

# ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	FD	FLOOR DRAIN	OD	OUTSIDE DIAMETER	UON	UNLESS OTHERWISE NOTED
ACT	ACOUSTICAL CEILING TILE	FIN	FINISH	OPNG	OPENING	UR	URINAL
APP	APPROXIMATE	FLR	FLOOR	OPP	OPPOSITE	VCT	VINYL COMPOSITION TILE
ARCH	ARCHITECT	FT	FEET	OH	OPPOSITE HAND	VERT	VERTICAL
AWT	ACOUSTICAL WALL TREATMENT	FD	FLOOR DRAIN	OTO	OUT TO OUT	VT	VINYL TILE
BLKG	BLOCKING	FE	FIRE EXTINGUISHER	PLAS	LAM PLASTIC LAMINATE	W/	WITH
B.O.	BOTTOM OF	FEC	FIRE EXTINGUISHER CABINET	PLWD	PLYWOOD	W/O	WITHOUT
BOT	BOTTOM			PS	PROJECTION SCREEN	WB	WOOD BASE
CAB	CABINET	GA	GAUGE	QT	QUARRY TILE	WC	WATER CLOSET
CAR	CARPET	GB	GRAB BAR	R	RISER	WD	WOOD
CJ	CONTROL JOINT	GWB	GYPSPUM WALLBOARD	RA	RETURN AIR	WH	WATER HEATER
CL	CENTER LINE	HDWR	HARDWARE	RB	RESILIENT BASE	WP	WORKING POINT
CMU	CONCRETE MASONRY UNIT	HM	HOLLOW METAL	REF	REFERENCE		
COL	COLUMN	HORIZ	HORIZONTAL	REFR	REFRIGERATOR		
CONC	CONCRETE	HVAC	HEATING, VENTILATING, AIR COND.	REQD	REQUIRED		
CONST	CONSTRUCTION	HW	HOT WATER	RO	ROUGH OPENING		
CONT	CONTINUOUS						
CT	CERAMIC TILE	JST	JOIST	SA	SUPPLY AIR		
CW	COLD WATER	JT	JOINT	SCHED	SCHEDULE		
DET	DETAIL	KIT	KITCHEN	SEC	SECTION		
DF	DRINKING FOUNTAIN	LAM	LAMINATE	SIM	SIMILAR		
DIM	DIMENSION	LAV	LAVATORY	SIM	SIMILAR		
DRWGS	DRAWINGS	LLH	LONG LEG HORIZONTAL	SPECS	SPECIFICATIONS		
		LLV	LONG LEG VERTICAL	SF	SQUARE FOOT		
EA	EACH	LLV	LONG LEG VERTICAL	SA	SUPPLY AIR		
EC	EXPOSED CEILING	MAS	MASONRY	SS	STAINLESS STEEL		
EJ	EXPANSION JOINT	MAX	MAXIMUM	STD	STANDARD		
EIFS	EXTERIOR INSU. FINISH SYSTEM	MB	MARKER BOARD	STL	STEEL		
EL	ELEVATION	MECH	MECHANICAL	SUSP	SUSPENDED		
EL	ELEVATION	MEZZ	MEZZANINE	TB	TACK BOARD		
ENG	ENGINEER	MFR	MANUFACTURER	TEL	TELEPHONE		
EXIST	EXISTING	MIN	MINIMUM	T.O.	TOP OF		
EXP	EXPANSION	M.O.	MASONRY OPENING	TV	TELEVISION		
EXT	EXTERIOR			TYP	TYPICAL		

# SCOPE NOTES

IN THE EVENT OF QUESTIONS REGARDING THE CONTRACT DOCUMENTS, SPECIFICATIONS, EXISTING CONDITIONS OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO BID SUBMITTAL AND PROCEEDING WITH ANY WORK IN QUESTION.

THESE CONTRACT DOCUMENTS ARE INTENDED TO DESCRIBE ONLY THE SCOPE AND APPEARANCE OF THE REAL PROPERTY IMPROVEMENTS, INCLUDING THE PERFORMANCE AND LEVEL OF QUALITY EXPECTED OF ITS COMPONENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL WORK COMPLETED AND MATERIALS INSTALLED BE IN FULL COMPLIANCE AT A MINIMUM, WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES HAVING JURISDICTIONAL AUTHORITY OVER THE PROJECT.

THESE CONTRACT DOCUMENTS DO NOT ATTEMPT TO INSTRUCT THE CONTRACTOR IN THE DETAILS OF HIS TRADE. THEY ARE PERFORMANCE SPECIFICATIONS IN THAT THEY DO REQUIRE THAT ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT BE INSTALLED IN STRICT CONFORMANCE TO THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT. ANY MISCELLANEOUS ITEMS OR MATERIALS NOT SPECIFICALLY NOTED, BUT REQUIRED FOR PROPER INSTALLATION SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.

ALL WORK SHALL BE WARRANTED SATISFACTORY, IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR, OR FOR THE PERIOD OF WARRANTY CUSTOMARY, OR STIPULATED FOR THE TRADE, CRAFT, OR PRODUCT, WHICHEVER IS LONGER. ONLY COMPETENT MECHANICS CAPABLE OF PRODUCING GOOD WORKMANSHIP CUSTOMARY TO THE TRADE SHOULD BE USED. COMMENCING WORK BY A CONTRACTOR OR SUBCONTRACTOR CONSTITUTES ACCEPTANCE OF THE CONDITIONS AND SURFACES CONCERNED. IF ANY SUCH CONDITIONS ARE UNACCEPTABLE, THE GENERAL CONTRACTOR SHALL BE NOTIFIED IMMEDIATELY, AND NO WORK SHALL BE PERFORMED UNTIL THE CONDITIONS ARE CORRECTED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH THE PROJECT SCOPE OF WORK, BUILDING STANDARDS, SCHEDULE AND DEADLINES. THE CONTRACTOR SHALL FURTHER BE RESPONSIBLE FOR ADVISING THE OWNER OF ALL LONG LEAD ITEMS AFFECTING THE PROJECT SCHEDULE AND SHALL, UPON REQUEST FROM THE OWNER, SUBMIT ORDER CONFIRMATIONS AND DELIVERY DATES FOR SUCH LONG LEAD ITEMS TO THE OWNER.

ALL CONTRACTOR OR SUPPLIER REQUESTS FOR SUBSTITUTIONS OF SPECIFIED ITEMS SHALL BE SUBMITTED, IN WRITING, ACCOMPANIED BY THE ALTERNATIVE PRODUCT INFORMATION, TO THE ARCHITECT, NO LATER THAN TEN (10) BUSINESS DAYS, PRIOR TO BID OPENING DATE. SUBSTITUTIONS SHALL ONLY BE CONSIDERED IF THEY DO NOT SACRIFICE QUALITY, FUNCTIONALITY, APPEARANCE OR WARRANTY. UNDER NO CIRCUMSTANCES WILL THE OWNER BE REQUIRED TO PROVE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OR IS NOT OF EQUAL QUALITY TO THE PRODUCT SPECIFIED.

UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR SCALE THE DRAWINGS TO DETERMINE DIMENSIONS. REFER TO PLANS, SECTIONS AND DETAILS FOR ALL DIMENSIONAL INFORMATION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL SELECTED MATERIALS WHICH SHALL BE COMPLETE IN ALL RESPECTS PRIOR TO THE FINAL ACCEPTANCE, UNLESS OTHERWISE NOTED.

THE CONTRACTOR SHALL PRESERVE ALL PRINTED INSTRUCTIONS AND WARRANTY INFORMATION THAT IS PROVIDED WITH EQUIPMENT OR MATERIALS USED, AND DELIVER SAID PRINTED MATTER TO THE OWNER AT THE TIME OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL INSTRUCT THE OWNER IN THE PROPER USE OF THE EQUIPMENT FURNISHED BY THEIR TRADE.

GENERAL CONTRACTOR SHALL PROVIDE A THOROUGH CONSTRUCTION CLEANING AT PROJECT CLOSE OUT, PRIOR TO PUNCH LIST WALK THROUGH.

THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL FABRICATED ITEMS, AND PHYSICAL SAMPLES OF ALL FINISH MATERIALS SPECIFIED TO THE ARCHITECT FOR REVIEW.

REVIEWED SHOP DRAWINGS AND SUBMITTALS BY OTHERS SHALL NOT BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR DRAWINGS, SCHEDULES, AND/OR SPECIFICATIONS FOR WORK ON THE PROJECT PREPARED BY OTHERS.

THE ARCHITECT WILL REVIEW ALL SHOP DRAWINGS, SUBMITTALS AND SAMPLES FOR CONFORMITY WITH THE CONTRACT DOCUMENTS AND RETURN THEM TO THE CONTRACTOR WITHIN SEVEN (7) WORKING DAYS EXCEPT AS MAY OTHERWISE BE PROVIDED FOR BY THE OWNER.

THE CONTRACTOR SHALL NOT REPRODUCE OR MARK UP ANY PART OF THE CONTRACT DOCUMENTS FOR SUBMITTAL AS A SHOP DRAWING. ANY SUCH SUBMITTAL WILL BE REJECTED. ANY SUBMITTAL REQUIRED TO BE REVIEWED MORE THAN THE INITIAL REVIEW AND ONE (1) ADDITIONAL REVIEW, WILL BE CONSIDERED TO BE IN EXCESS OF THE SCOPE OF THIS PROJECT. THE TIME REQUIRED FOR THIRD AND SUBSEQUENT REVIEWS OF A SUBMITTAL WILL BE PAID FOR BY THE CONTRACTOR TO THE ARCHITECT AT THE ARCHITECT'S STANDARD BILLING RATES, PLUS REIMBURSABLE EXPENSES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ANY EXISTING CONDITIONS AND ALL CRITICAL DIMENSIONS ASSOCIATED WITH THE PROPOSED WORK. THE CONTRACTOR SHALL CONFIRM THAT ALL WORK OUTLINED WITHIN THE CONTRACT DOCUMENTS CAN BE ACCOMPLISHED AS SHOWN, PRIOR TO BID OPENING. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS ENCOUNTERED WHICH MAY AFFECT BUILDING CODE COMPLIANCE, LIFE SAFETY, ISSUANCE OF CERTIFICATE OF OCCUPANCY, OR COMPLETION OF THE PROJECT AS DIRECTED IN THE CONTRACT DOCUMENTS.

NO ADDITIONAL FUNDS WILL BE APPROVED FOR WORK OMITTED FROM THE CONTRACTOR'S BID DUE TO LACK OF VERIFICATION BY THE CONTRACTOR, EXCEPT AS OTHERWISE APPROVED BY THE OWNER FOR WORK ASSOCIATED WITH HIDDEN CONDITIONS WHICH ARE NOT ACCESSIBLE PRIOR TO CONSTRUCTION.

REFER TO PROJECT MANUAL (WHEN APPLICABLE) FOR ADDITIONAL REQUIREMENTS AND DIRECTIONS.

ALL INTERIOR FINISHES SHALL COMPLY WITH CHAPTER EIGHT (8) OF THE 2009 INTERNATIONAL BUILDING CODE WITH AMENDMENTS.

LIGHT GAGE METAL STUDS; STUDS, THEIR COMPONENTS AND THEIR CONNECTIONS SHALL BE ENGINEERED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED. THE ENGINEER SHALL AFFIX THEIR SEAL AND SIGNATURE TO SHOP DRAWINGS AND CALCULATIONS SUBMITTED FOR REVIEW.

STEEL REQUIRED TO TRANSMIT GRAVITY AND/OR LATERAL LOADS TO THE STRUCTURE NOT DETAILED ON THE STRUCT. DRAWINGS IS THE RESPONSIBILITY OF THE METAL STUD SUPPLIER TO DESIGN, DETAIL, PROVIDE AND INSTALL.

METAL STUDS SHALL BE DESIGNED TO SUPPORT THE LOADS SHOWN IN THE DESIGN DATA IN ADDITION TO THE WEIGHT OF THE MATERIALS ATTACHED TO THE METAL STUDS. METAL STUDS SHALL BE DESIGNED USING THE LOAD COMBINATIONS IN SECTION 1605.3.1 OF THE INTERNATIONAL BUILDING CODE, 2000 EDITION. NO INCREASE IN ALLOWABLE STRESS IS ALLOWED.

DEFLECTION DUE TO LATERAL LOAD SHALL BE LIMITED TO  $\frac{1}{160}$  OF THE STUD SPAN, FOR CANTILEVERS, THE DEFLECTION DUE TO LATERAL LOAD AT THE END OF THE CANTILEVER SHALL BE LIMITED TO  $\frac{1}{160}$  OF THE CANTILEVER DIMENSION.

METAL STUD MANUFACTURER SHALL DETERMINE FINAL LAYOUT AND GAUGE OF STUDS TO MEET THE ARCHITECTURAL AND STRUCTURAL REQUIREMENTS.

WHERE ROUGH CARPENTRY IS IN CONTACT WITH THE GROUND, EXPOSED TO WEATHER OR IN AREAS OF HIGH RELATIVE HUMIDITY PROVIDE FASTENERS AND ANCHORAGES WITH A HOT DIP ZINC COATING OF G90 COMPLYING WITH ASTM A153 OR PROVIDE FASTENERS AND ANCHORAGES OF TYPE 304 STAINLESS STEEL.

WHERE TREATED LUMBER (ROUGH CARPENTRY) IS IN CONTACT WITH OTHER MATERIALS IT MUST BE SEPARATED FROM THESE MATERIALS BY A PRODUCT THAT WILL NOT ALLOW ANY REACTION BETWEEN THE PRESERVATIVE AND ADJACENT MATERIAL. COORDINATE WITH LUMBER MANU.

# SYMBOLS

(NOT ALL MAY APPLY)

# KEYED NOTE  
REFER TO SHEET WHERE SHOWN.

◇ WINDOW OR GLAZED OPENING TAG. SEE SCHED. IF WINDOW - WF, IF STOREFRONT - SF?, IF CURTAINWALL - CW?

ID ACCESSORY TAG. SEE ENLARGED TOILET PLANS.

▲ BUILDING SECTION CUT.

XXXX ELEVATION TAG - INTERIOR OR EXTERIOR.

X/XXX SECTION CUT AT AREAS SHOWN SMALL SCALE

X/XXX ENLARGED PLAN.

XXXX ELEVATION TARGET.  
XXXXX FINISH FLOOR = ASSUMED 0'-0" U.O.N.

xxx FINISH TAG. REFER TO LEGEND

REVISION

PLAN OR TRUE NORTH

BATT INSULATION; WIDTH OF FRAMING U.O.N.

ROOM TAG. REFER TO ROOM FINISH SCHEDULE

DOOR WITH DOOR NUMBER.

WINDOW OR GLAZED OPENING

WH WALL HYDRANT IF EXTERIOR  
HB HOSE BIB IF INTERIOR

METAL STUD FRAMED WALL. REFER TO INDEX SHEET FOR INFO.

CMU WALL. REFER TO SECTIONS AND DETAILS

BRICK WALL. REFER TO SECTIONS AND DETAILS

EIFS OVER SUBSTRATE. REFER TO SECTIONS FOR WIDTH AND PROFILE.

EXISTING DOOR. REFER TO DOOR SCHEDULE

EXISTING FRAMED WALL

EXISTING WINDOW WITH SILL AND/OR STOOL

DEMO'D DOOR.

DEMO'D WALL.

W1 WALL TYPE

12" WALL HEIGHT IF DESIGNATED ON PLANS. IF NOT, SEE WALL TYPES THIS SHEET.

# CODE ANALYSIS

NOTES

THE PURPOSE OF THIS PROJECT IS TO UPDATE FINISHES TO NEW CORPORATE STANDARDS AND TO UPGRADE CUSTOMER ADA ACCESS AT RESTROOM AREAS. THE PROJECT DOES NOT RESULT IN A CHANGE OF USE OR OCCUPANCY. THE ORIGINAL BUILDING WAS CONSTRUCTED IN COMPLIANCE WITH CODES IN EFFECT AT THAT TIME.

CURRENT APPLICABLE CODES

**BUILDING CODE**  
2015 INTERNATIONAL BUILDING CODE W/ AMENDMENTS

**PLUMBING CODE**  
2015 INTERNATIONAL PLUMBING CODE W/ AMENDMENTS

**MECHANICAL CODE**  
2015 INTERNATIONAL MECHANICAL CODE W/ AMENDMENTS

**ELECTRICAL CODE**  
2014 NATIONAL ELECTRICAL CODE W/ AMENDMENTS

**ENERGY CONSERVATION CODE**  
2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ AMENDMENTS

**HANDICAPPED ACCESSIBILITY CODE**  
2012 MARYLAND ACCESSIBILITY CODE

OCCUPANCY

CLASSIFICATION (302.1): A-2 (UNCHANGED)

ACCESSORY USES (508.3.1): NONE

NON-SEPARATED USES (508.3.2): NONE

SEPARATED USES (508.3.3): NONE

CONSTRUCTION

CLASSIFICATION (602): V-B

BUILDING SIZE

EXISTING BUILDING SIZE: 3444 SF

OCCUPANCY CALCULATIONS (UNCHANGED)

DINING ROOM ( $\frac{1}{2}$  SF NET)  $143\frac{3}{4} \times 96$

KITCHEN ( $\frac{1}{60}$  SF GROSS)  $135\frac{1}{2} \times 200 = 7$

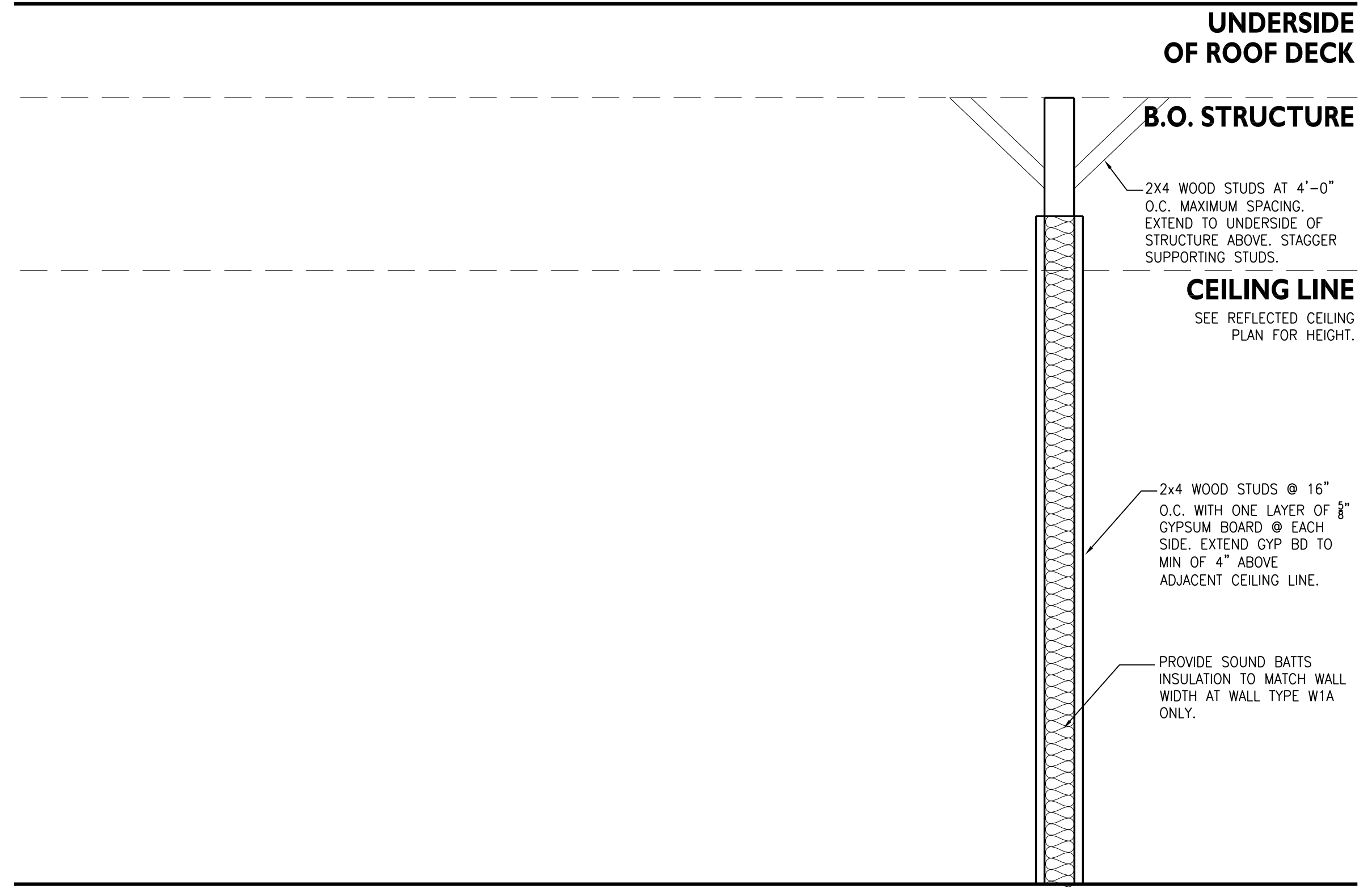
TOTAL CALCULATED OCCUPANCY 103

TOTAL ACTUAL SEATS 102

## UNDERSIDE OF ROOF DECK

## B.O. STRUCTURE

## CEILING LINE



## TYPE W1 TYPE W1A FIN. FLOOR

## WALL TYPE GENERAL NOTES

NOTE: WALL HEIGHT AS MARKED ON PLANS IN CONJUNCTION WITH WALL TYPE SYMBOL WILL SUPERCEDE WALL HEIGHTS AS SHOWN ABOVE. SEE SYMBOLS LEGEND THIS SHEET.

USE MOLD AND MILDEW RESISTANT GYPSUM WALLBOARD ON ALL PLUMBING WALLS. USE 5/8" CEMENT BOARD INSTEAD OF GYP BOARD BEHIND ALL TILE FINISHES.

REFER TO ROOM FINISH SCHEDULE FOR ALL FINISH SELECTIONS; CEILING TYPES AND HEIGHTS; AND TYPES, SIZES AND LOCATIONS ETC.

PROVIDE DEEP LEG DEFLECTION TRACK AT TOP OF ALL METAL STUD WALLS WHERE STUDS EXTEND TO UNDERSIDE OF ROOF DECK OR STRUCTURE ABOVE.

BRACE METAL STUD WALLS TO TOP OF STRUCTURAL STEEL ELEMENTS-ABOVE CEILING PLANE. COORDINATE REQUIRED BRACE SPACING WITH STRUCTURAL ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

## WALL TYPES NO SCALE

# DRAWINGS

INDEX SHEET

**ARCHITECTURAL**

AS1.1 ARCHITECTURAL SITE PLAN

AS1.2 DRIVE THRU EQUIP. DETAILS

D1.1 DEMOLITION FLOOR PLAN

D1.2 DEMOLITION CEILING PLAN

A1.1 FLOOR PLAN AND DETAILS

A1.1a RESTROOM PLAN

A1.2 CEILING PLAN

A2.1 DEMOLITION ELEVATIONS

A2.2 NEW ELEVATIONS

A2.3 MATERIAL SCHEDULE

A3.1 DEMOLITION AND NEW ROOF PLANS

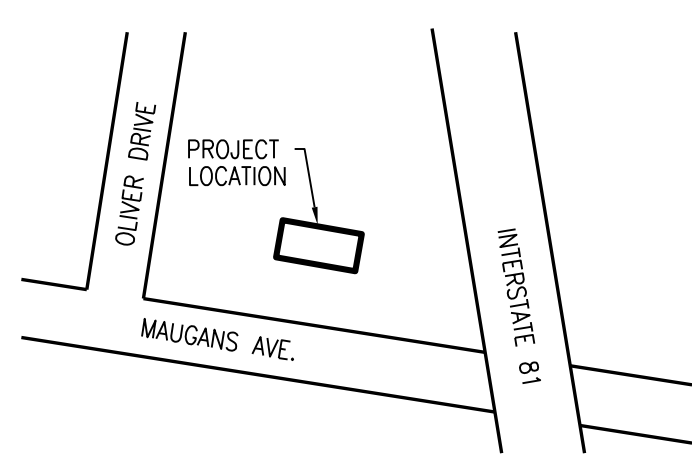
A4.1 WALL SECTIONS

A4.2 WALL SECTIONS

A4.3 WALL SECTIONS

A5.1 DETAILS

A6.1 DOOR SCHEDULE



**CURRAN ARCHITECTURE**

5719 LAWTON LOOP E. DR. #212  
INDIANAPOLIS, IN 46216  
O :: 317.288.0681  
F :: 317.288.0753

OWNER



2100 RIVEREDGE PARKWAY  
SUITE 850  
ATLANTA, GA 30328  
O :: 770.933.5023  
F :: 770.933.5024

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PROJECT INFORMATION

REMODEL TO:  
BURGER KING #11450  
18234 MAUGANS AVE  
HAGERSTOWN, MD 21740



ISSUE DATES

FOR CONSTRUCTION 03-14-2018

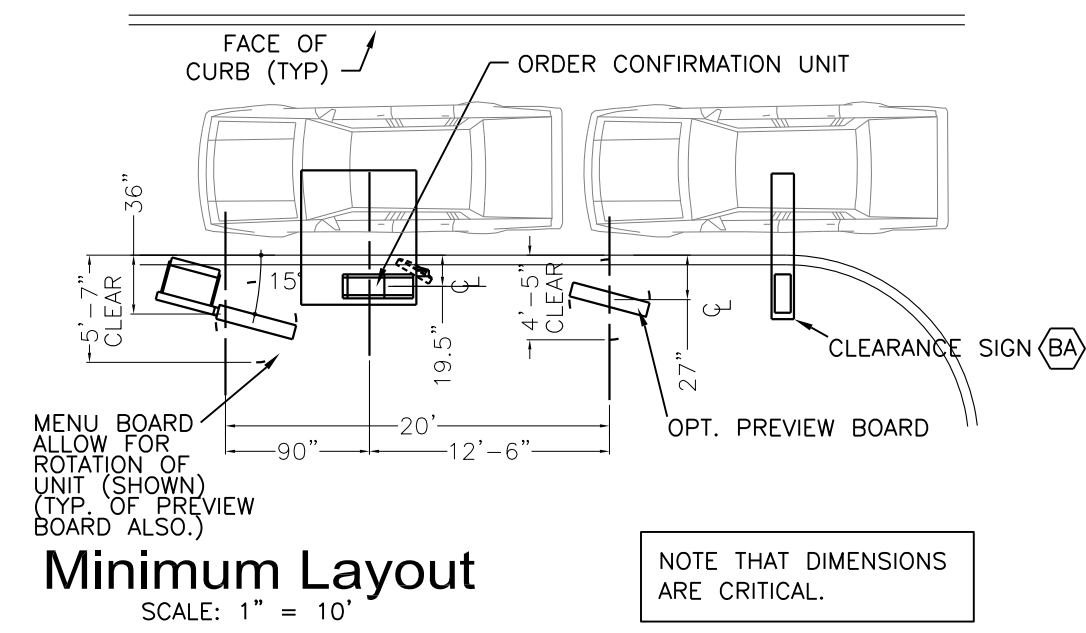
PROJECT NUMBER: 170287

INDEX SHEET

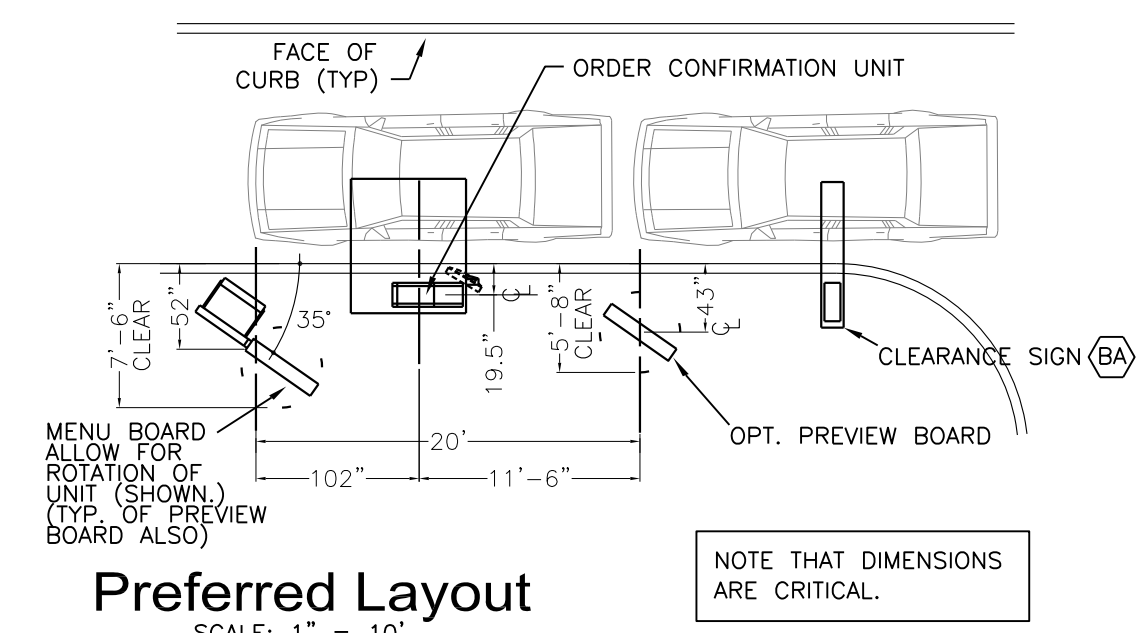
# INDEX



NOTE: THE PREFERRED LAYOUT SHOULD BE USED WHENEVER SPACE ALLOWS. ANGLES BETWEEN THE PREFERRED LAYOUT AND MINIMUM LAYOUT ARE ACCEPTABLE AS LONG AS:  
 (1) THE DISTANCES FROM THE CENTERLINES OF THE SUPPORT POLES OF THE MENU BOARD AND PREVIEW BOARD TO THE FACE OF CURB ARE REDUCED BY 4" FOR EVERY 5 DEGREES OF ROTATION, AND  
 (2) THE DISTANCE FROM THE CENTERLINE OF THE ORDER CONFIRMATION UNIT AND THE CENTERLINE OF THE MENU BOARD IS REDUCED BY 3" FOR EVERY 5 DEGREES OF ROTATION.  
 THE CENTERLINE OF MENU BOARD TO CENTERLINE OF PREVIEW BOARD REMAINS AT 20".

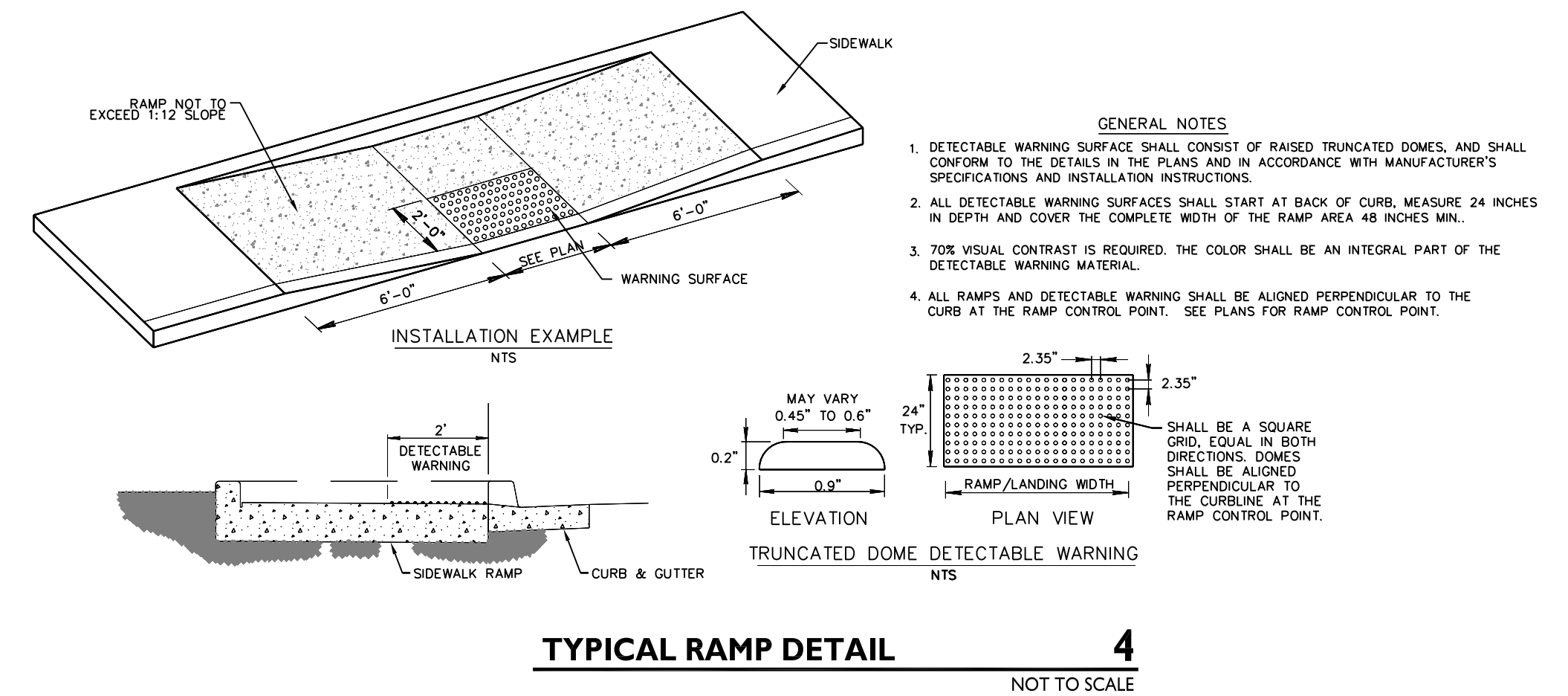
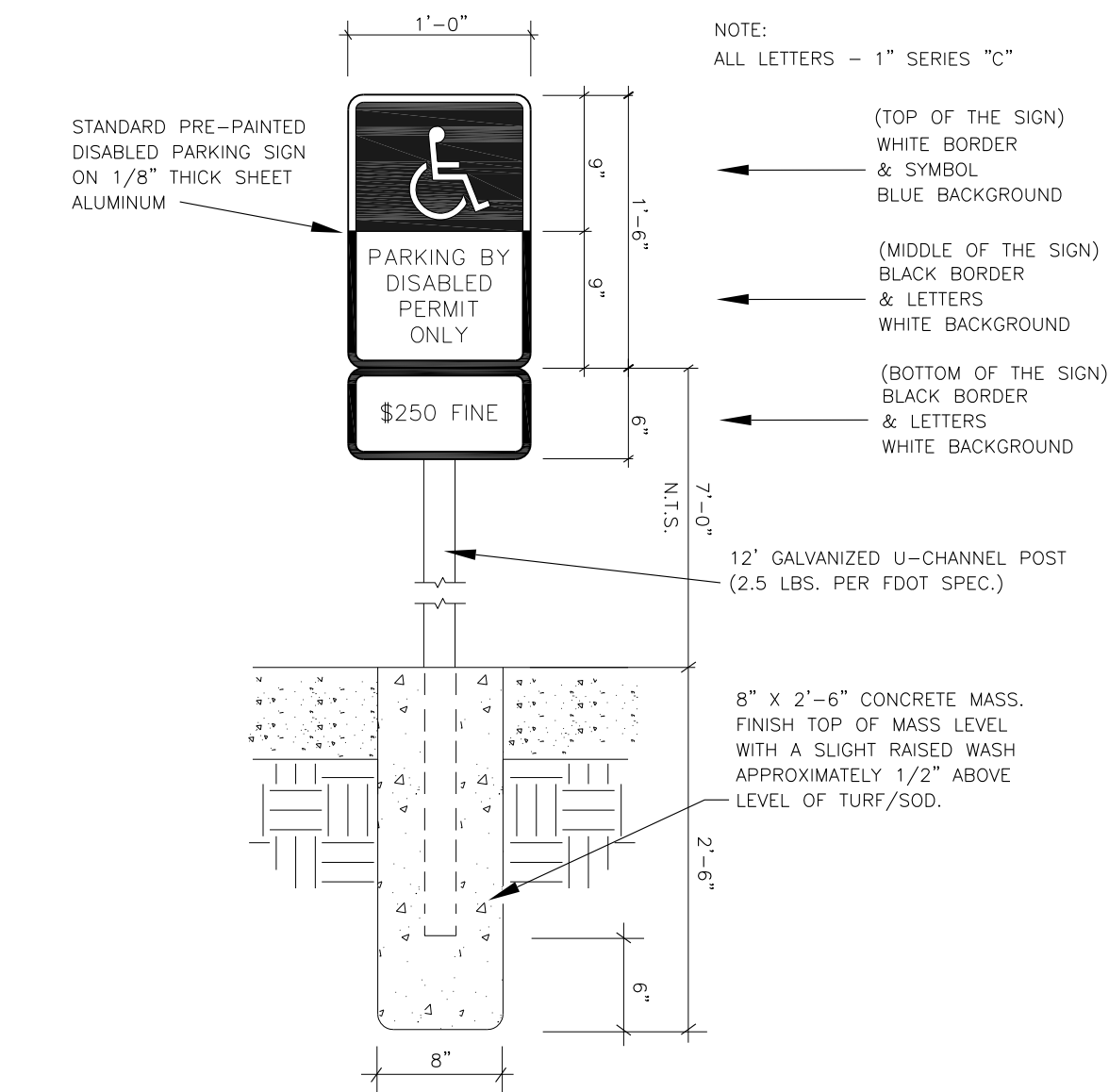
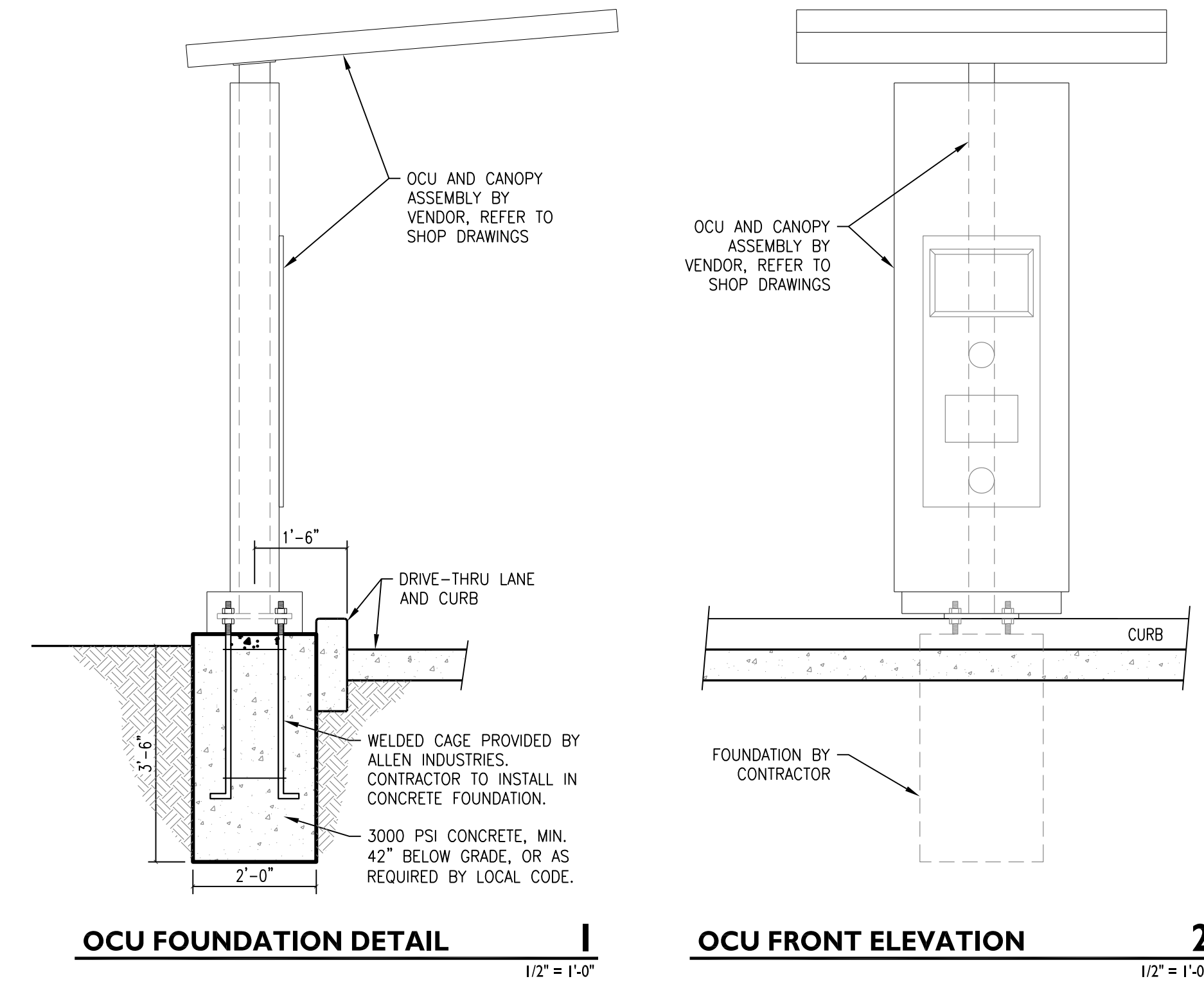


NOTE THAT DIMENSIONS ARE CRITICAL.



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**TYPICAL D/T EQUIPMENT LAYOUT 5**  
NOT TO SCALE



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5719 LAWTON LOOP E. DR. #212  
 INDIANAPOLIS, IN 46216  
 O :: 317.288.0681  
 F :: 317.288.0753

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 F :: 770.933.5024

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 HAGERSTOWN, MD 21740



ISSUE DATES

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PROJECT NUMBER: 170287

SITE DETAILS

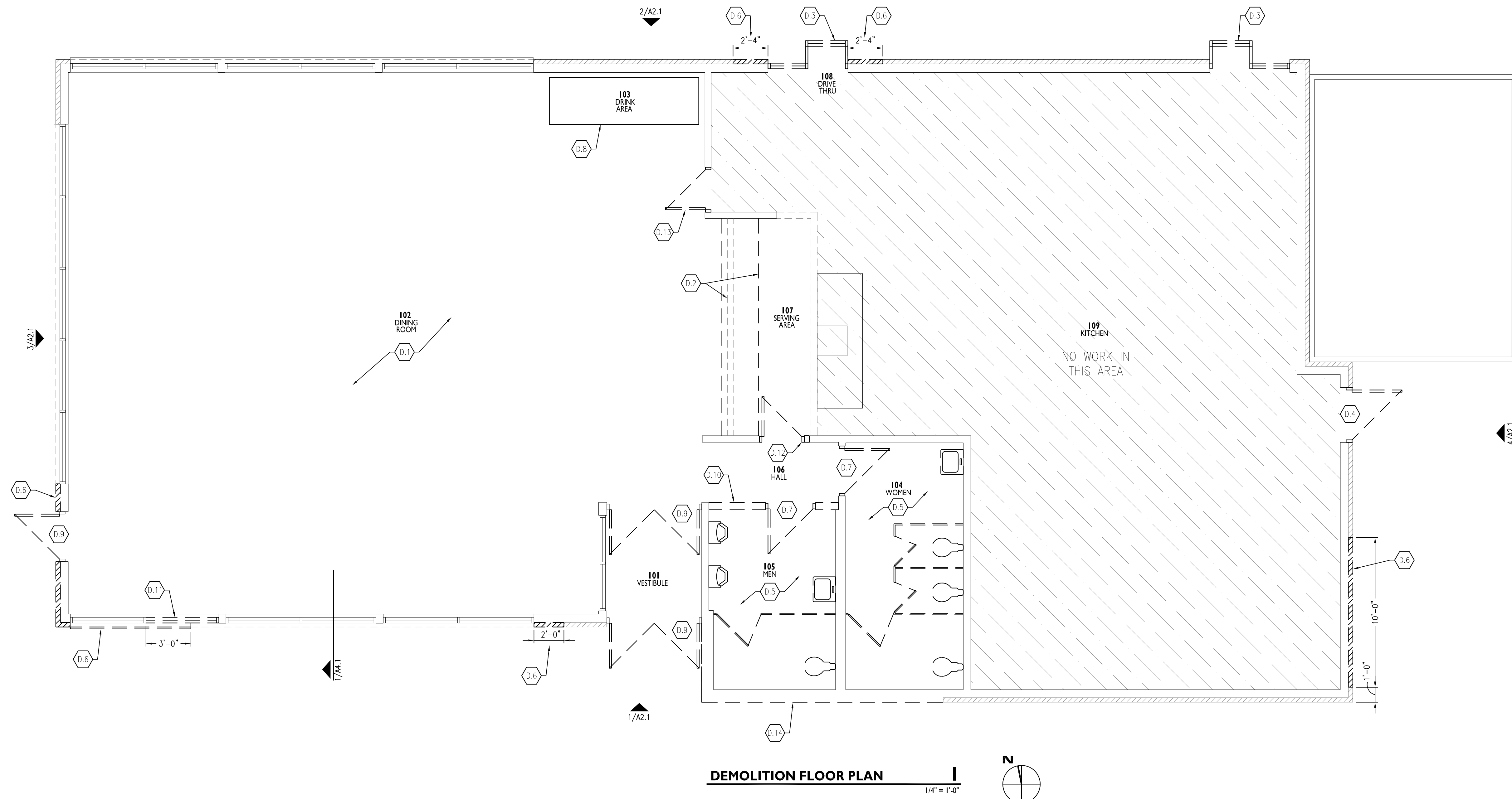
**ASI.2**

## GEN. DEMO NOTES

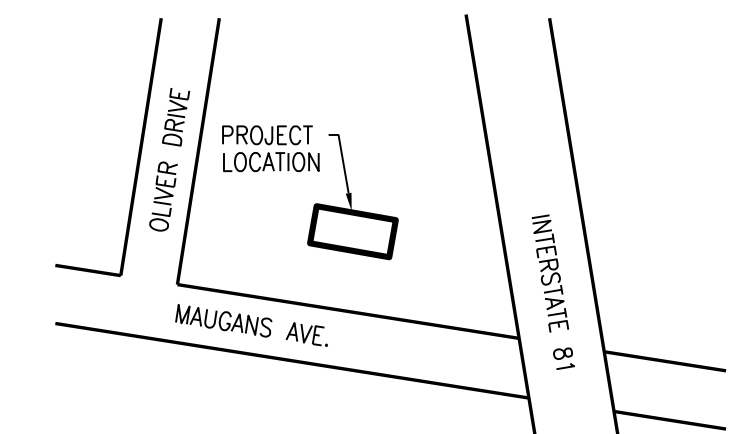
1. DASHED LINES INDICATE EXISTING ITEMS TO BE REMOVED. UNLESS NOTED OTHERWISE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ALL DEMO ITEMS.
2. DEMOLITION SHALL BE DONE WITH OUT DAMAGE TO EXISTING CONSTRUCTION TO REMAIN. WHERE SUCH DAMAGE OCCURS PATCH, REPAIR, OR RESTORE WALLS, FLOORS, CEILINGS, ETC. TO MATCH EXISTING. PROVIDE SHORING, BRACING, OR SUPPORT AS REQUIRED TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING CONSTRUCTION.
3. REMOVE ALL EXISTING CONSTRUCTION, ITEMS AND FINISHES MADE OBSOLETE BY, OR IN CONFLICT WITH NEW CONSTRUCTION—VERIFY WITH ARCH. REMOVE WIRING BACK TO SOURCE AT ALL OUTLETS ETC. MADE OBSOLETE BY WALL REMOVAL OR ANY OTHER NEW CONSTRUCTION.
4. WHERE EXISTING WALLS, BULKHEADS, OR FINISHES ARE REMOVED OR PARTIALLY DEMOLISHED, EACH TRADE SHALL BE RESPONSIBLE FOR PATCHING OR REFINISHING OF EXISTING CONSTRUCTION REQUIRED BY THAT TRADES WORK ON THIS PROJECT. THIS WORK MUST BE DONE IN A MANNER WHICH WILL ACCEPT NEW FINISHES.
5. ALL CONTRACTORS ARE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF CEILING GRID AND/OR TILES IN ANY AREA WHERE THEY NEED ACCESS AND THE EXISTING CEILING IS TO REMAIN. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL REPLACE ANY CEILING TILES OR GRID DAMAGED IN THE PROCESS.
6. CONTRACTOR MUST FIELD VERIFY ALL AREAS AND/OR WORK TO BE DEMOLISHED PRIOR TO BEGINNING WORK. CONTRACTOR MUST COORDINATE WITH ARCHITECT ANY DIFFERENCES BETWEEN FIELD VERIFIED CONDITIONS AND/OR CONSTRUCTION, AND WHAT IS SHOWN ON DEMOLITION DRAWINGS.
7. PRIOR TO BEGINNING DEMOLITION, DUST CONTROL BARRIERS SHALL BE CONSTRUCTED TO PREVENT THE SPREAD OF DUST INTO SURROUNDING AREAS.
8. EXITING FROM STRUCTURE, IF REQ'D TO PASS THROUGH DEMOLITION AREAS, SHALL HAVE APPROVED BARRIERS ETC., TO INSURE PUBLIC SAFETY.
9. REMOVE AND REINSTALL ALL EQUIPMENT OR CONSTRUCTION ON WALLS REQUIRING NEW FINISHES.
10. REFINISH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH. REFINISH ENTIRE ASSEMBLIES. CONTINUOUS SURFACES WILL BE TAKEN TO THE NEAREST INTERSECTION.
11. REMOVE ALL DIRT, DUST, DEBRIS ETC. DAILY. DO NOT ALLOW REFUSE TO BLOCK CORRIDORS, STAIRS, OR ANY OTHER TRAFFIC AREA.
12. IT IS ESSENTIAL THAT THE CLIENT BE ABLE TO FUNCTION AS NORMAL AS POSSIBLE IN AREAS ADJACENT TO RENOVATION OR NEW CONSTRUCTION.
13. ALL ABANDONED PLUMBING LINES TO BE CAPPED OFF AND TERMINATED BELOW FINISH FLOOR. TERMINATED BELOW FINISH FLOOR.

## DEMO KEY NOTES

- D.1 DINING ROOM: REMOVE EXISTING WALL FINISHES (INCLUDING WAINSCOTING). PREP SURFACES TO RECEIVE NEW FINISHES. COORDINATE WITH INTERIOR DECOR DWGS FOR NEW FINISH SELECTIONS. REMOVE EXISTING TABLE PARTITIONS AND PROVIDE NEW LAYOUT PER INTERIOR DECOR DRAWINGS. REMOVE EXISTING TILE FLOOR FINISH INCLUDING ALL EXISTING THINSET MORTAR DOWN TO ORIGINAL CONCRETE SLAB AND PREP SLAB TO RECEIVE NEW TILE FINISH.
- D.2 REMOVE EXISTING COUNTERTOP AND KNEEWALL BELOW. COORD. WITH FLOOR PLAN FOR NEW COUNTER TO BE INSTALLED AT 34" AFF MAX.
- D.3 REMOVE EXISTING DRIVE-THRU WINDOW. PREP OPENING FOR NEW SLIDING DRIVE-THRU WINDOW, OR WALL INFILL. REFER TO FLOOR PLAN AND COORDINATE WITH OWNER FOR NEW SLIDING D/T WINDOW REQUIREMENTS.
- D.4 REMOVE EXISTING HOLLOW METAL DOOR AND FRAME. PREP OPENING TO RECEIVE NEW DOOR, FRAME AND HARDWARE. VERIFY OPENING SIZE IN FIELD.
- D.5 REMOVE ALL EXISTING FINISHES, FIXTURES, ACCESSORIES AND COMPARTMENT DOORS AND WALLS AS SHOWN IN RESTROOMS. REMOVE EXISTING GYPSUM BOARD AND REPLACE WITH TILE BACKER BOARD. PREP ALL SURFACES TO RECEIVE NEW FINISHES AS SCHEDULED. PREP PLUMBING ROUGH-INS FOR FIXTURES IN LOCATIONS AS SHOWN ON NEW FLOOR PLANS.
- D.6 REMOVE PORTION OF BRICK VENEER AS REQUIRED TO ALLOW FOR NEW TOWER WALL FRAMING AND FINISHES. COORDINATE WITH WALL ELEVATIONS FOR EXTENTS.
- D.7 REMOVE EXISTING DOORS AND FRAMES. PREP OPENINGS FOR NEW DOORS AND FRAMES.
- D.8 COORDINATE WITH OWNER FOR ANY WORK AT EXISTING DRINK STATION.
- D.9 REMOVE EXISTING ALUMINUM STOREFRONT DOOR AND HARDWARE. FRAME TO REMAIN. PREP FRAME TO RECEIVE NEW DOOR AND HARDWARE.
- D.10 REMOVE EXISTING RESTROOM WALL TO ALLOW FOR WIDER HALLWAY, COORDINATE WITH FLOOR PLAN.
- D.11 REMOVE EXISTING WINDOW OR DOOR AND FRAME. PREP OPENING FOR WALL INFILL.
- D.12 ENLARGE EXISTING DOOR OPENING FOR NEW WIDER DOOR. REFER TO DOOR SCHEDULE.
- D.13 REMOVE EXISTING KITCHEN ACCESS DOOR AND FRAME. PREP OPENING FOR NEW WALL INFILL.
- D.14 REMOVE EXISTING SIDING. PREP WALL FOR NEW BRICK VENEER AND EIFS AS SHOWN ON ELEVATIONS.



**DEMOLITION FLOOR PLAN**  
1/4" = 1'-0"



**KEY PLAN**



**CURRAN**  
ARCHITECTURE

5719 LAWTON LOOP E. DR. #212  
INDIANAPOLIS, IN 46216  
O :: 317 . 288 . 0681  
F :: 317 . 288 . 0753

OWNER



2100 RIVEREDGE PARKWAY  
SUITE 850  
ATLANTA, GA 30328

O :: 770 . 933 . 5023  
F :: 770 . 933 . 5024

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PROJECT INFORMATION

REMODEL TO:  
**BURGER KING #11450**  
18234 MAUGANS AVE  
HAGERSTOWN, MD 21740



ISSUE DATES

FOR CONSTRUCTION 03-14-2018

PROJECT NUMBER: 170287

DEMOLITION  
FLOOR PLAN

**DI.1**

## GEN. DEMO NOTES

1. DASHED LINES INDICATE EXISTING ITEMS TO BE REMOVED. UNLESS NOTED OTHERWISE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ALL DEMO ITEMS.
2. DEMOLITION SHALL BE DONE WITH OUT DAMAGE TO EXISTING CONSTRUCTION TO REMAIN. WHERE SUCH DAMAGE OCCURS PATCH, REPAIR, OR RESTORE WALLS, FLOORS, CEILINGS, ETC. TO MATCH EXISTING. PROVIDE SHORING, BRACING, OR SUPPORT AS REQUIRED TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING CONSTRUCTION.
3. REMOVE ALL EXISTING CONSTRUCTION, ITEMS AND FINISHES MADE OBSOLETE BY, OR IN CONFLICT WITH NEW CONSTRUCTION—VERIFY WITH ARCH. REMOVE WIRING BACK TO SOURCE AT ALL OUTLETS ETC. MADE OBSOLETE BY WALL REMOVAL OR ANY OTHER NEW CONSTRUCTION.
4. WHERE EXISTING WALLS, BULKHEADS, OR FINISHES ARE REMOVED OR PARTIALLY DEMOLISHED, EACH TRADE SHALL BE RESPONSIBLE FOR PATCHING OR REFINISHING OF EXISTING CONSTRUCTION REQUIRED BY THAT TRADES WORK ON THIS PROJECT. THIS WORK MUST BE DONE IN A MANNER WHICH WILL ACCEPT NEW FINISHES.
5. ALL CONTRACTORS ARE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF CEILING GRID AND/OR TILES IN ANY AREA WHERE THEY NEED ACCESS AND THE EXISTING CEILING IS TO REMAIN. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL REPLACE ANY CEILING TILES OR GRID DAMAGED IN THE PROCESS.
6. CONTRACTOR MUST FIELD VERIFY ALL AREAS AND/OR WORK TO BE DEMOLISHED PRIOR TO BEGINNING WORK. CONTRACTOR MUST COORDINATE WITH ARCHITECT ANY DIFFERENCES BETWEEN FIELD VERIFIED CONDITIONS AND/OR CONSTRUCTION, AND WHAT IS SHOWN ON DEMOLITION DRAWINGS.
7. PRIOR TO BEGINNING DEMOLITION, DUST CONTROL BARRIERS SHALL BE CONSTRUCTED TO PREVENT THE SPREAD OF DUST INTO SURROUNDING AREAS.
8. EXITING FROM STRUCTURE, IF REQ'D TO PASS THROUGH DEMOLITION AREAS, SHALL HAVE APPROVED BARRIERS ETC., TO INSURE PUBLIC SAFETY.
9. REMOVE AND REINSTALL ALL EQUIPMENT OR CONSTRUCTION ON WALLS REQUIRING NEW FINISHES.
10. REFINISH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH. REFINISH ENTIRE ASSEMBLIES. CONTINUOUS SURFACES WILL BE TAKEN TO THE NEAREST INTERSECTION.
11. REMOVE ALL DIRT, DUST, DEBRIS ETC. DAILY. DO NOT ALLOW REFUSE TO BLOCK CORRIDORS, STAIRS, OR ANY OTHER TRAFFIC AREA.
12. IT IS ESSENTIAL THAT THE CLIENT BE ABLE TO FUNCTION AS NORMAL AS POSSIBLE IN AREAS ADJACENT TO RENOVATION OR NEW CONSTRUCTION.
13. ALL ABANDONED PLUMBING LINES TO BE CAPPED OFF AND TERMINATED BELOW FINISH FLOOR. TERMINATED BELOW FINISH FLOOR.

## DEMO KEY NOTES

- D.1 DINING ROOM, DRINK AREA, AND SERVING AREA: REMOVE EXISTING CEILING GRID, TILES, LIGHT FIXTURES, SUPPLY DIFFUSERS AND RETURN GRILLES. NEW CEILING GRID, TILES, LIGHTS, DIFFUSERS AND GRILLES TO BE PROVIDED TO MATCH EXISTING QUANTITIES AND LAYOUT AS SHOWN.
- D.2 RESTROOMS, HALL AND VESTIBULE: EXISTING GYP BOARD CEILING TO REMAIN. REMOVE EXISTING LIGHT FIXTURES AND PREP TO RECEIVE NEW LIGHT FIXTURES AS SHOWN ON CEILING PLAN.
- D.3 REMOVE EXISTING MANSARD ROOFING SYSTEM AND TRUSSES COMPLETELY TO EXTENTS SHOWN.
- D.4 REMOVE EXISTING DIGITAL MENUBOARDS AS REQUIRED FOR INSTALLATION OF NEW FINISHES ON EXISTING BULKHEAD.
- D.5 EXISTING GYP. BOARD BULKHEAD TO REMAIN. SQUARE OFF CORNERS AS SHOWN ON NEW CEILING PLAN.



**CURRAN**  
ARCHITECTURE

5719 LAWTON LOOP E. DR. #212  
INDIANAPOLIS, IN 46216  
O :: 317.288.0681  
F :: 317.288.0753

OWNER



2100 RIVEREDGE PARKWAY  
SUITE 850  
ATLANTA, GA 30328

O :: 770.933.5023  
F :: 770.933.5024

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HAGERSTOWN, MD 21740



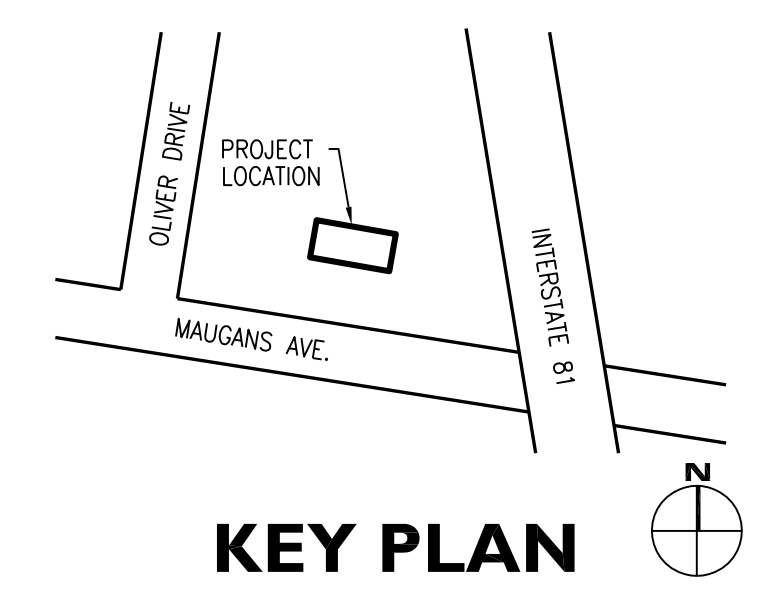
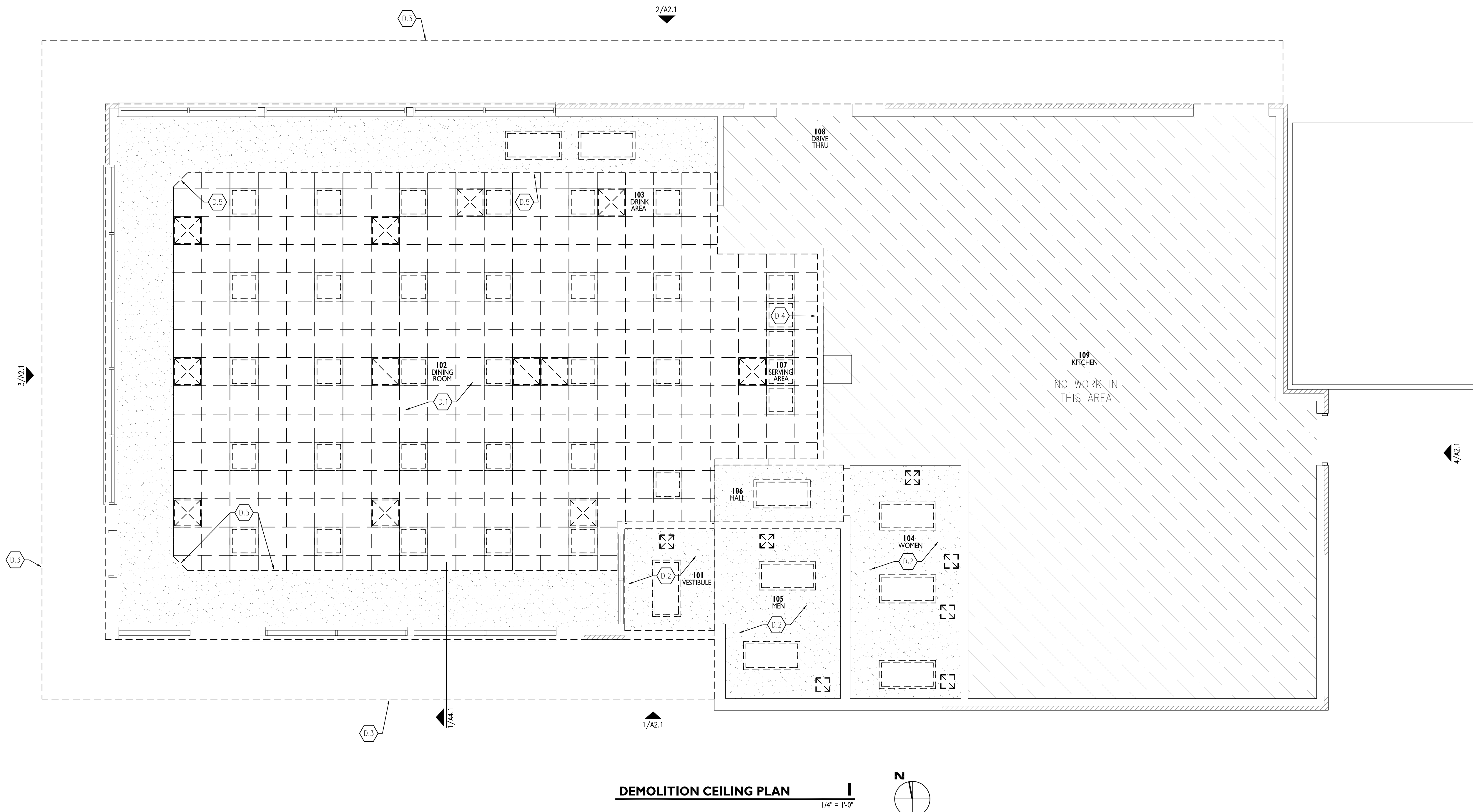
ISSUE DATES

FOR CONSTRUCTION 03-14-2018

PROJECT NUMBER: 170287

DEMOLITION  
CEILING PLAN

**D1.2**



## GENERAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND JOB CONDITIONS. ANY DEVIATION FROM WHAT IS NOTED IN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- ALL DIMENSIONS SHOWN ARE FACE OF BRICK, MASONRY OR METAL STUD FRAMING—UNLESS NOTED OTHERWISE.
- ALL WALL STUD FRAMING MATERIALS TO MATCH EXISTING.
- PROVIDE WOOD BLOCKING FOR ANY WALL SUPPORTED ITEMS.
- PROVIDE APPROVED FIRE RATED STOPPING MATERIALS IN ANY OPENINGS IN FIRE RATED ASSEMBLIES.
- REFER TO DOOR AND WINDOW SCHEDULES FOR ALL MATERIALS, FINISHES AND HARDWARE INFORMATION.
- ALL MATERIALS LOCATED IN CEILING PLENUM SHALL BE RATED FOR SUCH INSTALLATION OR PROTECTED TO PROVIDE COMPLIANCE. THIS INCLUDES BUT IS NOT LIMITED TO POWER AND LOW VOLTAGE WIRING, TELECOMMUNICATIONS CABLING, PLUMBING SUPPLY AND DRAIN LINES AND SUPPORTING BRACKETS AND/OR BLOCKING FOR CEILING HUNG ITEMS.
- PRIOR TO ORDERING ANY PRODUCTS—CONTRACTOR SHALL SUBMIT SAMPLES TO THE ARCHITECT OF ALL FINISH MATERIALS TO BE USED ON THE PROJECT. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR ANY MATERIALS ORDERED INCORRECTLY WHEN THAT MATERIAL WAS NOT REVIEWED BY THE ARCHITECT.

## PLUMBING NOTES

- PLUMBING WORK IS LIMITED TO REPLACING AND RELOCATING FIXTURES AS SHOWN HERE.
- RE-ROUTE EXISTING PLUMBING SUPPLY LINES AS REQUIRED FOR NEW FIXTURE LOCATIONS. PROVIDE NEW SHUT-OFF VALVES AT ALL FIXTURES AND PIPE PROTECTION GUARDS AT LAVS. CAP ALL UNUSED SUPPLY LINES.
- PROVIDE SANITARY VENTS AT EACH FIXTURE. ALL VENTS SHALL BE TIED INTO EXISTING OVERHEAD VENT LINES. VERIFY LOCATION IN FIELD.

## ELECTRICAL NOTES

- NO NEW CIRCUITS WILL BE RUN TO THE ELECTRICAL PANELS. NO WORK TO OCCUR IN EXISTING ELECTRICAL PANELS.
- ALL NEW ELECTRICAL RECEPTACLES IN THE DINING ROOM SHALL BE WIRED TO EXISTING CIRCUITS AS SHOWN.
- ALL NEW WIRING SHALL USE EMT OR RIGID CONDUIT.
- ALL WORK TO BE PERFORMED BY LICENSED ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 300.1.
- ALL EXTERIOR SIGNAGE AND LIGHTING SHALL BE CONTROLLED BY NEW YORK EWZ-103 DIGITAL TIME SWITCH.

## PLAN KEY NOTES

- P.1 PROVIDE NEW TILE FLOOR THROUGHOUT DINING ROOM. PROVIDE NEW WALL FINISHES PER INTERIOR DECOR PLANS. COORDINATE WITH OWNER AND SEATING/DECOR PLAN FOR REQUIRED POWER AND DATA OUTLETS AT SEATING AREAS AND TV LOCATIONS.
- P.2 NEW COUNTERTOP INSTALLED AT 34" AFF MAX. PROVIDE FRP FINISH ON BACK SIDE OF WALL BELOW COUNTERTOP. SEE ENLARGED COUNTER DETAIL FOR LOCATIONS OF GROMMETS AND SUPPORT LEGS.
- P.3 COORDINATE WITH OWNER FOR ANY WORK AT DRINK STATION.
- P.4 NEW DINING ROOM FURNITURE PACKAGE BY DECOR VENDOR. SEE DECOR DRAWINGS FOR SIZES AND LOCATIONS.
- P.5 NEW HOLLOW METAL DOOR, FRAME AND HARDWARE. SEE DOOR SCHEDULE. PAINT AS SHOWN ON EXTERIOR ELEVATIONS.
- P.6 NEW STOREFRONT DOORS AND HARDWARE IN EXISTING FRAMES. FINISH TO MATCH EXISTING.
- P.7 NEW SLIDING DRIVE-THRU WINDOW, COORDINATE WITH OWNER FOR ROUGH-OPENING AND POWER REQUIREMENTS.
- P.8 COORDINATE TELEVISION LOCATION WITH DECOR DRAWINGS. PROVIDE BLOCKING AS REQUIRED.
- P.9 NEW EXTERIOR WALL FINISH WITH FRAMING AS REQUIRED, SEE ELEVATIONS FOR DIMENSIONS AND PATTERNS.
- P.10 PROVIDE NEW DOORS AND FRAMES. VERIFY SIZES IN FIELD. SEE DOOR SCHEDULE FOR ADDITIONAL INFO.
- P.11 PROVIDE NEW TILE FLOOR, NEW 3/8" CONCRETE TILE BACKER BOARD AND WALL TILE FINISHES PER INTERIOR DECOR DRAWINGS. COORDINATE AND VERIFY CLEAR WIDTH REQUIREMENTS WITH NEW TILE FINISH THICKNESS. ADJUST HEIGHT OF FLOOR DRAIN TO BE NO MORE THAN 3/8" BELOW FINISH FLOOR.
- P.12 PROVIDE NEW ADA COMPLIANT FLUSH VALVE TOILET FIXTURE. SEE TYPICAL ELEVATIONS BELOW FOR MOUNTING HEIGHTS.
- P.13 PROVIDE NEW ADA COMPLIANT WALL HUNG LAVATORY.
- P.14 PROVIDE NEW ADA COMPLIANT WALL HUNG URINAL.
- P.15 FLOOR MOUNTED OVERHEAD BRACED TOILET PARTITIONS: BOBRICK 1080/1180 DURALINE SERIES #E0-09, BLACK.
- P.16 INFILL OPENING WITH MATERIALS AND FINISHES TO MATCH EXISTING ADJACENT WALL SURFACES.
- P.17 FURR OUT WALL AS REQUIRED TO RELOCATE NEW FRONT COUNTER AS SHOWN.
- P.18 NEW BRICK VENEER ON NEW CONCRETE FOUNDATION AROUND EXISTING COOLER. REFER TO WALL SECTIONS FOR ADDITIONAL INFORMATION.
- P.19 NEW BRICK VENEER ON NEW 4" CMU FOUNDATION BEARING ON EXISTING FOOTING. VERIFY DEPTH IN FIELD. GROUT FULL BELOW GRADE.
- P.20 PROVIDE NEW WALL FRAMING AT DRINK STATION. REFER TO DECOR DRAWINGS FOR NEW FINISHES.
- P.21 PROVIDE NEW WALL FRAMING AND FINISHES FROM FLOOR TO BOTTOM OF EXISTING BULKHEAD IN FRONT OF FRYER UNIT. VERIFY LOCATION AND SIZE IN FIELD. NEW FRAMING TO MATCH EXISTING. REFER TO DECOR DRAWINGS FOR FINISHES.



**CURRAN**  
ARCHITECTURE

5719 LAWTON LOOP E. DR. #212  
INDIANAPOLIS, IN 46216  
O :: 317.288.0681  
F :: 317.288.0753

OWNER



2100 RIVEREDGE PARKWAY  
SUITE 850  
ATLANTA, GA 30328

O :: 770.933.5023  
F :: 770.933.5024

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18234 MAUGANS AVE  
HAGERSTOWN, MD 21740



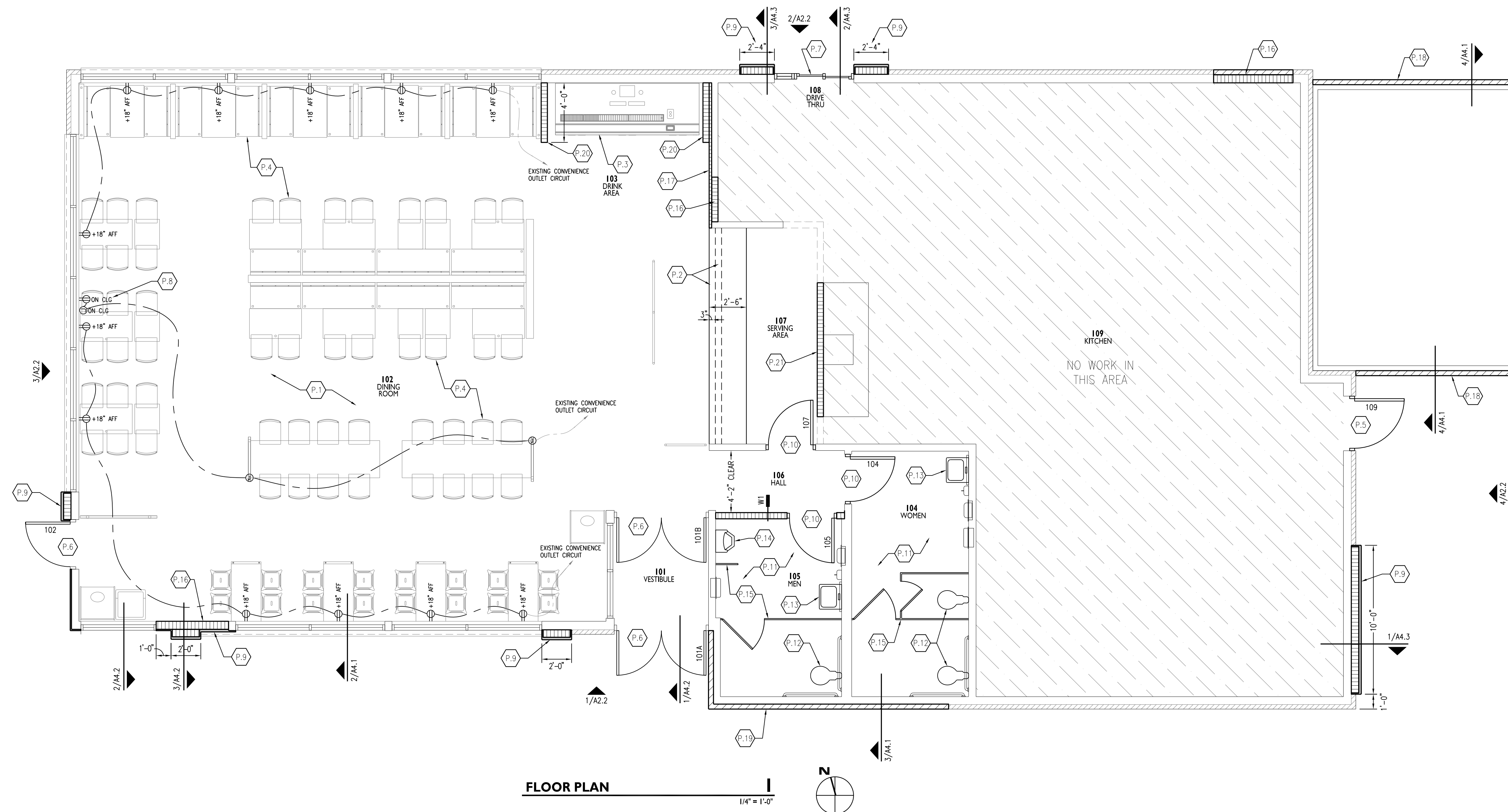
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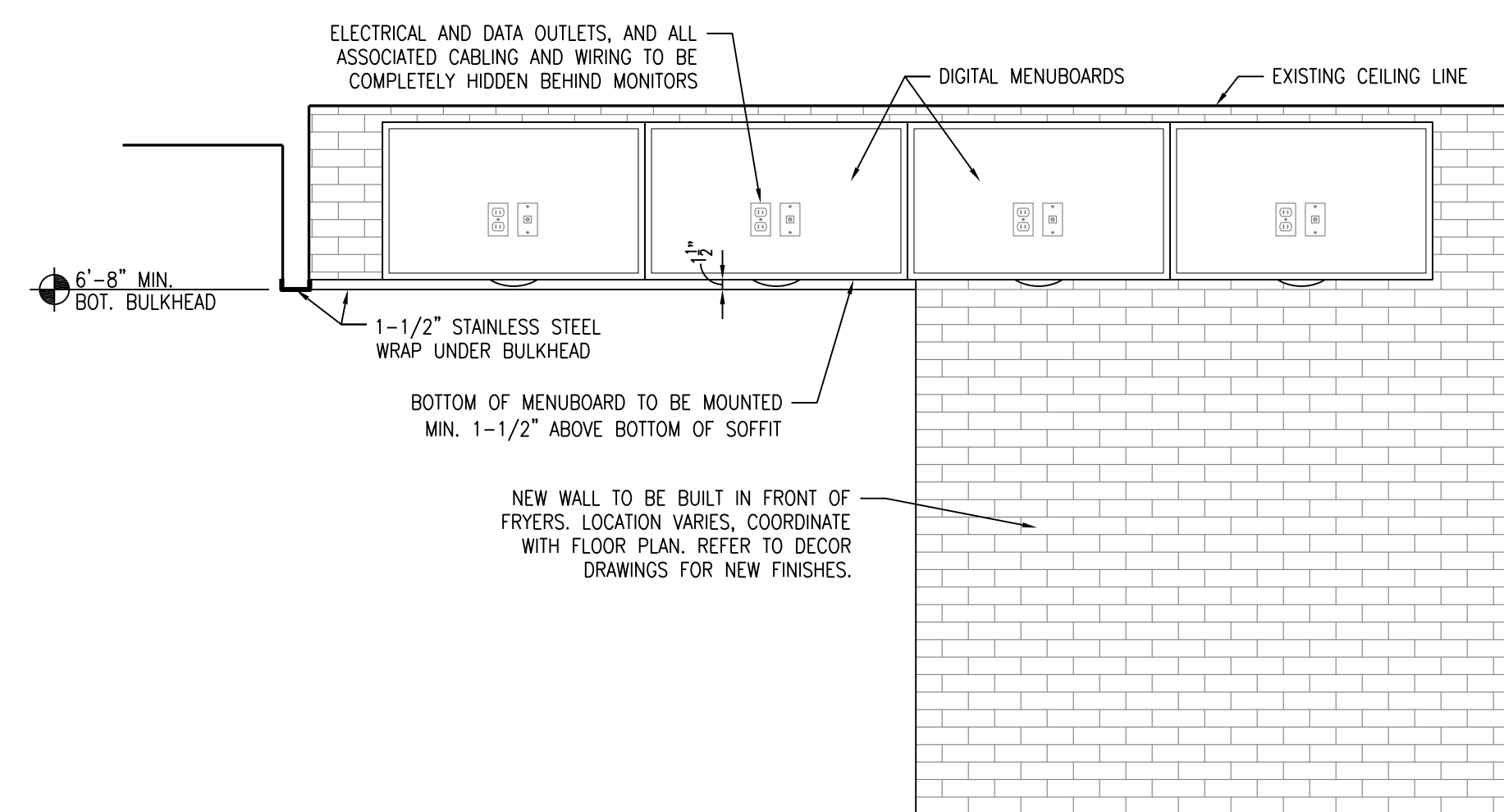
FLOOR PLAN

**A.I.I**



**FLOOR PLAN**

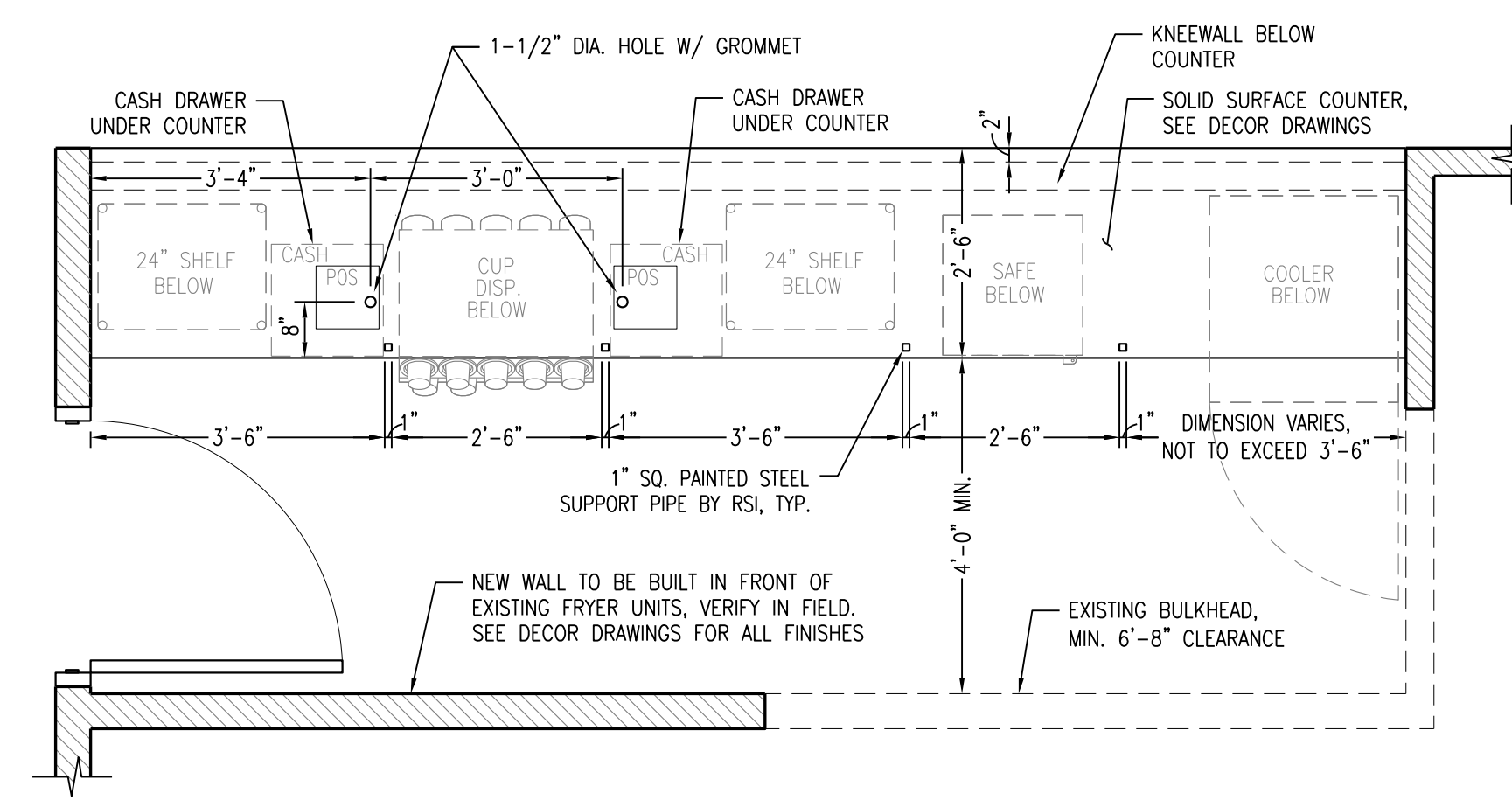
1/4" = 1'-0"



**MENUBOARD DETAIL**

3

1/2" = 1'-0"

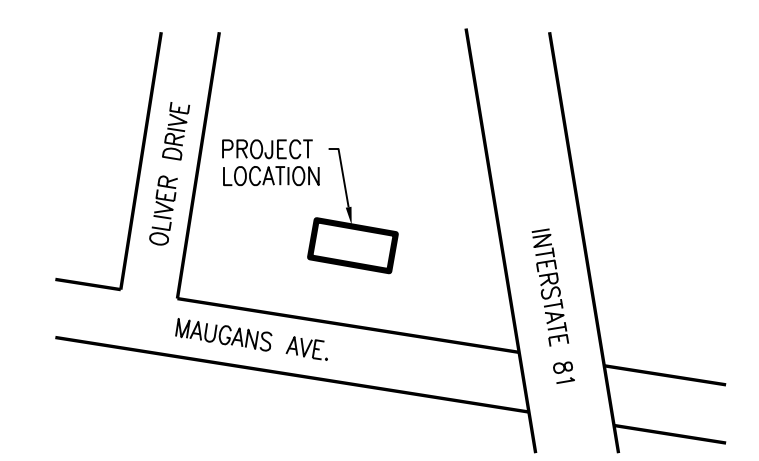


- NOTES:
- REFER TO KITCHEN EQUIPMENT SUPPLIER FOR ALL EQUIPMENT DIMENSIONS AND REQUIRED CLEARANCES.
  - REFER TO POS SYSTEM SUPPLIER FOR POS AND CASH DRAWER DIMENSIONS AND MOUNTING.

**POS COUNTER DETAIL**

2

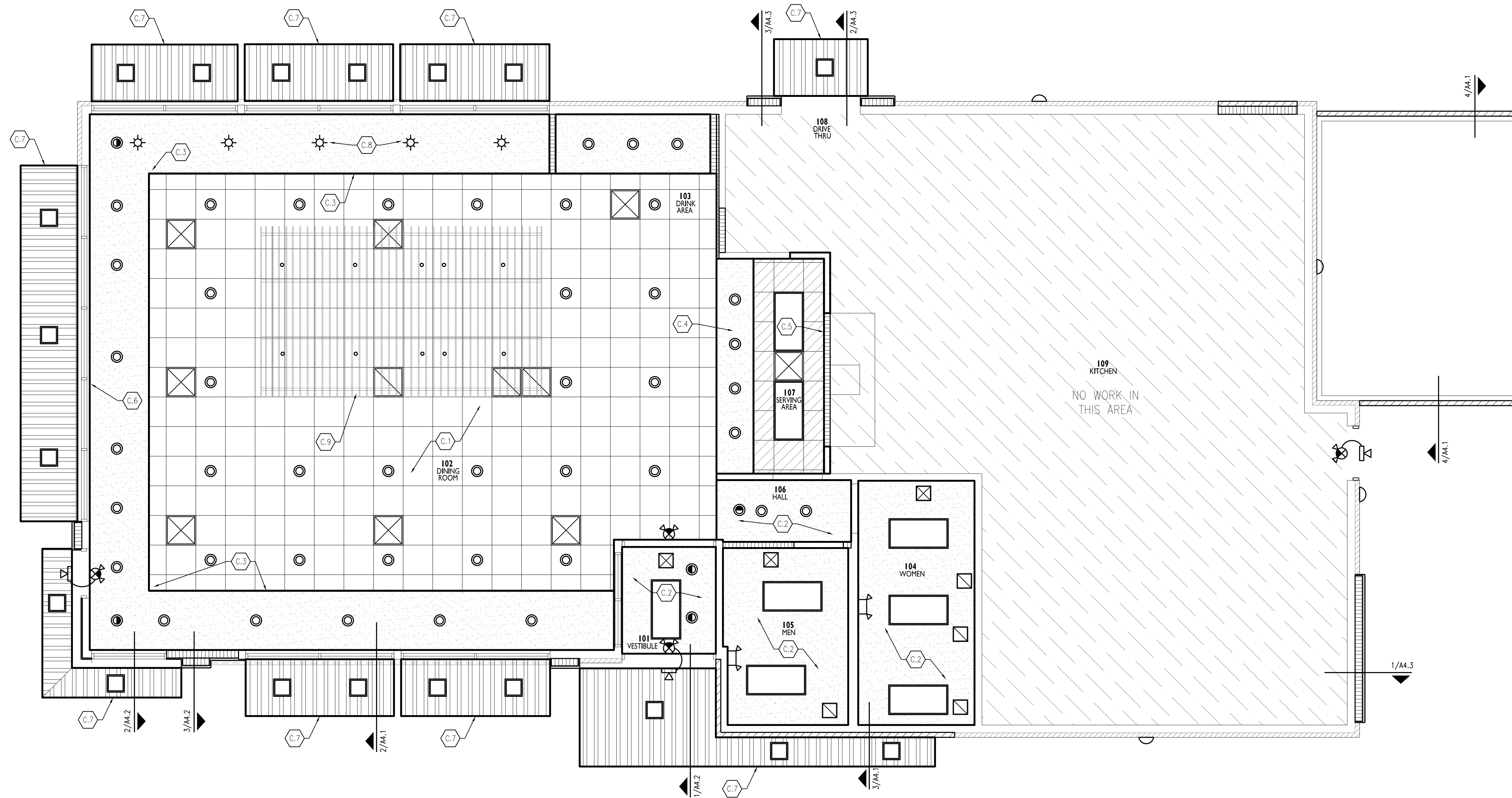
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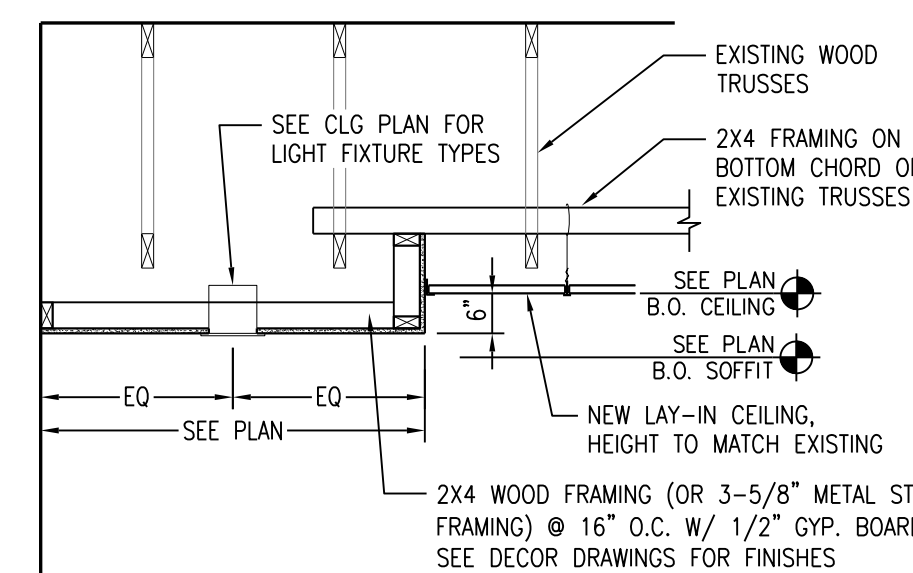
**KEY PLAN**







**CEILING PLAN**  
1/4" = 1'-0"



**TYPICAL BULKHEAD DETAIL**  
1/2" = 1'-0"

**CEILING NOTES**

- C.1 DINING ROOM, DRINK AREA AND SERVING AREA: PROVIDE NEW GRID, TILES, LIGHT FIXTURES, SUPPLY DIFFUSERS AND RETURN GRILLES TO MATCH EXISTING QUANTITIES AND IN EXISTING LOCATIONS AS SHOWN. VERIFY IN FIELD. SEE DECOR DRAWINGS FOR PENDANT LIGHT LOCATIONS.
- C.2 RESTROOMS, HALL AND VESTIBULE: PATCH EXISTING CEILING WHERE PARTITION WALLS WERE REMOVED. PROVIDE NEW PAINTED FINISH ON EXISTING GYPSUM CEILINGS. PROVIDE NEW LIGHTS AND DIFFUSERS TO MATCH EXISTING AS SHOWN.
- C.3 NEW PAINTED FINISH ON EXISTING BULKHEAD. PROVIDE SQUARED-OFF CORNERS AS SHOWN. REFER TO DECOR DRAWINGS FOR FINISHES AND NEW CAN LIGHTS AND PENDANT LIGHTS.
- C.4 NEW BULKHEAD, SEE INTERIOR DECOR DRAWINGS FOR LOCATION, DIMENSIONS AND FINISHES. SEE DETAILS FOR ADD'L INFORMATION.
- C.5 EXISTING DIGITAL MENUBOARD TO REMAIN. PROVIDE NEW TILE FINISH BEHIND MENUBOARD PER INTERIOR DECOR DRAWINGS. PROVIDE STAINLESS STEEL WRAP ALONG BOTTOM OF MENUBOARD BULKHEAD.
- C.6 COORDINATE POWER AND DATA OUTLETS FOR WALL OR CEILING MOUNTED TV IN THIS AREA. COORDINATE WITH DECOR DRAWINGS FOR EXACT LOCATION.
- C.7 NEW SUSPENDED CANOPY WITH LIGHT FIXTURE. LIGHT FIXTURE BY CANOPY MANUFACTURER. CONTRACTOR TO MAKE ELECTRICAL CONNECTION. COORDINATE BLOCKING REQUIREMENTS FOR CANOPY CONNECTION TO BUILDING.
- C.8 PENDANT LIGHTS WIRED TO EXISTING CIRCUITS. SEE DECOR PLANS FOR FIXTURE SELECTIONS.
- C.9 SUSPENDED DECOR ELEMENT. REFER TO DECOR DRAWINGS FOR DETAILS AND INSTALLATION.

**ELECTRICAL NOTES**

1. REPLACE ALL EMERGENCY LIGHT FIXTURES THROUGHOUT THE FACILITY. ELECTRICAL CONTRACTOR TO ENSURE FUNCTIONALITY OF ALL EXISTING AND NEW EXIT SIGNS AND LIGHTS.
2. NO NEW CIRCUITS WILL BE RUN TO THE ELECTRICAL PANELS. NO WORK TO OCCUR IN EXISTING ELECTRICAL PANELS.
3. ALL NEW ELECTRICAL RECEPTACLES IN THE DINING ROOM SHALL BE WIRED TO EXISTING CIRCUITS AS SHOWN.
4. ALL NEW WIRING SHALL USE EMT OR RIGID CONDUIT.
5. ALL WORK TO BE PERFORMED BY LICENSED ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 300.1.
6. ALL EXTERIOR SIGNAGE AND LIGHTING SHALL BE CONTROLLED BY NEW YORK EWZ-103 DIGITAL TIME SWITCH.

**CEILING LEGEND**

- STANDARD CEILING:  
TILE: SEE INTERIOR DECOR DWGS.  
GRID: SEE INTERIOR DECOR DWGS.
- WASHABLE CEILING:  
TILE: WASHABLE SURFACED TILE.  
SEE INTERIOR DECOR DWGS.  
GRID: SEE INTERIOR DECOR DWGS.
- NEW SUSPENDED CANOPY. SEE CANOPY DETAILS ON SHEET AS.1
- GYPSUM BOARD CEILING, SEE INTERIOR DECOR PLANS FOR COLOR
- EXISTING EXTERIOR SOFFIT. PROVIDE NEW PAINTED FINISH

- PVC SUPPLY DIFFUSER  
MANUF: EGER (OR EQUIVALENT)  
MODEL: EA3xx (VERIFY NECK SIZE)  
COLOR: MATCH CEILING COLOR
- PVC RETURN GRILLE  
MANUF: EGER (OR EQUIVALENT)  
MODEL: EARDxx (VERIFY NECK SIZE)  
COLOR: MATCH CEILING COLOR

- 2X4 FIXTURE - LED  
MANUF: COLUMBIA LIGHTING  
MODEL: LCAT24-35MLG-EDU  
WATTAGE: 39 WATTS

- 2X4 FIXTURE - LED - WASHABLE LENS  
MANUF: COLUMBIA LIGHTING  
MODEL: LCAT24-35MLG-EDU  
WATTAGE: 39 WATTS

- 1X4 FIXTURE - LED  
MANUF: SECURITY LIGHTING  
MODEL: LJT14-35LWG-FSA12-EDU-C388  
WATTAGE: 27 WATTS

- 6" LED RECESSED CAN LIGHT  
MANUF: JUNO  
MODEL: SP34505-930-6-WWH  
WATTAGE: 11 WATTS

- 6" LED RECESSED CAN LIGHT WALL WASH  
MANUF: JUNO  
MODEL: SP34506-27K-6WWH  
WATTAGE: 11 WATTS

- 2" LED DOWN LIGHT  
MANUF: JUNO  
MODEL: SP34378B-9-F1-SSN  
WATTAGE: 10 WATTS

- PENDANT LIGHT  
MANUF: HERMITAGE  
MODEL: H-HBCWS42C 29-FRENCH GREEN  
93 WHITE - GUARD FROSTED GLASS  
WATTAGE: 100 WATTS

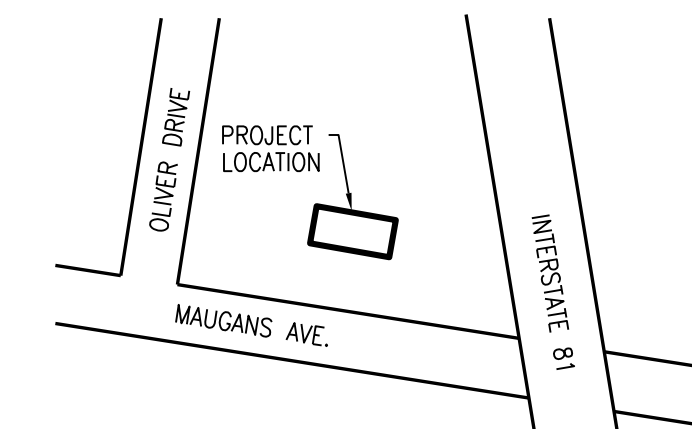
- CANOPY LIGHT - WET LISTED LED  
MANUF: LSI  
MODEL: XSL2-S-50-CW-120-WHT-CMT  
WATTAGE: 42 WATTS

- INTERIOR EGRESS LIGHT  
MANUF: LSI  
MODEL: LTEM-WH  
W/ 90 MIN. BATTERY BACKUP  
WATTAGE: 2 WATTS

- COMBO EXIT/EGRESS LIGHT  
SECURITY LIGHTING SYSTEMS #CCRR,  
WALL MOUNTED EXIT LIGHT W/ 90 MIN. BACKUP. EQUAL TO NAVITE NXP30WH. 4 WATT TOTAL LED LAMPS.

- EXTERIOR EGRESS LIGHT - REMOTE HEAD  
MANUF: LSI  
MODEL: LUVR-WH  
W/ 90 MIN. BATTERY BACKUP  
WATTAGE: 3.6 WATTS

- EXTERIOR WALL LIGHT  
MANUF: LSI  
MODEL: XPW33-FT-LED-48-450-CW-UE-MSV  
WATTAGE: 72 WATTS



**KEY PLAN**



**CURRAN ARCHITECTURE**

5719 LAWTON LOOP E. DR. #212  
INDIANAPOLIS, IN 46216  
O :: 317.288.0681  
F :: 317.288.0753

OWNER



2100 RIVEREDGE PARKWAY  
SUITE 850  
ATLANTA, GA 30328  
O :: 770.933.5023  
F :: 770.933.5024

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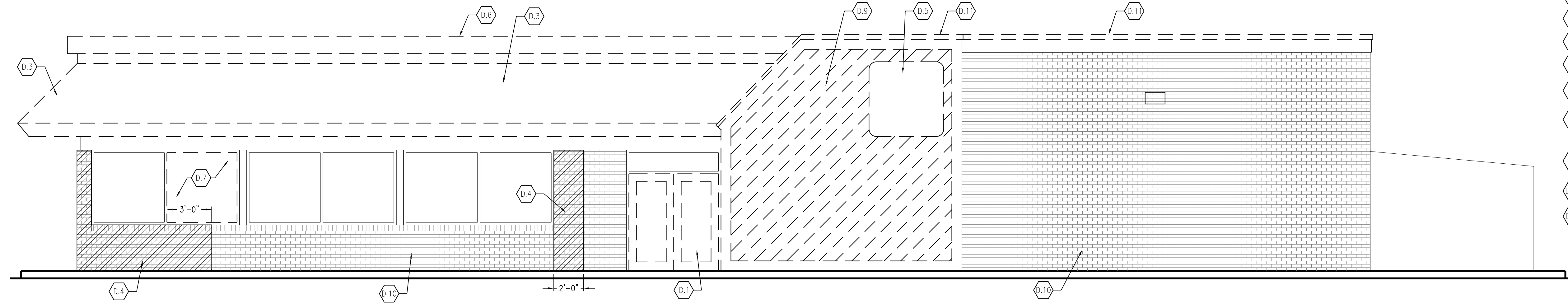
CEILING PLAN

**A1.2**

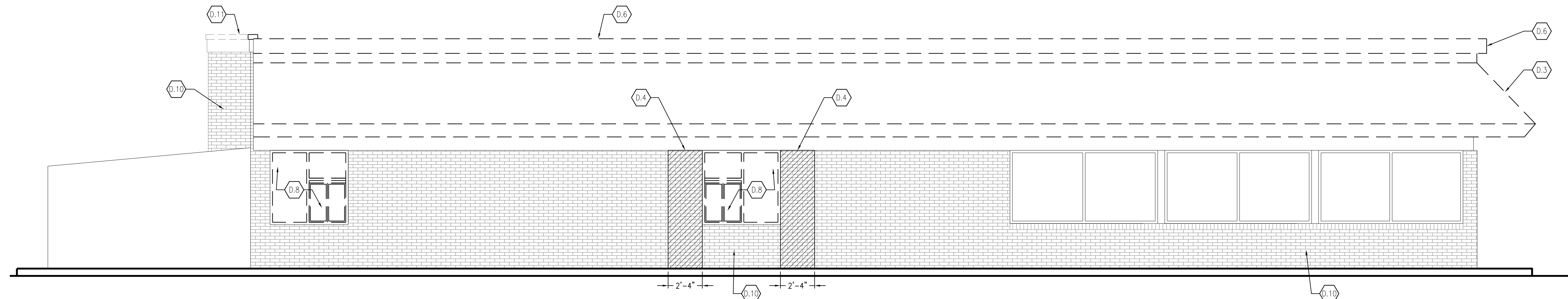


**DEMO KEY NOTES**

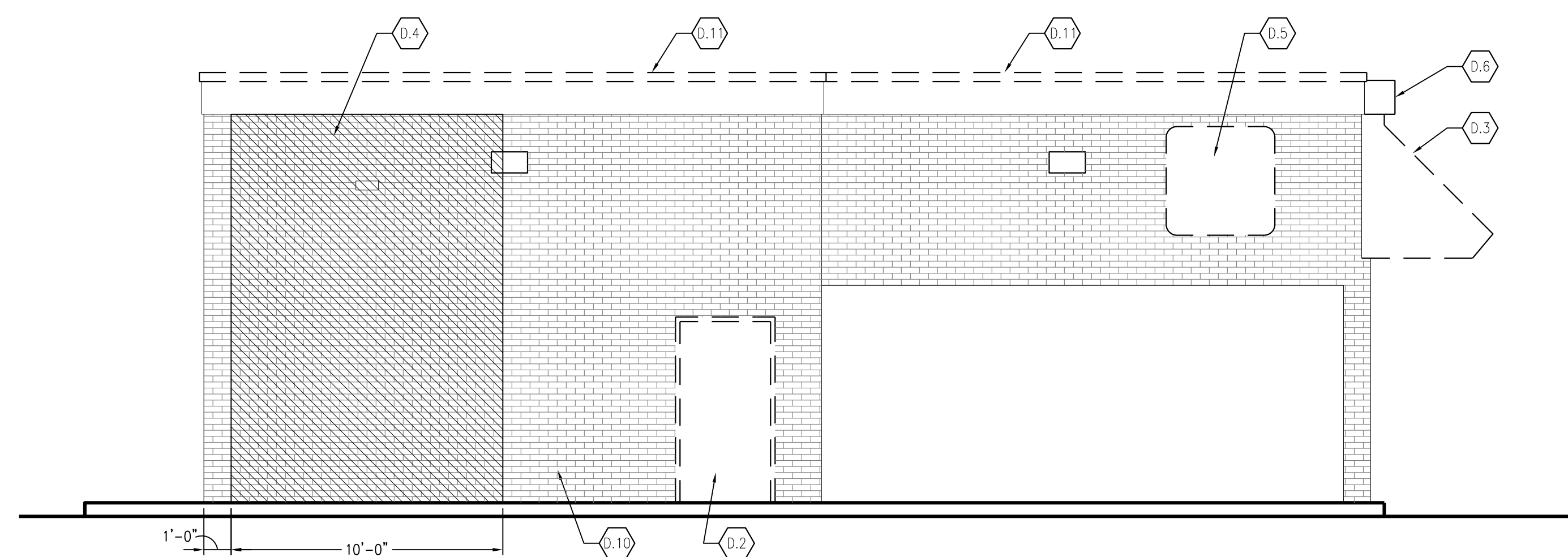
- D.1 REMOVE EXISTING STOREFRONT DOORS AND HARDWARE. PREP EXISTING FRAME TO RECEIVE NEW DOORS AND HARDWARE.
- D.2 REMOVE EXISTING HOLLOW METAL DOOR AND FRAME. PREP OPENING FOR NEW DOOR AND FRAME.
- D.3 REMOVE EXISTING MANSARD ROOF SYSTEM TO EXTENTS SHOWN.
- D.4 REMOVE MASONRY VENEER IN THIS AREA. SEE WALL SECTIONS.
- D.5 REMOVE EXISTING BUILDING SIGNAGE. SALVAGE TO OWNER.
- D.6 REMOVE EXISTING LIGHTED BAND ASSEMBLY AROUND ENTIRE BUILDING AS SHOWN.
- D.7 REMOVE EXISTING ALUMINUM STOREFRONT WINDOW GLAZING PANEL AND FRAMING AT THIS OPENING ONLY. PREP OPENING FOR WALL INFILL.
- D.8 REMOVE EXISTING DRIVE-THRU WINDOW. PREP OPENING FOR NEW WALL INFILL OR NEW SLIDING DRIVE-THRU WINDOW. COORDINATE WITH OWNER FOR NEW WINDOW REQUIREMENTS.
- D.9 REMOVE EXISTING EXTERIOR SIDING. PREP SURFACE FOR NEW FINISHES. SEE ELEVATIONS FOR NEW FINISH INFORMATION.
- D.10 EXISTING MASONRY VENEER TO REMAIN. PREP SURFACE TO RECEIVE NEW PAINTED FINISH.
- D.11 REMOVE EXISTING ALUMINUM COPING. PREP PARAPET WALL FOR NEW PREFINISHED ALUMINUM COPING.



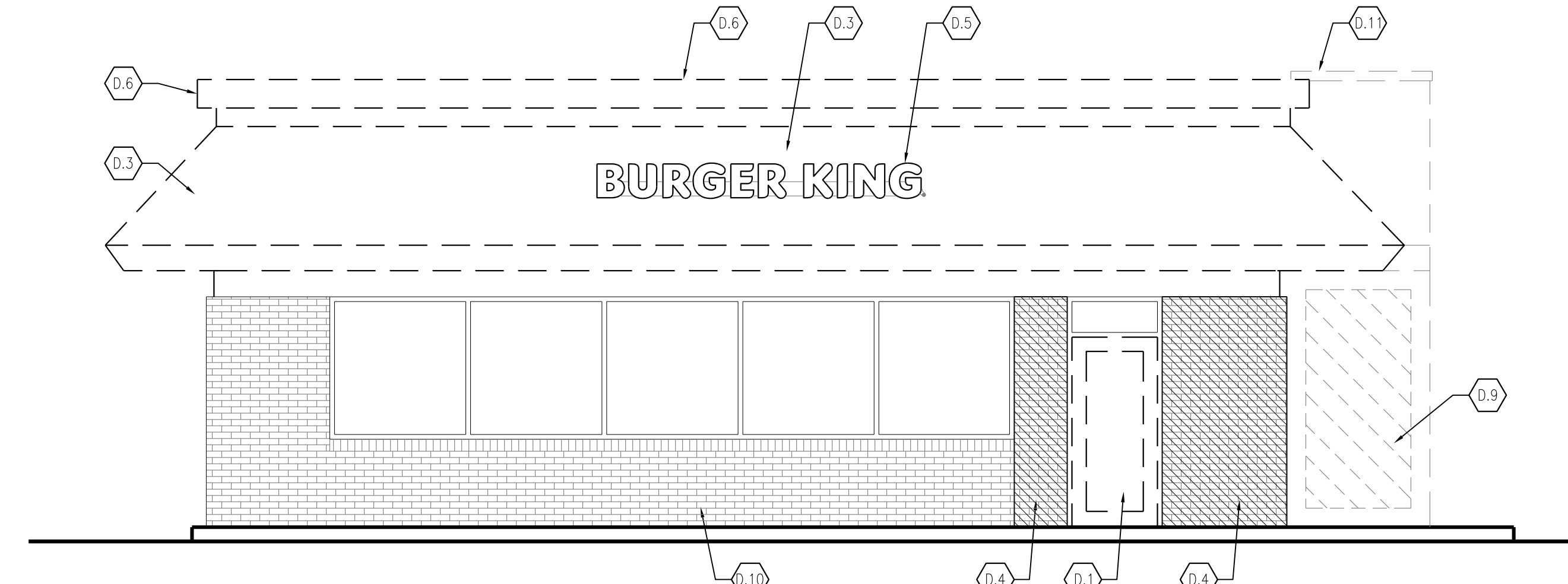
**ELEVATION 1**  
1/4" = 1'-0"



**ELEVATION 2**  
1/4" = 1'-0"



**ELEVATION 3**  
1/4" = 1'-0"



**ELEVATION 4**  
1/4" = 1'-0"



**CURRAN  
ARCHITECTURE**

5719 LAWTON LOOP E. DR. #212  
INDIANAPOLIS, IN 46216  
O :: 317.288.0681  
F :: 317.288.0753

OWNER



2100 RIVEREDGE PARKWAY  
SUITE 850  
ATLANTA, GA 30328  
O :: 770.933.5023  
F :: 770.933.5024

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DEMOLITION  
ELEVATIONS

**A2.1**



**CURRAN**  
ARCHITECTURE

5719 LAWTON LOOP E. DR. #212  
INDIANAPOLIS, IN 46216  
O :: 317.288.0681  
F :: 317.288.0753

OWNER



2100 RIVEREDGE PARKWAY  
SUITE 850  
ATLANTA, GA 30328  
O :: 770.933.5023  
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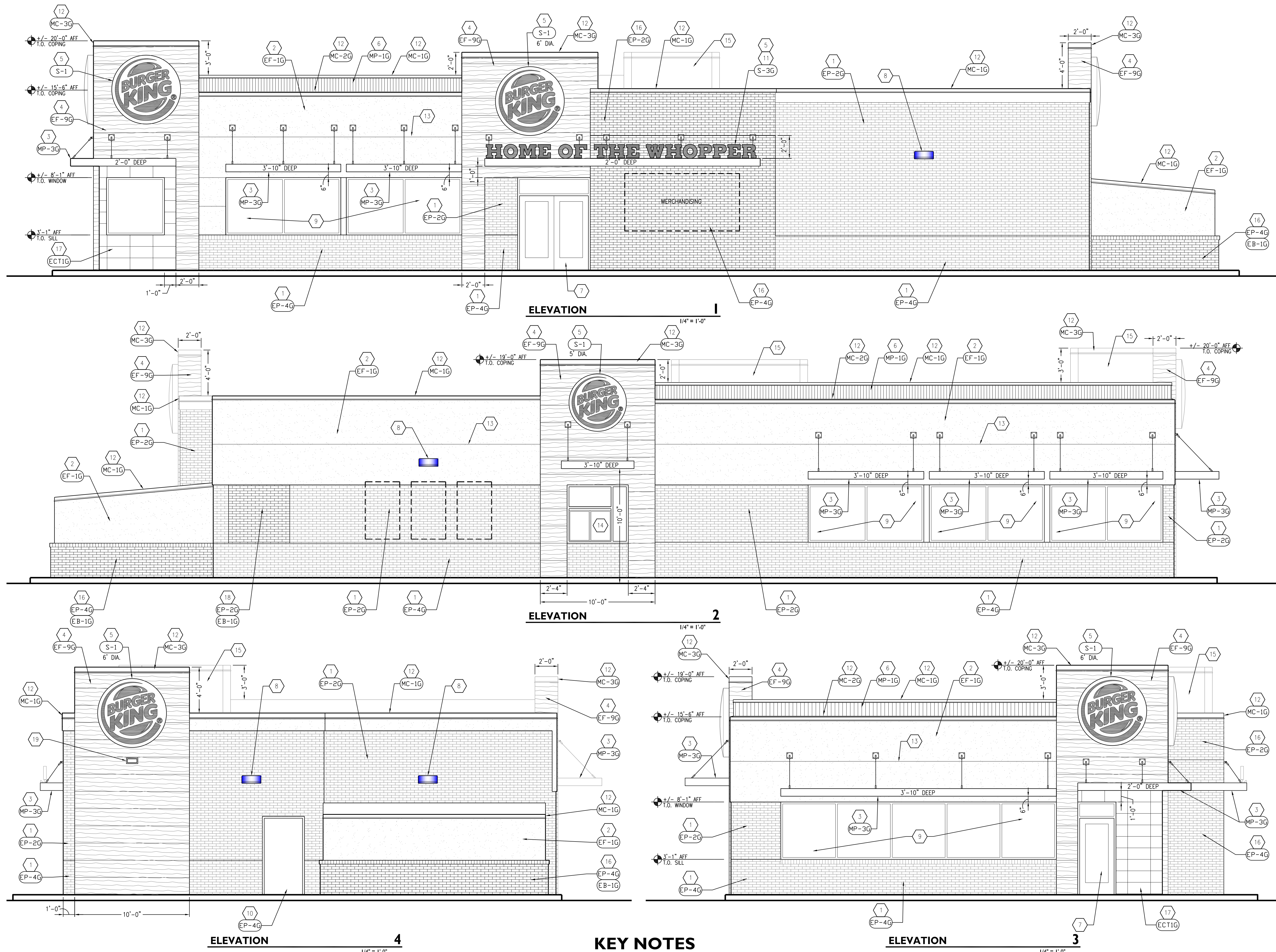
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NEW  
ELEVATIONS

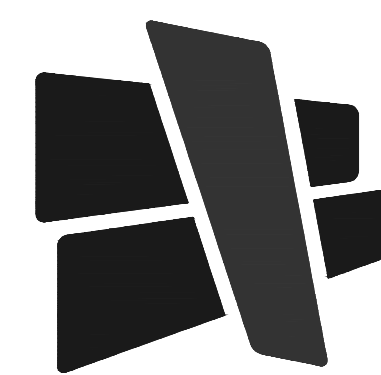
**A2.2**



**KEY NOTES**

- 16 NEW BRICK VENEER TO MATCH EXISTING AS SHOWN. PROVIDE PAINTED FINISH IN COLOR AS SHOWN.
- 17 NEW CERAMIC TILE FINISH WHERE BRICK VENEER AND EIFS FINISH HAVE BEEN REMOVED.
- 18 INFILL FORMER D/T WINDOW WITH WALL CONSTRUCTION TO MATCH EXISTING. PROVIDE PAINTED FINISH ON NEW BRICK VENEER. EXTEND EXISTING OVERFLOW SCUPPER THROUGH NEW NICHHA TOWER WALL. PROVIDE FLASHING AS REQUIRED, COLOR TO MATCH MC-3G.
- 19
- 11 SUSPENDED CANOPY WITH "HOME OF THE WHOPPER" SIGN. FRONT LIT WITH LED STRIP FIXTURE. SEE DETAIL. COORDINATE POWER REQ'TS.
- 12 NEW WALL COPING.
- 13 HORIZONTAL REVEAL IN EIFS.
- 14 NEW SLIDING DRIVE-THRU WINDOW. COORDINATE WITH OWNER FOR SIZE AND POWER REQUIREMENTS.
- 15 BACK SIDE OF TOWERS TO BE FINISHED WITH 'TAN' DURALAST ROOFING.
- 6 NEW LED LIGHTING BAND ASSEMBLY WIRED INTO EXISTING LIGHTING CIRCUITS.
- 7 NEW STOREFRONT DOOR IN EXISTING FRAME. FINISH TO MATCH EXISTING.
- 8 NEW EXTERIOR LIGHT FIXTURE (BOT. @ 10'-0") WIRED INTO EXISTING EXTERIOR LIGHTING CIRCUIT.
- 9 EXISTING ALUMINUM STOREFRONT WINDOW SYSTEM.
- 10 NEW HOLLOW METAL DOOR AND FRAME, PAINT AS SHOWN.
- 1 PAINT EXISTING BRICK VENEER COLOR AS SHOWN.
- 2 EIFS FINISH OVER NEW OR EXISTING EXTERIOR WALL SYSTEM. PROVIDE NEW FRAMING/SHEATHING AS REQ'D.
- 3 SUSPENDED CANOPY ABOVE WINDOWS, COORD. LOCATIONS OF BLOCKING FOR CANOPY BRACING W/ CANOPY MANUF. & DETAILS ON A5.1.
- 4 NEW NICHHA PANEL FINISH ON NEW TOWER FRAMING. REFER TO WALL SECTIONS.
- 5 NEW SIGNAGE, COORDINATE POWER REQUIREMENTS.

BURGER KING - 20/20 GARDEN GRILL							
EXTERIOR MATERIALS & FINISH SCHEDULE (not all specs are used on every project)							
11/10/2016							
CODE	MATERIAL	LOCATION	MANUFACTURER	DESCRIPTION		ADDITIONAL INFORMATION	
				PRODUCT	COLOR		DIMENSION
EB-1G	EXTERIOR BRICK	GENERAL	EVOLUTION BRICK	MOD / QS TUMBLED (FULL BRICK) (THIN BRICK)	OLDE HILLSBORO SIERRA TUMBLED	CONTACT: GABE POWERS (502) 558-4612 <b>NOTE: USE WITH EGR-3G</b>	
			PINE HALL BRICK	FACE BRICK	OLD IRVINGTON O/S	CONTACT: THERESA BEANE (800) 334-8689 - tbeane@pinehallbrick.com <b>NOTE: USE WITH EGR-3G</b>	
			H.C. MUDDOX BRICK	THIN BRICK	BK WEST COAST BLEND	CONTACT: SUNUP MATHEW (916) 708-9306 <b>NOTE: USE WITH EGR-3G</b>	
EB-1AG (ALTERNATE FOR EB-1G)	EXTERIOR FINISH FIBER CEMENT BRICK PANELS	GENERAL	NICHIHA FIBER CEMENT	NICHIHA CANYON BRICK PANELS	"SHALE BROWN" - STAGGERED JOINTS - UNPAINTED IF NO OTHER BRICK IS PRESENT. (ON REMODELS, IF THERE IS ANY EXISTING BRICK ON THE BUILDING, THE EXISTING BRICK AND THE NICHIHA BRICK MUST BE PAINTED TO MATCH EP-4G)	18" X 6' CONTACT: NICHIHA CUSTOMER SERVICE (770) 805-9466 BK@NICHIHA.COM <b>INSTALL PER MANUFACTURER'S SPECIFICATIONS</b>	
ECT-1G	EXTERIOR CERAMIC TILE	ACCENT AT BUILDING FRONT	GRANITI GIANDRE / EUROWEST	SENSIBLE STONE ED5052	"RED NATURAL" STACKED BOND PATTERN	12" X 24" CONTACT: JOY DETER AT EUROWEST (714) 309-9551 OR JOY KLEIN (813) 334-3302 jklein@transamerica.com <b>NOTE: USE WITH EGR-4G</b>	
ECT-18G	EXTERIOR CERAMIC TILE	INLINE RESTAURANTS ONLY	GRANITI GIANDRE / EUROWEST	ROVERE ANTICO LEGNI HIGH TECH	PAR 15334 "ROVERE" STACKED BOND PATTERN	6" X 36" CONTACT: JOY DETER AT EUROWEST (714) 309-9551 OR JOY KLEIN (813) 334-3302 jklein@transamerica.com <b>NOTE: USE WITH EGR-9G</b>	
EF-1G	EXTERIOR FINISH - STUCCO, STO, FIBER CEMENT SIDING PANELS	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM TEXTURE: FINE SAND OR STO THERM CI EIFS SYSTEM	COLOR TO MATCH EP-2G PPG "TANNERS TAUPE"	CONTACT: TIM SALERNO AT STO CORP (407) 466-5371	
			NICHIHA FIBER CEMENT	NICHIHA TUFFBLOCK	PREPAINTED TO MATCH EP-2G - PPG "TANNERS TAUPE" STACKED BOND PATTERN	18" X 6' <b>PERMISSIBLE ON REMODELS ONLY</b> CONTACT: NICHIHA CUSTOMER SERVICE (770) 805-9466 BK@NICHIHA.COM <b>INSTALL PER MANUFACTURER'S SPECIFICATIONS</b>	
EF-4G	EXTERIOR FINISH STUCCO	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM	COLOR TO MATCH EP-4G PPG "MONTEREY CLIFFS"	CONTACT: TIM SALERNO AT STO CORP (407) 466-5371	
EF-8G (ALTERNATE FOR EF-9G)	EXTERIOR FINISH STONE	EXTERIOR SIGN ARCHONS	BORAL STONE PRODUCTS	COUNTRY LEDGESTONE	"ASPEN"	CONTACT: 800-255-1727 Ashley.joyce@boral.com culturedstone@boral.com	
EF-9G	EXTERIOR FINISH FIBER CEMENT	EXTERIOR SIGN ARCHONS	NICHIHA FIBER CEMENT	VINTAGE WOOD EF762	"CEDAR"	CONTACT: NICHIHA CUSTOMER SERVICE (770) 805-9466 BK@NICHIHA.COM <b>INSTALL PER MANUFACTURER'S SPECIFICATIONS. VERTICAL SEAMS SHALL BE MINIMIZED. ALL SPANS OF 10' OR MORE SHALL HAVE VERTICAL CAULKED SEAMS ALIGNED IN THE CENTER OF THE ARCHON. ALL TRIMS SHALL BE FACTORY PAINTED TO MATCH PANELS.</b>	
TR-1G	ALUMINUM TRIMS						
EP-2G	EXTERIOR PAINT	EXTERIOR GENERAL	PPG	PRIMER: 17-921 PAINT: 6-2045XI	"TANNERS TAUPE" Custom Formula	Contact: RICK GARLIN, PPG CORPORATE NATIONAL ACCOUNTS MANAGER phone: (317) 318-5800 email: garlin@ppg.com	
EP-4G	EXTERIOR PAINT	EXTERIOR WAINSCOT		PRIMER: 17-921 PAINT: 6-2045XI	"MONTEREY CLIFFS" 10YY 14/080		
EP-6G	EXTERIOR PAINT	EXTERIOR ACCENT (For Metal Substrates Only)		PRIMER: 6-212 PAINT: 6-230	"BURGER KING SILVER" Custom Formula	<b>NOTE: NOT FOR USE ON ROOFS FOR REMODELING.</b> SEE EP-6AG & EP-6BG	
EP-6AG	EXTERIOR PAINT	EXISTING MANSARD ROOFS, SHINGLES & BARREL TILE		PRIMER: 17-921 PAINT: 90-1110	"GRIMMY'S GREY" 00NN 20/000	<b>NOTE: FOR REMODELS ONLY</b>	
EP-6BG	EXTERIOR PAINT	EXISTING STANDING SEAM METAL ROOF		PRIMER: 90-712 PAINT: 90-1110	"MARCH WIND" Custom Formula	<b>NOTE: FOR REMODELS ONLY</b>	
EP-8BG	EXTERIOR PAINT	METAL COPING AT ARCHON TOWERS		PRIMER: 17-921 PAINT: 6-2045XI	"CEDAR" Custom Formula		
EXT-G	EXTERIOR PAINT	POLES & SIGNS		PRIMER: 90-712 PAINT: 90-353	"BLACK"		
EGR-3G	GROUT	BRICK		MAPEI		#5 "CHAMOIS"	<b>NOTE: USE WITH EB-1G</b>
EGR-4G	GROUT	CERAMIC TILE		CUSTOM BUILDING PRODUCTS	POLYBLEND SANDED	#335 "WINTER GRAY"	<b>NOTE: USE WITH ECT-1G</b> <b>*** FOR SETTING MATERIALS USE COMPLETE CONTACT RAPID SET</b> <b>*** SEAL GROUT WITH AQUAMIX SEALERS CHOICE GOLD</b>
EGR-9G	GROUT	INLINE RESTAURANTS ONLY CERAMIC TILE		LATICRETE	POLYBLEND SANDED	#66 "CHESTNUT BROWN"	<b>NOTE: USE WITH ECT-18G</b> <b>*** CONTRACTOR TO ALLOW 1/16" MAX FOR GROUT JOINT</b> <b>*** FOR SETTING MATERIALS USE COMPLETE CONTACT RAPID SET</b> <b>*** SEAL GROUT WITH AQUAMIX SEALERS CHOICE GOLD</b> Contact: Kirby Davis at Laticrete (203) 671-7210
MC-1G	METAL COPING	TOP OF LIGHT BAND WALL CAP	W.P. HICKMAN SYSTEMS, INC.	PERMA SNAP PLUS	A-30 "SILVERSMITH"	CONTACT: W.P. HICKMAN COMPANY (828)676-1700 - WWW.WPH.COM	
MC-2G	METAL COPING	BELOW LIGHT BAND		PERMA SNAP PLUS	FACTORY FINISH TO MATCH EP-2G PPG "TANNERS TAUPE"		
MC-3G	METAL COPING	TOP OF ARCHON		PERMA SNAP PLUS	TO BE PAINTED TO MATCH EP-8G PPG "CEDAR"		
MP-1G		PARAPET LIGHT BAND	LEKTRON *SEE APPROVED SIGN SUPPLIERS	LED LIGHT BAND		PRODUCT INFORMATION: JOHN FITZWILSON AT LEKTRON (800) 634-4059 OR (918) 622-4978 EXT 302 Email: Jfitzwilson@lektroninc.com	
MP-3G	METAL CANOPY	ABOVE DOORS AND WINDOWS	*SEE APPROVED CANOPY SUPPLIERS	CUSTOM METAL CANOPY	COLOR: CLEAR ANODIZED	*SEE PLANS	
MP-4G	METAL AWNING / SSM ROOFING	ABOVE WINDOWS / MANSARD ROOFING	FIRESTONE METAL PRODUCTS	STANDING SEAM METAL ROOF UC-4 PROFILE	SILVER METALLIC SR	CONTACT: YUSUKE KOREEDA (615) 945-9991 Email: koreedayusuke@firestonebp.com	
			BERRIDGE ROOFING METAL PRODUCTS	STANDING SEAM METAL ROOF CEE-LOCK	PREMIUM METALLIC - ZINC COTE	CONTACT: (210) 650-7047	



**CURRAN**  
ARCHITECTURE

5719 LAWTON LOOP E. DR. #212  
INDIANAPOLIS, IN 46216  
O :: 317.288.0681  
F :: 317.288.0753

OWNER



2100 RIVEREDGE PARKWAY  
SUITE 850  
ATLANTA, GA 30328

O :: 770.933.5023  
F :: 770.933.5024

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PROJECT INFORMATION

REMODEL TO:  
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18234 MAUGANS AVE  
HAGERSTOWN, MD 21740



ISSUE DATES

FOR CONSTRUCTION 03-14-2018

PROJECT NUMBER: 170287

FINISH  
SCHEDULE

**A2.3**



**CURRAN**  
ARCHITECTURE

5719 LAWTON LOOP E. DR. #212  
INDIANAPOLIS, IN 46216  
O :: 317 . 288 . 0681  
F :: 317 . 288 . 0753

OWNER



2100 RIVEREDGE PARKWAY  
SUITE 850  
ATLANTA, GA 30328  
O :: 770 . 933 . 5023  
F :: 770 . 933 . 5024

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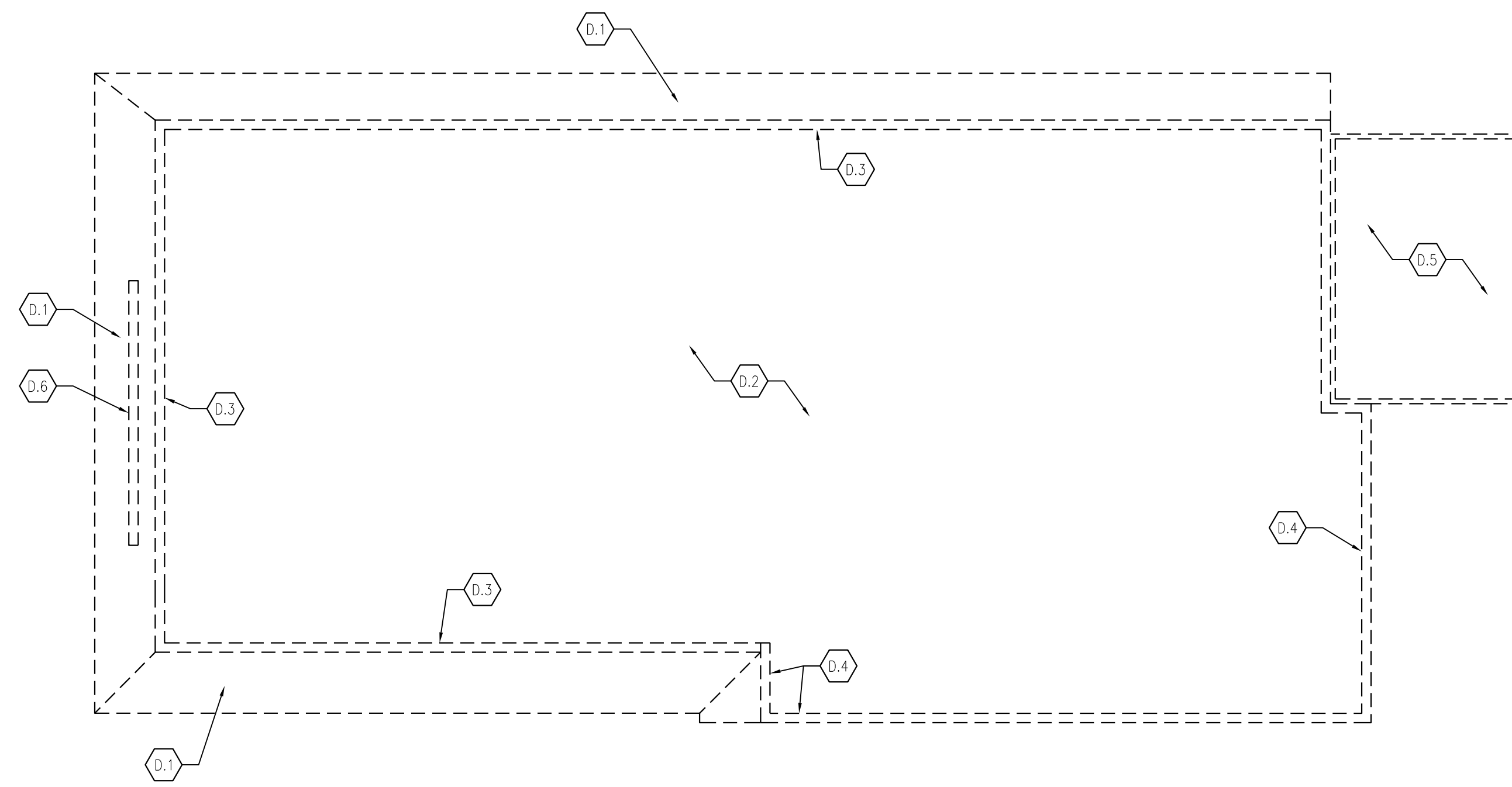
ISSUE DATES

FOR CONSTRUCTION 03-14-2018

PROJECT NUMBER: 170287

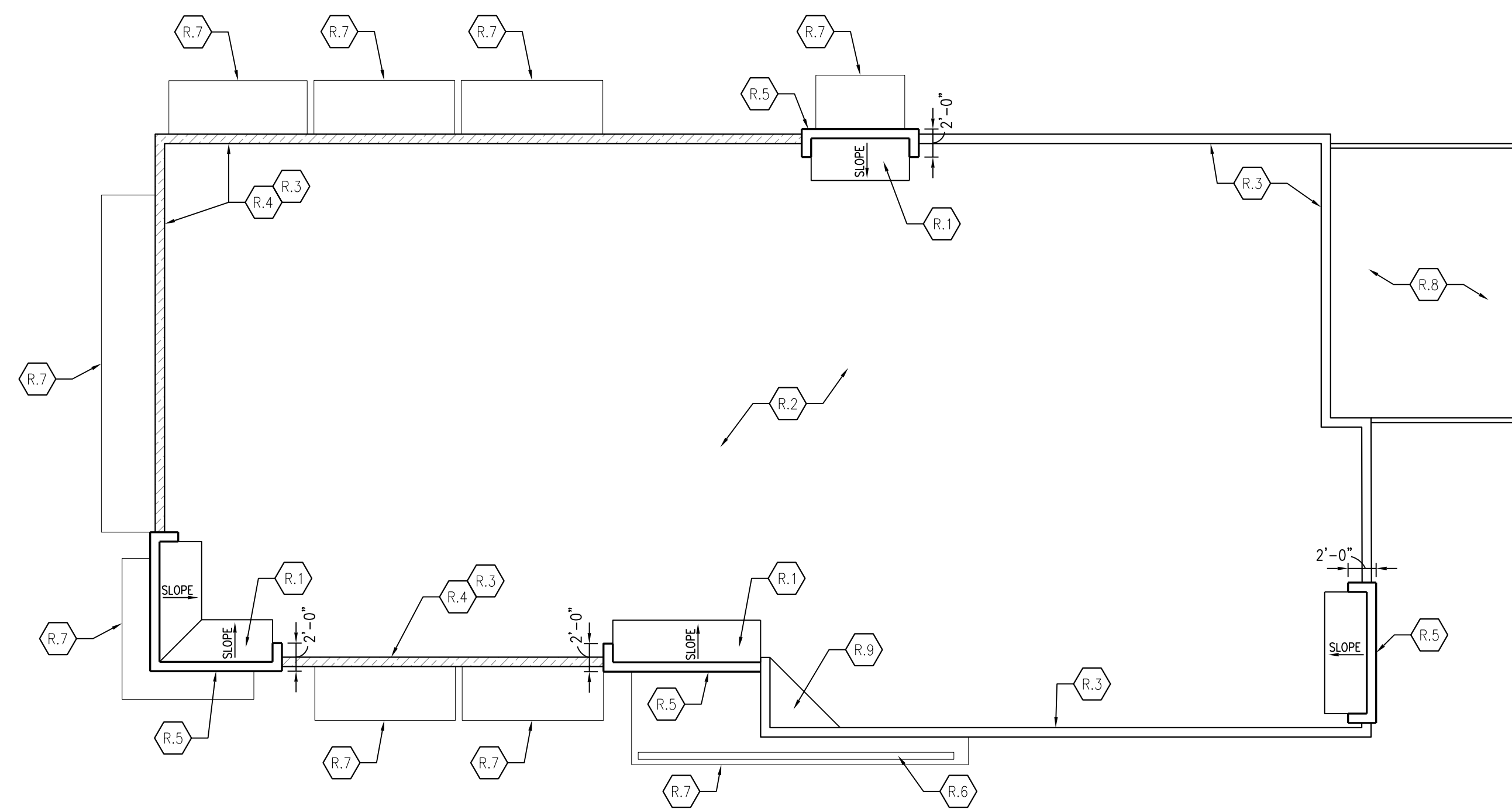
ROOF  
PLAN

**A3.1**



**DEMOLITION ROOF PLAN**

1/8" = 1'-0"



**NEW ROOF PLAN**

2  
1/8" = 1'-0"

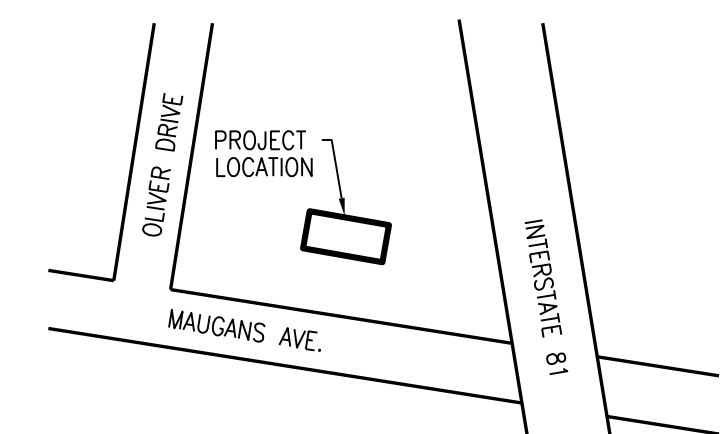


**DEMO ROOF NOTES**

- D.1 REMOVE EXISTING ASPHALT SHINGLE ROOFING AND ENTIRE MANSARD ROOF ASSEMBLY, INCLUDING PORTIONS OF EXISTING TRUSSES AS SHOWN IN WALL SECTIONS TO EXTENTS SHOWN.
- D.2 EXISTING ROOF MEMBRANE TO REMAIN. COORDINATE WITH OWNER FOR ANY ROOF MAINTENANCE.
- D.3 REMOVE EXISTING LIGHTED BAND AND WALL COPINGS.
- D.4 REMOVE EXISTING WALL COPING.
- D.5 COORDINATE WITH OWNER FOR SCOPE OF WORK AT EXISTING COOLER ROOF / EQUIPMENT.
- D.6 REMOVE EXISTING SIGNAGE.

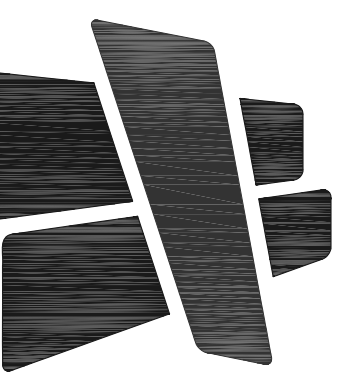
**NEW ROOF NOTES**

- R.1 NEW ROOF FRAMING, SHEATHING, RIGID INSULATION AND ROOFING MEMBRANE TO MATCH EXISTING, SEE WALL SECTIONS.
- R.2 EXISTING ROOF TO REMAIN.
- R.3 NEW WALL COPINGS, SEE EXTERIOR ELEVATIONS FOR COLORS.
- R.4 LIGHTED BAND ASSEMBLY WITH LED LAMPS, TIE INTO EXISTING LIGHTING CIRCUITS.
- R.5 TOWER WALL FRAMING, SEE ELEVATIONS AND SECTIONS FOR ADDITIONAL INFORMATION.
- R.6 'HOME OF THE WHOPPER' SIGN.
- R.7 NEW SUSPENDED CANOPY SYSTEM, COORDINATE WITH DETAILS ON SHEET A5.1 AND MANUFACTURER FOR REQUIRED BLOCKING LOCATIONS.
- R.8 COORDINATE WITH OWNER FOR SCOPE OF WORK AT EXISTING COOLER ROOF / EQUIPMENT.
- R.9 BUILD UP THIS AREA TO SQUARE OFF ROOF AND WALL AS SHOWN ON ELEVATIONS. PROVIDE MATERIALS TO MATCH EXISTING. MATCH EXISTING ROOF SLOPE AS REQUIRED. TIE IN NEW ROOF MEMBRANE PER MANUFACTURER'S RECOMMENDATIONS.



**KEY PLAN**





# CURRAN ARCHITECTURE

5719 LAWTON LOOP E. DR. #212  
INDIANAPOLIS, IN 46216  
O :: 317.288.0681  
F :: 317.288.0753

OWNER



2100 RIVEREDGE PARKWAY  
SUITE 850  
ATLANTA, GA 30328  
O :: 770.933.5023  
F :: 770.933.5024

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18234 MAUGANS AVE  
HAGERSTOWN, MD 21740



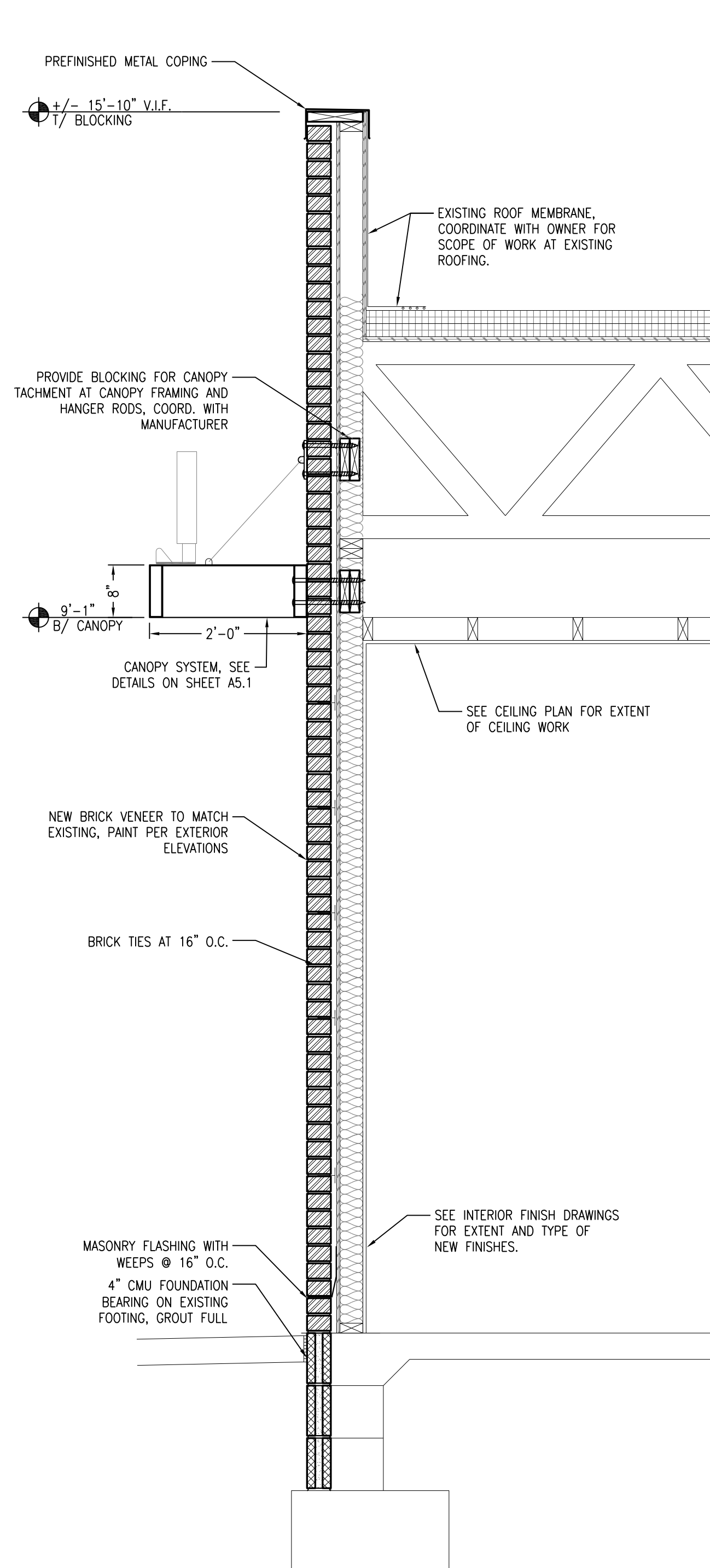
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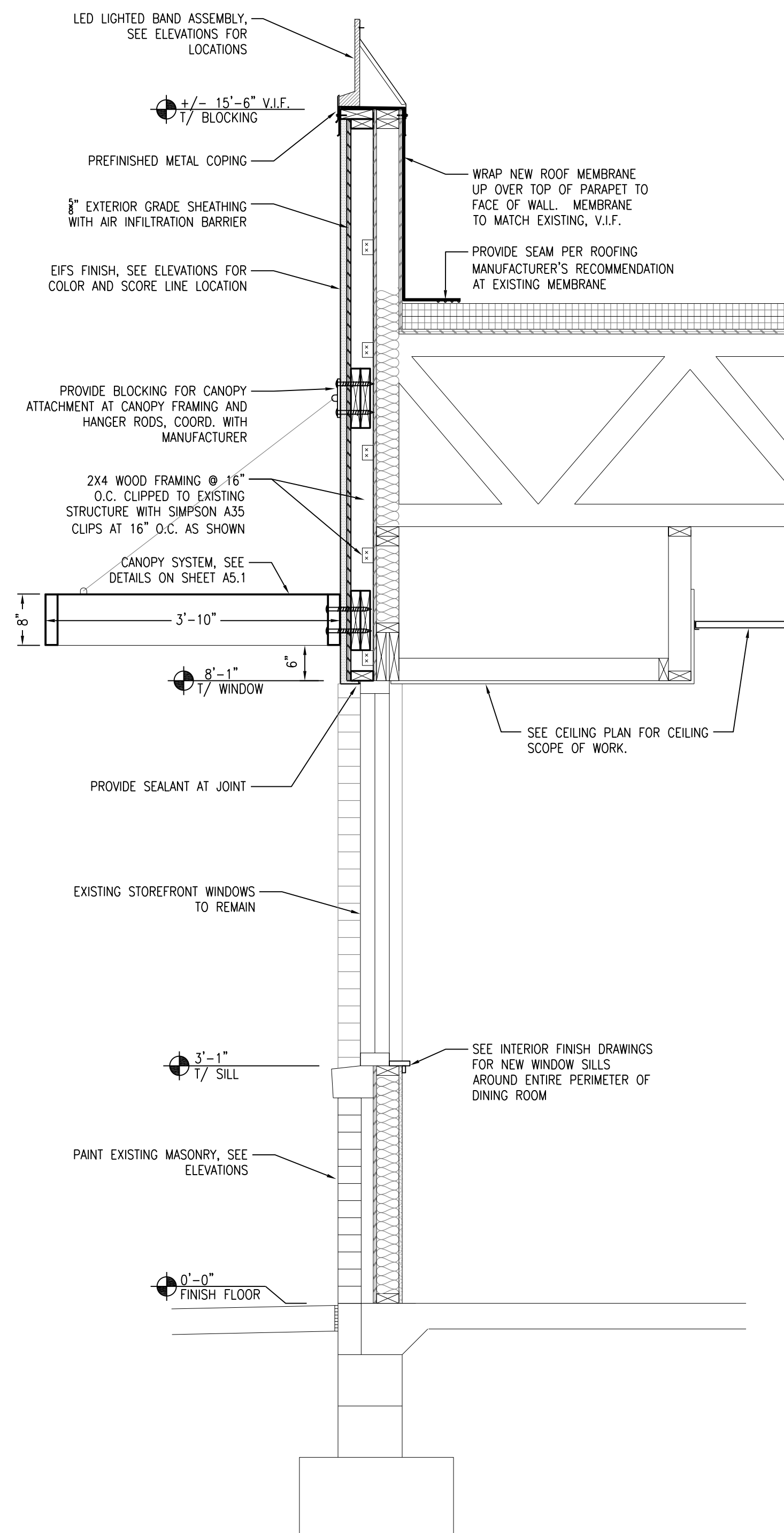
PROJECT NUMBER: 170287

WALL SECTIONS

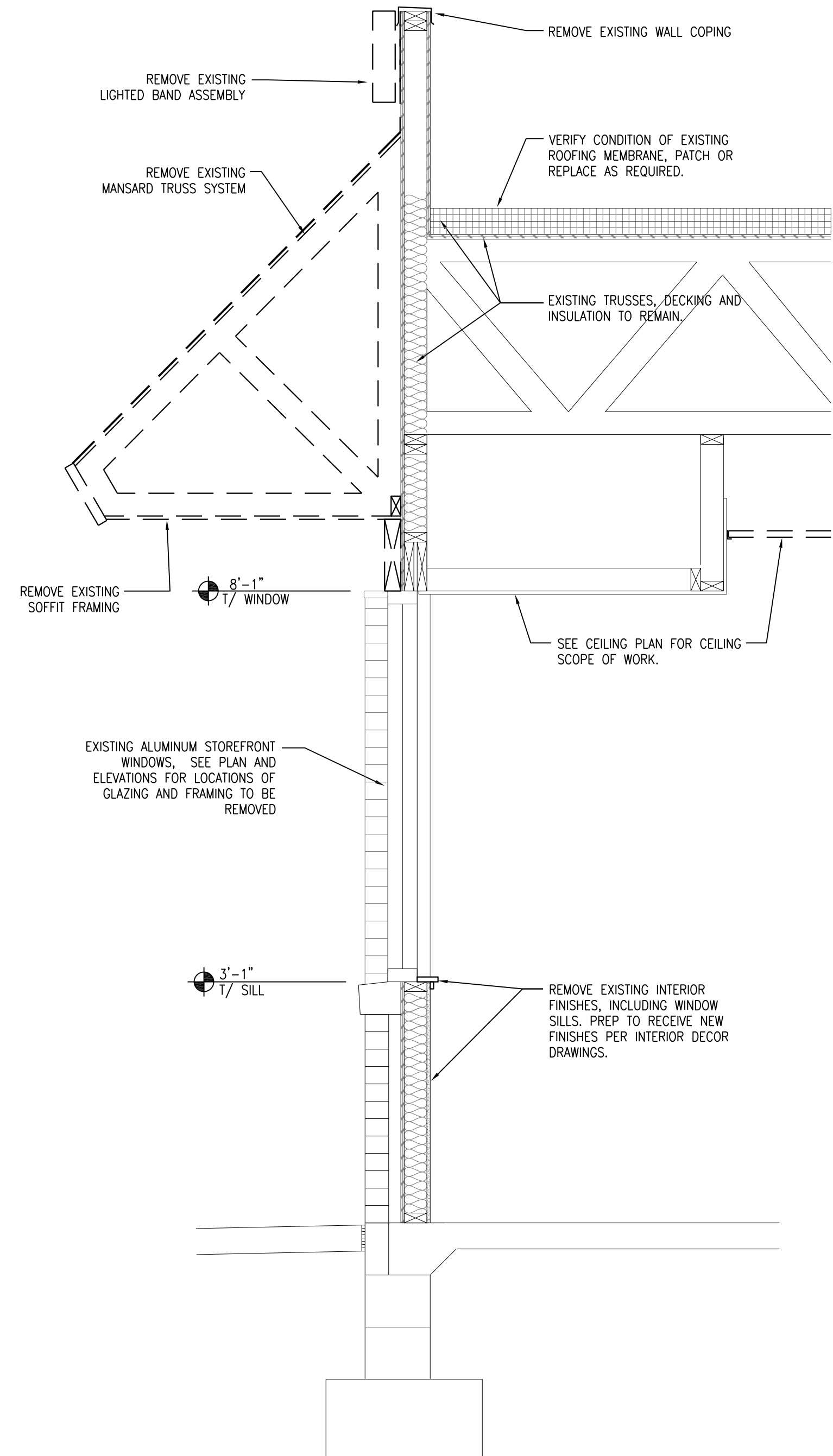
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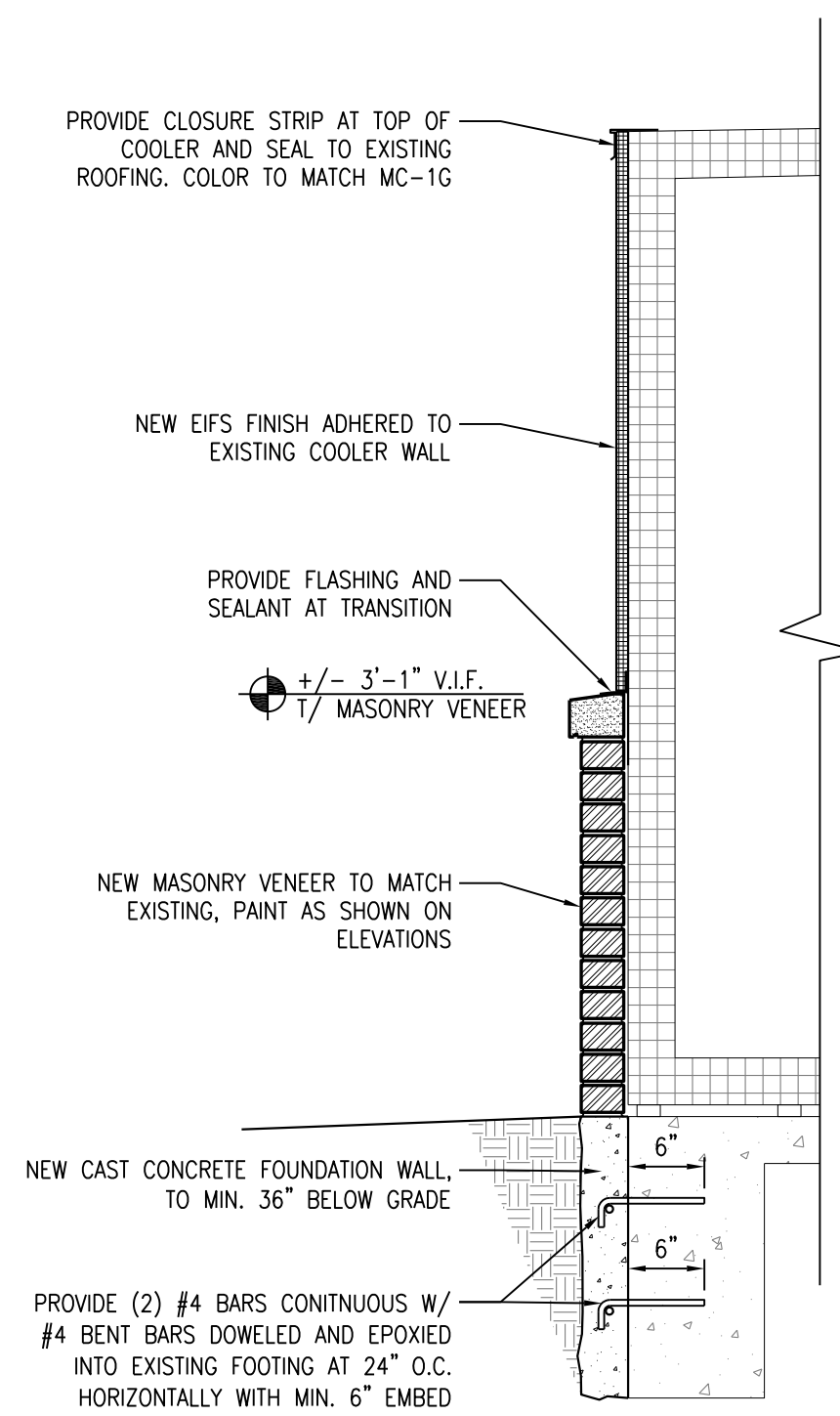
SECTION @ RESTROOM WALL 3  
3/4" = 1'-0"



TYPICAL SECTION @ WINDOW 2  
3/4" = 1'-0"



TYPICAL DEMO SECTION 1  
3/4" = 1'-0"



SECTION @ COOLER BRICK VENEER 4  
3/4" = 1'-0"

SECTION @ COOLER BRICK VENEER 4  
3/4" = 1'-0"



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5719 LAWTON LOOP E. DR. #212  
INDIANAPOLIS, IN 46216  
O :: 317.288.0681  
F :: 317.288.0753

OWNER



2100 RIVEREDGE PARKWAY  
SUITE 850  
ATLANTA, GA 30328  
O :: 770.933.5023  
F :: 770.933.5024

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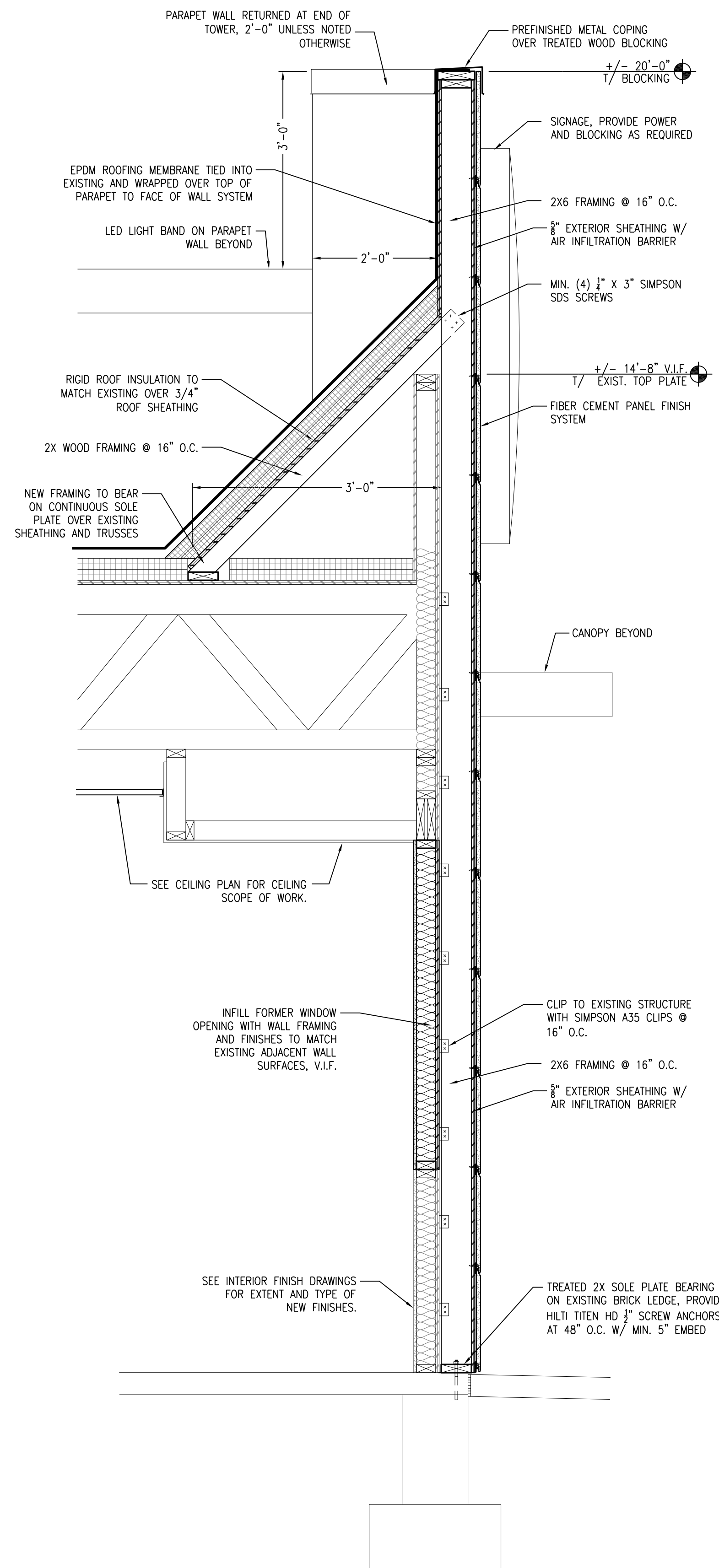
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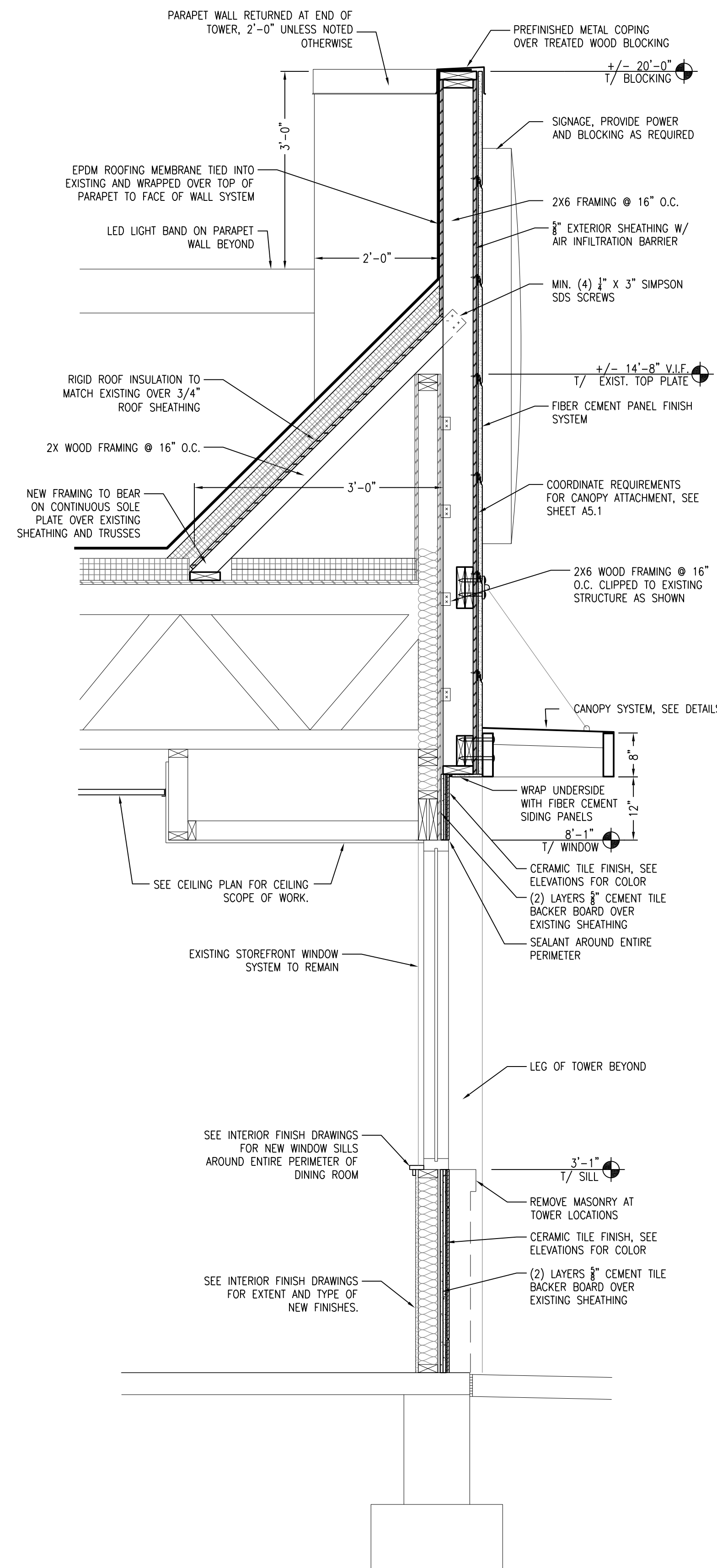
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WALL SECTIONS

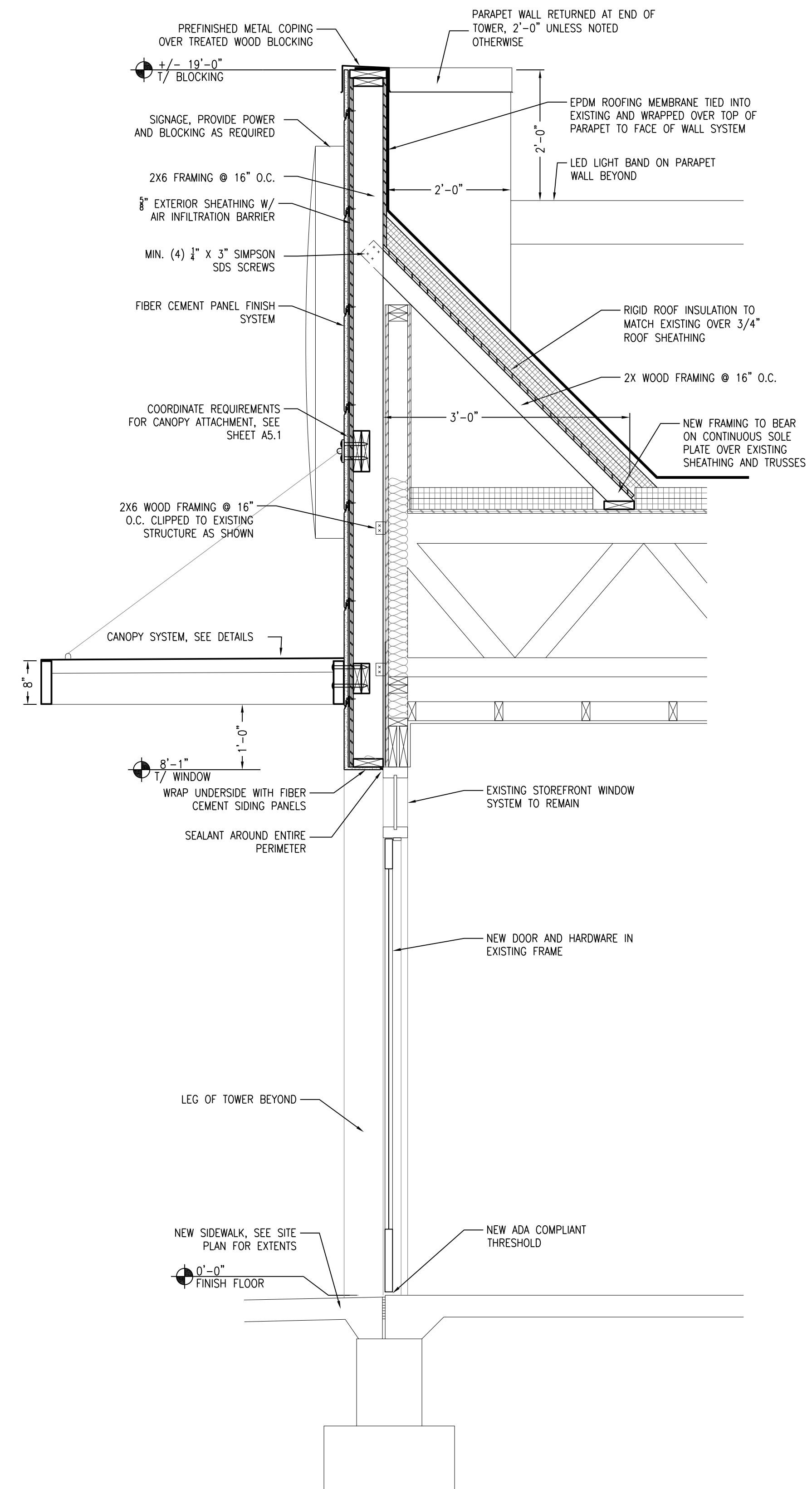
# A4.2



SECTION @ CORNER TOWER LEG 3  
3/4" = 1'-0"



SECTION @ CORNER TOWER WINDOW 2  
3/4" = 1'-0"



SECTION @ MAIN ENTRY 1  
3/4" = 1'-0"



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5719 LAWTON LOOP E. DR. #212  
INDIANAPOLIS, IN 46216  
O :: 317.288.0681  
F :: 317.288.0753

OWNER



2100 RIVEREDGE PARKWAY  
SUITE 850  
ATLANTA, GA 30328  
O :: 770.933.5023  
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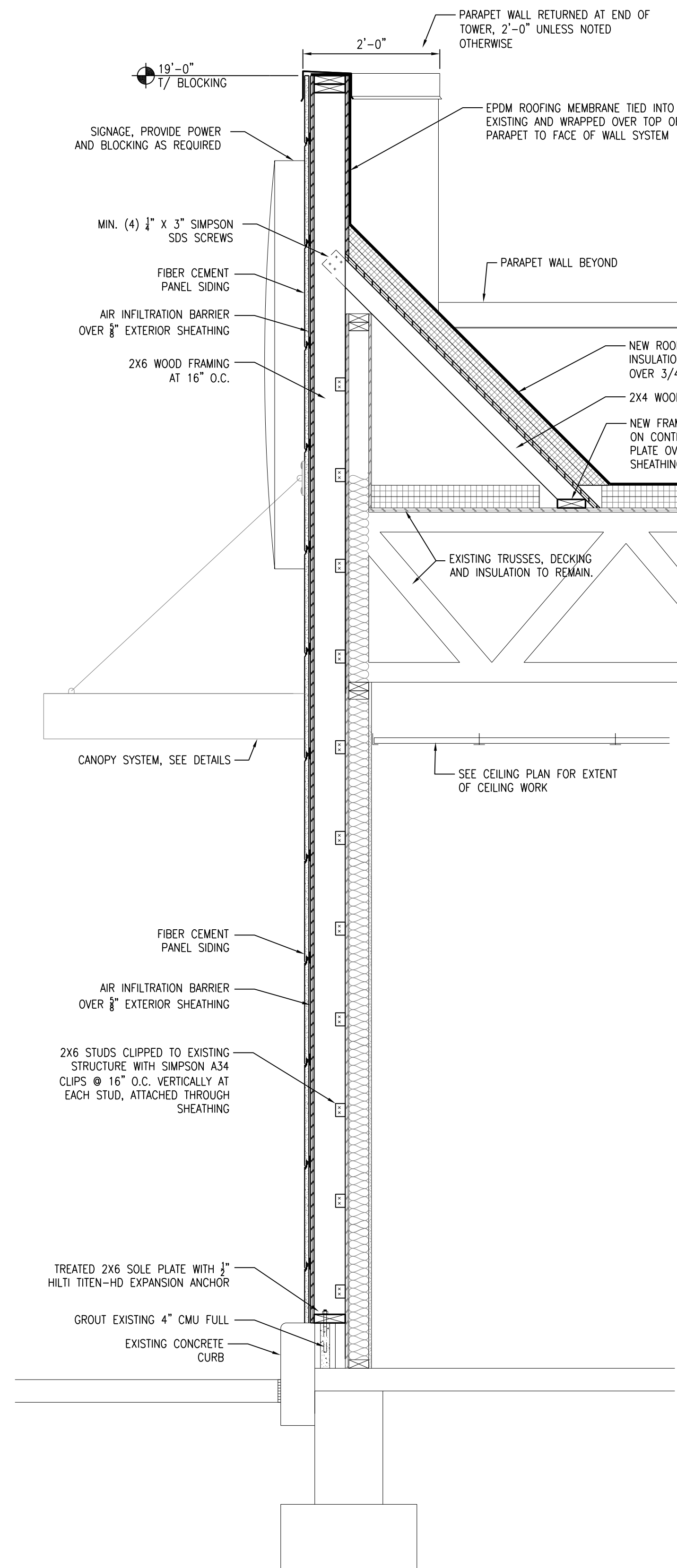
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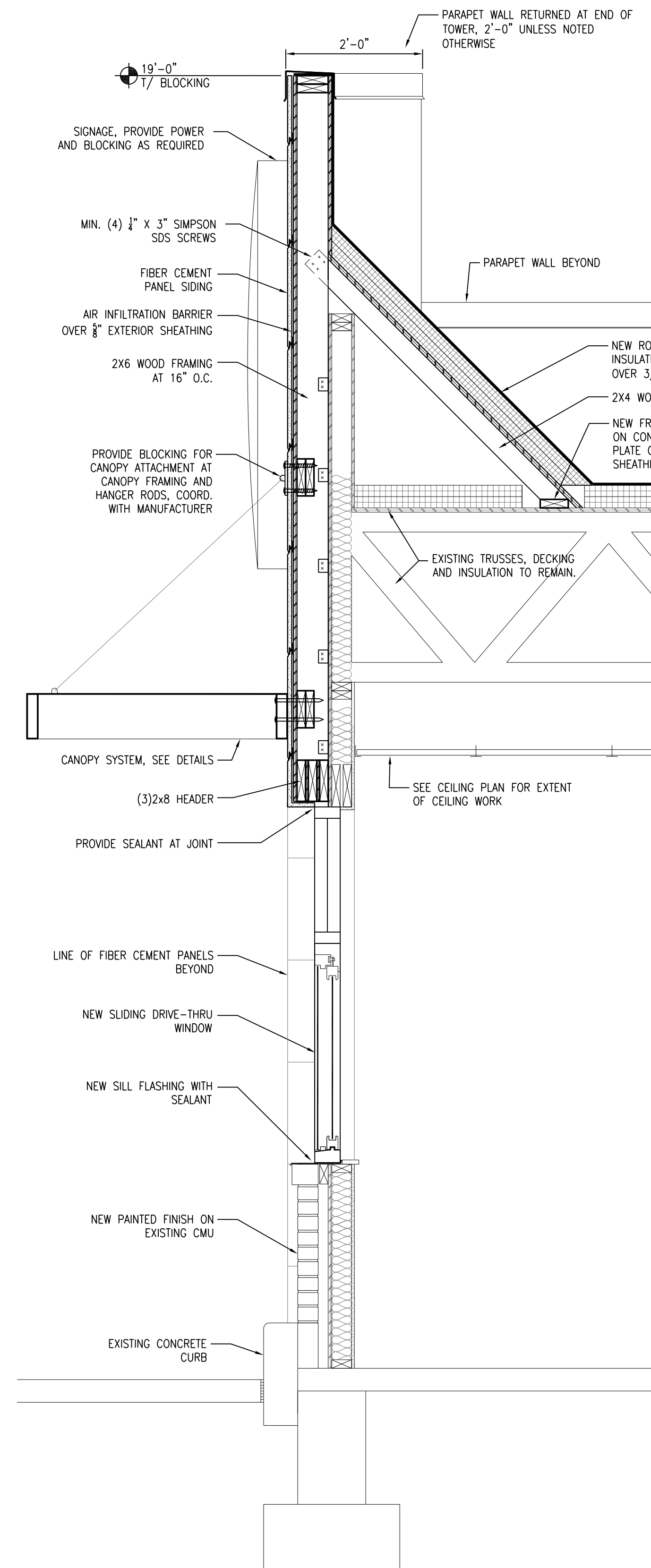
PROJECT NUMBER: 170287

WALL SECTIONS

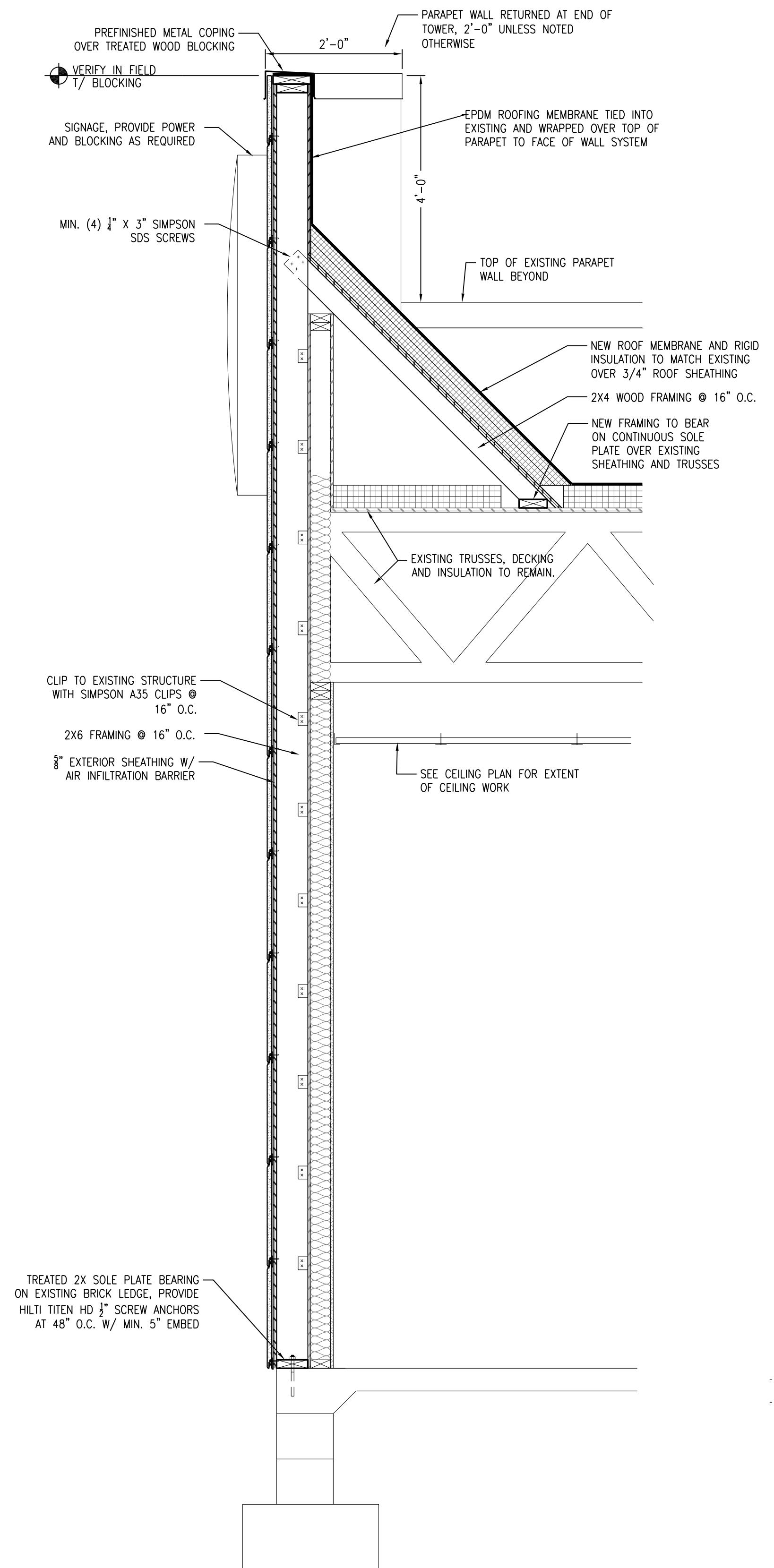
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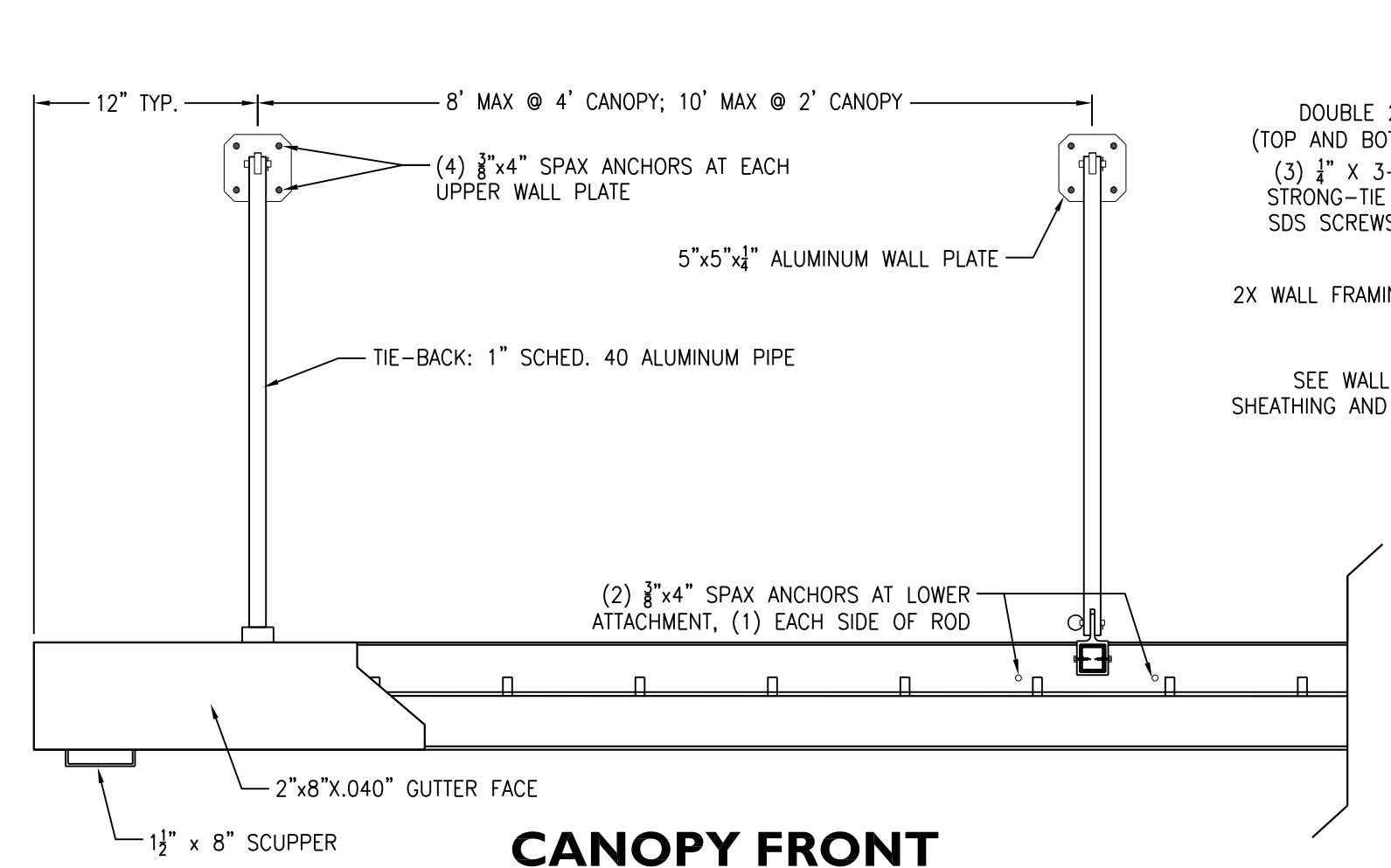
SECTION @ D/T TOWER LEG 3  
3/4" = 1'-0"



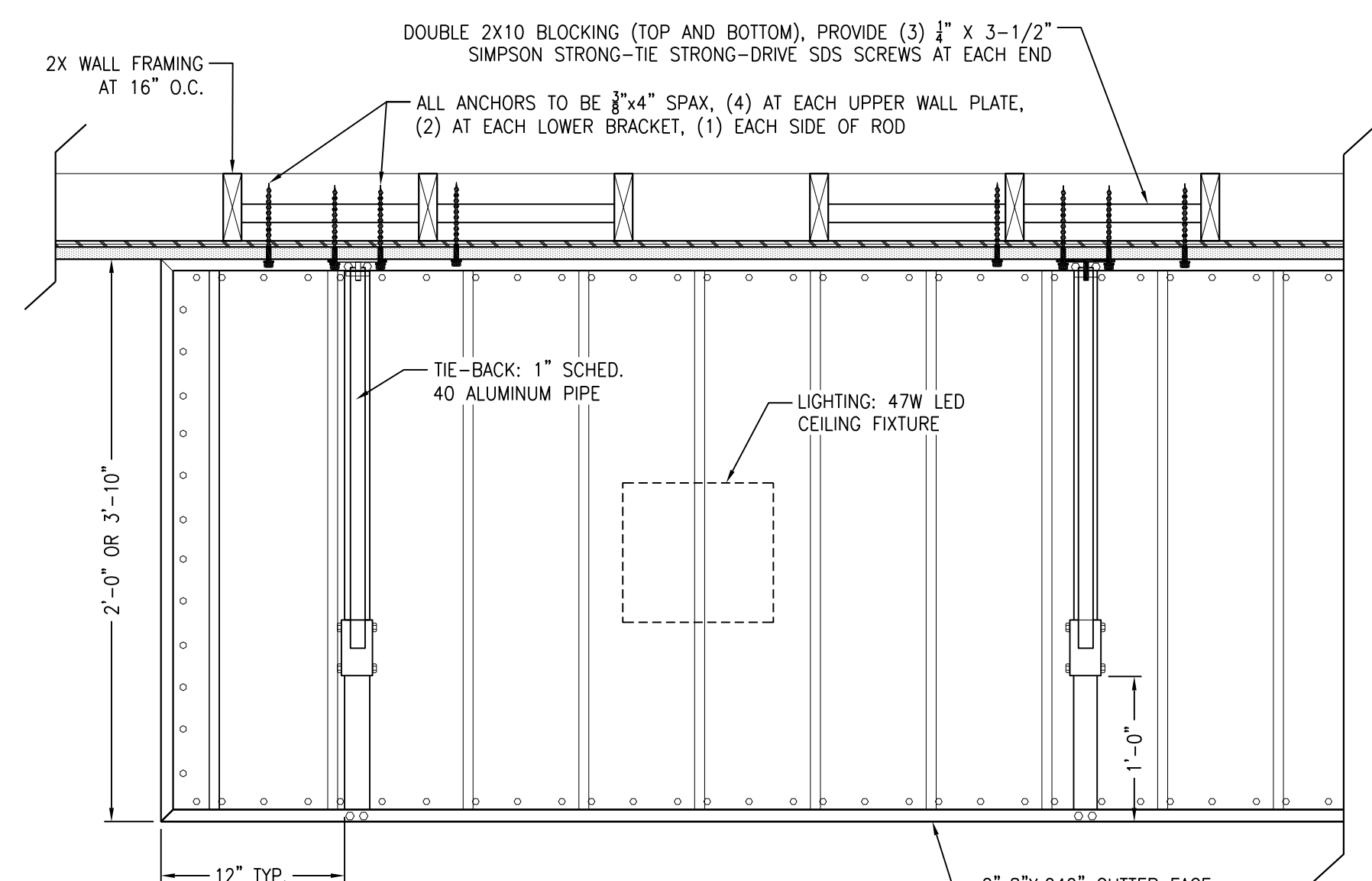
SECTION @ D/T TOWER WINDOW 2  
3/4" = 1'-0"



SECTION @ REAR TOWER 1  
3/4" = 1'-0"

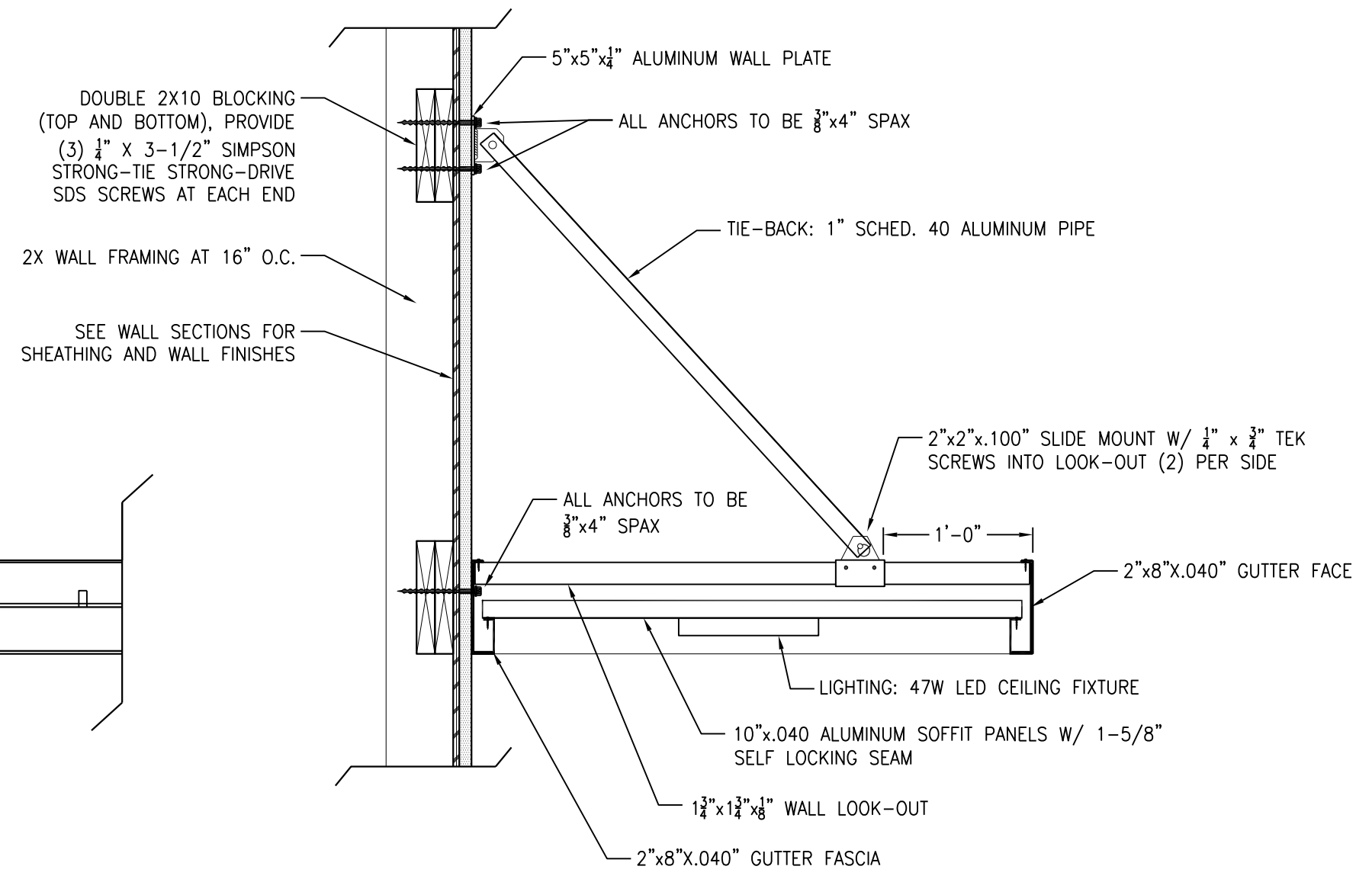


**CANOPY FRONT**

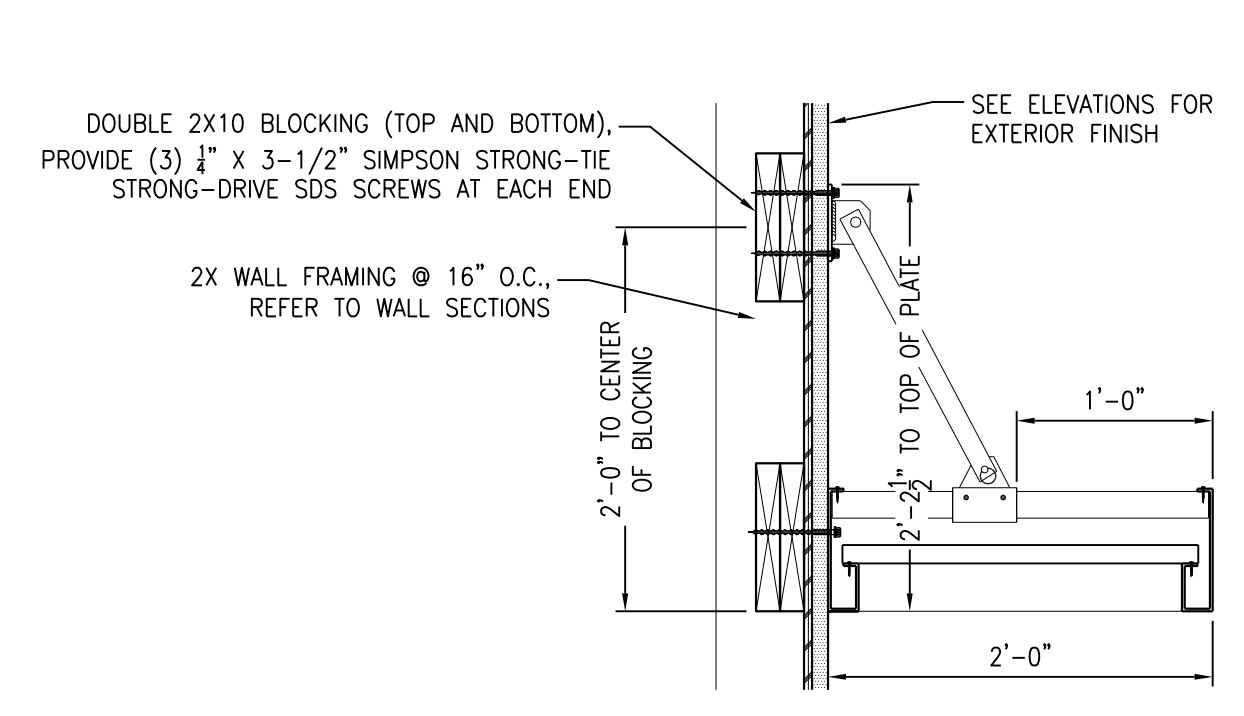


**CANOPY TOP**

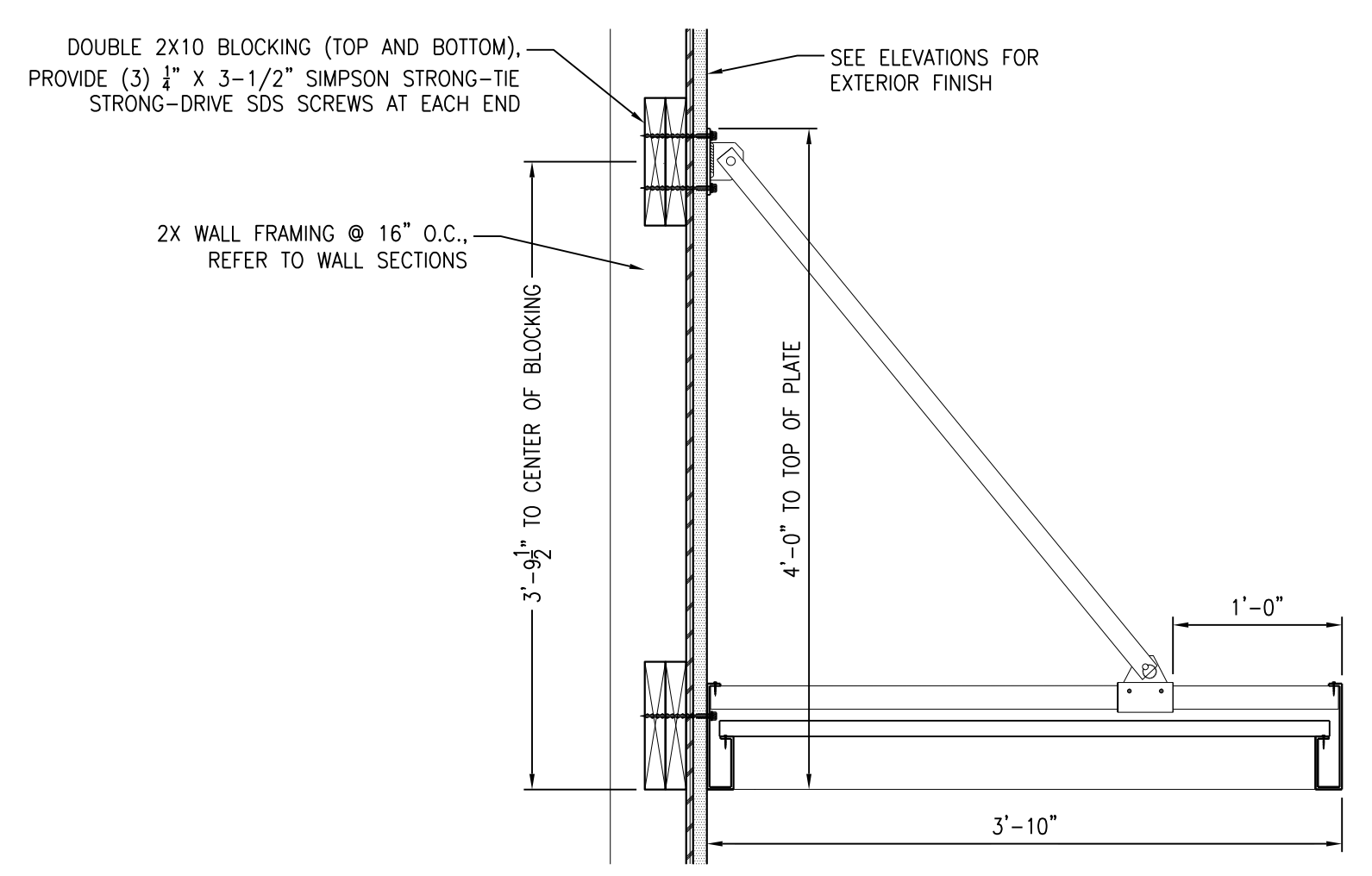
**CANOPY ATTACHMENT DETAILS 2**  
NOT TO SCALE



**TYP. CANOPY DETAILS**



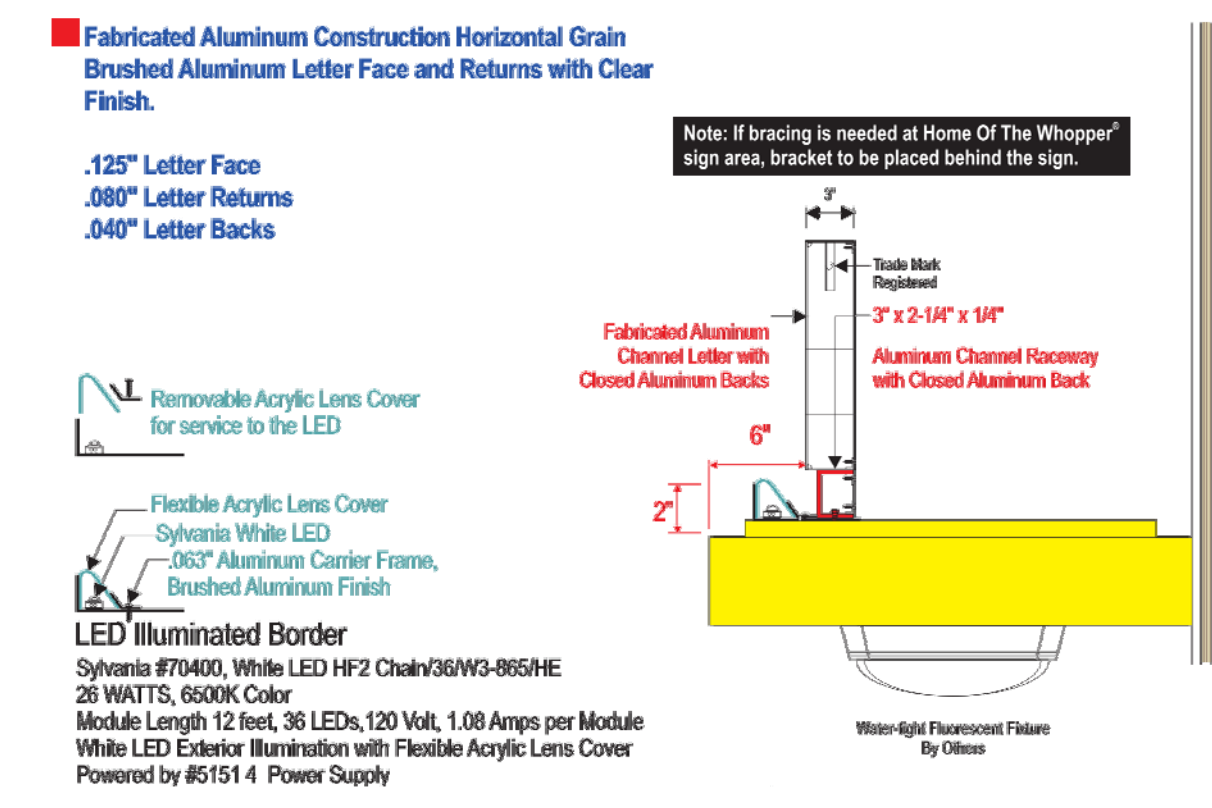
**2' CANOPY SECTION**



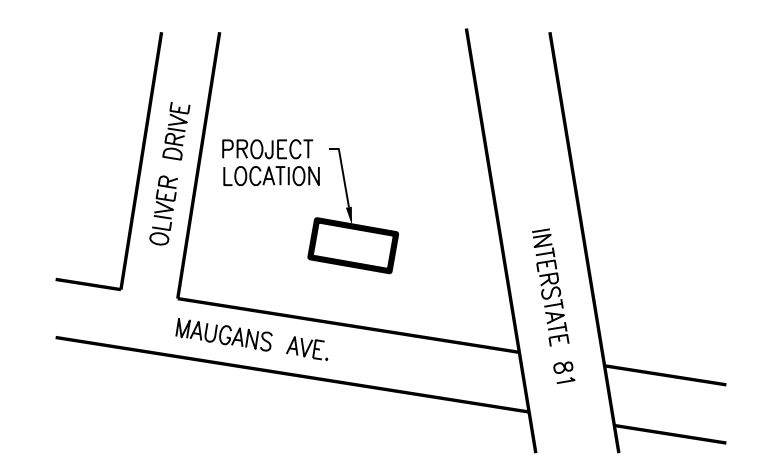
**4' CANOPY SECTION**

**CANOPY FRAMING DETAILS 1**  
NOT TO SCALE

**Manufacturing Specifications:**



**SIGNAGE LIGHTING 3**  
NOT TO SCALE



**KEY PLAN**



**CURRAN ARCHITECTURE**

5719 LAWTON LOOP E. DR. #212  
INDIANAPOLIS, IN 46216  
O :: 317.288.0681  
F :: 317.288.0753

OWNER



2100 RIVEREDGE PARKWAY  
SUITE 850  
ATLANTA, GA 30328  
O :: 770.933.5023  
F :: 770.933.5024

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ISSUE DATES

FOR CONSTRUCTION 03-14-2018

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CANOPY DETAILS

**A5.1**



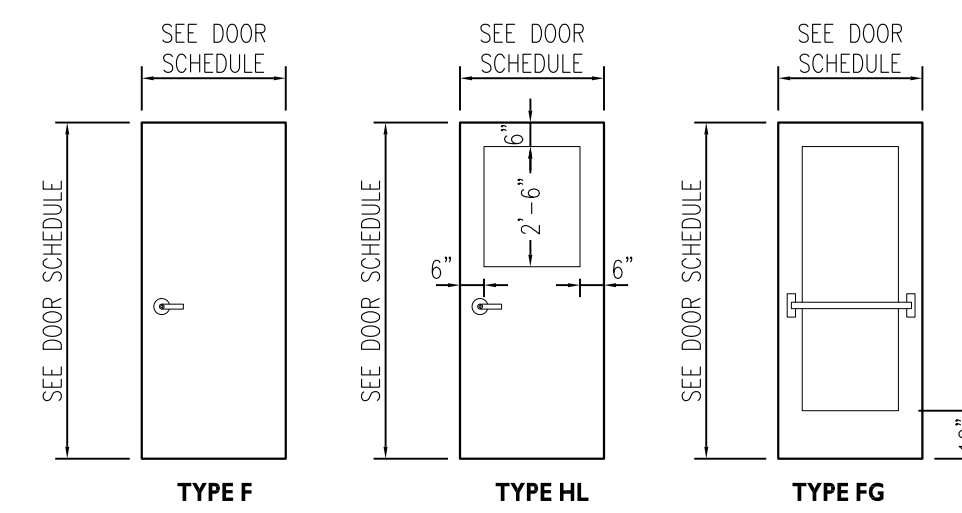
**DOOR SCHEDULE**

MARK	TYPE	SIZE	MATERIAL	FINISH	GLAZING	RATING	FRAME	MATERIAL	FINISH	RATING	HARDWARE	NOTES	MARK
101A	FG	PAIR 3-0 X 7-0	AL	MATCH EXIST	1" INSUL. TEMP.	--	EXIST	EXIST AL	EXIST	--	1	NEW DOOR AND HARDWARE IN EXISTING FRAME, VERIFY SIZE	101A
101B	FG	PAIR 3-0 X 7-0	AL	MATCH EXIST	1/4" TEMP.	--	EXIST	EXIST AL	EXIST	--	2	NEW DOOR AND HARDWARE IN EXISTING FRAME, VERIFY SIZE	101B
102	FG	3-0 X 7-0	AL	MATCH EXIST	1" INSUL. TEMP.	--	EXIST	EXIST AL	EXIST	--	3	NEW DOOR AND HARDWARE IN EXISTING FRAME, VERIFY SIZE	102
104	F	3-0 X 6-8	SCWD	HPL	NONE	--	F1	K.D. ALUM.	CLEAR ANNOXIDIZED	--	6		104
105	F	3-0 X 6-8	SCWD	HPL	NONE	--	F1	K.D. ALUM.	CLEAR ANNOXIDIZED	--	6		105
107	HL	3-0 X 6-8	SCWD	HPL	1/4" TEMP.	--	F1	K.D. ALUM.	CLEAR ANNOXIDIZED	--	7		107
109	F	3-4 X 6-8	INSUL. STEEL	PAINT	NONE	--	F1	HM	PAINT	--	8	VERIFY ROUGH OPENING SIZE IN EXISTING WALL	109

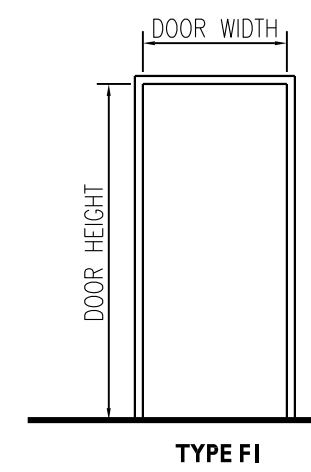
**NOTES:**

- ALL DOOR HARDWARE SHALL BE HEAVY DUTY, GRADE 1, COMMERCIAL QUALITY.
- WHERE "EXIT DEVICE" IS SPECIFIED, AN ADA COMPLIANT PANIC EXIT DEVICE EQUAL TO "VON DUPRIN SERIES 98/99" SHALL BE PROVIDED.
- ALL HARDWARE TO HAVE SATIN ALUMINUM ANODIZED FINISH

**DOOR ELEVATIONS**



**FRAME ELEVATIONS**



**DOOR HARDWARE**

- |  |                        |                           |                           |
|--|------------------------|---------------------------|---------------------------|
| <b>HARDWARE SET #1</b>                 | <b>HARDWARE SET #2</b> | <b>HARDWARE SET #3</b>    | <b>HARDWARE SET #4</b>    |
| 2 CONTINUOUS HINGES                    | 2 CONTINUOUS HINGES    | 1 CONTINUOUS HINGE        | 1 CONTINUOUS HINGE        |
| 2 CLOSERS                              | 2 CLOSERS              | 1 CLOSER                  | 1 CLOSER                  |
| 2 KEYED PANIC EXIT DEVICES             | 2 PUSH/PULL            | 1 KEYED PANIC EXIT DEVICE | 1 PUSH/PULL               |
| 1 PERIMETER SEAL                       | 1 PERIMETER SEAL       | 1 PERIMETER SEAL          | 1 PERIMETER SEAL          |
| 1 THRESHOLD                            |                        | 1 THRESHOLD               |                           |
| 2 BKC PULLS                            |                        | 1 BKC PULL                |                           |
| <b>HARDWARE SET #5</b>                 | <b>HARDWARE SET #6</b> | <b>HARDWARE SET #7</b>    | <b>HARDWARE SET #8</b>    |
| 3 HINGES                               | 3 HINGES               | 3 HINGES                  | 4 HINGES                  |
| 1 CLOSER                               | 1 CLOSER               | 1 CLOSER                  | 1 CLOSER                  |
| 1 PUSH/PULL                            | 1 PUSH/PULL            | 1 KEYPAD LOCKSET:         | 1 KEYED PANIC EXIT DEVICE |
| 1 THUMBTURN LOCK W/ INDICATOR          | 1 PERIMETER SEAL       | MANUF: KABA               | 1 PERIMETER SEAL          |
| 1 PERIMETER SEAL                       | 1 WALL STOP            | MODEL: E5031-XS-WL        | 1 THRESHOLD               |
| 1 WALL STOP                            | 2 34x12 SS KICKPLATES  | KEY: SCHLAGE              | 1 PEEP-HOLE               |
| 2 34x12 SS KICKPLATES                  |                        | FINISH: US26D             | 1 38x12 SS KICKPLATE      |
| <b>HARDWARE SET #9</b>                 |                        | 3 MUTES                   |                           |
| 1 DUAL ACTION SELF-CLOSING PIVOT HINGE |                        | 1 OVERHEAD STOP           |                           |
| 1 PUSH/PUSH                            |                        | 2 34x12 SS KICKPLATES     |                           |
| 1 PINCH GUARD EACH SIDE                |                        |                           |                           |



**CURRAN ARCHITECTURE**

5719 LAWTON LOOP E. DR. #212  
 INDIANAPOLIS, IN 46216  
 O :: 317 . 288 . 0681  
 F :: 317 . 288 . 0753

OWNER



2100 RIVEREDGE PARKWAY  
 SUITE 850  
 ATLANTA, GA 30328

O :: 770 . 933 . 5023  
 F :: 770 . 933 . 5024

**CERTIFICATION**



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**PROJECT INFORMATION**

REMODEL TO:  
**BURGER KING #11450**  
 18234 MAUGANS AVE  
 HAGERSTOWN, MD 21740



**ISSUE DATES**

FOR CONSTRUCTION 03-14-2018

PROJECT NUMBER: 170287

DOOR SCHEDULE

**A6.1**

