CONSTRUCTION NOTES:

- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER A COMPLETE PROJECT READY TO USE AND ALL ITEMS NECESSARY FOR A COMPLETE AND WORKARLE JOB SHALL BE FURNISHED AND INSTALLED ANY DISCREPANCY SHALL BE IMMEDIATELY REPORTED TO THE OWNER OR
- NOTIFY THE INSPECTOR OF THE LOCAL GOVERNING AUTHORITY 24 HOURS BEFORE EVERY PHASE OF CONSTRUCTION.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR, AT HIS EXPENSE, UNLESS ALREADY
- THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBING CURBING, PAVING, AND ALL OTHER UTILITIES.
- THE EXISTING UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE DRAWINGS. THE UTILITIES SHOWN ARE THOSE LOCATED BY THE SURVEYOR OF RECORD. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF THE UTILITIES SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF
- DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR CONSENT OF THE ENGINEER AND THE MUNICIPALITY MAY CAUSE FOR THE
- ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER.
- THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
- ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER. AND IN
- ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES. 0. THE CONTRACTOR SHALL PROVIDE SHEETING AND SHORING FOR ALL
- TRENCH CONSTRUCTION IN ACCORDANCE WITH OSHA GUIDELINES. 1. ALL PIPE LENGTHS SHOWN ARE TO THE CENTERLINE OF THE STRUCTURES
- 12. PIPES (STORM AND SANITARY SEWER) SHALL BE LAID ON SMOOTH, CONTINUOUS GRADES WITH NO VISIBLE BENDS AT THE JOINTS
- 13. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUM REQUIRED FOR RELATIVELY DRY STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES TO PROVIDE SUCH ADDITIONAL BEDDING AS REQUIRED TO PROPERLY
- 14. ALL STORM DRAINAGE INLET STRUCTURES SHALL HAVE METAL RING AND
- 15. ALL ANGLES SHOWN ARE 90 DEGREES UNLESS SHOWN OTHERWISE.
- 16. ALL GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY DIMENSIONS, GRADES, AND EXISTING ELEVATIONS PRIOR TO
- 17. CONCRETE CURBS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS SHOWN ON PLANS. MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO STATE D.O.T.

18. ALL CONCRETE SHALL HAVE 3000 PSI COMPRESSIVE STRENGTH AFTER 28

- DAYS, WITH A MAXIMUM SLUMP OF FOUR (4) INCHES, UNLESS SPECIFIED
- 19. ALL EXPOSED CONCRETE SHALL HAVE A FINE HAIR BROOMED FINISH.
- 20. PARKING AND DRIVEWAY BASE COURSE AND ASPHALTIC CONCRETE SURFACE AND PRIME MATERIALS, EQUIPMENT, METHODS FOR CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO STATE D.O.T.
- CONTRACTOR TO FIELD VERIFY <u>ALL</u> STORM, SANITARY, WATER AND OTHER UTILITIES LOCATIONS AND INVERTS PRIOR TO INSTALLATION OF <u>ANY</u> UTILITIES. NOTIFY ENGINEER PRIOR TO PROCEEDING WITH ANY WORK IF DISCREPANCIES
- 22. CONTRACTOR SHALL USE CONCRETE THRUST BLOCKS FOR INSTALLATION
- 23. ALL DIMENSIONS ARE MEASURED TO THE BACK OF CURB UNLESS

ANTRIM TOWNSHIP - GENERAL NOTES

- DURING CONSTRUCTION A COPY OF THE TOWNSHIP APPROVED PLANS MUST BE ON SITE TOWNSHIP MUST BE NOTIFIED SEVEN (7) DAYS IN ADVANCE FOR A PRECONSTRUCTION
- ANY DAMAGE TO EXISTING ANTRIM TOWNSHIP ROADS SHALL BE REPAIRED BY THE
- DEVELOPER TO ANTRIM TOWNSHIP'S ROAD CONSTRUCTION SPECIFICATIONS AND TO THE SATISFACTION OF ANTRIM TOWNSHIP
- ROADS SHALL BE KEPT FREE OF MUD, DIRT, STONES, AND DEBRIS FOR THE DURATION OF ALL ROAD CONSTRUCTION SHALL BE IN ACCORDANCE WITH ANTRIM TOWNSHIP'S ROAD
- CONSTRUCTION STANDARDS IN PLACE AT TIME OF ACTUAL CONSTRUCTION. CONSTRUCTION ON A PROPERTY WHICH IS ACCESSED BY A PUBLIC ROAD SHALL HAVE MINIMAL IMPACT ON THE ROAD AND NEIGHBORHOOD WHILE CONSTRUCTION IS TAKING
- ALL ENTRANCES SHALL BE CONSTRUCTED PRIOR TO ANY EXCAVATION TAKING PLACE. ALL CONSTRUCTION VEHICLES SHALL BE PARKED OUTSIDE OF THE PUBLIC RIGHTS-OF-WAY AND SHALL ONLY ENTER AND EXIT THE PROPERTY BY MEANS OF THE CONSTRUCTION
- STORMWATER SWALES SHALL NOT BE ALTERED BY ANY MEANS DURING ANY PART OF THE CONSTRUCTION OF THE PROPERTY, AND SILT FENCE SHALL BE PLACED ADJACENT TO THE STORMWATER SWALES TO PREVENT ANY DEBRIS AND/OR ALTERATIONS TO THE SWALES. WHERE STORMWATER TILES ARE REQUIRED UNDER A DRIVEWAY, THEY SHALL BE CONSTRUCTED TO BE FLUSH WITH THE BOTTOM OF THE STORMWATER SWALES TO ALLOW THE WATER TO KEEP FLOWING THROUGH THE SWALE. IF A STORMWATER SWALE S ALTERED OR DAMAGED DURING CONSTRUCTION. THE PROPERTY OWNER WILL BE ESPONSIBLE FOR RECONSTRUCTING THE SWALE AS PER THE APPROVED PLAN AND WILL BEAR THE EXPENSE OF THE TOWNSHIP ENGINEER VISITING THE SITE TO DETERMINE IF
- THE SWALE WAS CONSTRUCTED AS PER THE APPROVED PLANS. THE TOWNSHIP SHALL BE RESPONSIBLE FOR ORDERING AND INSTALLING SIGNS ON ALL ROADS TO BE DEDICATED TO THE TOWNSHIP AFTER THE DEVELOPER HAS PAID FOR THEM. EITHER PERMANENT OR TEMPORARY STOP SIGNS SHALL BE INSTALLED AT STREET INTERSECTIONS AS SOON AS THE ROAD SURFACE IS IMPROVED TO A MUD-FREE CONDITION.
- 1. LITILITY EASEMENTS ARE OFFERED FOR DEDICATION TO THEIR RESPECTIVE AUTHORITY UPON APPROVAL AND ACCEPTANCE OF SAID RESPECTIVE AUTHORITY
- 12. ROAD(S) SHALL BE OFFERED TO THE TOWNSHIP FOR DEDICATION ONCE DEVELOPMENT IS BUILT
- 13. A MAINTENANCE BOND VALID FOR EIGHTEEN (18) MONTHS FROM THE DATE OF ACCEPTANCE MUST BE PROVIDED IN A FORM APPROVED BY THE TOWNSHIP BEFORE DEDICATION OF ROAD
- 14. NO TREES, SHRUBS, FENCES, BUILDINGS, OR IMPROVEMENTS ARE PERMITTED WITHIN THE LINE
- 15. NO TREES, SHRUBS, FENCES, BUILDINGS, OR IMPROVEMENTS ARE PERMITTED WITHIN ANY RIGHT OF WAYS OR EASEMENTS, EXISTING OR PROPOSED, AS SHOWN ON THE PLAN. 16. RECREATIONAL OBJECTS SHALL NOT BE LOCATED, EITHER PERMANENTLY OR TEMPORARILY,
- 17. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS (PROVIDE CURRENT NAME AND PHONE NUMBERS FOR EACH ENTITY a. PA ONE CALL SYSTEM (811)
- b. ANTRIM TOWNSHIP MUNICIPAL AUTHORITY (717) 597-3818
- c. FRANKLIN COUNTY SOIL CONSERVATION DISTRICT (717) 264-5499 d. GREENCASTLE AREA FRANKLIN COUNTY WATER AUTHORITY (717) 762-8798
- 18. ALL DRIVEWAYS SHALL BE LOCATED AS SHOWN ON THE APPROVED PLANS UNLESS APPROVED BY ANTRIM TOWNSHIP TO BE RE-LOCATED AT TIME OF DRIVEWAY PERMIT APPLICATION.

OF-WAY, ALTER THE STABILITY OF THE IMPROVED AREA OR CHANGE THE DRAINAGE OF THE

- 19. THE DISTANCE OF ALL DRIVEWAYS ON CORNER LOTS MUST BE MAXIMIZED AWAY FROM ROAD 20. ALL DRIVEWAYS SHALL BE CONSTRUCTED SO AS NOT TO IMPAIR DRAINAGE WITHIN THE RIGHT-
- TOWNSHIP ROAD AND ADJACENT AREAS. . ALL DRIVEWAYS SHALL HAVE A MINIMUM FIFTEEN-INCH (15") CULVERT PIPE OR EQUIVALENT WHERE A DRAINAGE DITCH OR SWALE EXISTS.
- ALL NONRESIDENTIAL DRIVEWAYS AND PARKING AREAS INTENDED FOR USE BY THE PUBLIC SHALL BE PAVED IN THEIR ENTIRETY.
- WARNING: RESIDENTS SHALL EXPECT THE SMELL OF FARM ANIMALS AND THE MANURE THEY PRODUCE, CHEMICAL SPRAYS, SLOW-MOVING AGRICULTURAL MACHINERY ON ROADS AND
- 24. PROPERTY OWNERS SHALL OWN AND MAINTAIN ALL CURBS, SIDEWALKS, AND/OR TRAILS ON THEIR PROPERTY OR WITHIN THE RIGHT OF WAY.
- 25. ANY ILLUMINATION OR FLOOD LIGHTING SHALL BE ARRANGED SO THERE WILL BE NO GLARE OF LIGHTS UPON RESIDENCES OR RESIDENTIAL DISTRICT. LIGHTING SHALL ALSO BE SHIELDED FROM THE ROADWAY.
- OTHER BY-PRODUCTS OF AGRICULTURAL ACTIVITY.

EARTHWORK SPECIFICATIONS:

. CLEARING AND GRUBBING

CLEARING AND GRUBBING SHALL CONSIST OF CLEARING THE SURFACE OF THE GROUND OF THE DESIGNATED AREAS OF ALL TREES, LOGS, SNAGS, BRUSH, UNDERGROWTH, HEAVY GROWTH OF GRASS, WEEDS, FENCE STRUCTURES. DEBRIS AND RUBBISH OF ANY NATURE. NATURAL OBSTRUCTIONS SUCH AS OBJECTIONAL SOIL MATERIAL UNSATISFACTORY FOR FOUNDATIONS. IT SHALL ALSO CONSIST OF GRUBBING OF STUMPS. ROOTS FOUNDATIONS AND DISPOSAL OF ALL SUCH MATERIAL. ALL HOLES REMAINING AFTER THE GRUBBING OPERATION IN EMBANKMENT AREAS AND IN EXCAVATION AREAS LESS THAN TWO (2) FEET IN DEPTH. SHALL HAVE SIDES BROKEN DOWN AND LEVELLED IF NECESSARY TO FLATTEN OUT SLOPES REFILLED WITH ACCEPTABLE MATERIAL THAT IS PROPERLY COMPACTED IN LAYERS BY TAMPERS. ROLLERS OR CONSTRUCTION

BURNING ON SITE IS NOT PERMITTED WITHOUT WRITTEN APPROVAL OF THE LOCAL GOVERNING AUTHORITIES HAVING JURISDICTION.

. EXISTING TREES AND AREA OUTSIDE OF GRADING LIMITS LINE

TREES AND VEGETATION TO BE SAVED SHALL BE PROTECTED FROM DAMAGE BY A FENCE BARRICADE PRIOR TO, OR DURING, CLEARING OPERATIONS. TREES TO BE SAVED SHALL BE DESIGNATED BY THE OWNER. NO TREES ARE TO BE REMOVED FROM THE AREA OUTSIDE THE LIMITS OF GRADING OR FROM SPECIFICALLY DESIGNATED AREAS WITHIN THE CONSTRUCTION AREAS. IF, IN THE OPINION OF THE ENGINEER, A CONTRACTOR DAMAGES A TREE NOT TO BE REMOVED, THE CONTRACTOR WILL BE FINED A PREDETERMINED AMOUNT FOR EACH DAMAGED TREE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ALL COSTS ASSOCIATED IN REMOVING THE DAMAGED TREES FROM THE SITE.

ALL VEGETATION SUCH AS ROOTS, BRUSH, HEAVY GROWTH OF GRASS TOPSOIL, ALL DECAYED VEGETABLE MATTER, RUBBISH, AND OTHER UNSUITABLE MATERIAL WITHIN THE AREA UPON WHICH FILL IS TO BE PLACED SHALL BE STRIPPED OR BE OTHERWISE REMOVED BEFORE THE FILL OPERATION IS STARTED IN NO CASE SHALL UNSUITABLE MATERIAL REMAIN IN OR UNDER THE FILL AREA. SLOPED GROUND SURFACE STEEPER THAN ONE VERTICAL TO FOUR HORIZONTAL. ON WHICH FILL IS TO BE PLACED, SHALL BE PLACED, STEPPED OR BENCHED IN SUCH A MANNER THAT THE FILL TO BE PLACED SHALL BE 97 PERCENT OF THE MAXIMUM LABORATORY DRY DENSITY ACCORDING TO STANDARD PROCTOR (AASHTO T99 ASTM D-698) MOISTURE CONTENT SHALL BE WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT, PROOF ROLL THE AREAS TO BE FILLED OR ON WHICH STRUCTURES ARE TO BE PLACED. A LOADED. DUMP TRUCK OR OTHER RUBBER TIRED FOUIPMENT SHALL BE USED PROOF ROLLING, OVERLAPPING PASSES OF A VEHICLE SHOULD BE MADE ACROSS. THE SITE IN ONE DIRECTION AND THEN PERPENDICULAR TO THE ORIGINAL DIRECTION OF ROLLING

ANY YIELDING, PUMPING OR SOFT AREAS SHOULD BE CUT OUT AND REPLACED WITH FILL COMPACTED AS DESCRIBED HEREIN.

THE PROPOSED FILL SHOULD BE LIMITED TO SOILS CLASSIFIED IN ACCORDANCE WITH ASTM D-2487 AS GM, GC, SW, SM, SC, ML AND CL SOIL CLASSIFIED AS PT, OH, OL, CH AND MH ARE NOT SATISFACTORY AS COMPACTED FILL

FILLS AND EMBANKMENTS SHALL BE CONSTRUCTED AT THE LOCATIONS AND TO THE LINES AND GRADES INDICATED ON CONSTRUCTION PLANS. THE SLOPE SHALL NOT EXCEED 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (3 FOOT HORIZONTAL TO 1 FOOT VERTICAL IN THE PUBLIC RIGHT OF WAY) THE COMPLETED FILL SHALL CORRESPOND TO THE SHAPE OF THE TYPICAL SECTIONS INDICATED ON THE CONSTRUCTION PLANS. MATERIAL REMOVED FROM THE EXCAVATION SHALL BE USED IN FORMING THE FILL FILL MATERIAL SHALL BE REASONABLY FREE FROM ROOTS, OTHER ORGANIC MATERIAL, TRASH AND STONES HAVING MAXIMUM DIMENSIONS GREATER THAN 6 INCHES (4 INCHES IN TRENCHES FOR UTILITIES). NO MAXIMUM DIMENSION OF 4 INCHES WILL NOT BE PERMITTED IN THE UPPER SIX INCHES OF FILL OR EMBANKMENT OR UTILITY TRENCH. THE MATERIAL SHALL BE PLACED IN SUCCESSIVE HORIZONTAL LAYERS NOT MORE THAN WIDTH OF THE CROSS-SECTION AND SHALL BE COMPACTED TO AT LEAS 97 PERCENT OF THE MAXIMUM LABORATORY DRY DENSITY ACCORDING TO STANDARD PROCTOR (ASTM D-698, AASHTO T-99). MOISTURE SHALL BE WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT. THE TOP 12 INCHES OF THE PAVING, PARKING AND/OR ROADWAY SUB-GRADE SHALL BE COMPACTED TO 97 PERCENT OF THE MAXIMUM DRY DENSITY (STANDARD PROCTOR). EACH LIFT SHALL BE ROLLED WITH A VIBRATORY ROLLER, A SHEEPSFOOT ROLLER, OR A LOADED RUBBER TIRED DUMP TRUCK, SCRAPER OR LOADER. IF THE SOIL IS TOO DRY, A WATER TRUCK WITH SPREADER BAR OR SPRAY HOSE SHALL BE USED TO BRING THE SOIL TO THE PROPER MOISTURE RANGE. THE WATER SHALL BE THOROUGHLY AND PROPERLY MIXED WITH THE SOIL PRIOR TO COMPACTION.

TAMPED TO SAFE UP THE PIPE. A CUSHION OF SOIL SHALL BE TAMPED ABOVE THE CROWN OF THE PIPE IN ACCORDANCE WITH THE PIPE MANUFACTURER'S RECOMMENDATIONS SO THAT THE HEAVIER COMPACTION EQUIPMENT CAN THEN BE USED TO BRING THE SOIL TO A

DENSITY AS DESCRIBED ABOVE FOR FILL AREAS. IF SOILS INVESTIGATION REPORT IS PROVIDED, THEN FOLLOW THE RECOMMENDATIONS OF THE REPORT IF THEY EXCEED THE

RECOMMENDATIONS OF THESE SPECIFICATIONS.

UNLESS OTHERWISE SPECIFIED, AREAS DESIGNATED FOR GRADING OPERATIONS THAT CONTAIN A BLANKET OF TOPSOIL SHALL BE STRIPPED AND PLACED IN CONVENIENT STOCKPILES FOR LATER USE AS A TOPSOIL BLANKET ON THE NEW GRADED AREAS SPECIFIED HEREIN OR AS DESIGNATED, TOPSOIL SHALL BE STRIPPED FROM ALL AREAS DESIGNATED TO RECEIVE FILL THE STRIPPING OF MATERIAL FOR TOPSOIL SHALL BE CAREFULLY DETERMINED AND ONLY THE QUANTITY REQUIRED SHALL BE STOCKPILED MATERIAL STOCKPILED SHALL BE STORED IN A SATISFACTORY MANNER TO AFFORD PROPER DRAINAGE, WHEN GRADING OPERATIONS PERMIT INSTEAD OF STOCKPILING THE TOPSOIL SHALL BE HAULED AND SPREAD DIRECTLY ON THE AREAS DESIGNATED TO RECEIVE

PROJECT NOTES:

OWNER / DEVELOPER:

Atlanta, GA 30328

Contact: Todd Jackson

Watkinsville, GA 30677

Tel. (770) 725-1200

Parcel No.:

Setbacks:

Current Zoning:

roposed use

Project Tract

Sanitary:

Electricity:

Disturbed Area

Maximum Impervious:

Proposed Building Height

Proposed # of EDU's = 6

01/31/2018 Phone: (717) 845 - 8383

The vertical elevation is based on NAVD 1988

and notify engineer if a discrepancy is found.

The horizontal datum is Pennsylvania State Plane 83 South.

Contact: Jeff Carter, P.E

jeff@carterengineering.net

Tel. (770) 738-8796

GPS Hospitality Partners II, LLC.

2100 Riveredge Parkway, Suite 850

Todd.Jackson@GPSHospitality.com

Carter Engineering Consultants, Inc.

Township, Franklin County, Pennsylvania.

Property located on lot 4 of the Greencastle Crossing subdivision, Buchanan Trail East, Antrim

UPI 01 - 0A17.-158.-000000

Restaurant with drive-thru.

0.79 acres (34,393 sf)

Front: 25' Rear: 25' Side: 12'

Greencastle Area, Franklin County, Water Authority

Antrim Township Municipal Authority

Boundary and topographic information obtained from field run survey by Warehaus dated:

This property does not lie within any flood zone per F.E.M.A. Flood Insurance Rate Map for

The underground utilities shown hereon have been located from field information and

comprise all such utilities in the area, either in service or abandoned. The surveyor nor

The surveyor nor engineer has physically located all the underground utilities.

structures prior to commencement of storm and sanitary sewer construction.

existing drawings. The surveyor nor engineer warrants that the underground utilities shown

engineer warrants that the underground utilities shown are in the exact location indicated.

It is the responsibility of the contractor to field locate all utilities prior to commencing work

The contractor shall verify the invert elevations of all existing storm and sanitary sewer

Antrim Township, Community NO. 421233, Panel 0440-E, effective January 18,2012.

3651 Mars Hill Road, Suite 2000

5. ROCK EXCAVATION

IF ROCK IS ENCOUNTERED, CLEAR AWAY EARTH TO EXPOSE MATERIAL. NOTIFY OWNER AND RECEIVE WRITTEN INSTRUCTIONS PRIOR TO EXCAVATION REMOVE ROCK TO A DEPTH OF 6 INCHES BELOW AND 8 INCHES ON EACH SIDE OF PIPES IN TRENCHES. A MEASUREMENT OF EXTENT OF ROCK TO BE REMOVED SHALL BE MADE. ROCK EXCAVATION. SHALL BE PAID FOR IN ACCORDANCE WITH AGREEMENT WITH THE OWNER.

PARKING DATA:

Requirement: One (1) parking space per two-and-one-half (2.5) seats. Plus one(1) space per two (2) employees

Proposed Number of Seats = 62 SEATS 25 (62 / 2.5) plus one space/ two employees = 30 Required Parking Provided Parking 35 (2 Handicap Parking)

Multiple shifts per day, max. 10 employees per shift. Deliveries and trash pick-up will be scheduled around peak hours to avoid any conflicts.

NO PRIMARY CONSERVATION AREA EXISTS ON THIS PROPERTY

FINAL LAND DEVELOPMENT PLAN



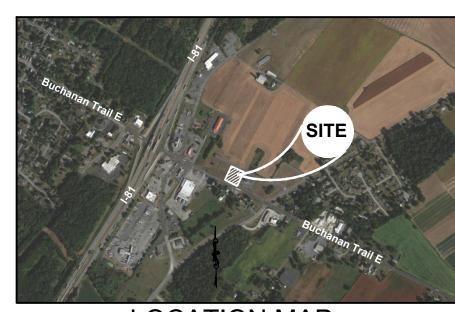
GPS HOSPITALITY PARTNERS II, LLC

UPI 01 - 0A17. - 158. - 000000 GREENCASTLE LOT 4, EAST BUCHANAN TRAIL GREENCASTLE, ANTRIM TOWNSHIP

PENNSYLVANIA 17225

FEBRUARY 20, 2018

TRACKING #: LD-18-02



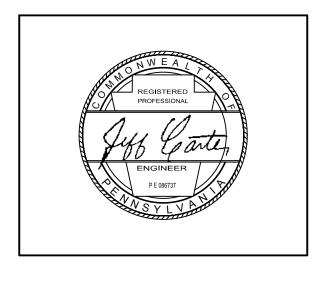
LOCATION MAP

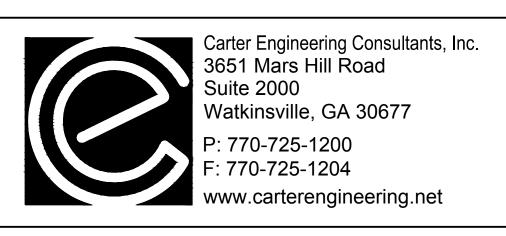
PROJECT NOTES:

OWNER / DEVELOPER: GPS Hospitality Partners II, LLC 2100 Riverredge Parkway - Suite 850 Atlanta, GA 30328 Contact: Todd Jackson Todd.Jackson@GPSHospitality.com Tel. 770-738-8796

Carter Engineering Consultants, Inc 3651 Mars Hill Road - Suite 2000 Watkinsville, GA 30677 Contact: Jeff Carter, P.E. jeff@carterengineering.net Tel. 770-725-1200

ENGINEER:





SHEET INDEX					
SHEET NO.	DESCRIPTION				
1	COVER SHEET				
TS-1	ALTA SURVEY				
2	EXISTING CONDITIONS				
3	SITE PLAN				
4	UTILITY PLAN				
5	GRADING & DRAINAGE PLAN				
6	EROSION CONTROL PLAN				
7	EROSION CONTROL DETAILS				
8	STANDARD DETAILS				
8.1	STANDARD DETAILS II				
9	MENU BOARD DETAILS				
10	ADA ACCESSIBILITY PLAN				
11	ADA ACCESSIBILITY DETAILS				
12	LANDSCAPE PLAN				
13	LANDSCAPE DETAILS				
14	OUTDOOR LIGHTING PLAN				

REVISION BLOCK

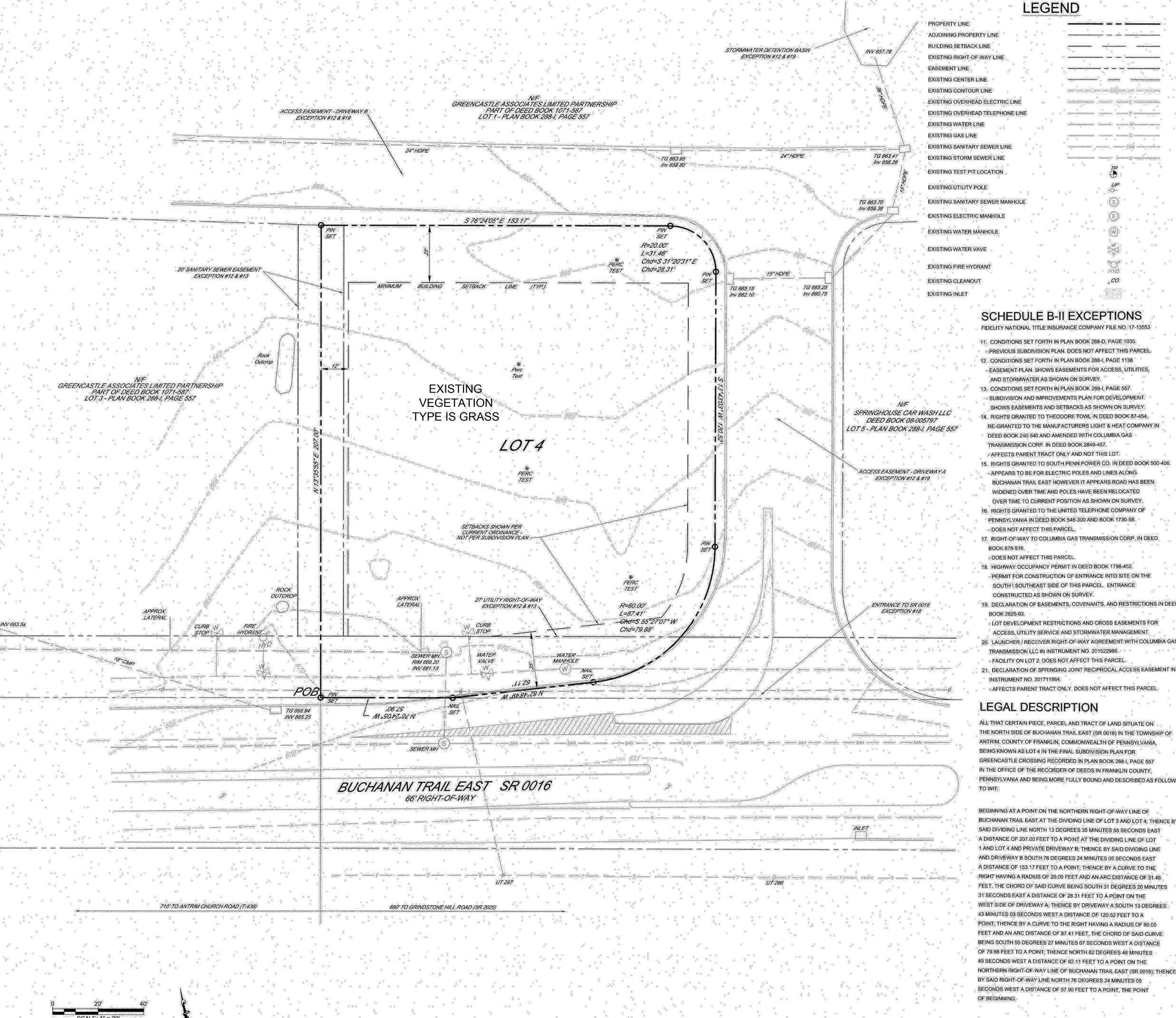
REV. NO.	DATE	DESCRIPTION
В	03/07/18	ADDRESSED COMMENTS
С	03/23/18	ADDRESSED COMMENTS
D	04/03/18	ADDRESS WATER AUTHORITY COMMENTS

D	04/03/18	ADDRESS W
owner of the record of the la	, being duly sworn, ac nd shown hereon being considered ne proposed rights of way and ease	for subdivisions approval and
Signature of Owner	Da	te
State of		
_	e this day of	, 20
Notary Public		(SEAL)
My Commission Expires:		

ANTRIM TOWNSHIP MUNICIPAL AUTHORIT

ANTRIM TOWNSHIP SUPERVISORS

GREENCASTLE AREA FRANKLIN COUNTY WATER AUTHORITY





EXISTING RIGHT-OF-WAY LINE **EXISTING OVERHEAD ELECTRIC LINE EXISTING OVERHEAD TELEPHONE LINE** TO SAN TO THE EXISTING SANITARY SEWER LINE EXISTING STORM SEWER LINE EXISTING TEST PIT LOCATION **EXISTING SANITARY SEWER MANHOLE** EXISTING ELECTRIC MANHOLE

SCHEDULE B-II EXCEPTIONS

FIDELITY NATIONAL TITLE INSURANCE COMPANY FILE NO. 17-13553

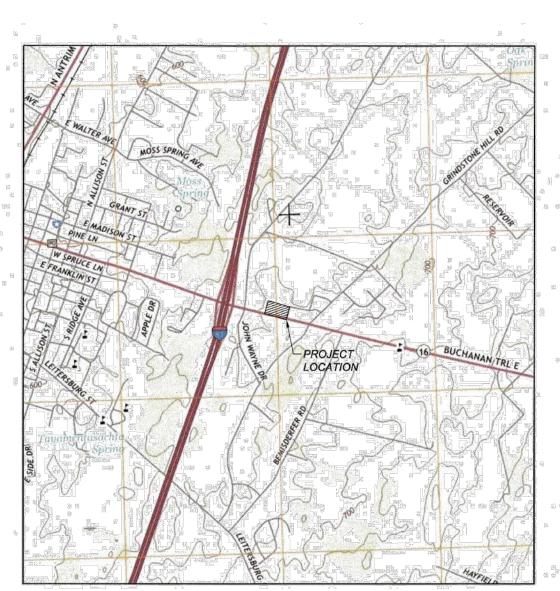
- 11. CONDITIONS SET FORTH IN PLAN BOOK 288-D, PAGE 1035. PREVIOUS SUBDIVISION PLAN. DOES NOT AFFECT THIS PARCEL 12. CONDITIONS SET FORTH IN PLAN BOOK 288-I, PAGE 1138. AND STORMWATER AS SHOWN ON SURVEY.
- 13. CONDITIONS SET FORTH IN PLAN BOOK 288-I, PAGE 557. SUBDIVISION AND IMPROVEMENTS PLAN FOR DEVELOPMENT
- RE-GRANTED TO THE MANUFACTURERS LIGHT & HEAT COMPANY IN DEED BOOK 240-540 AND AMENDED WITH COLUMBIA GAS TRANSMISSION CORP. IN DEED BOOK 2849-457. - AFFECTS PARENT TRACT ONLY AND NOT THIS LOT. 5. RIGHTS GRANTED TO SOUTH PENN POWER CO. IN DEED BOOK 500-406
- BUCHANAN TRAIL EAST HOWEVER IT APPEARS ROAD HAS BEEN OVER TIME TO CURRENT POSITION AS SHOWN ON SURVEY. 6. RIGHTS GRANTED TO THE UNITED TELEPHONE COMPANY OF
- PENNSYLVANIA IN DEED BOOK 546-300 AND BOOK 1730-58. - DOES NOT AFFECT THIS PARCEL. 7. RIGHT-OF-WAY TO COLUMBIA GAS TRANSMISSION CORP. IN DEED
- BOOK 878-516.
- DOES NOT AFFECT THIS PARCEL. 18. HIGHWAY OCCUPANCY PERMIT IN DEED BOOK 1798-452. - PERMIT FOR CONSTRUCTION OF ENTRANCE INTO SITE ON THE SOUTH \ SOUTHEAST SIDE OF THIS PARCEL. ENTRANCE CONSTRUCTED AS SHOWN ON SURVEY.
- 19. DECLARATION OF EASEMENTS, COVENANTS, AND RESTRICTIONS IN DEED BOOK 2825-93.
- LOT DEVELOPMENT RESTRICTIONS AND CROSS EASEMENTS FOR ACCESS, UTILITY SERVICE AND STORMWATER MANAGEMENT.
- 20. LAUNCHER / RECEIVER RIGHT-OF-WAY AGREEMENT WITH COLUMBIA GAS TRANSMISSION LLC IN INSTRUMENT NO. 201522986 - FACILITY ON LOT 2. DOES NOT AFFECT THIS PARCEL.
- INSTRUMENT NO. 201711864. - AFFECTS PARENT TRACT ONLY. DOES NOT AFFECT THIS PARCEL.

LEGAL DESCRIPTION

ALL THAT CERTAIN PIECE, PARCEL AND TRACT OF LAND SITUATE ON THE NORTH SIDE OF BUCHANAN TRAIL EAST (SR 0016) IN THE TOWNSHIP OF ANTRIM, COUNTY OF FRANKLIN, COMMONWEALTH OF PENNSYLVANIA BEING KNOWN AS LOT 4 IN THE FINAL SUBDIVISION PLAN FOR GREENCASTLE CROSSING RECORDED IN PLAN BOOK 288-I, PAGE 557 IN THE OFFICE OF THE RECORDER OF DEEDS IN FRANKLIN COUNTY, PENNSYLVANIA AND BEING MORE FULLY BOUND AND DESCRIBED AS FOLLOWS,

BEGINNING AT A POINT ON THE NORTHERN RIGHT-OF-WAY LINE OF BUCHANAN TRAIL EAST AT THE DIVIDING LINE OF LOT 3 AND LOT 4; THENCE BY SAID DIVIDING LINE NORTH 13 DEGREES 35 MINUTES 55 SECONDS EAST A DISTANCE OF 207.00 FEET TO A POINT AT THE DIVIDING LINE OF LOT 1 AND LOT 4 AND PRIVATE DRIVEWAY B; THENCE BY SAID DIVIDING LINE AND DRIVEWAY B SOUTH 76 DEGREES 24 MINUTES 05 SECONDS EAST A DISTANCE OF 153,17 FEET TO A POINT; THENCE BY A CURVE TO THE RIGHT HAVING A RADIUS OF 20.00 FEET AND AN ARC DISTANCE OF 31.46 FEET, THE CHORD OF SAID CURVE BEING SOUTH 31 DEGREES 20 MINUTES 31 SECONDS EAST A DISTANCE OF 28.31 FEET TO A POINT ON THE WEST SIDE OF DRIVEWAY A; THENCE BY DRIVEWAY A SOUTH 13 DEGREES 43 MINUTES 03 SECONDS WEST A DISTANCE OF 120.52 FEET TO A POINT; THENCE BY A CURVE TO THE RIGHT HAVING A RADIUS OF 60.00 FEET AND AN ARC DISTANCE OF 87.41 FEET, THE CHORD OF SAID CURVE BEING SOUTH 55 DEGREES 27 MINUTES 07 SECONDS WEST A DISTANCE OF 79.88 FEET TO A POINT; THENCE NORTH 82 DEGREES 48 MINUTES 49 SECONDS WEST A DISTANCE OF 62.11 FEET TO A POINT ON THE NORTHERN RIGHT-OF-WAY LINE OF BUCHANAN TRAIL EAST (SR 0016); THENCE BY SAID RIGHT-OF-WAY LINE NORTH 76 DEGREES 24 MINUTES 05 SECONDS WEST A DISTANCE OF 57.90 FEET TO A POINT, THE POINT

CONTAINING 34,393 SQUARE FEET. (0.790 ACRES



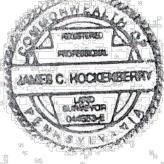
LOCATION MAP SCALE: 1" = 2000'

CERTIFICATION:

TO: GPS Hospitality Partners II, LLC, Fidelity National Title Insurance Company

FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1,2,3,4,5,6(A),7(A),8,9,11,13,14,16,17, AND 19 OF TABLE 'A' THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 25, 2018.

MAMES C. HOCKENBERRY, PL REG. NO. 044553-E



ZONING TABLE

MINIMUM REGULATIONS SHOWN ARE PER 150-26(B) RESTAURANT USE LOT SIZE: 20,000 SQ. FT. LOT DEPTH: SETBACKS:

REAR - 25' MAX. BUILDING HEIGHT: 50 FEET MAX. IMPERVIOUS: 75%

NOTE: THIS PROPERTY DOES NOT LIE WITHIN ANY FLOOD ZONE PER FEMA FLOOD INSURANCE RATE MAP FOR ANTRIM TOWNSHIP, COMMUNITY NO. 421233, PANEL 0440-E, EFFECTIVE JANUARY 18, 2012.

GENERAL NOTES

- I. THIS PARCEL HAS ACCESS TO BUCHANAN TRAIL EAST (SR 0016)
- THROUGH EASEMENTS KNOWN AS DRIVEWAY A & DRIVEWAY B 2. THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK OR BUILDING CONSTRUCTION AT THE TIME OF THE FIELD SURVEY.
- 3. THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. THERE IS NO KNOWN PROPOSED CHANGES TO STREET RIGHT-OF-WAY WIDTHS.
- 4. OFFSITE EASEMENTS INCLUDE DRIVEWAY A & DRIVEWAY B FOR ACCESS AND USE OF THE OFFSITE STORMWATER MANAGEMENT POND.
- 5. THIS PROPERTY DOES NOT LIE WITHIN ANY FLOOD ZONE PER FEMA FLOOD INSURANCE RATE MAP FOR ANTRIM TOWNSHIP, COMMUNITY NUMBER 421233, PANEL 0440-E, EFFECTIVE DATE JANUARY 18, 2012.

GREENCASTLE LOT

TITLE SURVEY

BUCHANAN TRAIL EAST

GREENCASTLE, PA 17225

WARE

Civil Engineer Warehaus 320 North George Street York, PA 17401 717-845-8383

James C. Hockenberry PLS 533 Bucks Valley Road Newport, PA 17074 717-554-8458

3/19/2018 PER CLIENT

See Plan

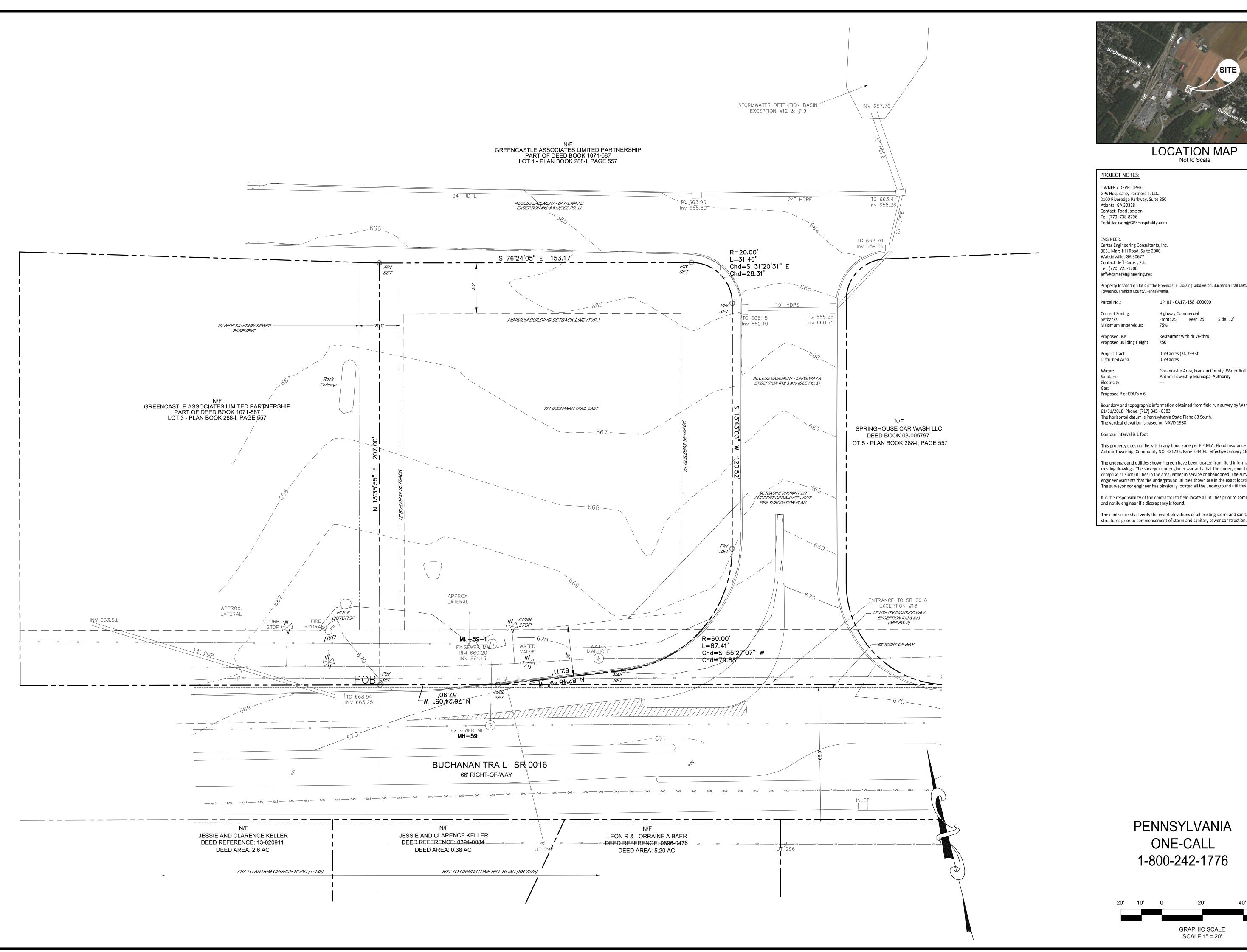
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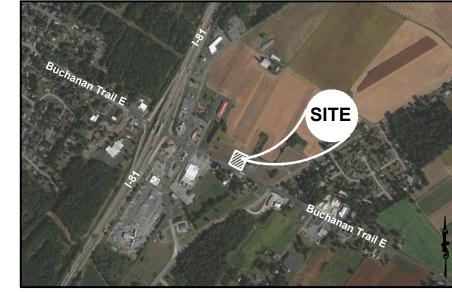
of Warehaus is forbidden. DAK 01/31/2018

2018.0008.00

ALTA SURVEY

ALTA-NSPS LAND TITLE SURVEY





LOCATION MAP

Not to Scale

Property located on lot 4 of the Greencastle Crossing subdivision, Buchanan Trail East, Antrim

UPI 01 - 0A17.-158.-000000 Highway Commercial Front: 25' Rear: 25' Side: 12'

Restaurant with drive-thru.

0.79 acres (34,393 sf) 0.79 acres

Greencastle Area, Franklin County, Water Authority Antrim Township Municipal Authority

Boundary and topographic information obtained from field run survey by Warehaus dated: 01/31/2018 Phone: (717) 845 - 8383

The horizontal datum is Pennsylvania State Plane 83 South. The vertical elevation is based on NAVD 1988

This property does not lie within any flood zone per F.E.M.A. Flood Insurance Rate Map for Antrim Township, Community NO. 421233, Panel 0440-E, effective January 18,2012.

The underground utilities shown hereon have been located from field information and existing drawings. The surveyor nor engineer warrants that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor nor engineer warrants that the underground utilities shown are in the exact location indicated. The surveyor nor engineer has physically located all the underground utilities.

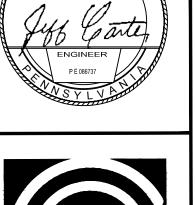
It is the responsibility of the contractor to field locate all utilities prior to commencing work and notify engineer if a discrepancy is found.

The contractor shall verify the invert elevations of all existing storm and sanitary sewer

GRAPHIC SCALE

SCALE 1" = 20'

DATE 02.20.18 03.07.18 03.23.18 04.03.18 <u>π</u> |# | - | 0 | ω | 4 |





Carter Engineering Consultants, Inc. 3651 Mars Hill Road, Suite 2000 Watkinsville, GA 30677

F: 770.725.1204

www.carterengineering.net

Plan Development and. Final

PROJECT NAME:

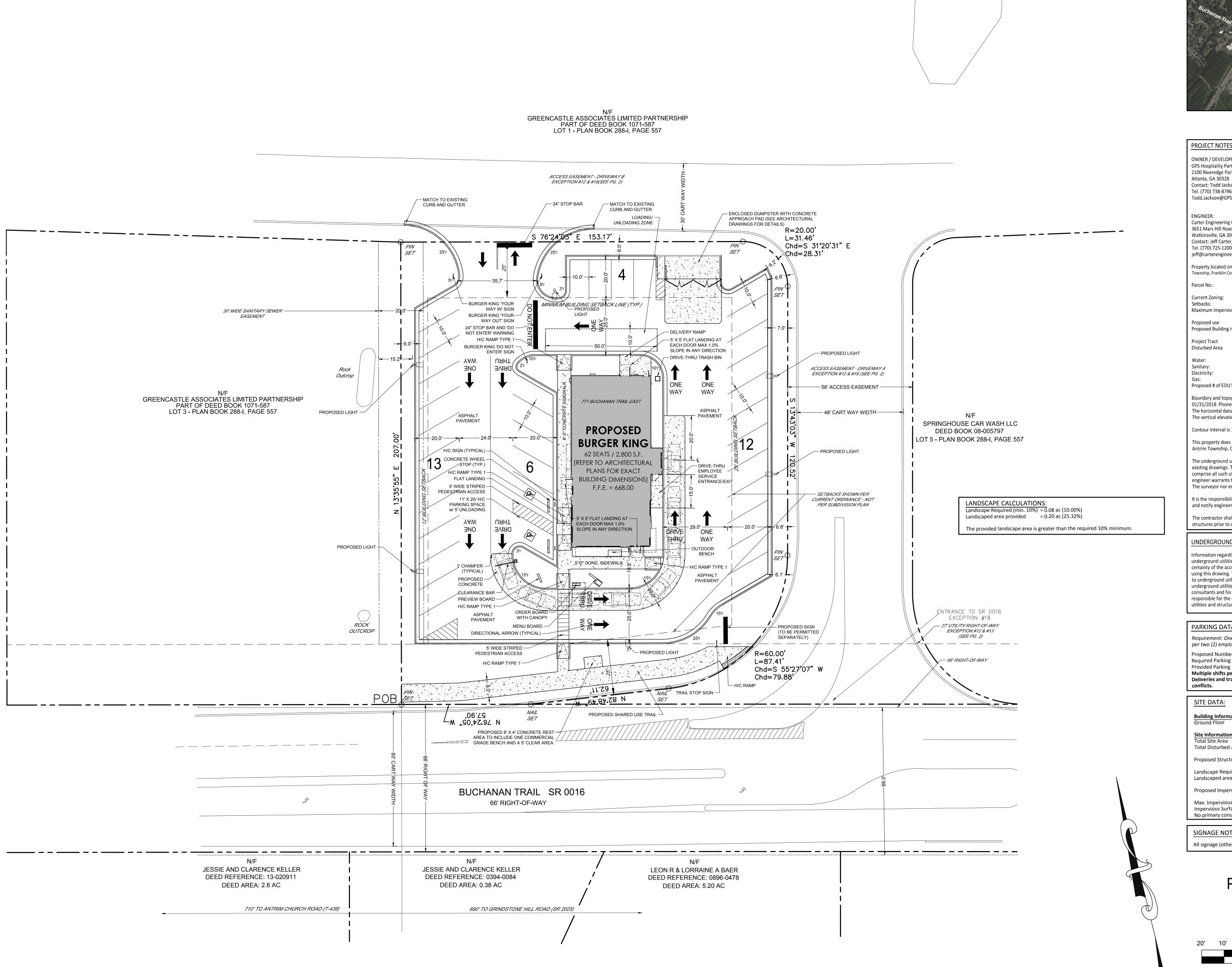
BURGER KING RESTAURANT

SHEET TITLE:

EXISTING CONDITIONS

SHEET NUMBER:

PROJECT NUMBER: 17001GPS





LOCATION MAP

Not to Scale

PROJECT NOTES: OWNER / DEVELOPER: GPS Hospitality Partners II, LLC. 2100 Riveredge Parkway, Suite 850 Atlanta, GA 30328 Contact: Todd Jackson Tel. (770) 738-8796 Todd.Jackson@GPSHospitality.com

Carter Engineering Consultants, Inc. 3651 Mars Hill Road, Suite 2000 Watkinsville, GA 30677 Contact: Jeff Carter, P.E. Tel. (770) 725-1200 jeff@carterengineering.net

Property located on lot 4 of the Greencastle Crossing subdivision, Buchanan Trail East, Antrim Township, Franklin County, Pennsylvania.

UPI 01 - 0A17.-158.-000000

Current Zoning: Highway Commercial Front: 25' Rear: 25' Side: 12' Setbacks: Maximum Impervious:

Restaurant with drive-thru. Proposed use Proposed Building Height

Project Tract 0.79 acres (34,393 sf) Disturbed Area 0.79 acres

Greencastle Area, Franklin County, Water Authority Water:

Sanitary: Antrim Township Municipal Authority Electricity:

Proposed # of EDU's = 6

Boundary and topographic information obtained from field run survey by Warehaus dated: 01/31/2018 Phone: (717) 845 - 8383 The horizontal datum is Pennsylvania State Plane 83 South.

The vertical elevation is based on NAVD 1988 Contour interval is 1 foot

This property does not lie within any flood zone per F.E.M.A. Flood Insurance Rate Map for Antrim Township, Community NO. 421233, Panel 0440-E, effective January 18,2012.

The underground utilities shown hereon have been located from field information and existing drawings. The surveyor nor engineer warrants that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor nor engineer warrants that the underground utilities shown are in the exact location indicated. The surveyor nor engineer has physically located all the underground utilities.

It is the responsibility of the contractor to field locate all utilities prior to commencing work and notify engineer if a discrepancy is found.

The contractor shall verify the invert elevations of all existing storm and sanitary sewer

structures prior to commencement of storm and sanitary sewer construction.

UNDERGROUND UTILTIES DISCLAIMER

Information regarding the reputed presence, size, character and location of existing underground utilities and structures related to underground utilities is shown heron. There is no certainty of the accuracy of this information and it shall be considered in that light by those using this drawing. The location and arrangement of underground utilities and structures related to underground utilities shown hereon may be inaccurate and utilities and structures related to underground utilities not shown may be encountered. The owner, his employees, his consultants and his contractors shall hereby distinctly understand that the surveyor is not responsible for the correctness or sufficiency of this information regarding the underground utilities and structures related to underground utilities shown hereon.

PARKING DATA:

Requirement: One (1) parking space per two-and-one-half (2.5) seats. Plus one(1) space per two (2) employees

Proposed Number of Seats = 62 SEATS

= 25 (62/2.5) plus one space/two employees = 30Required Parking = 35 (2 Handicap Parking) Provided Parking Multiple shifts per day, max. 10 employees per shift. Deliveries and trash pick-up will be scheduled around peak hours to avoid any

= 0.79 ac (100.00%)

SITE DATA:

= 2,800 s.f.

Total Disturbed Area = 0.79 ac (100.00%) Proposed Structure Coverage = 0.06 ac (07.59%)

Landscape Required (min. 10%)= 0.06 ac (10.00%)

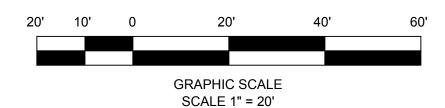
= 0.20 ac (25.32%) Landscaped area Proposed Impervious Area = 0.59 ac (74.68%)

Max. Impervious Surface Ratio = 0.59 (75.00%) Impervious Surface Ratio = 0.59 (74.68%) No primary conservation areas exist on this site.

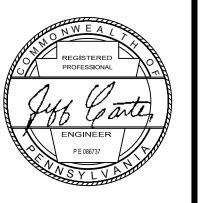
SIGNAGE NOTE:

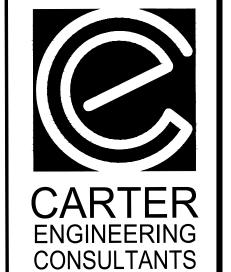
All signage (other than handicap) requires a separate permit.

PENNSYLVANIA **ONE-CALL**



C | # | - | 0 | ω | 4 |





Carter Engineering Consultants, Inc. 3651 Mars Hill Road, Suite 2000 Watkinsville, GA 30677

F: 770.725.1204

www.carterengineering.net

Plan RESTAURANT evelopment $\overline{\mathbf{C}}$ and BURGER Final

PROJECT NAME:

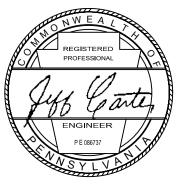
BURGER KING RESTAURANT

SHEET TITLE: SITE PLAN

SHEET NUMBER:

PROJECT NUMBER: 17001GPS

<u>Σ</u> |#|-|0|ω|4|





CONSULTANTS Carter Engineering Consultants, Inc. 3651 Mars Hill Road, Suite 2000

F: 770.725.1204

www.carterengineering.net

Plan RESTAURANT evelopment and BURGEF Final

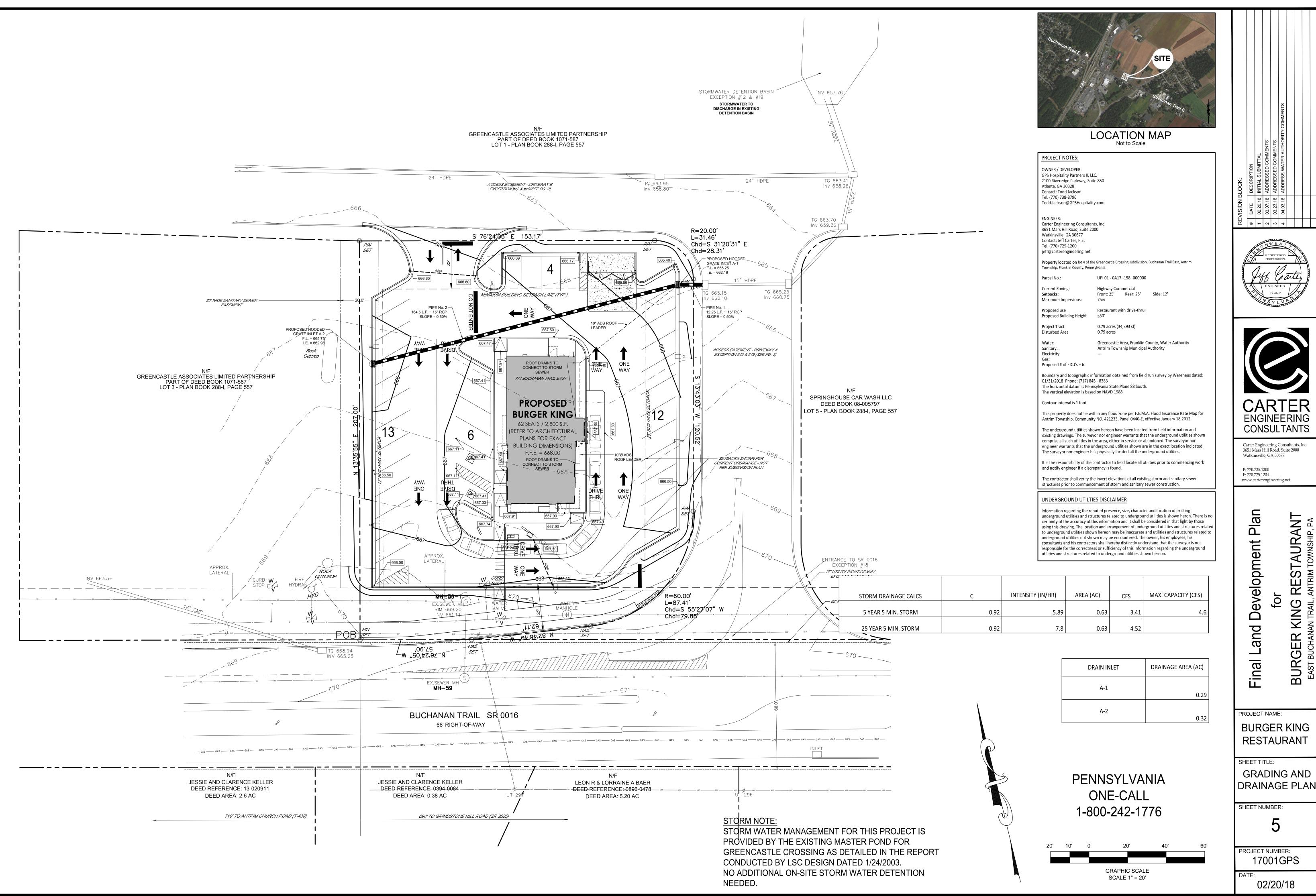
PROJECT NAME: **BURGER KING** RESTAURANT

SHEET TITLE:

UTILITY PLAN

SHEET NUMBER:

PROJECT NUMBER: 17001GPS



SHEET NUMBER:

PROJECT NUMBER: 17001GPS

02/20/18

RESTAURANT

BURGER

EROSION CONTROL NOTES:

DEVELOPER/OWNER: GPS HOSPITALITY PARTNERS II. LLC 2100 RIVEREDGE PARKWAY, SUITE 850. ATLANTA, GA 30328

TOTAL DISTURBED AREA = 0.79 ACRES

- 24 HOUR CONTACT: TODD JACKSON
- PROJECT INCLUDES: CONSTRUCTION OF A 2,800 SF RESTAURANT WITH DRIVE-THRU ALONG WITH ASSOCIATED PARKING AND UTILITIES TOTAL TRACT AREA = 0.79 ACRES
- ADDITIONAL MEASURES WILL BE ADDED IF DETERMINED TO BE NEEDED BY ON-SITE INSPECTION. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING
- EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLANS DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMEN
- CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE. PRACTICES WILL BE CHECKED DAILY STANDARD AND SPECIFICATIONS: ALL DESIGN WILL CONFORM TO AND ALL WORK WILL WILL BE PERFORMED IN
- ACCORDANCE WITH STATE STANDARDS AND SPECIFICATIONS. THE RECEIVING WATERS FOR THIS PROJECT IS AN UNNAMED TRIBUTARY THAT LEADS TO THE MUDDY RUN.

Mapping Unit	Soil Name	Texture	Structure	Erodibility (k)	Permeabili (in/hr)
HcB	Hagerstown-Carbo	Silty Clay Loam	Granular	0.28	2.00
HkB	Hagerstown-Rock Outcrop	Rock Outcrop Complex	Granular	0.32	2.00
CsA	Clarksburg	Silt Loam	Granular	0.37	2.00
HaA	Hagerstown	Silt Loam	Granular	0.37	2.00

FCCD EROSION & SEDIMENT CONTROL STANDARD NOTES

UhB Urban Land-Hagerstown Complex

SOIL LIMITATIONS & RESOLUTIONS

. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL NEED TO HAVE APPROPRIATE E&S CONTROLS. 2. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN

Granular ---- 2.00

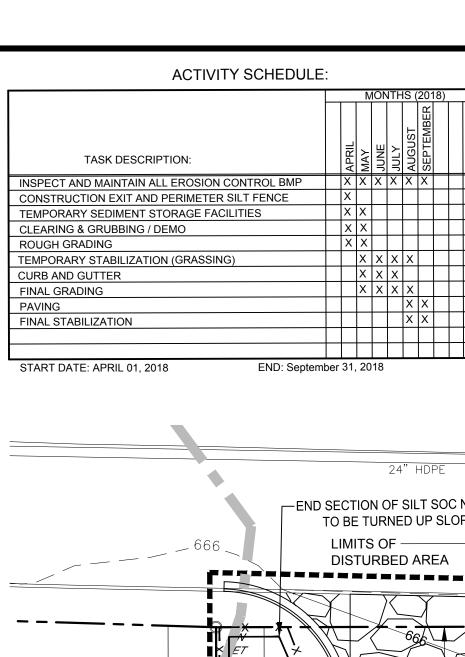
- ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- 4. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- 5. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS. 6. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- 7. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- **GENERAL EROSION & SEDIMENT CONTROL NOTES:** 8. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE FRANKLIN COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE DISTRICT MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO
- 10. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER
- 11. FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE EARTH
- BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING AND
- AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE E&S IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE OF THE FRANKLIN COUNTY CONSERVATION DISTRICT TO AN

- CONTACT THE FRANKLIN COUNTY CONSERVATION DISTRICT FOR A FINAL INSPECTION
- 18. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS MATERIAL AND MAKE SURE THE SITE(S)
- TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR
- MATERIAL AS CLEAN FILL FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.
- BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF A SPILL OR RELEASE OF A REGULATED SUBSTANCE MAY HAVE AFFECTED THE FILL, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF

STABILIZATION SPECIFICATIONS

- PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCEI FRATED SURFACE FROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. TOPSOIL STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SIDE SLOPES MUST BE 2:1 OR FLATTER.
- 25. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- 26. TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND
- 27. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE THE DISTURBED AREAS. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH TH TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE
- 28. AN EROSION CONTROL BLANKET WILL BE INSTALLED ON ALL DISTURBED SLOPES 3:1 OR STEEPER, ALL AREAS OF

- 29. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL BMPS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL FROSION AND SEDIMENT CONTROL BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS, ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT. RF-GRADING, RESEEDING, RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS OR MODIFICATIONS OF THOSE INSTALLED WILL BE
- 30. ANY SEDIMENT REMOVED FROM BMPS DURING CONSTRUCTION WILL BE RETURNED TO UPLAND AREAS ON SITE AND INCORPORATED INTO THE SITE GRADING.
- 31. A LOG SHOWING THE DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THAT THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO THE FRANKLIN COUNTY



STORM NOTE: STORM WATER MANAGEMENT FOR THIS PROJECT IS PROVIDED BY THE EXISTING MASTER POND FOR GREENCASTLE CROSSING AS DETAILED IN THE REPORT CONDUCTED BY LSC DESIGN DATED 1/24/2003. NO ADDITIONAL ON-SITE STORM WATER DETENTION NEEDED. HcB

PART OF DEED BOOK 1071-587

GREENCASTLE ASSOCIATES LIMITED PARTNERSHIP LOT 1 - PLAN BOOK 288-I, PAGE 557 COMPOST FILTER SOCK663 ACCESS FASEMENT - DRIVEWAY B XVEPTION *12 & #19(SEE PG. 2) **12" DIAMETER** Inv 658.80 -END SECTION OF SILT SOC NEEDS 3 mil HDPE TO BE TURNED UP SLOPE

_____ SILT FENCE R=20.∪0' L=31.16Chd=S 31°20'31" E - LIMITS OF DISTURBED

Ds3 HkB COLLECTOR CHANNEL MINIMUM BUILDING SETBACK LINE (TYP.)

COMPOST FILTER SOCK 12" DIAMETER 3 mil HDPE - WASH RACK So STOCKPILE LOCATION

END SECTION OF SILT SOC NEEDS

TO BE TURNED UP SLOPE

LATERALI

Du

| Ds1 || Ds2

- CONCRETE WASH DOWN

RIM 669.20

EX.SEWER MH MH-59

JESSIE AND CLARENCE KELLER

DEED REFERENCE: 0394-0084

DEED AREA: 0.38 AC

BUCHANAN TRAIL SR 0016

690' TO GRINDSTONE HILL ROAD (SR 2025)

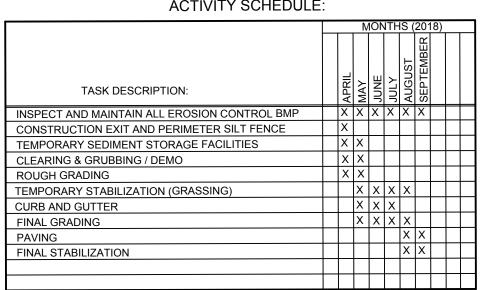
66' RIGHT-OF-WAY

AND APPROVAL AT ITS DISCRETION. MINIMIZE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION AND NOTIFY THE FRANKLIN COUNTY

FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.

- DISTURBANCE ACTIVITY, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. ANY DEVIATION FROM THE
- PLAN PREPARER, PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF ON-SITE PRE-CONSTRUCTION MEETING
- 14. AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING
- S LIPON COMPLETION OF ALL FARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, T
- 16. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES, REMOVAL OF ALL TEMPORARY BMPS, INSTALLATION OF ALL
- 17. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1., AND 287.1 ET SEO, NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR
- RECEIVING THE EXCESS HAS AN APPROVED AND FULLY IMPLEMENTED EROSION AND SEDIMENT CONTROL PLAN THAT MEETS THE CONDITIONS OF CHAPTER 102 AND/OR OTHER STATE OR FEDERAL REGULATIONS.
- 19. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE
- 20. ANY PLACEMENT OF CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE
- 23. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER
- PLAN DRAWINGS IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE
- PRIOR TO SEEDING.

- CONSERVATION DISTRICT OR OTHER REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.



FORMWATER DETENTION BASIN EXCEPTION #12 & #19

Ds2

Dş1

LEON R & LORRAINE A BAER

DEED REFERENCE 0896-0478

DEED AREA: 5.20 AC

15" HDPE TG 665.25 Inv 660.75

PROPOSED

BURGER KING

62 SEATS / 2,800 S.F.

REFER TO ARCHITECTURAL

PLANS FOR EXACT

BUILDING DIMENSIONS)

F.F.E. = 668.00

Du Ds1

Ds3 Ds3 Outcrop

771 BUCHANAN TRAIL EAST

LIMITS OF

DISTURBED AREA

HcB

1 ROAD (T-438)

ROCK

OUTCROP

SF

12. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL

- FOLLOWING SEQUENCE MUST BE APPROVED IN WRITING FROM THE FRANKLIN COUNTY CONSERVATION DISTRICT. 13. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER
- OWNER AND/OR OPERATORS SHALL CONTACT THE FRANKLIN COUNTY CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO THE REMOVAL/CONVERSION OF THE E&S BMP'S.
- PERMANENT PCSM BMPS, AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OPERATORS SHALL
- DISCHARGED AT THE SITE.

- 21. ENVIRONMENTAL DUE DILIGENCE MUST BE PERFORMED TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS, OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT

- 22. UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED 4 DAYS, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE EARTH DISTURBANCE
- 24. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE
- SEEDBED PREPARATION. COMPACTED SOILS SHOULD BE SCARIFIED 6 TO 12 INCHES ALONG CONTOUR WHENEVER POSSIBLE
- CONCENTRATED FLOWS, AND DISTURBED AREAS WITHIN 50' OF A SURFACE WATER.

MAINTENANCE PROGRAM NOTES:

PAST DEVELOPMENT NOTE THERE IS NO EVIDENCE OF PAST DEVELOPMENT ON THIS PARCEL OTHER THAN THE RECENT ACCESS ROADWAYS AND GRADING FOR THE OVERALL DEVELOPMENT.

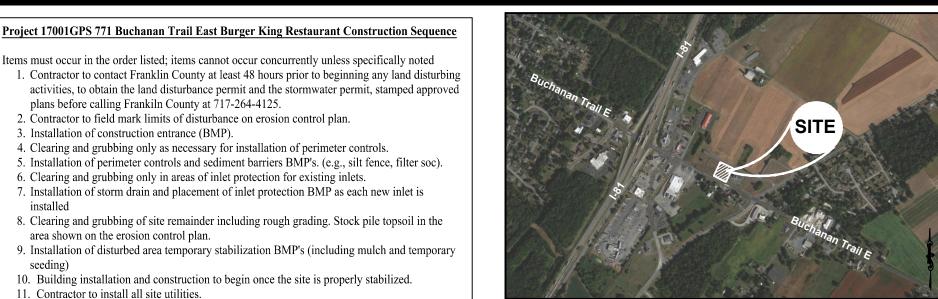
HAGERTOWN SOILS ARE PRONE TO SINKHOLES. CONTRACTOR SHALL COORDINATE WITH GEOTECHNICAL ENGINEER TO PREVENT SINKHOLES ON THIS PROJECT. SINKHOLE REPAIR MUST MEET FRANKLIN COUNTY STANDARDS AND BE CONDUCTED PER

GETOECHNICAL ENGINEER SPECIFICATIONS.

INTO THE CONSTRUCTION ENTRANCE AREA.

SILT FENCE ENDS SHALL BE TURNED UP-SLOPE AS WELL AS TIE

PENNSYLVANIA **ONE-CALL** 1-800-242-1776



LOCATION MAP

PROJECT NOTES:

tems must occur in the order listed; items cannot occur concurrently unless specifically noted

5. Installation of perimeter controls and sediment barriers BMP's. (e.g., silt fence, filter soc).

8. Clearing and grubbing of site remainder including rough grading. Stock pile topsoil in the

15. Removal of temporary sediment & erosion control structures after entire area draining to the

structure is finally stabilized (The project owner/operator should have theengineer approve

the removal of temporary structures. BMPs shall not be removed until at least 70% site

Note: Maintenance of sediment and erosion control measures must continue until the site is

7. Installation of storm drain and placement of inlet protection BMP as each new inlet is

10. Building installation and construction to begin once the site is properly stabilized.

plans before calling Frankiln County at 717-264-4125.

3. Installation of construction entrance (BMP).

area shown on the erosion control plan.

11. Contractor to install all site utilities.

13. Fine grading, paving, etc.

stabilization is achieved.)

TG 663.70

SF

SILT FENCE

- DISTURBED AREA

ACCESS EASEMENT - DRIVEWAY A

EXCEPTION #12 & #19 (SEE PG. 2)

– ŞETBACKS SHOWN PER

CURRENT ORDINANCE - NOT

-END SECTION OF SILT SOC NEEDS

TO BE TURNED UP SLOPE

PER SUBDIVISION PLAN

Chd=S 55°27'('" W

_Chd≝79.88⁴

Inv 659.36 ┌

SPRINGHOUSE CAR WASH LLC

DEED BOOK 08-005797

LOT 5 - PLAN BOOK 288-I, PAGE 557

ENTRANCE TO SR 0016

EXCEPTION #18

27' UTILITY RIGHT-OF-WAY

EXCEPTION #12 & #13

(SEE PG. 2)

— 66' RIGHT-OF-WAY

12. Dust control BMP on all disturbed areas

14. Disturbed area stabilization BMP with permanent vegetation.

6. Perform as-built surveys as required by Franklin County.

17. Contact Franklin County for Final inspection.

permanently stabilized and the controls are removed.

2. Contractor to field mark limits of disturbance on erosion control plan.

4. Clearing and grubbing only as necessary for installation of perimeter controls.

6. Clearing and grubbing only in areas of inlet protection for existing inlets.

OWNER / DEVELOPER: GPS Hospitality Partners II, LLC. 2100 Riveredge Parkway, Suite 850 Atlanta, GA 30328 Contact: Todd Jacksor Tel. (770) 738-8796

Todd.Jackson@GPSHospitality.com

ENGINEER Carter Engineering Consultants, Inc. 3651 Mars Hill Road, Suite 2000 Watkinsville, GA 30677

Contact: Jeff Carter, P.E.

Tel. (770) 725-1200

jeff@carterengineering.net Property located on lot 4 of the Greencastle Crossing subdivision, Buchanan Trail East, Antrim

Parcel No.: UPI 01 - 0A17.-158.-000000 Current Zoning: Highway Commercial

Township, Franklin County, Pennsylvania.

Front: 25' Rear: 25' Side: 12' Setbacks: Maximum Impervious

Restaurant with drive-thru Proposed use Proposed Building Height 0.79 acres (34,393 sf) Project Tract 0.79 acres Disturbed Area

Greencastle Area, Franklin County, Water Authority Water: Antrim Township Municipal Authority Sanitary: Electricity:

Proposed # of EDU's = 6 Boundary and topographic information obtained from field run survey by Warehaus dated: 01/31/2018 Phone: (717) 845 - 8383

The horizontal datum is Pennsylvania State Plane 83 South.

The vertical elevation is based on NAVD 1988 Contour interval is 1 foot

This property does not lie within any flood zone per F.E.M.A. Flood Insurance Rate Map for Antrim Township, Community NO. 421233, Panel 0440-E, effective January 18,2012.

The underground utilities shown hereon have been located from field information and existing drawings. The surveyor nor engineer warrants that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor nor engineer warrants that the underground utilities shown are in the exact location indicated. The surveyor nor engineer has physically located all the underground utilities.

It is the responsibility of the contractor to field locate all utilities prior to commencing work and notify engineer if a discrepancy is found.

The contractor shall verify the invert elevations of all existing storm and sanitary sewer structures prior to commencement of storm and sanitary sewer construction.

UNDERGROUND UTILTIES DISCLAIMER

Information regarding the reputed presence, size, character and location of existing underground utilities and structures related to underground utilities is shown heron. There is no certainty of the accuracy of this information and it shall be considered in that light by those using this drawing. The location and arrangement of underground utilities and structures related to underground utilities shown hereon may be inaccurate and utilities and structures related to underground utilities not shown may be encountered. The owner, his employees, his consultants and his contractors shall hereby distinctly understand that the surveyor is not responsible for the correctness or sufficiency of this information regarding the underground utilities and structures related to underground utilities shown hereon.

Erosion control measures shall be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment

Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding.

DESCRIPTION: Existing land is comprised of a vacant lot with a north easterly slope towards the intersection of two access roads within the Greencastle Subdivsion. The existing vegetation consists of a dense grass with no trees. The proposed project includes the construction of a Burger King Restaurant, approximately 2,800 SF, and accompanying

CRITICAL AREAS: There are no critical areas on site. All slopes steeper than 3:1 shall have erosion control matting installed.

EROSION CONTROL LEGEND

DISTURBED AREA STABILIZATION (WITH MULCHING ONLY) DISTURBED AREA STABILIZATION Ds2 (WITH TEMPORARY SEEDING) Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) Du DUST CONTROL ON DISTURBED AREAS

(SF) SILT FENCE

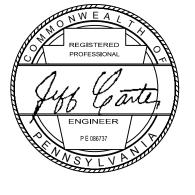
Co CONSTRUCTION EXIT

INLET PROTECTION

COMPOST FILTER SOCK

GRAPHIC SCALE SCALE 1" = 20'

- 0 8 4





Carter Engineering Consultants, Inc. 3651 Mars Hill Road, Suite 2000 Watkinsville, GA 30677

CONSULTANTS

F: 770.725.1204 www.carterengineering.net

> Plan ESTAURANT evelopment and Δ Ш URG Final

PROJECT NAME: **BURGER KING**

RESTAURANT

SHEET TITLE: **EROSION CONTROL PLAN**

SHEET NUMBER:

PROJECT NUMBER: 17001GPS

Ds1

may also be used as a temporary stabilization of some disturbed areas in non-germinating seasons. Rule of thumb: If you are seeing a lot of bare ground, there is not enough straw. (Caution: Too much straw can be as harmful as too little straw.)

Mulches should be applied at the rates shown in Table 11.6

Straw and hay mulch should be anchored or tackified immediately after application to prevent being windblown. A tractor-drawn implement may be used to "crimp" the straw or hav into the soil — about 3 inches. This method should be limited to slopes no steeper than 3H:1V. The machinery should be operated on the contour. Note: Crimping of hay or straw by running over it with tracked machinery is not recommended.

Polymeric and gum tackifiers mixed and applied according to manufacturer's recommendations may be used to tack mulch. Avoid application during rain and on windy days. A 24-hour curing period and a soil temperature higher than 45° F are typically required. Application should generally be heaviest at edges of seeded areas and at crests of ridges and banks to prevent loss by wind. The remainder of the area should have binder applied uniformly. Binders may be applied after mulch is spread or sprayed into the mulch as it is being blown onto the soil. Applying straw and binder together is generally more

Synthetic binders, or chemical binders, may be used as recommended by the manufacturer to anchor mulch provided sufficient documentation is provided to show they are non-toxic to native plant and animal species.

Mulch on slopes of 8% or steeper should be held in place with netting. Lightweight plastic, fiber, or paper nets may be stapled over the mulch according to manufacturer's recommendations.

Shredded paper hydromulch should not be used on slopes steeper than 5%. Wood fiber hydromulch may be applied on steeper slopes provided a tackifier is used. The application rate for any hydromulch should be 2,000 lb/acre at a minimum.

TABLE 11.6 Mulch Application Rates

Mulch Type	Per Acre	Per 1,000 sq. ft.	Per 1,000 sq. yd.	Notes		
Straw	3 tons	140 lb.	1,240 lb.	Either wheat or oat straw, free of weeds, not chopped or finely broken		
Hay	3 tons	140 lb.	1,240 lb.	Timothy, mixed clover and timothy or other native forage grasses		
Wood Chips	4 - 6 tons	185 - 275 lb.	1,650 - 2,500 lb.	May prevent germination of grasses and legumes		
Hydromulch	1 ton	47 lb.	415	See limitations above		

TEMPORARY AND PERMANENT VEGETATION SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 11 OF THE "PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL".

TEMPORARY GRASSING

TEMPORARY GRASSES SHALL CONSIST OF SOWING A QUICK GRASS SUCH AS RYE, BROWN TOP MILLET, OR GRASS SUITABLE TO THE AREA AND SEASON. LIME AND FERTILIZER WILL BE OMITTED. MULCH IS NOT REQUIRED BUT SHOULD BE USED AS DICTATED BY SITE CONDITIONS. TEMPORARY GRASSING IS REQUIRED WHEN DISTURBED AREA IS LEFT EXPOSED MORE THAN 14 DAYS.

SPECIES	RATE	PLANTING DATES
PERENNIAL RYEGRASS	40# / ACRE	APRIL - MAY,
		AUGUST - DECEMBER
BROWN MILLET	10-40# / ACRE	APRIL - JUNE
WEEPING LOVEGRASS	2-4# / ACRE	APRIL - JUNE
WHEAT	1/2-3BU / ACRE	SEPTEMBER - NOVEMBER
RYE	1/2-3BU / ACRE	AUGUST - DECEMBER

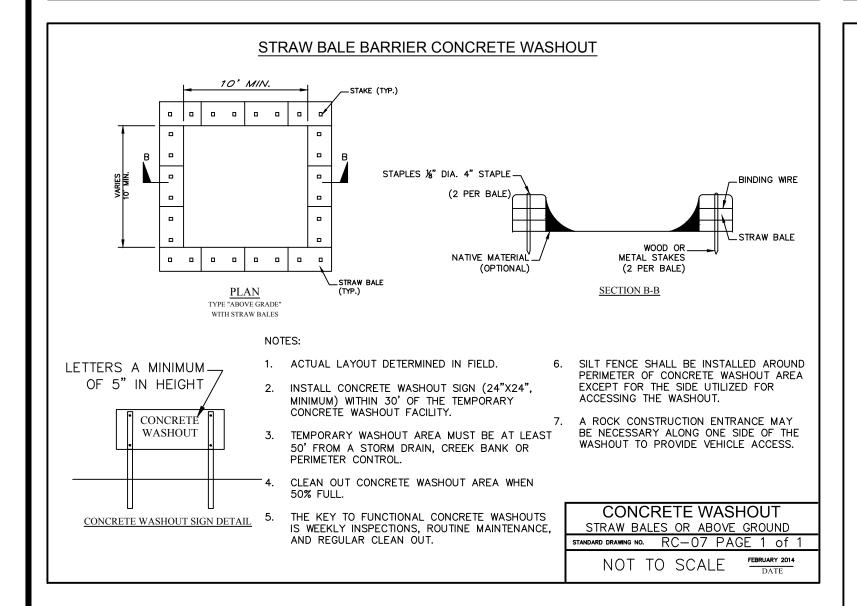
PERMANENT GRASSING

PERMANENT GRASSING SHALL CONSIST OF GROUND PREPARATION, LIMING, FERTILIZATION, MULCHING AND SEEDING. THE GROUND SHALL BE PREPARED BY PLOWING AND DISKING TO A DEPTH NOT LESS THAN 4". FERTILIZER AND LIME SHALL BE UNIFORMLY MIXED INTO THE GROUND, WITH 10-10-20 FERTILIZER AT THE RATE OF 1,000#/ACRE AND AGRICULTURAL LIME AT THE RATE OF 6 TONS/ACRE. THE GROUND SHALL BE FINISHED OFF SMOOTH AND UNIFORM AND BE FREE OF ROCKS CLODS ROOTS AND WEEDS FERTILIZER SHALL RE APPLIED PER THE TABLE RELOW. WEATHER PERMITTING, SEEDING SHALL RE DONE WITHIN 24 HOLIRS OF FERTILIZER APPLICATION. SEED SHALL BE UNIFORMLY SPREAD AT THE RATES SHOWN BELOW. MULICHING IS REQUIRED AND SHALL BE DONE IMMEDIATELY AFTER SEEDING. MULCH SHALL BE UNIFORMLY APPLIED OVER THE AREA LEAVING NO MORE THAN 25% OF THE GROUND SURFACE EXPOSED. THE RATE OF APPLICATION SHALL BE DOUBLED ON SLOPES STEEPER THAN 4:1.

SPECIES	RATE	PLANTING DATES
FINE FESCUE	35-40# / ACRE	MARCH - APRIL,
		SEPTEMBER - EARLY OCTOBER
PERENNIAL RYEGRASS	15-20# / ACRE	SEPTEMBER - EARLY OCTOBER

LIMING RATES

AGRICULTURAL LIME IS REQUIRED AT THE RATE OF ONE TO TWO TONS PER ACRE FOR TEMPORARY SEEDING APPLICATIONS AND 6 TONS PER ACRE FOR PERMANENT SEEDING APPLICATIONS, UNLESS SOIL TESTS INDICATE OTHERWISE. GRADED AREAS REQUIRE LIME APPLICATION. IF LIME IS APPLIED WITHIN SIX MONTHS OF PLANTING PERMANENT PERENNIAL VEGETATION, ADDITIONAL LIME IS NOT REQUIRED. AGRICULTURAL LIME SHALL BE WITHIN THE SPECIFICATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.



	F	ERTILIZER REQUIREMEN	TS	
TYPES OF SPECIES	YEAR	ANALYSIS OR EQUIVALENT N-P-K	RATE	N TOP DRESSING RATE
Cool season grasses	First Second Maintenance	6-12-12 6-12-12 10-10-10	1500 lbs./ac. 1000 lbs./ac. 400 lbs./ac.	50-100 lbs./ac/ 1/2/ - 30
Cool season grasses and legumes	First Second Maintenance	6-12-12 0-10-10 0-10-10	1500 lbs./ac. 1000 lbs./ac. 400 lbs./ac.	0-50 lbs./ac. 1/ - -
3. Ground Covers	First Second Maintenance	10-10-10 10-10-10 10-10-10	1300 lbs./ac. 3/ 1300 lbx./ac. 3/ 1100 lbx./ac.	- -
4. Shrub Lespedeza	First Maintenance	0-10-10 0-10-10	700 lbs./ac. 700 lbs./ac. 4/	-
5. Warm season grasses	First Second Maintenance	6-12-12 6-12-12 10-10-10	1500 lbs./ac. 800 lbs./ac. 400 lbs./ac.	50-100 lbs./ac. 2/ 6/ 50-100 lbs./ac. 2/ 30 lbs./ac.
Warm season grasses and legumes	First Second Maintenance	6-12-12 0-10-10 0-10-10	1500 lbs./ac. 1000 lbs./ac. 400 lbs./ac.	50 lbs./ac. 6/ Ds1_Ds2_Ds3.dwg

DUST CONTROL

Du

Table H.1 shows application rates for some common dust suppressants, as recommended by the Pennsylvania Dirt and Gravel Road Program. Refer to the website at www.dirtandgravelroads.org for updated information about approved products and application rates. NOTE: The Department does not endorse these or any other individual products.

Table H.1. Application Rates for Dust Suppressants

Product	Water Dilution	Type
	1:4 emulsion to water	
Penn Suppress "D"	(Minimum)	Petroleum Emulsion
	1:4 emulsion to water	
Ultrabond 2000	(Minimum)	Petroleum Emulsion
	1:10 emulsion to water	
Coherex	(Minimum)	Petroleum Emulsion
	1:10 emulsion to water	
Dust Bond	(Minimum)	Petroleum Emulsion
	100% active, not water	
EK 35	required for application	Synthetic Fluid
	100% active, not water	
EnviroKleen	required for application	Synthetic Fluid
	As-received	
Pave-Cyrl Suppress	(51% solids)	Acrylic Polymer (PVA)
Pave-Cyrl Suppress	As-received	
Plus	(51% solids)	Acrylic Polymer (PVA)
	As-received	
DirtGlue	(>51% solids)	Acrylic Polymer (PVA)

Other suppressants may be used as long as they have been shown to be environmentally safe and effective for the intended use. Table H.2 provides information regarding the types of suppressants commonly used.

Table H.2. Adhesives Used for Dust Control

Table That 7 tailed 1700 Cood for Date Continue										
Adhesive	Water Dilution (Adhesive: Water)	Type of Nozzle	Application Rate Gallons/Acre							
Anionic Asphalt Emulsion	7:1	Coarse Spray	1,200							
Latex Emulsion	12.5:1	Fine Spray	235							
Resin in Water	4:1	Fine Spray	300							
Acrylic Emulsion (Non-Traffic)	7:1	Coarse Spray	450							
Acrylic Emulsion		- Course opiny	100							
(Traffic)	3.5:1	Coarse Spray	350							

VA. DSWC

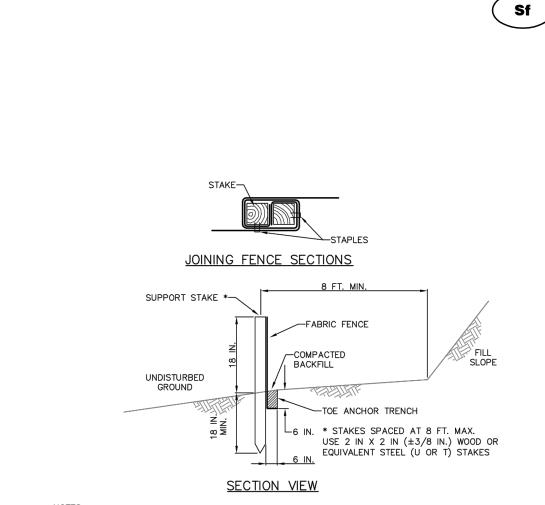
Ds2

Ds3

In areas where evaporation rates are high, water application to exposed soils may require near constant attention. If water is applied in excess, irrigation may create unwanted excess runoff from the site and possibly create conditions where vehicles could track mud onto public roads. Chemical applications should be used sparingly and only on mineral soils (not muck soils) because their misuse can create additional surface water pollution from runoff or contaminate ground water. Chemical applications might also present a health risk if excessive amounts are used.

Maintenance Considerations

Because dust controls are dependent on specific site and weather conditions, inspection and maintenance are unique for each site. Generally, however, dust control measures involving application of either water or chemicals require more monitoring than structural or vegetative controls to remain effective. If structural controls are used, they should be inspected for deterioration on a regular basis to ensure that they are still achieving their intended purpose.

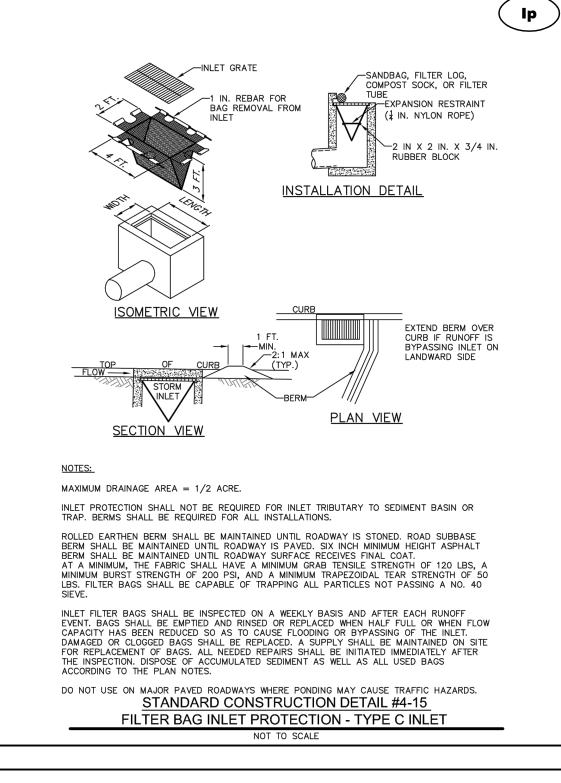


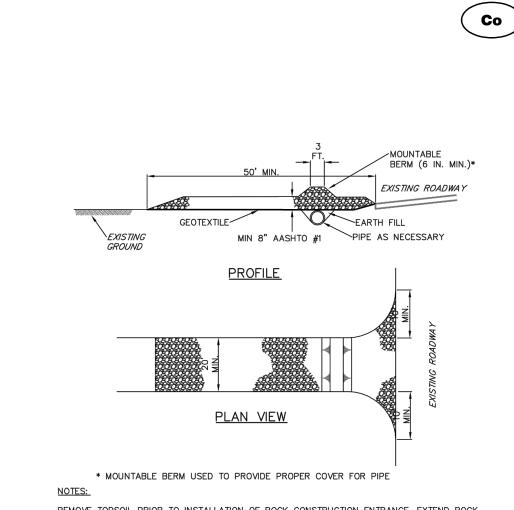
FABRIC SHALL HAVE THE MINIMUM PROPERTIES AS SHOWN IN TABLE 4.3 OF THE PA DEP EROSION FABRIC WIDTH SHALL BE 30 IN. MINIMUM. STAKES SHALL BE HARDWOOD OR EQUIVALENT STEEL (U

SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE FENCE SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH HALF THE ABOVE GROUND HEIGHT OF

ANY SECTION OF SILT FENCE WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET (STANDARD CONSTRUCTION DETAIL # 4-6). FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.

> STANDARD CONSTRUCTION DETAIL #4-7 STANDARD SILT FENCE (18" HIGH)



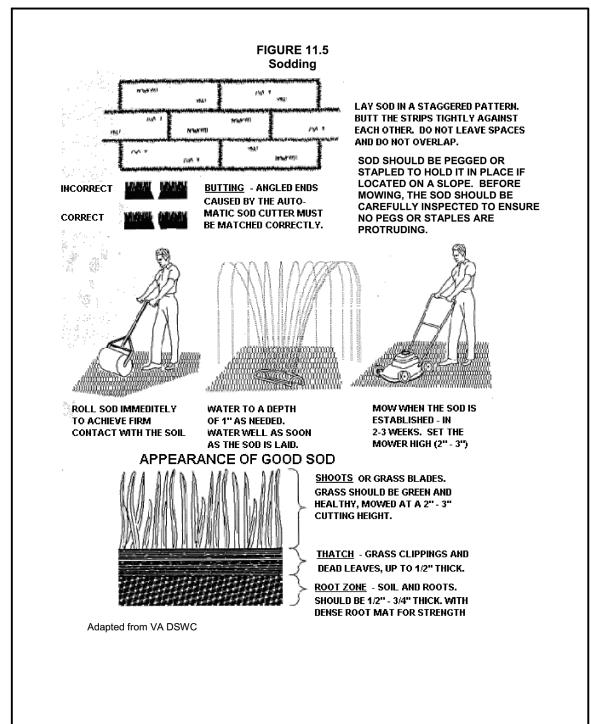


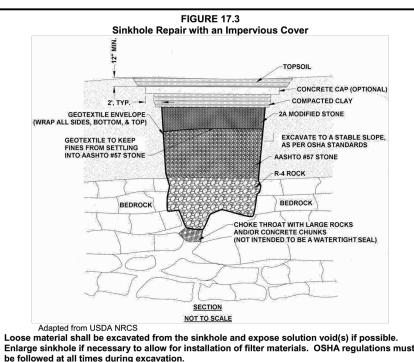
REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED. MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR

> STANDARD CONSTRUCTION DETAIL #3-1 ROCK CONSTRUCTION ENTRANCE

OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.





Geotextile shall be non-woven with a burst strength between 100 and 200 psi. Select field stone(s) about 1.5 times larger than solution void(s) to form "bridge." Place rock(s) so no large openings exist along the sides. Stones used for the "bridge" and filters shall have a moderately hard rock strength and be resistant to abrasion and degradation. Shale and similar

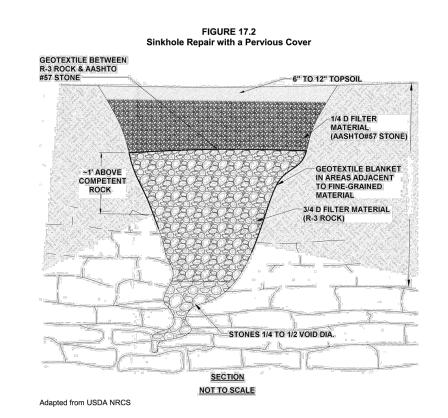
Minimum thickness of R-4 rock is 18." AASHTO #57 stone thickness shall be 1/4 to 1/2 that of the R-4 rock. Minimum thickness of 2A modified crushed stone shall be 9". AASHTO #57 stone and A modified crushed stone shall be compacted after each placement.

Compacted clay seal shall be a minimum of 12" thick. Clay shall be placed in 6" to 9" lifts and Concrete cap, which is optional, shall be a minimum of 8" thick. Use 4,000 psi concrete with 6"

Topsoil shall be a minimum of 12" thick. Grade for positive drainage away from sinkhole area.

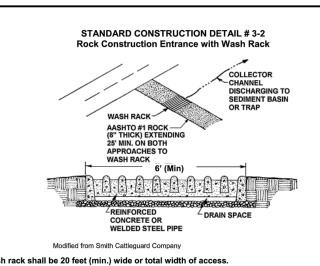
X 6" - 6 gauge welded wire fabric, or # 3 rebar on 18" O.C. both ways.

363-2134-008 / March 31, 2012 / Page 330



Loose material shall be excavated from the sinkhole and expose solution void(s) if possible. Enlarge sinkhole if necessary to allow for installation of filter materials. OSHA regulations must Stones used for the "bridge" and filters shall have a moderately hard rock strength and be resistant to abrasion and degradation. Shale and similar soft and/or non-durable rock are not

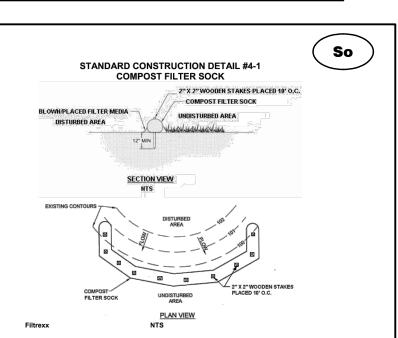
363-2134-008 / March 31, 2012 / Page 329



Wash rack shall be 20 feet (min.) wide or total width of access

A water supply shall be made available to wash the wheels of all vehicles exiting the site specified dimensions by adding rock. A stockpile of rock material shall be maintained on site for this purpose. Drain space under wash rack shall be kept open at all times. Damage to the roadways shall be removed and returned to the construction site immediately. Washing the roadway or sweeping the deposits into roadway ditches, sewers, culverts, or other drainage courses is not acceptable.

363-2134-008 / March 31, 2012 / Page 16

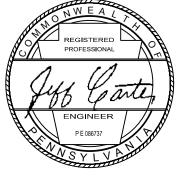


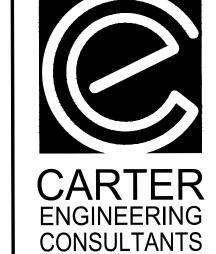
Sock fabric shall meet standards of Table 4.1. Compost shall meet the standards of Table 4.2. Compost filter sock shall be placed at existing level grade. Both ends of the sock shall be extended at least 8 feet up slope at 45 degrees to the main sock alignment (Figure 4.1). Maximum slope length above any sock shall not exceed that shown on Figure 4.2. Stakes may be installed immediately downslope of the sock if so specified by the manufacturer Traffic shall not be permitted to cross filter socks.

Accumulated sediment shall be removed when it reaches half the aboveground height of the sock and disposed in the manner described elsewhere in the plan. according to manufacturer's specifications or replaced within 24 hours of inspection. Biodegradable filter socks shall be replaced after 6 months; photodegradable socks after 1 year. Polypropylene socks shall be replaced according to manufacturer's recommendations. left in place and vegetated or removed. In the latter case, the mesh shall be cut open and the mulch spread as a soil supplement.

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- 0 8 4





3651 Mars Hill Road, Suite 2000 Watkinsville, GA 30677

F: 770.725.1204

www.carterengineering.net

Plan evelopment AU S 0 an Δ Ш (D inal

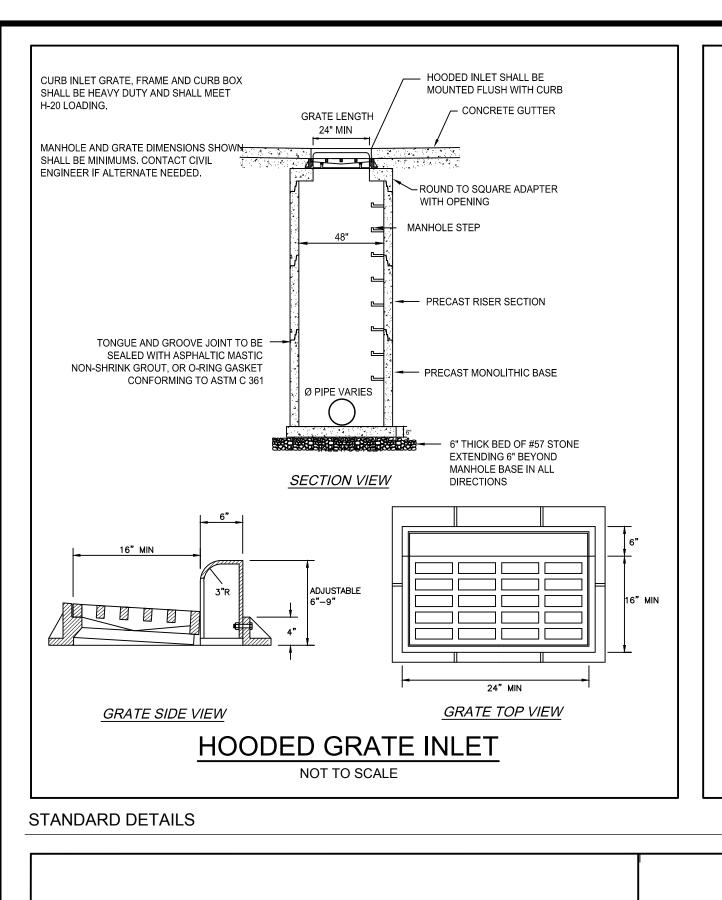
PROJECT NAME:

BURGER KING RESTAURANT

EROSION CONTROL DETAILS

SHEET NUMBER:

PROJECT NUMBER: 17001GPS



1200 GAL. CAPACITY

APRIL 21, 2008 ___/

GAS LINE SHALL HAVE INSULATED WRAPPING UP TO 6" ABOVE GRADE.

GAS METER AND REGULATOR

NOT TO SCALE

_4"X4" 4/4 W.W.F.¬

NOT TO SCALE

SECTION "A-A"

PRECAST UNITS ARE APPROVED FOR USE PER ABOVE DESIGN

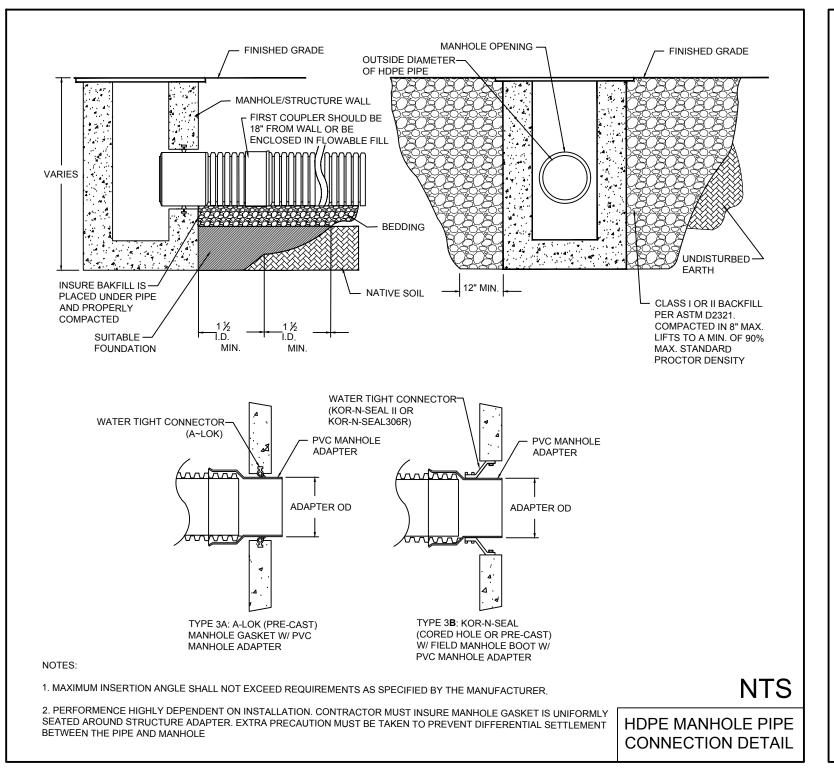
AND DIMENSIONS.

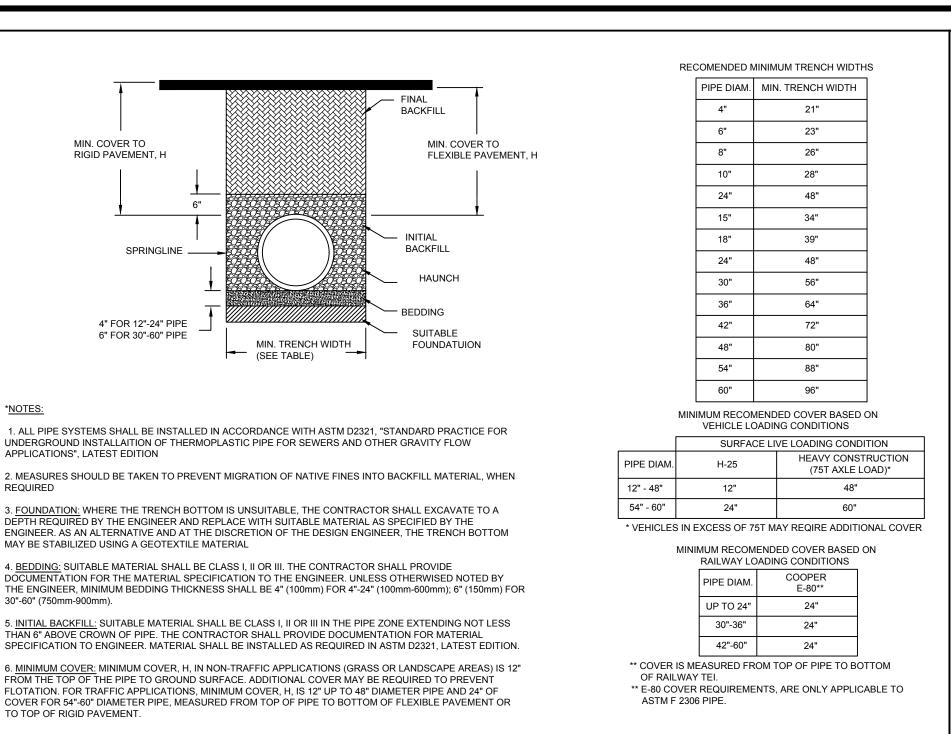
2. BITUMASTIC COATING ON BOTTOM AND ALL SIDES (EXTERIOR ONLY).

3. LOCAL STANDARD CODE SHALL APPLY IF REQUIREMENTS EXCEED THIS STANDARD DETAIL.

TYPICAL GREASE INTERCEPTOR

BURGER KING CORPORATION STANDARD DETAILS





CONTACT MANUFACTURER FOR LOOP PATTERNS AND SIZES.

PRE-FAB DETECTOR LOOP

FOR TECHNICAL ASSISTANCE AND PARTS CONTACT:

3M SOUND PRODUCT

HM ELECTRONICS, INC.

(800) 328-0033

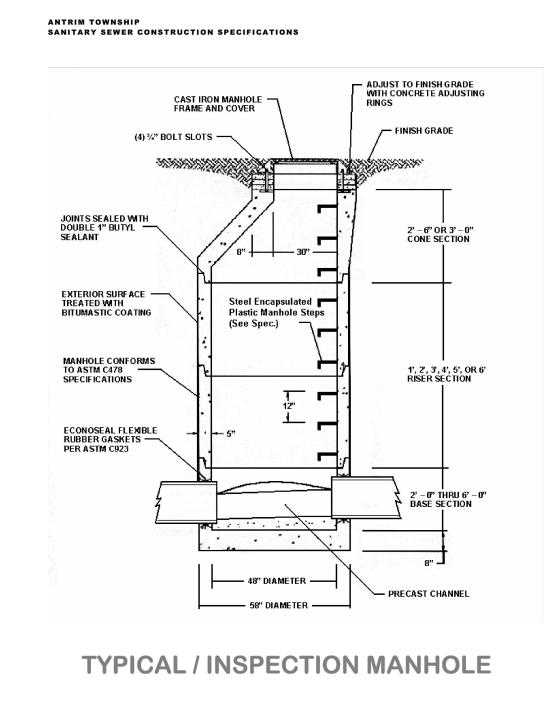
(800) 909-6604

. MITER CORNERS OF SAW CUT TO PREVENT SHARP TURNS WHICH COULD CUT THE WIRE INSULATION.

OCTOBER 26, 2010 30

DETECTOR LOOPS ARE REQUIRED AT DRIVETHRU ORDER CONFIRMATION UNIT AND AT

EACH DRIVETHRU WINDOW. REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.



FROM LOOP

1 1/2" TO 2"

SURFACE.

1/2" PVC CONDUIT FROM LOOP

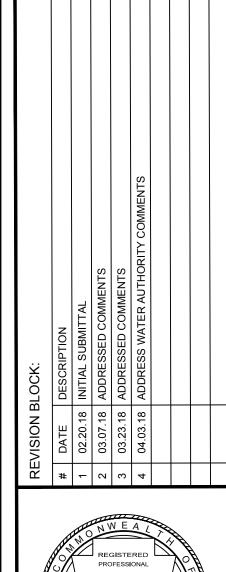
PROVIDED BY CONTRACTOR.

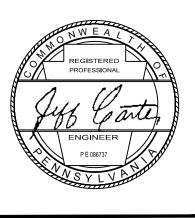
SIDE VIEW AT SPEAKER POST

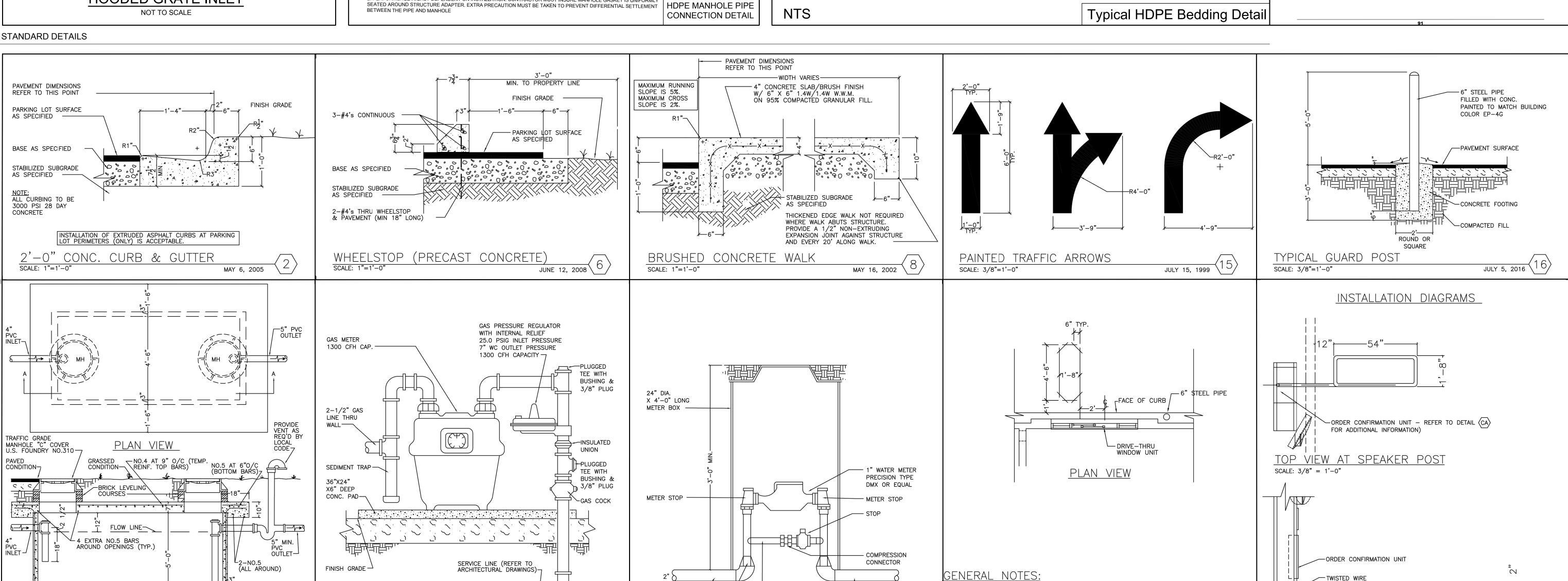
SCALE: 3/8" = 1'-0"

TO OUTSIDE MENU SIGN TO BE

BELOW DRIVEWAY







DOMESTIC SIZE METERS AND PLASTIC METER PITS SHALL BE PURCHASED THROUGH GREENCASTLE

AREA, FRANKLIN COUNTY, WATER AUTHORITY AND FINAL LOCATIONS WILL BE APPROVED BY

GREENCASTLE AREA, FRANKLIN COUNTY, WATER AUTHORITY AT THE TIME OF INSTALLATION.

- FROM MAIN

JUNE 12, 2008

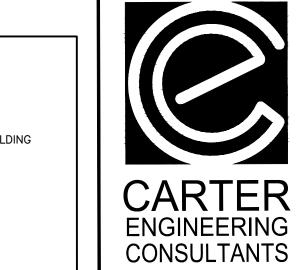
TO BUILDING -

3" REDUCER

NO SCALE

 $\frac{1}{\text{APRIL 21, 2008}} \left(24\right)$

WATER METER DETAIL



3651 Mars Hill Road, Suite 2000 Watkinsville, GA 30677 F: 770.725.1204

www.carterengineering.net

Plan ESTAURANT evelopment KING and BURGE

Final PROJECT NAME:

BURGER KING RESTAURANT

SHEET TITLE: STANDARD **DETAILS**

SHEET NUMBER:

/-EMBEDDED

DO NOT

DRIVEWAY

SURFACE.)

ÈXTEND ABOVE

SEALANT

∐1/4"

N.T.S.

DRIVEWAY

SURFACE —

BACKER ROD

LOOP WIRES

IN SAWCUT-⟨ ├-

PROJECT NUMBER: 17001GPS



Test Cock No. 3 ___

Relief Valve Assembly ___

requirements

Series 009 Reduced Pressure Zone Assemblies

Sizes: 1/4" - 2"

Series 009 Reduced Pressure Zone Assemblies are designed to protect potable water supplies in accordance with national plumbing codes and water authority requirements. This series is designed to protect drinking water supplies from dangerous cross-connections in accordance with national plumbing codes and water authority requirements for non-potable service applications such as irrigation, fireline, or industrial processing. This series features two in-line, independent check valves, captured springs and replaceable check seats with an intermediate relief valve. Its compact modular design facilitates easy maintenance and assembly access. Sizes ½" – 1" shutoffs have tee

Features

- Single access cover and modular check construction for ease of maintenance
- Top entry all internals immediately accessible
- Captured springs for safe maintenance
- Internal relief valve for reduced installation clearances
- Replaceable seats for economical repair
 Prograph add construction for durability 1/2".
- Bronze body construction for durability ½" 2"
 Ball valve test cocks screwdriver slotted ½" 2"
- Large body passages provides low pressure dropCompact, space saving design
- No special tools required for servicing

Specifications

A Reduced Pressure Zone Assembly shall be installed at each potential health hazard location to prevent backflow due to backsiphonage and/or backpressure. The assembly shall consist of an internal pressure differential relief valve located in a zone between two positive seating check modules with captured springs and silicone seat discs. Seats and seat discs shall be replaceable in both check modules and the relief valve. There shall be no threads or screws in the waterway exposed to line fluids. Service of all internal components shall be through a single access bronze cover secured with stainless steel bolts. The assembly shall also include two resilient seated isolation valves, four resilient seated test cocks and an air gap drain fitting. The assembly shall meet the requirements of: USC; ASSE Std. 1013; AWWA Std. C511-92; CSA B64.4. Shall be a Watts Series 009.

†Does not indicate approval status. Refer to Page 2 for approved sizes & models.

Watts product specifications in U.S. customary units and metric are approximate and are provided for reference only. For precise measurements, please contact Watts Technical Service. Watts reserves the right to change or modify product design, construction, specifications, or materials without prior notice and without incurring any obligation to make such changes and modifications on Watts products previously or subsequently sold.



Inquire with governing authorities for local installation

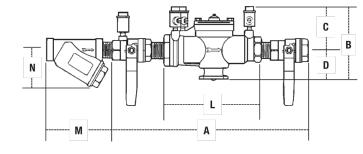
Now Available

WattsBox Insulated Enclosures.

For more information, send for literature ES-WB.

_Test Cock No. 4

Dimensions and Weight: 1/4" – 2" 009



009 1/4" - 2"

SIZE		DIMENSIONS (APPROX.)									S	TRAINER D	IMENSION	S	WEIG	HT
	A			В		С)	ı	_	M	l		N		
in.	in.	mm	in.	mm	in.	mm	in.	mm	in.	mm	in.	mm	in.	mm	lbs.	kgs.
1/4	10	250	45/8	117	33/8	86	11/4	32	5½	140	23/8	60	21/2	64	5	2
3/8	10	250	45/8	117	3%	86	11/4	32	5½	140	2%	60	21/2	64	5	2
1/2	10	250	45/8	117	3%	86	11/4	32	5½	140	23/4	70	21/4	57	5	2
3/4	10¾	273	5	127	31/2	89	11/2	38	63/4	171	33/16	81	23/4	70	6	3
1	141/2	368	5½	140	3	76	21/2	64	91/2	241	3¾	95	3	76	12	5
11/4	17¾	441	6	150	31/2	89	21/2	64	11%	289	4 ⁷ / ₁₆	113	31/2	89	15	6
1½	17 ⁷ /8	454	6	150	31/2	89	21/2	64	1111//8	283	4 ⁷ / ₈	124	4	102	16	7
2	21%	543	73/4	197	41/2	114	31/4	83	13½	343	5 ¹⁵ / ₁₆	151	5	127	30	13

REDUCED PRESSURE ZONE ASSEMBLY



WattsBox Insulated Enclosures

Specifications

Backflow prevention assemblies subjected to potential freezing conditions shall be protected with the WattsBox enclosure as shown. The enclosure shall be of reinforced aluminum construction, providing access through doors for testing/certification purposes. It must also be totally removable for maintenance purposes. The enclosure shall be structurally lined with a unicellular, non-wicking insulation consisting of a sandwich laminate or applied by spray. It shall contain a thermostatically controlled heat source mounted to the interior wall or on the backflow preventer to provide protection to -30°F. No wood or "particle board" shall be allowed in assembly. Insulation mounted with glue will be cause for rejection. Power source will be protected with a ground fault circuit interrupting receptacle, UL Standard 943, NEMA 3R, installed by others, inside the box.

The enclosure shall contain drain openings sized to accommodate the maximum discharge of the reduced pressure zone assembly. Drain openings shall open to discharge under the most severe conditions. These openings are protected against intrusion of either wind, debris or animal. The enclosure is provided with means of permanent anchor and "lockable" access doors and/or lid to prohibit theft or vandalism.

hibit theft or vandalism.

All "wet" portions of the backflow prevention assembly shall be protected within the enclosure. Fire department hose connections and OSY indicating valve handles shall be maintained outside the enclosure.

The enclosure shall be factory assembled and delivered to the site ready to install with no drilling, screwing or riveting of enclosure required on site. The enclosure and the backflow preventer shall be covered by a single warranty policy. Enclosure shall be a Watts

The information contained herein is not intended to replace the full product installation and safety information available or the experi-

ence of a trained product installer. You are required to thoroughly

read all installation instructions and product safety information

before beginning the installation of this product.

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WattsBox Aluminum Enclosure

Features

- Designed to eliminate valve vault entry requirements of OSHA confined Space Ruling 29CFR 1910.146.
 Single source Watts Regulator warranty of the enclosure, the backflow preventer, and the heat source.
- Allows for the installation of the backflow preventer "at the service connection" in accordance with AWWA Standards.
 Is specifically designed to meet NFPA guidelines.
- supply to the property's fire protection system. (NFPA 3-3.1.8 and 3.6.1.3.2).
 Strategically placed doors provide access to the backflow prevention assembly for testing and repair without removal of the

The enclosure provides freeze protection to maintain the water

- entire unit.An economical alternative to expensive retrofit installations.Eliminates potential drainage constraints in existing equipment
- Saves valuable floor space.
- Standardly furnished with thermostatically controlled heat source for freeze protection down to -30°F.
- Contains no structural wood or particle board for long life.
 Easy installation aluminum enclosures feature interlocking panels which eliminate the use of screws during assembly.
- Can be temporarily removed for replacement of the backflow preventer without the need for replacement of freeze protection services.
- ASSE 1060 Certified (Consult factory for approved models)

Watts product specifications in U.S. customary units and metric are approximate and are provided for reference only. For precise measurements, please contact Watts Technical Service. Watts reserves the right to change or modify product design, construction, specifications, or materials without prior notice and without incurring any obligation to make such changes and modifications on Watts products previously or subsequently sold.



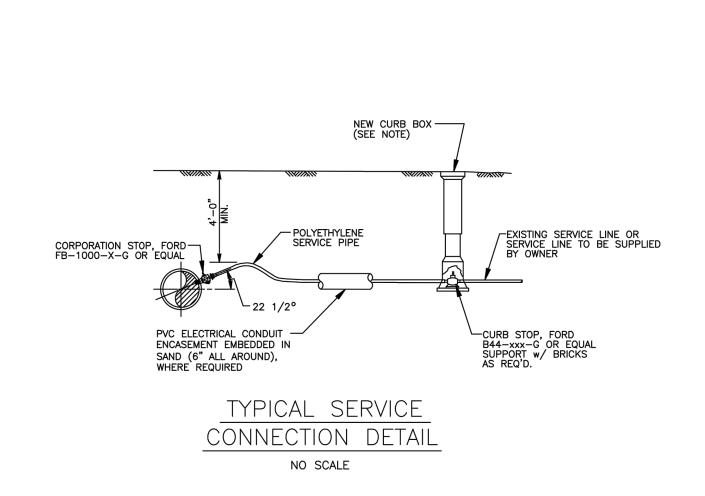
Dimension

NOTICE

(all enclosures are available less heat - contact factory or your local Watts representative for details)

FITS WATTS VALVES	WATTS MODEL #	DIMENSIONS 12" CLEARANCE LENGTH X WIDTH X HEIGHT	HEATERS	WEIGHT LBS.	MOUNTING Pad Size
Fiberglass					
Thru ¾"					
007/LF007, 009/LF009, 909/LF909, 719/LF719, 919/LF919	WB-75	19" x 11" x 22"	30W	30	28" x 20"
Thru 1"					
007/LF007, 009/LF009, 909/LF909, 719/LF719, 919/LF919	WB-1	27" x 13" x 23"	60W	40	36" x 22"
Thru 1½"					
007/LF007, 009/LF009, 909/LF909, 719/LF719, 919/LF919	WB-1.5	33" x 21" x 25"	60W	60	44" x 32"
Thru - 2"					
007/LF007, 009/LF009, 909/LF909, 719/LF719, 919/LF919	WB-2	39" x 13" x 28"	90W	55	50" x 24"
3/4" - 1"					
008/LF008, 800/LF800, 288/LF288, 289/LF289	WB-PVB1	18" x 9" x 18"	30W	25	19" x 27"
(Increases height by 6")	WB-PVB T1	18" x 9" x 24"	30W	28	19" x 27"
1¼" - 2"					
800 / 288	WB-PVB2	26" x 12" x 20"	60W	30	21" x 35"
	†				

HOT BOX ASSEMBLY



SERVICE CONNECTION

DATE AUGUST 2013

SKETCH NO. SK2

PORTION OF

SHEET NO.

GREENCASTLE AREA, FRANKLIN COUNTY,

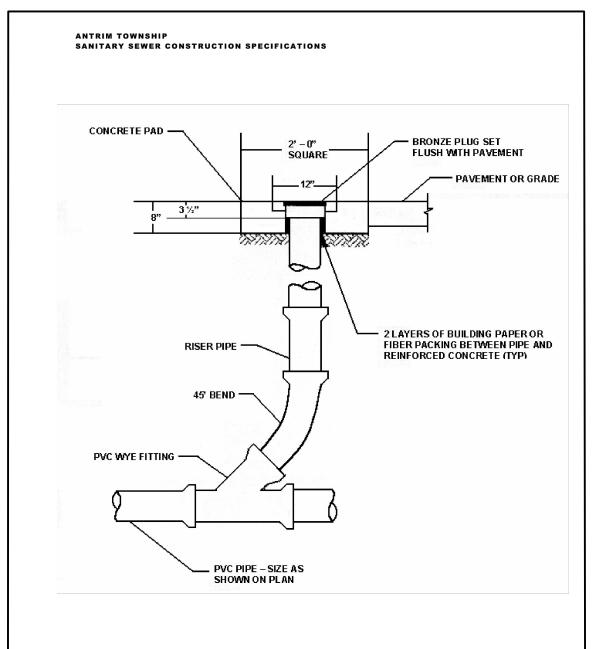
WATER AUTHORITY

GREENCASTLE, PENNSYLVANIA

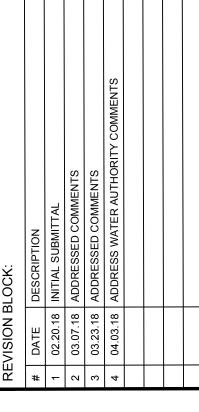
GENERAL SPECIFICATIONS

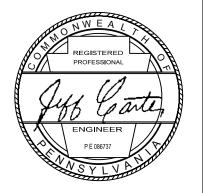
NOTE: CURB BOXES SHALL BE MANUFACTURED OF CAST IRON HOT COAT INSIDE AND OUT WITH TAR OR ASPHALT COMPOUND.

MCDONALD 5607 ARCH STYLE WITH 1-INCH BRASS PLUG AND STAINLESS STEEL ROD #5660 24 INCHES LONG.



GRAVITY SEWER IN-LINE CLEANOUT







ENGINEERING CONSULTANTS

Carter Engineering Consultants, Inc.

3651 Mars Hill Road, Suite 2000 Watkinsville, GA 30677

F: 770.725.1200 F: 770.725.1204 www.carterengineering.net

Final Land Development Plan for BURGER KING RESTAURANT

PROJECT NAME:

BURGER KING

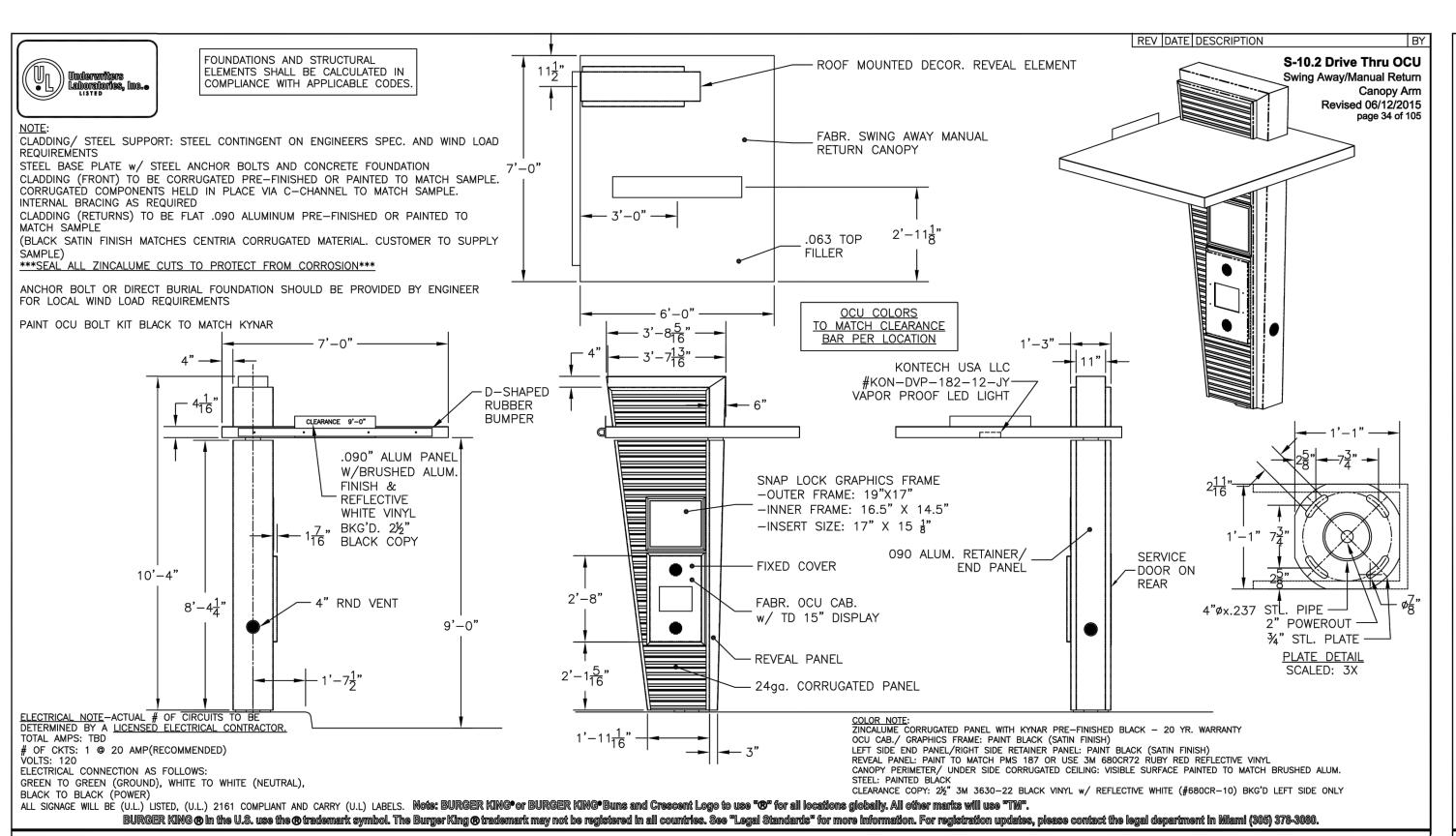
RESTAURANT

STANDARD DETAILS II

SHEET TITLE:

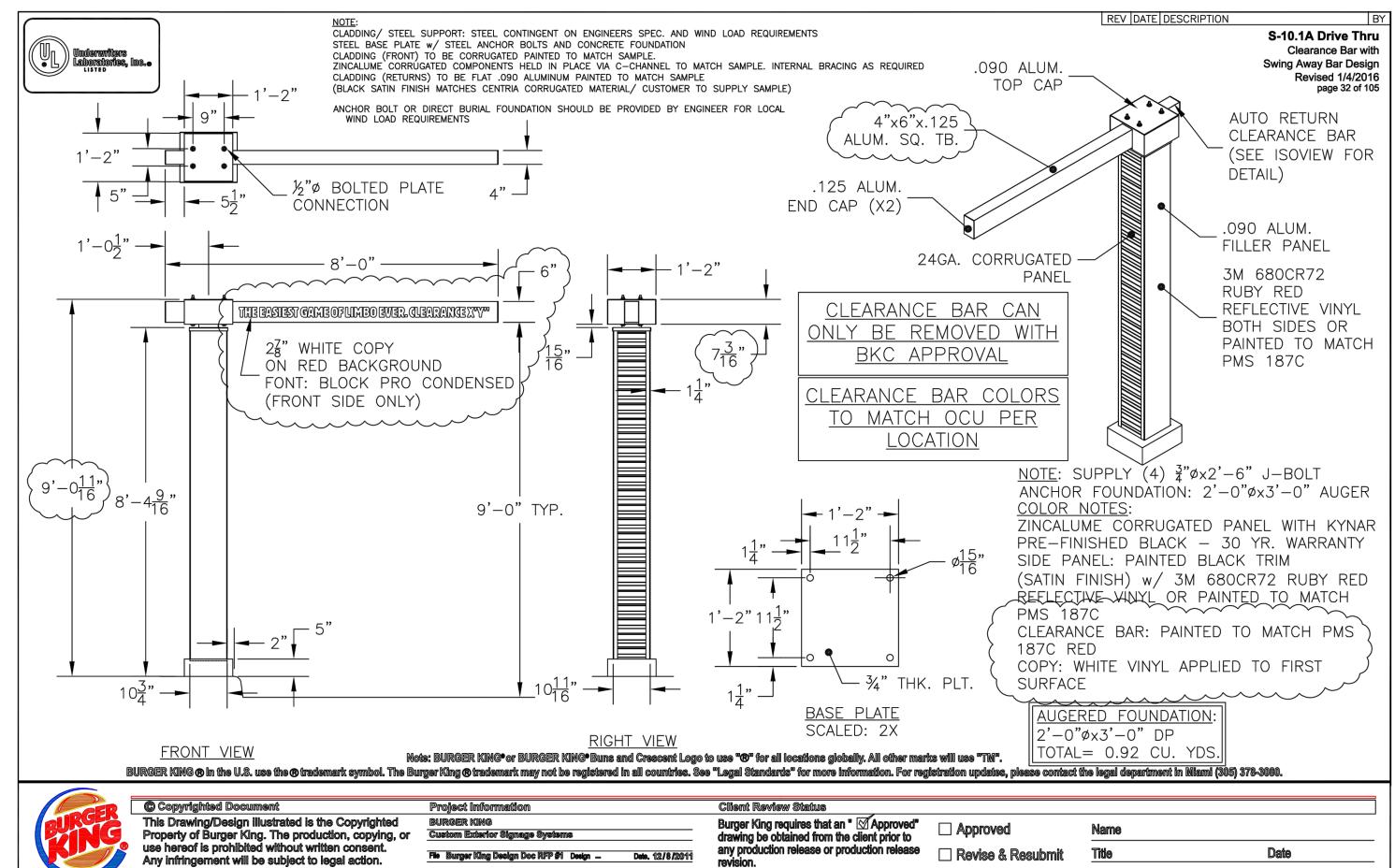
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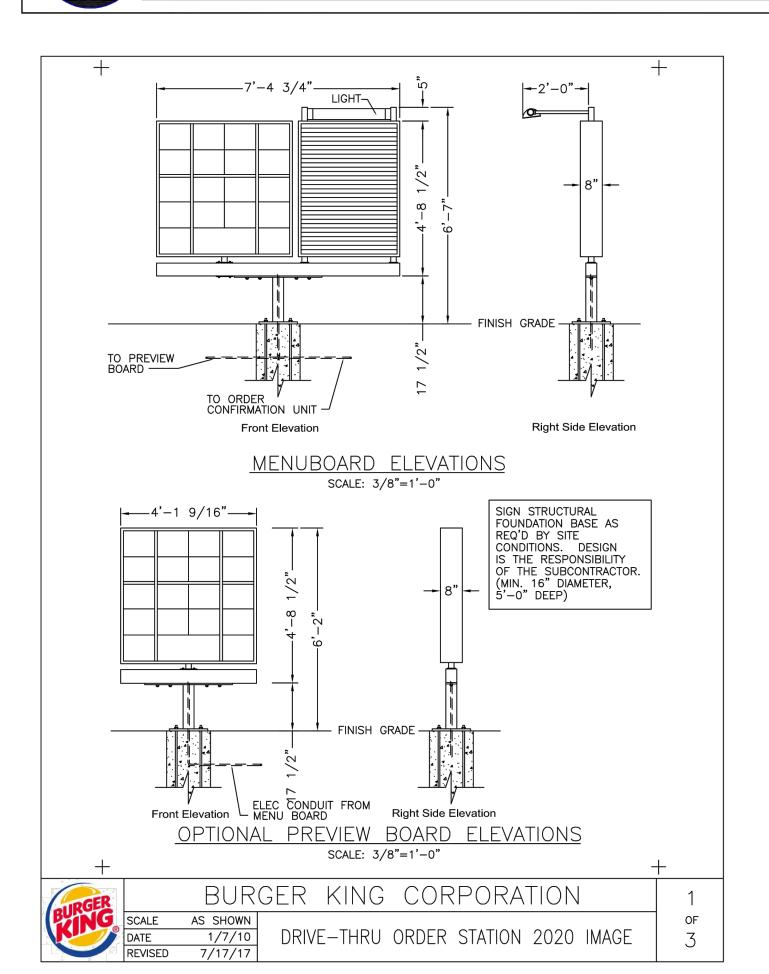
PROJECT NUMBER: 17001GPS



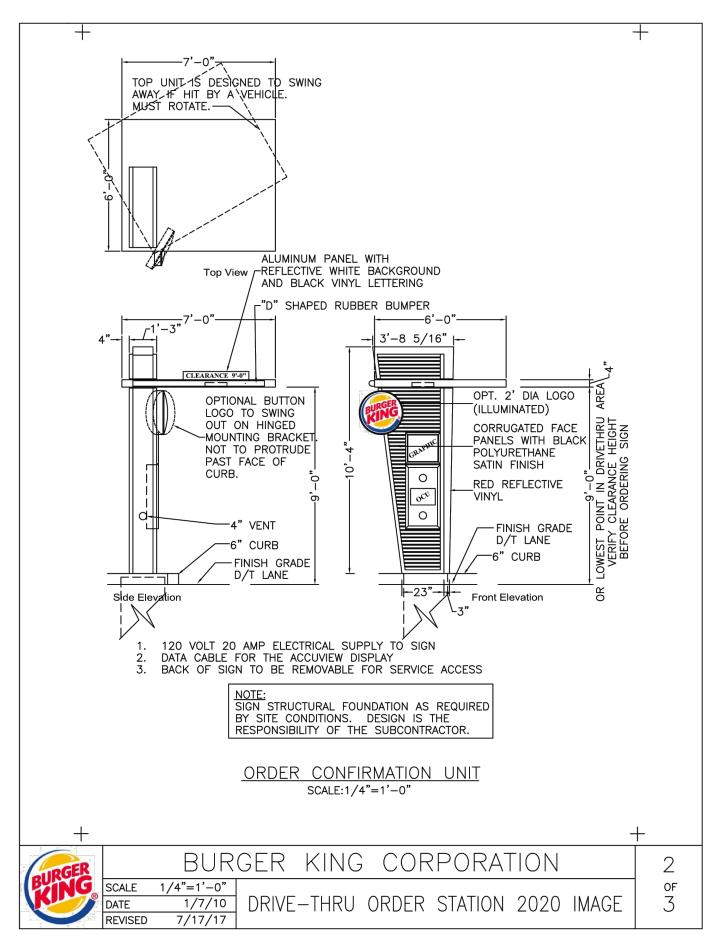
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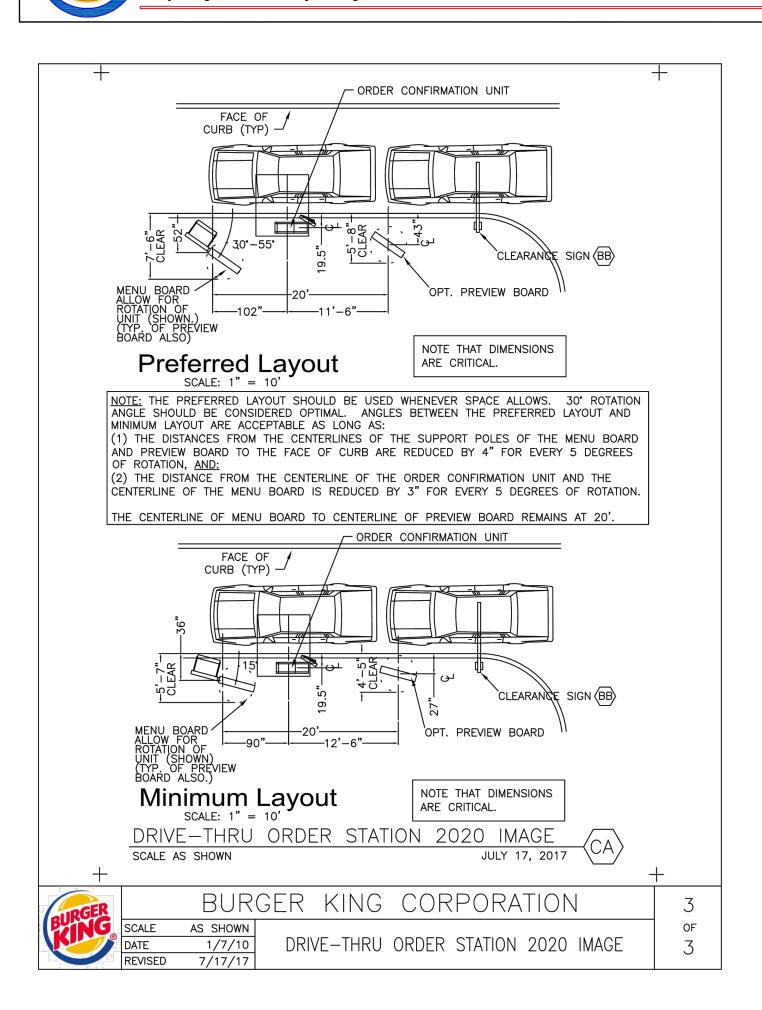
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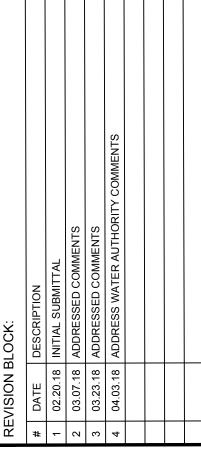


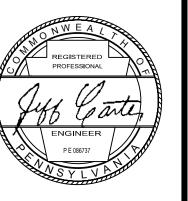


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F: 770.725.1204 www.carterengineering.net

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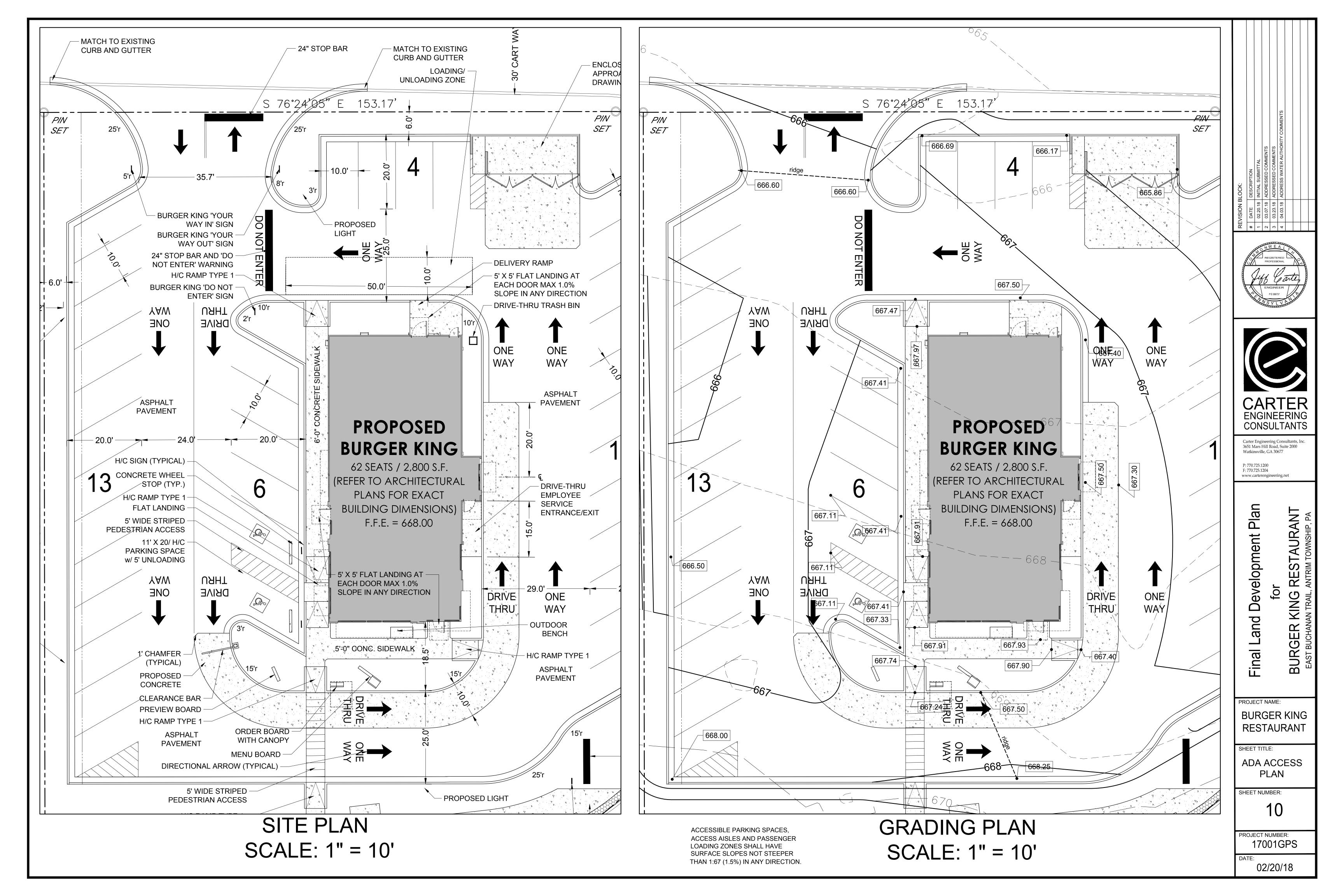
BURGER KING RESTAURANT

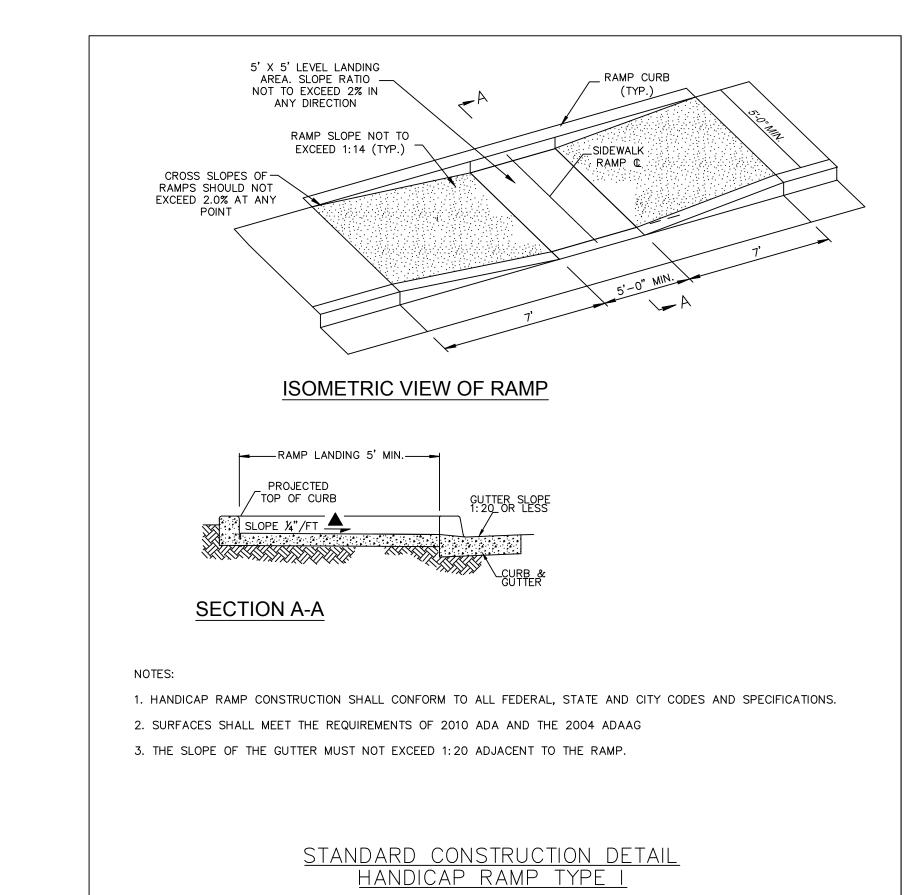
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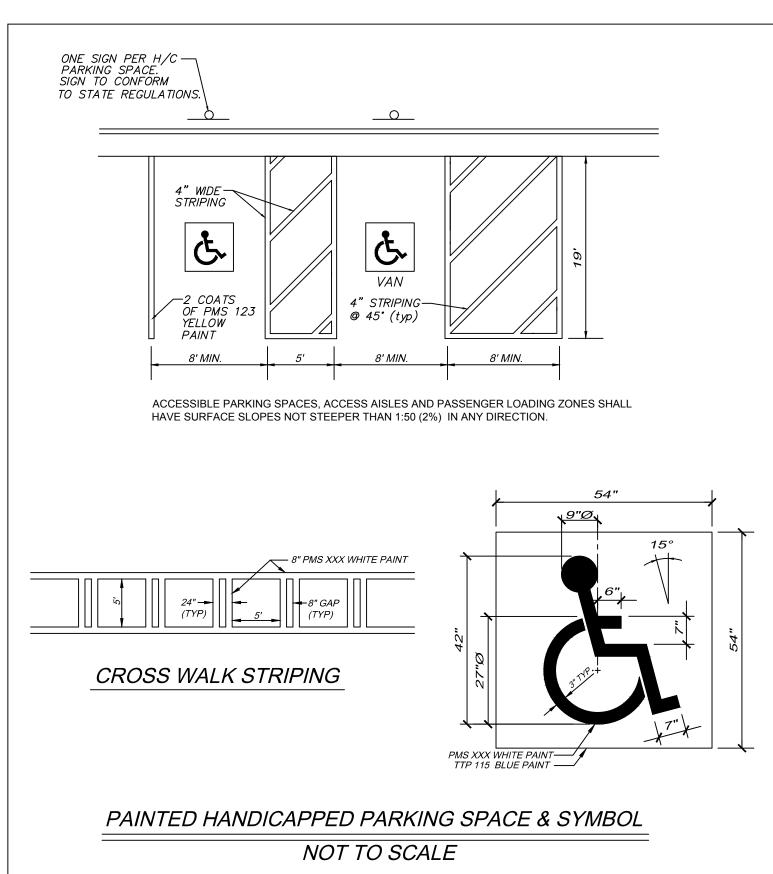
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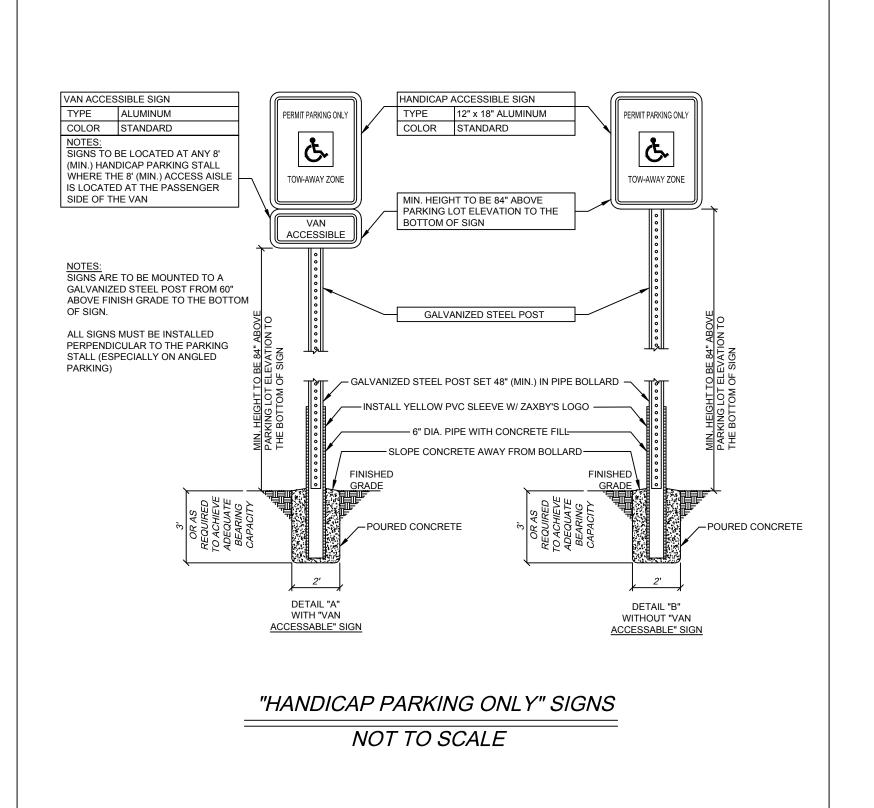
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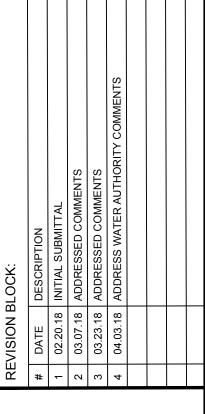
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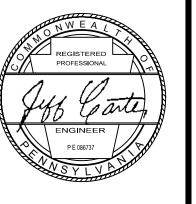














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P: 770.725.1200

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Final Land Development Plan for BURGER KING RESTAURANT EAST BUCHANAN TRAIL. ANTRIM TOWNSHIP. PA

PROJECT NAME:

BURGER KING

RESTAURANT

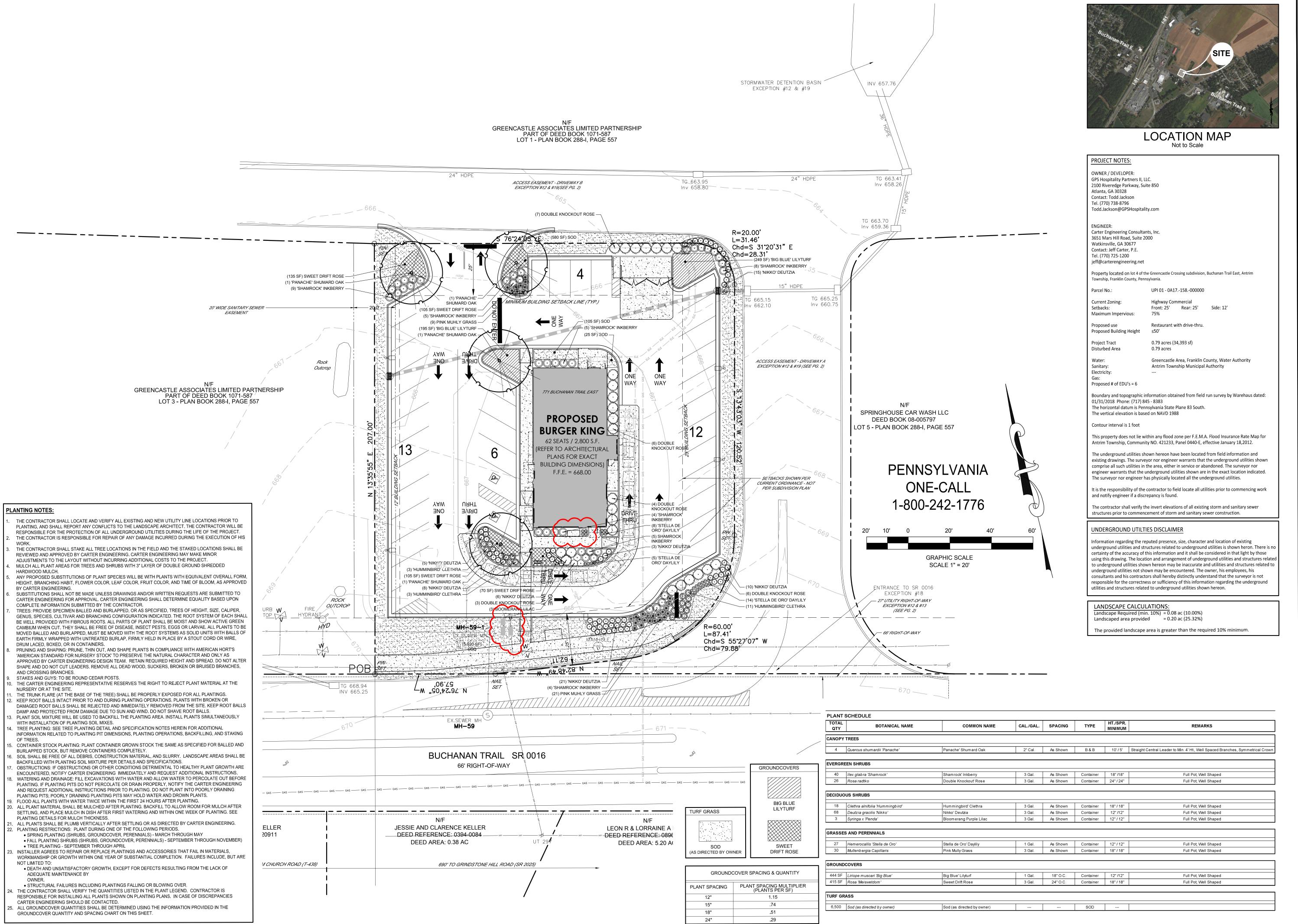
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PROJECT NUMBER: 17001GPS



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PROJECT NAME:

Final

BURGER KING RESTAURANT

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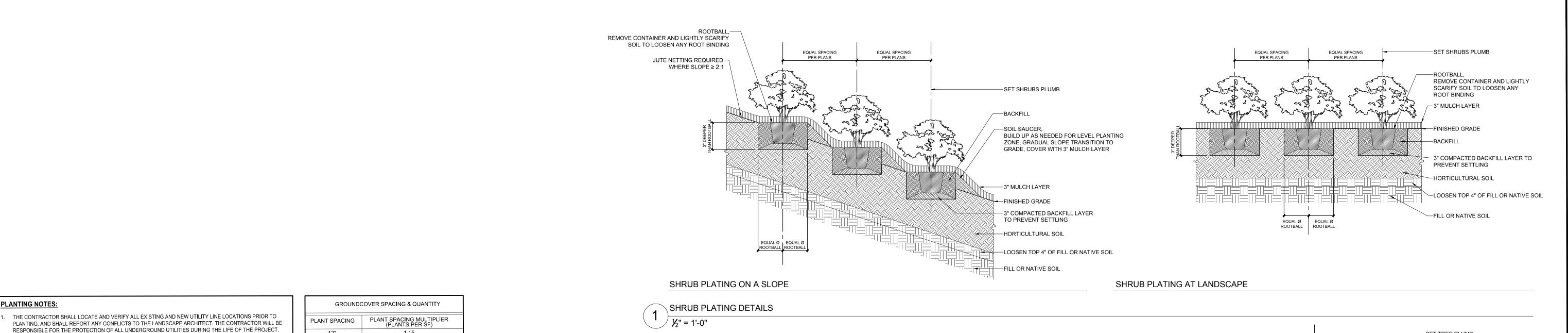
Plan

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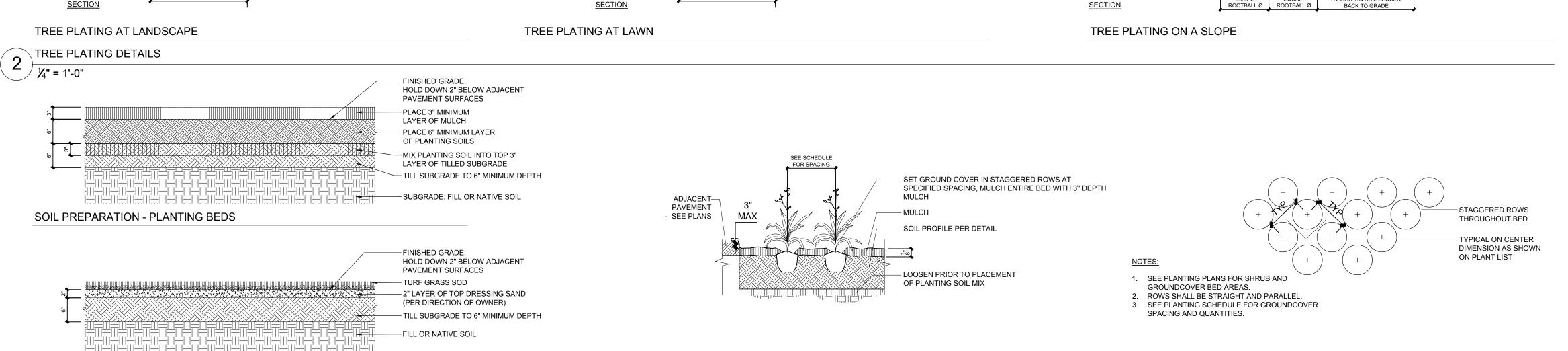
LANDSCAPE PLAN

SHEET NUMBER:

PROJECT NUMBER: 17001GPS



1.15 -SET TREE PLUMB -SET TREE PLUMB -(3) 2" SQ. x 3' WOOD STAKES, EQUAL -SET TREE PLUMB SPACING SET INSIDE SOIL SAUCER 1. 'DEEPROOT' PROTECTIVE ROOT ⊢SOIL SAUCER, COVER WITH MULCH BARRIER SHALL BE INSTALLED PER —(3) 2" SQ. x 3' WOOD STAKES, -(3) 2" SQ. x 3' WOOD STAKES, EQUAL MANUFACTURER SPECIFICANTION AT EQUAL SPACING (SET INSIDE SPACING (SET INSIDE SOIL SAUCER) ROOTBALL, SIZE VARIES WITH TREE CALIPER EDGE OF PAVEMENT IN ALL AREAS SOIL SAUCER) WHERE TREES ARE PLANTED 6' OR LESS -ROOTBALL, SIZE VARIES WITH FROM EXISTING OR NEW PAVEMENT TREE GUYING, -ROOTBALL AND MULCH RING, TREE CALIPER AND HARDSCAPE. 'ARBORTIE' BY 'DEEPROOT' OR SIZE VARIES WITH TREE CALIPER ROOT BARRIER SHALL BE PLACED APPROVED EQUAL SIZE AND STRENGTH TREE GUYING, CONTINOUS ALONG PAVEMENT AND TO MATCH SPECIFIED TREE ATTACH 'ARBORTIE' BY 'DEEPROOT' OR 1. DEEPROOT' PROTECTIVE ROOT HARDSCAPE WHERE TREE SPACING IS PER MANUFACTURER SPECIFICATIONS APPROVED EQUAL. SIZE AND STRENGTH TREE GUYING,'ARBORTIE' BY BARRIER SHALL BE INSTALLED PER TAPER SOIL SAUCER-LESS THAN OR EQUAL TO 20'. 'DEEPROOT' OR APPROVED EQUAL TO MATCH SPECIFIED TREE. ATTACH MANUFACTURER SPECIFICATION AT INTO FINISHED GRADE WHERE TREE SPACING IS GREATER PER MANUFACTURER SPECIFICATIONS SIZE AND STRENGTH TO MATCH EDGE OF PAVEMENT IN ALL AREAS THAN 20', ROOT BARRIER CAN BE SPECIFIED TREE ATTACH PER SOIL SAUCER, WHERE TREES ARE PLANTED 6' OR LESS PLACED IN 20' SEGMENTS AND MANUFACTURER SPECIFICATIONS GRADUAL SLOPE TRANSITION TO FROM EXISTING OR NEW PAVEMENT CENTERED ON THE TREE. GRADE COVER WITH 3" MULCH LAYER, —SOIL SAUCER, COVER WITH MULCH AND HARDSCAPE. PLANT PER PLANS ROOT BARRIER SHALL BE PLACED CONTINUOUS ALONG PAVEMENT AND HARDSCAPE WHERE TREE SPACING IS LESS THAN OR EQUAL TO 20'. 3. WHERE TREE SPACING IS GREATER THAN 20', ROOT BARRIER CAN BE PLACED IN 20' SEGMENTS AND CENTERED ON THE TREE. REMOVE EXCESS BURLAP WITHOUT— DISTURBING ROOTBALL, EXPOSE A MINIMUM HIGH SIDE OF FINISHED GRADE HORTICULTURAL SOIL-4" MULCH LAYER OVER-EXPOSED PORTION OF ROOTBALL REMOVE EXCESS BURLAP WITHOUT DISTURBING ROOTBALL, EXPOSE A HORTICULTURAL SOIL--LEVEL PLANTING ZONE, 2x ROOTBALL Ø MINIMUM TOP 2" OF ROOTBALL 18" ROOT BARRIER-3" MULCH LAYER~ BY 'DEEPROOT', UB-18-2, OR -REMOVE EXCESS BURLAP WITHOUT APPROVED EQUAL. DISTURBING ROOTBALL, EXPOSE A BUILD UP AS NEEDED FOR LEVEL PLANTING 18" ROOT BARRIER BY 'DEEPROOT',-PROVIDE ONLY WHERE —SOIL SAUCER, 6" MAXIMUM MINIMUM TOP 2" OF ROOTBALL ZONE, GRADUAL SLOPE TRANSITION TO UB-18-2, OR APPROVED EQUAL. PROVIDE REQUIRED (SEE NOTE) HEIGHT COVER WITH MULCH ONLY WHERE REQUIRED (SEE NOTE) GRADE, COVER WITH 3" MULCH LAYER TURF GRASS, HOLD BACK 18" AROUND TREE √3" MULCH LAYER ADJACENT HARDSCAPE /-—BACKFILL ADJACENT HARDSCAPE / PAVEMENT PAVEMENT —TURF SOIL PROFILE, SEE STANDARD DETAIL FINISHED GRADE -6" COMPACTED FILL LAYER TO —FINISHED GRADE PREVENT SETTLING -BACKFILL -JUTE NETTING REQUIRED -BACKFILL WHERE SLOPE ≥ 2:1 FINISHED GRADE -6" COMPACTED FILL LAYER —6" COMPACTED FILL LAYER TO TO PREVENT SETTLING HORTICULTURAL SOIL PREVENT SETTLING -LOOSEN FILL OR NATIVE SOIL LOOSEN FILL OR NATIVE SOIL,~ REMOVE IMPERVIOUS DEBRIS -LOOSEN FILL OR NATIVE SOIL, REMOVE IMPERVIOUS DEBRIS REMOVE IMPERVIOUS DEBRIS -FILL OR NATIVE SOIL FILL OR NATIVE SOIL ROOTBALL Ø ROOTBALL Ø ROOTBALL Ø -FILL OR NATIVE SOIL 6'-0" MINIMUM ROOT BARRIER REQUIRED ROOT BARRIER REQUIRED RANSITION SOIL SAUCER **SECTION** <u>SECTION</u> BACK TO GRADE



SOIL PREPARATION - TURF GRASS SOIL PREPARATION DETAILS

THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE INCURRED DURING THE EXECUTION OF HIS THE CONTRACTOR SHALL STAKE ALL TREE LOCATIONS IN THE FIELD AND THE STAKED LOCATIONS SHALL BE

ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES WILL BE WITH PLANTS WITH EQUIVALENT OVERALL FORM,

HEIGHT, BRANCHING HABIT, FLOWER COLOR, LEAF COLOR, FRUIT COLOR, AND TIME OF BLOOM, AS APPROVED

SUBSTITUTIONS SHALL NOT BE MADE UNLESS DRAWINGS AND/OR WRITTEN REQUESTS ARE SUBMITTED TO

CARTER ENGINEERING FOR APPROVAL. CARTER ENGINEERING SHALL DETERMINE EQUALITY BASED UPON

TREES: PROVIDE SPECIMEN BALLED AND BURLAPPED, OR AS SPECIFIED, TREES OF HEIGHT, SIZE, CALIPER,

GENUS, SPECIES, CULTIVAR AND BRANCHING CONFIGURATION INDICATED. THE ROOT SYSTEM OF EACH SHALL

BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS OF PLANT SHALL BE MOIST AND SHOW ACTIVE GREEN

CAMBIUM WHEN CUT. THEY SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE. ALL PLANTS TO BE

MOVED BALLED AND BURLAPPED, MUST BE MOVED WITH THE ROOT SYSTEMS AS SOLID UNITS WITH BALLS OF

APPROVED BY CARTER ENGINEERING DESIGN TEAM. RETAIN REQUIRED HEIGHT AND SPREAD. DO NOT ALTER

SHAPE AND DO NOT CUT LEADERS. REMOVE ALL DEAD WOOD, SUCKERS, BROKEN OR BRUISED BRANCHES,

THE CARTER ENGINEERING REPRESENTATIVE RESERVES THE RIGHT TO REJECT PLANT MATERIAL AT THE

DAMAGED ROOT BALLS SHALL BE REJECTED AND IMMEDIATELY REMOVED FROM THE SITE. KEEP ROOT BALLS

PLANT SOIL MIXTURE WILL BE USED TO BACKFILL THE PLANTING AREA. INSTALL PLANTS SIMULTANEOUSLY

INFORMATION RELATED TO PLANTING PIT DIMENSIONS, PLANTING OPERATIONS, BACKFILLING, AND STAKING

CONTAINER STOCK PLANTING: PLANT CONTAINER GROWN STOCK THE SAME AS SPECIFIED FOR BALLED AND

SOIL SHALL BE FREE OF ALL DEBRIS, CONSTRUCTION MATERIAL, AND SLURRY. LANDSCAPE AREAS SHALL BE

OBSTRUCTIONS: IF OBSTRUCTIONS OR OTHER CONDITIONS DETRIMENTAL TO HEALTHY PLANT GROWTH ARE

WATERING AND DRAINAGE: FILL EXCAVATIONS WITH WATER AND ALLOW WATER TO PERCOLATE OUT BEFORE

PLANTING. IF PLANTING PITS DO NOT PERCOLATE OR DRAIN PROPERLY, NOTIFY THE CARTER ENGINEERING

ALL PLANT MATERIAL SHALL BE MULCHED AFTER PLANTING. BACKFILL TO ALLOW ROOM FOR MULCH AFTER SETTLING, AND PLACE MULCH IN DISH AFTER FIRST WATERING AND WITHIN ONE WEEK OF PLANTING. SEE

ALL PLANTS SHALL BE PLUMB VERTICALLY AFTER SETTLING OR AS DIRECTED BY CARTER ENGINEERING.

INSTALLER AGREES TO REPAIR OR REPLACE PLANTINGS AND ACCESSORIES THAT FAIL IN MATERIALS,

• DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM THE LACK OF

RESPONSIBLE FOR INSTALLING ALL PLANTS SHOWN ON PLANTING PLANS. IN CASE OF DISCREPANCIES

ALL GROUNDCOVER QUANTITIES SHALL BE DETERMINED USING THE INFORMATION PROVIDED IN THE

THE CONTRACTOR SHALL VERIFY THE QUANTITIES LISTED IN THE PLANT LEGEND. CONTRACTOR IS

• FALL PLANTING SHRUBS (SHRUBS, GROUNDCOVER, PERENNIALS) - SEPTEMBER THROUGH NOVEMBER)

WORKMANSHIP OR GROWTH WITHIN ONE YEAR OF SUBSTANTIAL COMPLETION. FAILURES INCLUDE, BUT ARE

ENCOUNTERED, NOTIFY CARTER ENGINEERING IMMEDIATELY AND REQUEST ADDITIONAL INSTRUCTIONS.

AND REQUEST ADDITIONAL INSTRUCTIONS PRIOR TO PLANTING. DO NOT PLANT INTO POORLY DRAINING

PLANTING PITS; POORLY DRAINING PLANTING PITS MAY HOLD WATER AND DROWN PLANTS.

• SPRING PLANTING (SHRUBS, GROUNDCOVER, PERENNIALS) - MARCH THROUGH MAY

FLOOD ALL PLANTS WITH WATER TWICE WITHIN THE FIRST 24 HOURS AFTER PLANTING.

THE TRUNK FLARE (AT THE BASE OF THE TREE) SHALL BE PROPERLY EXPOSED FOR ALL PLANTINGS.

TREE PLANTING: SEE TREE PLANTING DETAIL AND SPECIFICATION NOTES HEREIN FOR ADDITIONAL

DAMP AND PROTECTED FROM DAMAGE DUE TO SUN AND WIND. DO NOT SHAVE ROOT BALLS.

KEEP ROOT BALLS INTACT PRIOR TO AND DURING PLANTING OPERATIONS. PLANTS WITH BROKEN OR

EARTH FIRMLY WRAPPED WITH UNTREATED BURLAP, FIRMLY HELD IN PLACE BY A STOUT CORD OR WIRE,

PRUNING AND SHAPING: PRUNE, THIN OUT, AND SHAPE PLANTS IN COMPLIANCE WITH AMERICAN HORT'S

'AMERICAN STANDARD FOR NURSERY STOCK' TO PRESERVE THE NATURAL CHARACTER AND ONLY AS

REVIEWED AND APPROVED BY CARTER ENGINEERING. CARTER ENGINEERING MAY MAKE MINOR

ADJUSTMENTS TO THE LAYOUT WITHOUT INCURRING ADDITIONAL COSTS TO THE PROJECT. MULCH ALL PLANT AREAS FOR TREES AND SHRUBS WITH 3" LAYER OF DOUBLE GROUND SHREDDED

COMPLETE INFORMATION SUBMITTED BY THE CONTRACTOR.

DRUM LACED, BOXED, OR IN CONTAINERS.

STAKES AND GUYS: TO BE ROUND CEDAR POSTS.

WITH INSTALLATION OF PLANTING SOIL MIXES.

PLANTING DETAILS FOR MULCH THICKNESS.

ADEQUATE MAINTENANCE BY

CARTER ENGINEERING SHOULD BE CONTACTED.

GROUNDCOVER QUANTITY AND SPACING CHART ON THIS SHEET.

TREE PLANTING - SEPTEMBER THROUGH APRIL

BURLAPPED STOCK, BUT REMOVE CONTAINERS COMPLETED

BACKFILLED WITH PLANTING SOIL MIXTURE PER DETAILS AND SPECIFICATIONS.

PLANTING RESTRICTIONS: PLANT DURING ONE OF THE FOLLOWING PERIODS.

• STRUCTURAL FAILURES INCLUDING PLANTINGS FALLING OR BLOWING OVER.

AND CROSSING BRANCHES

NURSERY OR AT THE SITE.

OF TREES.

HARDWOOD MULCH.

02/20/18

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3651 Mars Hill Road, Suite 2000 Watkinsville, GA 30677

F: 770.725.1204 www.carterengineering.net

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PROJECT NAME: **BURGER KING**

RESTAURANT

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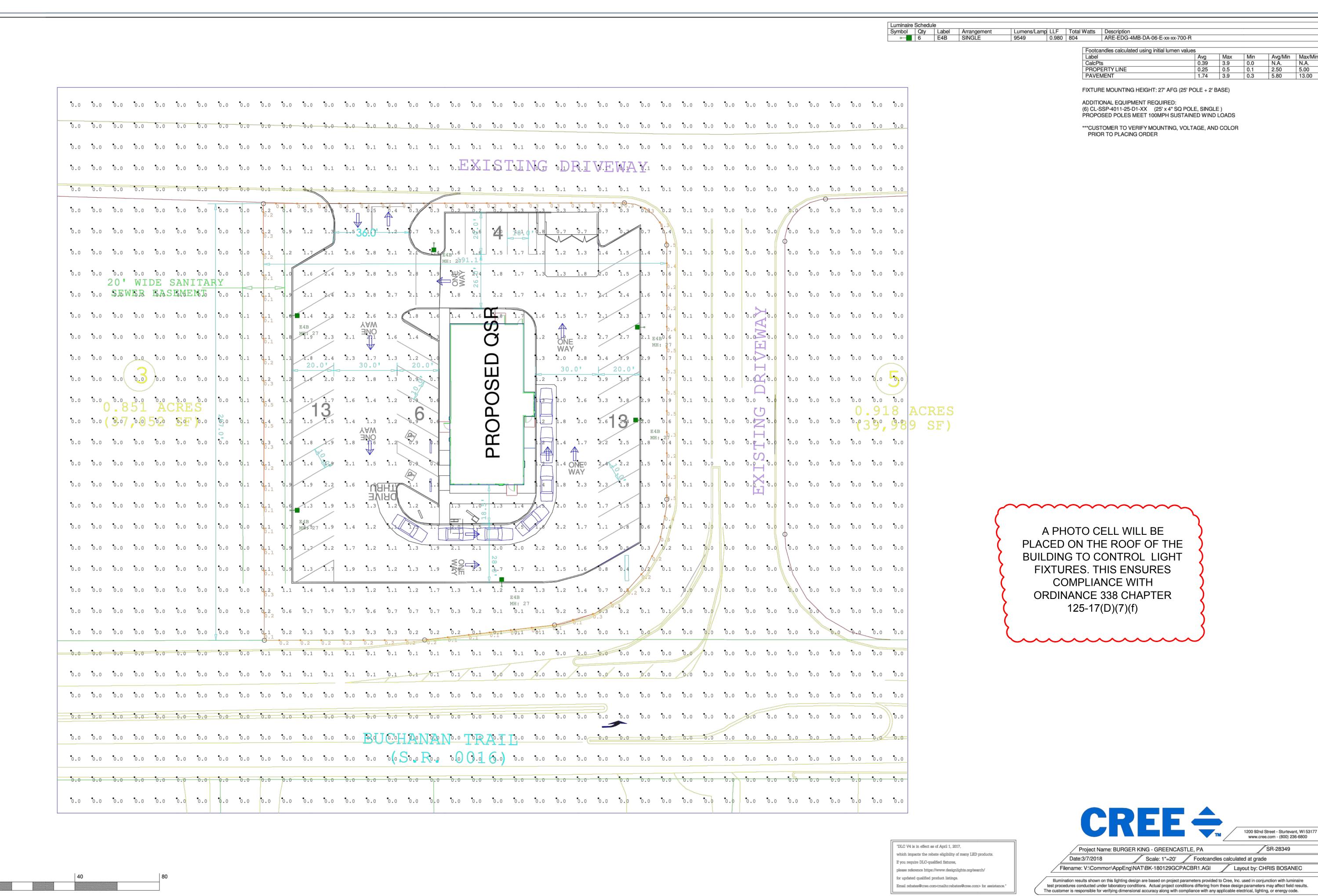
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LANDSCAPE **DETAILS**

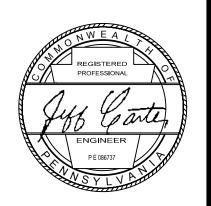
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17001GPS

PROJECT NUMBER:



DESCRIPTION
NITIAL SUBMITTAL
ADDRESSED COMMENTS
ADDRESS WATER AUTHORITY COMMENTS



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Carter Engineering Consultants, 3651 Mars Hill Road, Suite 2000 Watkinsville, GA 30677

F: 770.725.1200 F: 770.725.1204 www.carterengineering.net

and Development Plan for ER KING RESTAURANT

Final Land D BURGER KIN

PROJECT NAME:

BURGER KII

BURGER KING RESTAURANT

SHEET TITLE

OUTDOOR LIGHTING PLAN

SHEET NUMBER:

14

PROJECT NUMBER: 17001GPS

TE: 02/20/18