GLAZED OPENING
- WH HB WALL HYDRANT IF EXTERIOR HOSE BIB IF INTERIOR
- METAL STUD FRAMED WALL. REFER TO INDEX SHEET FOR INFO.
- CMU WALL. REFER TO SECTIONS AND DETAILS
- BRICK WALL. REFER TO SECTIONS AND DETAILS
- EIFS OVER SUBSTRATE. REFER TO SECTIONS FOR WIDTH AND PROFILE.
- EXISTING DOOR. REFER TO DOOR SCHEDULE
- EXISTING FRAMED WALL
- EXISTING WINDOW WITH SILL AND/OR STOOL.
- DEMO'D DOOR.
- DEMO'D WALL.
- W1 WALL TYPE
- 12" WALL HEIGHT IF DESIGNATED ON PLANS. IF NOT, SEE WALL TYPES THIS SHEET.

CODE ANALYSIS

NOTES

THE PURPOSE OF THIS PROJECT IS TO UPDATE FINISHES TO NEW CORPORATE STANDARDS AND TO UPGRADE CUSTOMER ADA ACCESS AT RESTROOM AREAS. THE PROJECT DOES NOT RESULT IN A CHANGE OF USE OR OCCUPANCY. THE ORIGINAL BUILDING WAS CONSTRUCTED IN COMPLIANCE WITH CODES IN EFFECT AT THAT TIME.

CURRENT APPLICABLE CODES

- BUILDING CODE 2015 MICHIGAN BUILDING CODE
- PLUMBING CODE 2015 MICHIGAN PLUMBING CODE
- ELECTRICAL CODE 2014 NATIONAL ELECTRIC CODE
- MECHANICAL CODE 2015 MICHIGAN MECHANICAL CODE
- ENERGY CONSERVATION CODE 2015 MICHIGAN ENERGY CODE
- HANDICAPPED ACCESSIBILITY CODE ICC/ANSI A-117.1, 2009

OCCUPANCY

CLASSIFICATION (302.1): A-2 (UNCHANGED)

ACCESSORY USES (508.3.1): NONE

NON-SEPARATED USES (508.3.2): NONE

SEPARATED USES (508.3.3): NONE

CONSTRUCTION

CLASSIFICATION (602): V-B

BUILDING SIZE

EXISTING BUILDING SIZE: 4539 SF

REDUCED BUILDING SIZE: 4452 SF

OCCUPANCY CALCULATIONS (UNCHANGED)

DINING ROOM (1/2 SF NET) 1309/5=87

MEETING ROOM (1/2 SF NET) 617/100=7

KITCHEN (1/2 SF GROSS) 1784/200=9

TOTAL CALCULATED OCCUPANCY 103

TOTAL ACTUAL SEATS TBD

UNDERSIDE OF ROOF DECK

B.O. STRUCTURE

2x4 WOOD STUDS AT 4'-0" O.C. MAXIMUM SPACING. EXTEND TO UNDERSIDE OF STRUCTURE ABOVE, STAGGER SUPPORTING STUDS.

CEILING LINE

SEE REFLECTED CEILING PLAN FOR HEIGHT.

2x4 WOOD STUDS @ 16" O.C. WITH ONE LAYER OF 5/8" GYPSON BOARD @ EACH SIDE. EXTEND GYP BD TO MIN OF 4" ABOVE ADJACENT CEILING LINE.

PROVIDE SOUND BATTS INSULATION TO MATCH WALL WIDTH AT WALL TYPE W1A ONLY.

TYPE W1 TYPE W1A FIN. FLOOR

WALL TYPE GENERAL NOTES

NOTE: WALL HEIGHT AS MARKED ON PLANS IN CONJUNCTION WITH WALL TYPE SYMBOL WILL SUPERCEDE WALL HEIGHTS AS SHOWN ABOVE. SEE SYMBOLS LEGEND THIS SHEET.

USE MOLD AND MILDEW RESISTANT GYPSON WALLBOARD ON ALL PLUMBING WALLS. USE 5/8" CEMENT BOARD INSTEAD OF GYP BOARD BEHIND ALL TILE FINISHES.

REFER TO ROOM FINISH SCHEDULE FOR ALL FINISH SELECTIONS; CEILING TYPES AND HEIGHTS; AND TYPES, SIZES AND LOCATIONS ETC.

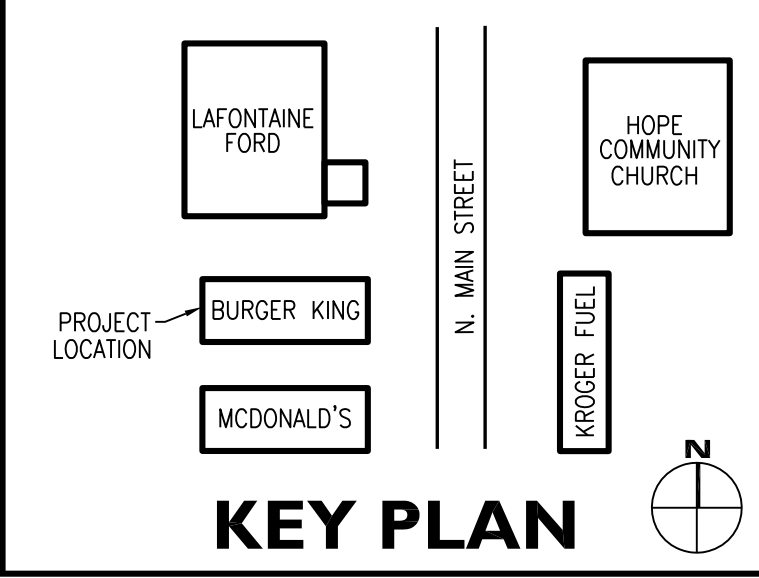
PROVIDE DEEP LEG DEFLECTION TRACK AT TOP OF ALL METAL STUD WALLS WHERE STUDS EXTEND TO UNDERSIDE OF ROOF DECK OR STRUCTURE ABOVE.

BRACE METAL STUD WALLS TO TOP OF STRUCTURAL STEEL ELEMENTS-ABOVE CEILING PLANE. COORDINATE REQUIRED BRACE SPACING WITH STRUCTURAL ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

WALL TYPES NO SCALE

DRAWINGS

- INDEX SHEET
- ARCHITECTURAL
- AS1.1 ARCHITECTURAL SITE PLAN
- AS1.2 DRIVE THRU EQUIP. DETAILS
- D1.1 DEMOLITION FLOOR PLAN
- D1.2 DEMOLITION CEILING PLAN
- A1.1 FLOOR PLAN AND DETAILS
- A1.1a RESTROOM PLAN
- A1.2 CEILING PLAN
- A2.1 DEMOLITION ELEVATIONS
- A2.2 NEW ELEVATIONS
- A2.3 MATERIAL SCHEDULE
- A3.1 DEMOLITION AND NEW ROOF PLANS
- A4.1 WALL SECTIONS
- A4.2 WALL SECTIONS
- A4.3 WALL SECTIONS
- A4.4 WALL SECTIONS
- A4.5 WALL SECTIONS
- A4.6 WALL SECTIONS
- A5.1 DETAILS
- A6.1 DOOR SCHEDULE



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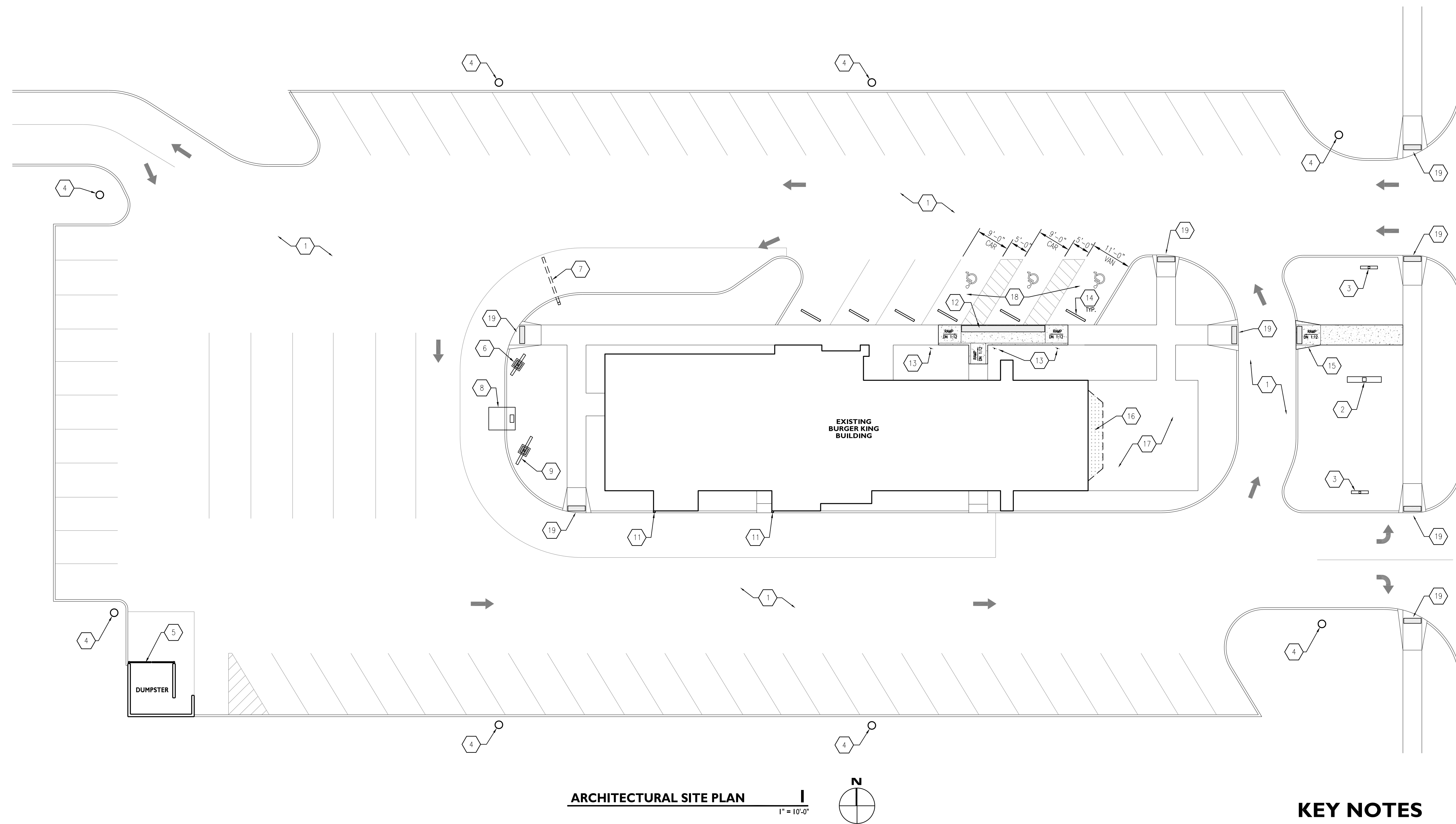
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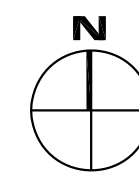
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INDEX SHEET

INDEX



ARCHITECTURAL SITE PLAN
1" = 10'-0"



KEY NOTES

- | | |
|--|---|
| <ul style="list-style-type: none"> 9 EXISTING MENUBOARD TO REMAIN. PAINT FRAME AND CABINET BLACK. LANDSCAPE CONTRACTOR TO INSTALL NEW DECORATIVE MASONRY RETAINING BLOCK BASE AND FILL WITH MULCH AT EXISTING MENU BOARD SIGN BASE. 10 NOT USED. 11 REMOVE EXISTING BOLLARDS AT DRIVE-THRU WINDOW AND AT OCU CANOPY. 12 PROVIDE NEW CURB RAMP WITH DETECTABLE WARNING SURFACE. REFER TO DETAIL 4/AS1.2. 13 PROVIDE NEW HANDICAPPED PARKING SIGNAGE. 14 NEW CONCRETE WHEEL STOPS. 15 PROVIDE NEW CONCRETE SIDEWALK WITH RAMP CONNECTING TO EXISTING CONCRETE SIDEWALK. 16 AT AREA OF FORMER GREENHOUSE, PROVIDE LANDSCAPING OR CONCRETE AS DIRECTED BY OWNER. 17 COORDINATE WITH OWNER FOR SCOPE OF WORK AT EXISTING CONCRETE SLAB OUTDOOR DINING SPACE. 18 REGRADE ADA PARKING SPACES AND LOADING ZONE WITH NEW 6" CONCRETE AS REQUIRED TO MAX 2% CROSS SLOPE IN ANY DIRECTION. FLARE SIDES TO MEET EXISTING ASPHALT. 19 ADD DETECTABLE WARNING SURFACE TO ALL EXISTING CURB RAMP. REFER TO DETAIL 4/AS1.2 FOR DETAILS. | <ul style="list-style-type: none"> 1 COORDINATE WITH OWNER FOR PARKING LOT WORK TO DETERMINE IF CRACK SEAL, SEALCOAT OR STRIPING IS REQUIRED. 2 EXISTING PYLON SIGN. PAINT POLE BLACK AND COORDINATE WITH OWNER FOR ADDITIONAL SCOPE OF WORK TO REPAIR OR REPLACE SIGN FACES. 3 REPAIR EXISTING SITE DIRECTIONAL SIGNAGE AS REQUIRED. PAINT CABINETS BLACK AND INSTALL NEW SIGN FACES. 4 PAINT EXISTING LIGHT POLES AND HEADS BLACK. CHECK FUNCTIONALITY AND REPLACE LAMPS AS REQUIRED. 5 EXISTING DUMPSTER ENCLOSURE. REPAIR MASONRY WALLS OF ENCLOSURE AND TUCKPOINT AS REQUIRED. PAINT WALLS TO MATCH BUILDING AND PROVIDE ALUMINUM COPING. STRAIGHTEN AND REPAIR OR REPLACE STEEL GATE FRAME AS REQUIRED. PROVIDE COMPOSITE WOOD GATE FACES EQUAL TO TREX AND PAINT BLACK. PAINT EXISTING BOLLARDS BLACK. 6 EXISTING PREVIEW BOARD TO REMAIN. LANDSCAPE CONTRACTOR TO INSTALL NEW DECORATIVE MASONRY RETAINING BLOCK BASE AND FILL WITH MULCH AT EXISTING MENU BOARD SIGN BASE. 7 REMOVE EXISTING CLEARANCE BAR, POLE AND FOUNDATION. 8 PROVIDE NEW OCU & CANOPY AT EXISTING ORDERING STATION LOCATION. PROVIDE NEW CANOPY FOUNDATION AS SHOWN ON DETAILS ON ASI.2. |
|--|---|



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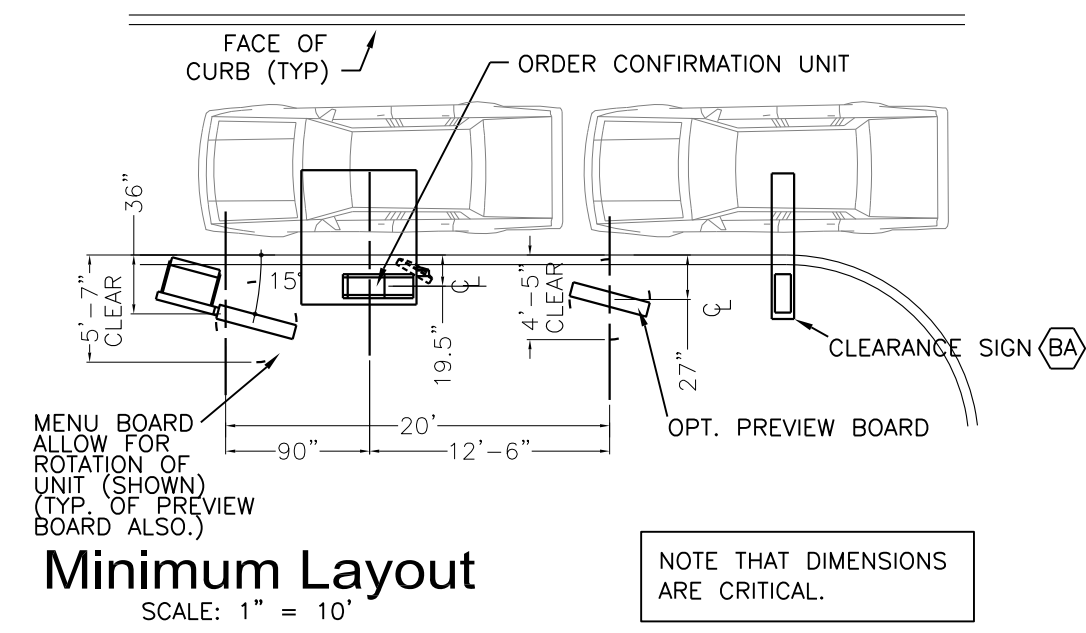
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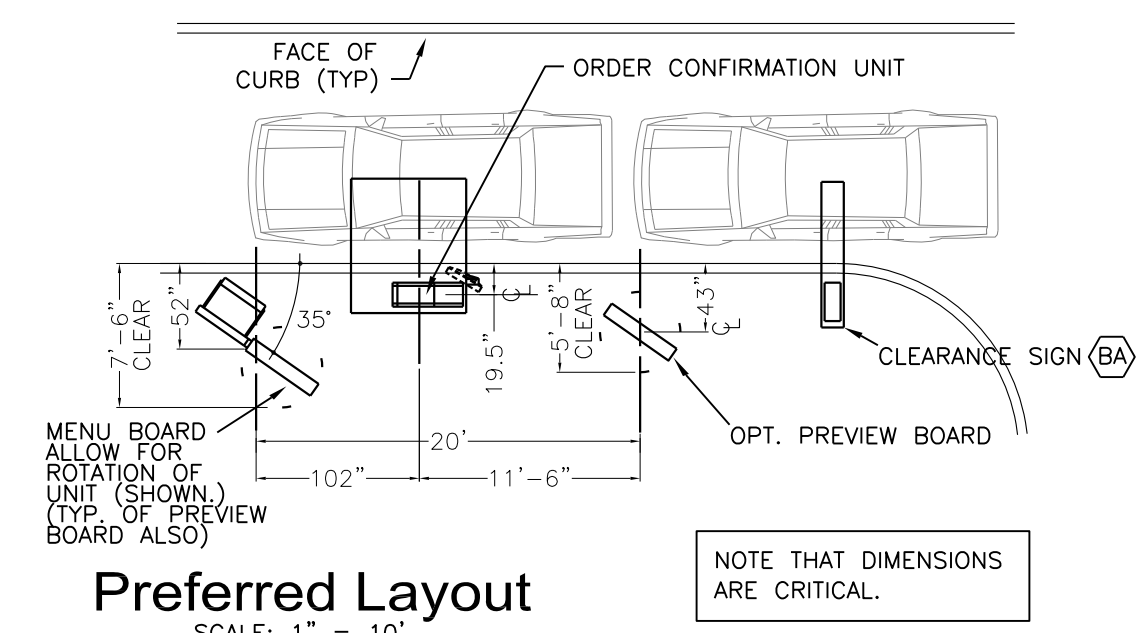
ARCHITECTURAL
SITE PLAN

ASI.1

NOTE: THE PREFERRED LAYOUT SHOULD BE USED WHENEVER SPACE ALLOWS. ANGLES BETWEEN THE PREFERRED LAYOUT AND MINIMUM LAYOUT ARE ACCEPTABLE AS LONG AS:
 (1) THE DISTANCES FROM THE CENTERLINES OF THE SUPPORT POLES OF THE MENU BOARD AND PREVIEW BOARD TO THE FACE OF CURB ARE REDUCED BY 4" FOR EVERY 5 DEGREES OF ROTATION, AND
 (2) THE DISTANCE FROM THE CENTERLINE OF THE ORDER CONFIRMATION UNIT AND THE CENTERLINE OF THE MENU BOARD IS REDUCED BY 3" FOR EVERY 5 DEGREES OF ROTATION.
 THE CENTERLINE OF MENU BOARD TO CENTERLINE OF PREVIEW BOARD REMAINS AT 20".

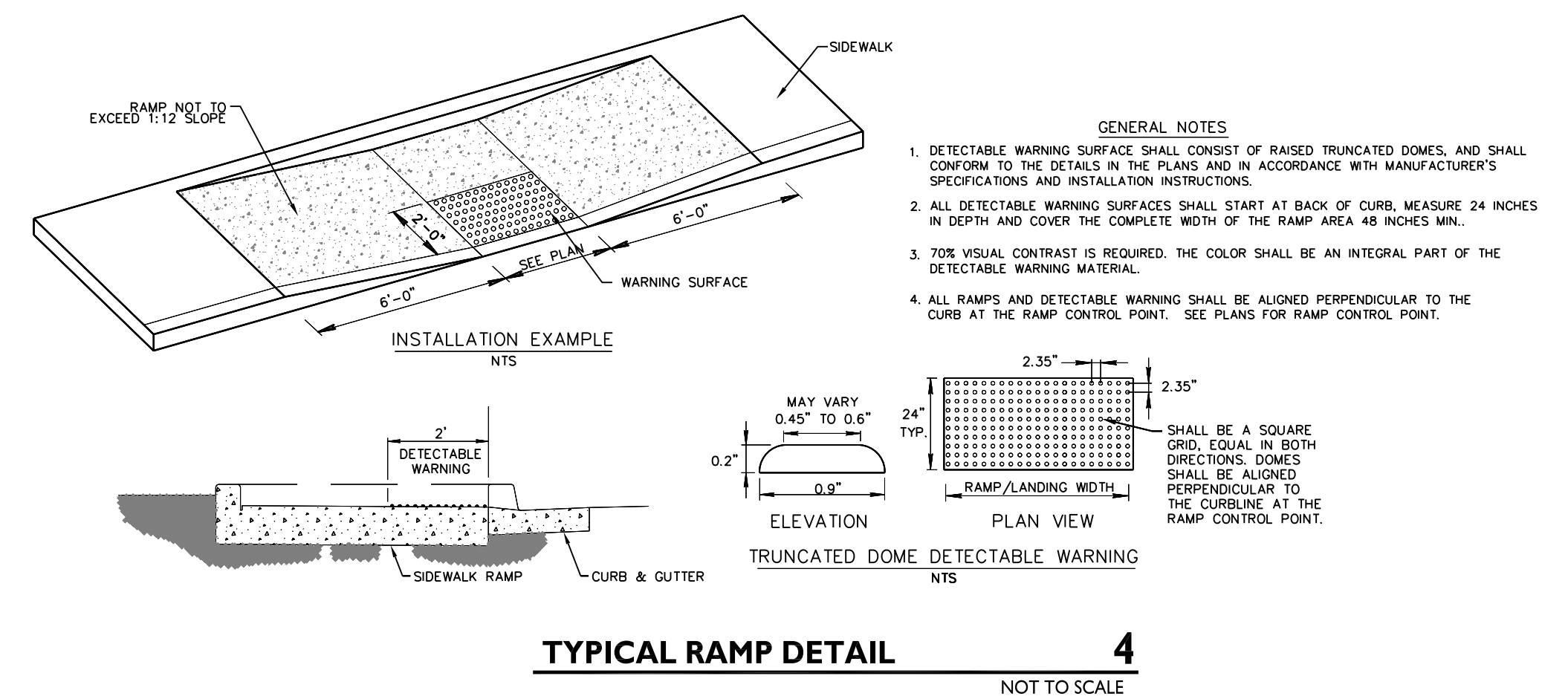
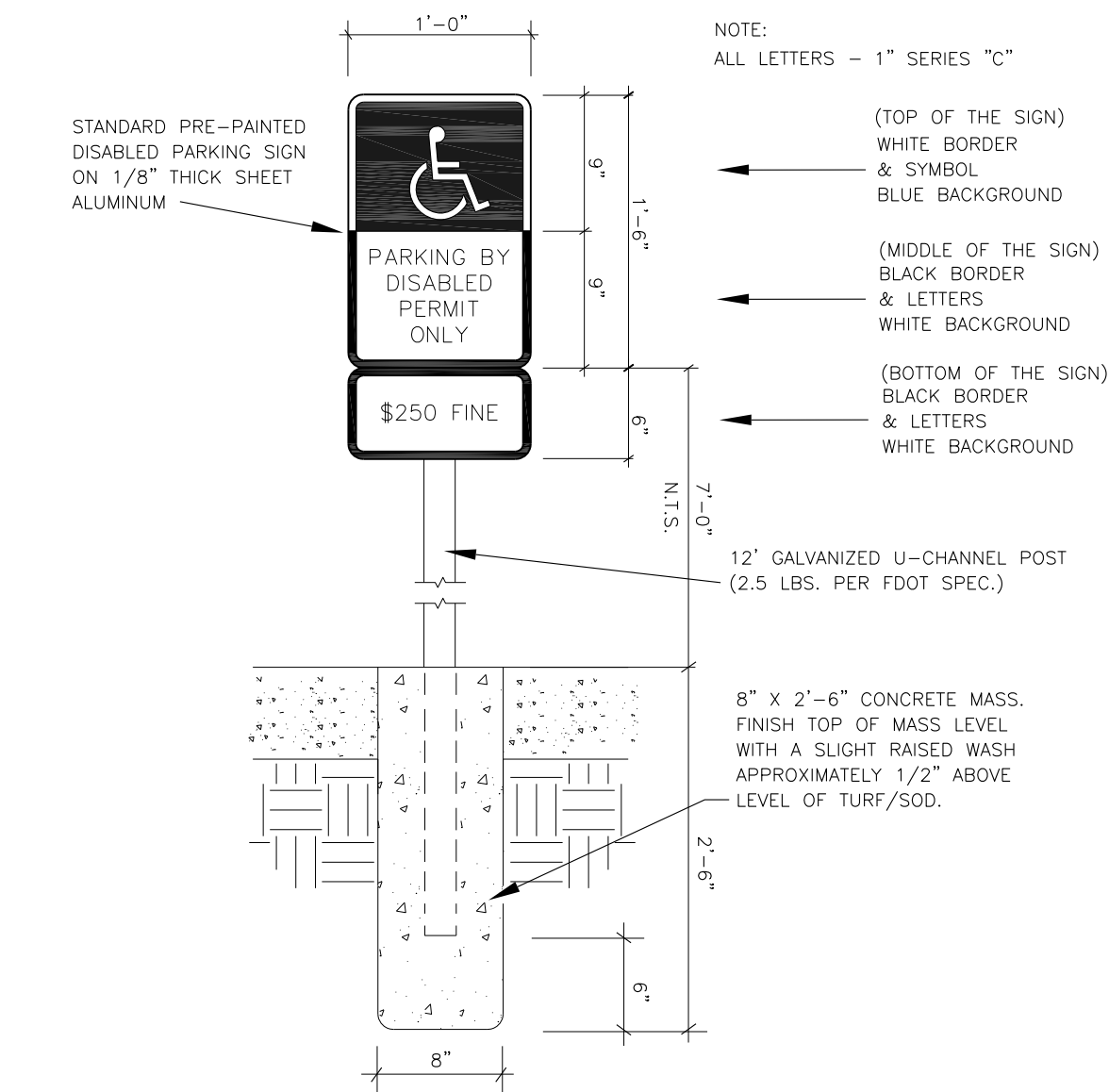
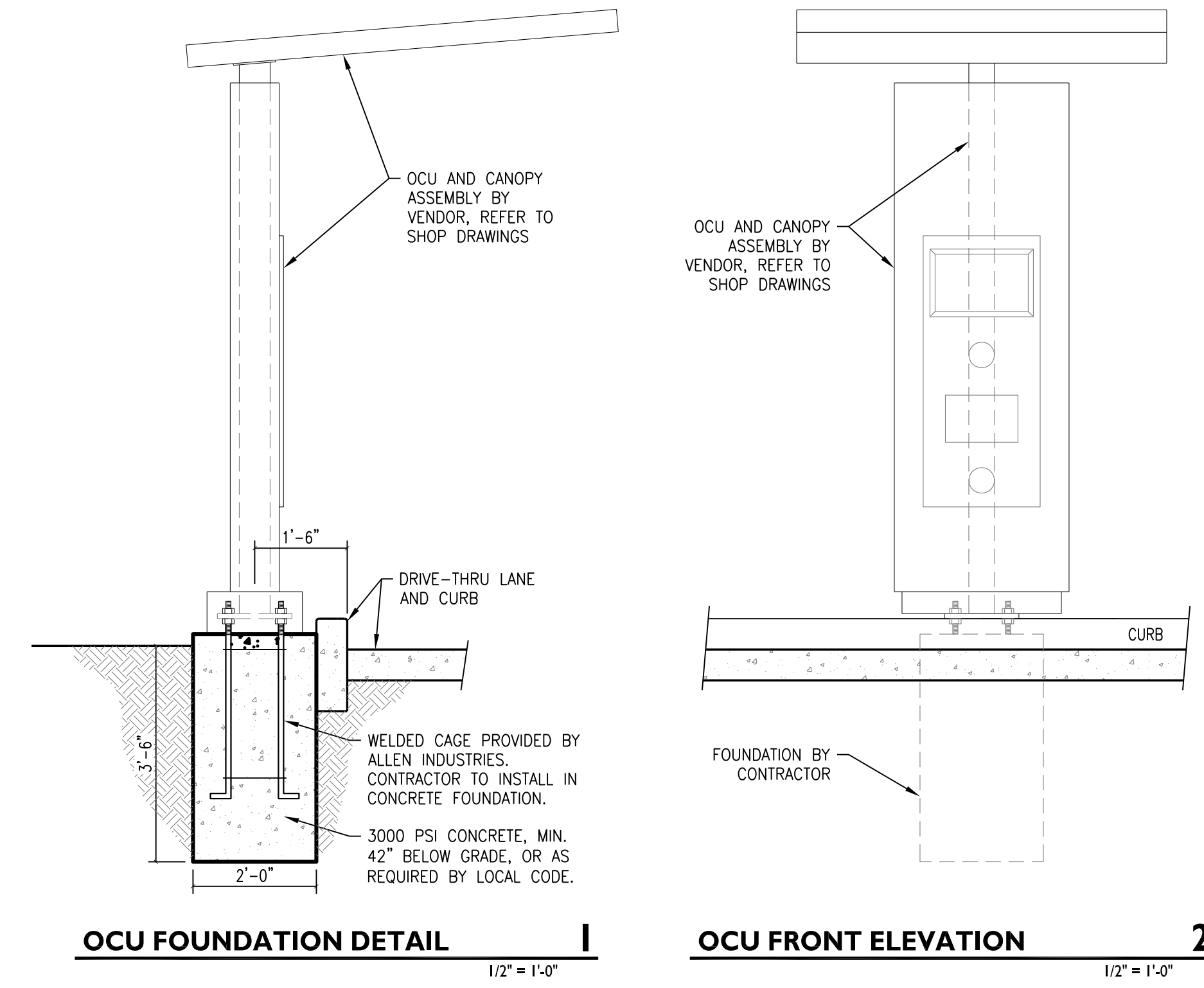


NOTE THAT DIMENSIONS ARE CRITICAL.



NOTE THAT DIMENSIONS ARE CRITICAL.

TYPICAL D/T EQUIPMENT LAYOUT 5
 NOT TO SCALE



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SITE DETAILS

ASI.2



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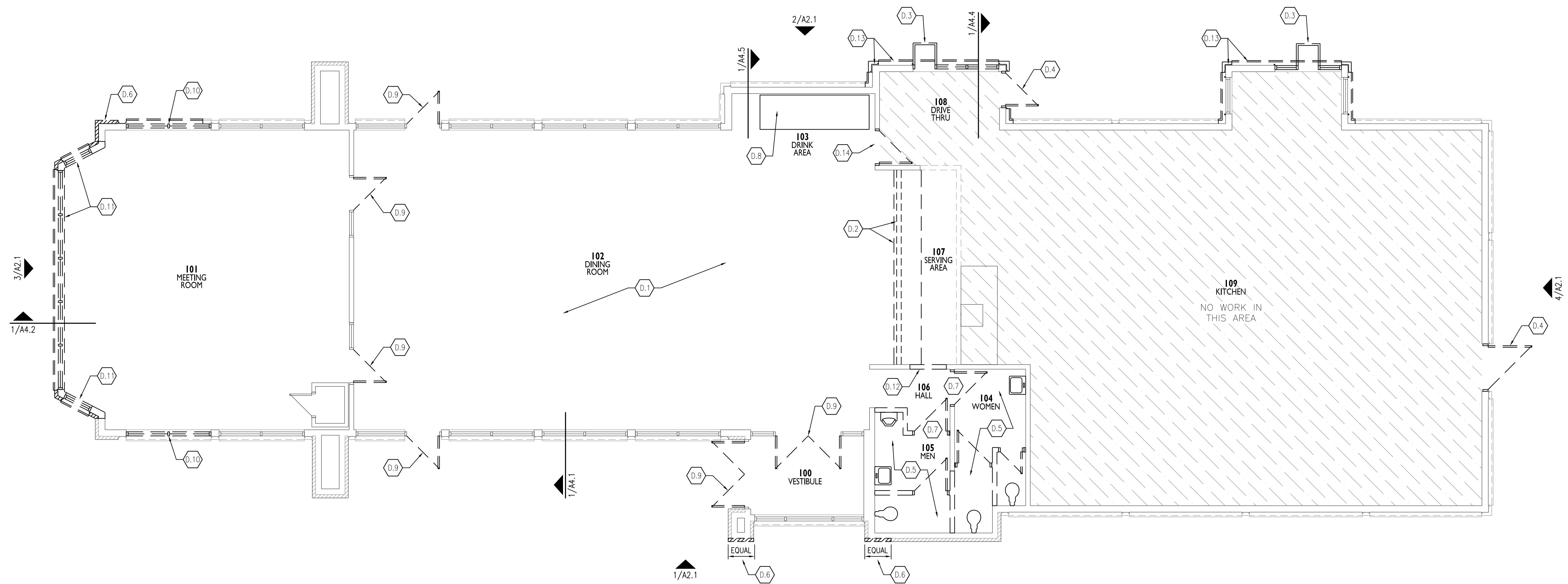
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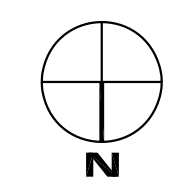
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DEMOLITION FLOOR PLAN

DI.1



DEMOLITION FLOOR PLAN 1/316" = 1'-0"

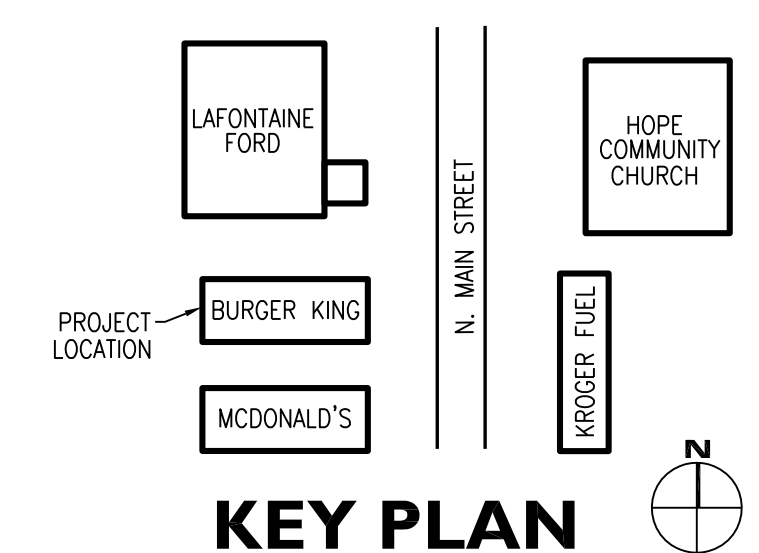


DEMO KEY NOTES

- D.1 DINING AND MEETING ROOMS: REMOVE EXISTING WALL FINISHES (INCLUDING WAINSCOTING). PREP SURFACES TO RECEIVE NEW FINISHES. COORDINATE WITH INTERIOR DECOR DWGS FOR NEW FINISH SELECTIONS. REMOVE EXISTING TABLE PARTITIONS AND PROVIDE NEW LAYOUT PER INTERIOR DECOR DRAWINGS. REMOVE EXISTING TILE FLOOR FINISH INCLUDING ALL EXISTING THINSET MORTAR DOWN TO ORIGINAL CONCRETE SLAB AND PREP SLAB TO RECEIVE NEW TILE FINISH.
- D.2 REMOVE EXISTING COUNTERTOP AND KNEEWALL BELOW. COORD. WITH FLOOR PLAN FOR NEW COUNTER TO BE INSTALLED AT 34" AFF MAX.
- D.3 REMOVE EXISTING DRIVE-THRU WINDOW. COORDINATE WITH OWNER FOR NEW SLIDING D/T WINDOW REQUIREMENTS.
- D.4 REMOVE EXISTING HOLLOW METAL DOOR AND FRAME. PREP OPENING TO RECEIVE NEW DOOR, FRAME AND HARDWARE. VERIFY OPENING SIZE IN FIELD.
- D.5 REMOVE ALL EXISTING FINISHES, FIXTURES, ACCESSORIES AND COMPARTMENT DOORS AND WALLS AS SHOWN IN RESTROOMS. REMOVE EXISTING GYPSUM BOARD AND REPLACE WITH TILE BACKER BOARD. PREP ALL SURFACES TO RECEIVE NEW FINISHES AS SCHEDULED. PREP PLUMBING ROUGH-INS FOR FIXTURES IN LOCATIONS AS SHOWN ON NEW FLOOR PLANS.
- D.6 REMOVE PORTION OF BRICK VENEER AS REQUIRED TO ALLOW FOR NEW TOWER WALL FRAMING AND FINISHES. COORDINATE WITH WALL ELEVATIONS FOR EXTENTS.
- D.7 REMOVE EXISTING DOORS AND FRAMES. PREP OPENINGS FOR NEW DOORS AND FRAMES.
- D.8 COORDINATE WITH OWNER FOR ANY WORK AT EXISTING DRINK STATION.
- D.9 REMOVE EXISTING ALUMINUM STOREFRONT DOOR AND HARDWARE. FRAME TO REMAIN. PREP FRAME TO RECEIVE NEW DOOR AND HARDWARE.
- D.10 REMOVE EXISTING STOREFRONT GLAZING PANEL AND FRAMING. PREP OPENING FOR NEW STOREFRONT AND/OR WALL AS SHOWN ON FLOOR PLAN.
- D.11 REMOVE EXISTING GREENHOUSE FRAMING, GLAZING AND WALL BELOW. REMOVE PORTION OF SLAB AS REQUIRED FOR NEW WALL AND FOUNDATION.
- D.12 REMOVE PORTION OF EXISTING WALL TO ALLOW FOR NEW DOOR.
- D.13 REMOVE EXISTING BRICK, TRIM AND SIDING AROUND DRIVE-THRU WINDOWS TO ALLOW FOR NEW FRAMING. REFER TO ELEVATIONS.
- D.14 REMOVE EXISTING DOOR AND FRAME. PREP OPENING FOR NEW WALL INFILL.

GEN. DEMO NOTES

1. DASHED LINES INDICATE EXISTING ITEMS TO BE REMOVED. UNLESS NOTED OTHERWISE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ALL DEMO ITEMS.
2. DEMOLITION SHALL BE DONE WITH OUT DAMAGE TO EXISTING CONSTRUCTION TO REMAIN. WHERE SUCH DAMAGE OCCURS PATCH, REPAIR, OR RESTORE WALLS, FLOORS, CEILINGS, ETC. TO MATCH EXISTING. PROVIDE SHORING, BRACING, OR SUPPORT AS REQUIRED TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING CONSTRUCTION.
3. REMOVE ALL EXISTING CONSTRUCTION, ITEMS AND FINISHES MADE OBSOLETE BY, OR IN CONFLICT WITH NEW CONSTRUCTION- VERIFY WITH ARCH. REMOVE WIRING BACK TO SOURCE AT ALL OUTLETS ETC. MADE OBSOLETE BY WALL REMOVAL OR ANY OTHER NEW CONSTRUCTION.
4. WHERE EXISTING WALLS, BULKHEADS, OR FINISHES ARE REMOVED OR PARTIALLY DEMOLISHED, EACH TRADE SHALL BE RESPONSIBLE FOR PATCHING OR REFINISHING OF EXISTING CONSTRUCTION REQUIRED BY THAT TRADES WORK ON THIS PROJECT. THIS WORK MUST BE DONE IN A MANNER WHICH WILL ACCEPT NEW FINISHES.
5. ALL CONTRACTORS ARE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF CEILING GRID AND/OR TILES IN ANY AREA WHERE THEY NEED ACCESS AND THE EXISTING CEILING IS TO REMAIN. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL REPLACE ANY CEILING TILES OR GRID DAMAGED IN THE PROCESS.
6. CONTRACTOR MUST FIELD VERIFY ALL AREAS AND/OR WORK TO BE DEMOLISHED PRIOR TO BEGINNING WORK. CONTRACTOR MUST COORDINATE WITH ARCHITECT ANY DIFFERENCES BETWEEN FIELD VERIFIED CONDITIONS AND/OR CONSTRUCTION, AND WHAT IS SHOWN ON DEMOLITION DRAWINGS.
7. PRIOR TO BEGINNING DEMOLITION, DUST CONTROL BARRIERS SHALL BE CONSTRUCTED TO PREVENT THE SPREAD OF DUST INTO SURROUNDING AREAS.
8. EXITING FROM STRUCTURE, IF REQ'D TO PASS THROUGH DEMOLITION AREAS, SHALL HAVE APPROVED BARRIERS ETC., TO INSURE PUBLIC SAFETY.
9. REMOVE AND REINSTALL ALL EQUIPMENT OR CONSTRUCTION ON WALLS REQUIRING NEW FINISHES.
10. REFINISH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH. REFINISH ENTIRE ASSEMBLIES. CONTINUOUS SURFACES WILL BE TAKEN TO THE NEAREST INTERSECTION.
11. REMOVE ALL DIRT, DUST, DEBRIS ETC. DAILY. DO NOT ALLOW REFUSE TO BLOCK CORRIDORS, STAIRS, OR ANY OTHER TRAFFIC AREA.
12. IT IS ESSENTIAL THAT THE CLIENT BE ABLE TO FUNCTION AS NORMAL AS POSSIBLE IN AREAS ADJACENT TO RENOVATION OR NEW CONSTRUCTION.
13. ALL ABANDONED PLUMBING LINES TO BE CAPPED OFF AND TERMINATED BELOW FINISH FLOOR. TERMINATED BELOW FINISH FLOOR.





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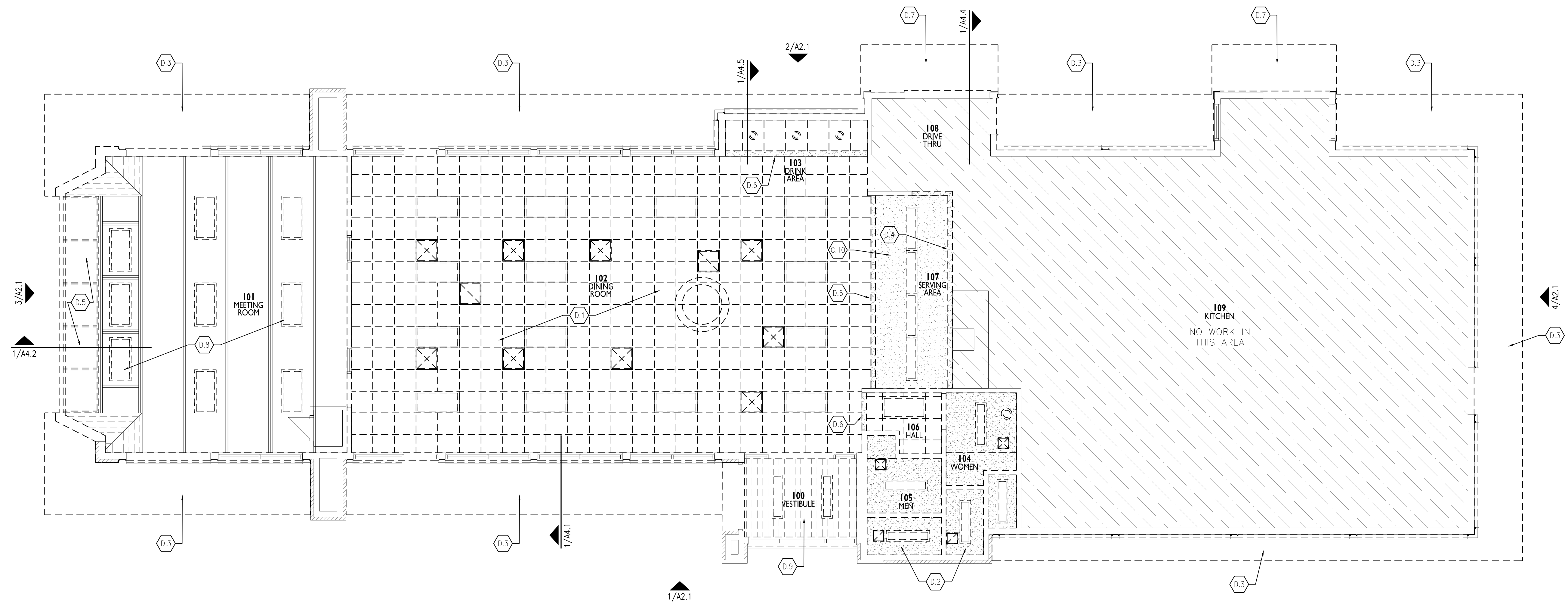
ISSUE DATES

FOR CONSTRUCTION 06-13-2018

PROJECT NUMBER: 180081

DEMOLITION
CEILING PLAN

D1.2



DEMOLITION FLOOR PLAN

3/16" = 1'-0"

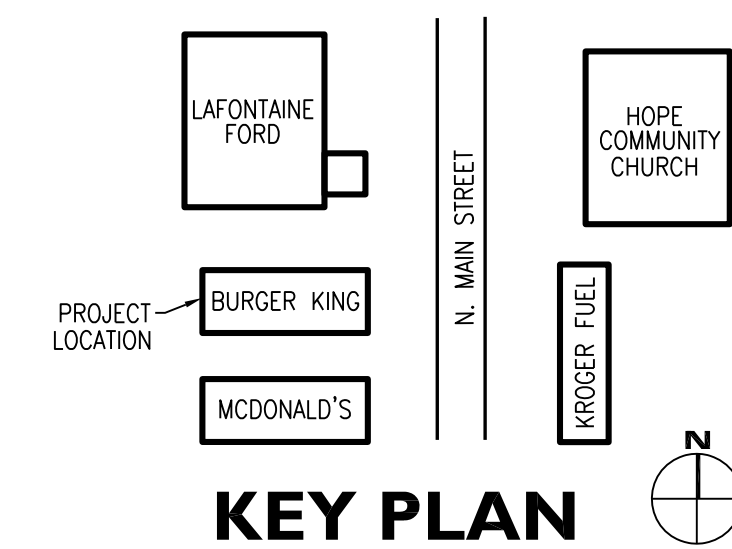


DEMO KEY NOTES

- D.1 DINING ROOM, DRINK AREA AND HALL; REMOVE EXISTING CEILING GRID, TILES, LIGHT FIXTURES, SUPPLY DIFFUSERS AND RETURN GRILLES. NEW CEILING GRID, TILES, LIGHTS, DIFFUSERS AND GRILLES TO BE PROVIDED TO MATCH EXISTING QUANTITIES AND LAYOUT AS SHOWN.
- D.2 RESTROOMS; EXISTING GYP BOARD CEILING TO REMAIN. REMOVE EXISTING LIGHT FIXTURES AND PREP TO RECEIVE NEW LIGHT FIXTURES AS SHOWN ON CEILING PLAN. PATCH CEILING AS REQUIRED WHERE WALLS ARE BEING RELOCATED.
- D.3 REMOVE EXISTING MANSARD ROOFING SYSTEM AND TRUSSES COMPLETELY TO EXTENTS SHOWN.
- D.4 REMOVE EXISTING DIGITAL MENUBOARDS AS REQUIRED FOR INSTALLATION OF NEW FINISHES ON EXISTING BULKHEAD.
- D.5 REMOVE EXISTING GREENHOUSE FRAMING AND GLAZING.
- D.6 EXISTING BULKHEAD, MODIFY AS REQUIRED FOR NEW BULKHEAD DESIGN AND PREP TO RECEIVE NEW PAINTED OR TILE FINISH PER DECOR DRAWINGS.
- D.7 REMOVE EXISTING CANOPIES AND FRAMING. REFER TO WALL SECTIONS FOR ADDITIONAL DETAIL.
- D.8 MEETING ROOM; REMOVE EXISTING HANGING LIGHT FIXTURES IN OPEN CEILING. PREP CENTRAL RTU SUPPLY/RETURN FOR NEW FLEX DUCT AND DIFFUSERS AND GRILLES. REFER TO CEILING PLAN.
- D.9 VESTIBULE; REMOVE EXISTING WOOD SIDING CEILING FINISH AND PREP FOR NEW GYPSUM BOARD CEILING. REFER TO CEILING PLAN.
- D.10 SERVING AREA; REMOVE EXISTING GYPSUM CEILING SYSTEM. VERIFY CLEARANCE ABOVE TO ALLOW CEILING TO BE RAISED. COORDINATE ANY CONFLICTS WITH ARCHITECT. REFER TO CEILING PLAN FOR NEW HEIGHT.

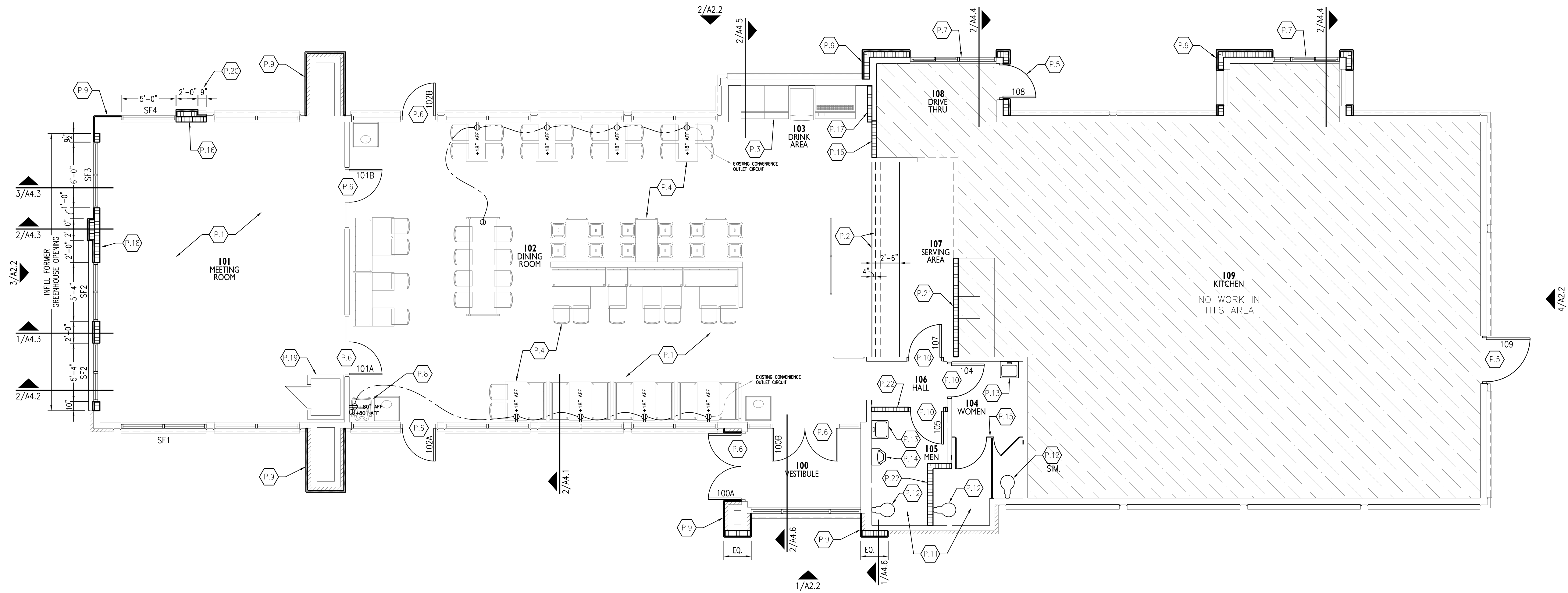
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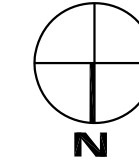


KEY PLAN





FLOOR PLAN
3/16" = 1'-0"



PLAN KEY NOTES

- P.1 PROVIDE NEW TILE FLOOR THROUGHOUT DINING ROOM. PROVIDE NEW WALL FINISHES PER INTERIOR DECOR PLANS. COORDINATE WITH OWNER AND SEATING/DECOR PLAN FOR REQUIRED POWER AND DATA OUTLETS AT SEATING AREAS AND TV LOCATIONS.
- P.2 NEW COUNTERTOP INSTALLED AT 34" AFF MAX. PROVIDE FRP FINISH ON BACK SIDE OF WALL BELOW COUNTER. SEE ENLARGED COUNTER DETAIL FOR LOCATIONS OF GROMMETS AND SUPPORT LEGS.
- P.3 COORDINATE WITH OWNER FOR ANY WORK AT DRINK STATION.
- P.4 NEW DINING ROOM FURNITURE PACKAGE BY DECOR VENDOR. SEE DECOR DRAWINGS FOR SIZES AND LOCATIONS.
- P.5 NEW HOLLOW METAL DOOR, FRAME AND HARDWARE. SEE DOOR SCHEDULE. PAINT AS SHOWN ON EXTERIOR ELEVATIONS.
- P.6 NEW STOREFRONT DOORS AND HARDWARE IN EXISTING FRAMES. FINISH TO MATCH EXISTING.
- P.7 NEW SLIDING DRIVE-THRU WINDOW, COORDINATE WITH OWNER.
- P.8 COORDINATE TELEVISION LOCATION WITH DECOR DRAWINGS.
- P.9 NEW EXTERIOR WALL FINISH WITH FRAMING AS REQUIRED. SEE ELEVATIONS FOR DIMENSIONS AND PATTERNS.
- P.10 PROVIDE NEW DOORS AND FRAMES. VERIFY SIZES IN FIELD. SEE DOOR SCHEDULE FOR ADDITIONAL INFO.
- P.11 PROVIDE NEW TILE FLOOR, NEW 3/8" CONCRETE TILE BACKER BOARD AND WALL TILE FINISHES PER INTERIOR DECOR DRAWINGS. COORDINATE AND VERIFY CLEAR WIDTH REQUIREMENTS WITH NEW TILE FINISH THICKNESS. ADJUST HEIGHT OF FLOOR DRAIN TO BE NO MORE THAN 3/8" BELOW FINISH FLOOR.
- P.12 PROVIDE NEW ADA COMPLIANT FLUSH VALVE TOILET FIXTURE. SEE TYPICAL ELEVATIONS FOR MOUNTING HEIGHTS. PROVIDE STANDARD HEIGHT FIXTURE AT "SIM".
- P.13 PROVIDE NEW ADA COMPLIANT WALL HUNG LAVATORY.
- P.14 PROVIDE NEW ADA COMPLIANT WALL HUNG URINAL.
- P.15 FLOOR MOUNTED OVERHEAD BRACED TOILET PARTITIONS. REFER TO DECOR DRAWINGS FOR FINISH SELECTIONS.
- P.16 INFILL FORMER WINDOW OPENING WITH MATERIALS AND FINISHES TO MATCH EXISTING ADJACENT WALL SURFACES. ALIGN INSIDE OF NEW INFILL WITH EXISTING WALLS.
- P.17 NEW WALL FRAMING AT DRINK AREA, REFER TO DECOR DRAWINGS FOR FINISHES.
- P.18 NEW EXTERIOR WALL ON NEW FOUNDATION. SEE WALL SECTIONS FOR ADDITIONAL INFORMATION.
- P.19 REFER TO OWNER FOR WORK AT EXISTING PARTIAL HEIGHT WALL STORAGE CLOSET.
- P.20 NEW BRICK VENEER ON EXISTING WALL. SEE ELEVATIONS FOR EXTENTS.
- P.21 PROVIDE NEW WALL FRAMING AND FINISHES FROM FLOOR TO BOTTOM OF EXISTING BULKHEAD IN FRONT OF FRYER UNIT. VERIFY LOCATION AND SIZE IN FIELD. NEW FRAMING TO MATCH EXISTING. REFER TO DECOR DRAWINGS FOR FINISHES.
- P.22 PROVIDE NEW WALL FRAMING AND FINISHES AT RESTROOM AREA. REFER TO ENLARGED RESTROOM PLAN FOR DIMENSIONS AND CLEARANCES.

GENERAL NOTES

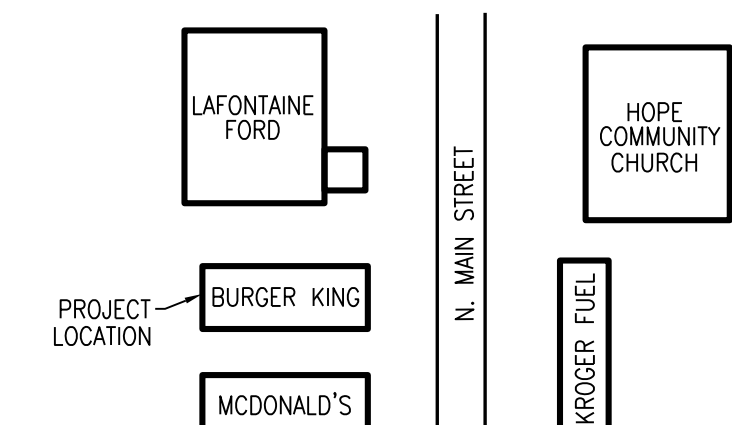
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2. ALL DIMENSIONS SHOWN ARE FACE OF BRICK, MASONRY OR METAL STUD FRAMING-UNLESS NOTED OTHERWISE.
3. ALL WALL STUD FRAMING MATERIALS TO MATCH EXISTING.
4. PROVIDE WOOD BLOCKING FOR ANY WALL SUPPORTED ITEMS.
5. PROVIDE APPROVED FIRE RATED STOPPING MATERIALS IN ANY OPENINGS IN FIRE RATED ASSEMBLIES.
6. REFER TO DOOR AND WINDOW SCHEDULES FOR ALL MATERIALS, FINISHES AND HARDWARE INFORMATION.
7. ALL MATERIALS LOCATED IN CEILING PLENUM SHALL BE RATED FOR SUCH INSTALLATION OR PROTECTED TO PROVIDE COMPLIANCE. THIS INCLUDES BUT IS NOT LIMITED TO POWER AND LOW VOLTAGE WIRING, TELECOMMUNICATIONS CABLING, PLUMBING SUPPLY AND DRAIN LINES AND SUPPORTING BRACKETS AND/OR BLOCKING FOR CEILING HUNG ITEMS.
8. PRIOR TO ORDERING ANY PRODUCTS-CONTRACTOR SHALL SUBMIT SAMPLES TO THE ARCHITECT OF ALL FINISH MATERIALS TO BE USED ON THE PROJECT. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR ANY MATERIALS ORDERED INCORRECTLY WHEN THAT MATERIAL WAS NOT REVIEWED BY THE ARCHITECT.

PLUMBING NOTES

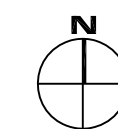
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3. PROVIDE SANITARY VENTS AT EACH FIXTURE. ALL VENTS SHALL BE TIED INTO EXISTING OVERHEAD VENT LINES. VERIFY LOCATION IN FIELD.

ELECTRICAL NOTES

1. NO NEW CIRCUITS WILL BE RUN TO THE ELECTRICAL PANELS. NO WORK TO OCCUR IN EXISTING ELECTRICAL PANELS.
2. ALL NEW ELECTRICAL RECEPTACLES IN THE DINING ROOM SHALL BE WIRED TO EXISTING CIRCUITS AS SHOWN.
3. ALL NEW WIRING SHALL USE EMT OR RIGID CONDUIT.
4. ALL WORK TO BE PERFORMED BY LICENSED ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 300.1.
5. ALL EXTERIOR SIGNAGE AND LIGHTING SHALL BE CONTROLLED BY NEW YORK EWZ-103 DIGITAL TIME SWITCH.



KEY PLAN



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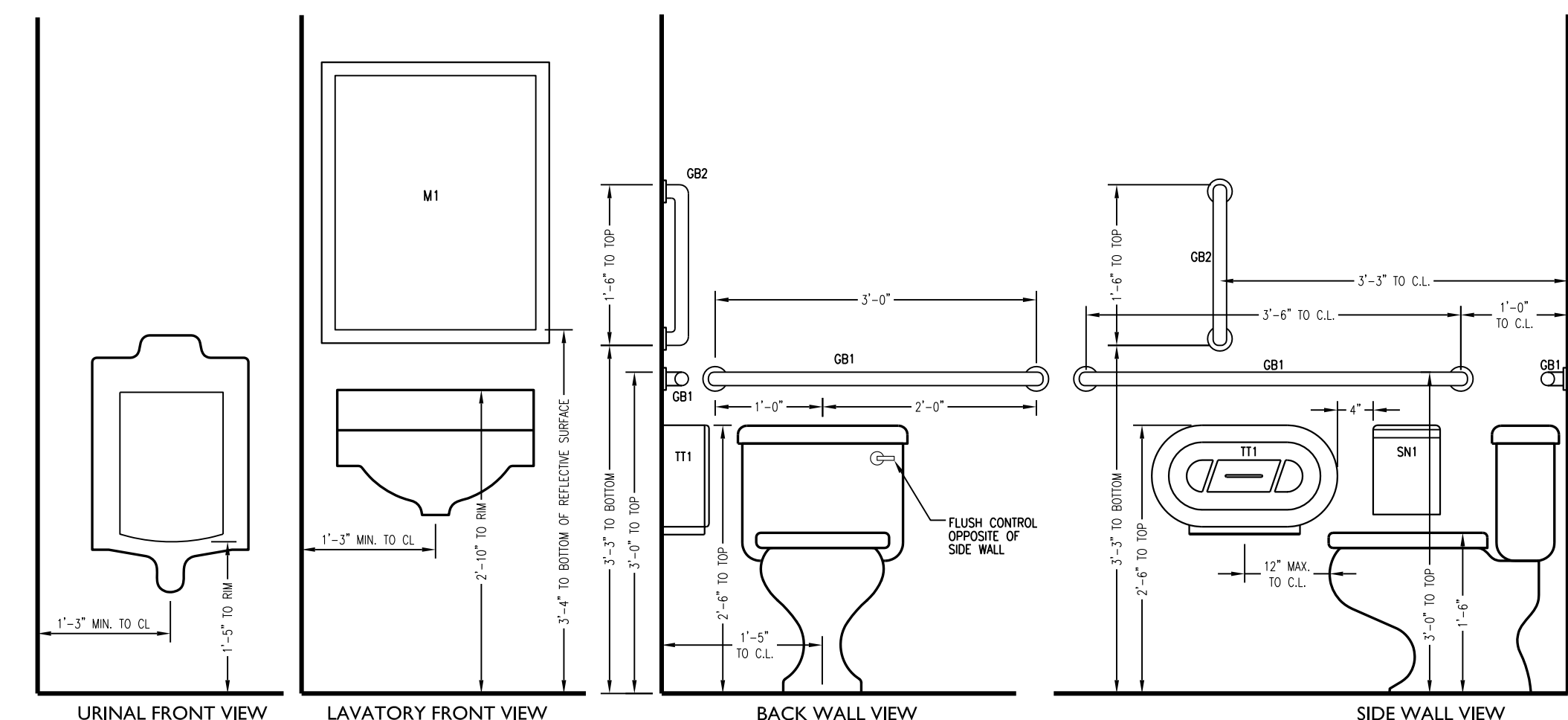
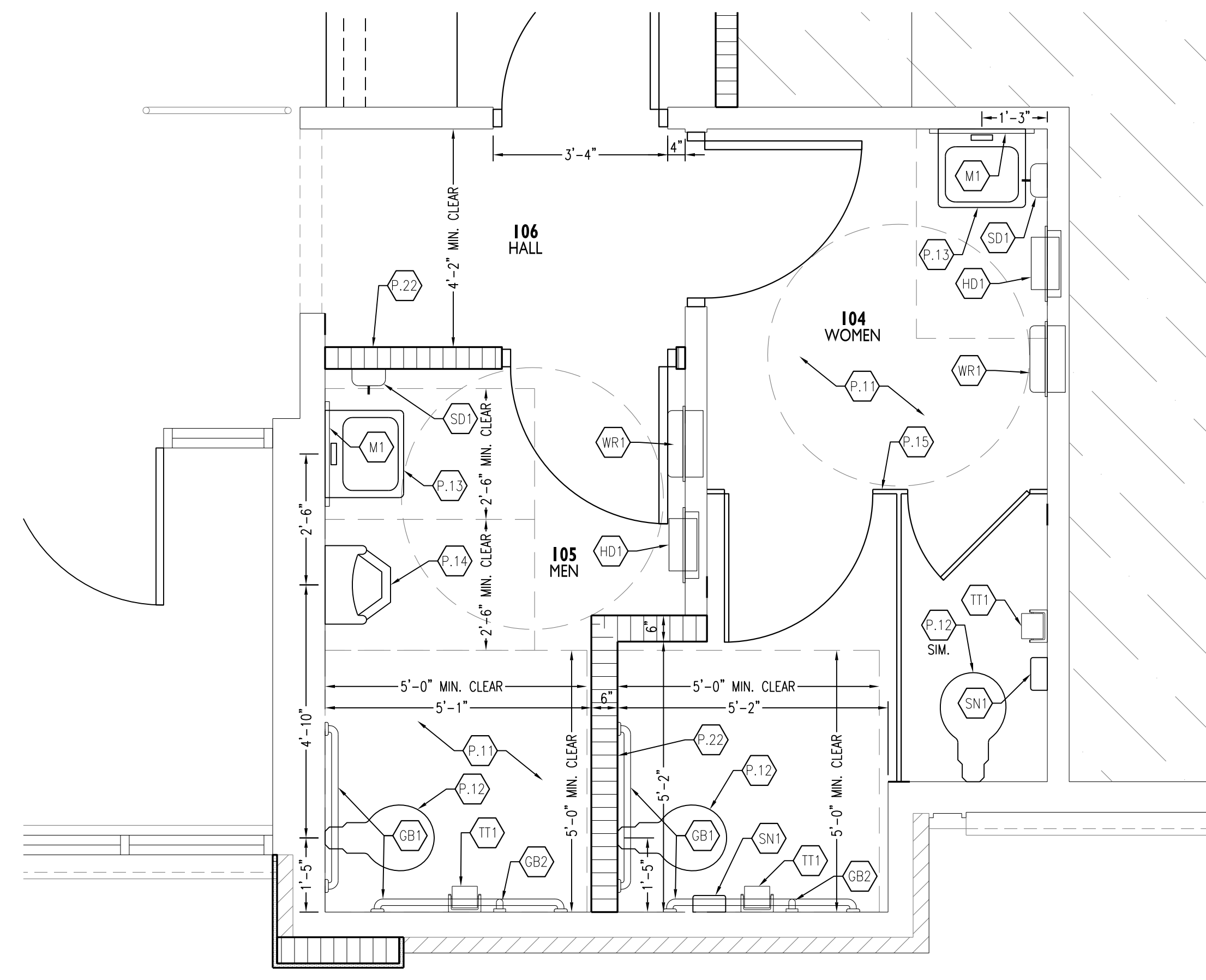
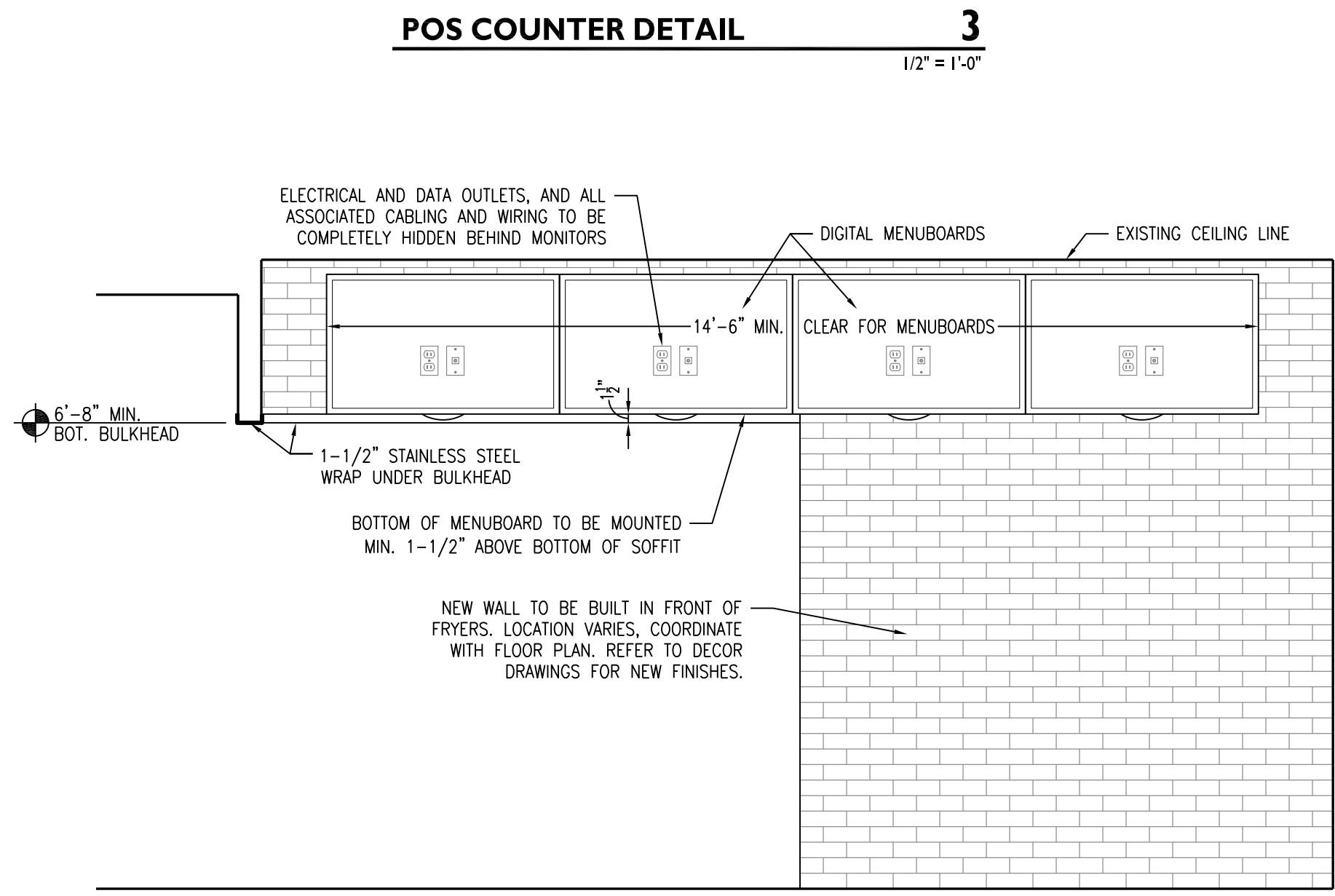
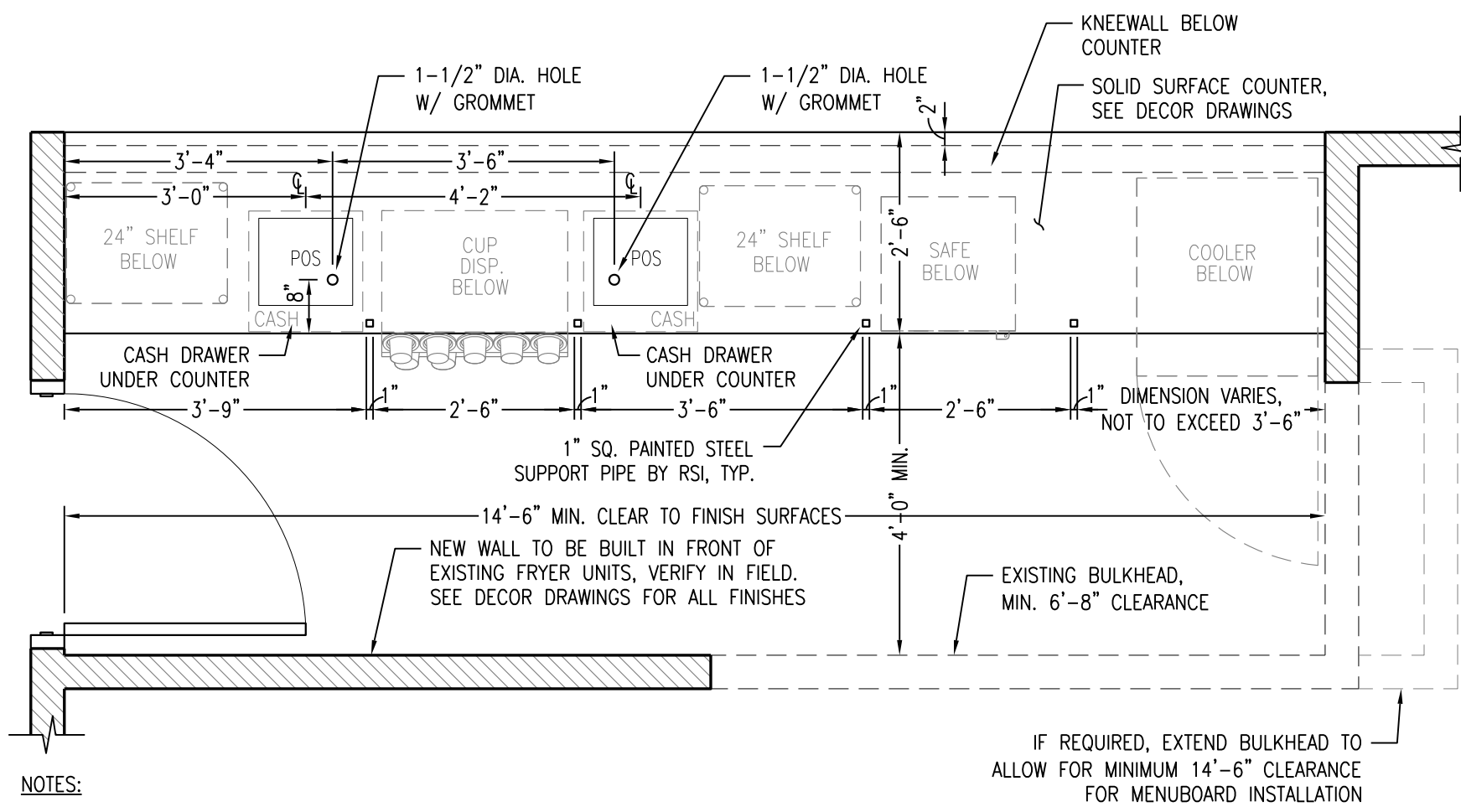
ISSUE DATES

FOR CONSTRUCTION 06-13-2018

PROJECT NUMBER: 180081

FLOOR PLAN

A1.1



| TOILET ACCESSORY LEGEND | | | | | |
|-------------------------|----------|----------------------------------|--|--|-------------------------------|
| MARK | SYMBOL | BOBRICK # | DESCRIPTION | REMARKS | MOUNTING HEIGHT |
| TT1 | [Symbol] | B-2892 | MULTI-ROLL TOILET TISSUE DISPENSER. | MOUNT 12" MAX FROM TOILET SEAT TO CENTER OF UNIT | 30" AFF TO TOP |
| SN1 | [Symbol] | B-270 | SURFACE MOUNTED SANITARY NAPKIN DISPOSAL | SEE ELEVATIONS FOR MOUNTING SUGGESTIONS | 30" AFF TO TOP |
| GB1 | [Symbol] | B-6806.99 X 36 B-6806.99 X 42 | 36" GRAB BAR FOR BACK WALL AND 42" GRAB BAR FOR SIDE WALL. INSTALL 6" FROM WALL TO START OF GRAB BAR | PROVIDE PEENED GRIP AND CONCEALED MOUNTING WITH SNAP FLANGE. | 34" AFF TO CENTERLINE |
| GB2 | [Symbol] | B-6806.99 X 18 | 18" GRAB BAR MOUNTED VERTICALLY ABOVE SIDE GRAB BAR. INSTALL 40" FROM BACK WALL TO CENTERLINE | PROVIDE PEENED GRIP AND CONCEALED MOUNTING WITH SNAP FLANGE. | 40" AFF TO BOTTOM OF BAR |
| M1 | [Symbol] | B-165 | MIRROR | 2'-0"W x 3'-0"H | 40" AFF TO BOTTOM |
| SD1 | [Symbol] | B-2112 | SOAP DISPENSER | 40 OZ | 40" AFF TO CENTERLINE |
| HD1 | [Symbol] | XCELERATOR MODEL XL-SB | ELECTRIC HAND DRYER W/ STAINLESS STEEL FINISH | COORDINATE ELECTRICAL ROUGH-IN REQUIREMENTS WITH MANUF. | 37" AFF TO BOTTOM |
| WR1 | [Symbol] | B-3644-134 | SEMI-RECESSED WASTE RECEPTACLE | 12 GALLON WASTE CAN WITH LINER MATE OPTION | 44" AFF MAX TO TOP OF OPENING |

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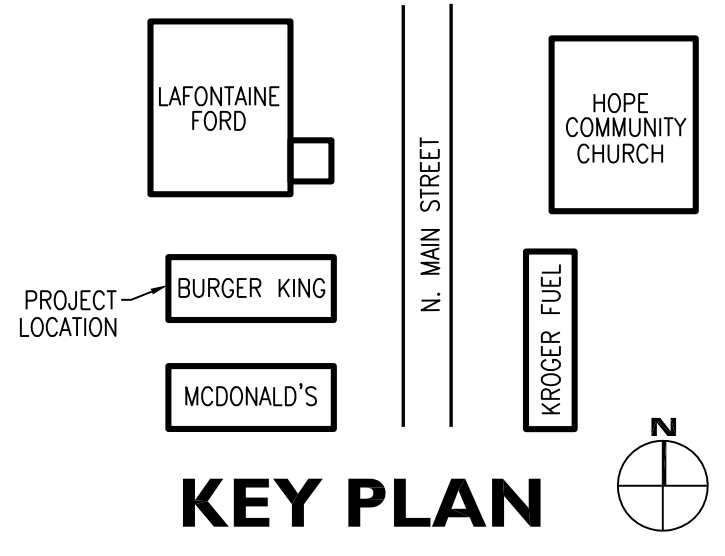
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PROJECT INFORMATION

REMODEL TO:
BURGER KING #7247
490 NORTH MAIN STREET
FRANKENMUTH, MI 48734



ISSUE DATES

FOR CONSTRUCTION 06-13-2018

PROJECT NUMBER: 180081

RESTROOM PLAN





CURRAN ARCHITECTURE

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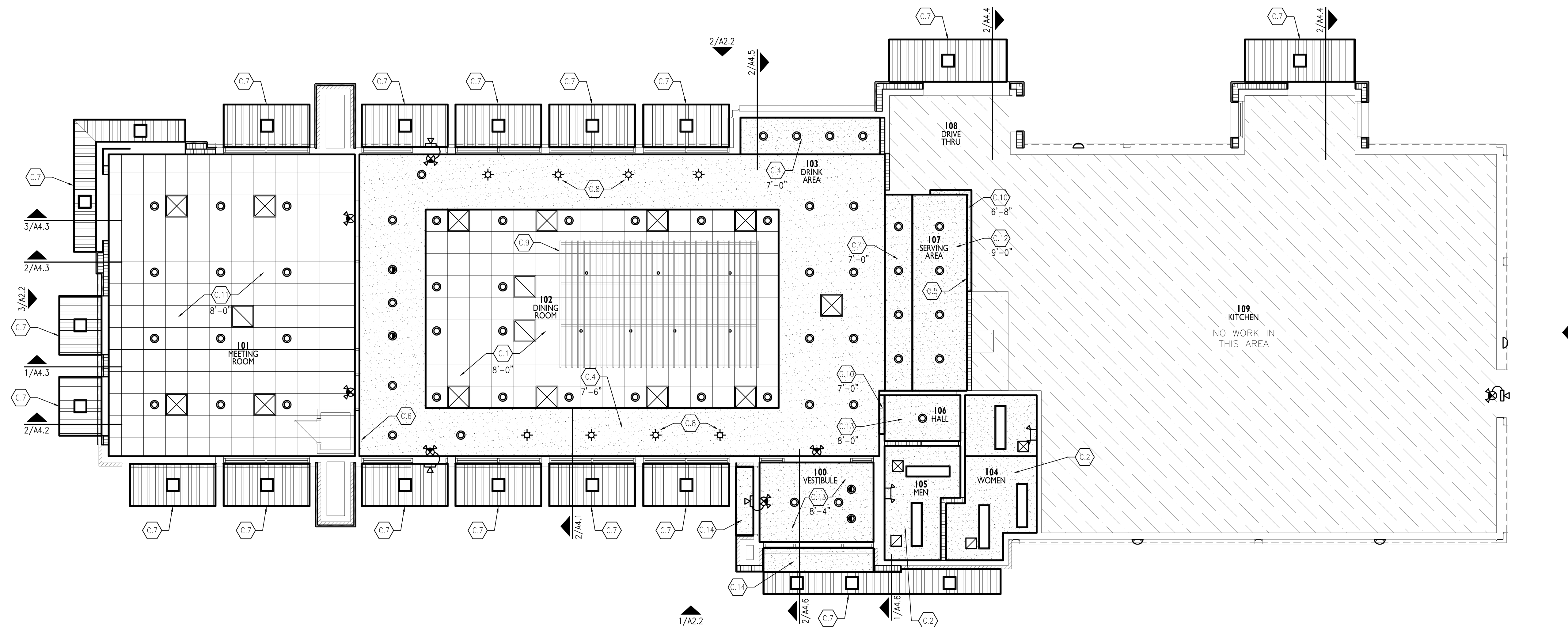
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FOR CONSTRUCTION 06-13-2018

PROJECT NUMBER: 180081

CEILING PLAN

A1.2

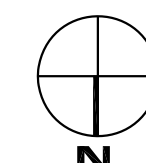


NEW CEILING PLAN

3/16" = 1'-0"

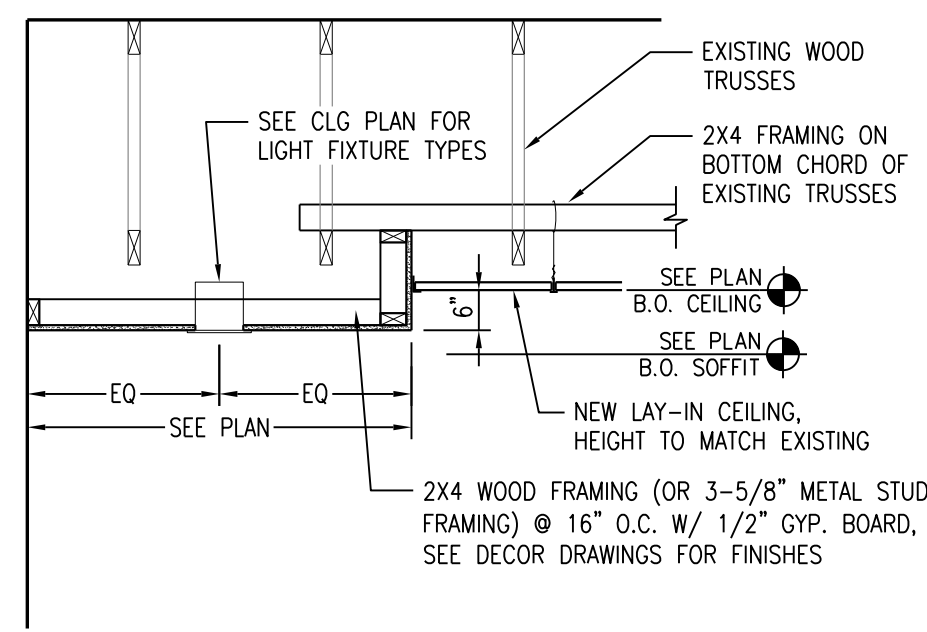
CEILING NOTES

- C.1 DINING ROOM: PROVIDE NEW GYPSUM BULKHEADS, GRID, TILES, LIGHT FIXTURES, SUPPLY DIFFUSERS AND RETURN GRILLES TO MATCH EXISTING QUANTITIES AS SHOWN. SEE DECOR DRAWINGS FOR DETAILED LIGHTING INFORMATION.
- C.2 RESTROOMS: PATCH EXISTING CEILING WHERE PARTITION WALLS WERE REMOVED. PROVIDE NEW PAINTED FINISH ON EXISTING GYPSUM CEILINGS. PROVIDE NEW LIGHTS AND DIFFUSERS TO MATCH EXISTING AS SHOWN.
- C.3 VESTIBULE: PROVIDE NEW GYPSUM BOARD CEILING FINISH ON EXISTING FRAMING, PROVIDE NEW LIGHTS AS SHOWN.
- C.4 NEW BULKHEAD, SEE INTERIOR DECOR DRAWINGS FOR LOCATION, DIMENSIONS AND FINISHES. SEE DETAILS FOR ADD'L. INFORMATION.
- C.5 EXISTING DIGITAL MENUBOARD TO REMAIN. PROVIDE NEW TILE FINISH BEHIND MENUBOARD PER INTERIOR DECOR DRAWINGS. PROVIDE STAINLESS STEEL WRAP ALONG BOTTOM OF MENUBOARD BULKHEAD.
- C.6 COORDINATE POWER AND DATA OUTLETS FOR WALL OR CEILING MOUNTED TV IN THIS AREA, COORDINATE WITH DECOR DRAWINGS FOR EXACT LOCATION.
- C.7 NEW SUSPENDED CANOPY WITH LIGHT FIXTURE. LIGHT FIXTURE BY CANOPY MANUFACTURER, CONTRACTOR TO MAKE ELECTRICAL CONNECTION. COORDINATE BLOCKING REQUIREMENTS FOR CANOPY CONNECTION TO BUILDING.
- C.8 PENDANT LIGHTS WIRED TO EXISTING CIRCUITS. SEE DECOR PLANS FOR FIXTURE SELECTIONS.
- C.9 HANGING TRELLIS SYSTEM, SEE DECOR DRAWINGS FOR INSTALLATION AND FINISH DETAILS.
- C.10 EXISTING BULKHEAD, SEE DECOR DRAWINGS FOR NEW FINISHES.
- C.11 MEETING ROOM: PROVIDE LAY-IN CEILING GRID AND TILES, NEW LIGHTS AND NEW SUPPLY DIFFUSERS AND RETURN GRILLES WITH FLEX DUCT CONNECTED TO EXISTING CONCENTRIC RTU SYSTEM.
- C.12 SERVING AREA: PROVIDE NEW GYPSUM BOARD CEILING SYSTEM AT HEIGHT AS SHOWN. VERIFY IF ANY CONFLICTS EXIST IN RAISING OF CEILING SYSTEM AND COORDINATE WITH ARCHITECT. PROVIDE NEW LIGHT FIXTURES AND NEW PAINTED FINISH, REFER TO DECOR DRAWINGS.
- C.13 HALL: PROVIDE NEW GYPSUM BOARD CEILING SYSTEM WITH PAINTED FINISH AT HEIGHT AS SHOWN.
- C.14 PROVIDE EXTERIOR GRADE GYPSUM SOFFIT PANELS WITH PAINTED FINISH.



CEILING LEGEND

- 2X4 FIXTURE - LED
MANUF: COLUMBIA LIGHTING
MODEL: LCAT24-35MLG-EDU
WATTAGE: 39 WATTS
- 2X4 FIXTURE - LED - WASHABLE LENS
MANUF: COLUMBIA LIGHTING
MODEL: LCAT24-35MLG-EDU
WATTAGE: 39 WATTS
- 1X4 FIXTURE - LED
MANUF: SECURITY LIGHTING
MODEL: LJT14-35LWG-FSA12-EDU-C388
WATTAGE: 27 WATTS
- 6" LED RECESSED CAN LIGHT
MANUF: JUNO
MODEL: SP34505-930-6-WWH
WATTAGE: 11 WATTS
- 6" LED RECESSED CAN LIGHT WALL WASH
MANUF: JUNO
MODEL: SP34506-27K-6WWH
WATTAGE: 11 WATTS
- 2" LED DOWN LIGHT
MANUF: JUNO
MODEL: SP34378B-9-F1-SSN
WATTAGE: 10 WATTS
- PENDANT LIGHT
MANUF: HERMITAGE
MODEL: H-HBCWS42C
29-FRENCH GREEN
93 WHITE - GUARD
FROSTED GLASS
WATTAGE: 100 WATTS
- STANDARD CEILING:
TILE: SEE INTERIOR DECOR DWGS.
GRID: SEE INTERIOR DECOR DWGS.
- WASHABLE CEILING:
TILE: WASHABLE SURFACED TILE.
SEE INTERIOR DECOR DWGS.
GRID: SEE INTERIOR DECOR DWGS.
- NEW SUSPENDED CANOPY. SEE CANOPY DETAILS ON SHEET A5.1
- GYPSUM BOARD CEILING, SEE INTERIOR DECOR PLANS FOR COLOR
- EXISTING EXTERIOR SOFFIT. PROVIDE NEW PAINTED FINISH
- PVC SUPPLY DIFFUSER
MANUF: EGER (OR EQUIVALENT)
MODEL: EA3xx (VERIFY NECK SIZE)
COLOR: MATCH CEILING COLOR
- PVC RETURN GRILLE
MANUF: EGER (OR EQUIVALENT)
MODEL: EARDxx (VERIFY NECK SIZE)
COLOR: MATCH CEILING COLOR



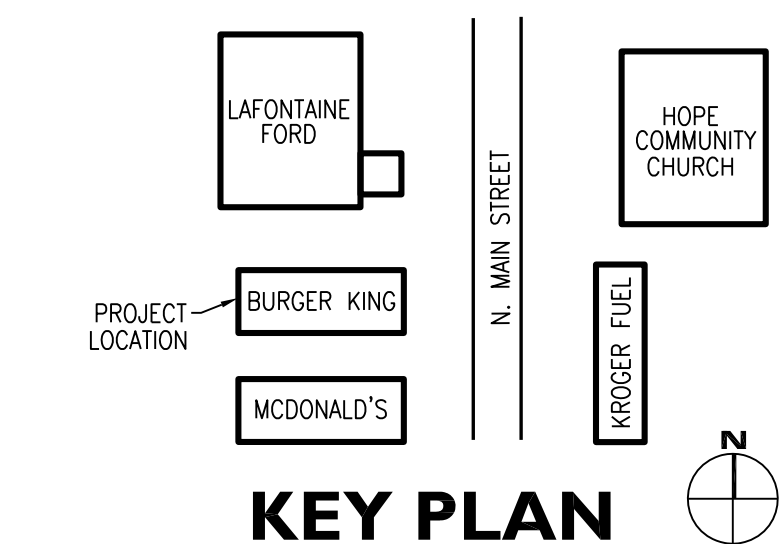
TYPICAL BULKHEAD DETAIL

2

1/2" = 1'-0"

ELECTRICAL NOTES

- REPLACE ALL EMERGENCY LIGHT FIXTURES THROUGHOUT THE FACILITY. ELECTRICAL CONTRACTOR TO ENSURE FUNCTIONALITY OF ALL EXISTING AND NEW EXIT SIGNS AND LIGHTS.
- NO NEW CIRCUITS WILL BE RUN TO THE ELECTRICAL PANELS. NO WORK TO OCCUR IN EXISTING ELECTRICAL PANELS.
- ALL NEW ELECTRICAL RECEPTACLES IN THE DINING ROOM SHALL BE WIRED TO EXISTING CIRCUITS AS SHOWN.
- ALL NEW WIRING SHALL USE EMT OR RIGID CONDUIT.
- ALL WORK TO BE PERFORMED BY LICENSED ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 300.1.
- ALL EXTERIOR SIGNAGE AND LIGHTING SHALL BE CONTROLLED BY NEW YORK EWZ-103 DIGITAL TIME SWITCH.





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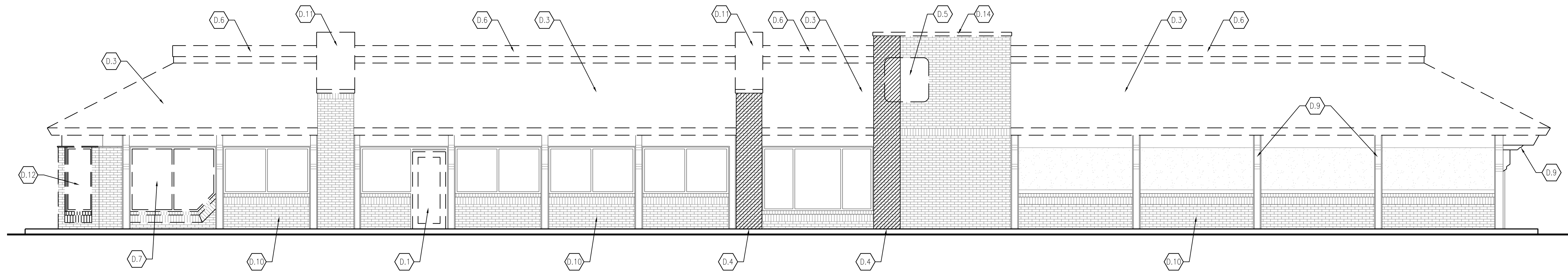
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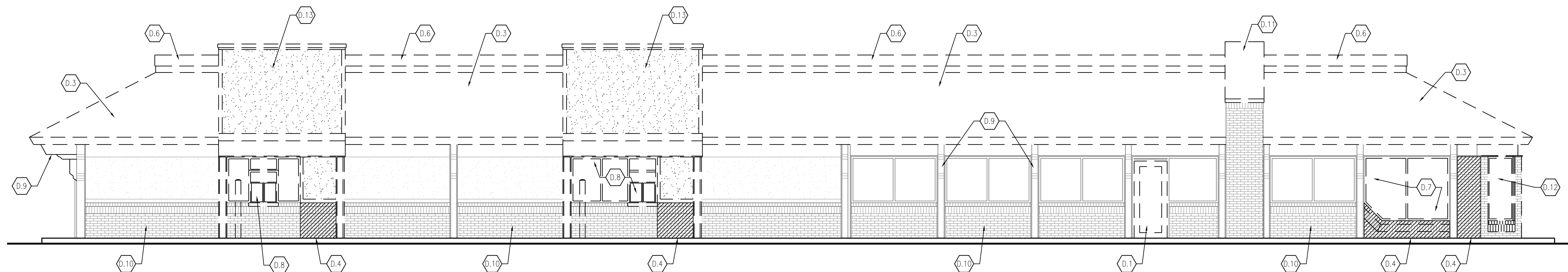
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DEMOLITION
ELEVATIONS

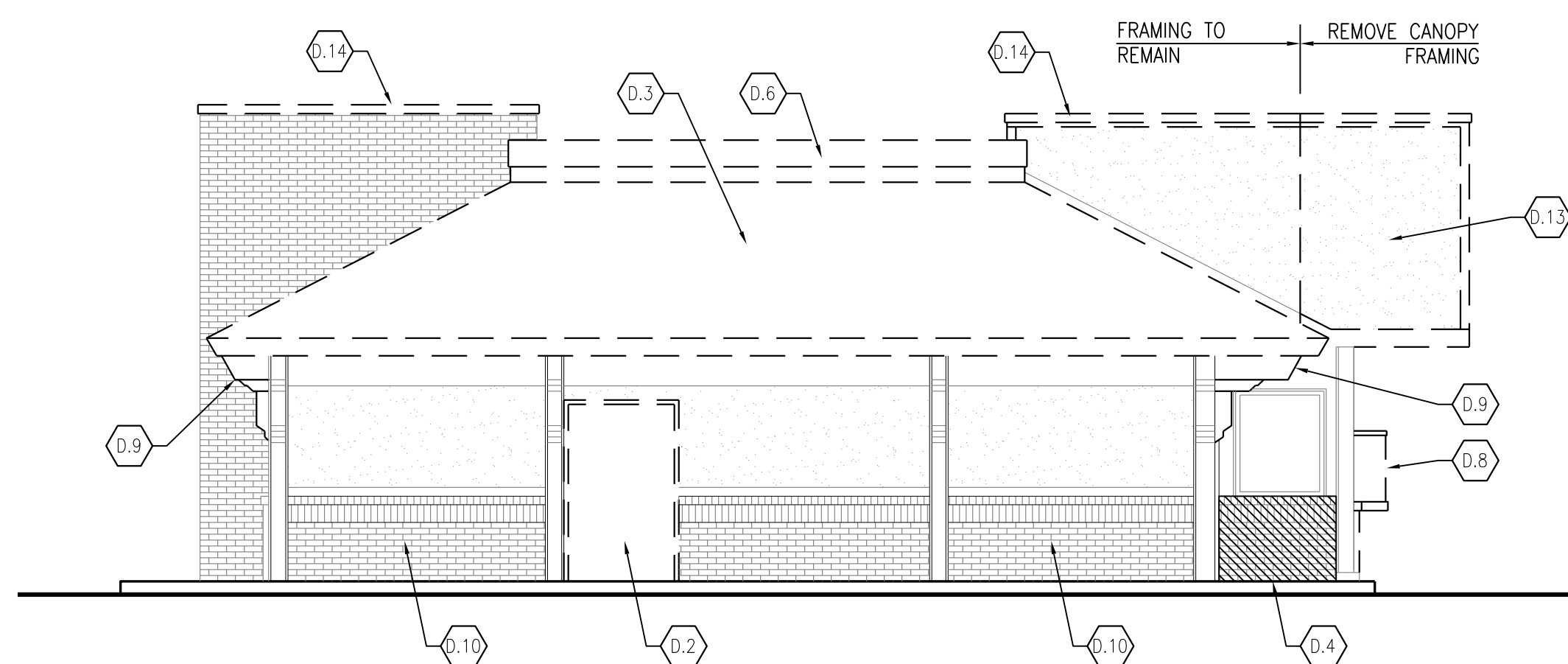
A2.1



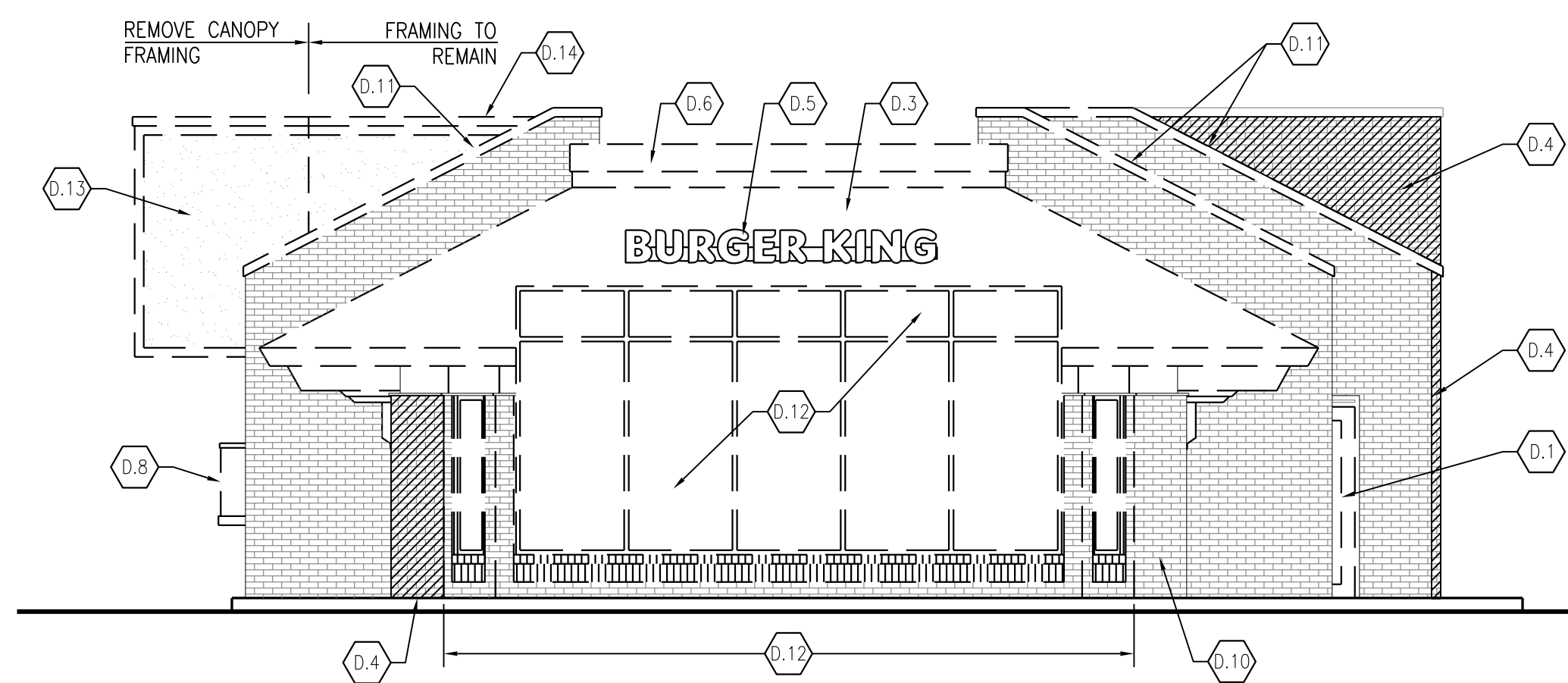
ELEVATION 1
3/16" = 1'-0"



ELEVATION 2
3/16" = 1'-0"



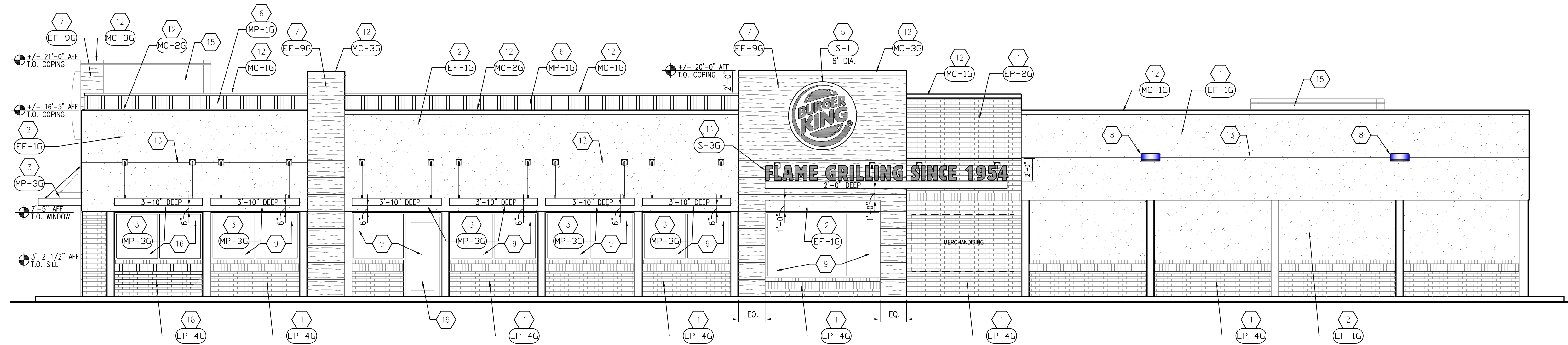
ELEVATION 4
3/16" = 1'-0"



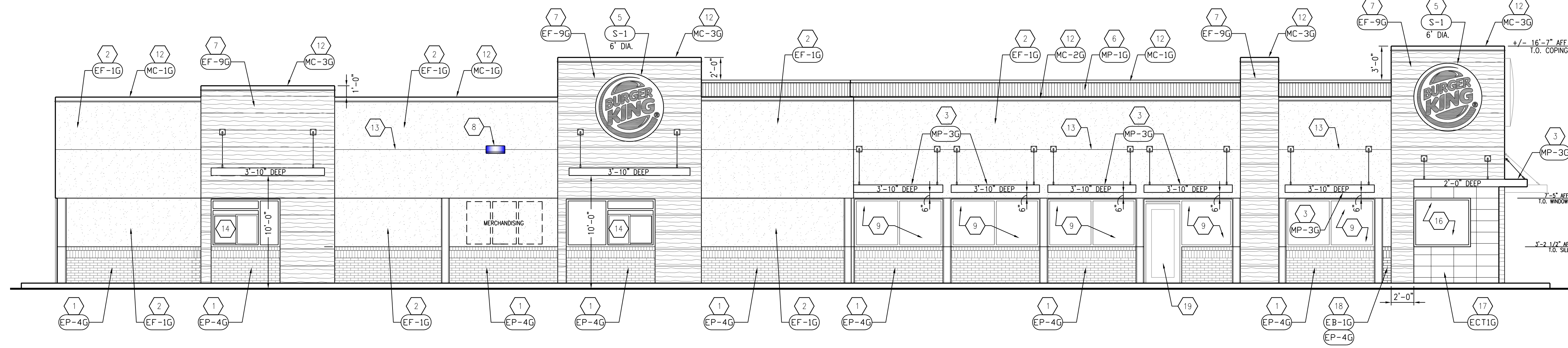
ELEVATION 3
3/16" = 1'-0"

DEMO KEY NOTES

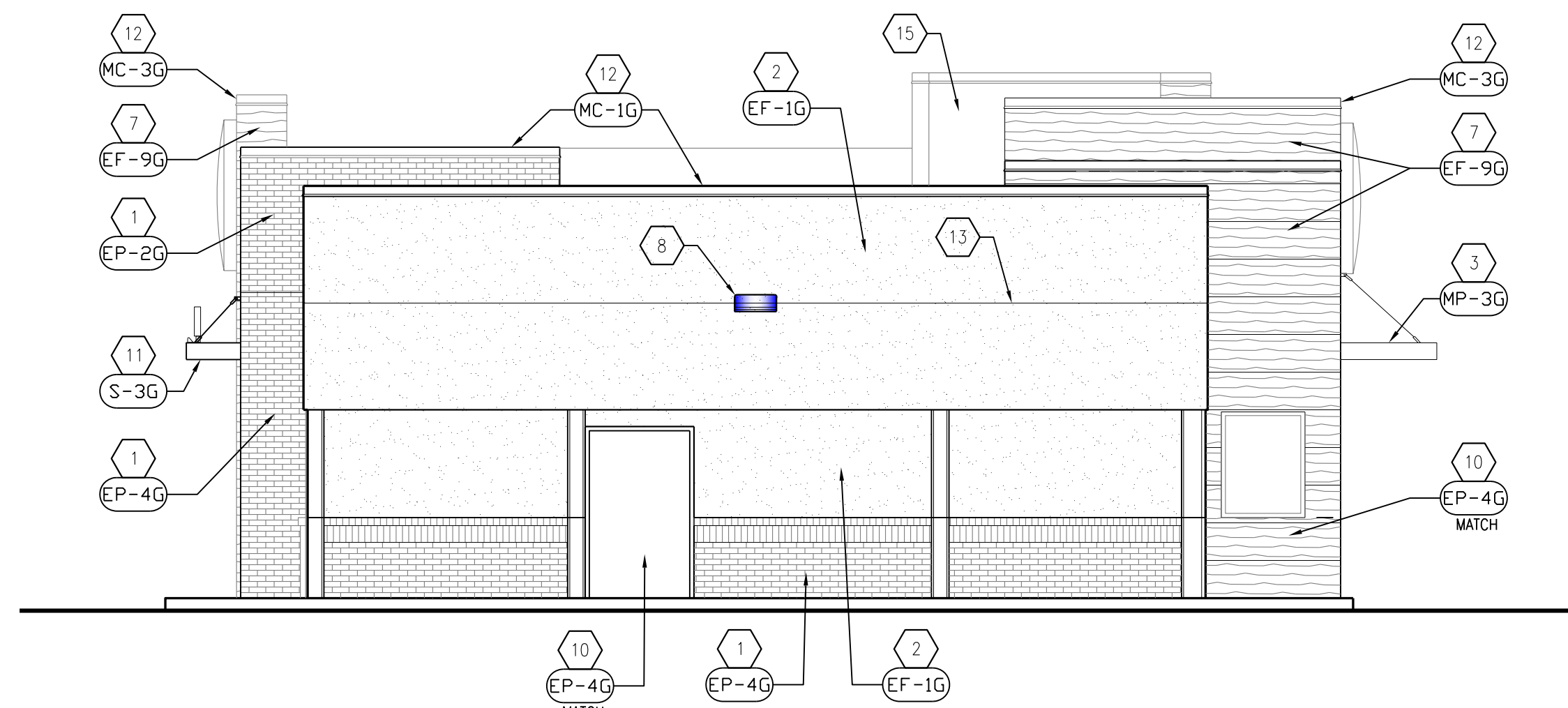
- D.1 REMOVE EXISTING STOREFRONT DOORS AND HARDWARE. PREP EXISTING FRAME TO RECEIVE NEW DOORS AND HARDWARE.
- D.2 REMOVE EXISTING HOLLOW METAL DOOR AND FRAME. PREP OPENING FOR NEW DOOR AND FRAME.
- D.3 REMOVE EXISTING MANSARD ROOF SYSTEM TO EXTENTS SHOWN.
- D.4 REMOVE MASONRY VENEER IN THIS AREA. SEE WALL SECTIONS.
- D.5 REMOVE EXISTING BUILDING SIGNAGE. SALVAGE TO OWNER.
- D.6 REMOVE EXISTING LIGHTED BAND ASSEMBLY AROUND ENTIRE BUILDING AS SHOWN.
- D.7 REMOVE EXISTING ALUMINUM STOREFRONT WINDOW GLAZING PANEL AND FRAMING AT THIS OPENING ONLY. PREP OPENING FOR WALL INFILL OR NEW WINDOW.
- D.8 REMOVE EXISTING DRIVE-THRU WINDOW. COORDINATE WITH OWNER FOR NEW SLIDING WINDOWS. REMOVE ALL WOOD TRIM AND WALL FINISHES ON OUTSIDE OF DRIVE-THRU BUMPOUT TO ALLOW FOR NEW TOWER FRAMING. BRICK BELOW WINDOW TO REMAIN. PREP FOR NEW PAINTED FINISH. REFER TO ELEVATIONS. REMOVE EXISTING BOLLARDS.
- D.9 REMOVE EXISTING WOOD TRIM ELEMENTS AROUND ENTIRE BUILDING.
- D.10 EXISTING MASONRY VENEER TO REMAIN. PREP SURFACE TO RECEIVE NEW PAINTED FINISH.
- D.11 REMOVE EXISTING SLOPED CAP ROOFING ON BRICK TOWER ELEMENTS. PREP FOR NEW FRAMING TO SQUARE OFF TOWERS AND FINISH WITH NEW NICHHA PANELS.
- D.12 REMOVE ENTIRE EXISTING GREENHOUSE FRAMING, GLAZING AND ASSOCIATED ANGLED WALLS. COORD. W/ FLOOR PLAN.
- D.13 REMOVE D/T CANOPY AND FRAME. PREP FOR NEW TOWER FRAMING AS NEEDED. COORDINATE WITH WALL SECTIONS.
- D.14 REMOVE EXISTING WALL COPING.



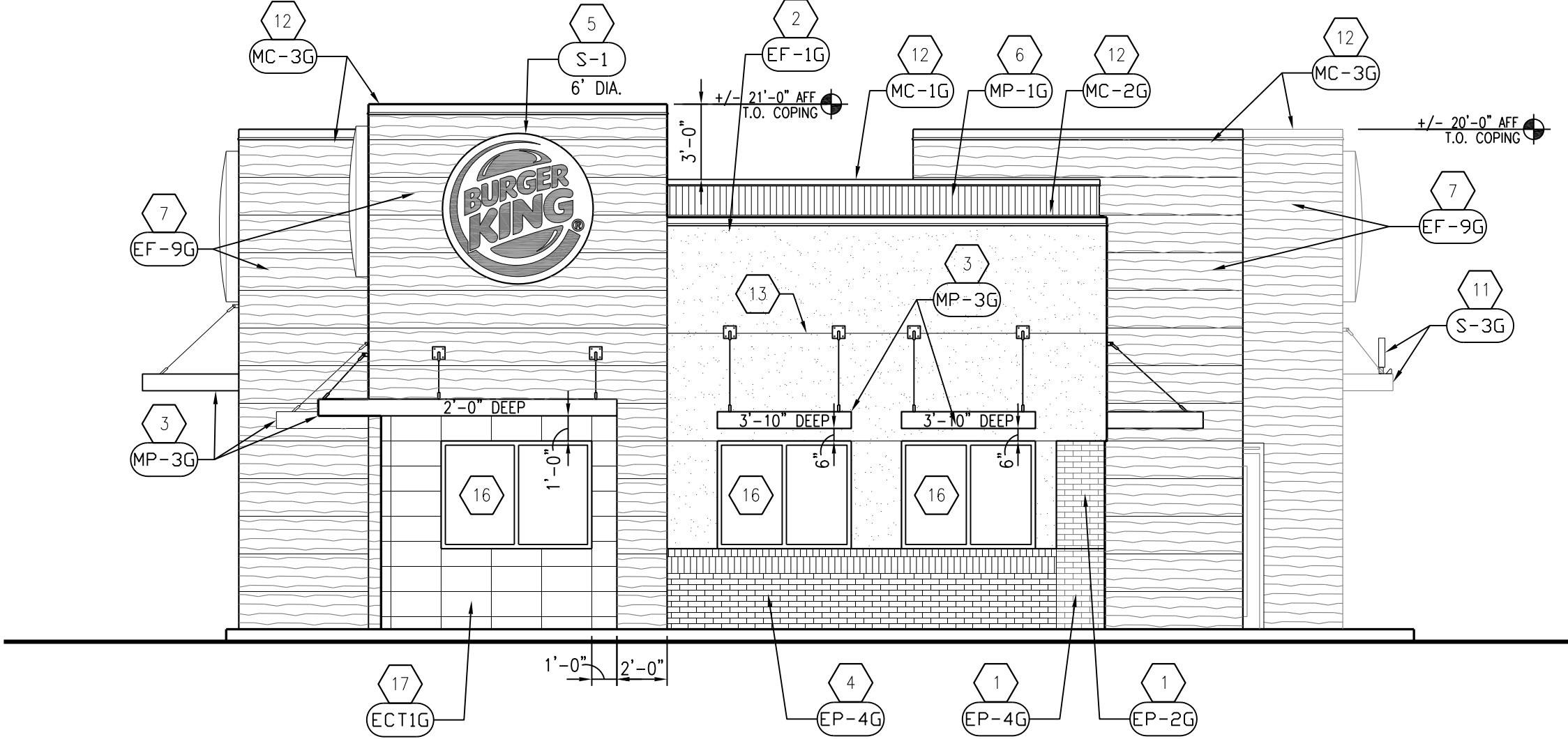
ELEVATION 1
3/16" = 1'-0"



ELEVATION 2
3/16" = 1'-0"



ELEVATION 4
3/16" = 1'-0"



ELEVATION 3
3/16" = 1'-0"

KEY NOTES

- 1 PAINT EXISTING BRICK VENEER COLOR AS SHOWN.
- 2 EIFS FINISH OVER NEW OR EXISTING EXTERIOR WALL SYSTEM. PROVIDE NEW FRAMING/SHEATHING AS REQ'D.
- 3 SUSPENDED CANOPY ABOVE WINDOWS. COORDINATE LOCATIONS OF WOOD BLOCKING FOR CANOPY BRACING WITH CANOPY MANUFACTURER AND DETAILS ON SHEET AS.1.
- 4 NEW BRICK VENEER TO MATCH EXISTING ON NEW FOUNDATION. SEE WALL SECTIONS.
- 5 NEW SIGNAGE. COORDINATE POWER REQUIREMENTS.
- 6 NEW LED LIGHTED BAND ASSEMBLY WIRED INTO EXISTING LIGHTING CIRCUITS.
- 7 NICHHA FINISH PANEL SYSTEM.
- 8 NEW EXTERIOR LIGHT FIXTURE WIRED INTO EXISTING EXTERIOR LIGHTING CIRCUIT.
- 9 EXISTING ALUMINUM STOREFRONT WINDOW SYSTEM.
- 10 NEW HOLLOW METAL DOOR AND FRAME, PAINT AS SHOWN.
- 11 SUSPENDED CANOPY WITH "FLAME GRILLING SINCE 1954" SIGN. SIGN IS FRONT LIT WITH LED STRIP FIXTURE. SEE DETAIL. COORDINATE POWER REQUIREMENTS.
- 12 NEW WALL COPING.
- 13 HORIZONTAL REVEAL IN EIFS.
- 14 NEW DRIVE THRU WINDOW.
- 15 BACK SIDE OF TOWERS TO BE FINISHED WITH "TAN" DURAOLAST ROOFING.
- 16 NEW STOREFRONT WINDOW/ENTRANCE SYSTEM TO MATCH EXISTING.
- 17 NEW CERAMIC TILE FINISH WHERE BRICK VENEER AND EIFS FINISH HAVE BEEN REMOVED.
- 18 INFILL FORMER WINDOW OPENING WITH MATERIALS AND FINISHES TO MATCH EXISTING ADJACENT WALLS AS SHOWN TO ALIGN BOTTOM OF NEW WINDOWS WITH BOTTOM OF EXISTING ADJACENT WINDOWS.
- 19 NEW ALUMINUM STOREFRONT DOOR AND HARDWARE IN EXISTING FRAME. FINISH TO MATCH EXISTING.



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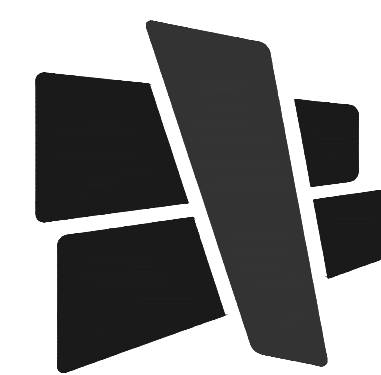
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| FOR CONSTRUCTION | 06-13-2018 |
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PROJECT NUMBER: 180081

NEW ELEVATIONS

A2.2

| BURGER KING - 20/20 GARDEN GRILL | | | | | | | | |
|--|---|---|---|--|--|---|---|--|
| EXTERIOR MATERIALS & FINISH SCHEDULE (not all specs are used on every project) | | | | | | | | |
| 11/10/2016 | | | | | | | | |
| CODE | MATERIAL | LOCATION | MANUFACTURER | DESCRIPTION | | ADDITIONAL INFORMATION | | |
| | | | | PRODUCT | COLOR | | | |
| | | | | | DIMENSION | | | |
| EB-1G | EXTERIOR BRICK | GENERAL | EVOLUTION BRICK | MOD / QS TUMBLED (FULL BRICK) (THIN BRICK) | OLDE HILLSBORO SIERRA TUMBLED | CONTACT: GABE POWERS (502) 558-4612 NOTE: USE WITH EGR-3G | | |
| | | | PINE HALL BRICK | FACE BRICK | OLD IRVINGTON O/S | | CONTACT: THERESA BEANE (800) 334-8689 - tbeane@pinehallbrick.com NOTE: USE WITH EGR-3G | |
| | | | H.C. MUDDOX BRICK | THIN BRICK | BK WEST COAST BLEND | | CONTACT: SUNUP MATHEW (916) 708-9306 NOTE: USE WITH EGR-3G | |
| EB-1AG (ALTERNATE FOR EB-1G) | EXTERIOR FINISH FIBER CEMENT BRICK PANELS | GENERAL | NICHIHA FIBER CEMENT | NICHIHA CANYON BRICK PANELS | "SHALE BROWN" - STAGGERED JOINTS - UNPAINTED IF NO OTHER BRICK IS PRESENT. (ON REMODELS, IF THERE IS ANY EXISTING BRICK ON THE BUILDING, THE EXISTING BRICK AND THE NICHIHA BRICK MUST BE PAINTED TO MATCH EP-4G) | 18" X 6' | CONTACT NICHIHA CUSTOMER SERVICE (770) 805-9466 BK@NICHIHA.COM INSTALL PER MANUFACTURER'S SPECIFICATIONS | |
| ECT-1G | EXTERIOR CERAMIC TILE | ACCENT AT BUILDING FRONT | GRANITI GIANDRE / EUROWEST | SENSIBLE STONE ED5052 | "RED NATURAL" STACKED BOND PATTERN | 12" X 24" | CONTACT: JOY DETER AT EUROWEST (714) 309-9551 OR JOY KLEIN (813) 334-3302 jklein@transamerica.com NOTE: USE WITH EGR-4G | |
| ECT-18G | EXTERIOR CERAMIC TILE | INLINE RESTAURANTS ONLY | GRANITI GIANDRE / EUROWEST | ROVERE ANTICO LEGNI HIGH TECH | PAR 15334 "ROVERE" STACKED BOND PATTERN | 6" X 36" | CONTACT: JOY DETER AT EUROWEST (714) 309-9551 OR JOY KLEIN (813) 334-3302 jklein@transamerica.com NOTE: USE WITH EGR-9G | |
| EF-1G | EXTERIOR FINISH - STUCCO, STO, FIBER CEMENT SIDING PANELS | GENERAL | STO OR APPROVED EQUAL | STO POWERWALL STUCCO SYSTEM TEXTURE: FINE SAND OR STO THERM CI EIFS SYSTEM | COLOR TO MATCH EP-2G PPG "TANNERS TAUPE" | 18" X 6' | CONTACT: TIM SALERNO AT STO CORP (407) 466-5371 | |
| | | | NICHIHA FIBER CEMENT | NICHIHA TUFFBLOCK | PREPAINTED TO MATCH EP-2G - PPG "TANNERS TAUPE" STACKED BOND PATTERN | | PERMISSIBLE ON REMODELS ONLY CONTACT NICHIHA CUSTOMER SERVICE (770) 805-9466 BK@NICHIHA.COM INSTALL PER MANUFACTURER'S SPECIFICATIONS | |
| EF-4G | EXTERIOR FINISH STUCCO | GENERAL | STO OR APPROVED EQUAL | STO POWERWALL STUCCO SYSTEM | COLOR TO MATCH EP-4G PPG "MONTEREY CLIFFS" | | CONTACT: TIM SALERNO AT STO CORP (407) 466-5371 | |
| EF-8G (ALTERNATE FOR EF-9G) | EXTERIOR FINISH STONE | EXTERIOR SIGN ARCHONS | BORAL STONE PRODUCTS | COUNTRY LEDGESTONE | "ASPEN" | | CONTACT: 800-255-1727 Ashley.joyce@boral.com culturedstone@boral.com | |
| EF-9G | EXTERIOR FINISH FIBER CEMENT | EXTERIOR SIGN ARCHONS | NICHIHA FIBER CEMENT | VINTAGE WOOD EF762 | "CEDAR" | 18" X 10' | CONTACT NICHIHA CUSTOMER SERVICE (770) 805-9466 BK@NICHIHA.COM INSTALL PER MANUFACTURER'S SPECIFICATIONS. VERTICAL SEAMS SHALL BE MINIMIZED. ALL SPANS OF 10' OR MORE SHALL HAVE VERTICAL CAULKED SEAMS ALIGNED IN THE CENTER OF THE ARCHON. ALL TRIMS SHALL BE FACTORY PAINTED TO MATCH PANELS. | |
| TR-1G | ALUMINUM TRIMS | | | | | | | |
| EP-2G | EXTERIOR PAINT | EXTERIOR GENERAL | PPG | PRIMER: 17-921 PAINT: 6-2045XI | "TANNERS TAUPE" Custom Formula | | Contact: RICK GARLIN, PPG CORPORATE NATIONAL ACCOUNTS MANAGER phone: (317) 318-5800 email: garlin@ppg.com | |
| EP-4G | EXTERIOR PAINT | EXTERIOR WAINSCOT | | PRIMER: 17-921 PAINT: 6-2045XI | "MONTERREY CLIFFS" 10YY 14/080 | | | |
| EP-6G | EXTERIOR PAINT | EXTERIOR ACCENT (For Metal Substrates Only) | | PRIMER: 6-212 PAINT: 6-230 | "BURGER KING SILVER" Custom Formula | | NOTE: NOT FOR USE ON ROOFS FOR REMODELING. SEE EP-6AG & EP-6BG | |
| EP-6AG | EXTERIOR PAINT | EXISTING MANSARD ROOFS, SHINGLES & BARREL TILE | | PRIMER: 17-921 PAINT: 90-1110 | "GRIMMY'S GREY" 00NN 20/000 | | NOTE: FOR REMODELS ONLY | |
| EP-6BG | EXTERIOR PAINT | EXISTING STANDING SEAM METAL ROOF | | PRIMER: 90-712 PAINT: 90-1110 | "MARCH WIND" Custom Formula | | NOTE: FOR REMODELS ONLY | |
| EP-8BG | EXTERIOR PAINT | METAL COPING AT ARCHON TOWERS | | PRIMER: 17-921 PAINT: 6-2045XI | "CEDAR" Custom Formula | | | |
| EXT-G | EXTERIOR PAINT | POLES & SIGNS | | PRIMER: 90-712 PAINT: 90-353 | "BLACK" | | | |
| EGR-3G | GROUT | BRICK | | MAPEI | | #5 "CHAMOIS" | | NOTE: USE WITH EB-1G |
| EGR-4G | GROUT | CERAMIC TILE | | CUSTOM BUILDING PRODUCTS | | #335 "WINTER GRAY" | | NOTE: USE WITH ECT-1G *** FOR SETTING MATERIALS USE COMPLETE CONTACT RAPID SET *** SEAL GROUT WITH AQUAMIX SEALERS CHOICE GOLD |
| EGR-9G | GROUT | INLINE RESTAURANTS ONLY CERAMIC TILE | | LATICRETE | | #66 "CHESTNUT BROWN" | | NOTE: USE WITH ECT-18G *** CONTRACTOR TO ALLOW 1/16" MAX FOR GROUT JOINT *** FOR SETTING MATERIALS USE COMPLETE CONTACT RAPID SET *** SEAL GROUT WITH AQUAMIX SEALERS CHOICE GOLD Contact: Kirby Davis at Laticrete (203) 671-7210 |
| MC-1G | METAL COPING | TOP OF LIGHT BAND WALL CAP | W.P. HICKMAN SYSTEMS, INC. | | PERMA SNAP PLUS | | CONTACT: W.P. HICKMAN COMPANY (828)676-1700 - WWW.WPH.COM | |
| MC-2G | METAL COPING | BELOW LIGHT BAND | | | PERMA SNAP PLUS | FACTORY FINISH TO MATCH EP-2G PPG "TANNERS TAUPE" | | |
| MC-3G | METAL COPING | TOP OF ARCHON | | | PERMA SNAP PLUS | TO BE PAINTED TO MATCH EP-8G PPG "CEDAR" | | |
| MP-1G | | PARAPET LIGHT BAND | LEKTRON *SEE APPROVED SIGN SUPPLIERS | | LED LIGHT BAND | | PRODUCT INFORMATION: JOHN FITZWILSON AT LEKTRON (800) 634-4059 OR (918) 622-4978 EXT 302 Email: Jfitzwilson@lektroninc.com | |
| MP-3G | METAL CANOPY | ABOVE DOORS AND WINDOWS | *SEE APPROVED CANOPY SUPPLIERS | | CUSTOM METAL CANOPY | | COLOR: CLEAR ANODIZED *SEE PLANS | |
| MP-4G | METAL AWNING / SSM ROOFING | ABOVE WINDOWS / MANSARD ROOFING | FIRESTONE METAL PRODUCTS | STANDING SEAM METAL ROOF UC-4 PROFILE | SILVER METALLIC SR | | CONTACT: YUSUKE KOREEDA (615) 945-9991 Email: koreedayusuke@firestonebp.com | |
| | | | BERRIDGE ROOFING METAL PRODUCTS | STANDING SEAM METAL ROOF CEE-LOCK | PREMIUM METALLIC - ZINC COTE | | CONTACT: (210) 650-7047 | |



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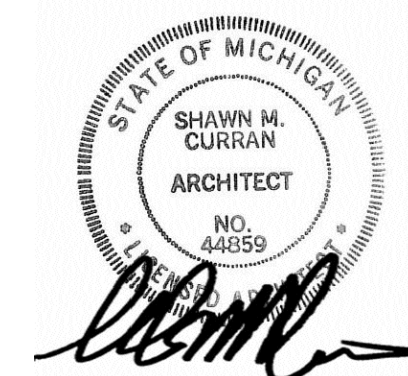
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FOR CONSTRUCTION 06-13-2018

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FINISH
SCHEDULE

A2.3



CURRAN ARCHITECTURE

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PROJECT INFORMATION

REMODEL TO:
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490 NORTH MAIN STREET
FRANKENMUTH, MI 48734



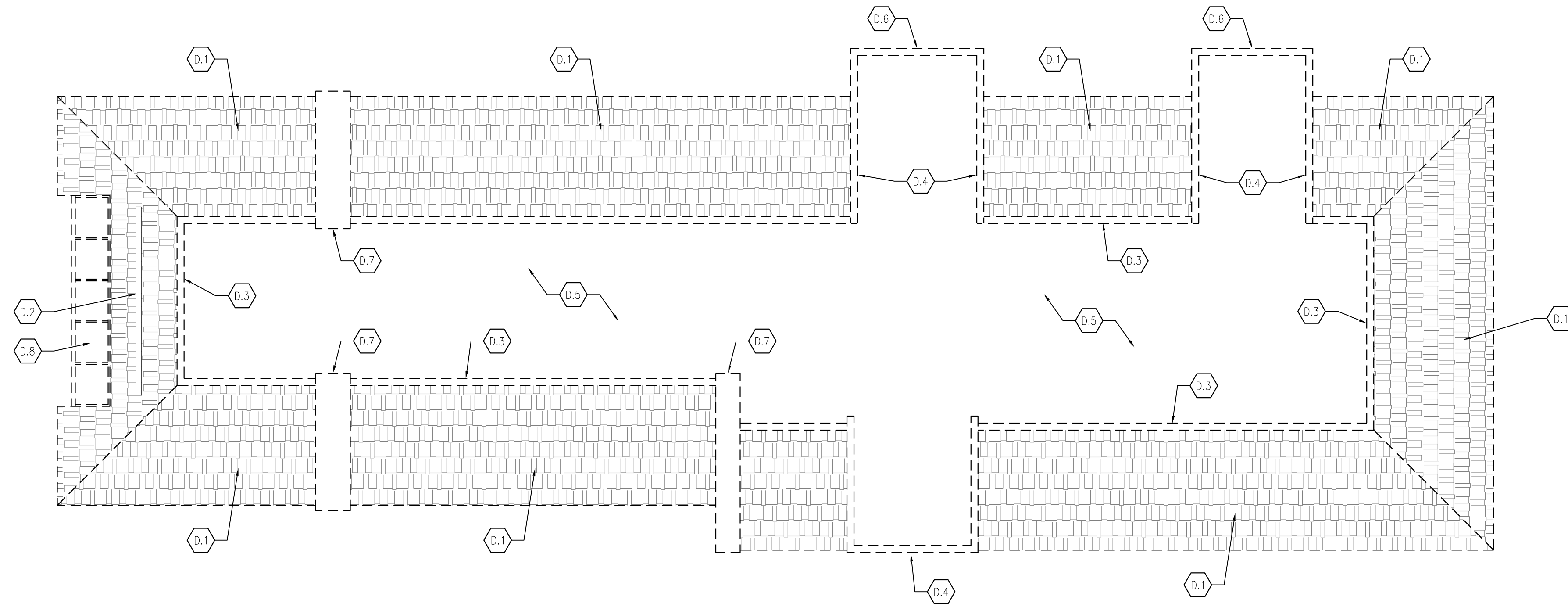
ISSUE DATES

FOR CONSTRUCTION 06-13-2018

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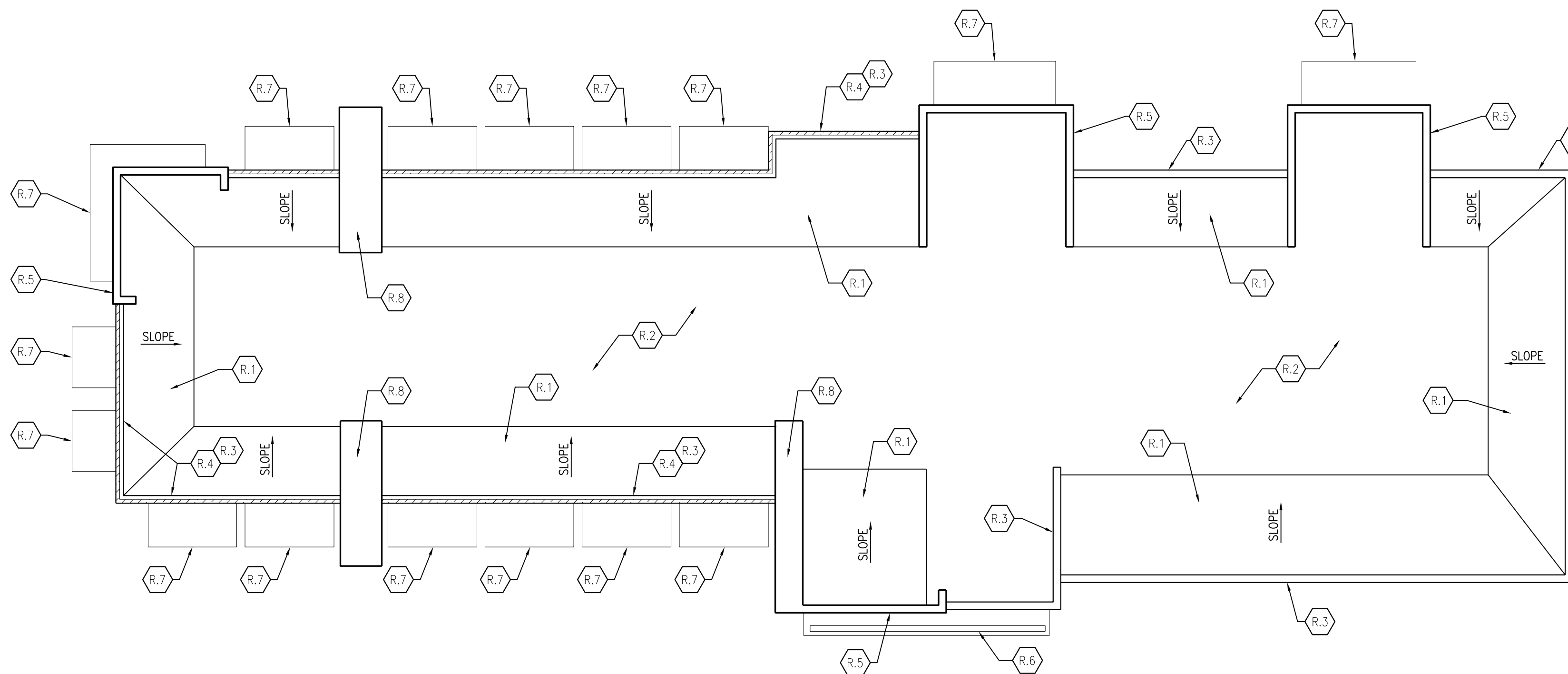
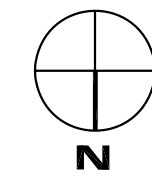
ROOF PLAN

A3.1



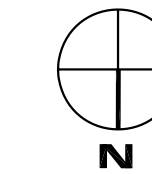
DEMOLITION ROOF PLAN

1/8" = 1'-0"



NEW ROOF PLAN

1/8" = 1'-0"

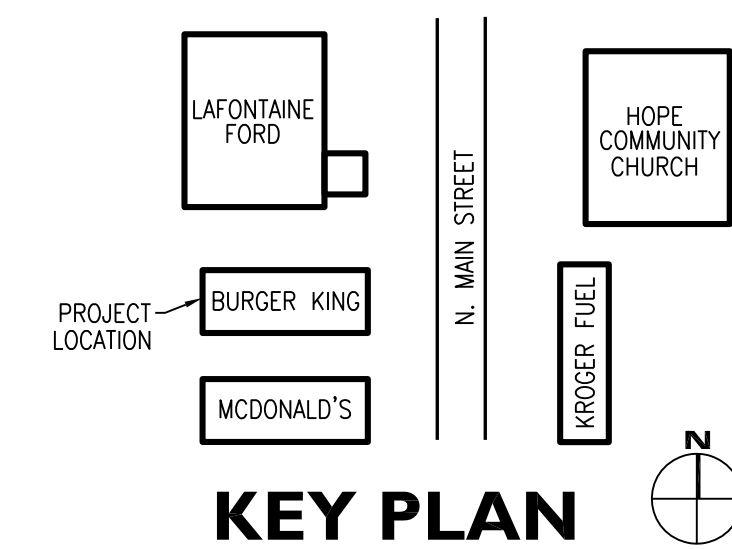


DEMO ROOF NOTES

- D.1 REMOVE ASPHALT SHINGLE ROOFING AND ENTIRE MANSARD ROOF ASSEMBLY, INCLUDING PORTIONS OF EXISTING TRUSSES AS SHOWN IN WALL SECTIONS TO EXTENTS SHOWN.
- D.2 REMOVE EXISTING SIGNAGE.
- D.3 REMOVE EXISTING LIGHTED BAND AND WALL COPINGS.
- D.4 REMOVE EXISTING WALL COPING.
- D.5 COORDINATE WITH OWNER FOR ANY ROOF MAINTENANCE OR REPLACEMENT SCOPE.
- D.6 REMOVE EXISTING D/T CANOPY BACK TO EXISTING BUILDING WALL.
- D.7 REMOVE EXISTING SLOPED ROOF CAP AT BRICK TOWERS. PREP FOR NEW FRAMING TO ALLOW FOR SQUARED OFF TOWERS WITH NEW NICHHA PANEL FINISH, REFER TO ELEVATIONS.
- D.8 REMOVE EXISTING GREENHOUSE FRAMING AND ENTIRE WALL SYSTEM BELOW, REFER TO DEMO PLAN.

NEW ROOF NOTES

- R.1 NEW ROOF FRAMING, SHEATHING, RIGID INSULATION AND ROOFING MEMBRANE TO MATCH EXISTING, SEE WALL SECTIONS.
- R.2 COORDINATE WITH OWNER FOR ANY ROOF MAINTENANCE OR REPLACEMENT SCOPE.
- R.3 NEW WALL COPINGS, SEE EXTERIOR ELEVATIONS FOR COLORS.
- R.4 LIGHTED BAND ASSEMBLY WITH LED LAMPS, TIE INTO EXISTING LIGHTING CIRCUITS.
- R.5 TOWER WALL FRAMING, SEE ELEVATIONS AND SECTIONS FOR ADDITIONAL INFORMATION.
- R.6 1' FLAME GRILLING SINCE 1954' SIGN.
- R.7 NEW SUSPENDED CANOPY SYSTEM, COORDINATE WITH DETAILS ON SHEET A5.1 AND MANUFACTURER FOR REQUIRED BLOCKING LOCATIONS.
- R.8 NEW SQUARED OFF TOWERS WITH ADHERED EPDM ROOF MEMBRANE OVER PLYWOOD DECK AND METAL EDGE TO MATCH COPING MC-30. SLOPE ENTIRE ASSEMBLY MIN. 1/8" PER FOOT FOR POSITIVE DRAINAGE.



KEY PLAN



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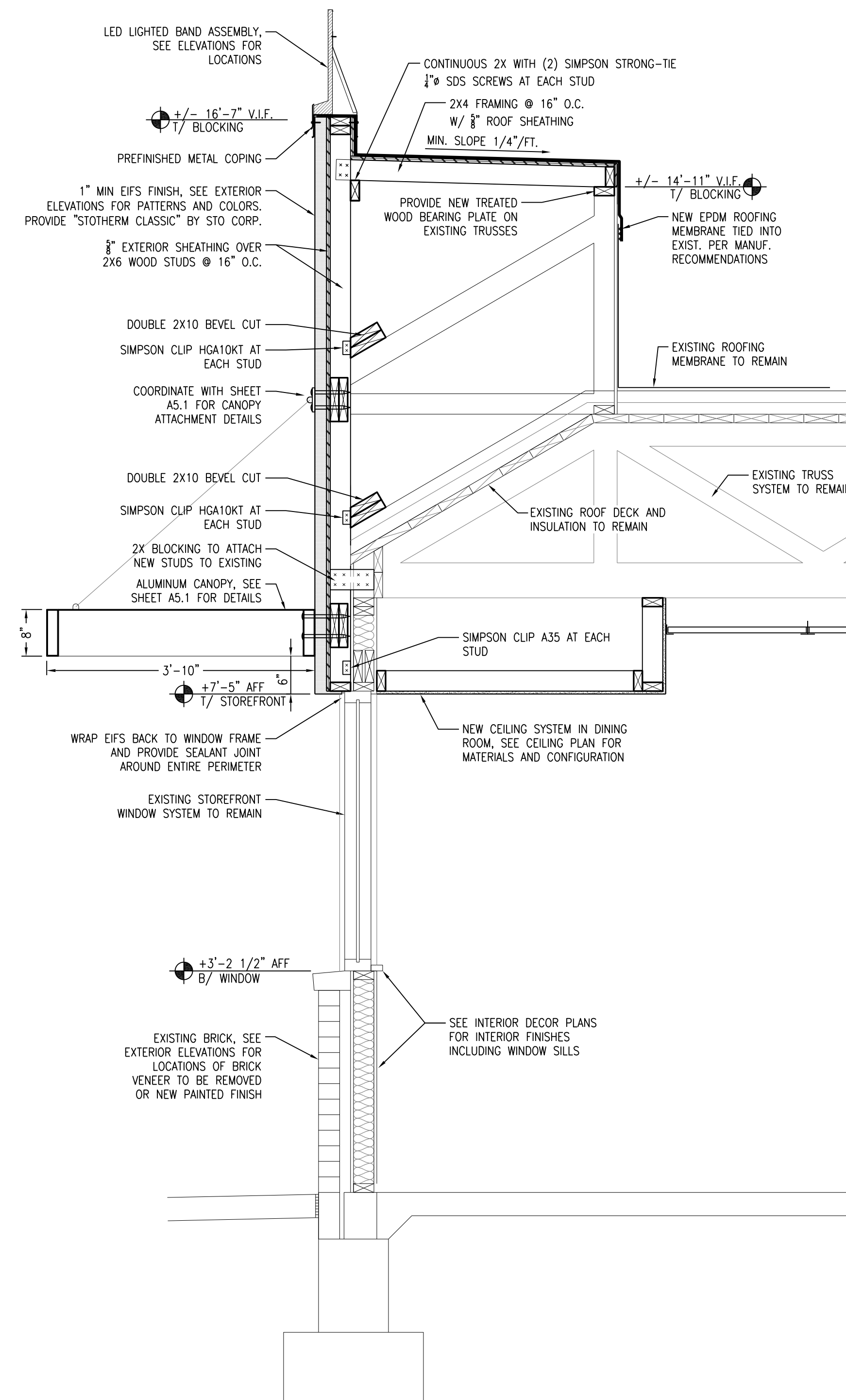
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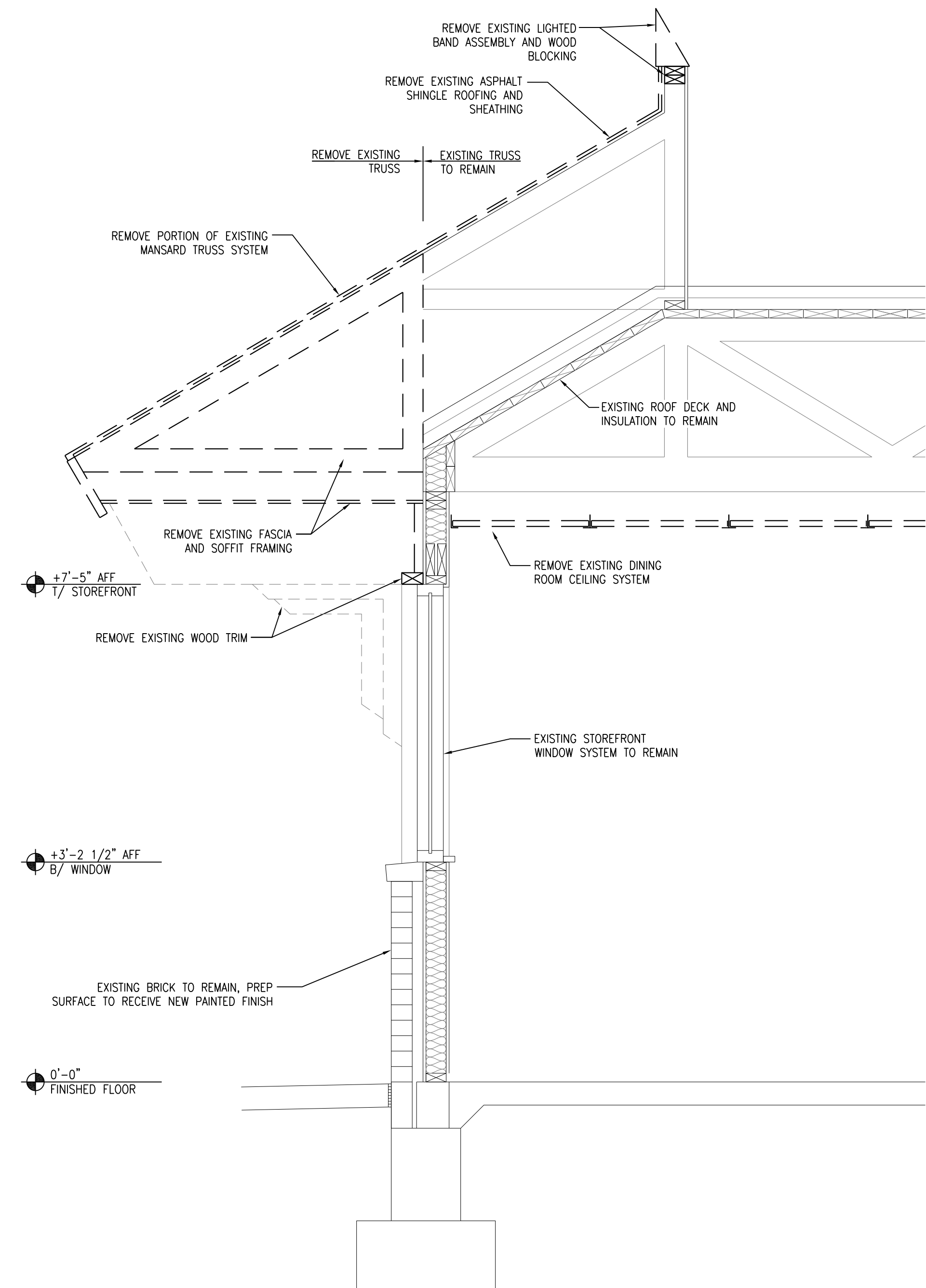
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WALL SECTIONS

A4.1



TYP. NEW SECTION 2
3/4" = 1'-0"



TYP. DEMO SECTION 1
3/4" = 1'-0"



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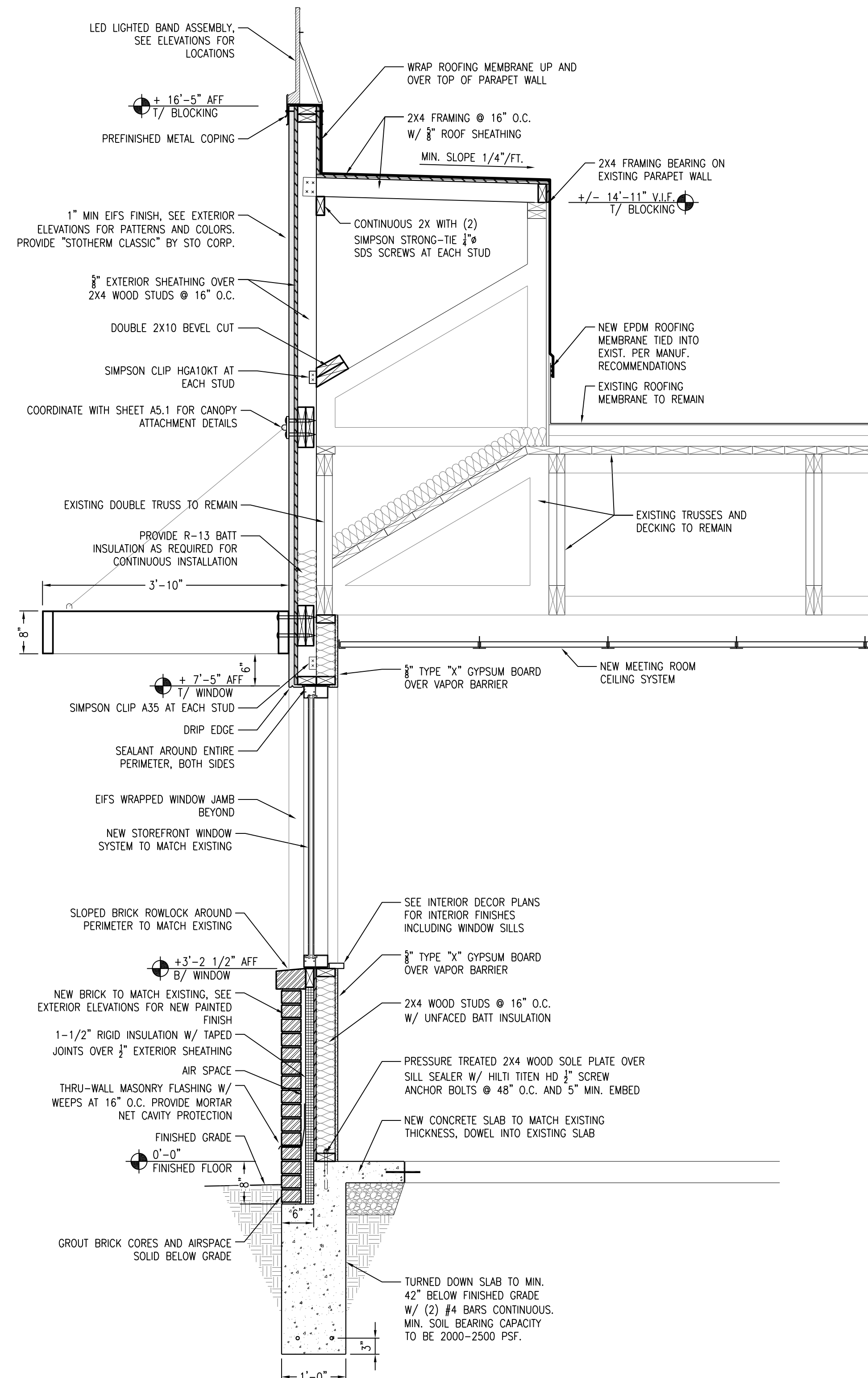
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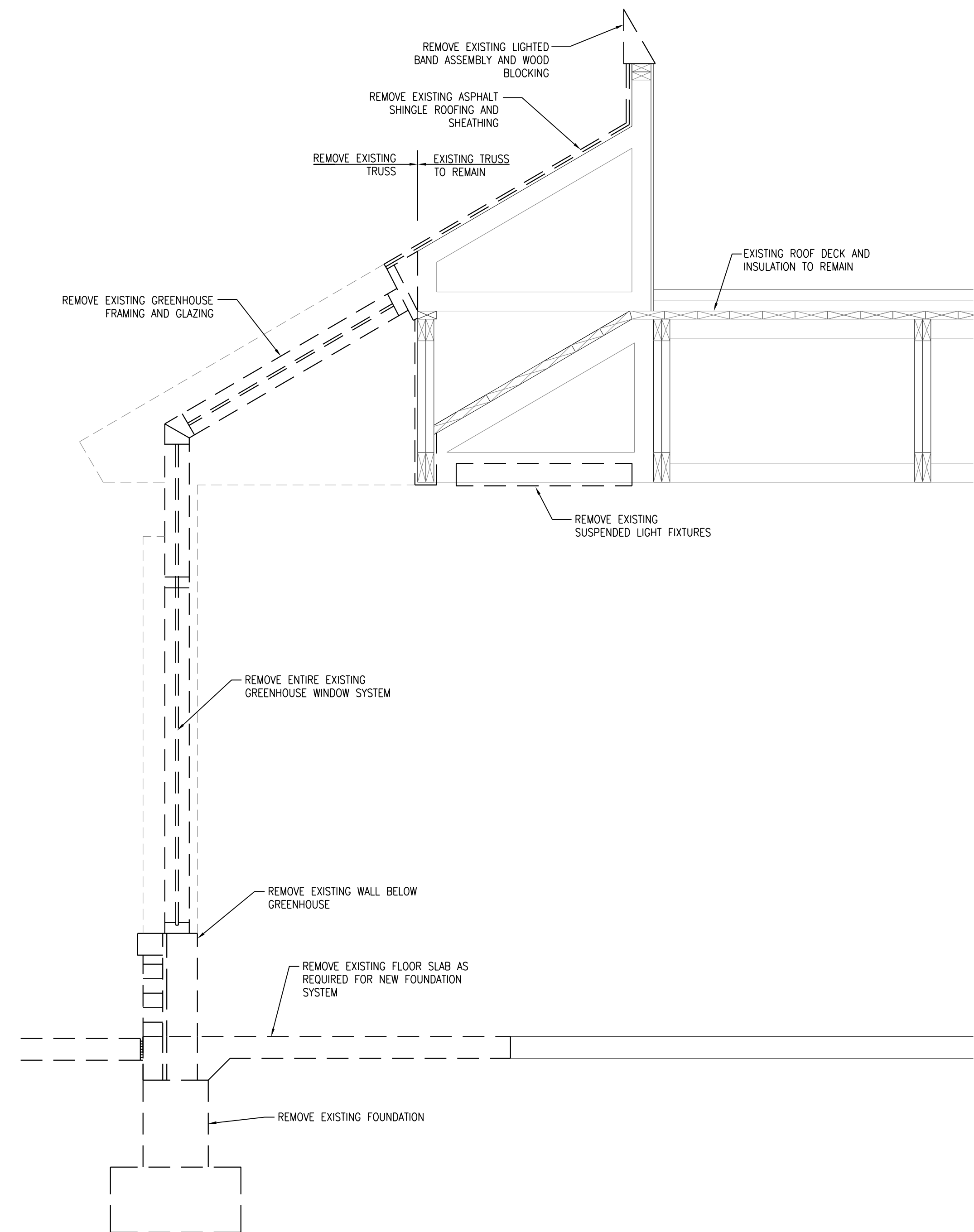
PROJECT NUMBER: 180081

WALL SECTIONS

A4.2



NEW SECTION @ FORMER GREENHOUSE 2
3/4" = 1'-0"



DEMO SECTION @ GREENHOUSE 1
3/4" = 1'-0"



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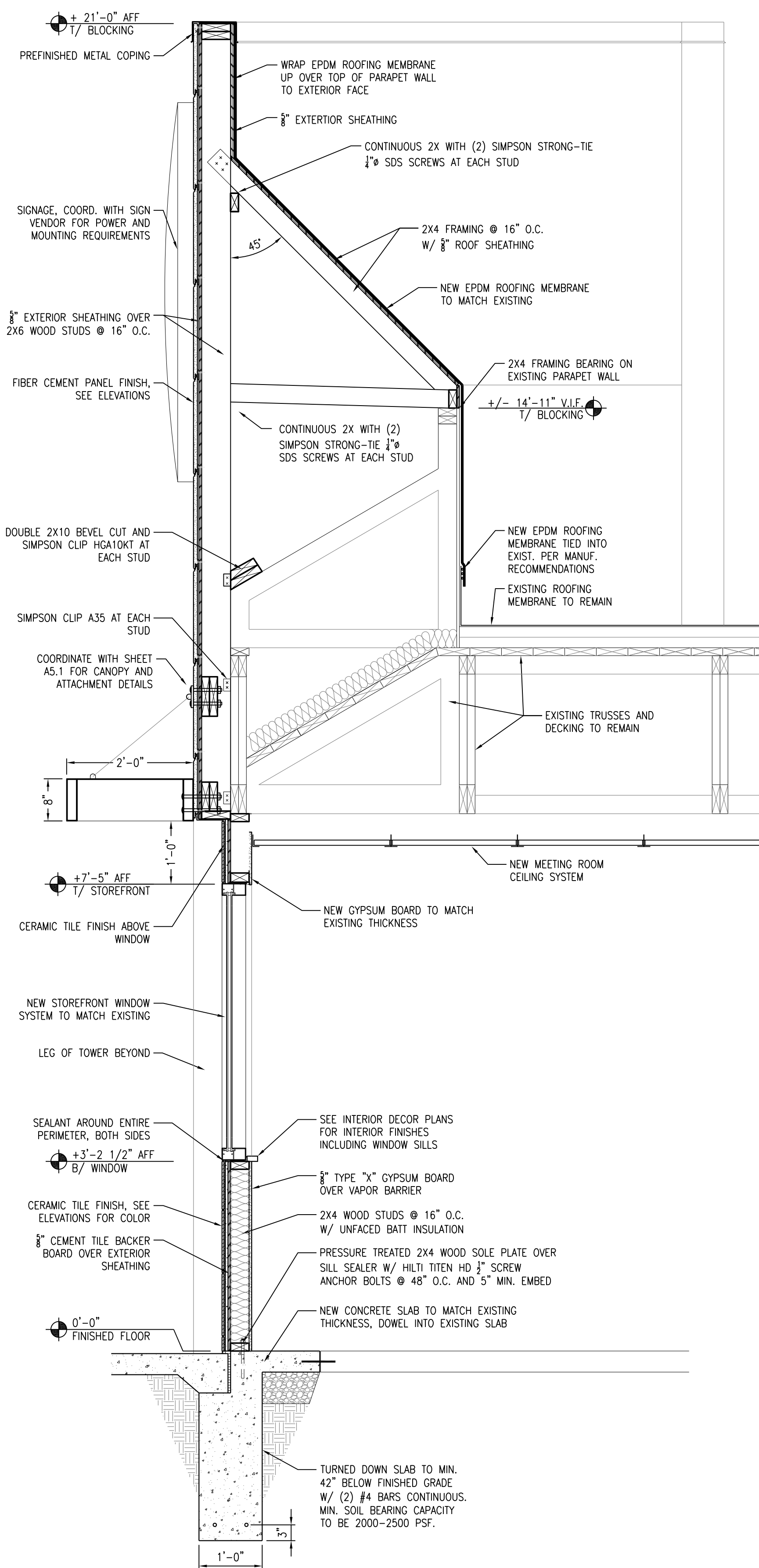
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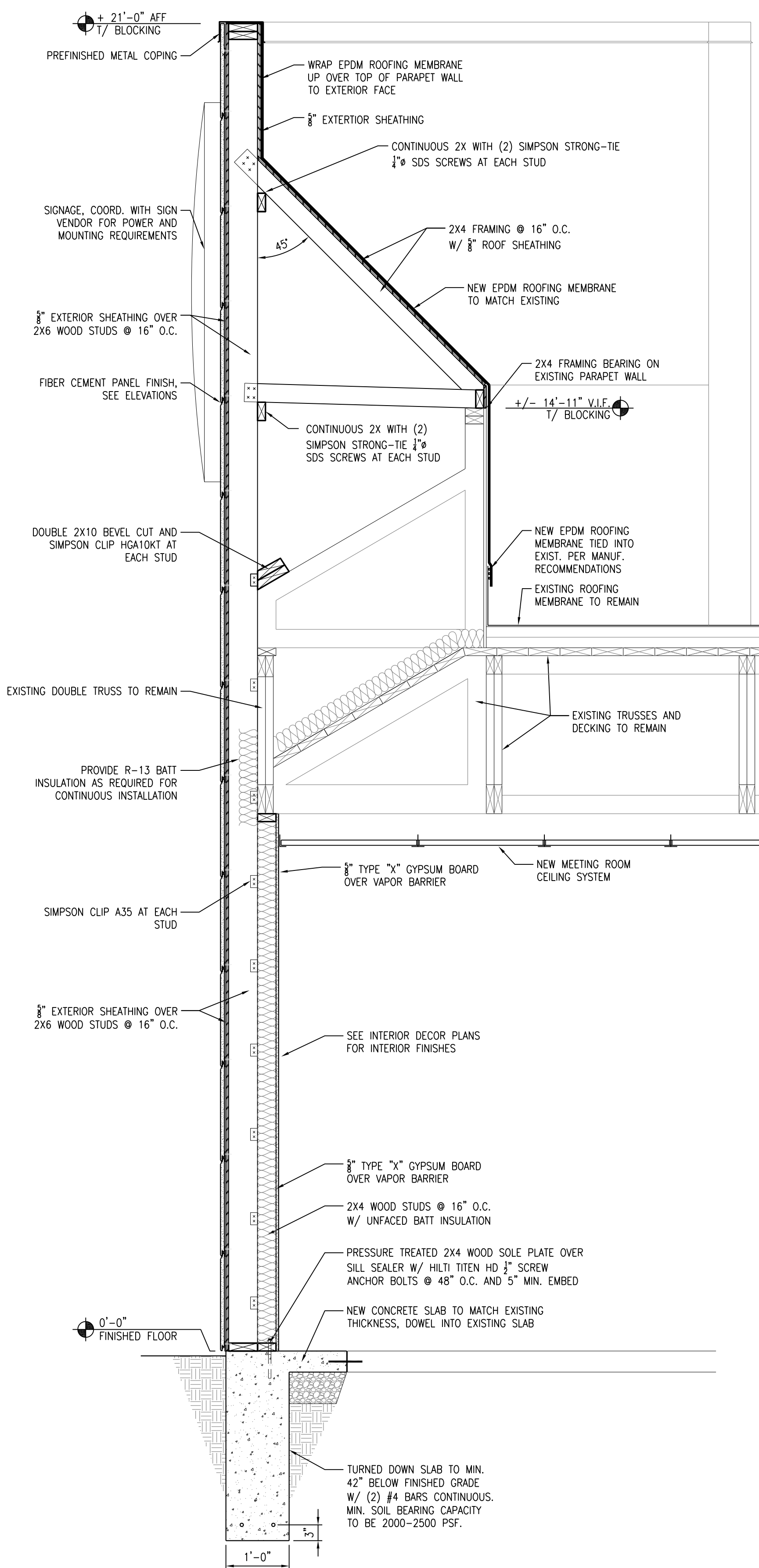
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WALL SECTIONS

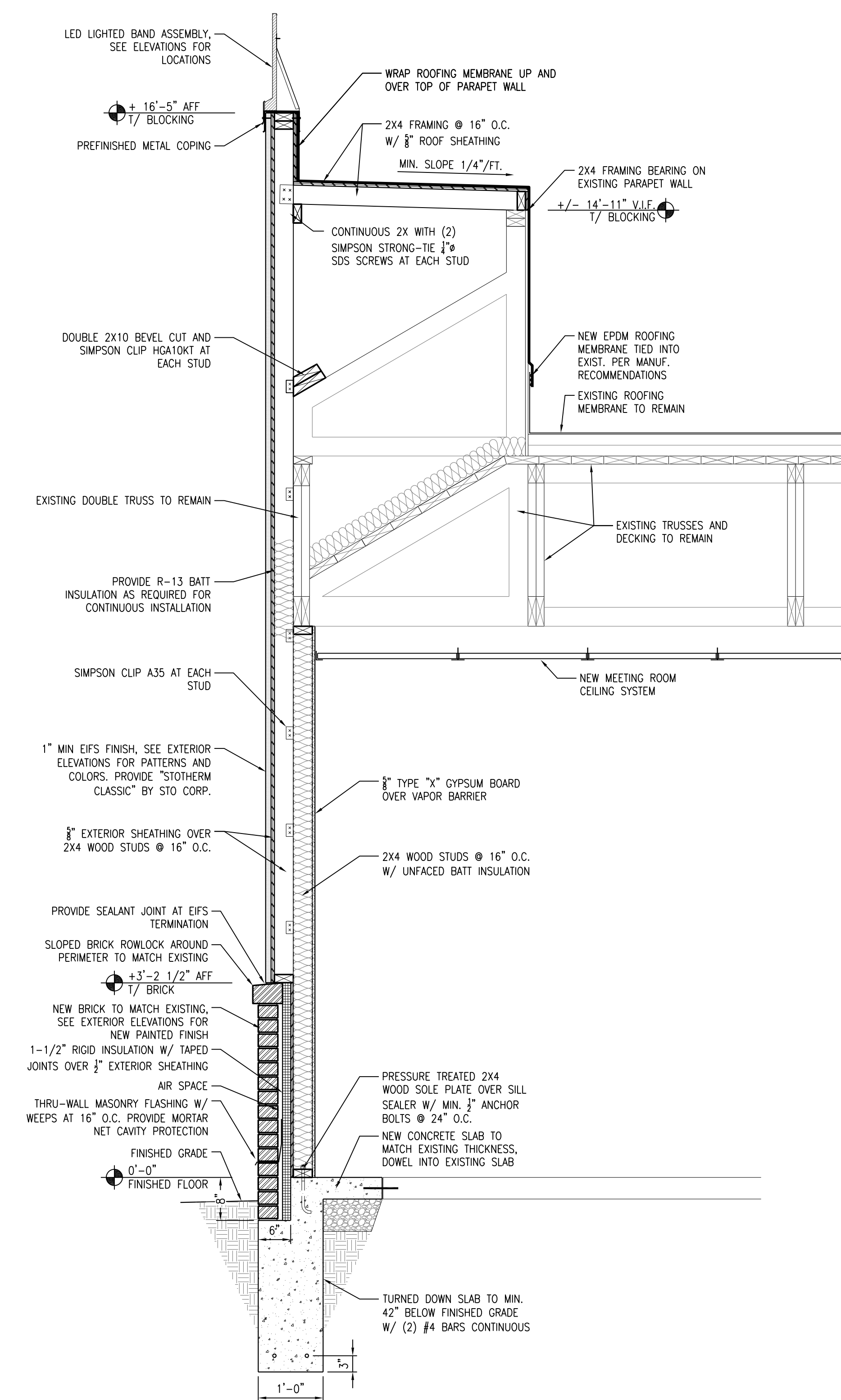
A4.3



SECTION @ CORNER TOWER WINDOW 3
3/4" = 1'-0"



SECTION @ CORNER TOWER LEG 2
3/4" = 1'-0"



SECTION @ NEW FRONT WALL 1
3/4" = 1'-0"



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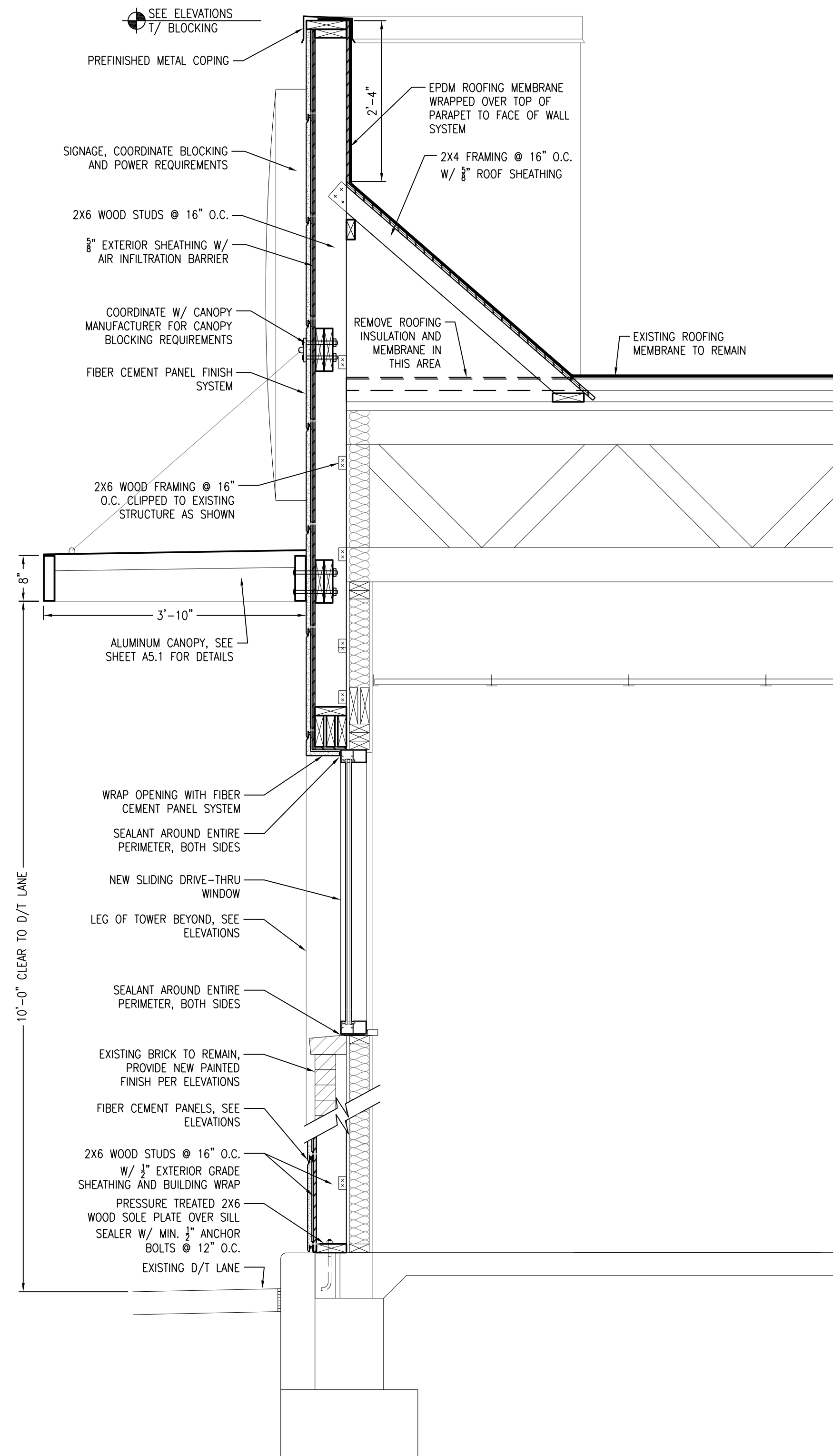
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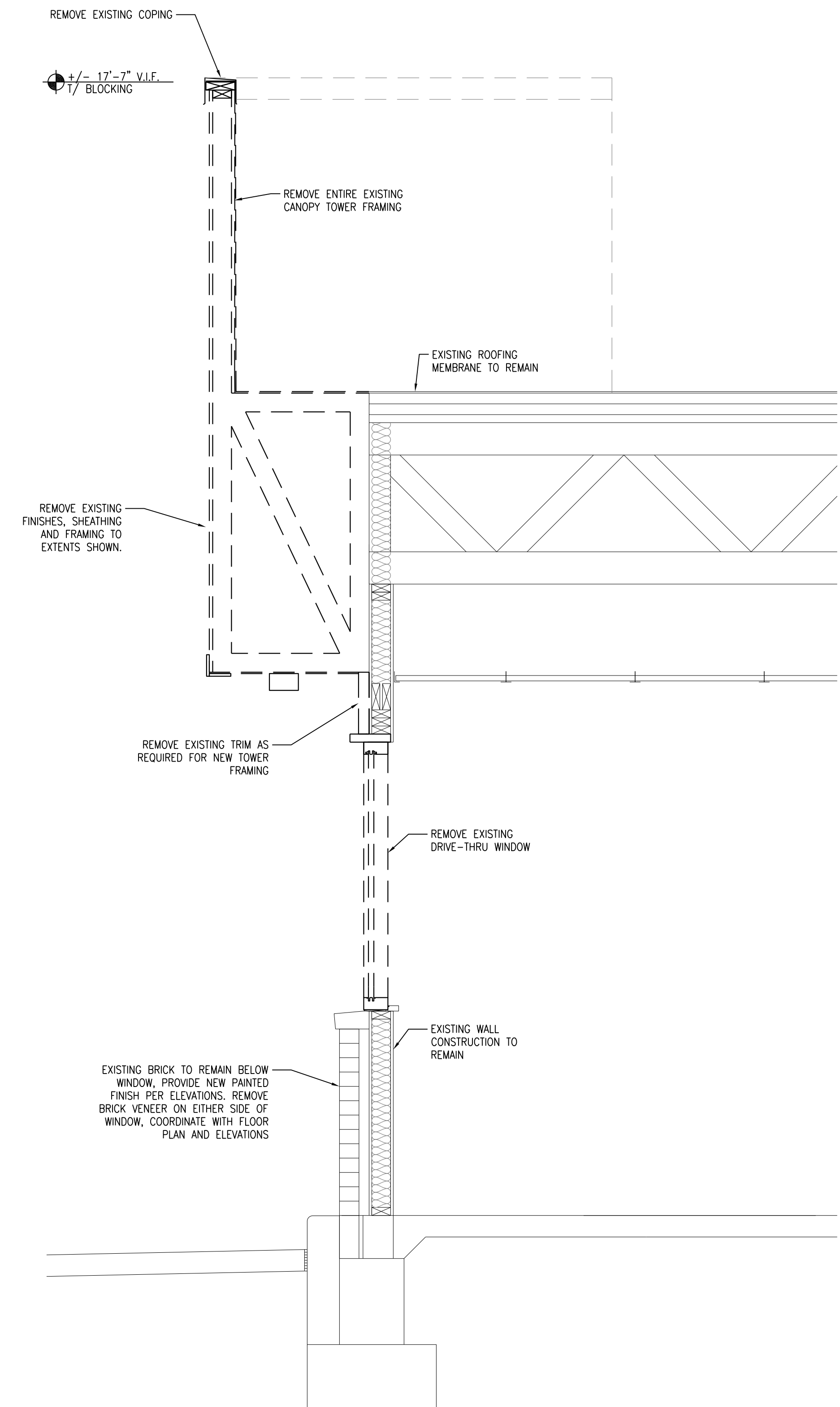
WALL SECTIONS

A4.4



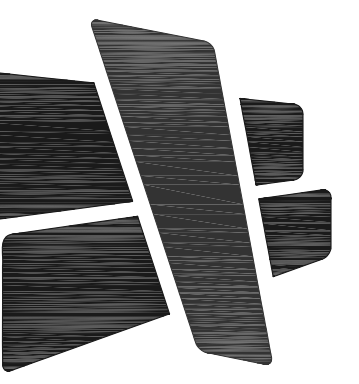
NEW SECTION @ D/T WINDOW 2

3/4" = 1'-0"



DEMO SECTION @ D/T WINDOW 1

3/4" = 1'-0"



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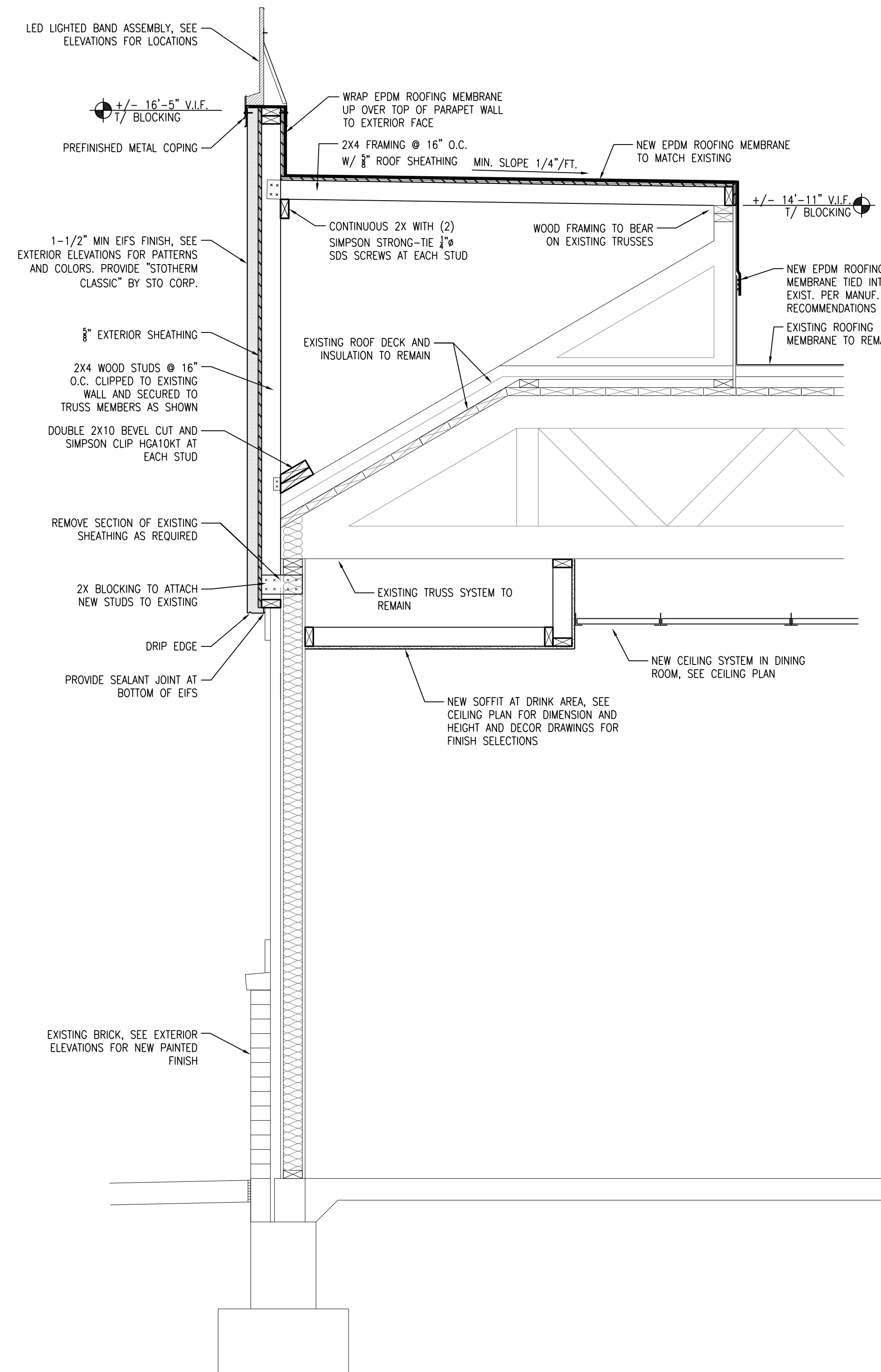
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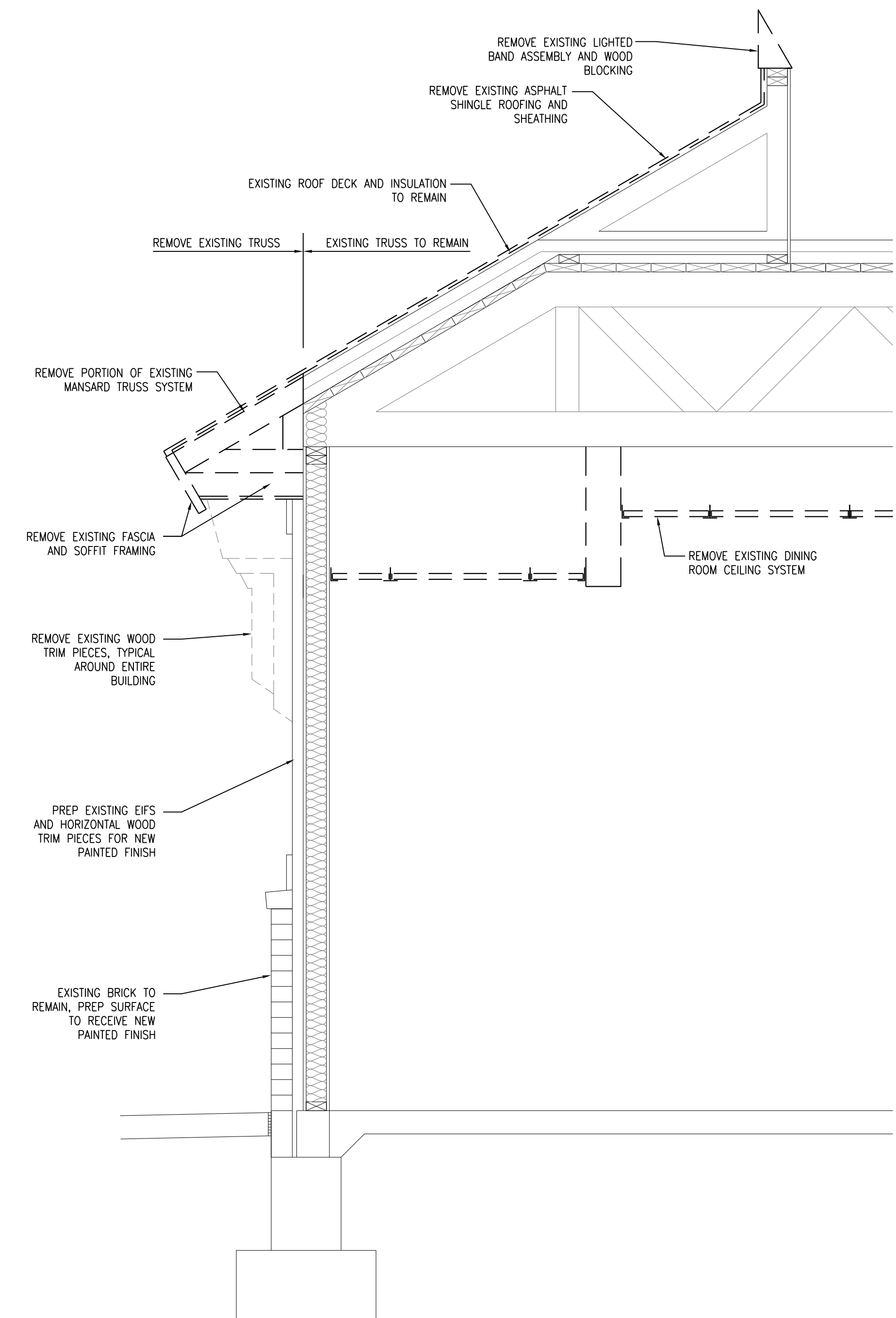
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WALL SECTIONS

A4.5



NEW SECTION @ DRINK AREA 2
3/4" = 1'-0"



DEMO SECTION @ DRINK AREA 1
3/4" = 1'-0"



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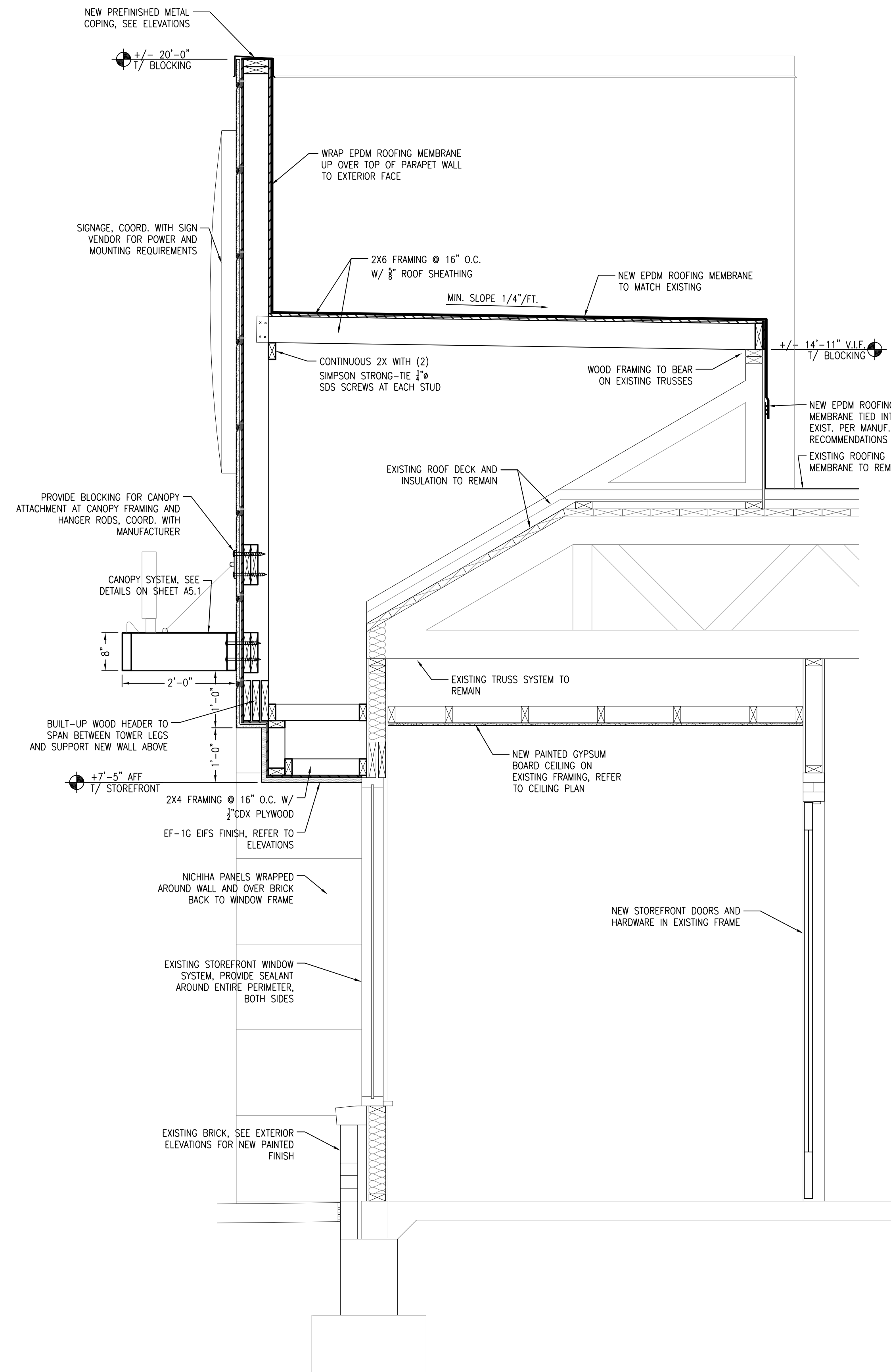
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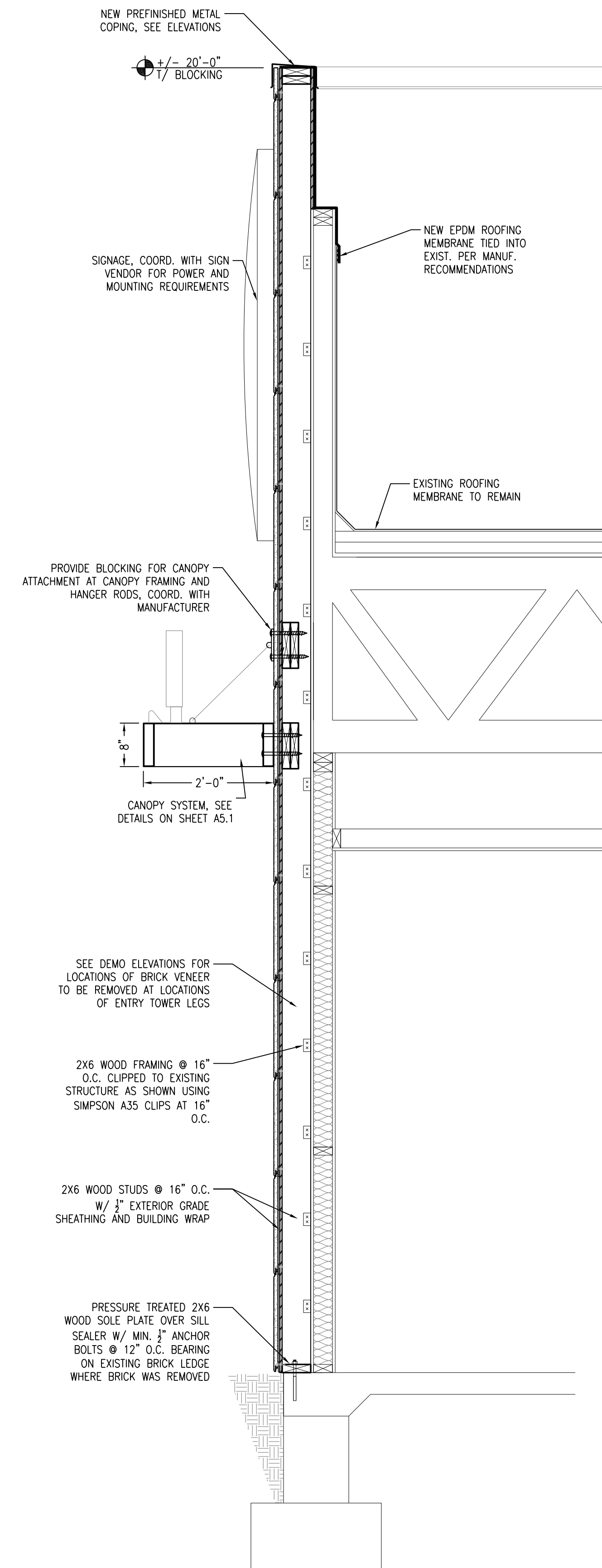
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WALL SECTIONS

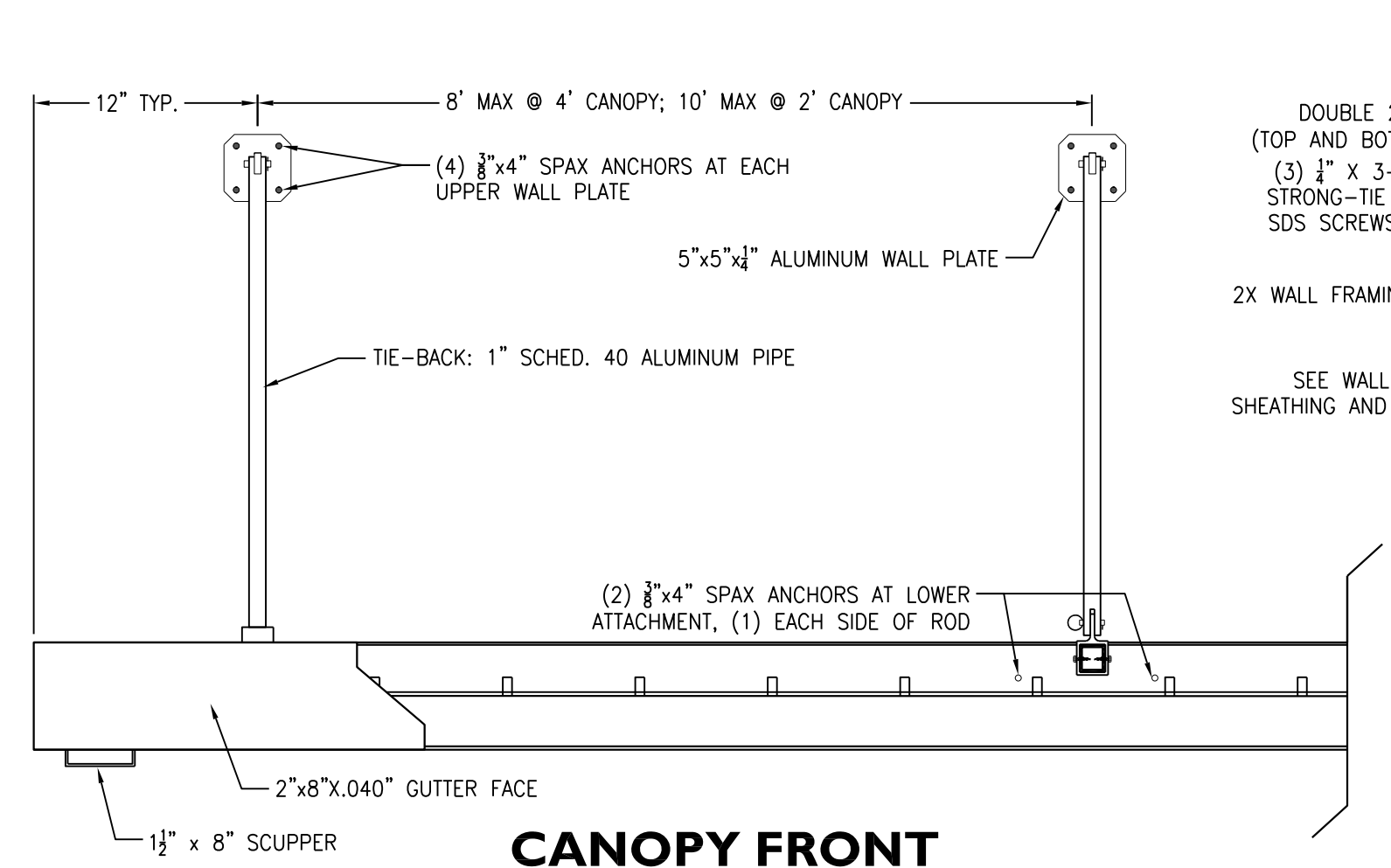
A4.6



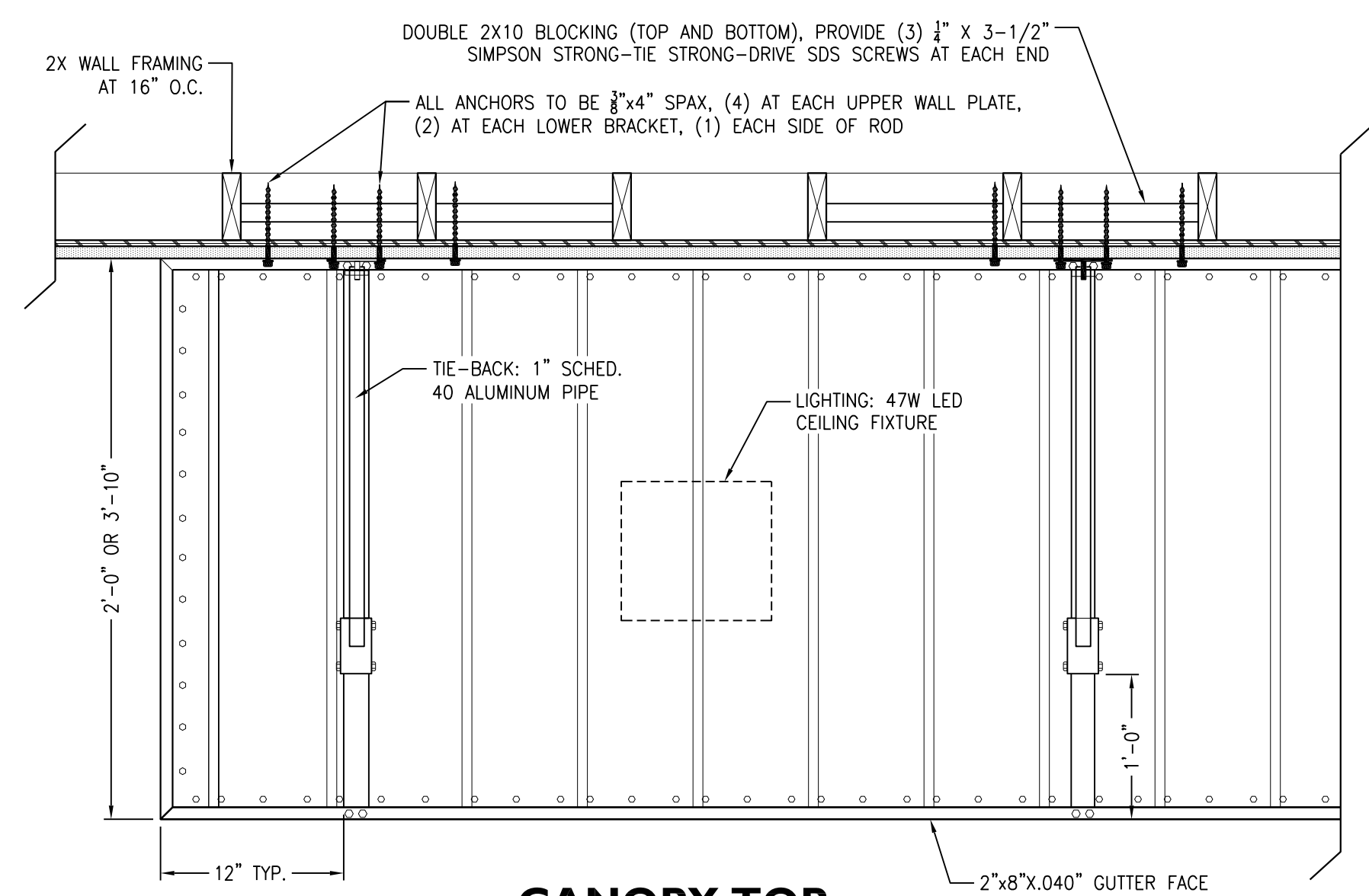
SECTION @ ENTRY TOWER WINDOW 2
3/4" = 1'-0"



SECTION @ ENTRY TOWER LEG 1
3/4" = 1'-0"

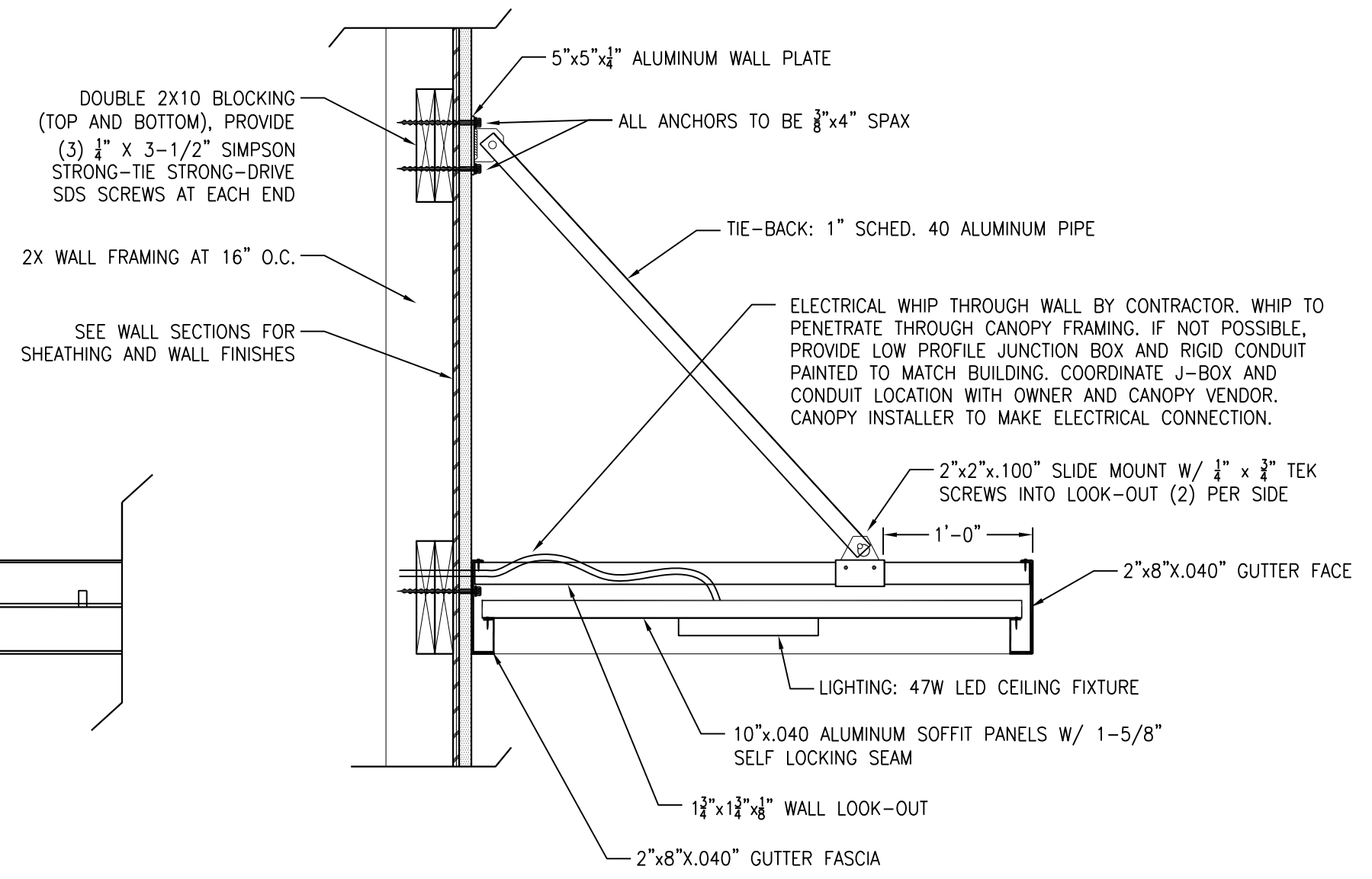


CANOPY FRONT

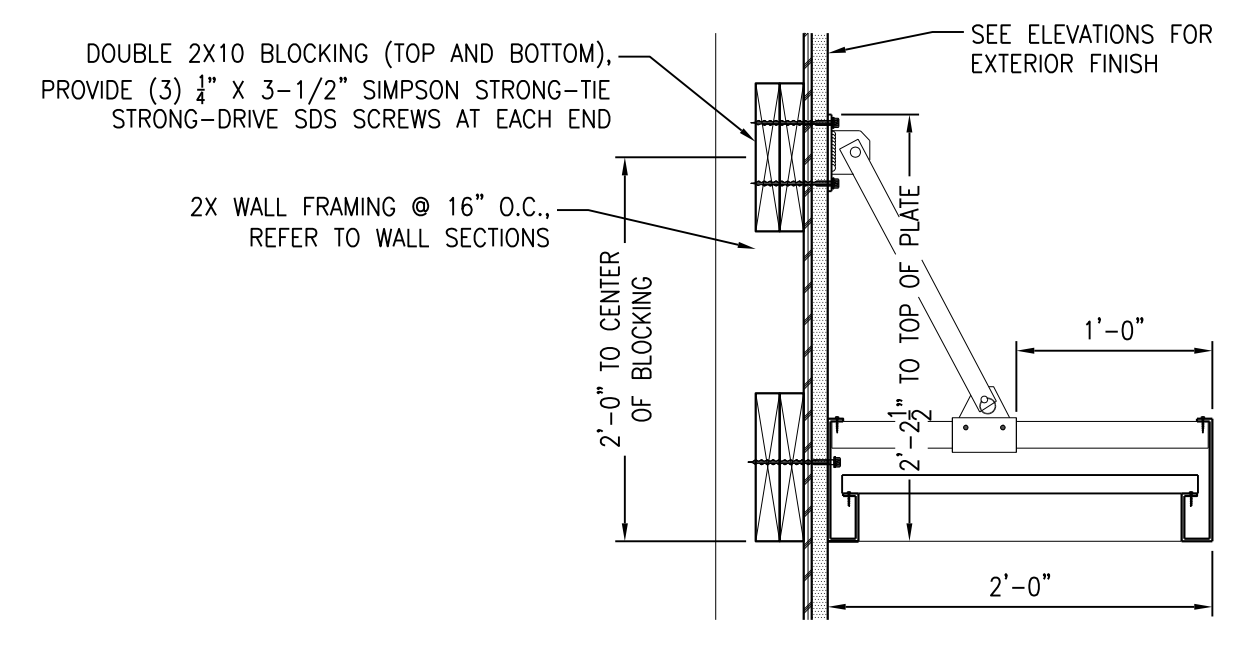


CANOPY TOP

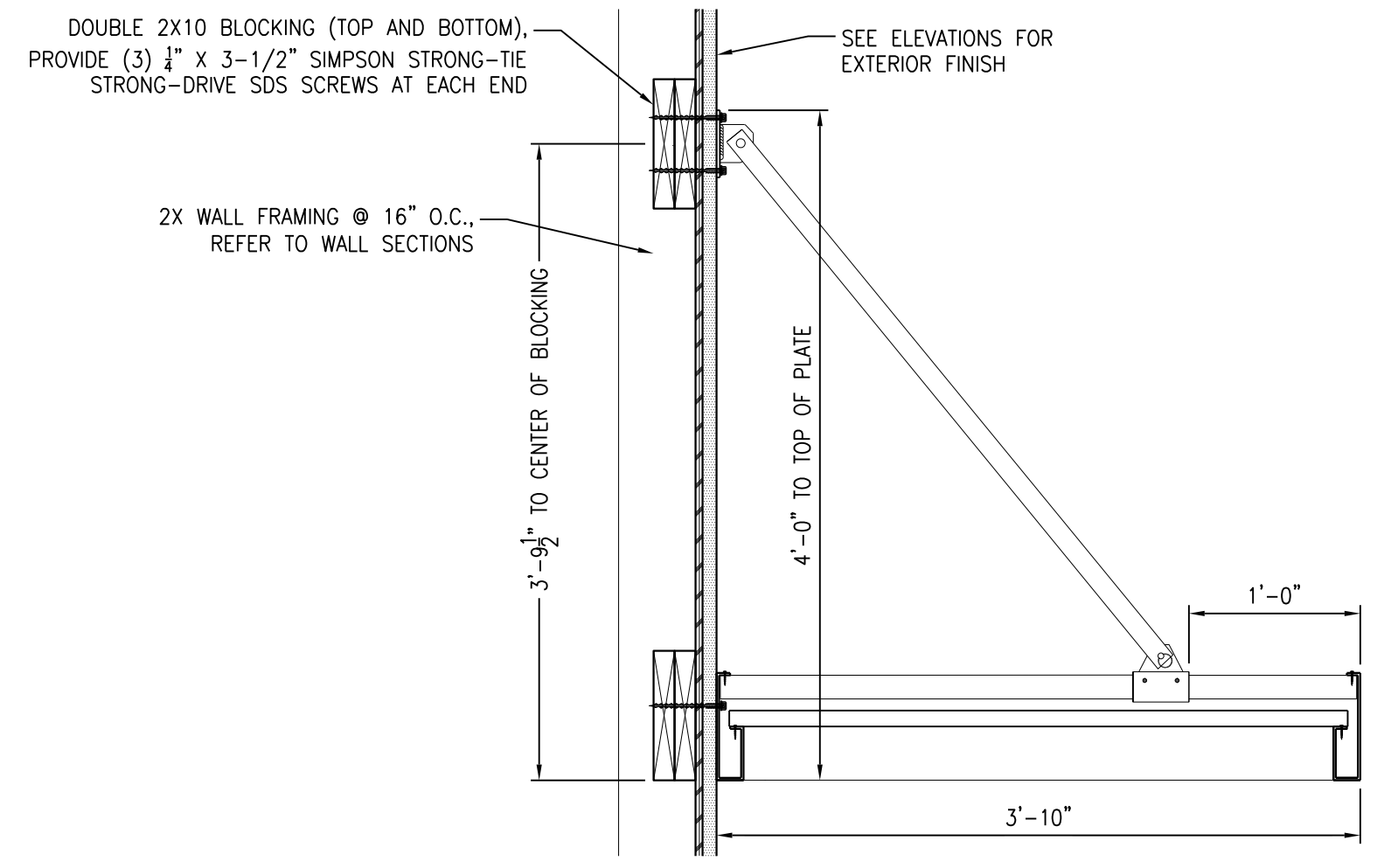
CANOPY ATTACHMENT DETAILS 2
NOT TO SCALE



TYP. CANOPY DETAILS



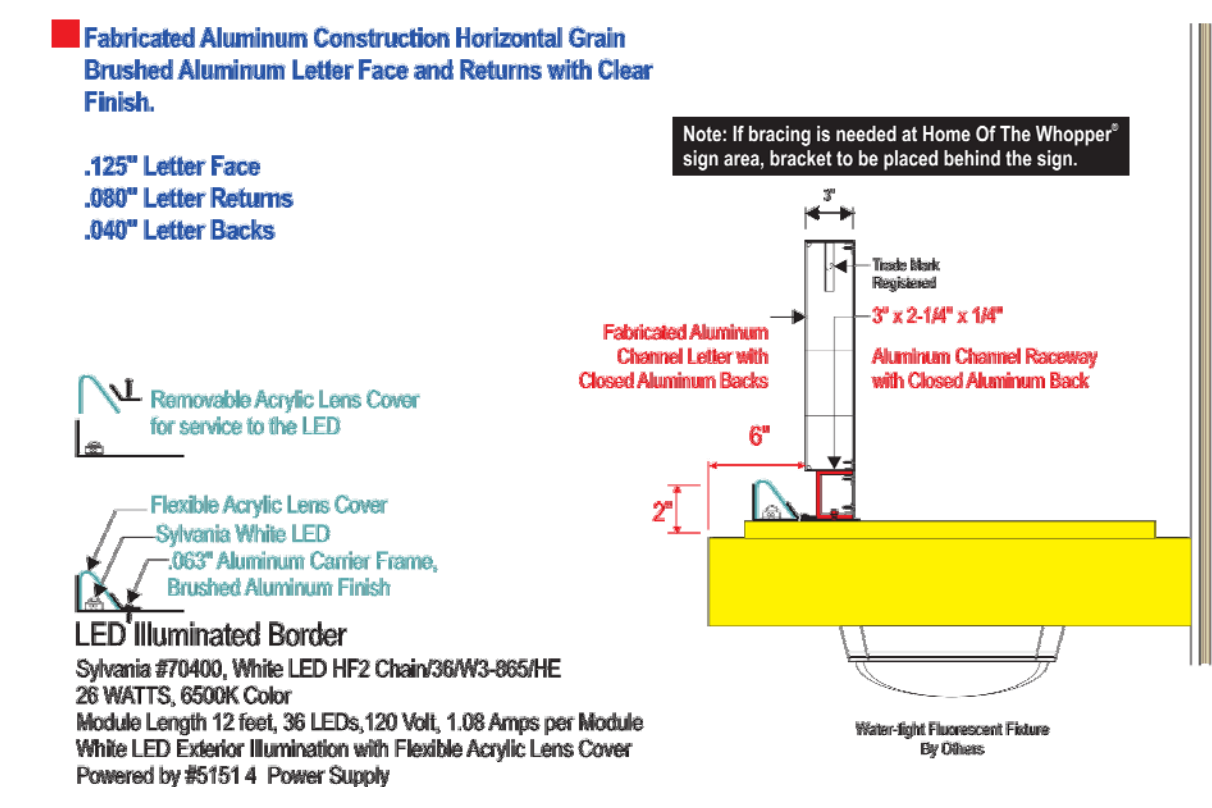
2' CANOPY SECTION



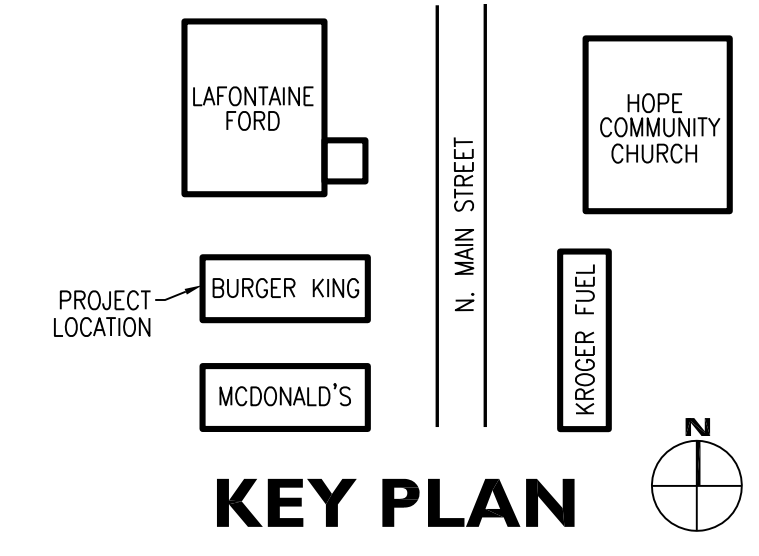
4' CANOPY SECTION

CANOPY FRAMING DETAILS 1
NOT TO SCALE

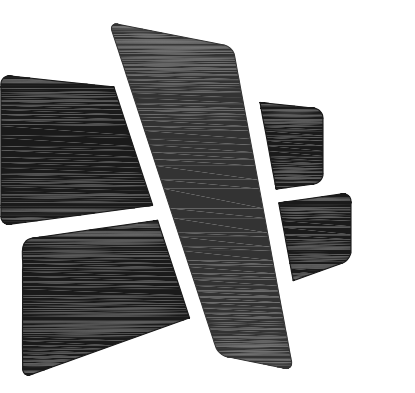
Manufacturing Specifications:



SIGNAGE LIGHTING 3
NOT TO SCALE



KEY PLAN

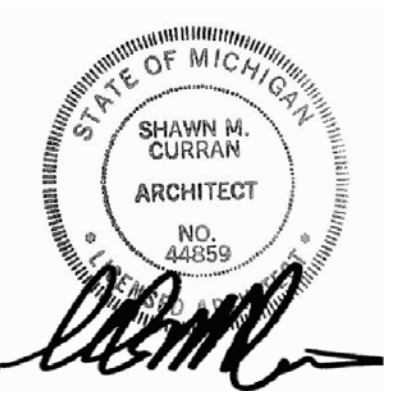


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PROJECT NUMBER: 180081

CANOPY DETAILS

A5.1

DOOR SCHEDULE

| MARK | TYPE | SIZE | MATERIAL | FINISH | GLAZING | RATING | FRAME | MATERIAL | FINISH | RATING | HARDWARE | NOTES | MARK |
|------|------|----------------|-------------|-------------|-----------------|--------|-------|------------|-------------------|--------|----------|--|------|
| 100A | FG | PAIR 3-0 X 7-0 | AL | MATCH EXIST | 1" INSUL. TEMP. | -- | EXIST | EXIST AL | EXIST | -- | 1 | NEW DOOR AND HARDWARE IN EXISTING FRAME, VERIFY SIZE | 100A |
| 100B | FG | PAIR 3-0 X 7-0 | AL | MATCH EXIST | 1/4" TEMP. | -- | EXIST | EXIST AL | EXIST | -- | 2 | NEW DOOR AND HARDWARE IN EXISTING FRAME, VERIFY SIZE | 100B |
| 101A | FG | 3-0 X 7-0 | AL | MATCH EXIST | 1/4" TEMP. | -- | EXIST | EXIST AL | EXIST | -- | 4 | NEW DOOR AND HARDWARE IN EXISTING FRAME, VERIFY SIZE | 101A |
| 101B | FG | 3-0 X 7-0 | AL | MATCH EXIST | 1/4" TEMP. | -- | EXIST | EXIST AL | EXIST | -- | 4 | NEW DOOR AND HARDWARE IN EXISTING FRAME, VERIFY SIZE | 101B |
| 102A | FG | 3-0 X 7-0 | AL | MATCH EXIST | 1" INSUL. TEMP. | -- | EXIST | EXIST AL | EXIST | -- | 3 | NEW DOOR AND HARDWARE IN EXISTING FRAME, VERIFY SIZE | 102A |
| 102B | FG | 3-0 X 7-0 | AL | MATCH EXIST | 1" INSUL. TEMP. | -- | EXIST | EXIST AL | EXIST | -- | 3 | NEW DOOR AND HARDWARE IN EXISTING FRAME, VERIFY SIZE | 102B |
| 104 | F | 3-0 X 6-8 | SCWD | HPL | NONE | -- | F1 | K.D. ALUM. | CLEAR ANNOXIDIZED | -- | 6 | | 104 |
| 105 | F | 3-0 X 6-8 | SCWD | HPL | NONE | -- | F1 | K.D. ALUM. | CLEAR ANNOXIDIZED | -- | 5 | | 105 |
| 107 | HL | 3-0 X 6-8 | SCWD | HPL | 1/4" TEMP. | -- | F1 | K.D. ALUM. | CLEAR ANNOXIDIZED | -- | 7 | | 107 |
| 108 | F | 3-0 X 6-8 | INSUL-STEEL | PAINT | NONE | -- | F1 | HM | PAINT | -- | 9 | VERIFY ROUGH OPENING SIZE IN EXISTING WALL | 108 |
| 109 | F | 4-0 X 6-8 | INSUL-STEEL | PAINT | NONE | -- | F1 | HM | PAINT | -- | 8 | VERIFY ROUGH OPENING SIZE IN EXISTING WALL | 109 |

NOTES:

- ALL DOOR HARDWARE SHALL BE HEAVY DUTY, GRADE 1, COMMERCIAL QUALITY.
- WHERE 'EXIT DEVICE' IS SPECIFIED, AN ADA COMPLIANT PANIC EXIT DEVICE EQUAL TO 'VON DUPRIN SERIES 98/99' SHALL BE PROVIDED.
- ALL HARDWARE TO HAVE SATIN ALUMINUM ANODIZED FINISH

DOOR HARDWARE

HARDWARE SET #1

- 2 CONTINUOUS HINGES
- 2 CLOSERS
- 2 KEYPANIC EXIT DEVICES
- 1 PERIMETER SEAL
- 1 THRESHOLD
- 2 BKC PULLS

HARDWARE SET #2

- 2 CONTINUOUS HINGES
- 2 CLOSERS
- 2 PUSH/PULL
- 1 PERIMETER SEAL

HARDWARE SET #3

- 1 CONTINUOUS HINGE
- 1 CLOSER
- 1 KEYPANIC EXIT DEVICE
- 1 PERIMETER SEAL
- 1 THRESHOLD
- 1 BKC PULL

HARDWARE SET #4

- 1 CONTINUOUS HINGE
- 1 CLOSER
- 1 PUSH/PULL
- 1 PERIMETER SEAL
- 1 THUMBTURN LOCK

HARDWARE SET #5

- 3 HINGES
- 1 CLOSER
- 1 PUSH/PULL
- 1 THUMBTURN LOCK W/ INDICATOR
- 1 PERIMETER SEAL
- 1 WALL STOP
- 2 34x12 SS KICKPLATES

HARDWARE SET #6

- 3 HINGES
- 1 CLOSER
- 1 PUSH/PULL
- 1 PERIMETER SEAL
- 1 WALL STOP
- 2 34x12 SS KICKPLATES

HARDWARE SET #7

- 3 HINGES
- 1 CLOSER
- 1 KEYPAD LOCKSET: MANUF: KABA MODEL: E5031-XS-WL KEY: SCHLAGE FINISH: US26D
- 3 MUTES
- 1 OVERHEAD STOP
- 2 34x12 SS KICKPLATES

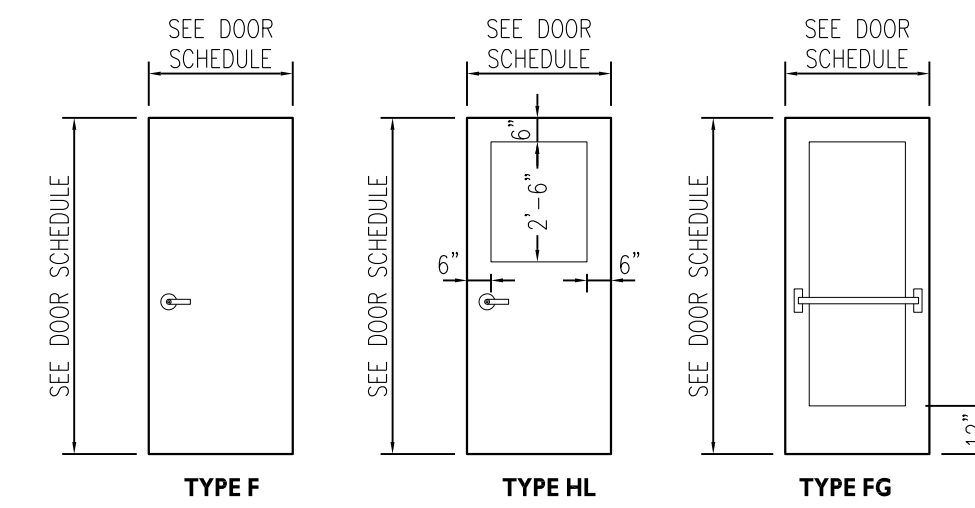
HARDWARE SET #8

- 4 HINGES
- 1 CLOSER
- 1 KEYPANIC EXIT DEVICE
- 1 PERIMETER SEAL
- 1 THRESHOLD
- 1 PEEPHOLE
- 1 46x12 SS KICKPLATE

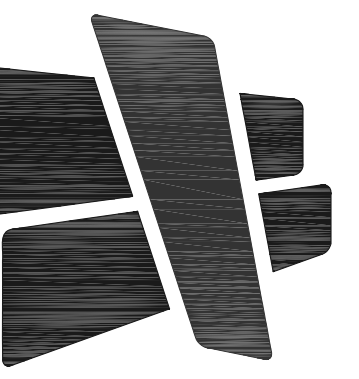
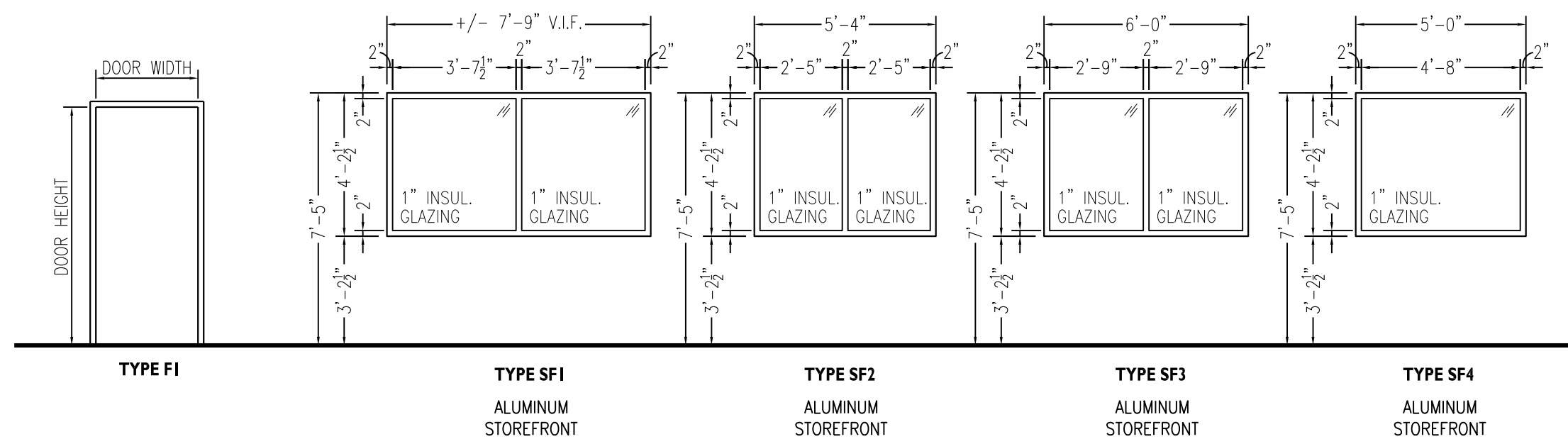
HARDWARE SET #9

- 3 HINGES
- 1 CLOSER
- 1 KEYPANIC EXIT DEVICE
- 1 PERIMETER SEAL
- 1 THRESHOLD
- 1 PEEPHOLE
- 1 34x12 SS KICKPLATE

DOOR ELEVATIONS



FRAME ELEVATIONS



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DOOR SCHEDULE

A6.1

