

**CONSTRUCTION NOTES:**

- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER A COMPLETE PROJECT, READY TO USE, AND ALL ITEMS NECESSARY FOR A COMPLETE AND WORKABLE JOB SHALL BE FURNISHED AND INSTALLED. ANY DISCREPANCY SHALL BE IMMEDIATELY REPORTED TO THE OWNER OR HIS REPRESENTATIVE.
- NOTIFY THE INSPECTOR OF THE LOCAL GOVERNING AUTHORITY 24 HOURS BEFORE EVERY PHASE OF CONSTRUCTION.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR, AT HIS EXPENSE, UNLESS ALREADY OBTAINED BY THE OWNER.
- THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBING CURBING, PAVING, AND ALL OTHER UTILITIES.
- THE EXISTING UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE DRAWINGS. THE UTILITIES SHOWN ARE THOSE LOCATED BY THE SURVEYOR OF RECORD. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF THE UTILITIES SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR CONSENT OF THE ENGINEER AND THE MUNICIPALITY MAY CAUSE FOR THE WORK TO BE UNACCEPTABLE.
- ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER.
- THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
- ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
- THE CONTRACTOR SHALL PROVIDE SHEETING AND SHORING FOR ALL TRENCH CONSTRUCTION IN ACCORDANCE WITH OSHA GUIDELINES.
- ALL PIPE LENGTHS SHOWN ARE TO THE CENTERLINE OF THE STRUCTURES UNLESS SPECIFICALLY NOTED.
- PIPES (STORM AND SANITARY SEWER) SHALL BE LAID ON SMOOTH, CONTINUOUS GRADES WITH NO VISIBLE BENDS AT THE JOINTS.
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUM REQUIRED FOR RELATIVELY DRY STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES TO PROVIDE SUCH ADDITIONAL BEDDING AS REQUIRED TO PROPERLY CONSTRUCT WORK.
- ALL STORM DRAINAGE INLET STRUCTURES SHALL HAVE METAL RING AND COVER FOR ACCESS.
- ALL ANGLES SHOWN ARE 90 DEGREES UNLESS SHOWN OTHERWISE.
- ALL GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY DIMENSIONS, GRADES, AND EXISTING ELEVATIONS PRIOR TO CONSTRUCTION.
- CONCRETE CURBS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS SHOWN ON PLANS. MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO STATE D.O.T. STANDARD SPECIFICATIONS.
- ALL CONCRETE SHALL HAVE 3000 PSI COMPRESSIVE STRENGTH AFTER 28 DAYS, WITH A MAXIMUM SLUMP OF FOUR (4) INCHES, UNLESS SPECIFIED OTHERWISE.
- ALL EXPOSED CONCRETE SHALL HAVE A FINE HAIR BROOMED FINISH.
- PARKING AND DRIVEWAY BASE COURSE AND ASPHALTIC CONCRETE SURFACE AND PRIME MATERIALS, EQUIPMENT, METHODS FOR CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO STATE D.O.T. STANDARD SPECIFICATIONS.
- CONTRACTOR TO FIELD VERIFY ALL STORM, SANITARY, WATER AND OTHER UTILITIES LOCATIONS AND INVERTS PRIOR TO INSTALLATION OF ANY UTILITIES. NOTIFY ENGINEER PRIOR TO PROCEEDING WITH ANY WORK IF DISCREPANCIES.
- CONTRACTOR SHALL USE CONCRETE THRUST BLOCKS FOR INSTALLATION OF WATER MAINS.
- ALL DIMENSIONS ARE MEASURED TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

**ANTRIM TOWNSHIP - GENERAL NOTES:**

- DURING CONSTRUCTION A COPY OF THE TOWNSHIP APPROVED PLANS MUST BE ON SITE AND AVAILABLE AT ALL TIMES.
- TOWNSHIP MUST BE NOTIFIED SEVEN (7) DAYS IN ADVANCE FOR A PRECONSTRUCTION MEETING.
- ANY DAMAGE TO EXISTING ANTRIM TOWNSHIP ROADS SHALL BE REPAIRED BY THE DEVELOPER TO ANTRIM TOWNSHIP ROAD CONSTRUCTION SPECIFICATIONS AND TO THE SATISFACTION OF ANTRIM TOWNSHIP.
- ROADS SHALL BE KEPT FREE OF MUD, DIRT, STONES, AND DEBRIS FOR THE DURATION OF THE PROJECT.
- ALL ROAD CONSTRUCTION SHALL BE IN ACCORDANCE WITH ANTRIM TOWNSHIP'S ROAD CONSTRUCTION STANDARDS IN PLACE AT TIME OF ACTUAL CONSTRUCTION.
- CONSTRUCTION ON A PROPERTY WHICH IS ACCESSED BY A PUBLIC ROAD SHALL HAVE MINIMAL IMPACT ON THE ROAD AND NEIGHBORHOOD WHILE CONSTRUCTION IS TAKING PLACE.
- ALL ENTRANCES SHALL BE CONSTRUCTED PRIOR TO ANY EXCAVATION TAKING PLACE. ALL CONSTRUCTION VEHICLES SHALL BE PARKED OUTSIDE OF THE PUBLIC RIGHTS-OF-WAY AND SHALL ONLY ENTER AND EXIT THE PROPERTY BY MEANS OF THE CONSTRUCTION ENTRANCE.
- STORMWATER SWALES SHALL NOT BE ALTERED BY ANY MEANS DURING ANY PART OF THE CONSTRUCTION OF THE PROPERTY, AND SILT FENCE SHALL BE PLACED ADJACENT TO THE STORMWATER SWALES TO PREVENT ANY DEBRIS AND/OR ALTERATIONS TO THE SWALES. WHERE STORMWATER TILES ARE REQUIRED UNDER A DRIVEWAY, THEY SHALL BE CONSTRUCTED TO BE FLUSH WITH THE BOTTOM OF THE STORMWATER SWALES TO ALLOW THE WATER TO KEEP FLOWING THROUGH THE SWALE. IF A STORMWATER SWALE IS ALTERED OR DAMAGED DURING CONSTRUCTION, THE PROPERTY OWNER WILL BE RESPONSIBLE FOR RECONSTRUCTING THE SWALE AS PER THE APPROVED PLAN AND WILL BEAR THE EXPENSE OF THE TOWNSHIP ENGINEER VISITING THE SITE TO DETERMINE IF THE SWALE WAS CONSTRUCTED AS PER THE APPROVED PLANS.
- THE TOWNSHIP SHALL BE RESPONSIBLE FOR ORDERING AND INSTALLING SIGNS ON ALL ROADS TO BE DEDICATED TO THE TOWNSHIP AFTER THE DEVELOPER HAS PAID FOR THEM.
- EITHER PERMANENT OR TEMPORARY STOP SIGNS SHALL BE INSTALLED AT STREET INTERSECTIONS AS SOON AS THE ROAD SURFACE IS IMPROVED TO A MUD-FREE CONDITION.
- UTILITY EASEMENTS ARE OFFERED FOR DEDICATION TO THEIR RESPECTIVE AUTHORITY UPON APPROVAL AND ACCEPTANCE OF SAID RESPECTIVE AUTHORITY.
- ROAD(S) SHALL BE OFFERED TO THE TOWNSHIP FOR DEDICATION ONCE DEVELOPMENT IS BUILT OUT AT A MINIMUM OF SEVENTY-FIVE (75) PERCENT.
- A MAINTENANCE BOND VALID FOR EIGHTEEN (18) MONTHS FROM THE DATE OF ACCEPTANCE MUST BE PROVIDED IN A FORM APPROVED BY THE TOWNSHIP BEFORE DEDICATION OF ROAD AND/OR UTILITIES.
- NO TREES, SHRUBS, FENCES, BUILDINGS, OR IMPROVEMENTS ARE PERMITTED WITHIN THE LINE OF SIGHT.
- NO TREES, SHRUBS, FENCES, BUILDINGS, OR IMPROVEMENTS ARE PERMITTED WITHIN ANY RIGHT OF WAY OR EASEMENTS, EXISTING OR PROPOSED, AS SHOWN ON THE PLAN.
- RECREATIONAL OBJECTS SHALL NOT BE LOCATED, EITHER PERMANENTLY OR TEMPORARILY, WITHIN THE ROAD RIGHT-OF-WAY.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOW ON THESE DRAWINGS PROVIDE CURRENT NAME AND PHONE NUMBERS FOR EACH ENTITY):
  - PA ONE CALL SYSTEM (811)
  - ANTRIM TOWNSHIP MUNICIPAL AUTHORITY (717) 597-3818
  - FRANKLIN COUNTY SOIL CONSERVATION DISTRICT (717) 264-8499
  - GREENCASTLE AREA FRANKLIN COUNTY WATER AUTHORITY (717) 762-8798
- ALL DRIVEWAYS SHALL BE LOCATED AS SHOWN ON THE APPROVED PLANS UNLESS APPROVED BY ANTRIM TOWNSHIP TO BE RE-LOCATED AT TIME OF DRIVEWAY PERMIT APPLICATION.
- THE DISTANCE OF ALL DRIVEWAYS ON CORNER LOTS MUST BE MAXIMIZED AWAY FROM ROAD INTERSECTIONS.
- ALL DRIVEWAYS SHALL BE CONSTRUCTED SO AS NOT TO IMPAIR DRAINAGE WITHIN THE RIGHT-OF-WAY, ALTER THE STABILITY OF THE IMPROVED AREA OR CHANGE THE DRAINAGE OF THE TOWNSHIP ROAD AND ADJACENT AREAS.
- ALL DRIVEWAYS SHALL HAVE A MINIMUM FIFTEEN-INCH (15") CULVERT PIPE OR EQUIVALENT WHERE A DRAINAGE DITCH OR SWALE EXISTS.
- ALL NONRESIDENTIAL DRIVEWAYS AND PARKING AREAS INTENDED FOR USE BY THE PUBLIC SHALL BE PAVED IN THEIR ENTIRETY.
- WARNING: RESIDENTS SHALL EXPECT THE SMELL OF FARM ANIMALS AND THE MANURE THEY PRODUCE, CHEMICAL SPRAYS, SLOW-MOVING AGRICULTURAL MACHINERY ON ROADS AND OTHER BY-PRODUCTS OF AGRICULTURAL ACTIVITY.
- PROPERTY OWNERS SHALL OWN AND MAINTAIN ALL CURBS, SIDEWALKS, AND/OR TRAILS ON THEIR PROPERTY OR WITHIN THE RIGHT OF WAY.
- ANY ILLUMINATION OR FLOOD LIGHTING SHALL BE ARRANGED SO THERE WILL BE NO GLARE OF LIGHTS UPON RESIDENCES OR RESIDENTIAL DISTRICT. LIGHTING SHALL ALSO BE SHIELDED FROM THE ROADWAY.

**EARTHWORK SPECIFICATIONS:**

- CLEARING AND GRUBBING
 

CLEARING AND GRUBBING SHALL CONSIST OF CLEARING THE SURFACE OF THE GROUND OF THE DESIGNATED AREAS OF ALL TREES, LOGS, SNAGS, BRUSH, UNDERGROWTH, HEAVY GROWTH OF GRASS, WEEDS, FENCE STRUCTURES, DEBRIS AND RUBBISH OF ANY NATURE, NATURAL OBSTRUCTIONS SUCH AS OBJECTIONAL SOIL MATERIALS UNSATISFACTORY FOR FOUNDATIONS. IT SHALL ALSO CONSIST OF GRUBBING OF STUMPS, ROOTS FOUNDATIONS AND DISPOSAL OF ALL SUCH MATERIAL. ALL HOLES REMAINING AFTER THE GRUBBING OPERATION IN EMBANKMENT AREAS AND IN EXCAVATION AREAS LESS THAN TWO (2) FEET IN DEPTH, SHALL HAVE SIDES BROKEN DOWN AND LEVELLED IF NECESSARY TO FLATTEN OUT SLOPES, REFILLED WITH ACCEPTABLE MATERIAL THAT IS PROPERLY COMPACTED IN LAYERS BY TAMPERS, ROLLERS OR CONSTRUCTION EQUIPMENT.

BURNING ON SITE IS NOT PERMITTED WITHOUT WRITTEN APPROVAL OF THE LOCAL GOVERNING AUTHORITIES HAVING JURISDICTION.
- EXISTING TREES AND AREA OUTSIDE OF GRADING LIMITS LINE
 

TREES AND VEGETATION TO BE SAVED SHALL BE PROTECTED FROM DAMAGE BY A FENCE BARRICADE PRIOR TO, OR DURING, CLEARING OPERATIONS. TREES TO BE SAVED SHALL BE DESIGNATED BY THE OWNER. NO TREES ARE TO BE REMOVED FROM THE AREA OUTSIDE THE LIMITS OF GRADING OR FROM SPECIFICALLY DESIGNATED AREAS WITHIN THE CONSTRUCTION AREAS. IF, IN THE OPINION OF THE ENGINEER, A CONTRACTOR DAMAGES A TREE NOT TO BE REMOVED, THE CONTRACTOR WILL BE FINED A PREDETERMINED AMOUNT FOR EACH DAMAGED TREE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ALL COSTS ASSOCIATED IN REMOVING THE DAMAGED TREES FROM THE SITE.
- FILL
 

ALL VEGETATION SUCH AS ROOTS, BRUSH, HEAVY GROWTH OF GRASS, TOPSOIL, ALL DECAYED VEGETABLE MATTER, RUBBISH, AND OTHER UNSUITABLE MATERIAL WITHIN THE AREA UPON WHICH FILL IS TO BE PLACED SHALL BE STRIPPED OR BE OTHERWISE REMOVED BEFORE THE FILL OPERATION IS STARTED. IN NO CASE SHALL UNSUITABLE MATERIAL REMAIN IN OR UNDER THE FILL AREA. SLOPED GROUND SURFACE STEEPER THAN ONE VERTICAL TO FOUR HORIZONTAL, ON WHICH FILL IS TO BE PLACED, SHALL BE PLACED, STEPPED OR BENCHED IN SUCH A MANNER THAT THE FILL TO BE PLACED SHALL BE 97 PERCENT OF THE MAXIMUM LABORATORY DRY DENSITY ACCORDING TO STANDARD PROCTOR (AASHTO T99, ASTM D-698). MOISTURE CONTENT SHALL BE WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT, PROOF ROLL. THE AREAS TO BE FILLED OR ON WHICH STRUCTURES ARE TO BE PLACED, A LOADED DUMP TRUCK OR OTHER RUBBER TIRE EQUIPMENT SHALL BE USED PROOF ROLLING. OVERLAPPING PASSES OF A VEHICLE SHOULD BE MADE ACROSS THE SITE IN ONE DIRECTION AND THEN PERPENDICULAR TO THE ORIGINAL DIRECTION OF ROLLING.

ANY YIELDING, PUMPING OR SOFT AREAS SHOULD BE CUT OUT AND REPLACED WITH FILL COMPACTED AS DESCRIBED HEREIN.

THE PROPOSED FILL SHOULD BE LIMITED TO SOILS CLASSIFIED IN ACCORDANCE WITH ASTM D-2487 AS GM, GC, SW, SM, SC, ML AND CL SOIL CLASSIFIED AS PT, OH, OL, CH AND MH ARE NOT SATISFACTORY AS COMPACTED FILL.

FILLS AND EMBANKMENTS SHALL BE CONSTRUCTED AT THE LOCATIONS AND TO THE LINES AND GRADES INDICATED ON CONSTRUCTION PLANS. THE SLOPE SHALL NOT EXCEED 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (3 FOOT HORIZONTAL TO 1 FOOT VERTICAL, IN THE PUBLIC RIGHT OF WAY) THE COMPLETED FILL SHALL CORRESPOND TO THE SHAPE OF THE TYPICAL SECTIONS INDICATED ON THE CONSTRUCTION PLANS. MATERIAL REMOVED FROM THE EXCAVATION SHALL BE USED IN FORMING THE FILL. FILL MATERIAL SHALL BE REASONABLY FREE FROM ROOTS, OTHER ORGANIC MATERIAL, TRASH AND STONES HAVING MAXIMUM DIMENSIONS GREATER THAN 6 INCHES (4 INCHES IN TRENCHES FOR UTILITIES). NO FROZEN MATERIAL WILL BE PERMITTED IN THE FILL. STONES HAVING A MAXIMUM DIMENSION OF 4 INCHES WILL NOT BE PERMITTED IN THE UPPER SIX INCHES OF FILL OR EMBANKMENT OR UTILITY TRENCH. THE MATERIAL SHALL BE PLACED IN SUCCESSIVE HORIZONTAL LAYERS NOT MORE THAN 8 INCHES THICK, UNLESS OTHERWISE NOTED. IN LOOSE DEPTH FOR THE WIDTH OF THE CROSS-SECTION AREA SHALL BE COMPACTED TO AT LEAST 97 PERCENT OF THE MAXIMUM LABORATORY DRY DENSITY ACCORDING TO STANDARD PROCTOR (ASTM D-698, AASHTO T-99). MOISTURE SHALL BE WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT. THE TOP 12 INCHES OF THE PAVING, PARKING AND/OR ROADWAY SUB-GRADE SHALL BE COMPACTED TO 97 PERCENT OF THE MAXIMUM DRY DENSITY (STANDARD PROCTOR). EACH LIFT SHALL BE ROLLED WITH VIBRATORY ROLLER, A SHEEPSFOOT ROLLER, OR A LOADED RUBBER TIRE DUMP TRUCK, SCRAPER OR LOADER. IF THE SOIL IS TOO DRY, A WATER TRUCK WITH SPRAYER BAR OR SPRAY HOSE SHALL BE USED TO BRING THE SOIL TO THE PROPER MOISTURE RANGE. THE WATER SHALL BE THOROUGHLY AND PROPERLY MIXED WITH THE SOIL PRIOR TO COMPACTION.

STORM DRAIN PIPES SHALL BE PLACED ON FIRM BOTTOM AND HAND TAMPED TO SAFE UP THE PIPE. A CUSHION OF SOIL SHALL BE TAMPED ABOVE THE CROWN OF THE PIPE IN ACCORDANCE WITH THE PIPE MANUFACTURER'S RECOMMENDATIONS SO THAT THE HEAVIER COMPACTION EQUIPMENT CAN THEN BE USED TO BRING THE SOIL TO A DENSITY AS DESCRIBED ABOVE FOR FILL AREAS.

IF SOILS INVESTIGATION REPORT IS PROVIDED, THEN FOLLOW THE RECOMMENDATIONS OF THE REPORT IF THEY EXCEED THE RECOMMENDATIONS OF THESE SPECIFICATIONS.
- TOPSOIL
 

UNLESS OTHERWISE SPECIFIED, AREAS DESIGNATED FOR GRADING OPERATIONS THAT CONTAIN A BLANKET OF TOPSOIL SHALL BE STRIPPED AND PLACED IN CONVENIENT STOCKPILES FOR LATER USE AS A TOPSOIL BLANKET ON THE NEW GRADED AREAS SPECIFIED HEREIN. GRASS DESIGNATED, TOPSOIL SHALL BE STRIPPED FROM ALL AREAS DESIGNATED TO RECEIVE FILL. THE STRIPPING OF MATERIAL FOR TOPSOIL SHALL BE CAREFULLY DETERMINED AND ONLY THE QUANTITY REQUIRED SHALL BE STOCKPILED. MATERIAL STOCKPILED SHALL BE STORED IN A SATISFACTORY MANNER TO AVOID PROPER DRAINAGE. WHEN GRADING OPERATIONS PERMIT, INSTEAD OF STOCKPILES, THE TOPSOIL SHALL BE HAULED AND SPREAD DIRECTLY ON THE AREAS DESIGNATED TO RECEIVE TOPSOIL.
- ROCK EXCAVATION
 

IF ROCK IS ENCOUNTERED, CLEAR AWAY EARTH TO EXPOSE MATERIAL. NOTIFY OWNER AND RECEIVE WRITTEN INSTRUCTIONS PRIOR TO EXCAVATION. REMOVE ROCK TO A DEPTH OF 6 INCHES BELOW AND 8 INCHES ON EACH SIDE OF PIPES IN TRENCHES. A MEASUREMENT OF EXTENT OF ROCK TO BE REMOVED SHALL BE MADE. ROCK EXCAVATION SHALL BE PAID FOR IN ACCORDANCE WITH AGREEMENT WITH THE OWNER.

**PARKING DATA:**

Requirement: One (1) parking space per two-and-one-half (2.5) seats. Plus one(1) space per two (2) employees

Proposed Number of Seats = 62 SEATS  
 Required Parking = 25 (62 / 2.5) plus one space/ two employees = 30  
 Provided Parking = 35 (2 Handicap Parking)

Multiple shifts per day, max. 10 employees per shift.  
 Deliveries and trash pick-up will be scheduled around peak hours to avoid any conflicts.

NO PRIMARY CONSERVATION AREA EXISTS ON THIS PROPERTY

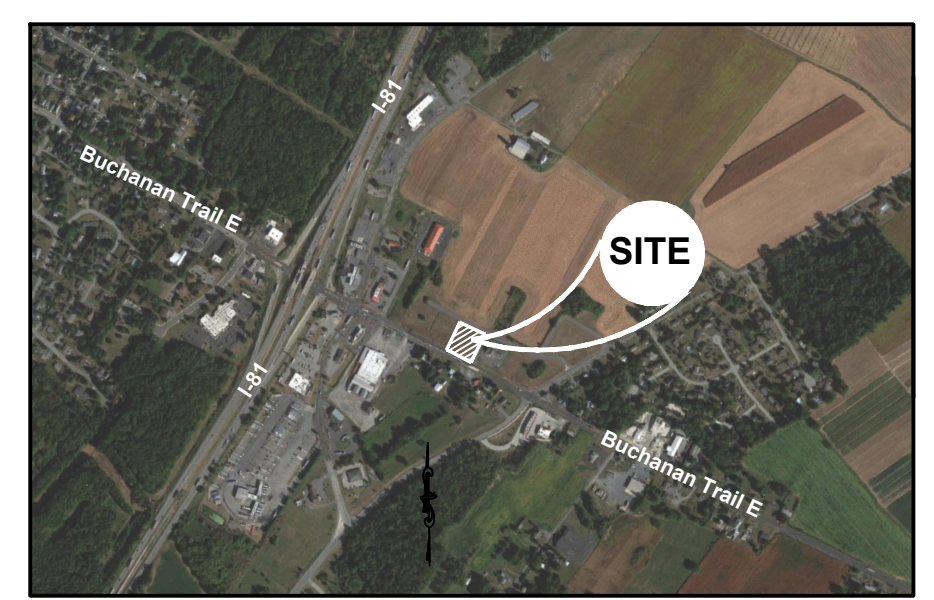
# FINAL LAND DEVELOPMENT PLAN



## FOR GPS HOSPITALITY PARTNERS II, LLC

UPI 01 - 0A17. - 158. - 000000  
 GREENCASTLE LOT 4, EAST BUCHANAN TRAIL  
 GREENCASTLE, ANTRIM TOWNSHIP  
 PENNSYLVANIA 17225  
 FEBRUARY 20, 2018

TRACKING #: LD-18-02



LOCATION MAP  
not to scale

**PROJECT NOTES:**

OWNER / DEVELOPER:  
GPS Hospitality Partners II, LLC  
2100 Riveredge Parkway, Suite 850  
Atlanta, GA 30328  
Contact: Todd Jackson  
Tel. (770) 738-8796  
Todd.Jackson@GPHospitality.com

ENGINEER:  
Carter Engineering Consultants, Inc.  
3651 Mars Hill Road, Suite 2000  
Watkinsville, GA 30677  
Contact: Jeff Carter, P.E.  
Tel. (770) 725-1200  
jeff@carterengineering.net

Property located on lot 4 of the Greencastle Crossing subdivision, Buchanan Trail East, Antrim Township, Franklin County, Pennsylvania.

Parcel No.: UPI 01 - 0A17-158-000000

Current Zoning: Highway Commercial  
 Setbacks: Front: 25' Rear: 25' Side: 12'  
 Maximum Impervious: 75%

Proposed use: Restaurant with drive-thru.  
 Proposed Building Height: <math>\le 50'</math>

Project Tract: 0.79 acres (34,393 sf)  
 Disturbed Area: 0.79 acres

Water: Greencastle Area, Franklin County, Water Authority  
 Sanitary: Antrim Township Municipal Authority  
 Electricity: ---  
 Gas: ---  
 Proposed # of EDU's = 6

Boundary and topographic information obtained from field run survey by Warehouse dated: 01/31/2018 Phone: (717) 845 - 8383  
 The horizontal datum is Pennsylvania State Plane 83 South.  
 The vertical elevation is based on NAVD 1988

Contour interval is 1 foot

This property does not lie within any flood zone per F.E.M.A. Flood Insurance Rate Map for Antrim Township, Community NO. 421233, Panel 0440-E, effective January 18, 2012.

The underground utilities shown hereon have been located from field information and existing drawings. The surveyor nor engineer warrants that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor nor engineer warrants that the underground utilities shown are in the exact location indicated. The surveyor nor engineer has physically located all the underground utilities.

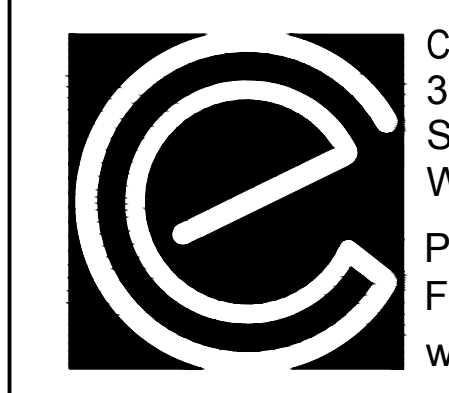
It is the responsibility of the contractor to field locate all utilities prior to commencing work and notify engineer if a discrepancy is found.

The contractor shall verify the invert elevations of all existing storm and sanitary sewer structures prior to commencement of storm and sanitary sewer construction.

**PROJECT NOTES:**

OWNER / DEVELOPER:  
GPS Hospitality Partners II, LLC  
2100 Riveredge Parkway - Suite 850  
Atlanta, GA 30328  
Contact: Todd Jackson  
Todd.Jackson@GPHospitality.com  
Tel. 770-738-8796

ENGINEER:  
Carter Engineering Consultants, Inc.  
3651 Mars Hill Road - Suite 2000  
Watkinsville, GA 30677  
Contact: Jeff Carter, P.E.  
jeff@carterengineering.net  
Tel. 770-725-1200



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# SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
TS-1	ALTA SURVEY
2	EXISTING CONDITIONS
3	SITE PLAN
4	UTILITY PLAN
5	GRADING & DRAINAGE PLAN
6	EROSION CONTROL PLAN
7	EROSION CONTROL DETAILS
8	STANDARD DETAILS
8.1	STANDARD DETAILS II
9	MENU BOARD DETAILS
10	ADA ACCESSIBILITY PLAN
11	ADA ACCESSIBILITY DETAILS
12	LANDSCAPE PLAN
13	LANDSCAPE DETAILS
14	OUTDOOR LIGHTING PLAN

# REVISION BLOCK

REV. NO.	DATE	DESCRIPTION
B	03/07/18	ADDRESSED COMMENTS
C	03/23/18	ADDRESSED COMMENTS
D	04/03/18	ADDRESS WATER AUTHORITY COMMENTS

**Owner's Certification**

I, \_\_\_\_\_, being duly sworn, according to law depose I am the true owner of the record of the land shown hereon being considered for subdivisions approval and hereby offer for dedication the proposed rights of way and easements.

Signature of Owner \_\_\_\_\_ Date \_\_\_\_\_

State of \_\_\_\_\_  
 County of \_\_\_\_\_

Signed or attested before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
 by \_\_\_\_\_ (SEAL)

Notary Public \_\_\_\_\_  
 My Commission Expires: \_\_\_\_\_

FRANKLIN COUNTY PLANNING COMMISSION

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ANTRIM TOWNSHIP MUNICIPAL AUTHORITY

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ANTRIM TOWNSHIP PLANNING COMMISSION

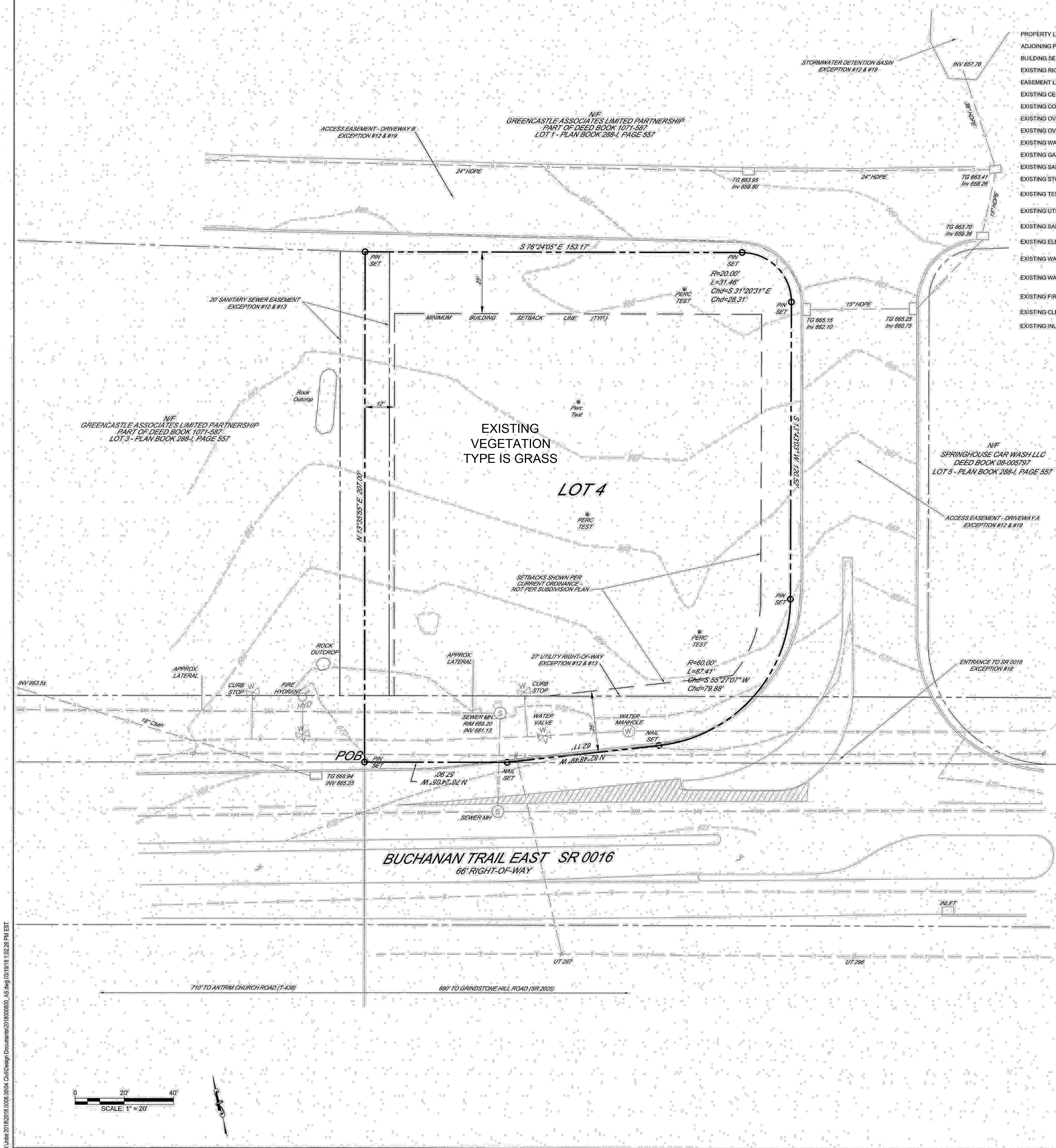
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ANTRIM TOWNSHIP SUPERVISORS

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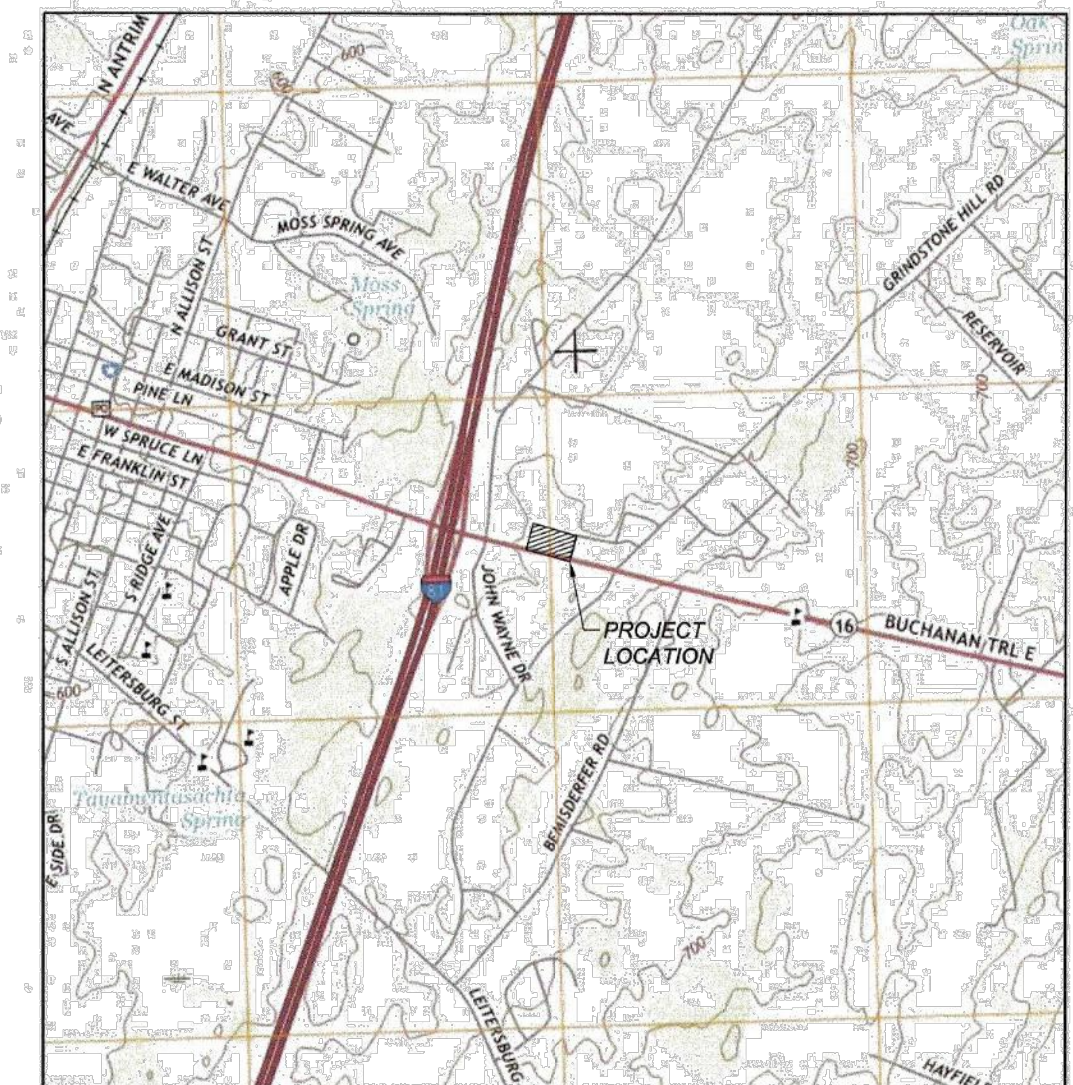
GREENCASTLE AREA FRANKLIN COUNTY WATER AUTHORITY





**LEGEND**

PROPERTY LINE	---
ADJOINING PROPERTY LINE	---
BUILDING SETBACK LINE	---
EXISTING RIGHT-OF-WAY LINE	---
EASEMENT LINE	---
EXISTING CENTER LINE	---
EXISTING CONTOUR LINE	---
EXISTING OVERHEAD ELECTRIC LINE	---
EXISTING OVERHEAD TELEPHONE LINE	---
EXISTING WATER LINE	---
EXISTING GAS LINE	---
EXISTING SANITARY SEWER LINE	---
EXISTING STORM SEWER LINE	---
EXISTING TEST PIT LOCATION	---
EXISTING UTILITY POLE	---
EXISTING SANITARY SEWER MANHOLE	---
EXISTING ELECTRIC MANHOLE	---
EXISTING WATER MANHOLE	---
EXISTING WATER VALE	---
EXISTING FIRE HYDRANT	---
EXISTING CLEANOUT	---
EXISTING INLET	---



LOCATION MAP  
SCALE: 1" = 2000'

**SCHEDULE B-II EXCEPTIONS**

- FIDELITY NATIONAL TITLE INSURANCE COMPANY FILE NO. 17-13553
- CONDITIONS SET FORTH IN PLAN BOOK 288-D, PAGE 1035.
  - PREVIOUS SUBDIVISION PLAN. DOES NOT AFFECT THIS PARCEL.
  - CONDITIONS SET FORTH IN PLAN BOOK 288-I, PAGE 1138.
  - EASEMENT PLAN. SHOWS EASEMENTS FOR ACCESS, UTILITIES, AND STORMWATER AS SHOWN ON SURVEY.
  - CONDITIONS SET FORTH IN PLAN BOOK 288-I, PAGE 557.
  - SUBDIVISION AND IMPROVEMENTS PLAN FOR DEVELOPMENT. SHOWS EASEMENTS AND SETBACKS AS SHOWN ON SURVEY.
  - RIGHTS GRANTED TO THEODORE TOWL IN DEED BOOK 87-454, RE-GRANTED TO THE MANUFACTURERS LIGHT & HEAT COMPANY IN DEED BOOK 240-540 AND AMENDED WITH COLUMBIA GAS TRANSMISSION CORP. IN DEED BOOK 2849-457.
  - AFFECTS PARENT TRACT ONLY AND NOT THIS LOT.
  - RIGHTS GRANTED TO SOUTH PENN POWER CO. IN DEED BOOK 500-406.
  - APPEARS TO BE FOR ELECTRIC POLES AND LINES ALONG BUCHANAN TRAIL EAST HOWEVER IT APPEARS ROAD HAS BEEN WIDENED OVER TIME AND POLES HAVE BEEN RELOCATED OVER TIME TO CURRENT POSITION AS SHOWN ON SURVEY.
  - RIGHTS GRANTED TO THE UNITED TELEPHONE COMPANY OF PENNSYLVANIA IN DEED BOOK 546-300 AND BOOK 1730-58.
  - DOES NOT AFFECT THIS PARCEL.
  - RIGHT-OF-WAY TO COLUMBIA GAS TRANSMISSION CORP. IN DEED BOOK 878-516.
  - DOES NOT AFFECT THIS PARCEL.
  - HIGHWAY OCCUPANCY PERMIT IN DEED BOOK 1798-452.
  - PERMIT FOR CONSTRUCTION OF ENTRANCE INTO SITE ON THE SOUTH SOUTHEAST SIDE OF THIS PARCEL. ENTRANCE CONSTRUCTED AS SHOWN ON SURVEY.
  - DECLARATION OF EASEMENTS, COVENANTS, AND RESTRICTIONS IN DEED BOOK 2825-93.
  - LOT DEVELOPMENT RESTRICTIONS AND CROSS EASEMENTS FOR ACCESS, UTILITY SERVICE AND STORMWATER MANAGEMENT.
  - LAUNCHER / RECEIVER RIGHT-OF-WAY AGREEMENT WITH COLUMBIA GAS TRANSMISSION LLC IN INSTRUMENT NO. 201522966.
  - FACILITY ON LOT 2. DOES NOT AFFECT THIS PARCEL.
  - DECLARATION OF SPRINGING JOINT RECIPROCAL ACCESS EASEMENT IN INSTRUMENT NO. 201711864.
  - AFFECTS PARENT TRACT ONLY. DOES NOT AFFECT THIS PARCEL.

**LEGAL DESCRIPTION**

ALL THAT CERTAIN PIECE, PARCEL AND TRACT OF LAND SITUATE ON THE NORTH SIDE OF BUCHANAN TRAIL EAST (SR 0016) IN THE TOWNSHIP OF ANTRIM, COUNTY OF FRANKLIN, COMMONWEALTH OF PENNSYLVANIA, BEING KNOWN AS LOT 4 IN THE FINAL SUBDIVISION PLAN FOR GREENCASTLE CROSSING RECORDED IN PLAN BOOK 288-I, PAGE 557 IN THE OFFICE OF THE RECORDER OF DEEDS IN FRANKLIN COUNTY, PENNSYLVANIA AND BEING MORE FULLY BOUND AND DESCRIBED AS FOLLOWS, TO WIT:

BEGINNING AT A POINT ON THE NORTHERN RIGHT-OF-WAY LINE OF BUCHANAN TRAIL EAST AT THE DIVIDING LINE OF LOT 3 AND LOT 4; THENCE BY SAID DIVIDING LINE NORTH 13 DEGREES 35 MINUTES 55 SECONDS EAST A DISTANCE OF 207.00 FEET TO A POINT AT THE DIVIDING LINE OF LOT 1 AND LOT 4 AND PRIVATE DRIVEWAY B; THENCE BY SAID DIVIDING LINE AND DRIVEWAY B SOUTH 78 DEGREES 24 MINUTES 05 SECONDS EAST A DISTANCE OF 153.17 FEET TO A POINT; THENCE BY A CURVE TO THE RIGHT HAVING A RADIUS OF 20.00 FEET AND AN ARC DISTANCE OF 31.48 FEET, THE CHORD OF SAID CURVE BEING SOUTH 31 DEGREES 20 MINUTES 31 SECONDS EAST A DISTANCE OF 28.31 FEET TO A POINT ON THE WEST SIDE OF DRIVEWAY A; THENCE BY DRIVEWAY A SOUTH 13 DEGREES 43 MINUTES 03 SECONDS WEST A DISTANCE OF 120.52 FEET TO A POINT; THENCE BY A CURVE TO THE RIGHT HAVING A RADIUS OF 80.00 FEET AND AN ARC DISTANCE OF 87.41 FEET, THE CHORD OF SAID CURVE BEING SOUTH 55 DEGREES 27 MINUTES 07 SECONDS WEST A DISTANCE OF 79.88 FEET TO A POINT; THENCE NORTH 82 DEGREES 48 MINUTES 49 SECONDS WEST A DISTANCE OF 62.11 FEET TO A POINT ON THE NORTHERN RIGHT-OF-WAY LINE OF BUCHANAN TRAIL EAST (SR 0016); THENCE BY SAID RIGHT-OF-WAY LINE NORTH 76 DEGREES 24 MINUTES 05 SECONDS WEST A DISTANCE OF 57.90 FEET TO A POINT, THE POINT OF BEGINNING.

CONTAINING 34,393 SQUARE FEET, (0.790 ACRES)

**CERTIFICATION:**

TO: GPS Hospitality Partners II, LLC, Fidelity National Title Insurance Company and GRS Title Services LLC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 7(A), 8, 9, 11, 13, 14, 16, 17, AND 19 OF TABLE 'A' THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 25, 2018.

James C. Hockenberry, PLS  
REG. NO. 044553-E  
DATE OF MAP: 3-22-18

**ZONING TABLE**

MINIMUM REGULATIONS SHOWN ARE PER 150-28(B)

RESTAURANT USE
LOT SIZE: 20,000 SQ. FT.
LOT WIDTH: 100'
LOT DEPTH: 100'
SETBACKS: FRONT - 25'
SIDE - 12'
REAR - 25'
MAX. BUILDING HEIGHT: 50 FEET
MAX. IMPERVIOUS: 75%

NOTE: THIS PROPERTY DOES NOT LIE WITHIN ANY FLOOD ZONE PER FEMA FLOOD INSURANCE RATE MAP FOR ANTRIM TOWNSHIP, COMMUNITY NO. 421233, PANEL 0440-E, EFFECTIVE JANUARY 18, 2012.

**GENERAL NOTES**

- THIS PARCEL HAS ACCESS TO BUCHANAN TRAIL EAST (SR 0016) THROUGH EASEMENTS KNOWN AS DRIVEWAY A & DRIVEWAY B
- THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK OR BUILDING CONSTRUCTION AT THE TIME OF THE FIELD SURVEY.
- THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. THERE IS NO KNOWN PROPOSED CHANGES TO STREET RIGHT-OF-WAY WIDTHS.
- OFFSITE EASEMENTS INCLUDE DRIVEWAY A & DRIVEWAY B FOR ACCESS AND USE OF THE OFFSITE STORMWATER MANAGEMENT POND.
- THIS PROPERTY DOES NOT LIE WITHIN ANY FLOOD ZONE PER FEMA FLOOD INSURANCE RATE MAP FOR ANTRIM TOWNSHIP, COMMUNITY NUMBER 421233, PANEL 0440-E, EFFECTIVE DATE JANUARY 18, 2012.

**GREENCASTLE LOT 4  
TITLE SURVEY**

BUCHANAN TRAIL EAST  
GREENCASTLE, PA 17225

seal / stamp

**WARE  
HAUS**

project team  
Civil Engineer  
James C. Hockenberry, PLS  
320 North George Street  
York, PA 17401  
717-645-8383

Surveyor  
James C. Hockenberry PLS  
533 Bucks Valley Road  
Newport, PA 17074  
717-645-8458

revisions

no.	date	description
1	3/19/2018	PER CLIENT

key plan

project north  
**See Plan**

© Copyright Notice: Warehouse - All Rights Reserved. These plans are the property of Warehouse Any use or reproduction of these plans, in whole or in part, without the written permission of Warehouse is forbidden.

date: 01/31/2018 project mgr: DAK

project no.: 2018.0008.00

drawing set

**ALTA SURVEY**

drawing title

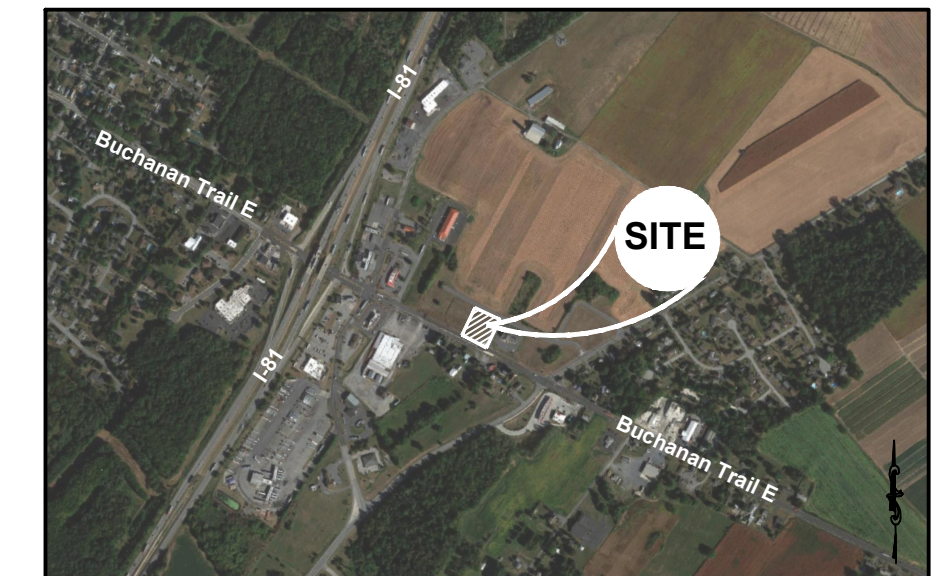
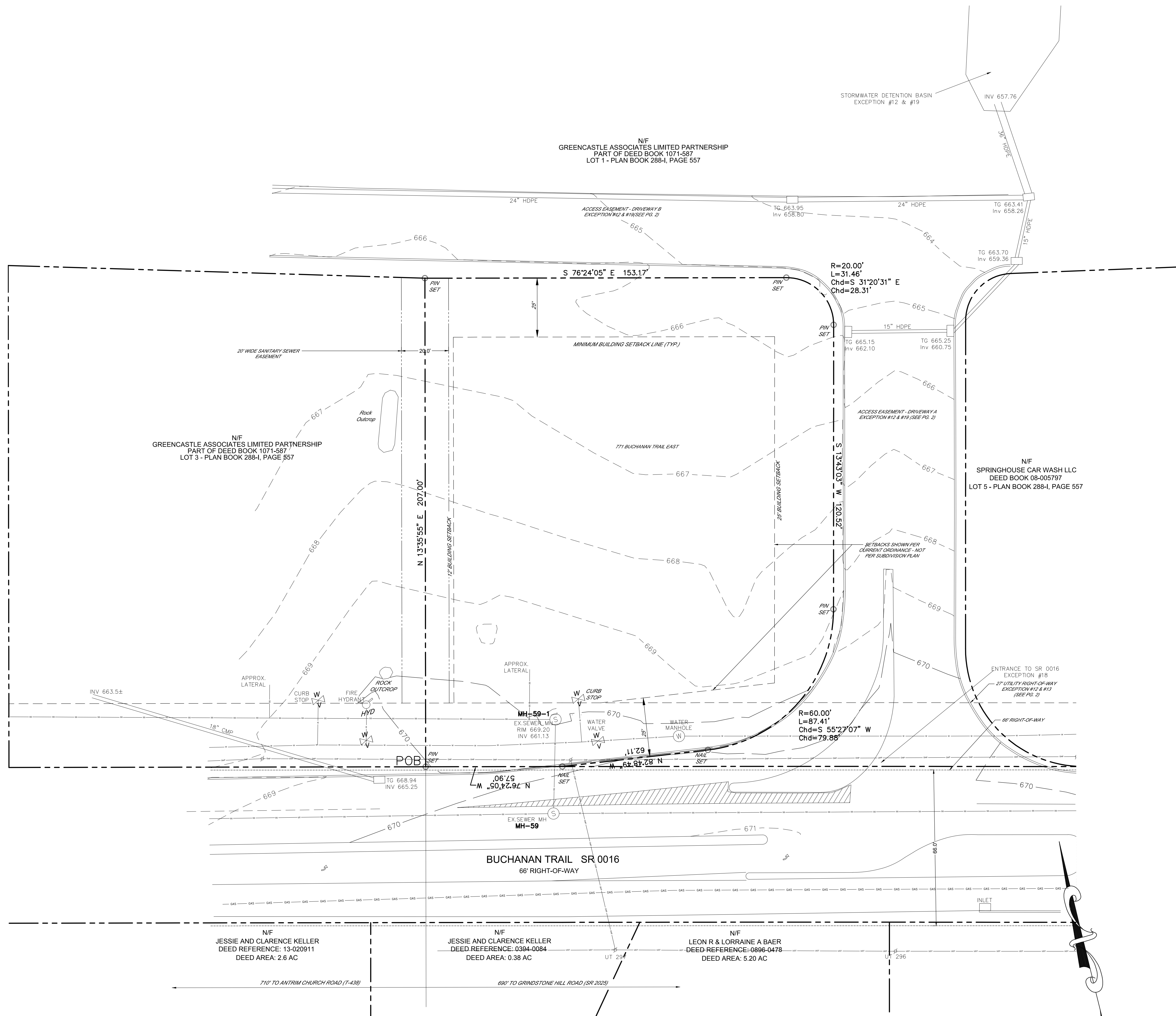
**ALTA-NSPS LAND  
TITLE SURVEY**

sheet no.

**TS-1**







**LOCATION MAP**  
Not to Scale

**PROJECT NOTES:**

**OWNER / DEVELOPER:**  
GPS Hospitality Partners II, LLC.  
2100 Riveredge Parkway, Suite 850  
Atlanta, GA 30338  
Contact: Todd Jackson  
Tel. (770) 738-8796  
todd.jackson@gpshospitality.com

**ENGINEER:**  
Carter Engineering Consultants, Inc.  
3651 Mars Hill Road, Suite 2000  
Watkinsville, GA 30677  
Contact: Jeff Carter, P.E.  
Tel. (770) 725-1200  
jeff@carterengineering.net

Property located on lot 4 of the Greencastle Crossing subdivision, Buchanan Trail East, Antrim Township, Franklin County, Pennsylvania.

Parcel No.: UPI 01 - 0A17 - 158 - 000000

Current Zoning: Highway Commercial  
Setbacks: Front: 25' Rear: 25' Side: 12'  
Maximum Impervious: 75%

Proposed use: Restaurant with drive-thru.  
Proposed Building Height: s50'

Project Tract: 0.79 acres (34,393 sf)  
Disturbed Area: 0.79 acres

Water: Greencastle Area, Franklin County, Water Authority  
Sanitary: Antrim Township Municipal Authority  
Electricity: ---  
Gas: ---  
Proposed # of EDU's = 6

Boundary and topographic information obtained from field run survey by Warehouse dated: 01/31/2018. Phone: (717) 845-8383  
The horizontal datum is Pennsylvania State Plane 83 South.  
The vertical elevation is based on NAVD 1988

Contour interval is 1 foot

This property does not lie within any flood zone per F.E.M.A. Flood Insurance Rate Map for Antrim Township, Community No. 421233, Panel 0440-E, effective January 18, 2012.

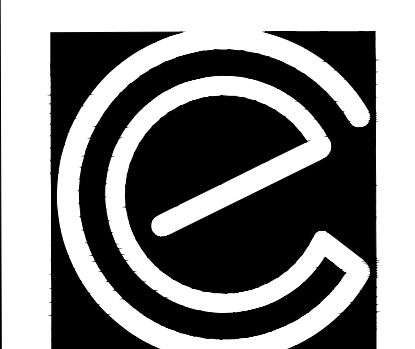
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The contractor shall verify the invert elevations of all existing storm and sanitary sewer structures prior to commencement of storm and sanitary sewer construction.

**REVISION BLOCK:**

#	DATE	DESCRIPTION
1	02/20/18	INITIAL SUBMITTAL
2	03/07/18	ADDRESSED COMMENTS
3	03/28/18	ADDRESSED COMMENTS
4	04/02/18	ADDRESS WATER AUTHORITY COMMENTS



**CARTER ENGINEERING CONSULTANTS**

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3651 Mars Hill Road, Suite 2000  
Watkinsville, GA 30677

P: 770.725.1200  
F: 770.725.1204  
www.carterengineering.net

**Final Land Development Plan**  
for  
**BURGER KING RESTAURANT**  
EAST BUCHANAN TRAIL, ANTRIM TOWNSHIP, PA

PROJECT NAME:  
**BURGER KING RESTAURANT**

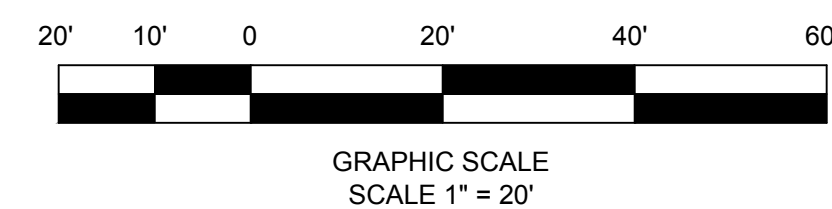
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**EXISTING CONDITIONS**

SHEET NUMBER:  
**2.1**

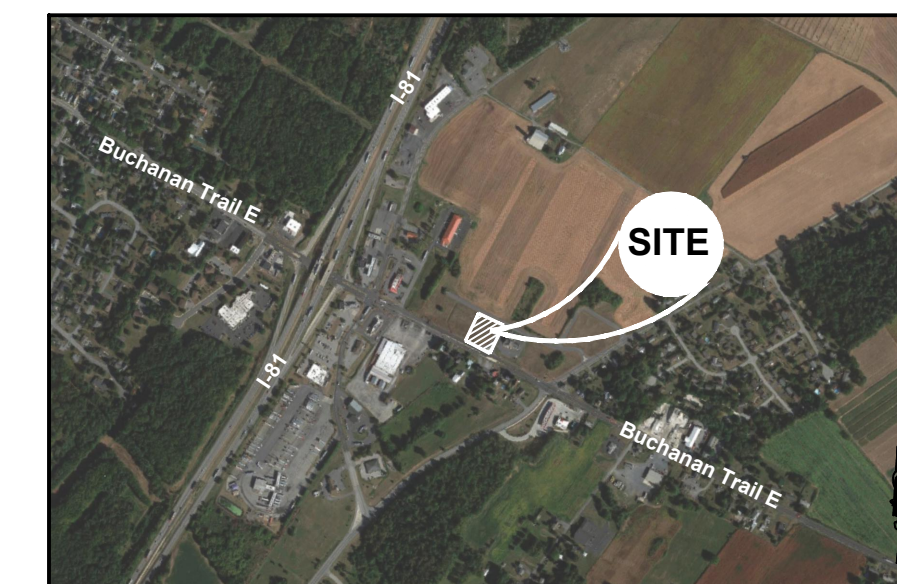
PROJECT NUMBER:  
**17001GPS**

DATE:  
**02/20/18**

**PENNSYLVANIA ONE-CALL**  
**1-800-242-1776**





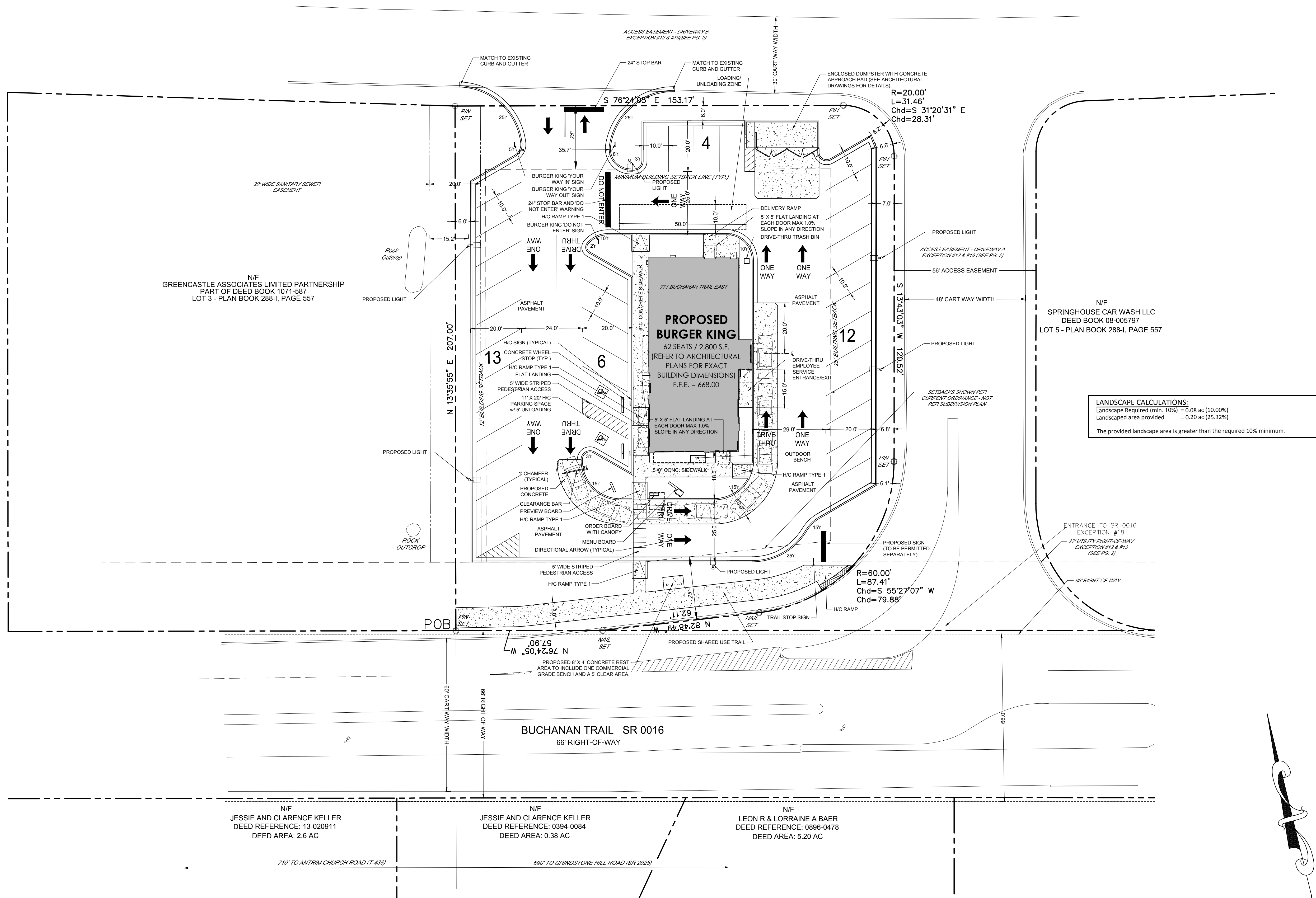


LOCATION MAP  
Not to Scale

N/F  
GREENCASLE ASSOCIATES LIMITED PARTNERSHIP  
PART OF DEED BOOK 1071-587  
LOT 1 - PLAN BOOK 288-I, PAGE 557

N/F  
GREENCASLE ASSOCIATES LIMITED PARTNERSHIP  
PART OF DEED BOOK 1071-587  
LOT 3 - PLAN BOOK 288-I, PAGE 557

N/F  
SPRINGHOUSE CAR WASH LLC  
DEED BOOK 08-005797  
LOT 5 - PLAN BOOK 288-I, PAGE 557



**LANDSCAPE CALCULATIONS:**  
Landscape Required (min. 10%) = 0.08 ac (10.00%)  
Landscape area provided = 0.20 ac (25.32%)  
The provided landscape area is greater than the required 10% minimum.

**PROJECT NOTES:**

**OWNER / DEVELOPER:**  
GPS Hospitality Partners II, LLC  
2100 Riveredge Parkway, Suite 850  
Atlanta, GA 30328  
Contact: Todd Jackson  
Tel. (770) 738-8796  
Todd.Jackson@GPSHospitality.com

**ENGINEER:**  
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3651 Mars Hill Road, Suite 2000  
Watkinsville, GA 30677  
Contact: Jeff Carter, P.E.  
Tel. (770) 725-1200  
jeff@carterengineering.net

Property located on lot 4 of the Greencastle Crossing subdivision, Buchanan Trail East, Antrim Township, Franklin County, Pennsylvania.

Parcel No.: UPI 01 - 0A17-158-000000  
Current Zoning: Highway Commercial  
Setbacks: Front: 25' Rear: 25' Side: 12'  
Maximum Impervious: 75%

Proposed use: Restaurant with drive-thru.  
Proposed Building Height: 55'

Project Tract: 0.79 acres (34,393 sft)  
Disturbed Area: 0.79 acres

Water: Greencastle Area, Franklin County, Water Authority  
Sanitary: Antrim Township Municipal Authority  
Electricity: ---  
Gas: ---  
Proposed # of EDU's = 6

Boundary and topographic information obtained from field run survey by Warehaus dated: 01/31/2018. Phone: (717) 845-8383  
The horizontal datum is Pennsylvania State Plane 83 South.  
The vertical elevation is based on NAVD 1988

Contour interval is 1 foot

This property does not lie within any flood zone per F.E.M.A. Flood Insurance Rate Map for Antrim Township, Community NO. 421233, Panel 0440-E, effective January 18, 2012.

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**UNDERGROUND UTILITIES DISCLAIMER**

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**PARKING DATA:**

Requirement: One (1) parking space per two-and-one-half (2.5) seats. Plus one(1) space per two (2) employees  
Proposed Number of Seats = 62 SEATS  
Required Parking = 25 (62 / 2.5) plus one space / two employees = 30  
Provided Parking = 35 (2 Handicap Parking)  
Multiple shifts per day, max. 10 employees per shift.  
Deliveries and trash pick-up will be scheduled around peak hours to avoid any conflicts.

**SITE DATA:**

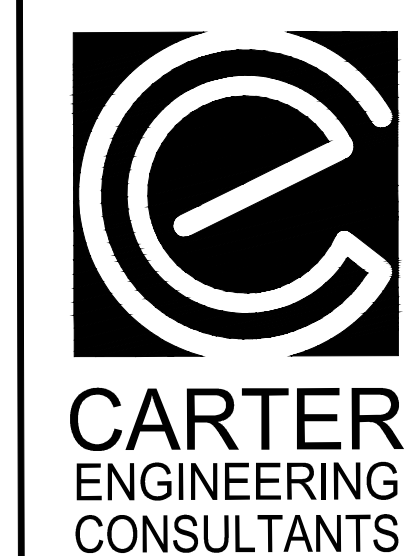
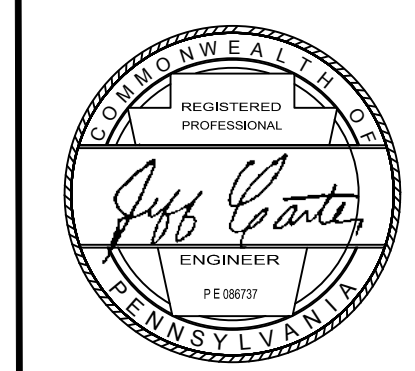
**Building Information:**  
Ground Floor = 2,800 s.f.  
**Site Information:**  
Total Site Area = 0.79 ac (100.00%)  
Total Disturbed Area = 0.79 ac (100.00%)  
Proposed Structure Coverage = 0.06 ac (07.59%)  
Landscape Required (min. 10%) = 0.06 ac (10.00%)  
Landscape area = 0.20 ac (25.32%)  
Proposed Impervious Area = 0.59 ac (74.68%)  
Max. Impervious Surface Ratio = 0.59 (75.00%)  
Impervious Surface Ratio = 0.59 (74.68%)  
No primary conservation areas exist on this site.

**SIGNAGE NOTE:**

All signage (other than handicap) requires a separate permit.

REVISION BLOCK:

#	DATE	DESCRIPTION
1	02/20/18	INITIAL SUBMITTAL
2	03/07/18	ADDRESSED COMMENTS
3	03/23/18	ADDRESSED COMMENTS
4	04/03/18	ADDRESS WATER AUTHORITY COMMENTS



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Final Land Development Plan  
for  
BURGER KING RESTAURANT  
EAST BUCHANAN TRAIL, ANTRIM TOWNSHIP, PA

PROJECT NAME:  
BURGER KING RESTAURANT

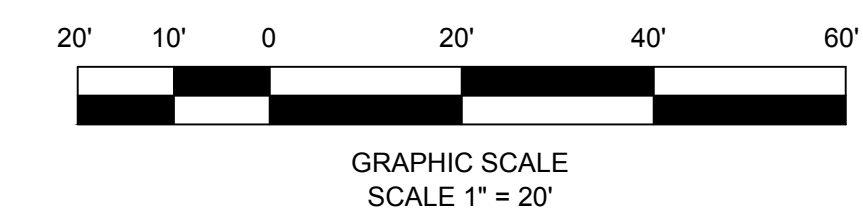
SHEET TITLE:  
SITE PLAN

SHEET NUMBER:  
3

PROJECT NUMBER:  
17001GPS

DATE:  
02/20/18

PENNSYLVANIA  
ONE-CALL  
1-800-242-1776

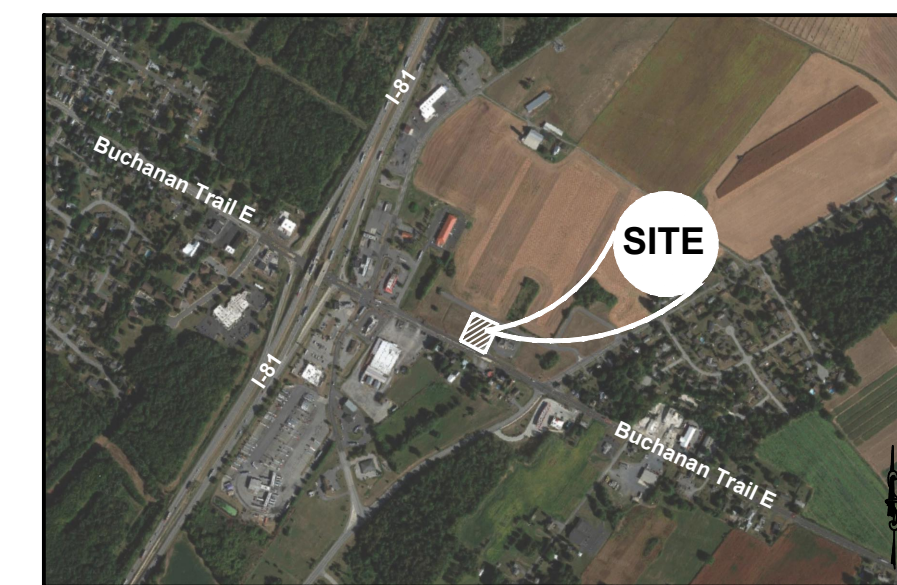


GRAPHIC SCALE  
SCALE 1" = 20'



2.03 WATER SERVICE LINE MATERIALS

- A. Polyethylene Tube: PE 4710, SDR 9, ANSI/NSF Standard 61 approved, 200 psi, copper tube size (CTS), conforming to requirements of ASTM D2239 with stainless steel inserts at all connection points.
- B. Couplings for Polyethylene Tubing: Ford Meter Box Co., grip joint compression type coupling fittings (C44-XX-G) for use with copper tube size polyethylene tubing and the appropriate size and type of existing service line material. All new service laterals shall be one continuous run of plastic with no underground splicing connections.
- C. Corporation Stops: Ford Meter Box Co., FB-1000-X-G; Mueller Company B-25008; or approved equal. Curb Stops: Ford Meter Box Co., Inc., B44-XXX-G; Mueller Company B-25755, or approved equal.
- D. Curb Boxes: Curb boxes shall be manufactured of cast-iron. Hot coat inside and out with tar or asphalt compound.
  - 1. McDonald 5607 Arch Style with 1 inch Brass Plug and stainless steel rod # 5660 24 inches long.
- E. PVC Service Line Encasement Conduit: Polyvinyl chloride (PVC) electrical conduit embedded in sand, 6 inches all around.
  - a. Joints: Solvent cemented ASTM D2564.
- F. Fittings: Polyvinyl chloride (PVC) Two piece same requirements as for conduit.



LOCATION MAP  
Not to Scale

PROJECT NOTES:

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Setbacks: Front: 25' Rear: 25' Side: 12'  
Maximum Impervious: 75%

Proposed use: Restaurant with drive-thru.  
Proposed Building Height: ≤50'

Project Tract: 0.79 acres (34,393 sf)  
Disturbed Area: 0.79 acres

Water: Greencastle Area, Franklin County, Water Authority  
Sanitary: Antrim Township Municipal Authority  
Electricity: ---  
Gas: Proposed # of EDU's = 6

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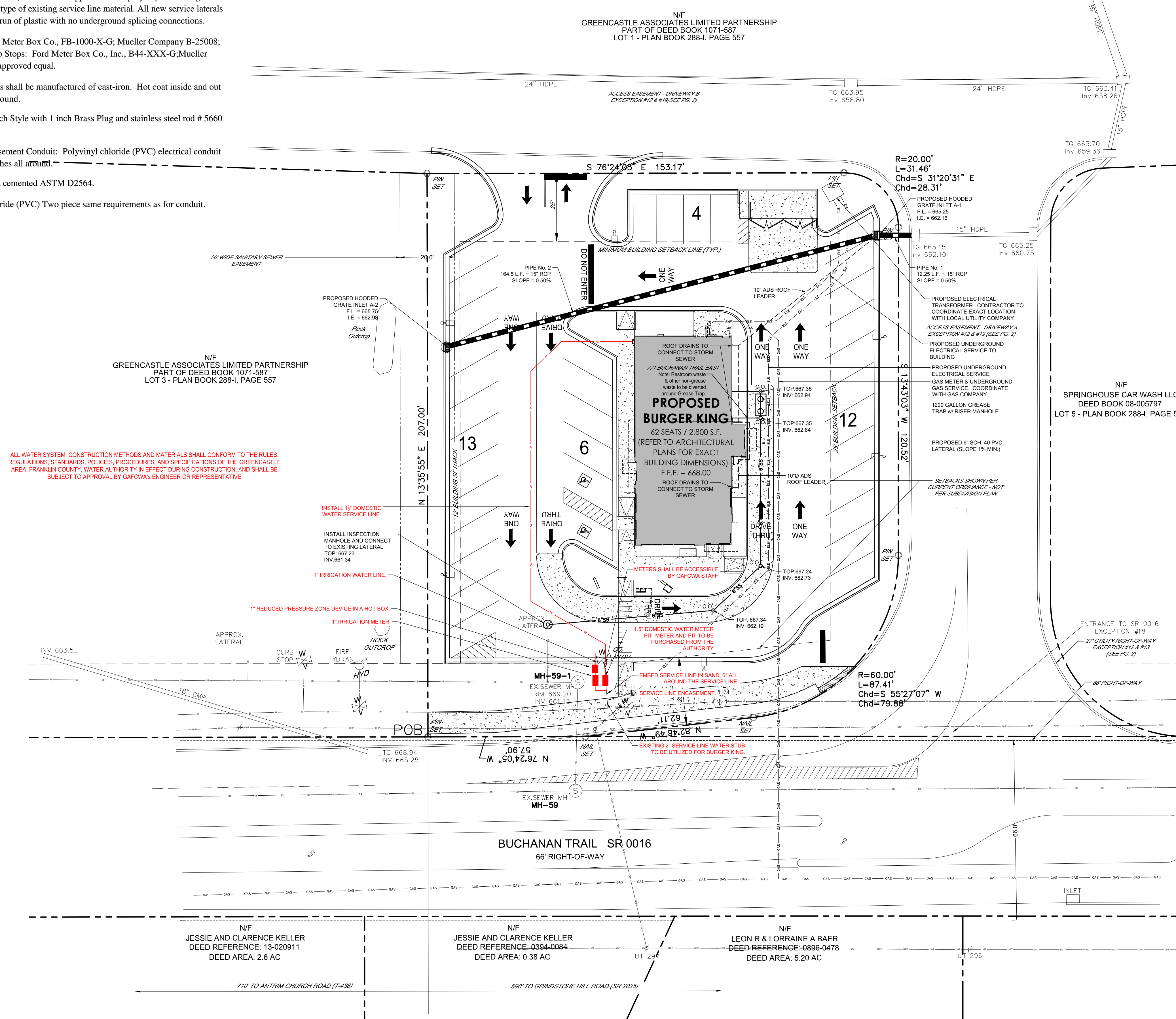
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GREASE INTERCEPTOR:

- GREASE INTERCEPTOR SHALL BE MONITORED AND MANAGED PER FOG REQUIREMENTS WITH MAINTENANCE AND REMOVAL OF GREASE AS REQUIRED FOR OPERATION



ALL WATER SYSTEM CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE RULES, REGULATIONS, STANDARDS, POLICIES, PROCEDURES, AND SPECIFICATIONS OF THE GREENCASTLE AREA, FRANKLIN COUNTY, WATER AUTHORITY IN EFFECT DURING CONSTRUCTION AND SHALL BE SUBJECT TO APPROVAL BY GAFOWA'S ENGINEER OR REPRESENTATIVE

INSTALL 1" DOMESTIC WATER SERVICE LINE

INSTALL INSPECTION MANHOLE AND CONNECT TO EXISTING LATERAL

1" IRRIGATION WATER LINE

1" REDUCED PRESSURE ZONE DEVICE IN A HOT BOX

1" IRRIGATION METER

EMBED SERVICE LINE IN SAND, 6" ALL AROUND THE SERVICE LINE

EXISTING 2" SERVICE LINE WATER STUB TO BE UTILIZED FOR BURGER KING

REVISION BLOCK:	#	DATE	DESCRIPTION
	1	02/20/18	INITIAL SUBMITTAL
	2	03/07/18	ADDRESSED COMMENTS
	3	03/23/18	ADDRESSED COMMENTS
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Watkinsville, GA 30677

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Final Land Development Plan  
for  
**BURGER KING RESTAURANT**  
EAST BUCHANAN TRAIL, ANTRIM TOWNSHIP, PA

PROJECT NAME:  
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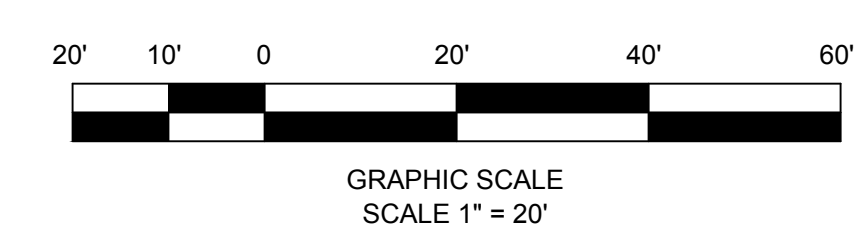
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**UTILITY PLAN**

SHEET NUMBER:  
**4**

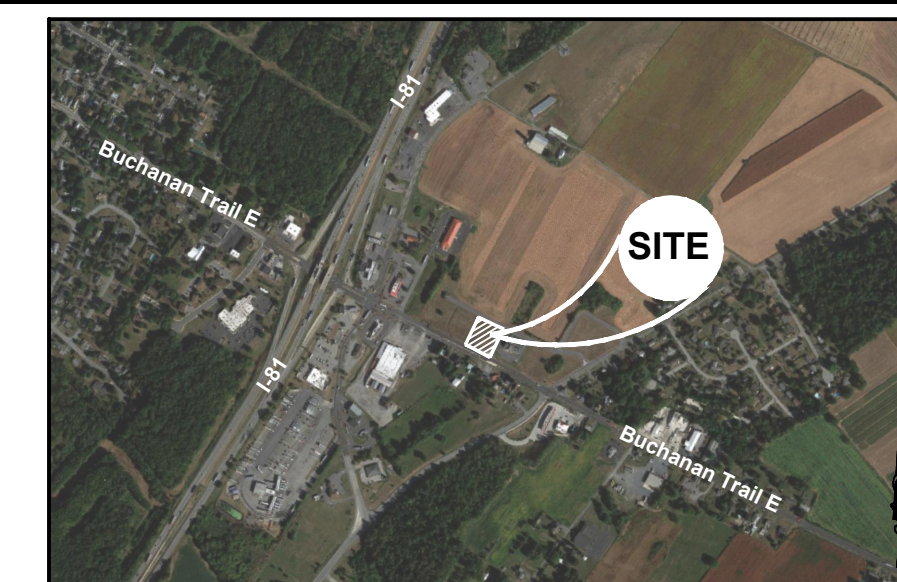
PROJECT NUMBER:  
**17001GPS**

DATE:  
**02/20/18**

PENNSYLVANIA  
ONE-CALL  
1-800-242-1776







**LOCATION MAP**  
Not to Scale

**PROJECT NOTES:**

**OWNER / DEVELOPER:**  
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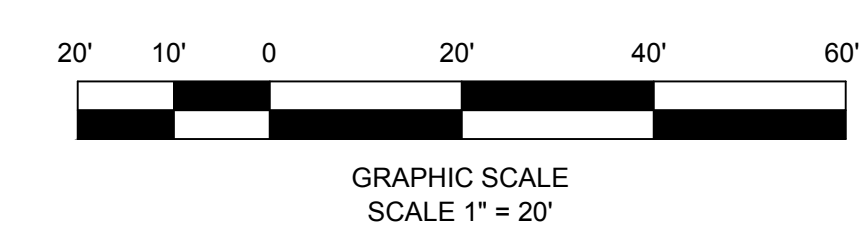
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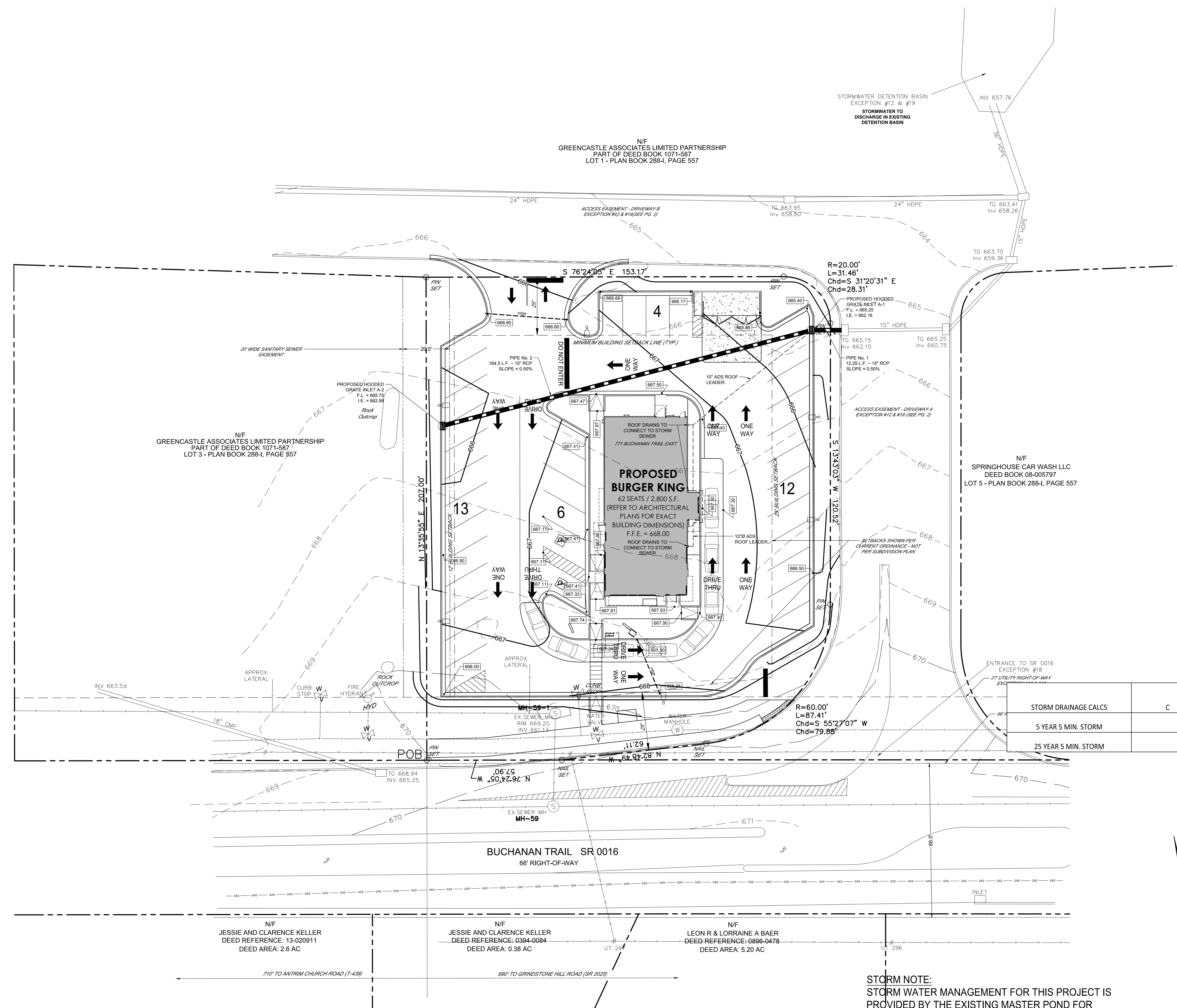
STORM DRAINAGE CALCS	C	INTENSITY (IN/HR)	AREA (AC)	CFS	MAX. CAPACITY (CFS)
5 YEAR 5 MIN. STORM	0.92	5.89	0.63	3.41	4.6
25 YEAR 5 MIN. STORM	0.92	7.8	0.63	4.52	

DRAIN INLET	DRAINAGE AREA (AC)
A-1	0.29
A-2	0.32

**PENNSYLVANIA ONE-CALL**  
1-800-242-1776

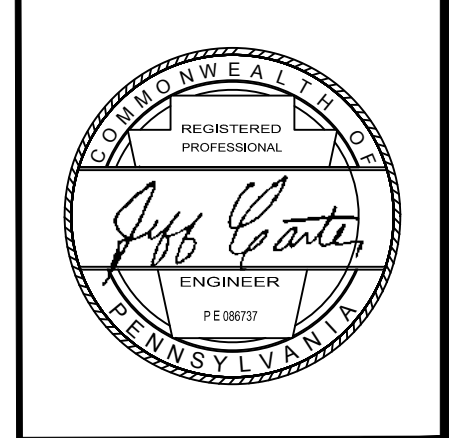


**STORM NOTE:**  
STORM WATER MANAGEMENT FOR THIS PROJECT IS PROVIDED BY THE EXISTING MASTER POND FOR GREENCASTLE CROSSING AS DETAILED IN THE REPORT CONDUCTED BY LSC DESIGN DATED 1/24/2003. NO ADDITIONAL ON-SITE STORM WATER DETENTION NEEDED.



**REVISION BLOCK:**

#	DATE	DESCRIPTION
1	02/20/18	INITIAL SUBMITTAL
2	03/07/18	ADDRESSED COMMENTS
3	03/23/18	ADDRESSED COMMENTS
4	04/05/18	ADDRESS WATER AUTHORITY COMMENTS



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3651 Mars Hill Road, Suite 2000  
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F: 770.725.1204  
www.carterengineering.net

**Final Land Development Plan**  
for  
**BURGER KING RESTAURANT**  
EAST BUCHANAN TRAIL, ANTRIM TOWNSHIP, PA

PROJECT NAME:  
**BURGER KING RESTAURANT**

SHEET TITLE:  
**GRADING AND DRAINAGE PLAN**

SHEET NUMBER:  
**5**

PROJECT NUMBER:  
**17001GPS**

DATE:  
**02/20/18**

N/F JESSIE AND CLARENCE KELLER  
DEED REFERENCE: 13-020911  
DEED AREA: 2.6 AC

N/F JESSIE AND CLARENCE KELLER  
DEED REFERENCE: 0384-0084  
DEED AREA: 0.38 AC

N/F LEON R & LORRAINE A BAER  
DEED REFERENCE: 0896-0478  
DEED AREA: 5.20 AC

710' TO ANTRIM CHURCH ROAD (T-438)

680' TO GRINDSTONE HILL ROAD (SR 2025)







MULCHING APPLICATION TO DISTURBED AREAS

**Ds1**

**MULCHING** - Mulches absorb rainfall impact, increase the rate of infiltration, reduce soil moisture loss due to evaporation, moderate soil temperatures, provide a suitable environment for germination, and protect the seedling from intense sunlight. All seeded areas should be mulched or blanketed to minimize the potential for failure to establish an adequate vegetative cover. Mulching may also be used as a temporary stabilization of some disturbed areas in non-germinating seasons.

**Rule of thumb: If you are seeing a lot of bare ground, there is not enough straw.**  
(Caution: Too much straw can be as harmful as too little straw.)

Mulches should be applied at the rates shown in Table 11.6

Straw and hay mulch should be anchored or tackified immediately after application to prevent being windblown. A tractor-drawn implement may be used to "crimp" the straw or hay into the soil — about 3 inches. This method should be limited to slopes no steeper than 3H:1V. The machinery should be operated on the contour. Note: Crimping of hay or straw by running over it with tracked machinery is not recommended.

Polymeric and gum tackifiers mixed and applied according to manufacturer's recommendations may be used to tack mulch. Avoid application during rain and on windy days. A 24-hour curing period and a soil temperature higher than 45° F are typically required. Application should generally be heaviest at edges of seeded areas and at crests of ridges and banks to prevent loss by wind. The remainder of the area should have binder applied uniformly. Binders may be applied after mulch is spread or sprayed into the mulch as it is being blown onto the soil. Applying straw and binder together is generally more effective.

Synthetic binders, or chemical binders, may be used as recommended by the manufacturer to anchor mulch provided sufficient documentation is provided to show they are non-toxic to native plant and animal species.

Mulch on slopes of 8% or steeper should be held in place with netting. Lightweight plastic, fiber, or paper nets may be stapled over the mulch according to manufacturer's recommendations.

Shredded paper hydromulch should not be used on slopes steeper than 5%. Wood fiber hydromulch may be applied on steeper slopes provided a tackifier is used. The application rate for any hydromulch should be 2,000 lb/acre at a minimum.

**TABLE 11.6**  
Mulch Application Rates

Mulch Type	Application Rate (Min.)			Notes
	Per Acre	Per 1,000 sq. ft.	Per 1,000 sq. yd.	
Straw	3 tons	140 lb.	1,240 lb.	Either wheat or oat straw, free of weeds, not chopped or finely broken
Hay	3 tons	140 lb.	1,240 lb.	Timothy, mixed clover and timothy or other native forage grasses
Wood Chips	4 - 6 tons	185 - 275 lb.	1,650 - 2,500 lb.	May prevent germination of grasses and legumes
Hydromulch	1 ton	47 lb.	415	See limitations above

TEMPORARY AND PERMANENT VEGETATION SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 11 OF THE "PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL".

TEMPORARY GRASSING

**Ds2**

TEMPORARY GRASSES SHALL CONSIST OF SOWING A QUICK GRASS SUCH AS RYE, BROWN TOP MILLET, OR GRASS SUITABLE TO THE AREA AND SEASON. LIME AND FERTILIZER WILL BE OMITTED. MULCH IS NOT REQUIRED BUT SHOULD BE USED AS DICTATED BY SITE CONDITIONS. TEMPORARY GRASSING IS REQUIRED WHEN DISTURBED AREA IS LEFT EXPOSED MORE THAN 14 DAYS.

SPECIES	RATE	PLANTING DATES
PERENNIAL RYEGRASS	40# / ACRE	APRIL - MAY, AUGUST - DECEMBER
BROWN MILLET	10-40# / ACRE	APRIL - JUNE
WEEPING LOVEGRASS	2-4# / ACRE	APRIL - JUNE
WHEAT	1/2-3# / ACRE	SEPTEMBER - NOVEMBER
RYE	1/2-3# / ACRE	AUGUST - DECEMBER

PERMANENT GRASSING

**Ds3**

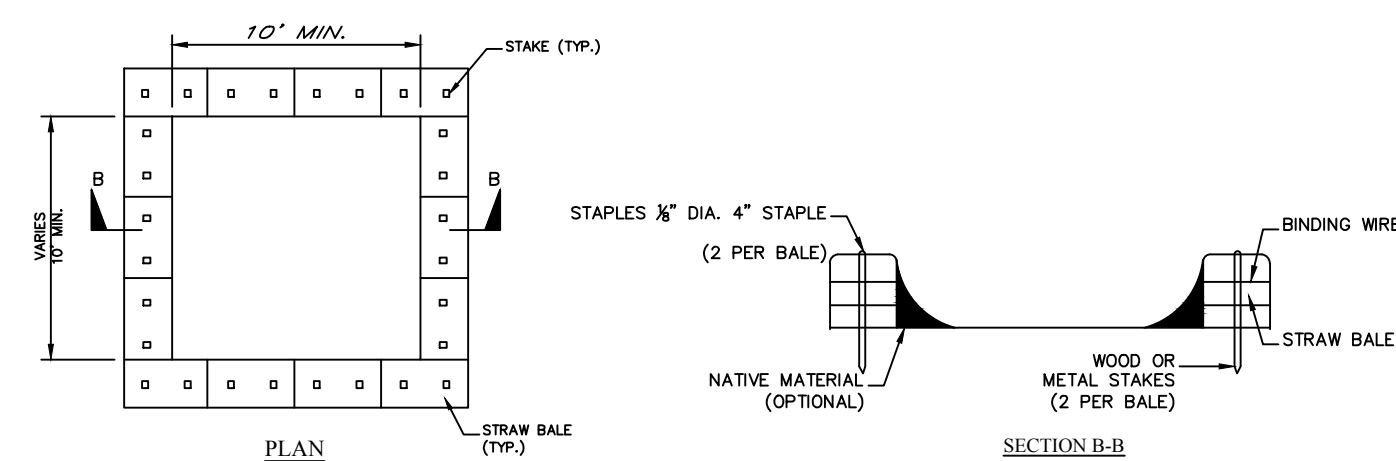
PERMANENT GRASSING SHALL CONSIST OF GROUND PREPARATION, LIMING, FERTILIZATION, MULCHING AND SEEDING. THE GROUND SHALL BE PREPARED BY PLOWING AND DISKING TO A DEPTH NOT LESS THAN 4". FERTILIZER AND LIME SHALL BE UNIFORMLY MIXED INTO THE GROUND, WITH 10-20 FERTILIZER AT THE RATE OF 1,000#/ACRE AND AGRICULTURAL LIME AT THE RATE OF 2 TONS/ACRE. THE GROUND SHALL BE FINISHED OFF SMOOTH AND UNIFORM AND BE FREE OF ROCKS, CLODS, ROOTS AND WEEDS. FERTILIZER SHALL BE DONE WITHIN 24 HOURS OF FERTILIZER APPLICATION. SEED SHALL BE UNIFORMLY SPREAD AT THE RATES SHOWN BELOW. MULCHING IS REQUIRED AND SHALL BE DONE IMMEDIATELY AFTER SEEDING. MULCH SHALL BE UNIFORMLY APPLIED OVER THE AREA LEAVING NO MORE THAN 25% OF THE GROUND SURFACE EXPOSED. THE RATE OF APPLICATION SHALL BE DOUBLED ON SLOPES STEEPER THAN 4:1.

SPECIES	RATE	PLANTING DATES
FINE FESCUE	35-40# / ACRE	MARCH - APRIL, SEPTEMBER - EARLY OCTOBER
PERENNIAL RYEGRASS	15-20# / ACRE	SEPTEMBER - EARLY OCTOBER

LIMING RATES

AGRICULTURAL LIME IS REQUIRED AT THE RATE OF ONE TO TWO TONS PER ACRE FOR TEMPORARY SEEDING APPLICATIONS AND 6 TONS PER ACRE FOR PERMANENT SEEDING APPLICATIONS, UNLESS SOIL TESTS INDICATE OTHERWISE. GRADED AREAS REQUIRE LIME APPLICATION. IF LIME IS APPLIED WITHIN SIX MONTHS OF PLANTING PERMANENT PERENNIAL VEGETATION, ADDITIONAL LIME IS NOT REQUIRED. AGRICULTURAL LIME SHALL BE WITHIN THE SPECIFICATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

STRAW BALE BARRIER CONCRETE WASHOUT



- LETTERS A MINIMUM OF 5" IN HEIGHT
- ACTUAL LAYOUT DETERMINED IN FIELD.
  - INSTALL CONCRETE WASHOUT SIGN (24"x24", MINIMUM) WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
  - TEMPORARY WASHOUT AREA MUST BE AT LEAST 50' FROM A STORM DRAIN, CREEK BANK OR PERIMETER CONTROL.
  - CLEAR OUT CONCRETE WASHOUT AREA WHEN 50% FULL.
  - THE KEY TO FUNCTIONAL CONCRETE WASHOUTS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR CLEAN OUT.
  - SILT FENCE SHALL BE INSTALLED AROUND PERIMETER OF CONCRETE WASHOUT AREA EXCEPT FOR THE SIDE UTILIZED FOR ACCESSING THE WASHOUT.
  - A ROCK CONSTRUCTION ENTRANCE MAY BE NECESSARY ALONG ONE SIDE OF THE WASHOUT TO PROVIDE VEHICLE ACCESS.

**CONCRETE WASHOUT STRAW BALES OR ABOVE GROUND**  
STANDARD DRAWING NO. RC-07 PAGE 1 OF 1  
NOT TO SCALE  
FEBRUARY 2014 DATE

FERTILIZER REQUIREMENTS

TYPES OF SPECIES	YEAR	ANALYSIS OR EQUIVALENT N-P-K	RATE	N TOP DRESSING RATE
1. Cool season grasses	First	6-12-12	1500 lbs./ac.	50-100 lbs./ac/ 1/2'
	Second	6-12-12	1000 lbs./ac.	30
	Maintenance	10-10-10	400 lbs./ac.	-
2. Cool season grasses and legumes	First	6-12-12	1500 lbs./ac.	0-50 lbs./ac. 1'
	Second	0-10-10	1000 lbs./ac.	-
	Maintenance	0-10-10	400 lbs./ac.	-
3. Ground Covers	First	10-10-10	1300 lbs./ac. 3'	-
	Second	10-10-10	1300 lbs./ac. 3'	-
	Maintenance	10-10-10	1100 lbs./ac.	-
4. Shrub Lespedeza	First	0-10-10	700 lbs./ac.	-
	Maintenance	0-10-10	700 lbs./ac. 4'	-
5. Warm season grasses	First	6-12-12	1500 lbs./ac.	50-100 lbs./ac. 2'
	Second	6-12-12	800 lbs./ac.	50-100 lbs./ac. 2'
	Maintenance	10-10-10	400 lbs./ac.	30 lbs./ac.
6. Warm season grasses and legumes	First	6-12-12	1500 lbs./ac.	50 lbs./ac. 6'
	Second	0-10-10	1000 lbs./ac.	-
	Maintenance	0-10-10	400 lbs./ac.	-

Ds1\_Ds2\_Ds3.dwg

DUST CONTROL

**Du**

Table H.1 shows application rates for some common dust suppressants, as recommended by the Pennsylvania Dirt and Gravel Road Program. Refer to the website at [www.dirtandgravelroads.org](http://www.dirtandgravelroads.org) for updated information about approved products and application rates. **NOTE: The Department does not endorse these or any other individual products.**

Table H.1. Application Rates for Dust Suppressants

Product	Water Dilution	Type
Penn Suppress "D"	1:4 emulsion to water (Minimum)	Petroleum Emulsion
Ultrabond 2000	1:4 emulsion to water (Minimum)	Petroleum Emulsion
Coherex	1:10 emulsion to water (Minimum)	Petroleum Emulsion
Dust Bond	1:10 emulsion to water (Minimum)	Petroleum Emulsion
EK 35	100% active, not water required for application	Synthetic Fluid
EnviroKleen	100% active, not water required for application	Synthetic Fluid
Pave-Cyrl Suppress	As-received (51% solids)	Acrylic Polymer (PVA)
Pave-Cyrl Suppress Plus	As-received (51% solids)	Acrylic Polymer (PVA)
DirtGlue	As-received (>51% solids)	Acrylic Polymer (PVA)

Other suppressants may be used as long as they have been shown to be environmentally safe and effective for the intended use. Table H.2 provides information regarding the types of suppressants commonly used.

Table H.2. Adhesives Used for Dust Control

Adhesive	Water Dilution (Adhesive: Water)	Type of Nozzle	Application Rate Gallons/Acre
Anionic Asphalt Emulsion	7:1	Coarse Spray	1,200
Latex Emulsion	12.5:1	Fine Spray	235
Resin in Water	4:1	Fine Spray	300
Acrylic Emulsion (Non-Traffic)	7:1	Coarse Spray	450
Acrylic Emulsion (Traffic)	3.5:1	Coarse Spray	350

VA. DSWC

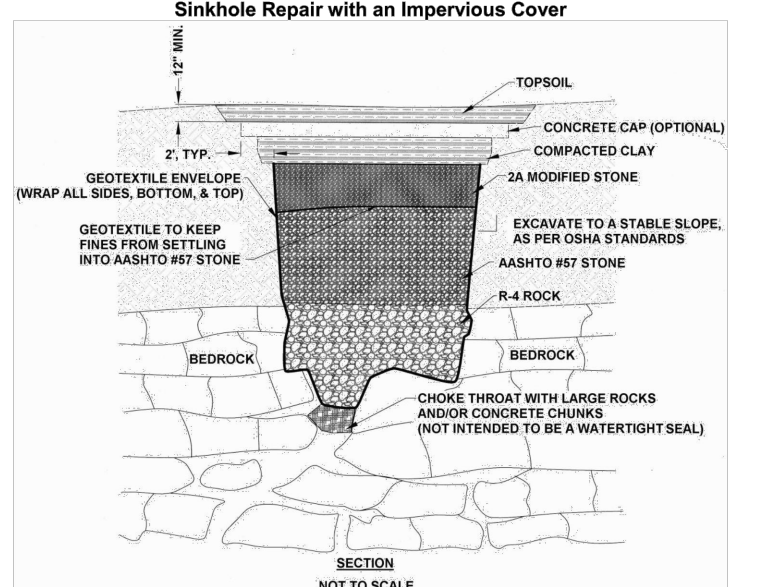
Limitations

In areas where evaporation rates are high, water application to exposed soils may require near constant attention. If water is applied in excess, irrigation may create unwanted excess runoff from the site and possibly create conditions where vehicles could track mud onto public roads. Chemical applications should be used sparingly and only on mineral soils (not mucic soils) because their misuse can create additional surface water pollution from runoff or contaminate ground water. Chemical applications might also present a health risk if excessive amounts are used.

Maintenance Considerations

Because dust controls are dependent on specific site and weather conditions, inspection and maintenance are unique for each site. Generally, however, dust control measures involving application of either water or chemicals require more monitoring than structural or vegetative controls to remain effective. If structural controls are used, they should be inspected for deterioration on a regular basis to ensure that they are still achieving their intended purpose.

FIGURE 17.3 Sinkhole Repair with an Impervious Cover



Adapted from USDA NRCS

Loose material shall be excavated from the sinkhole and expose solution void(s) if possible. Enlarge sinkhole if necessary to allow for installation of filter materials. OSHA regulations must be followed at all times during excavation.

Geotextile shall be non-woven with a burst strength between 100 and 200 psi.

Select field stone(s) about 1.5 times larger than solution void(s) to form "bridges." Place rock(s) so no large openings exist along the sides. Stones used for the "bridges" and filters shall have a moderately hard rock strength and be resistant to abrasion and degradation. Shale and similar soft and/or non-durable rock are not acceptable.

Minimum thickness of R-4 rock is 18". AASHTO #57 stone thickness shall be 1/2 to 3/4" that of the R-4 rock. Minimum thickness of 2A modified crushed stone shall be 9". AASHTO #57 stone and 2A modified crushed stone shall be compacted after each placement.

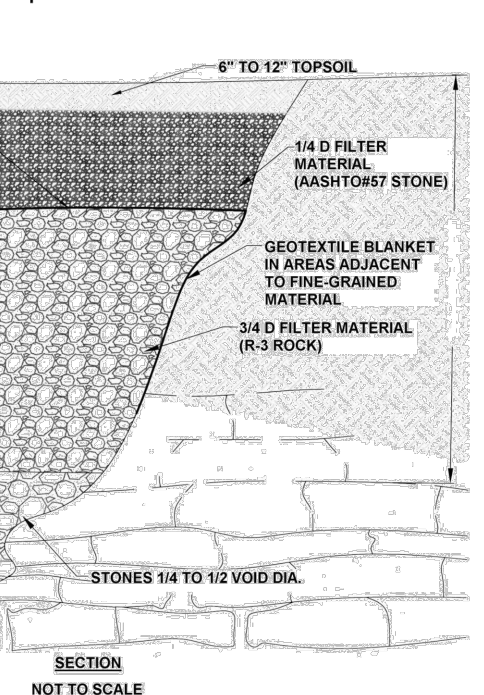
Compacted clay seal shall be a minimum of 12" thick. Clay shall be placed in 6" to 8" lifts and thoroughly compacted.

Concrete cap, which is optional, shall be a minimum of 8" thick. Use 4,000 psi concrete with 6" X 6" - 6 gauge welded wire fabric, or #3 rebar on 18" O.C. both ways.

Topsoil shall be a minimum of 12" thick. Grade for positive drainage away from sinkhole area.

363-2134-008 / March 31, 2012 / Page 330

FIGURE 17.2 Sinkhole Repair with a Pervious Cover



Adapted from USDA NRCS

Loose material shall be excavated from the sinkhole and expose solution void(s) if possible. Enlarge sinkhole if necessary to allow for installation of filter materials. OSHA regulations must be followed at all times during excavation.

Stones used for the "bridges" and filters shall have a moderately hard rock strength and be resistant to abrasion and degradation. Shale and similar soft and/or non-durable rock are not acceptable.

Minimum thickness of R-4 rock is 18". AASHTO #57 stone thickness shall be 1/2 to 3/4" that of the R-4 rock. Minimum thickness of 2A modified crushed stone shall be 9". AASHTO #57 stone and 2A modified crushed stone shall be compacted after each placement.

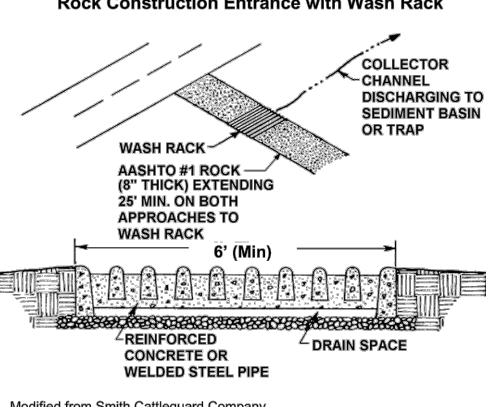
Compacted clay seal shall be a minimum of 12" thick. Clay shall be placed in 6" to 8" lifts and thoroughly compacted.

Concrete cap, which is optional, shall be a minimum of 8" thick. Use 4,000 psi concrete with 6" X 6" - 6 gauge welded wire fabric, or #3 rebar on 18" O.C. both ways.

Topsoil shall be a minimum of 12" thick. Grade for positive drainage away from sinkhole area.

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STANDARD CONSTRUCTION DETAIL # 3-2 Rock Construction Entrance with Wash Rack



Wash rack shall be 20 feet (min.) wide and total width of access.

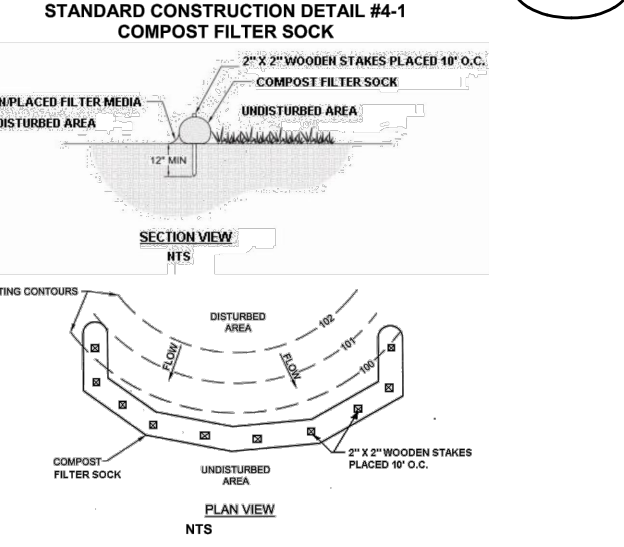
Wash rack shall be designed and constructed to accommodate anticipated construction vehicular traffic.

A water supply shall be made available to wash the wheels of all vehicles exiting the site.

**MAINTENANCE:** Rock construction entrance thickness shall be constantly maintained to the specified dimensions by adding rock. A stockpile of rock material shall be maintained on site for this purpose. Drain space under wash rack shall be kept open at all times. Damage to the wash rack shall be repaired prior to further use of the rack. All sediment deposited on roadway shall be removed and returned to the construction site immediately. Washing the roadway or sweeping the deposits into roadway ditches, sewers, culverts, or other drainage courses is not acceptable.

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STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK



Sock fabric shall meet standards of Table 4.1. Compost shall meet the standards of Table 4.2.

Compost filter sock shall be placed at existing level grade. Both ends of the sock shall be extended at least 8 feet up slope at 45 degrees to the main sock alignment (Figure 4.1). Maximum sock length above any sock shall not exceed that shown on Figure 4.2. Socks may be installed immediately downslope of the sock if so specified by the manufacturer.

Traffic shall not be permitted to cross filter socks.

Accumulated sediment shall be removed when it reaches half the aboveground height of the sock and disposed in the manner described elsewhere in the plan.

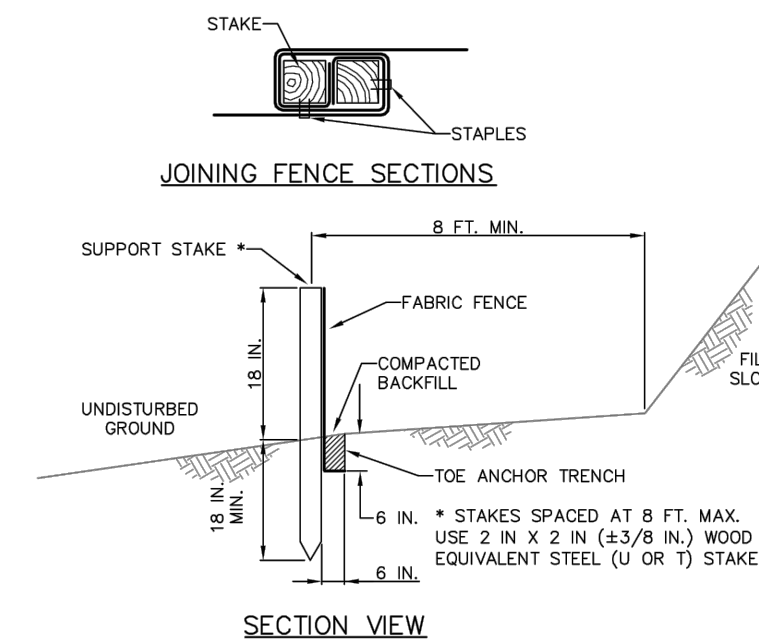
Socks shall be inspected weekly and after each runoff event. Damaged socks shall be repaired according to manufacturer's specifications or replaced within 24 hours of inspection.

Biodegradable filter socks shall be replaced after 6 months; photodegradable socks after 1 year. Polypropylene socks shall be replaced according to manufacturer's recommendations.

Upon stabilization of the area tributary to the sock, stakes shall be removed. The sock may be left in place and vegetated or removed. In the latter case, the mesh shall be cut open and the mulch spread as a soil supplement.

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**Sf**



**NOTES:**

FABRIC SHALL HAVE THE MINIMUM PROPERTIES AS SHOWN IN TABLE 4.3 OF THE PA DEP EROSION CONTROL MANUAL.

FABRIC WIDTH SHALL BE 30 IN. MINIMUM. STAKES SHALL BE HARDWOOD OR EQUIVALENT STEEL (U OR T) STAKES.

SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE FENCE SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT.

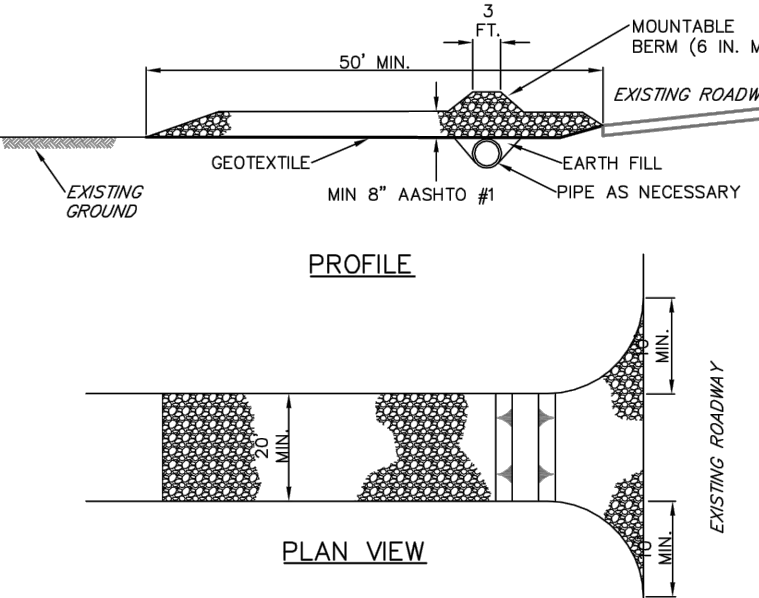
SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH HALF THE ABOVE GROUND HEIGHT OF THE FENCE.

ANY SECTION OF SILT FENCE WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET (STANDARD CONSTRUCTION DETAIL # 4-8).

FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.

**STANDARD CONSTRUCTION DETAIL #4-7**  
**STANDARD SILT FENCE (18" HIGH)**  
NOT TO SCALE

**Co**



**NOTES:**

REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

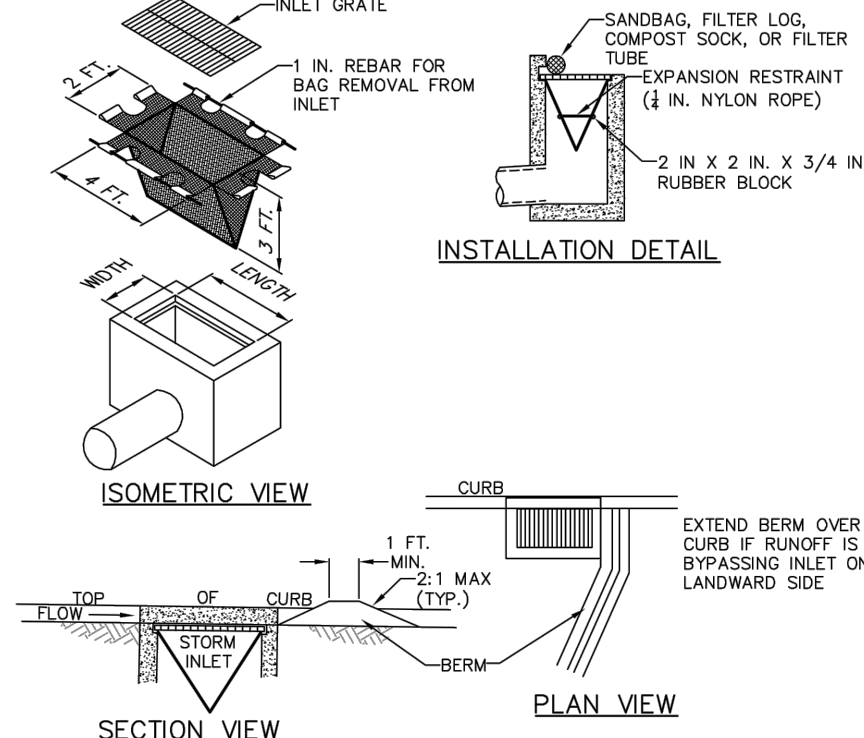
RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

**MAINTENANCE:** ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

**STANDARD CONSTRUCTION DETAIL #3-1**  
**ROCK CONSTRUCTION ENTRANCE**  
NOT TO SCALE

**Ip**



**NOTES:**

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE, BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.

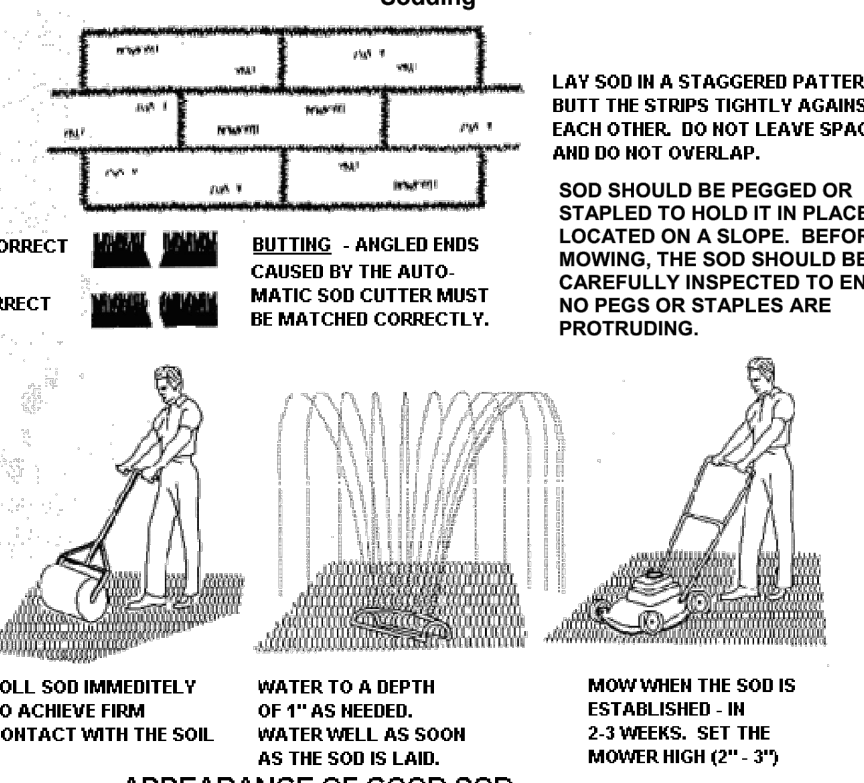
AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

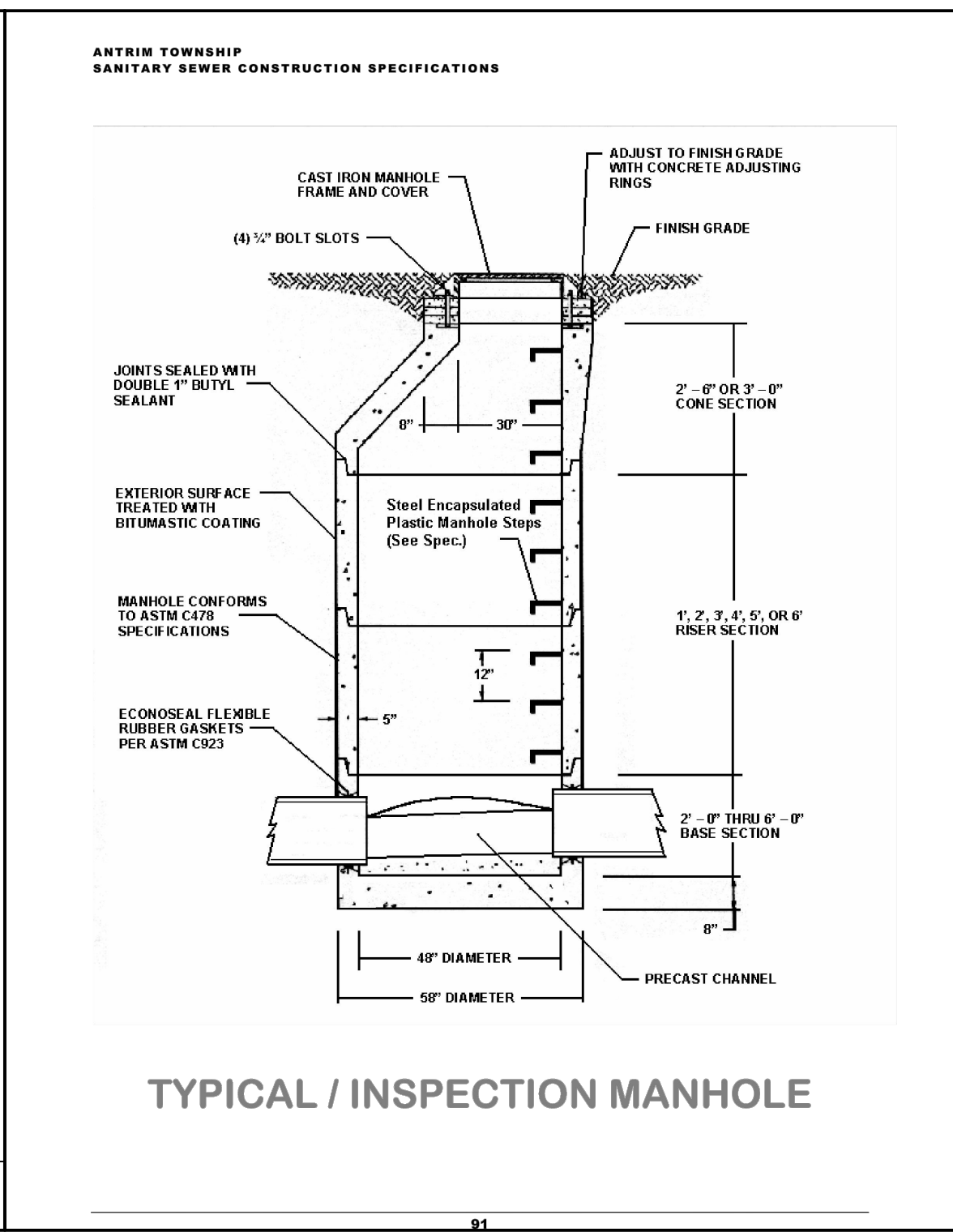
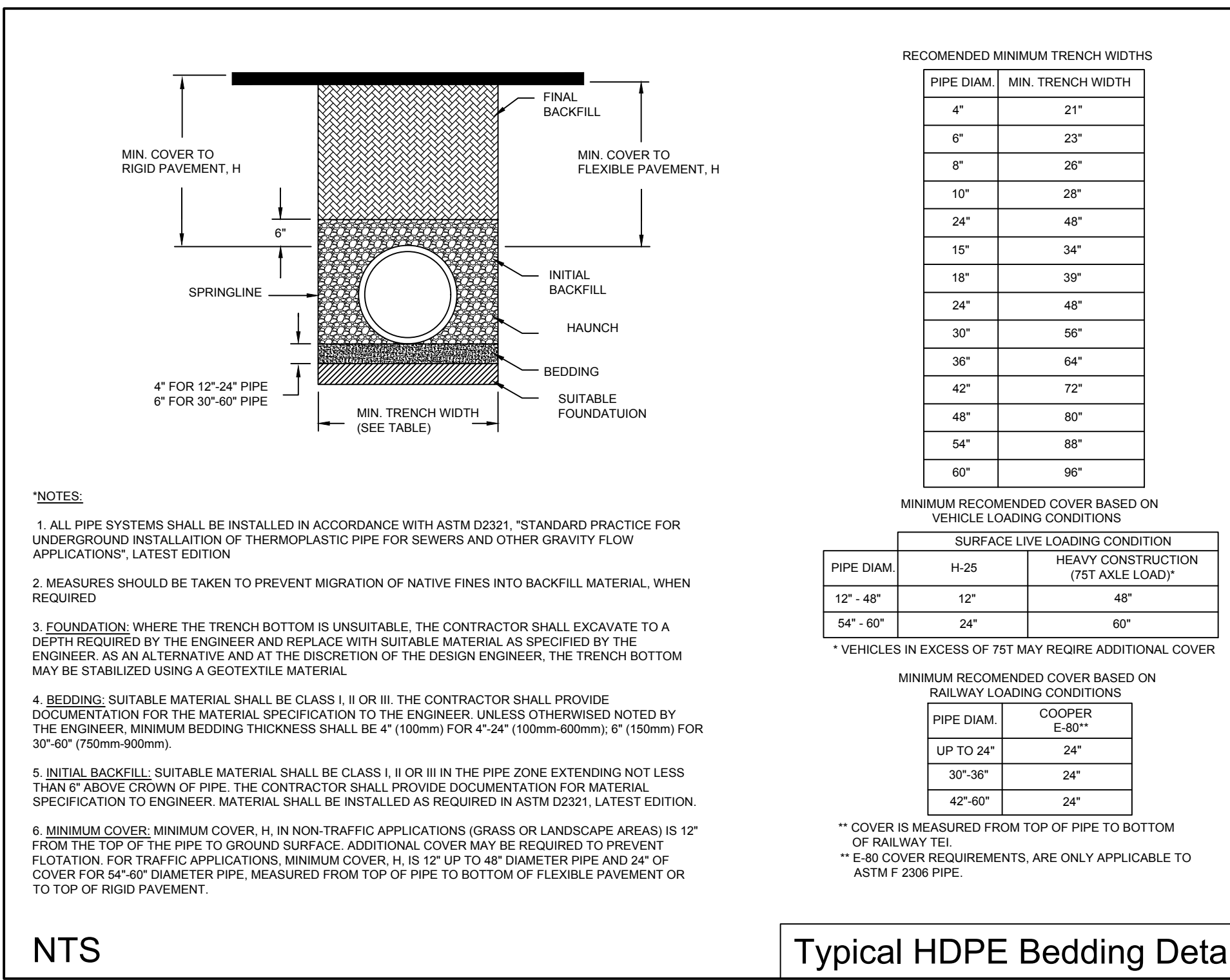
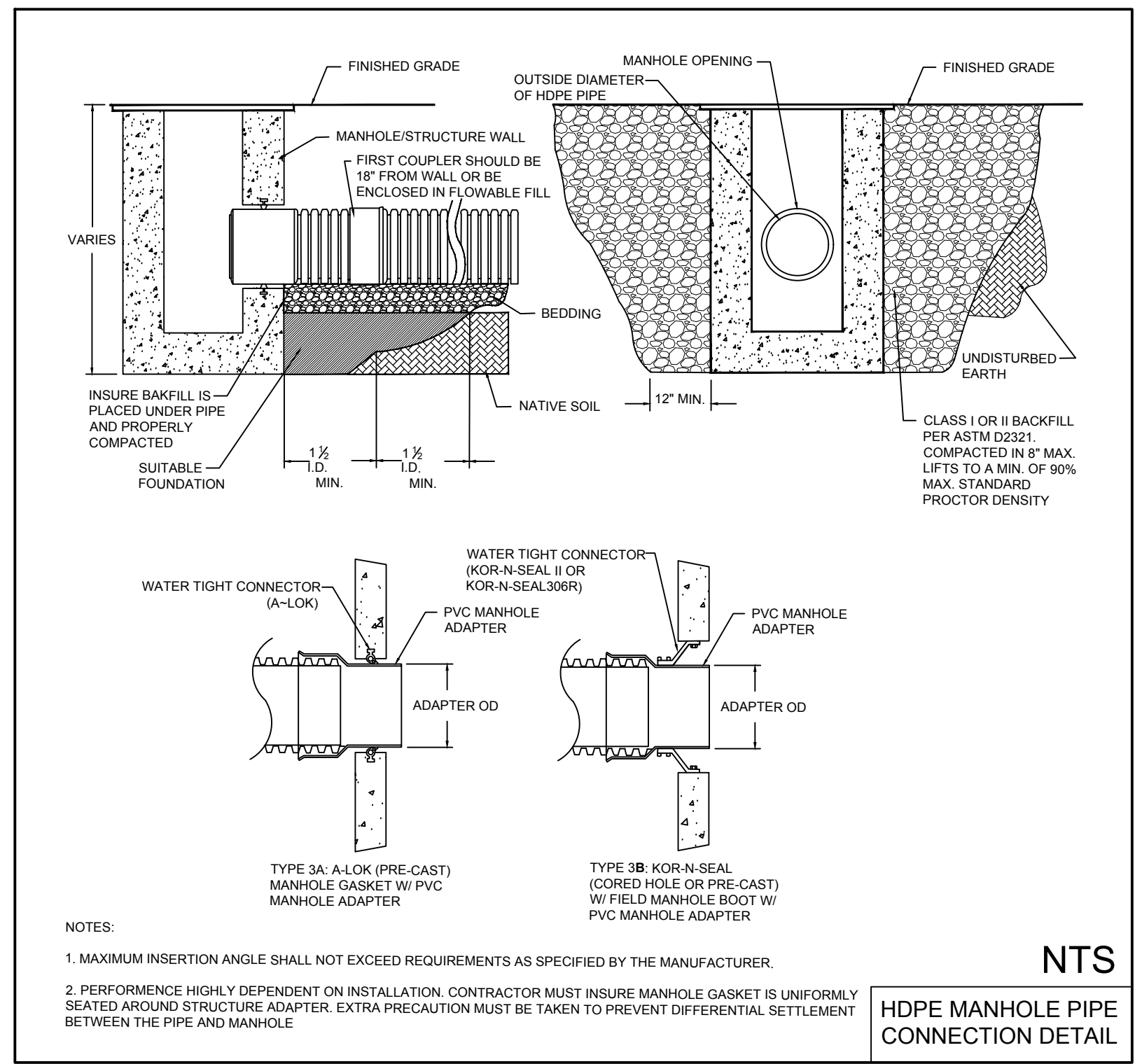
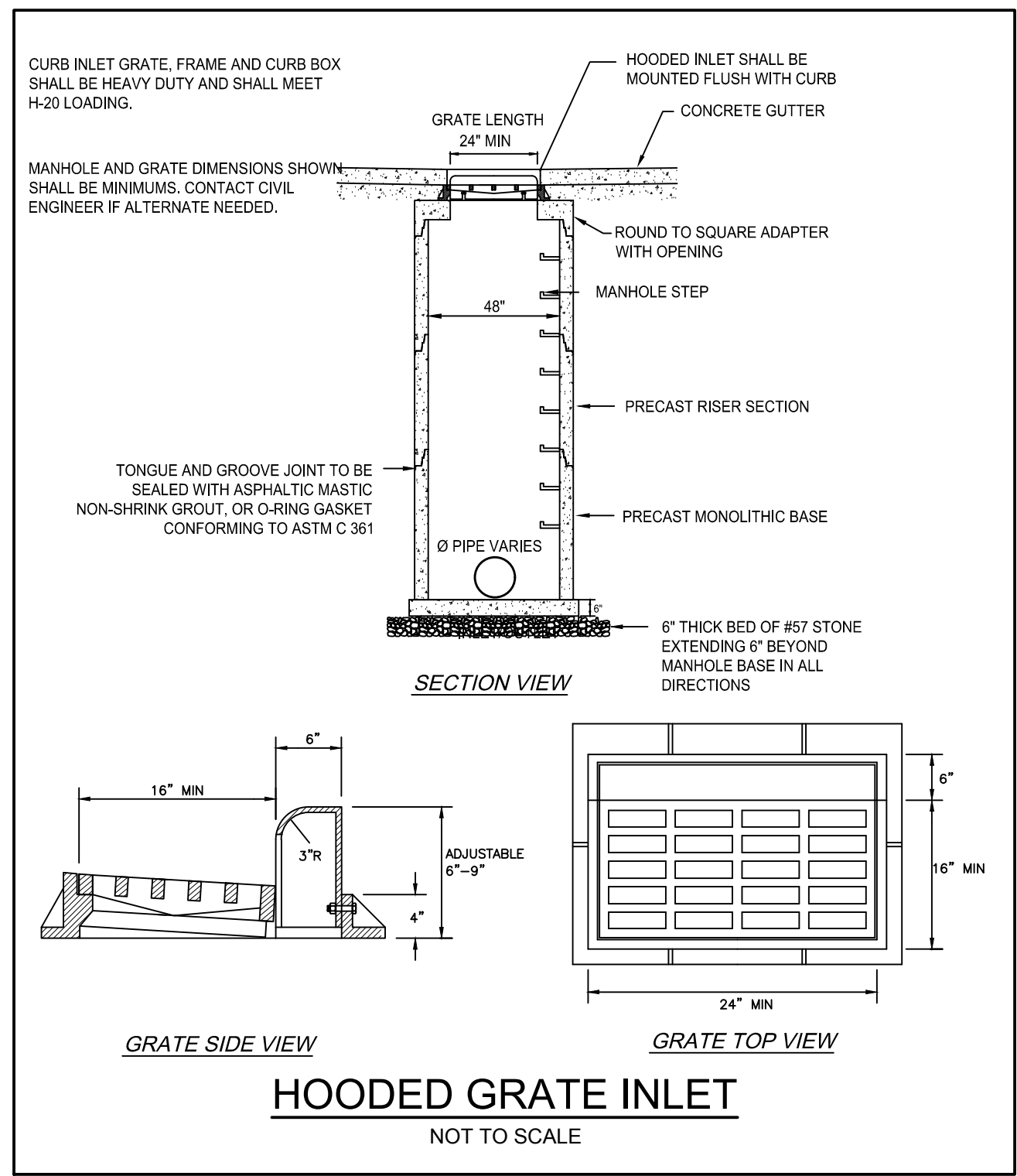
DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**STANDARD CONSTRUCTION DETAIL #4-15**  
**FILTER BAG INLET PROTECTION - TYPE C INLET**  
NOT TO SCALE

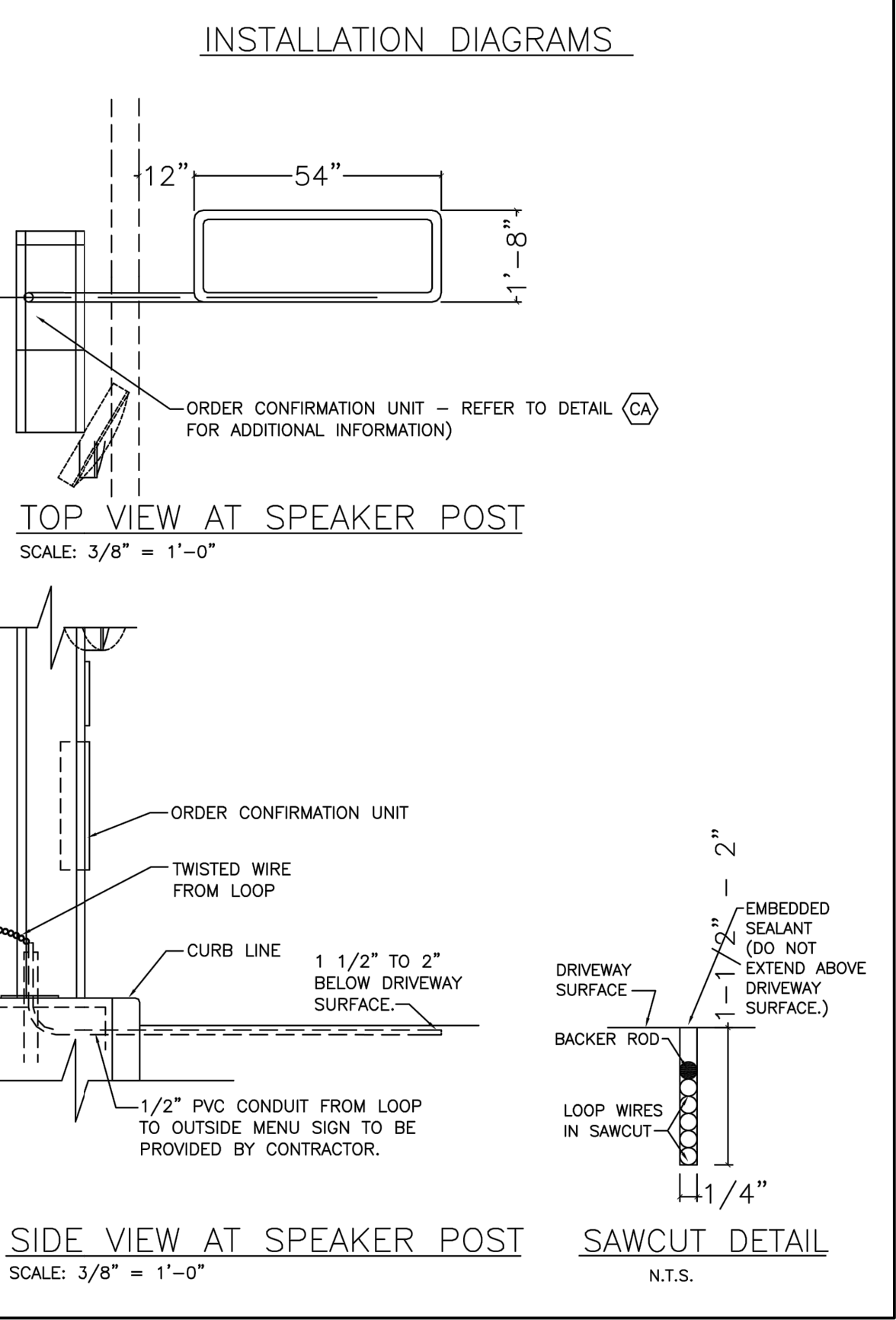
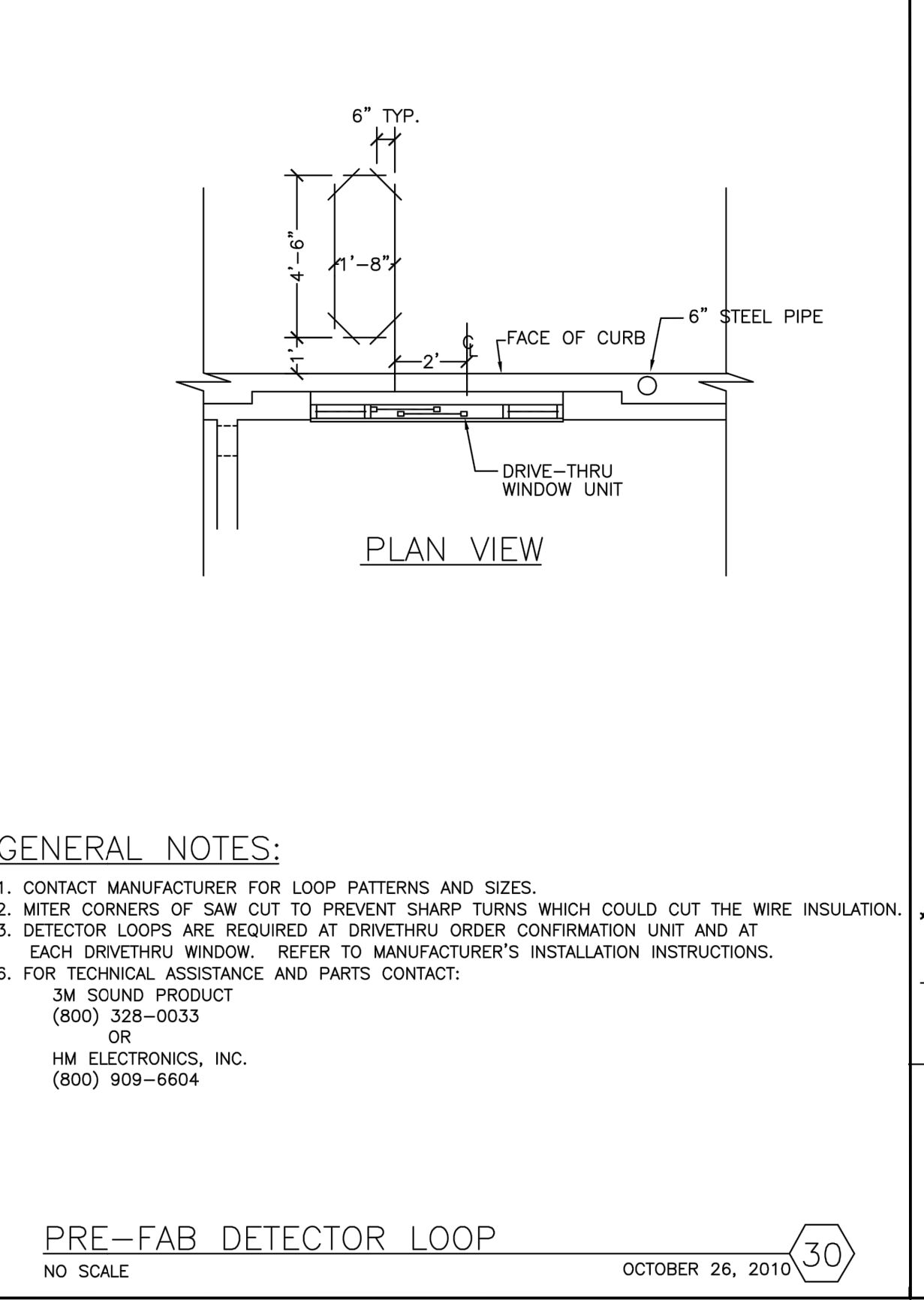
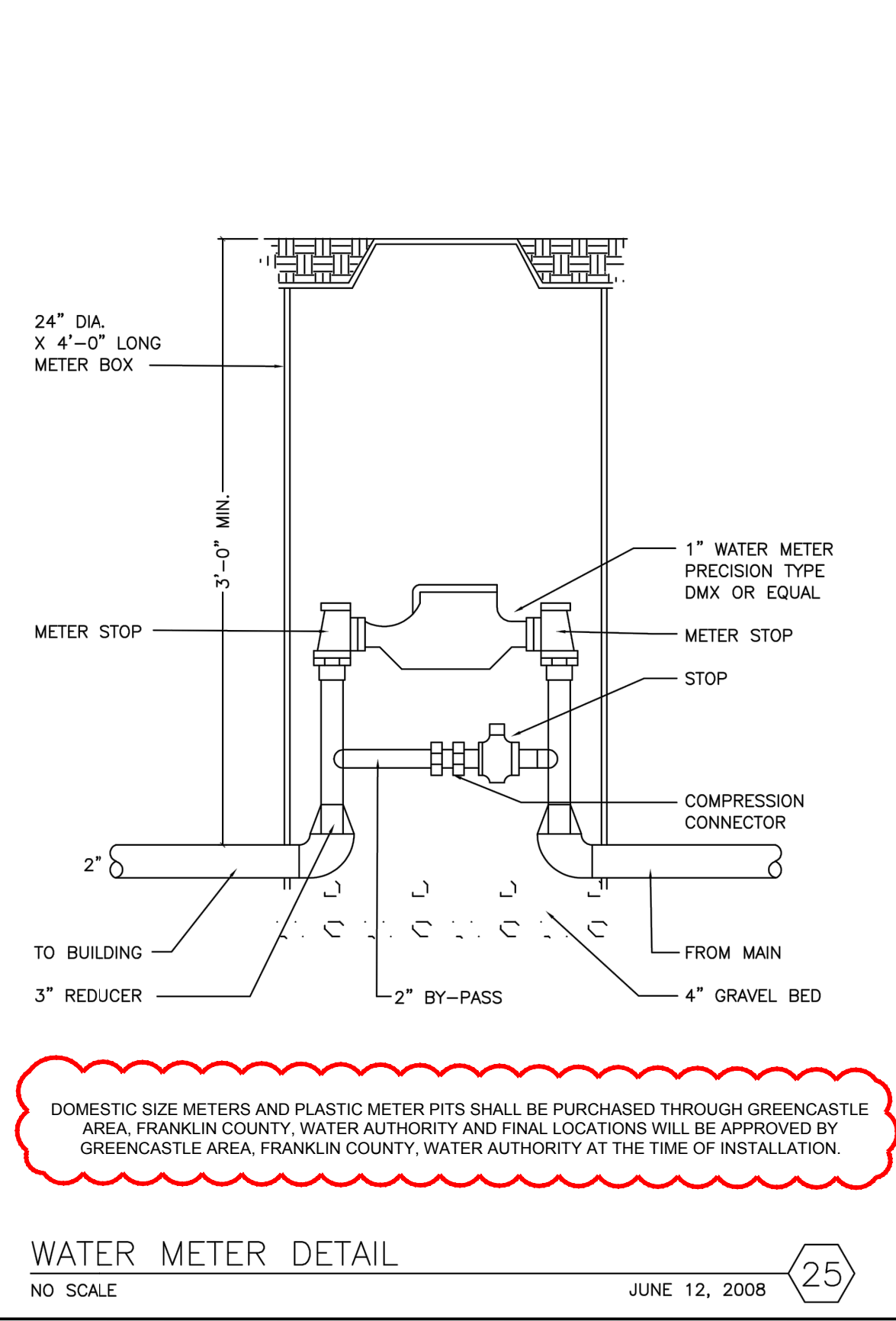
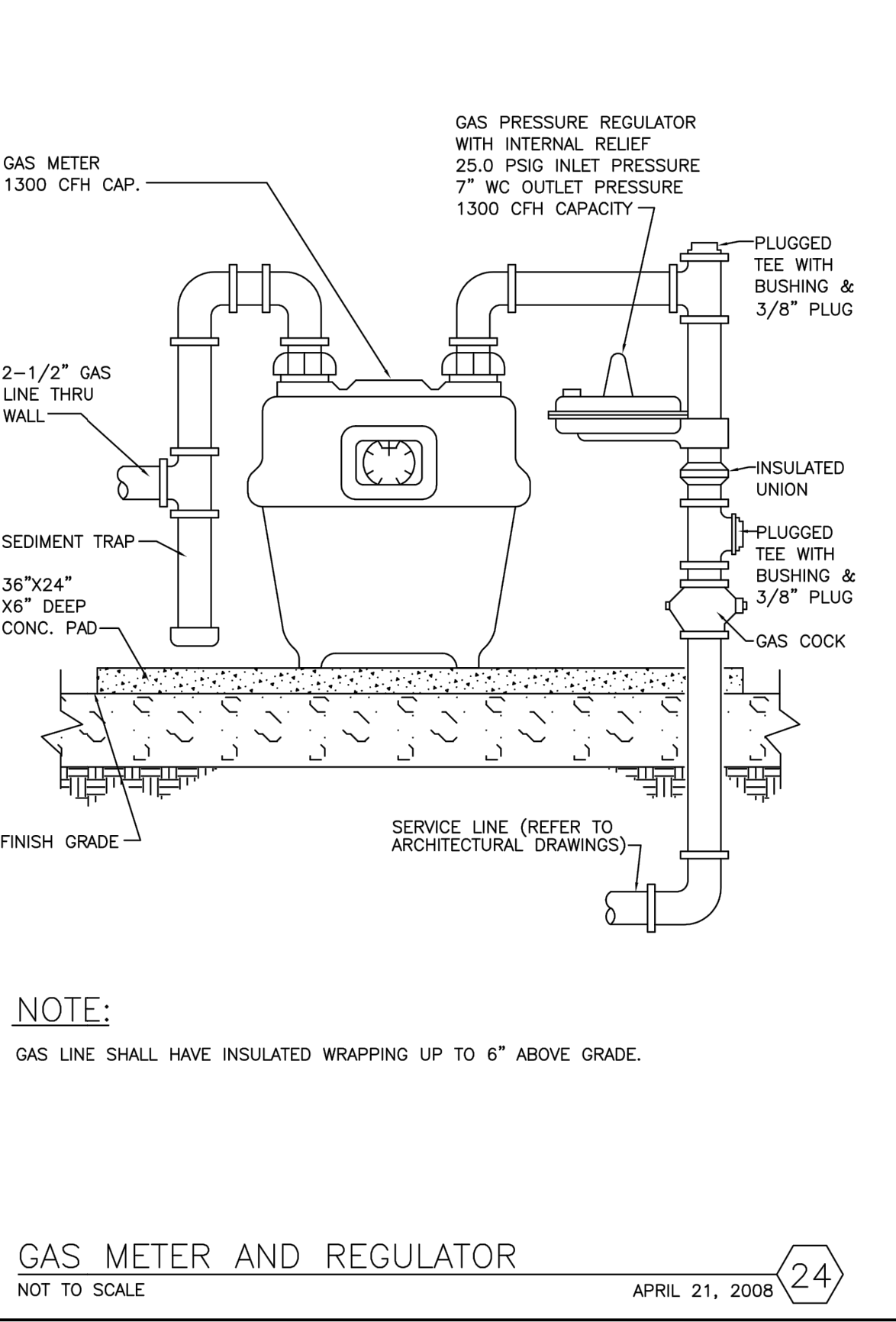
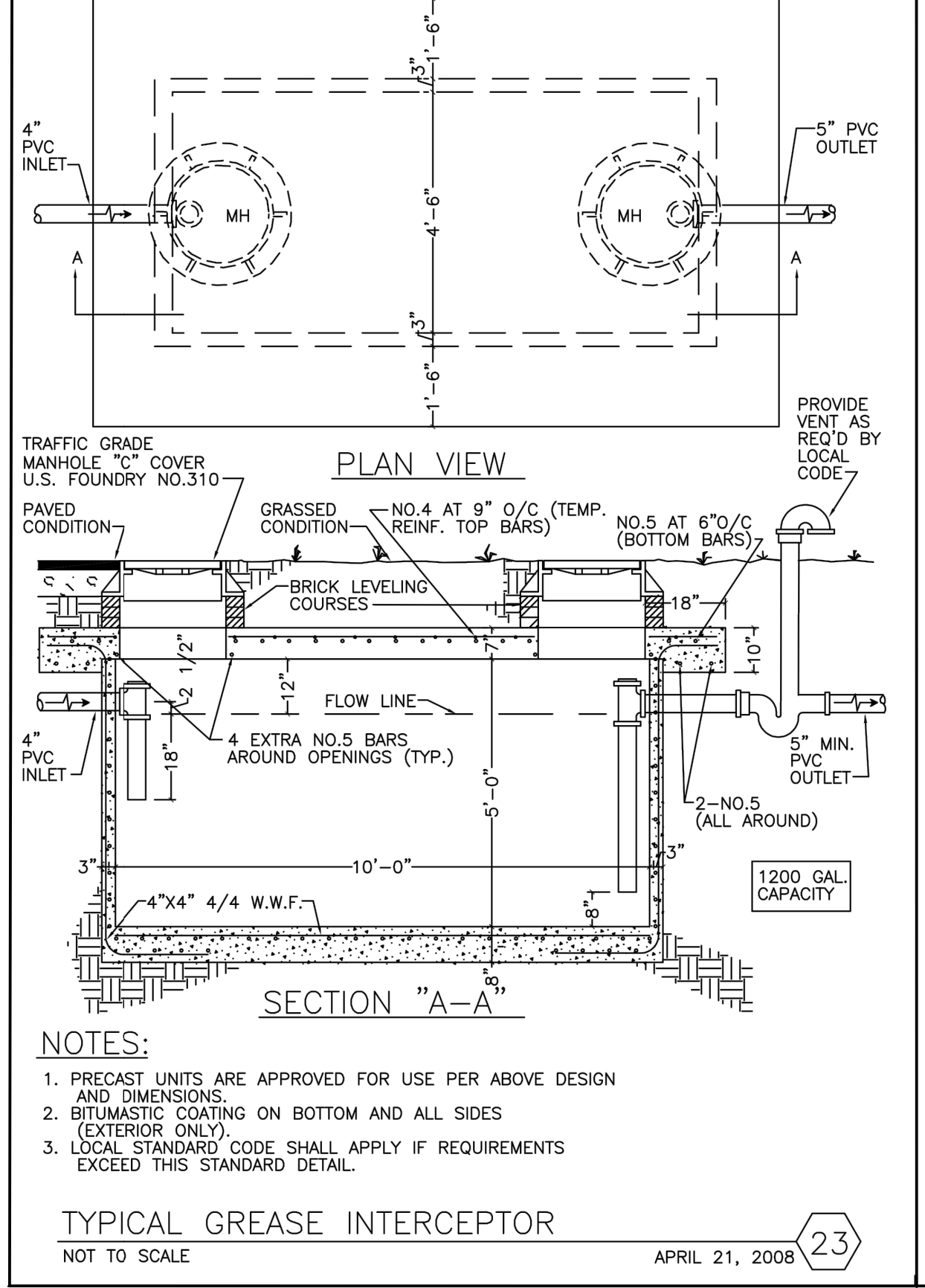
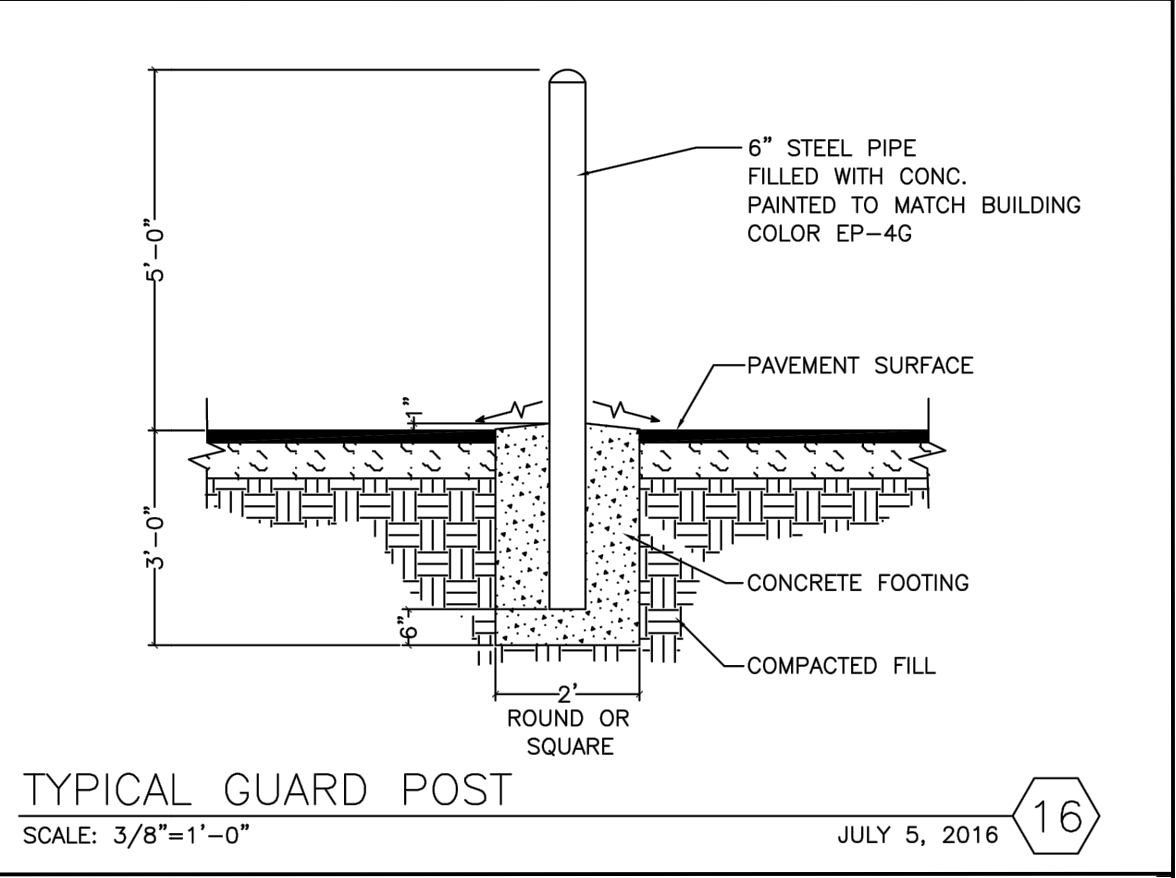
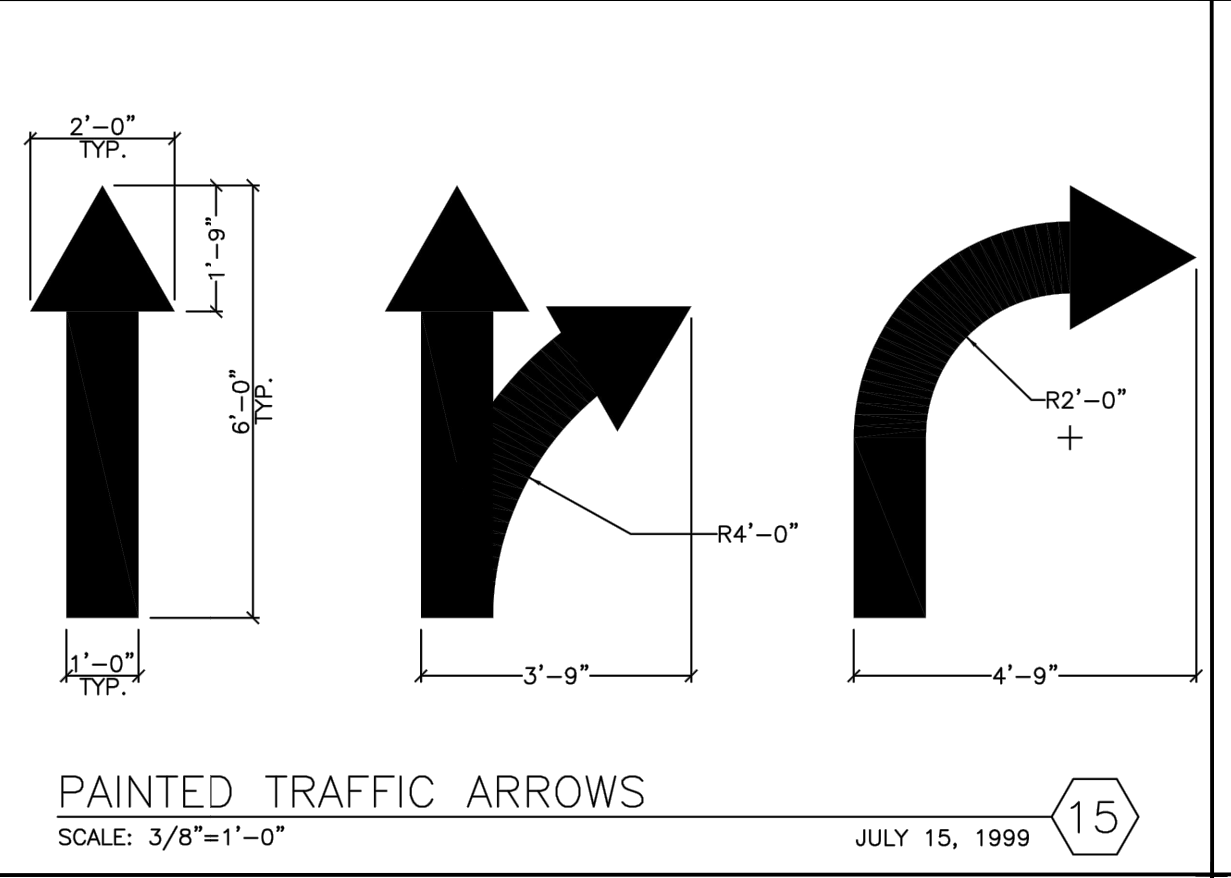
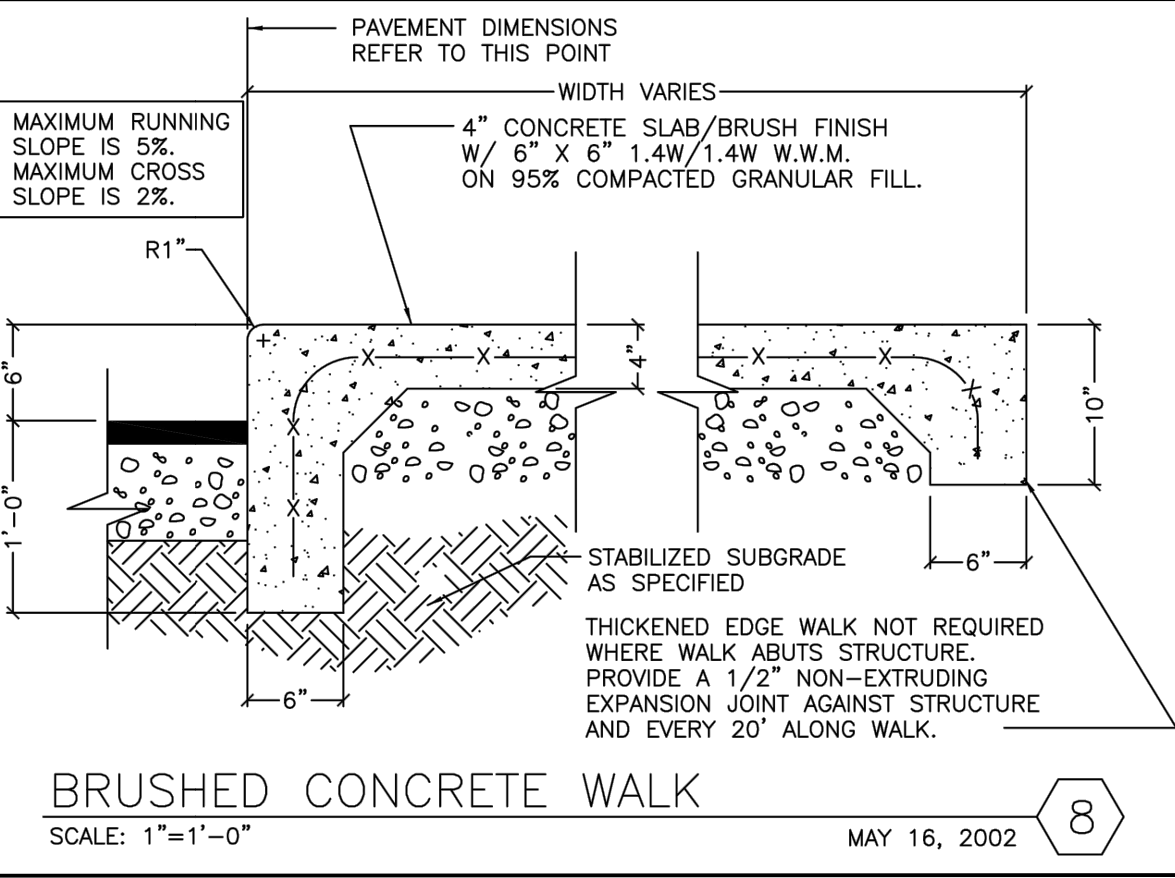
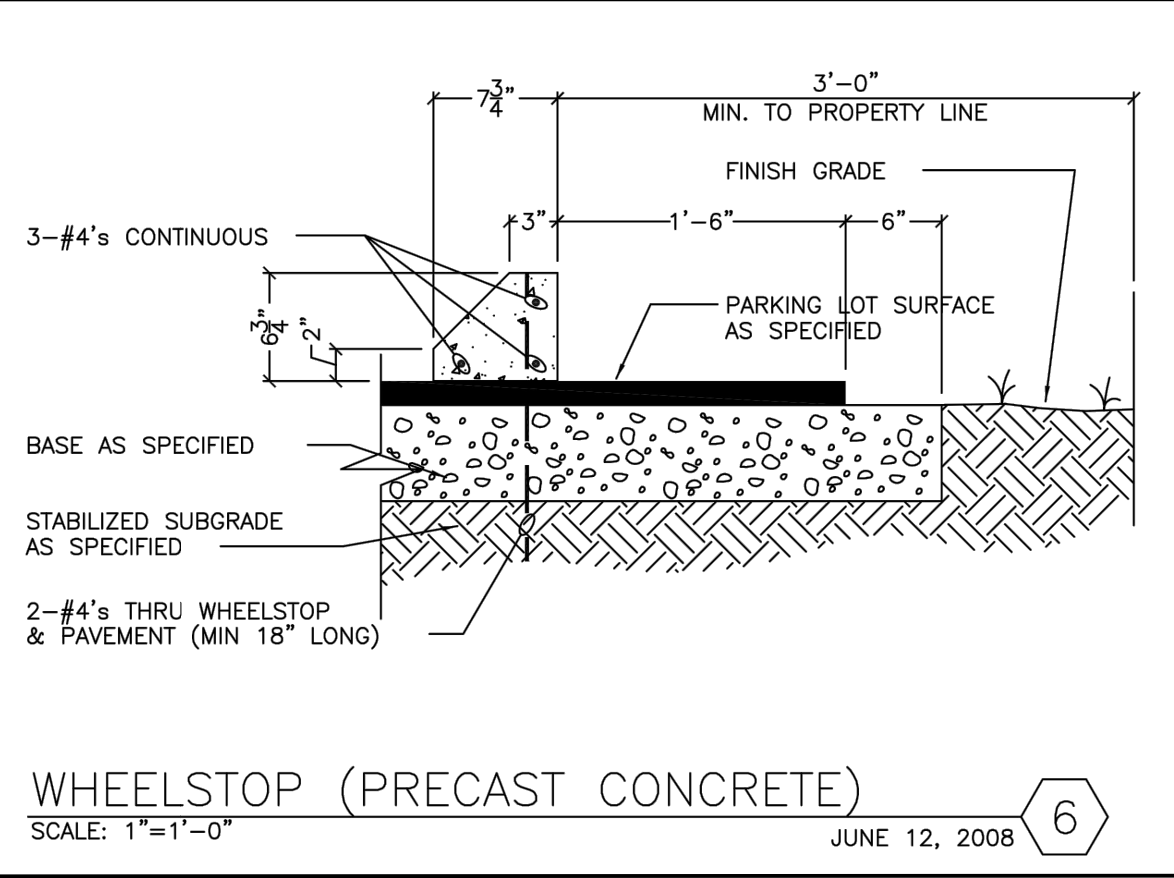
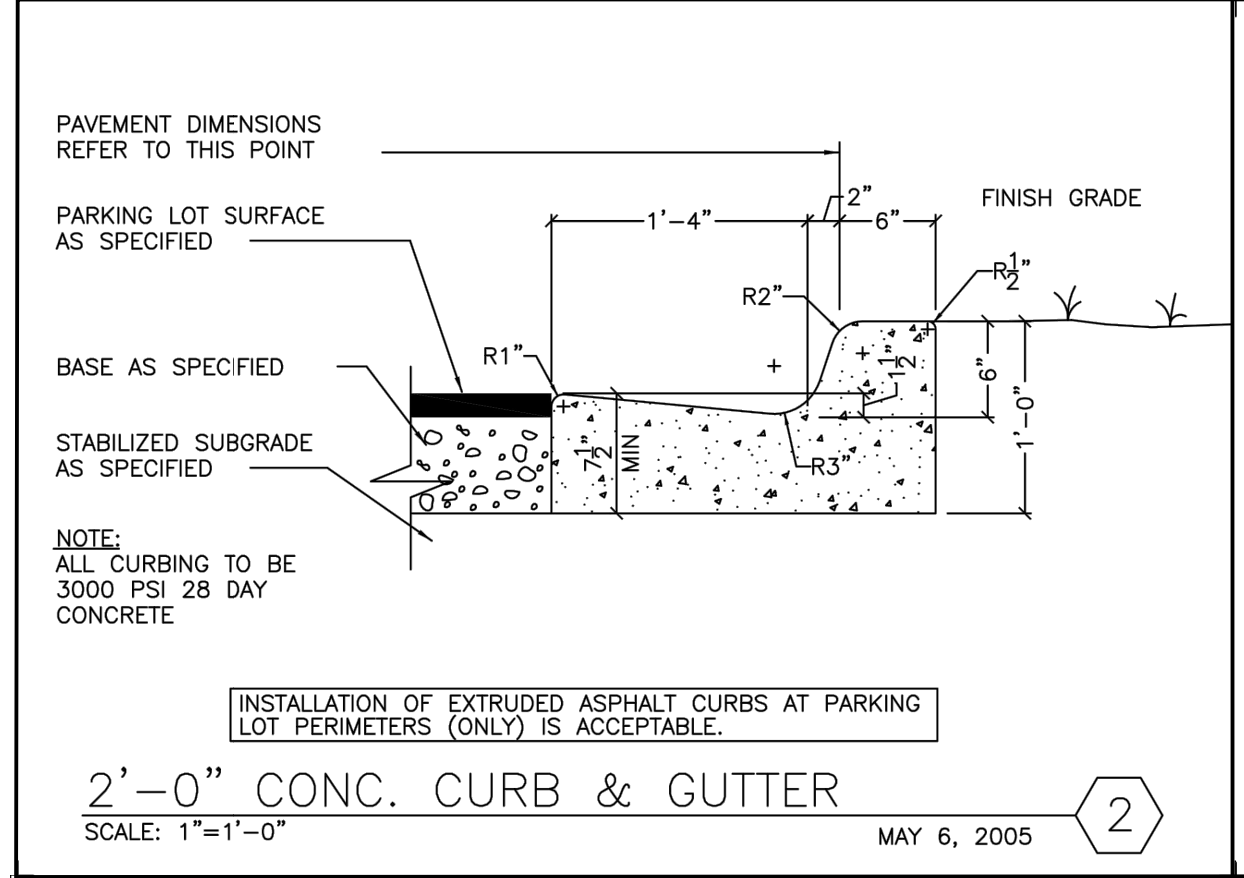
FIGURE 11.5 Sodding





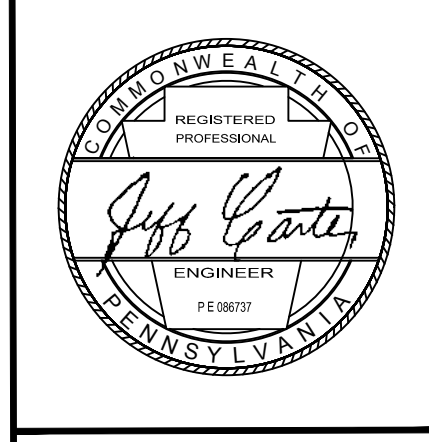


STANDARD DETAILS



REVISION BLOCK:

#	DATE	DESCRIPTION
1	02/20/18	INITIAL SUBMITTAL
2	03/07/18	ADDRESSED COMMENTS
3	03/23/18	ADDRESSED COMMENTS
4	04/05/18	ADDRESS WATER AUTHORITY COMMENTS



**Final Land Development Plan**  
for  
**BURGER KING RESTAURANT**  
EAST BUCHANAN TRAIL, ANTRIM TOWNSHIP, PA

PROJECT NAME:  
**BURGER KING RESTAURANT**

SHEET TITLE:  
**STANDARD DETAILS**

SHEET NUMBER:  
**8**

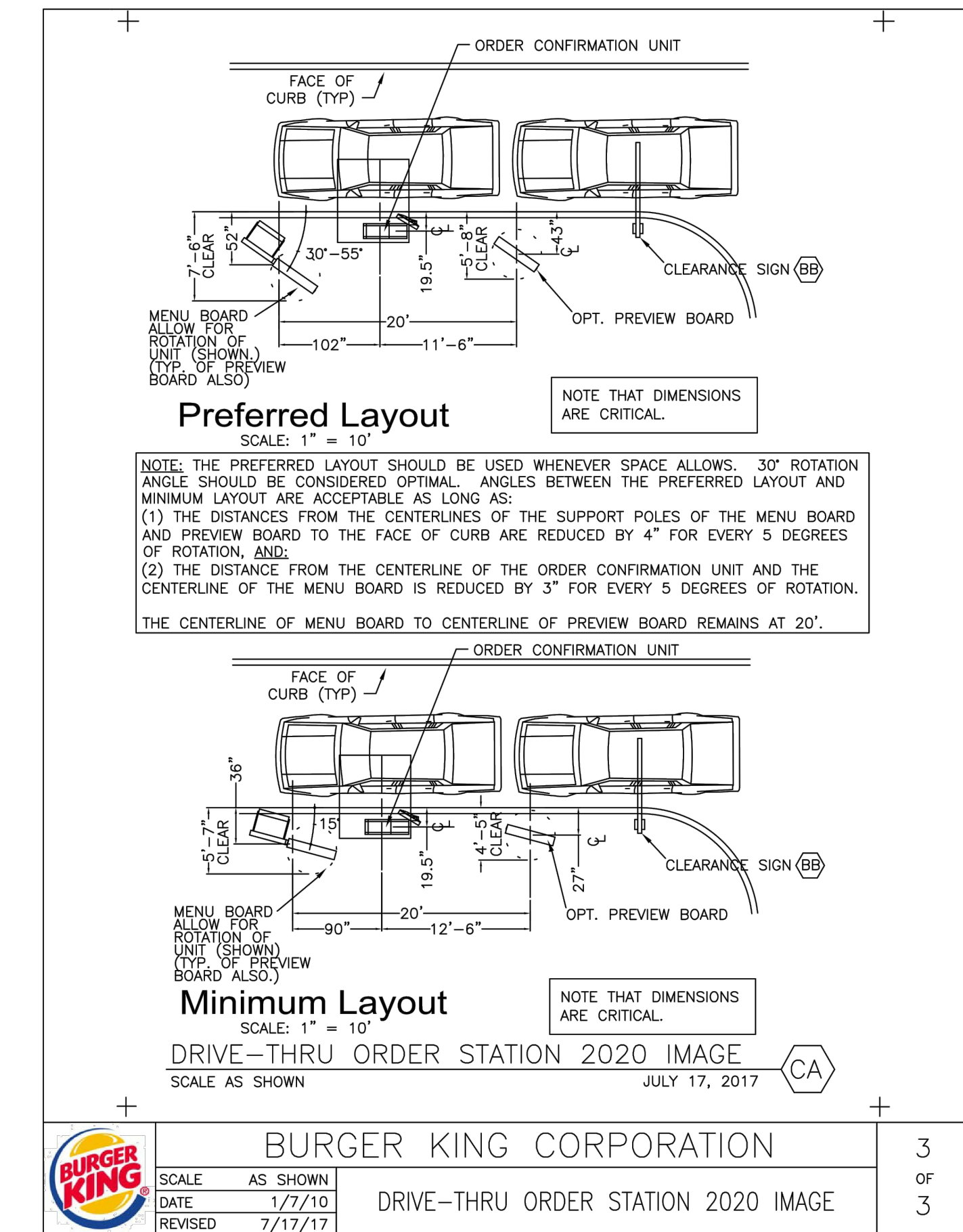
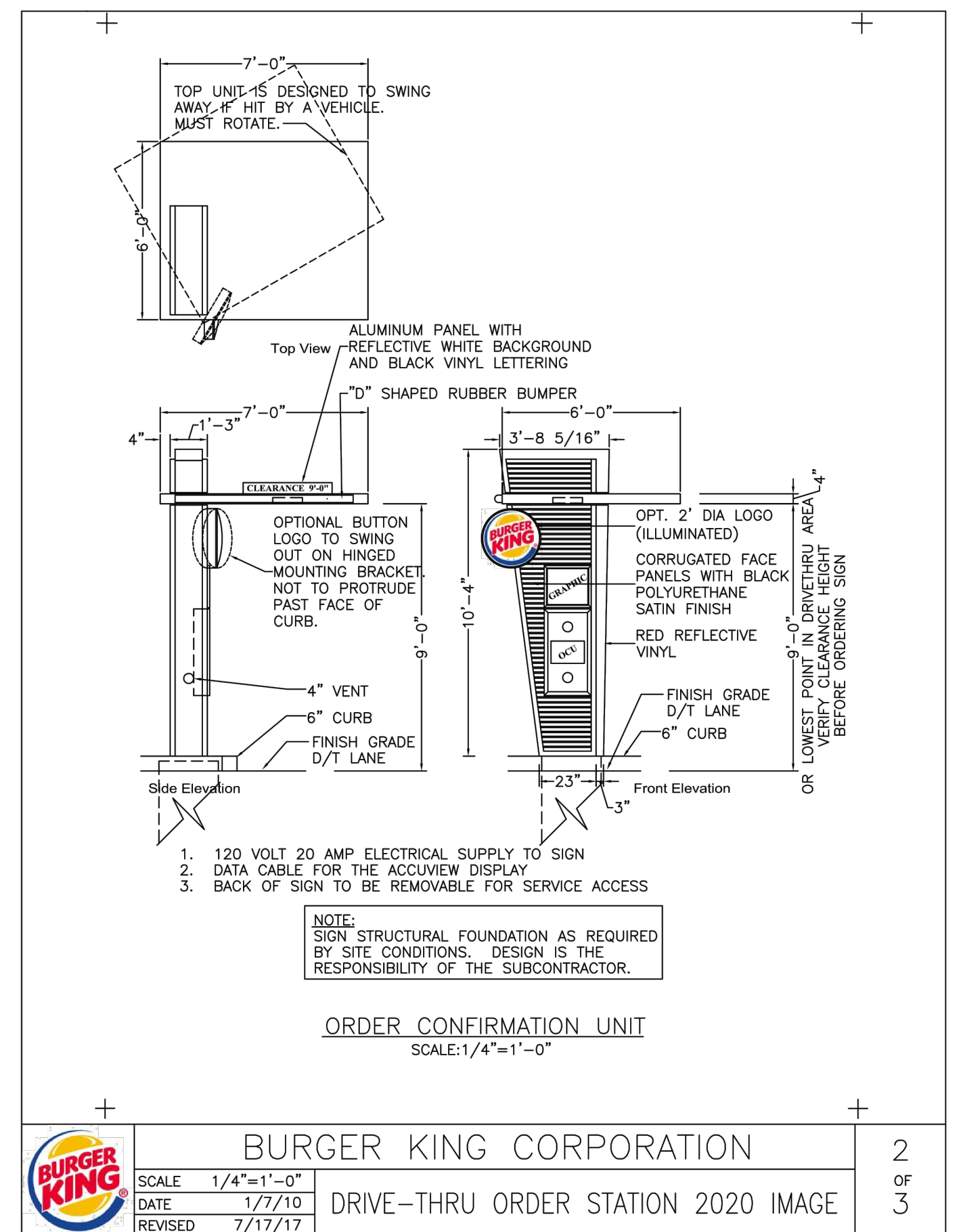
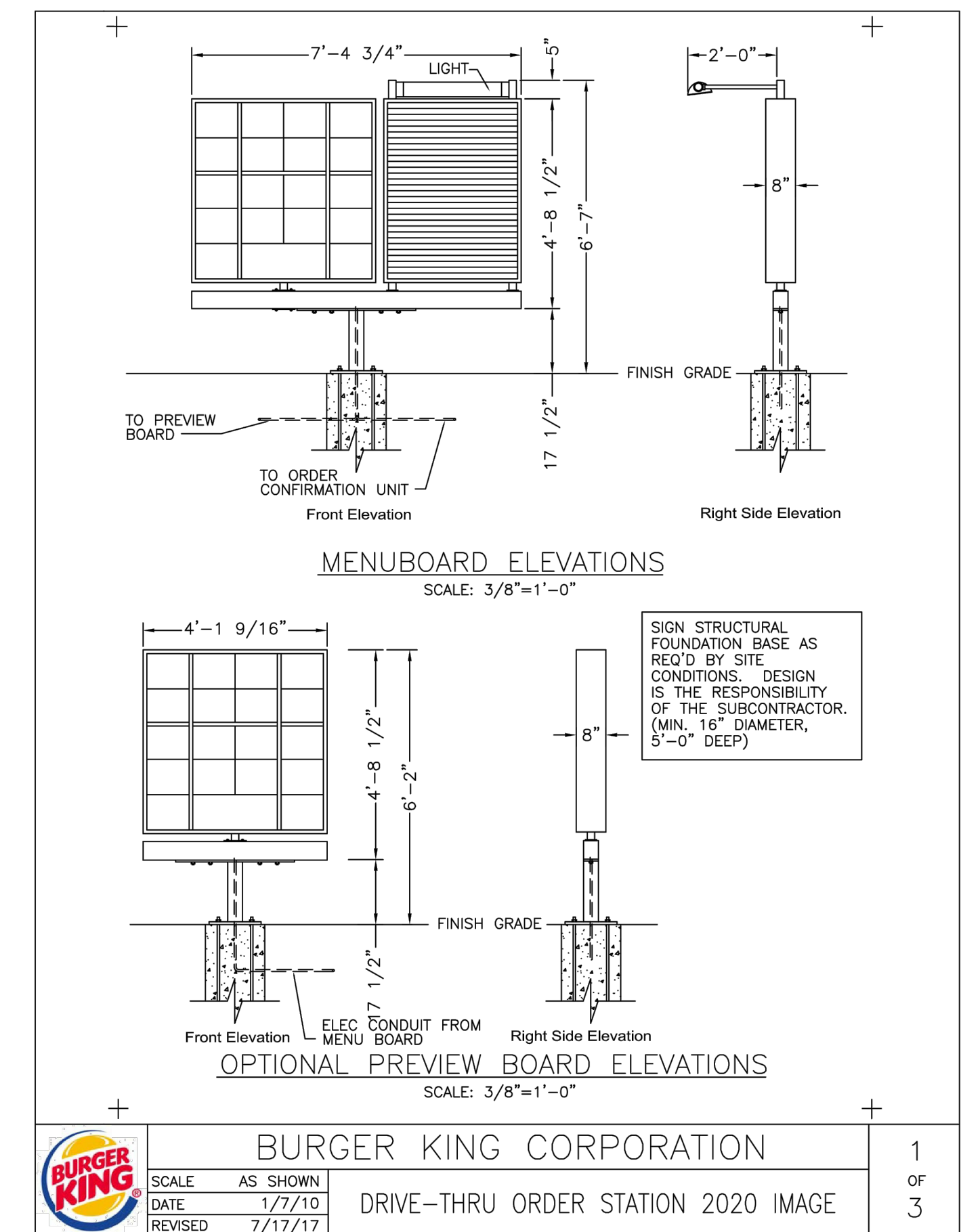
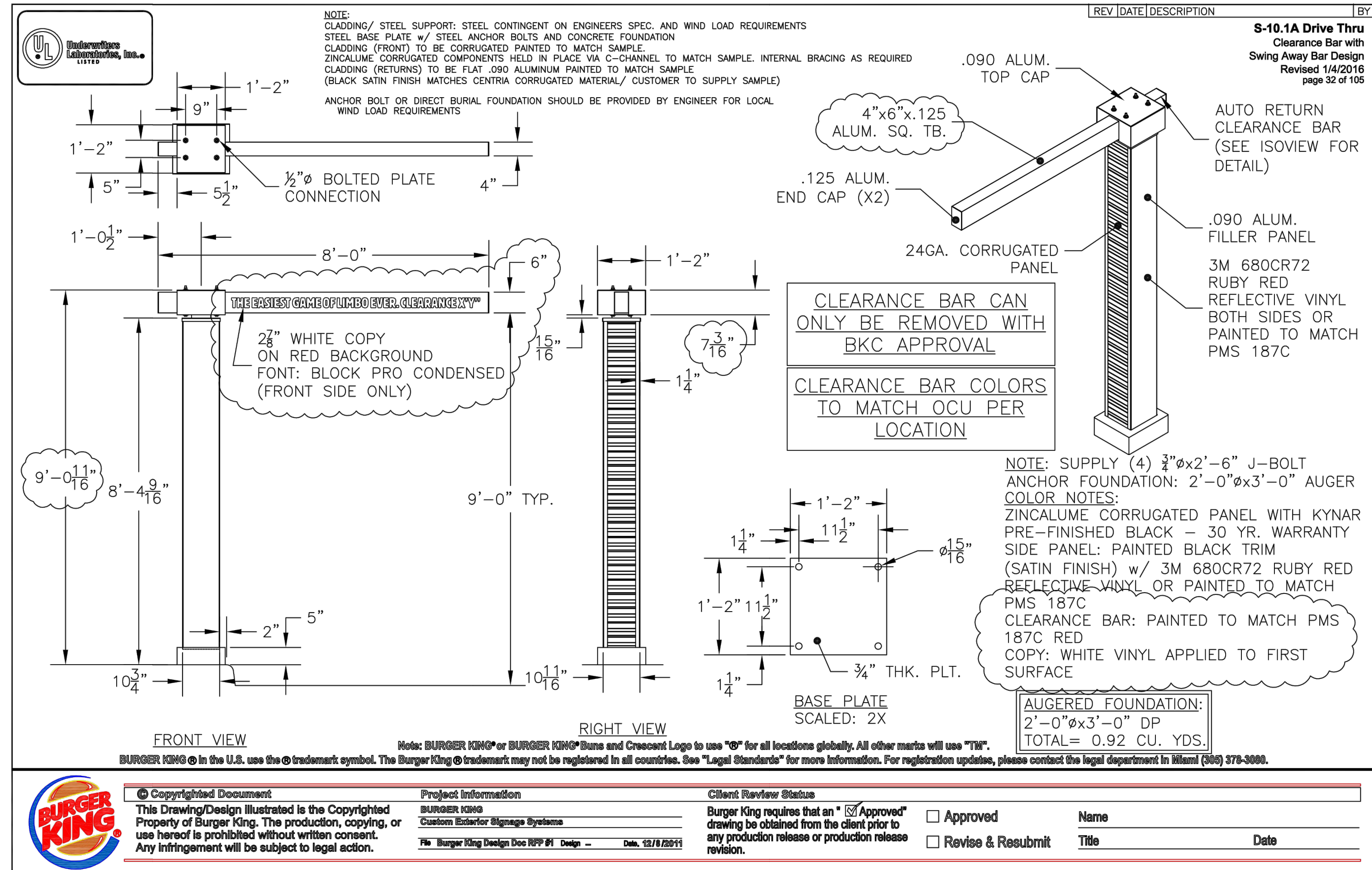
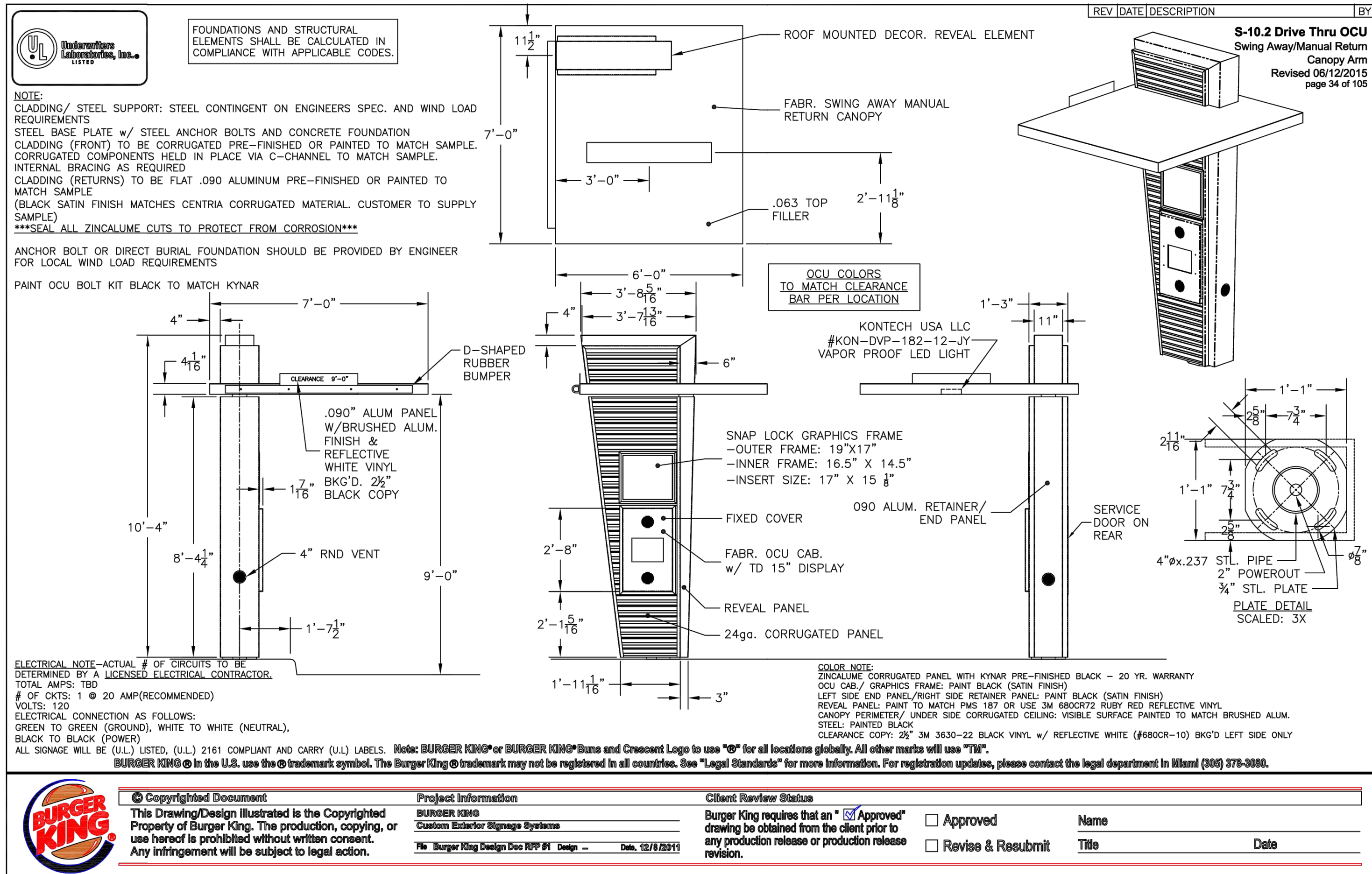
PROJECT NUMBER:  
**17001GPS**

DATE:  
**02/20/18**







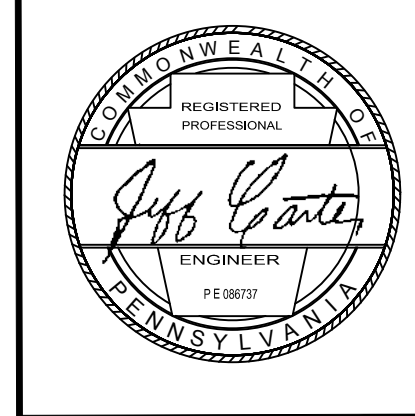


	BURGER KING CORPORATION	1	OF
SCALE AS SHOWN	DRIVE-THRU ORDER STATION 2020 IMAGE	3	OF
DATE 1/7/10			
REVISED 7/17/17			

	BURGER KING CORPORATION	2	OF
SCALE 1/4"=1'-0"	DRIVE-THRU ORDER STATION 2020 IMAGE	3	OF
DATE 1/7/10			
REVISED 7/17/17			

	BURGER KING CORPORATION	3	OF
SCALE AS SHOWN	DRIVE-THRU ORDER STATION 2020 IMAGE	3	OF
DATE 1/7/10			
REVISED 7/17/17			

REVISION BLOCK:	
#	DATE   DESCRIPTION   BY
1	02/20/18 INITIAL SUBMITAL
2	03/07/18 ADDRESSED COMMENTS
3	03/23/18 ADDRESSED COMMENTS
4	04/05/18 ADDRESS WATER AUTHORITY COMMENTS



**CARTER ENGINEERING CONSULTANTS**

Carter Engineering Consultants, Inc.  
3651 Mars Hill Road, Suite 2000  
Watkinsville, GA 30677

P: 770.725.1200  
F: 770.725.1204  
www.carterengineering.net

**Final Land Development Plan**  
for  
**BURGER KING RESTAURANT**  
EAST BUCHANAN TRAIL, ANTRIM TOWNSHIP, PA

PROJECT NAME:  
**BURGER KING RESTAURANT**

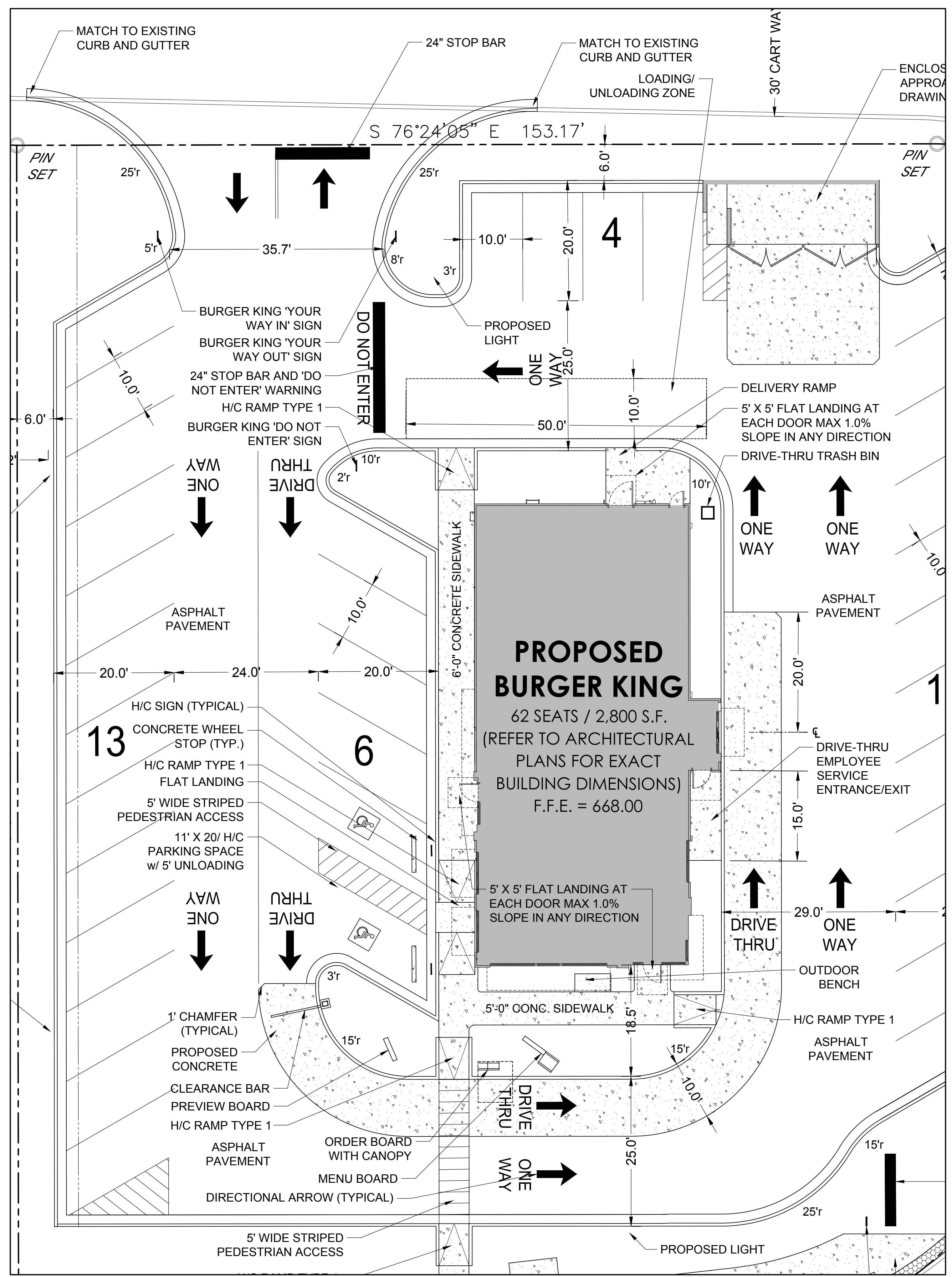
SHEET TITLE:  
**MENU BOARD DETAILS**

SHEET NUMBER:  
**9**

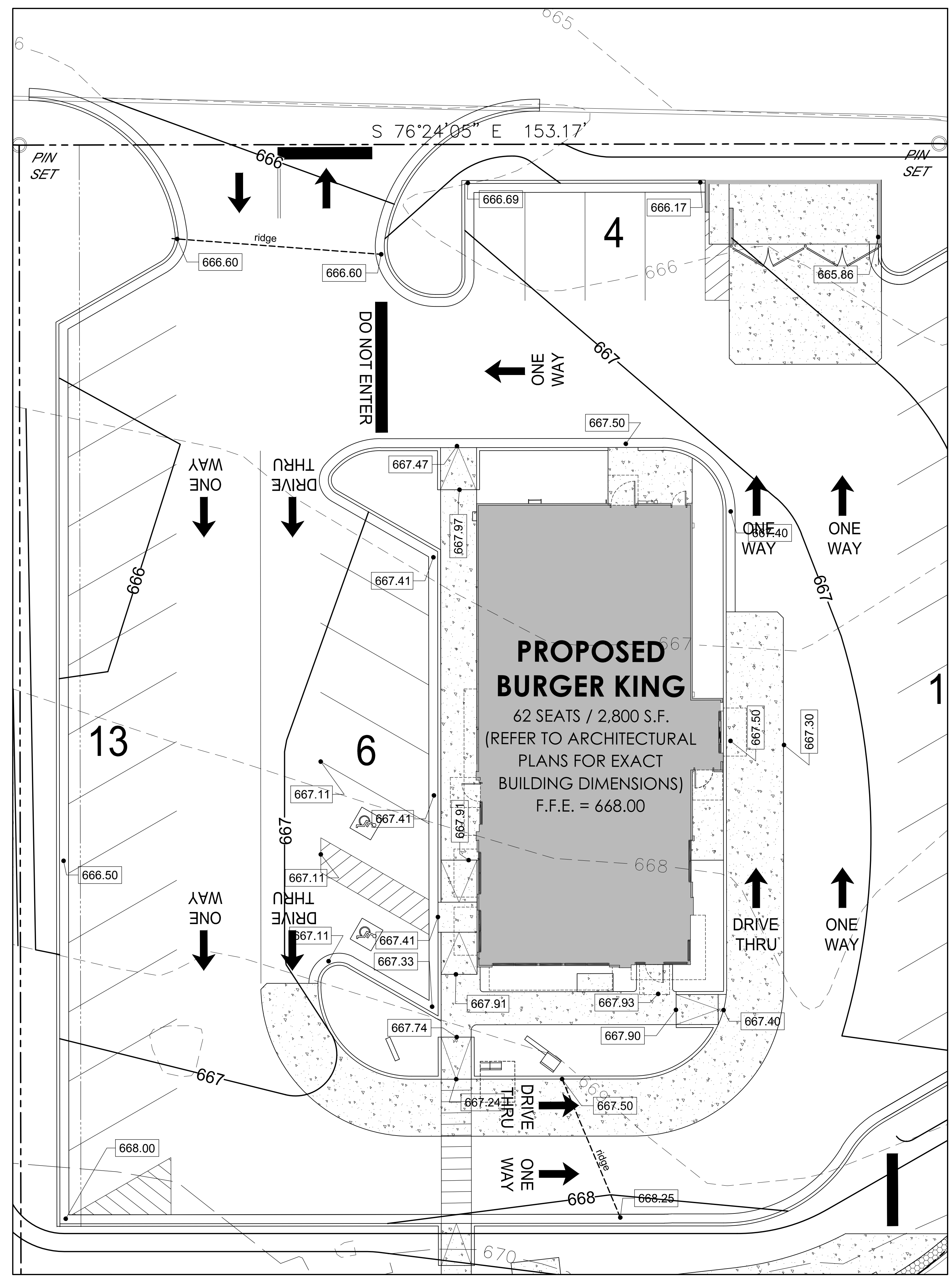
PROJECT NUMBER:  
**17001GPS**

DATE:  
**02/20/18**





**SITE PLAN**  
SCALE: 1" = 10'

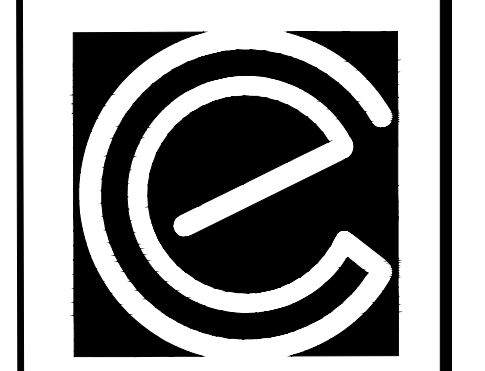
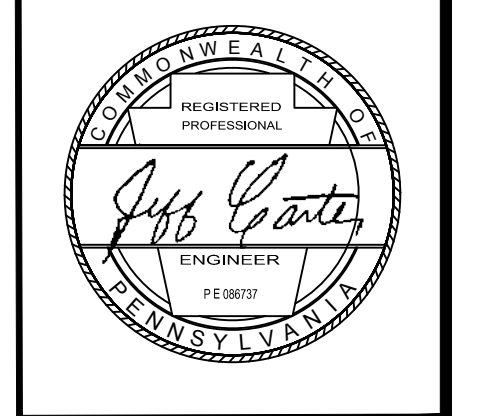


ACCESSIBLE PARKING SPACES,  
ACCESS AISLES AND PASSENGER  
LOADING ZONES SHALL HAVE  
SURFACE SLOPES NOT STEEPER  
THAN 1:87 (1.5%) IN ANY DIRECTION.

**GRADING PLAN**  
SCALE: 1" = 10'

REVISION BLOCK:

#	DATE	DESCRIPTION
1	02/20/18	INITIAL SUBMITTAL
2	03/07/18	ADDRESSED COMMENTS
3	03/23/18	ADDRESSED COMMENTS
4	04/03/18	ADDRESS WATER AUTHORITY COMMENTS



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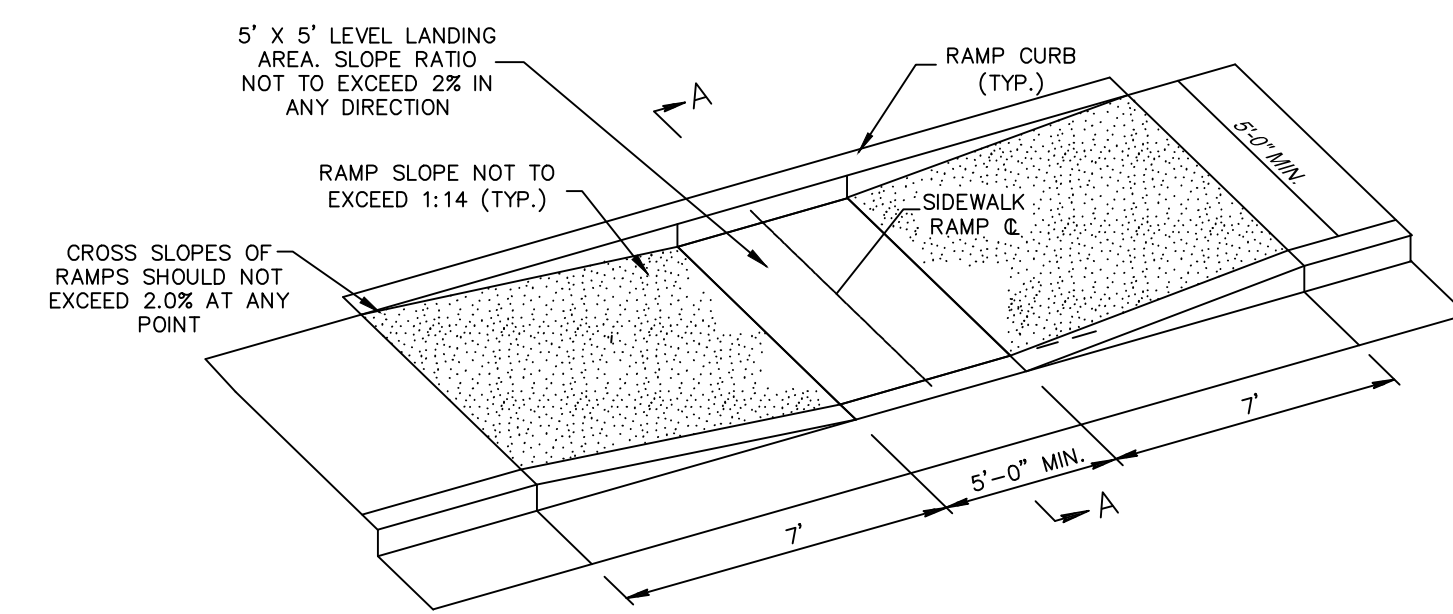
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**ADA ACCESS PLAN**

SHEET NUMBER:  
**10**

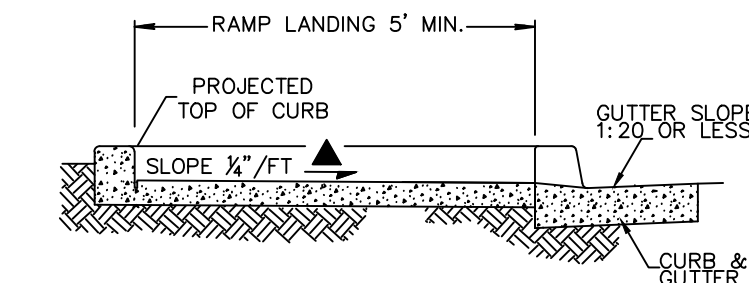
PROJECT NUMBER:  
**17001GPS**

DATE:  
**02/20/18**





ISOMETRIC VIEW OF RAMP

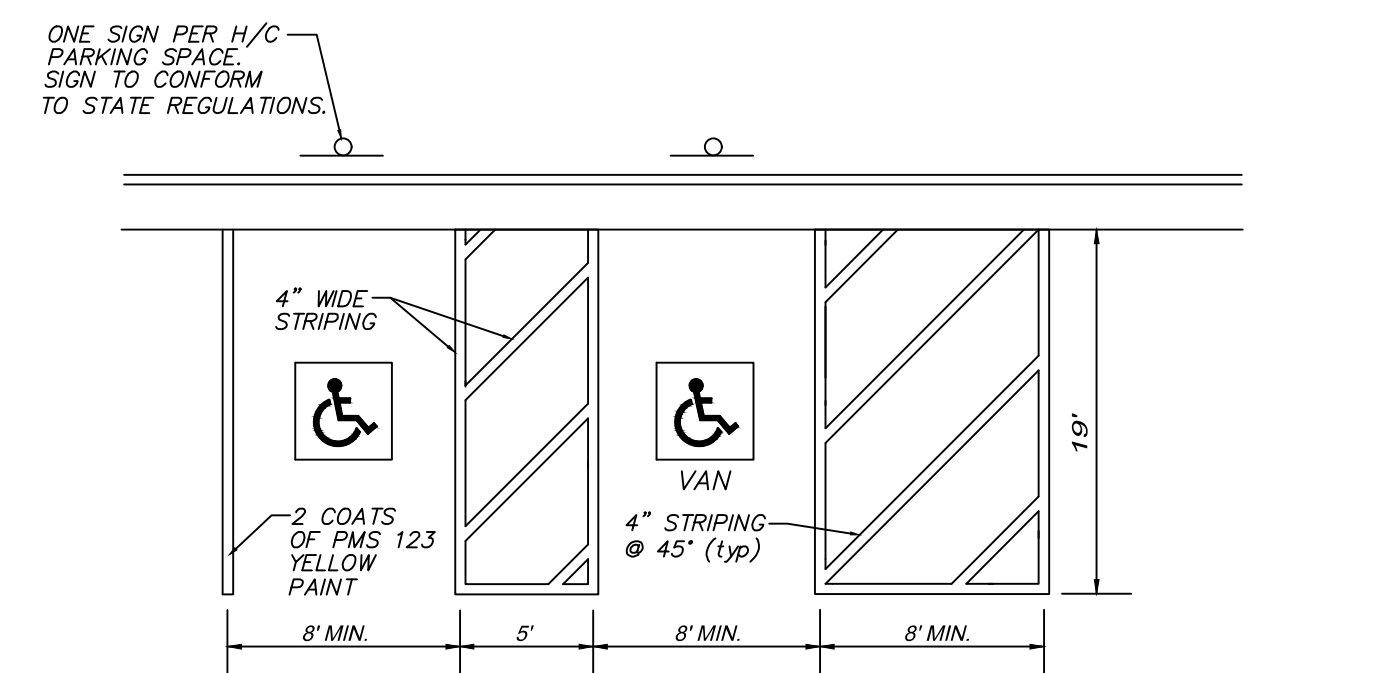


SECTION A-A

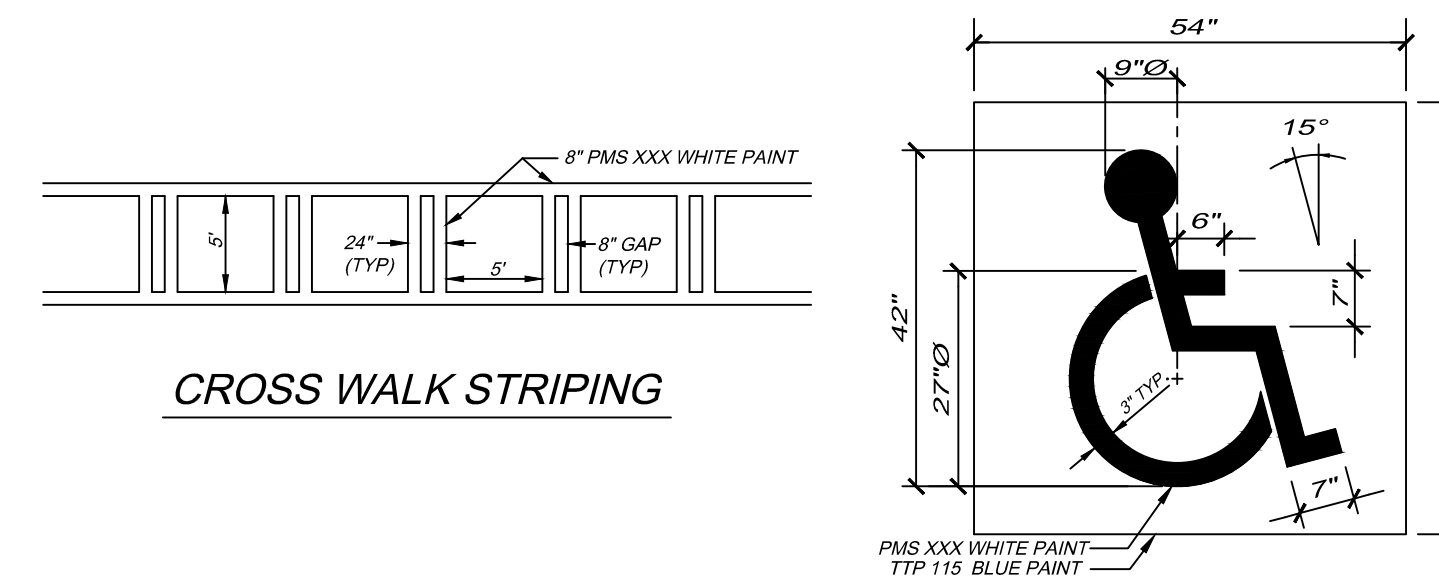
NOTES:

- HANDICAP RAMP CONSTRUCTION SHALL CONFORM TO ALL FEDERAL, STATE AND CITY CODES AND SPECIFICATIONS.
- SURFACES SHALL MEET THE REQUIREMENTS OF 2010 ADA AND THE 2004 ADAAG
- THE SLOPE OF THE GUTTER MUST NOT EXCEED 1:20 ADJACENT TO THE RAMP.

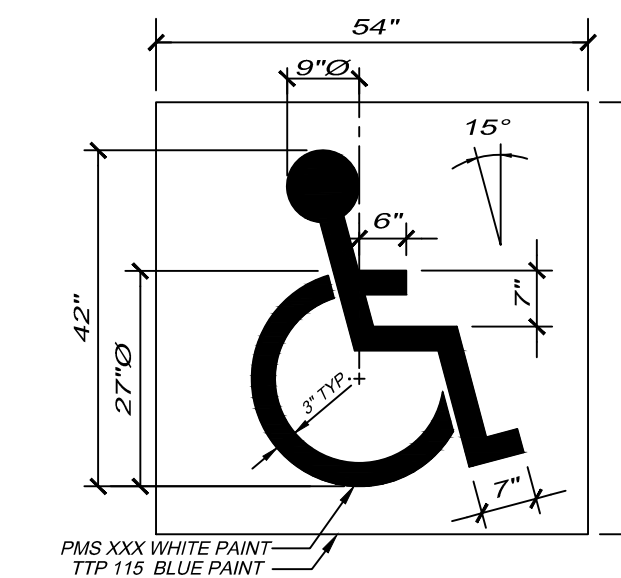
STANDARD CONSTRUCTION DETAIL  
HANDICAP RAMP TYPE I



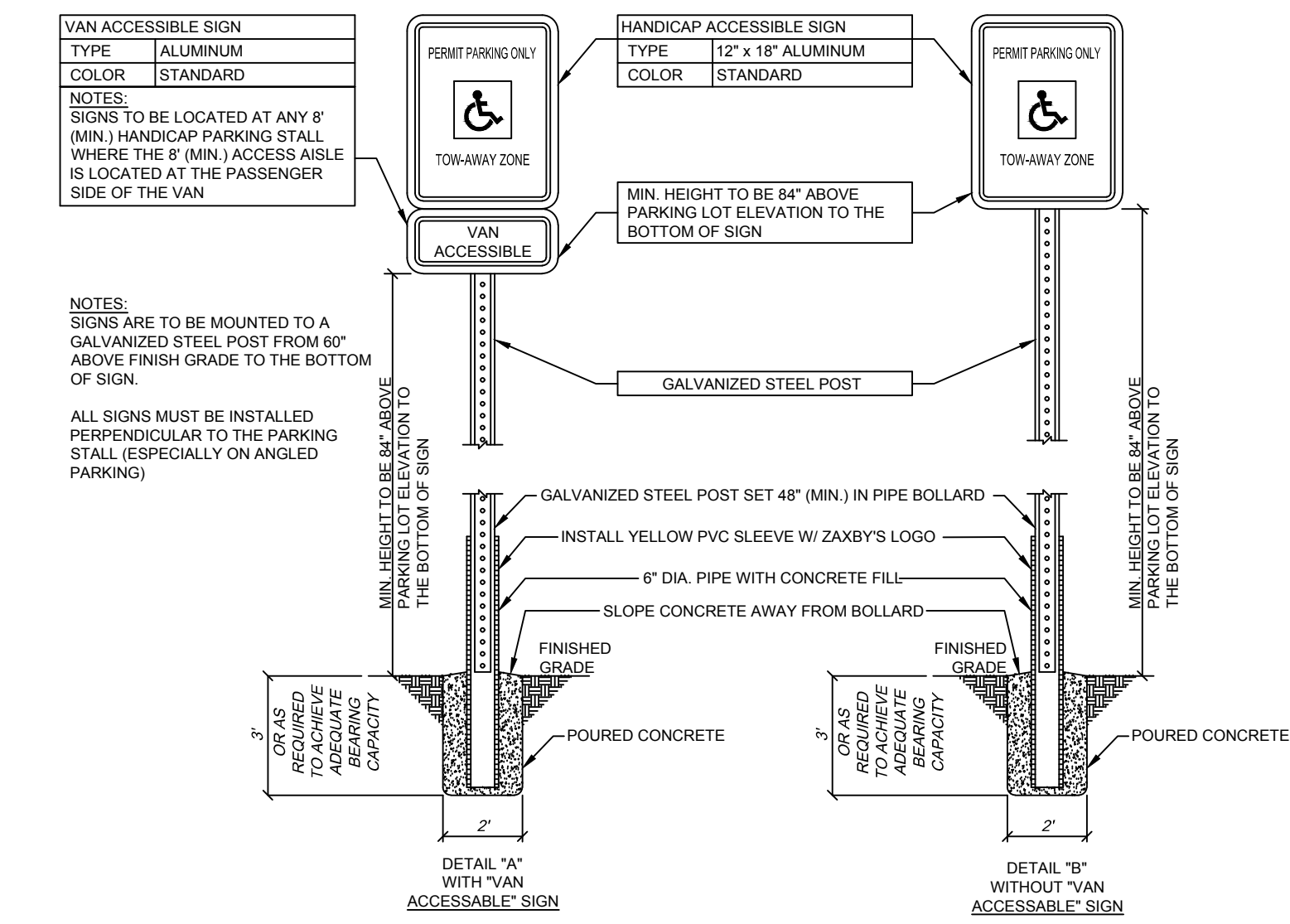
ACCESSIBLE PARKING SPACES, ACCESS AISLES AND PASSENGER LOADING ZONES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:50 (2%) IN ANY DIRECTION.



CROSS WALK STRIPING



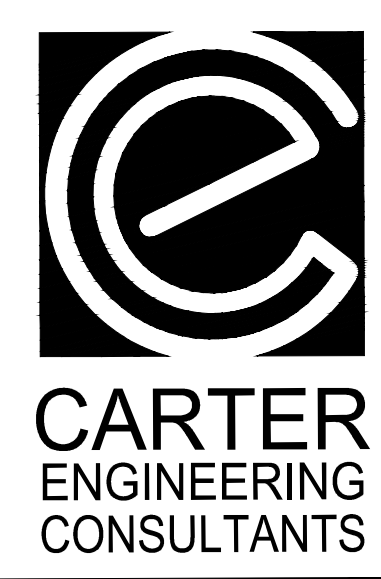
PAINTED HANDICAPPED PARKING SPACE & SYMBOL  
NOT TO SCALE



"HANDICAP PARKING ONLY" SIGNS  
NOT TO SCALE

REVISION BLOCK:

#	DATE	DESCRIPTION
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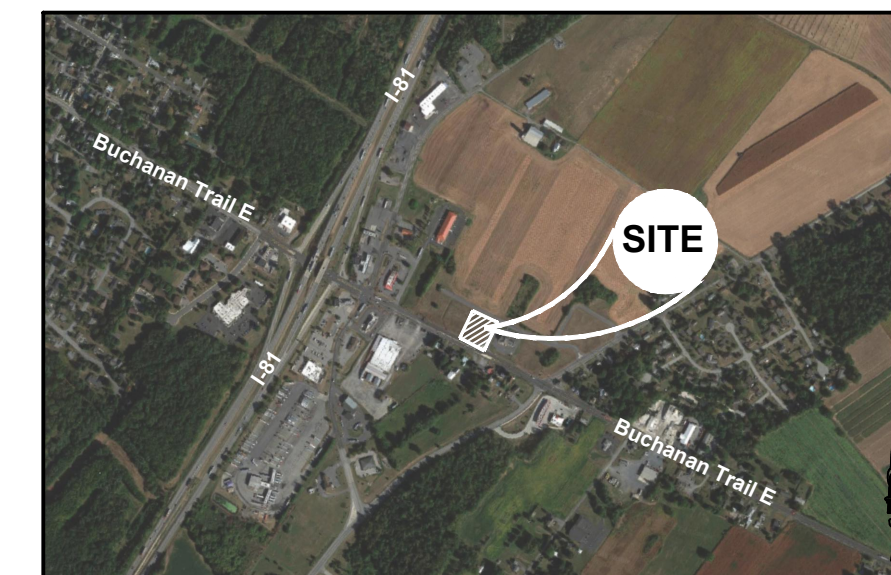
SHEET TITLE:  
**ADA DETAILS**

SHEET NUMBER:  
**11**

PROJECT NUMBER:  
**17001GPS**

DATE:  
**02/20/18**





**LOCATION MAP**  
Not to Scale

**PROJECT NOTES:**

**OWNER / DEVELOPER:**  
GPS Hospitality Partners II, LLC  
2100 Riveredge Parkway, Suite 850  
Atlanta, GA 30328  
Contact: Todd Jackson  
Tel: (770) 738-8796  
Todd.Jackson@GPHospitality.com

**ENGINEER:**  
Carter Engineering Consultants, Inc.  
3651 Mars Hill Road, Suite 2000  
Watkinsville, GA 30677  
Contact: Jeff Carter, P.E.  
Tel: (770) 725-1200  
jeff@carterengineering.net

Property located on lot 4 of the Greencastle Crossing subdivision, Buchanan Trail East, Antrim Township, Franklin County, Pennsylvania.

Parcel No.: UPI 01 - 0A17-158-000000

Current Zoning: Highway Commercial  
Setbacks: Front: 25' Rear: 25' Side: 12'  
Maximum Impervious: 75%

Proposed use: Restaurant with drive-thru.  
Proposed Building Height: ≤50'  
Project Tract: 0.79 acres (34,393 sf)  
Disturbed Area: 0.79 acres

Water: Greencastle Area, Franklin County, Water Authority  
Sanitary: Antrim Township Municipal Authority  
Electricity: ---  
Gas: ---  
Proposed # of EDUs = 6

Boundary and topographic information obtained from field run survey by Warehouse dated: 01/31/2018 Phone: (717) 845-8383  
The horizontal datum is Pennsylvania State Plane 83 South.  
The vertical elevation is based on NAVD 1988  
Contour interval is 1 foot  
This property does not lie within any flood zone per F.E.M.A. Flood Insurance Rate Map for Antrim Township, Community NO. 421233, Panel 0440-E, effective January 18, 2012.

The underground utilities shown hereon have been located from field information and existing drawings. The surveyor nor engineer warrants that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor nor engineer warrants that the underground utilities shown are in the exact location indicated. The surveyor nor engineer has physically located all the underground utilities.

It is the responsibility of the contractor to field locate all utilities prior to commencing work and notify engineer if a discrepancy is found.  
The contractor shall verify the invert elevations of all existing storm and sanitary sewer structures prior to commencement of storm and sanitary sewer construction.

**UNDERGROUND UTILITIES DISCLAIMER**

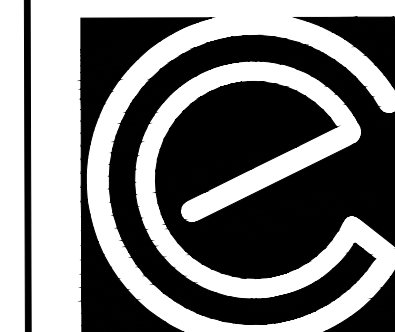
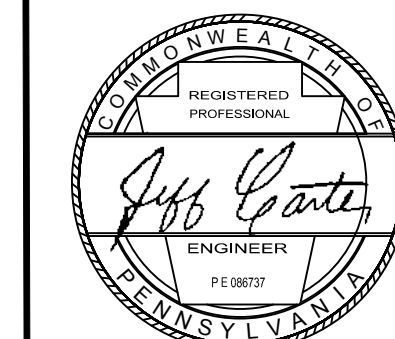
Information regarding the reputed presence, size, character and location of existing underground utilities and structures related to underground utilities is shown hereon. There is no certainty of the accuracy of this information and it shall be considered in that light by those using this drawing. The location and arrangement of underground utilities and structures related to underground utilities shown hereon may be inaccurate and utilities and structures related to underground utilities not shown may be encountered. The owner, his employees, his consultants and his contractors shall hereby distinctly understand that the surveyor is not responsible for the correctness or sufficiency of this information regarding the underground utilities and structures related to underground utilities shown hereon.

**LANDSCAPE CALCULATIONS:**

Landscape Required (min. 10%) = 0.08 ac (10.00%)  
Landscape area provided = 0.20 ac (25.32%)

The provided landscape area is greater than the required 10% minimum.

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**Final Land Development Plan**  
for  
**BURGER KING RESTAURANT**  
EAST BUCHANAN TRAIL, ANTRIM TOWNSHIP, PA

PROJECT NAME:  
**BURGER KING RESTAURANT**

SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**12**

PROJECT NUMBER:  
**17001GPs**

DATE:  
**02/20/18**

N/F  
GREENCASTLE ASSOCIATES LIMITED PARTNERSHIP  
PART OF DEED BOOK 1071-587  
LOT 1 - PLAN BOOK 288-4, PAGE 557

N/F  
GREENCASTLE ASSOCIATES LIMITED PARTNERSHIP  
PART OF DEED BOOK 1071-587  
LOT 3 - PLAN BOOK 288-1, PAGE 557

N/F  
SPRINGHOUSE CAR WASH LLC  
DEED BOOK 08-005797  
LOT 5 - PLAN BOOK 288-1, PAGE 557

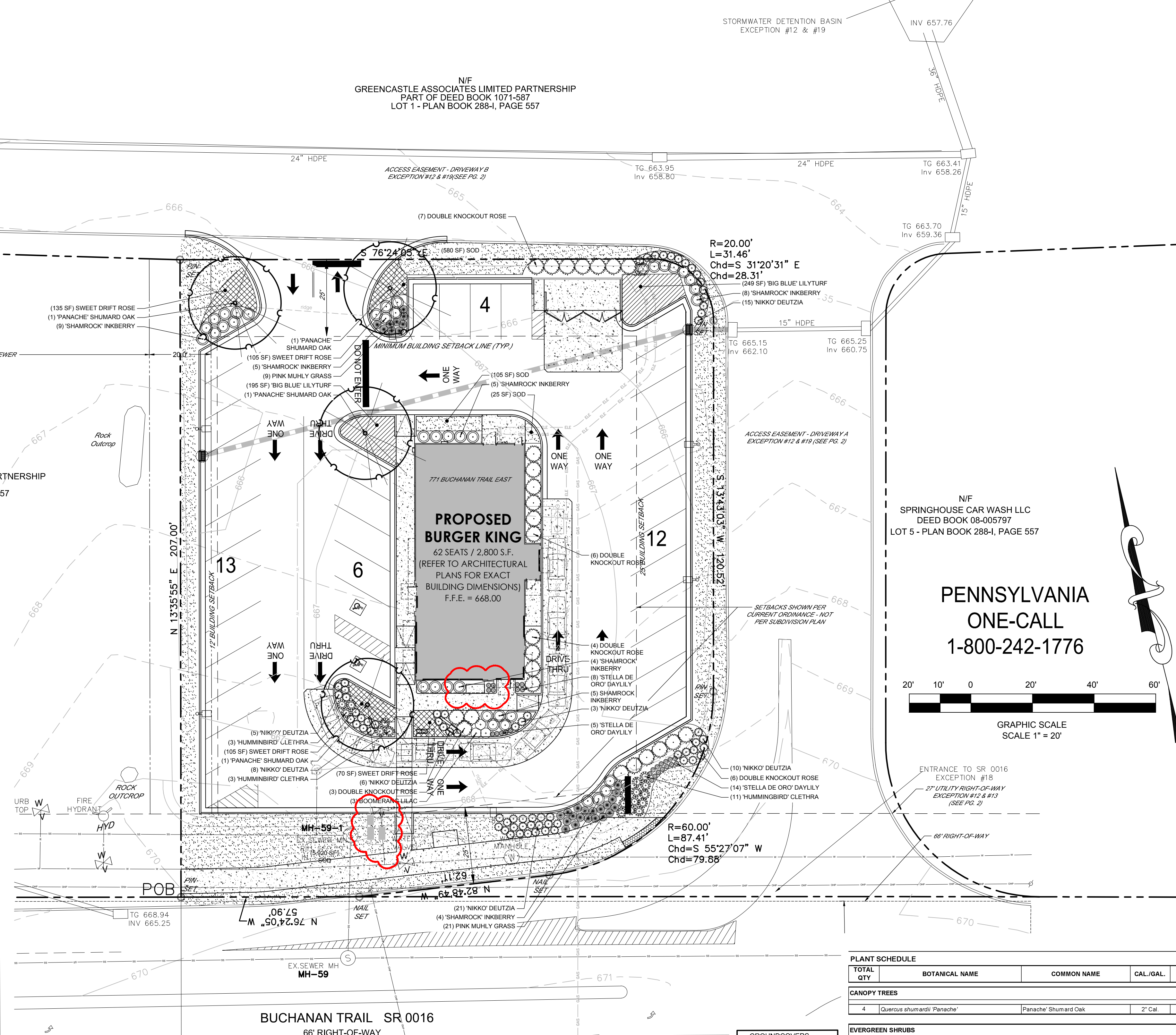
**PENNSYLVANIA ONE-CALL**  
**1-800-242-1776**



GRAPHIC SCALE  
SCALE 1" = 20'

**PLANTING NOTES:**

- THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING AND NEW UTILITY LINE LOCATIONS PRIOR TO PLANTING, AND SHALL REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND UTILITIES DURING THE LIFE OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE INCURRED DURING THE EXECUTION OF HIS WORK.
- THE CONTRACTOR SHALL STAKE ALL TREE LOCATIONS IN THE FIELD AND THE STAKED LOCATIONS SHALL BE REVIEWED AND APPROVED BY CARTER ENGINEERING. CARTER ENGINEERING MAY MAKE MINOR ADJUSTMENTS TO THE LAYOUT WITHOUT INCURRING ADDITIONAL COSTS TO THE PROJECT.
- MULCH ALL PLANT AREAS FOR TREES AND SHRUBS WITH 3" LAYER OF DOUBLE GROUND SHREDDED HARDWOOD MULCH.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES WILL BE WITH PLANTS WITH EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER COLOR, LEAF COLOR, FRUIT COLOR, AND TIME OF BLOOM, AS APPROVED BY CARTER ENGINEERING.
- SUBSTITUTIONS SHALL NOT BE MADE UNLESS DRAWINGS AND/OR WRITTEN REQUESTS ARE SUBMITTED TO CARTER ENGINEERING FOR APPROVAL. CARTER ENGINEERING SHALL DETERMINE EQUILIBRIUM BASED UPON COMPLETE INFORMATION SUBMITTED BY THE CONTRACTOR.
- TREES: PROVIDE SPECIMEN BALLED AND BURLAPPED, OR AS SPECIFIED, TREES OF HEIGHT, SIZE, CALIPER, GENUS, SPECIES, CULTIVAR AND BRANCHING CONFIGURATION INDICATED. THE ROOT SYSTEM OF EACH SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS OF PLANT SHALL BE MOIST AND SHOW ACTIVE GREEN CAMBIUM WHEN CUT. THEY SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE. ALL PLANTS TO BE MOVED BALLED AND BURLAPPED, MUST BE MOVED WITH THE ROOT SYSTEMS AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH UNTREATED BURLAP, FIRMLY HELD IN PLACE BY A STOUT CORD OR WIRE, DRUM LACED, BOXED, OR IN CONTAINERS.
- PRUNING AND SHAPING: PRUNE, THIN OUT, AND SHAPE PLANTS IN COMPLIANCE WITH AMERICAN HORTS' AMERICAN STANDARD FOR NURSERY STOCK TO PRESERVE THE NATURAL CHARACTER AND ONLY AS APPROVED BY CARTER ENGINEERING DESIGN TEAM. RETAIN REQUIRED HEIGHT AND SPREAD. DO NOT ALTER SHAPE AND DO NOT CUT LEADERS. REMOVE ALL DEAD WOOD, SUCKERS, BROKEN OR BRUISED BRANCHES, AND CROSSING BRANCHES.
- STAKES AND GUYS: TO BE ROUND CEDAR POSTS.
- THE CARTER ENGINEERING REPRESENTATIVE RESERVES THE RIGHT TO REJECT PLANT MATERIAL AT THE NURSERY OR AT THE SITE.
- THE TRUNK FLARE (AT THE BASE OF THE TREE) SHALL BE PROPERLY EXPOSED FOR ALL PLANTINGS.
- KEEP ROOT BALLS INTACT PRIOR TO AND DURING PLANTING OPERATIONS. PLANTS WITH BROKEN OR DAMAGED ROOT BALLS SHALL BE REJECTED AND IMMEDIATELY REMOVED FROM THE SITE. KEEP ROOT BALLS DAMP AND PROTECTED FROM DAMAGE DUE TO SUN AND WIND. DO NOT SHAVE ROOT BALLS.
- PLANT SOIL MIXTURE WILL BE USED TO BACKFILL THE PLANTING AREA. INSTALL PLANTS SIMULTANEOUSLY WITH INSTALLATION OF PLANTING SOIL MIXES.
- TREE PLANTING: SEE TREE PLANTING DETAIL AND SPECIFICATION NOTES HEREIN FOR ADDITIONAL INFORMATION RELATED TO PLANTING PIT DIMENSIONS, PLANTING OPERATIONS, BACKFILLING, AND STAKING OF TREES.
- CONTAINER STOCK PLANTING: PLANT CONTAINER GROWN STOCK THE SAME AS SPECIFIED FOR BALLED AND BURLAPPED STOCK, BUT REMOVE CONTAINERS COMPLETELY.
- SOIL SHALL BE FREE OF ALL DEBRIS, CONSTRUCTION MATERIAL, AND SLURRY. LANDSCAPE AREAS SHALL BE BACKFILLED WITH PLANTING SOIL MIXTURE PER DETAILS AND SPECIFICATIONS.
- OBSTRUCTIONS: IF OBSTRUCTIONS OR OTHER CONDITIONS DETRIMENTAL TO HEALTHY PLANT GROWTH ARE ENCOUNTERED, NOTIFY CARTER ENGINEERING IMMEDIATELY AND REQUEST ADDITIONAL INSTRUCTIONS.
- WATERING AND DRAINAGE: FULL EXCAVATIONS WITH WATER AND ALLOW WATER TO PERCOLATE OUT BEFORE PLANTING. IF PLANTING PITS DO NOT PERCOLATE OR DRAIN PROPERLY, NOTIFY THE CARTER ENGINEERING AND REQUEST ADDITIONAL INSTRUCTIONS PRIOR TO PLANTING. DO NOT PLANT INTO POORLY DRAINING PLANTING PITS. POORLY DRAINING PLANTING PITS MAY HOLD WATER AND DROWN PLANTS.
- FLOOD ALL PLANTS WITH WATER TWICE WITHIN THE FIRST 24 HOURS AFTER PLANTING.
- ALL PLANT MATERIAL SHALL BE MULCHED AFTER PLANTING. BACKFILL TO ALLOW ROOM FOR MULCH AFTER SETTLING, AND PLACE MULCH IN DISH AFTER FIRST WATERING AND WITHIN ONE WEEK OF PLANTING. SEE PLANTING DETAILS FOR MULCH THICKNESS.
- ALL PLANTS SHALL BE PLUMB VERTICALLY AFTER SETTLING OR AS DIRECTED BY CARTER ENGINEERING.
- PLANTING RESTRICTIONS: PLANT DURING ONE OF THE FOLLOWING PERIODS.
  - SPRING PLANTING (SHRUBS, GROUNDCOVER, PERENNIALS) - MARCH THROUGH MAY
  - FALL PLANTING (SHRUBS, GROUNDCOVER, PERENNIALS) - SEPTEMBER THROUGH NOVEMBER
  - TREE PLANTING - SEPTEMBER THROUGH APRIL
- INSTALLER AGREES TO REPAIR OR REPLACE PLANTINGS AND ACCESSORIES THAT FAIL IN MATERIALS, WORKMANSHIP OR GROWTH WITHIN ONE YEAR OF SUBSTANTIAL COMPLETION. FAILURES INCLUDE, BUT ARE NOT LIMITED TO:
  - DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM THE LACK OF ADEQUATE MAINTENANCE BY OWNER.
  - STRUCTURAL FAILURES INCLUDING PLANTINGS FALLING OR BLOWING OVER.
- THE CONTRACTOR SHALL VERIFY THE QUANTITIES LISTED IN THE PLANT LEGEND. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANTS SHOWN ON PLANTING PLANS. IN CASE OF DISCREPANCIES CARTER ENGINEERING SHOULD BE CONTACTED.
- ALL GROUNDCOVER QUANTITIES SHALL BE DETERMINED USING THE INFORMATION PROVIDED IN THE GROUNDCOVER QUANTITY AND SPACING CHART ON THIS SHEET.



**GROUNDCOVERS**

40	<i>Ilex glabra</i> 'Shamrock'	Shamrock Inkberry	3 Gal	As Shown	Container	18" / 18"	Full Pot, Well Shaped
25	<i>Rosa radix</i>	Double Knockout Rose	3 Gal	As Shown	Container	24" / 24"	Full Pot, Well Shaped

**DECIDUOUS SHRUBS**

18	<i>Clethra alnifolia</i> 'Hummingbird'	Hummingbird Clethra	3 Gal	As Shown	Container	18" / 18"	Full Pot, Well Shaped
68	<i>Deutzia gracilis</i> 'Nikko'	Nikko Deutzia	3 Gal	As Shown	Container	12" / 12"	Full Pot, Well Shaped
3	<i>Syringa x Penda</i>	Bloomerang Purple Lilac	3 Gal	As Shown	Container	12" / 12"	Full Pot, Well Shaped

**GRASSES AND PERENNIALS**

27	<i>Hemerocallis</i> 'Stella de Oro'	Stella de Oro Daylily	1 Gal	As Shown	Container	12" / 12"	Full Pot, Well Shaped
30	<i>Muhlenbergia Capillans</i>	Pink Mully Grass	3 Gal	As Shown	Container	18" / 18"	Full Pot, Well Shaped

**GROUNDCOVERS**

444 SF	<i>Liriodendron</i> 'Big Blue'	Big Blue Lilyturf	1 Gal	18" O.C.	Container	12" / 12"	Full Pot, Well Shaped
415 SF	<i>Rosa</i> 'Meiseldorn'	Sweet Drift Rose	3 Gal	24" O.C.	Container	18" / 18"	Full Pot, Well Shaped

**TURF GRASS**

6,500	Sod (as directed by owner)	Sod (as directed by owner)	---	---	SOD	---	---
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**GROUNDCOVER SPACING & QUANTITY**

PLANT SPACING	PLANT SPACING MULTIPLIER (PLANTS PER SF)
12"	1.15
15"	.75
18"	.51
24"	.29

