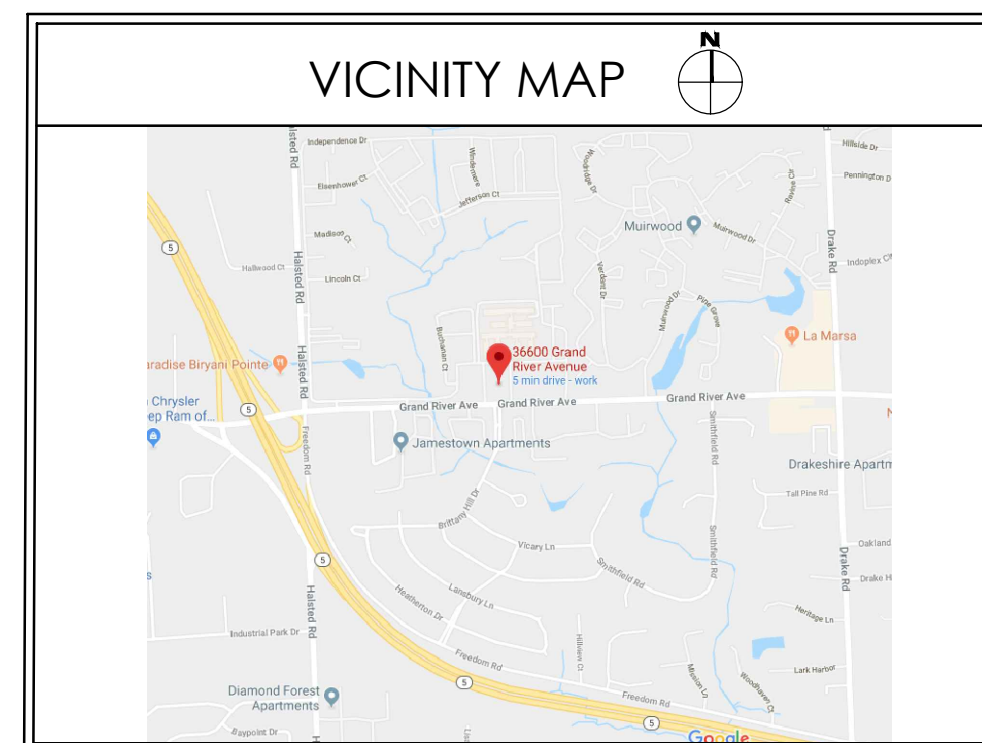


ISKCON TEMPLE

36600 GRAND RIVER AVE.
FARMINGTON HILLS, MI 48335

PROJECT DATA	
OWNERS ISKCON MICHIGAN 36600 GRAND RIVER AVE. FARMINGTON HILLS, MI 48335	DESIGN CONSULTANT TECHNICAL GROUP, INC. 37716 HILLS TECH DR FARMINGTON HILLS, MICHIGAN 48331 (248)426-8000
LOCAL AUTHORITIES	
FARMINGTON HILLS 31555 W ELEVEN MILE RD. FARMINGTON HILLS, MI 48336 248.671.2450	OAKLAND COUNTY HEALTH 27725 GREENFIELD RD. SOUTHFIELD, MI 48076 248.424.7000

CODE INFORMATION	
PROJECT SCOPE:	ISKCON TEMPLE
APPLICABLE BUILDING CODES:	2015 INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL FIRE CODE 2015 INTERNATIONAL PLUMBING CODE 2015 INTERNATIONAL MECHANICAL CODE 2014 NATIONAL ELECTRICAL CODE
OCCUPANCY TYPE:	A-2: TEMPLE
CONSTRUCTION TYPE:	V-B; NON SPRINKLED
TOTAL KITCHEN AREA:	4,975 SF



NOTICE TO BIDDERS

THE "GENERAL CONTRACTOR," ITS "SUBCONTRACTORS," AND "VENDORS" SHALL REVIEW THE PROPOSED SITE FOR BIDDING PURPOSES AND TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS OF THE SITE AND PROPOSED SPACE. ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS (DRAWINGS) AND EXISTING CONDITIONS SHALL BE SUBMITTED IN WRITING TO THE "ARCHITECT" AND OWNER BY THE "GENERAL CONTRACTOR" FOR CLARIFICATION. BY FAILURE TO CLARIFY DISCREPANCIES, GC SHALL BEAR RISK AND COST, AT NO CHARGE TO OWNER TO RECTIFY.

EXISTING CONDITIONS / FIELD VERIFICATION
 IN AS MUCH AS THE ADAPTATION OF AN EXISTING STRUCTURE REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS, AND BECAUSE SOME OF THESE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT EXPENDING ADDITIONAL SUMS OF MONEY OR DESTROYING OTHERWISE ADEQUATE SERVICEABLE PORTIONS OF THE STRUCTURE, THE CLIENT AGREES TO HOLD HARMLESS AND INDEMNIFY DESIGN PROFESSIONALS FOR ALL CLAIMS, COSTS, LOSSES, AND EXPENSES ARISING OR ALLEGEDLY ARISING FROM THE DISCOVERY OF CONCEALED OR UNKNOWN CONDITIONS IN THE EXISTING STRUCTURE OR FROM ANY DEFICIENCIES OR INACCURACIES IN ANY INFORMATION OR DOCUMENTATION FURNISHED TO THE DESIGN PROFESSIONAL BY THE CLIENT, AND TO PAY DESIGN PROFESSIONALS FOR ADDITIONAL SERVICES RESULTING THEREFROM.

IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL ASPECTS CONTAINED WITHIN THE SCOPE OF WORK AS SET FORTH BY THESE DOCUMENTS. ANY DISCREPANCIES FOUND ARE TO BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONALS PRIOR TO COMMENCEMENT OF WORK.

THE EXISTING SPRINKLER SYSTEM MODIFICATIONS WILL NEED TO BE FIELD VERIFIED AND DRAWINGS WILL NEED TO BE SUBMITTED AND PERMITTED BY A SEPARATE SPRINKLER CONTRACTOR.

SHEET INDEX	
SHEET	DESCRIPTION
T-1	COVER SHEET
ARCHITECTURAL	
D-1	DEMOLITION FLOOR PLAN/REFLECTED CEILING
A-1	FINISHED FLOOR PLAN/REFLECTED CEILING
A-2	EQUIPMENT PLAN
MECHANICAL	
M-1	MECHANICAL PLAN AND DETAILS
PLUMBING	
P-1	PLUMBING/SANITARY PLANS
P-2	PLUMBING CALCS & DETAILS
ELECTRICAL	
E-1	ELECTRICAL POWER PLAN/ ELECTRICAL CEILING PLAN
E-2	ELECTRICAL PANEL SCHEDULES

STATUS OF DOCUMENTS

THESE PLANS ARE ISSUED FOR BIDDING AND PERMITTING. FINAL PLANS FOR CONSTRUCTION WILL BE ISSUED AFTER APPROVAL BY ALL GOVERNING AGENCIES. AGENCY ITEMS AND ADDENDA ITEM, IF ANY, WILL BE ADDED TO FINAL PLANS AND WILL BE PROPERLY NOTED AS SUCH.

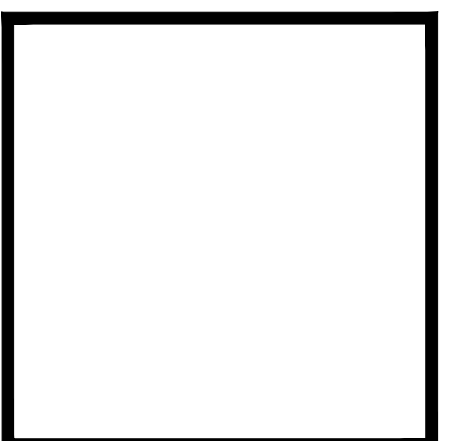
No.	Date	By	Notes
1	2.2.18	SB	SUBMITTED FOR PERMITTING

Drawn By: DEB
Checked: SB
Scale: AS NOTED
Date: 1.30.18

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ISKCON TEMPLE
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TECHNICAL GROUP, INC.
37716 Hills Tech Drive
Farmington Hills, MI 48331
(248) 426-8000
FAX: (248) 426-7004



PROJECT
ISKCON TEMPLE
36600 GRAND RIVER AVE.
FARMINGTON HILLS, MI 48335

SHEET TITLE
TITLE SHEET

DO NOT SCALE THIS PRINT. USE FIGURED DIMENSIONS ONLY.

JOB #
TG-18502

SHEET
T-1