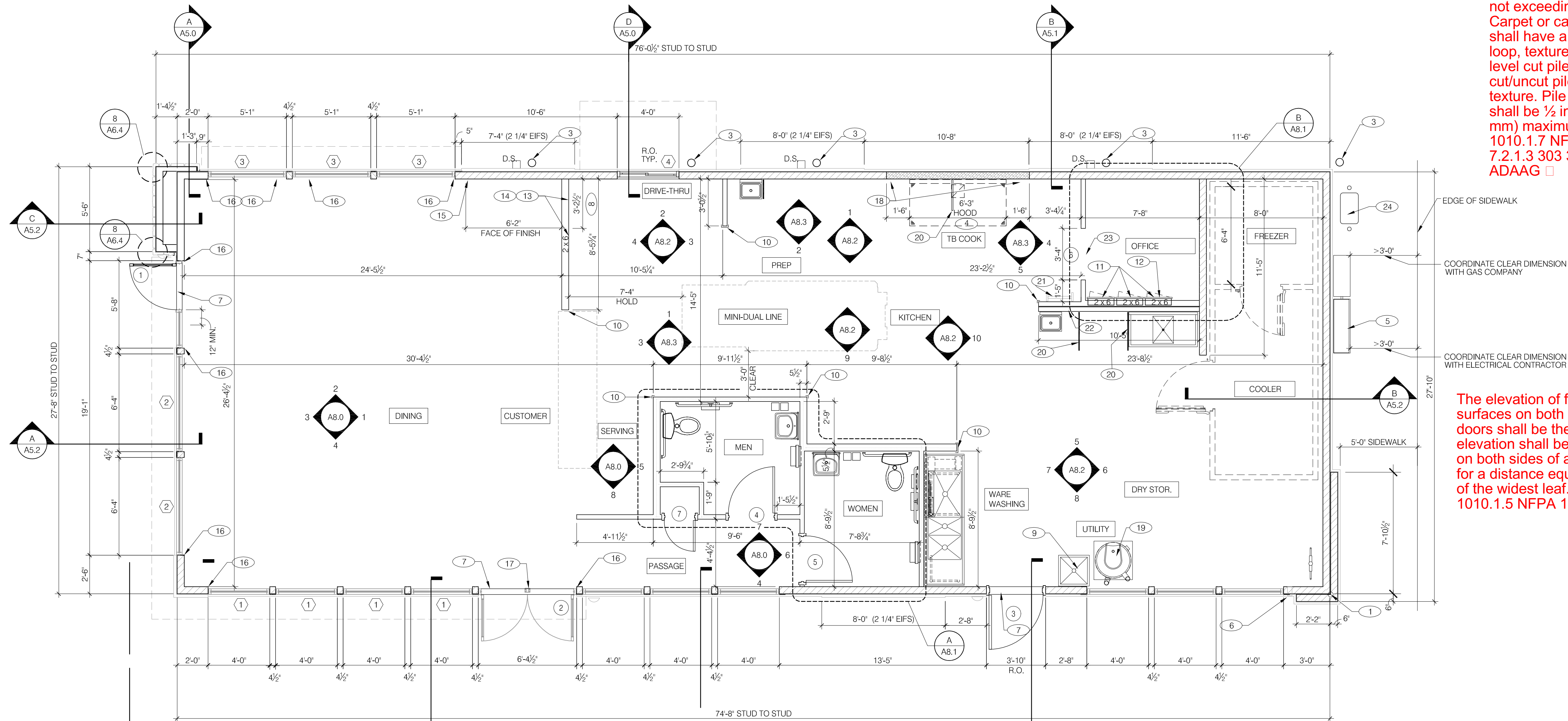




Thresholds at doorways shall not exceed 1/2 inch in height. Raised thresholds in excess of 1/4 inch at doorways shall be bevelled with a slope not exceeding 1 in 2. Carpet or carpet tile shall have a level loop, textured loop, level cut pile, or level cut/uncut pile texture. Pile height shall be 1/2 inch (13 mm) maximum. IBC 1010.1.7 NFPA 101, 7.2.1.3 303 303.2 ADAAG



The elevation of floor/landing surfaces on both sides of doors shall be the same. The elevation shall be maintained on both sides of a doorway for a distance equal to width of the widest leaf. IBC 1010.1.5 NFPA 101, 7.2.1.3

ROUGH OPENINGS ARE NOT NECESSARILY TO STUD. SEE DETAILS ON SHEET A6.1 FOR R.O. LOCATIONS.

NOTE: MECHANICAL ACTIVATION FOR HOOD SUPPRESSION SYSTEM SHALL BE PROVIDED IN PATH OF EGRESS AND SHALL IDENTIFY HAZARD PROTECTED. MANUAL ACTUATION DEVICE SHALL BE LOCATED A MINIMUM OF 10 FEET AND A MAXIMUM OF 20 FEET FROM THE KITCHEN EXHAUST SYSTEM. MANUAL ACTUATION DEVICE SHALL BE MOUNTED BETWEEN 42 INCHES AND 48 INCHES ABOVE THE FINISHED FLOOR. IBC 904.12.1 NFPA 96, 10.5.1 ALTERNATE AGENT SUPPRESSION SYSTEMS SHALL COMPLY WITH IBC SECTION 904, NFPA 101 SECTION 9.7 AND EXECUTIVE REGULATION 19-13. SUBMIT PLANS FOR REVIEW AND OBTAIN A SEPARATE FIRE PROTECTION SYSTEM PERMIT PRIOR TO A NEW INSTALLATION OR ALTERATION. [COMMERCIAL COOKING SYSTEMS SHALL COMPLY WITH 904.12 AND MANUAL SYSTEMS SHALL COMPLY WITH 904.12.1]

WALK IN COOLER & FREEZER: IN NON SPRINKLERED BUILDING, FOAM PLASTIC HAVING A THICKNESS OF 4" OR LESS AND A MAXIMUM FLAME SPREAD INDEX OF 75 IS PERMITTED WHERE THE FLOOR AREA OF WALK-IN COOLER DOES NOT EXCEED 400 SQUARE FEET AND THE FOAM PLASTIC IS COVERED BY A METAL FACING NOT LESS THAN 0.032-INCH THICK ALUMINUM OR CORROSION RESISTANT STEEL HAVING A MINIMUM BASE METAL THICKNESS OF 0.016-INCH. PROVIDE DOCUMENTATION TO INSPECTOR THAT WALK-IN COOLER ASSEMBLY MEETS THE MINIMUM CHARACTERISTICS. IBC 2603.4.1.3



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER 10630. EXPIRATION DATE: 08/19/2016.



15025.000

ADDRESS CHANGE	
4.07.16	REVIEW COMMENTS

DATE: JULY 15, 2015
 BUILDING TYPE: MED-40-MOD
 PLAN VERSION: JUNE 2015
 SITE NUMBER:
 ENTITY NUMBER:

1300 HOLTON LANE
 TAKOMA PARK, MD 20912



FLOOR PLAN

A1.0

PLOT DATE: 4-12-16

FLOOR PLAN 1/4"=1'-0" A

	TYPICAL EXTERIOR WALL: 2x6 WD STUDS AT 16" O.C. W/ SHEATHING AS SCHEDULED (SEE STRUCT. DWGS.) AND R-19 KRAFT-FACED FIBERGLASS BATT INSULATION U.O.N.. GC SHALL PROVIDE 2 LAYERS OF GRADE 'D' 60 lb BUILDING PAPER.
	INTERIOR SOUND-RATED WALL: TYPICAL INTERIOR WALL W/ 3-1/2" UNFACED FIBERGLASS BATT INSULATION.
	TYPICAL INTERIOR WALL: 2x4 WD STUDS AT 16" O.C. (2x6 OR 2x8 WHERE NOTED.)
	HOOD WALL: TYPICAL EXTERIOR WALL WITH 20 GA. S.S. PANEL BEHIND HOOD. REFER TO DETAIL 2/M3.0 FOR EXTENT OF S.S. PANEL.

WALL SUBSTRATES:
 - DINING ROOM:
 1/2" GYPSUM WALLBOARD FROM T.O. CURB TO 6" ABOVE CEILING HEIGHT U.O.N.. SEE 6, 8 & 16 / A6.3. (NOTE: THE CEMENT BOARD SPECIFICATION IS DESIGNED TO ALLOW THE G.C. FLEXIBILITY.)
 - KITCHEN WALLS AND DINING ROOM CLOSET:
 1/2" CEMENT WALLBOARD FROM T.O. SLAB WITH 1/2" CDX PLYWOOD W/FRP SURFACE FINISH TO 6" ABOVE CEILING HEIGHT U.O.N.. IF DOUBLE SIDED SHEAR WALL PLYWOOD IS SPECIFIED THE PLYWOOD SHALL BE CONTINUOUS FROM SILL PLATE TO TOP PLATE. SEE 4, 11 & 20 / A6.3.
 - RESTROOM WALLS:
 5/8" CEMENT WALLBOARD FROM T.O. SLAB OR T.O. CONCRETE CURB TO 48" A.F.F. WITH 5/8" HI-IMPACT BRAND XP WALLBOARD, TYPE X CORE FROM T.O. CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.O.N.. NO SUBSTITUTIONS ALLOWED. FINISH AS SCHEDULED. SEE 11 (SM), 12 / A6.3.
 - ALL OTHER FRAME WALL CONDITIONS:
 1/2" CEMENT WALLBOARD FROM T.O. SLAB OR T.O. CONCRETE CURB TO 48" A.F.F. WITH 1/2" GYPSUM WALLBOARD FROM T.O. CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.O.N. FINISH AS SCHEDULED.

DIMENSIONS:
 A. ALL DIMENSIONS ARE TO FACE OF STUD U.O.N. REFER TO FOUNDATION PLAN FOR FACE OF CONC. DIMENSIONS.
 B. DIMENSIONS NOTED AS "CLEAR" OR "HOLD" ARE MIN. REQD. NET CLEARANCE FROM FACE OF WALL / WAINSCOT FINISH. VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FRAMING.

WINDOWS / DOORS:
 A. SEE SHT. A1.1 FOR WINDOW TYPES AND DOOR SCHEDULE.
 B. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING.

FINISH SUBSTRATES:
 A. PROVIDE 1/2" THICK CEMENTITIOUS BD. FROM FLOOR SLAB TO 12" A.F.F. MIN. IN LIEU OF GYP. BD. AT ALL WALLS EXCEPT SHEARWALL SURFACES, U.O.N.
 B. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH NSF INTERNATIONAL APPROVED SEALANTS.
 C. ALL BACK OF HOUSE AND OFFICE WALLS SHALL HAVE 1/2" CDX PLYWOOD SUBSTRATE, U.O.N.

DECOR:
 A. SEE A2.0 FOR SEATING PLAN AND DETAILS.
 B. SEE A7.0 FOR FLOOR FINISHES.
 C. SEE A8.0 - A8.3 FOR WALL FINISHES.
 D. SEE A7.1 FOR CEILING FINISHES.

GENERAL:
 A. PROVIDE FOUR FIRE EXTINGUISHERS - (2) 10 lb. BC and (1) 10 lb. ABC and (1) 10 lb. TYPE K - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHALL OR LOCAL AUTHORIZING AGENT.
 B. DRAWINGS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE.
 C. ALL ATTACHMENTS MADE THROUGH E.I.F.S. SHALL BE BUSHED TO PREVENT DAMAGE TO THE FINISH. PER 9/A6.2.
 D. ALL PENETRATIONS THROUGH E.I.F.S. SHALL BE SEALED USING MFRS. APPROVED METHOD.

- (1) STARTING POINT. ALL SUB-TRADES SHALL USE THIS POINT AS A BEGINNING LAY-OUT (INSIDE FACE OF EXT. WALL STUDS.
- (2) NO FRP BEHIND WALK-IN COOLER/FREEZER.
- (3) PIPE BOLLARD. SEE CIVIL DETAIL.
- (4) HOOD WALL. SEE WALL LEGEND.
- (5) ELECTRICAL MAIN SWITCH BOARD. REFER TO ELECT. DWGS.
- (6) CO2 FILL BOX LOCATION. SEE 5/A6.2.
- (7) TILE TO CONCRETE METAL THRESHOLD.
- (8) KEEP CLEAR FOR UTILITIES & SYRUP LINES. SEE DETAIL 14 & 19/A6.4 FOR STUD LAYOUT REQUIREMENTS.
- (9) MOP SINK. REFER TO SHEET A2.0 & A2.1.
- (10) S.S. CORNER GUARD / WALL CAP. TYP. ALL CORNERS IN BACK-OF-HOUSE FROM REAR WALL TO THE KITCHEN SIDE OF THE SERVICE COUNTER. SEE DETAIL 19/A6.3.
- (11) ELECT. PANELS RECESSED IN 2x6 WALL.
- (12) LIGHTING CONTROL PANEL SURFACE MOUNTED. REFER TO ELECT. DWGS.
- (13) SYRUP LINE CHASE (ABOVE). SEE DETAIL 19/A6.4.
- (14) 1"x1/4" HORIZONTAL OPENING FOR SYRUP TUBES. COORDINATE WALL PENETRATION WITH COUNTER INSTALLER. SEAL CHASE TO COUNTER. SEE 11/A6.4.
- (15) START OF CHAIR RAIL.
- (16) CONTINUE CHAIR RAIL AROUND CORNER TO WINDOW JAMB.
- (17) REMOVABLE MULLION FROM THE INSIDE.
- (18) PROVIDE 5 1/2" METAL STUDS BEHIND HOOD AND 18" TO EACH SIDE.
- (19) INDICATES WATER HEATER LOCATION. COMES WITH METAL STAND.
- (20) SPLASH GUARD. SEE DETAIL 9/A6.3. INSTALLATION SHALL BE COORDINATED WITH INSTALLATION OF MOP SINK.
- (21) ROOF LADDER. SEE 7/A6.0.
- (22) ADD SECOND 2X4 WALL ON KITCHEN SIDE.
- (23) CASED OPENING. REFER TO DETAIL 6/A6.4 DOOR OPTIONAL. REFER TO DOOR SCHEDULE ON A1.1 (DOOR #6).
- (24) GAS SERVICE METER. SEE MECH. DRAWINGS.

WALL LEGEND E

FLOOR PLAN NOTES D

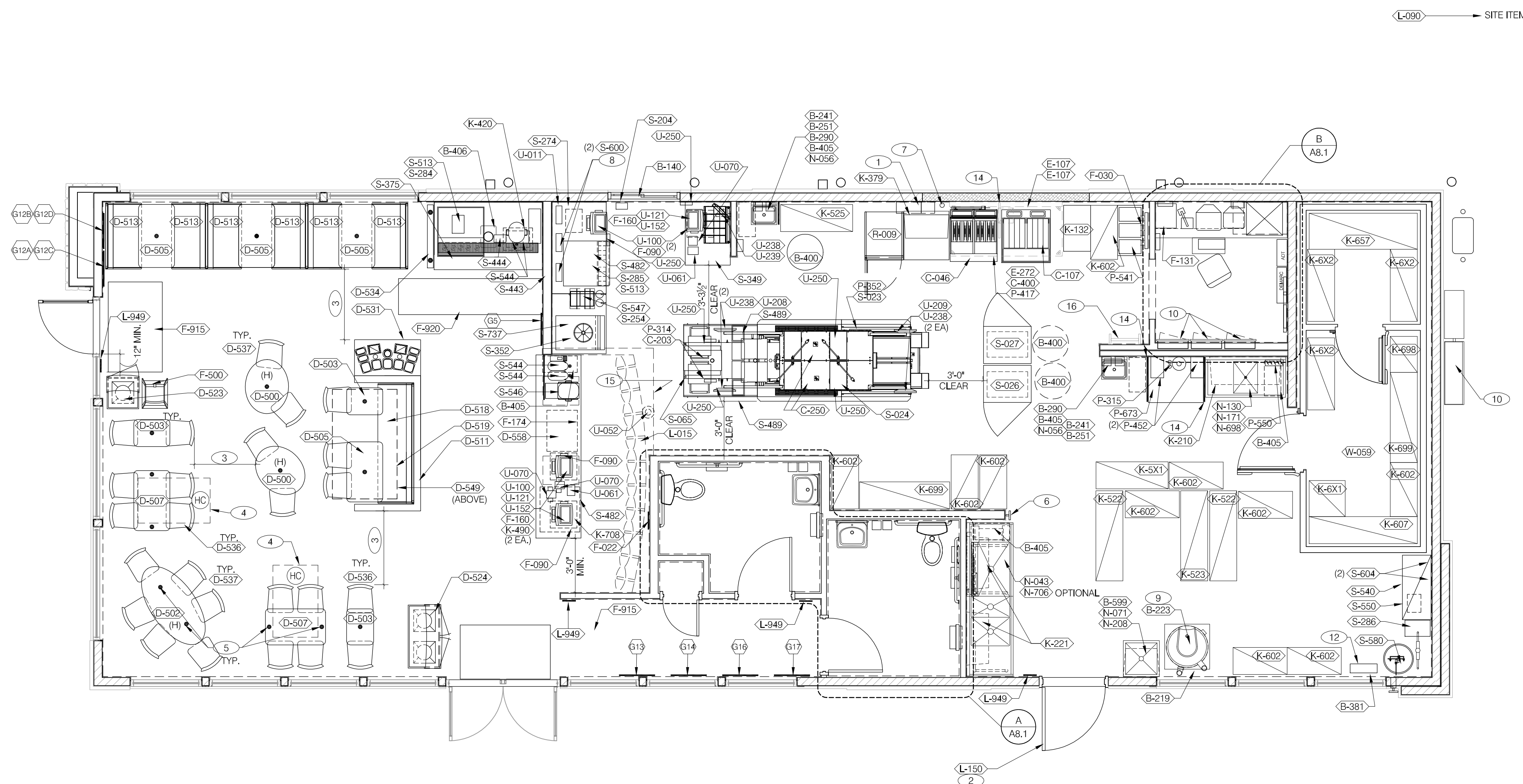
KEY NOTES B



Self-service shelves and dispensing devices for tableware, dishware, condiments, food and beverages shall be installed to comply with ADAAG 2010 904.5. Space Allowances and Reach Ranges.

Sales and service counter shall comply with ADAAG 2010 section 227 & 904.4. ADA 2010 902.1

General. Dining surfaces and work surfaces shall comply with 226, 902.2 and 902.3. 902.2 Clear Floor or Ground Space. A clear floor space complying with 305 positioned for a forward approach shall be provided. Knee and toe clearance complying with 306 shall be provided. 902.3 Height. The tops of dining surfaces and work surfaces shall be 28 inches (710 mm) minimum and 34 inches (865 mm) maximum above the finish floor or ground.



L-090 → SITE ITEM



PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 10830, EXPIRATION DATE: 08/19/2016.



15025.000

- △ ADDRESS CHANGE
- △
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- △
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- △
- △

DATE: JULY 15, 2015
 BUILDING TYPE: MED-40-MOD
 PLAN VERSION: JUNE 2015
 SITE NUMBER: _____
 ENTITY NUMBER: _____

EQUIPMENT/SEATING PLAN 1/4"=1'-0" A

SYM.	QTY.	ITEM	SYM.	QTY.	ITEM
D-500	2	TABLE - OVAL - BAR HEIGHT - 24" X 30" - CORE DRILL BASE	D-534	1	SCREEN WALL
D-502	1	TABLE - OVAL - BAR HEIGHT - 30" X 60" - CORE DRILL BASE	D-536	15	FORMED WOOD SHELL DINING CHAIR
D-503	3	TABLE - RECTANGLE - STD HEIGHT - 18" X 24" - CORE DRILL BASE	D-537	10	FORMED WOOD SHELL DINING CHAIR
D-505	4	TABLE - RECTANGLE - STD HEIGHT - 24" X 40" - CORE DRILL BASE	D-549	1	SOFFIT BY DISTRIBUTOR.
D-507	2	TABLE - RECTANGLE - STD HEIGHT - 24" X 40" - CORE DRILL BASE (ADA)			
D-511	1	DIVIDER WALL - 90" LONG			
D-513	6	OPEN BACK BENCH SETTEE - 42"			
D-518	1	BACKLESS BENCH SETTEE - 38"			
D-519	1	BACKLESS BENCH SETTEE - 42"			
D-523	1	SINGLE TRASH RECEPTACLE			
D-524	1	DOUBLE TRASH RECEPTACLE			
D-558	1	SERVICE COUNTER - 122"			
D-531	1	CONDIMENT COUNTER - SQUARE CORNERS			

SEATING PACKAGE - BY SEATING VENDOR U.O.N. (TOTAL SEATS = 40) E

(X)	QTY.	ITEM	REMARKS
(13)	1	TASTE EXPLOSION 1 OF 4	SEE A8.0 FOR LOCATION
(13)	1	TASTE EXPLOSION 2 OF 4	SEE A8.0 FOR LOCATION
(13)	1	TASTE EXPLOSION 3 OF 4	SEE A8.0 FOR LOCATION
(13)	1	TASTE EXPLOSION 4 OF 4	SEE A8.0 FOR LOCATION
(13)	1	VOLCANO TARGET	SEE A8.0 FOR LOCATION
(14)	1	NYC TACO TAXI	SEE A8.0 FOR LOCATION
(16)	1	TACO NIGHT TIME	SEE A8.0 FOR LOCATION
(17)	1	TACO BEACH BELL	SEE A8.0 FOR LOCATION
(35)	1	NUTRITION BOARD	SEE A8.0 FOR LOCATION

ARTWORK SCHEDULE D

- DECOR
 1. REFER TO SC SHEETS FOR SCOPE OF WORK RESPONSIBILITIES.
 2. (H) - SYMBOL DENOTES A HIGH TABLE OR DINING COUNTER WITH STOOLS.
 3. (HC) - SYMBOL DENOTES A HANDICAP ACCESSIBLE TABLE.

GENERAL NOTES C1

STORAGE TYPE	LINEAR FT.
DRY STORAGE	63
COLD STORAGE	22
FROZEN STORAGE	14

SHELVING QUANTITIES REQUIRED C2

- 1 HOOD FIRE SUPPRESSION SYSTEM (ANSUL R-102 OR EQUAL).
- 2 SEE SHEET A1.1 FOR SECURITY DOOR PACKAGE.
- 3 MAINTAIN 36" MIN CLEAR AISLE EGRESS PATHS TO EXIT DOORS.
- 4 30" x 48" CLEAR FLOOR SPACE FOR HANDICAP ACCESS.
- 5 DOT INDICATES CORE DRILL LOCATION. CORE DRILL LAYOUT TO BE PROVIDED BY THE SEATING VENDOR. SEE DETAIL 7/A6.3 AND SCOPE OF WORK. CHANGE CORE DRILL SIZES TO MATCH DECOR BASE SIZE TO MAINTAIN 3/8" MAX GROUT LINE AROUND BASE.
- 6 PULL STATION @ 3'-8" A.F.F.
- 7 GAS LINE DOWN TO EQUIPMENT.
- 8 COORDINATE LOCATION OF HORIZ PVC SYRUP CHASE THRU WALL TO COUNTER.
- 9 6" HIGH WATER HEATER PLATFORM.
- 10 SWITCHGEAR / ELECTRIC PANELS.
- 11 NOT USED.
- 12 8' LADDER.
- 13 NOT USED.
- 14 SPLASH GUARD.
- 15 ALERT LIGHT BOX FOR 3-COMP POWER SOAK.
- 16 ROOF LADDER (B-049) AND ROOF HATCH (B-050).

KEYNOTES B

1300 HOLTON LANE
 TAKOMA PARK, MD 20912



EQUIPMENT AND SEATING PLAN A2.0

PLOT DATE: 1-04-16



Fryers require a 16" clearance between the fryer and flames from adjacent cooking equipment. Provide separate high limit control, in addition to operating thermostats, to shut off fuel or energy when fat temperature reaches 475 degrees at one inch below the surface. NFPA 96 (12.1.2.4 and 12.2)

EQUIPMENT SCHEDULE

NO.	QTY	G.C. INST.	ITEM DESCRIPTION	MFR. & MODEL NUMBER	PLUMB	ELECT	GAS	REMARKS	NO.
B CONTRACTOR BUILDING ELEMENTS									
B-049	1	X	ROOF LADDER	PRECISION #FL184				15'-4" WITH 8" EXTENSION	B-049
B-050	1	X	ROOF HATCH	PRECISION #PH-G2-6'X3'-0"				2'-6" X 3'-0" CLEAR OPENING	B-050
B-140	1	X	DRIVE-THRU WINDOW	QUICKSERV #SC-40308R				G.C. TO PROVIDE TRANSM - DARK BRONZE ANODIZED	B-140
B-219	1	X	WATER HEATER DUNNAGE RACK	NEW AGE INDUSTRIAL CORP., INC. #98147					B-219
B-223	1	X	WATER HEATER	AO SMITH BTH 120 60 CYCLONE HE	X	X			B-223
B-241	4	X	SOAP DISPENSER (WALL MOUNT)	KAY 3741				SURFACE MTD.	B-241
B-251	2	X	SANITIZER DISPENSER	BOBRICK #B-165-1836				SURFACE MTD.	B-251
B-265	2	X	MIRROR, 18" X 36"	BOBRICK #B-2890				SURFACE MTD.	B-265
B-275	2	X	TOILET PAPER DISPENSER	BOBRICK #B-262				SURFACE MTD.	B-275
B-290	2	X	PAPER TOWEL DISPENSER	BOBRICK #B-3942				SEMI-RECESSED	B-292
B-292	2	X	PAPER TOWEL DISPENSER / TRASH 12 GALLON	BOBRICK #B6806X36				SURFACE MTD	B-300
B-300	2	X	GRAB BAR 1-1/2"DIA X 36" S.S. FIN.	BOBRICK #B6806X42				SURFACE MTD	B-305
B-305	2	X	GRAB BAR 1-1/2"DIA X 42" S.S. FIN.	BOBRICK #B6806X18				SURFACE MTD	B-311
B-311	2	X	GRAB BAR 1-1/2"DIA X 18" S.S. FIN.	AMPROBE C02-200		X		SURFACE MTD	B-381
B-381	1	X	CO2 CARBON DIOXIDE SENSOR/WARNING	RUBBERMAID #2632 (GREY)					B-400
B-400	3	X	WASTE BASKET - 32 GALLON	RUBBERMAID SLIM JIM #3541 (GREY)					B-405
B-405	6	X	WASTE BASKET	RUBBERMAID 28 QT #2956 (BLACK)					B-406
B-406	1	X	WASTE BASKET	RUBBERMAID #6140				INCLUDES ACCESSORY KIT & MOUNTING HARDWARE	B-410
B-410	1	X	SANITARY NAPKIN RECEPTACLE	ISS #WST806Y	X				B-599
B-599	1	X	MOP SINK STATION						
C COOKING EQUIPMENT									
C-046	1	X	DUAL OPEN FRYER W/ UNDER-FRYER FILTER SYSTEM	FRYMASTER #FPPH255SD		X	X	COMES WITH GAS HOSE KIT. OPTION: WITHOUT FILTER	C-046
C-107	1	X	RETHEMALIZER	PITCO #TB-SRTG14-2	X	X	X	COMES WITH GAS HOSE KIT	C-107
C-203	2	X	SPLIT LID CLAM SHELL TOASTER	PROLINE PROGRILL SL1677YA		X		POWERED BY PRODUCTION LINE	C-203
C-250	2	X	CHEESE MELTER (SINGLE)	A. J. ANTUNES # CM-100	X	X		POWERED BY PRODUCTION LINE	C-250
C-400	1	X	COOK TIMER	FAST #TBZAP12		X		FOR THE RETHEMALIZER	C-400
E EXHAUST HOODS/FIRE SUPP.									
E-107	1	X	STRATOVENT 6'-3" EXHAUST HOOD	STRATOVENT MODEL # TBG3650SVD8FT3IN		X		PRE-PIPED FOR ANSUL SUPPRESSION	E-107
E-108	1	X	STRATOVENT 106"H X 111" L BACK SPLASH	STRATOVENT MODEL # BACKSPLASH106X111FLA		X			E-108
E-272	1	X	TIMER OUTLET			X			E-272
F OFFICE/EMPLOYEE/MUSIC/MISC.									
F-014	1	X	FILE CABINET (2 DRAWER HIGH) 18" X 36" X 27"H	HON #58266				IN OFFICE. SEE SHEET A8.1	F-014
F-021	1	X	CHAIR - OFFICE	HON #5831				IN OFFICE. SEE SHEET A8.1	F-021
F-022	1	X	LICENSE FRAME 8" X 10" (BLACK)	CREATIVE PALETTE TB30				IN OFFICE. SEE SHEET A8.1	F-022
F-030	1	X	COAT HOOKS	ISS #HOOK246R2Y					F-030
F-040	1	X	OFFICE COMPUTER	POS PROVIDED		X		IN OFFICE. SEE SHEET A8.1	F-040
F-050	1	X	CREDIT CARD SATELLITE ROUTER JUNCTION	YUM		X			F-050
F-060	1	X	MONITOR-OFFICE	YUM		X		IN OFFICE. SEE SHEET A8.1	F-060
F-080	1	X	OFFICE PRINTER/ COPIER/ FAX/ SCANNER	POS PROVIDED		X		IN OFFICE. SEE SHEET A8.1	F-080
F-090	5	X	UPS (UN-INTERUPTABLE POWER SUPPLY)	POS PROVIDED		X			F-090
F-102	1	X	MONEY COUNTER	TELLERMATE #TIX3000		X			F-102
F-131	1	X	MUSIC SYSTEM	MUZAK #6848. LOCAL LEASE		X		MUZAK (LOCAL LEASE)	F-131
F-160	3	X	DROP SAFE	PERIMA VAULT #PRO-10			X	3-DOOR	F-160
F-174	1	X	SAFE WITH TOUCH SCREEN CONTROLS	BRINKS SAFE A-GALILEO 111-01					F-174
F-211	1	X	CLOCK	B&B SYSTEMS #03060425				IN OFFICE. SEE SHEET A8.1	F-211
F-270	1	X	FIRST AID KIT	PROSTAT FIRST AID LLC #2617				IN OFFICE. SEE SHEET A8.1	F-270
F-500	2	X	STACKABLE HIGH CHAIR	KOALA KOA-KB103-01					F-500
F-915	2	X	FLOOR MAT 3' X 5'	ENTRANCE, INC. #41150012				RUBBERIZED	F-915
F-920	1	X	FLOOR MAT 2' X 8'	ENTRANCE #44450				RUBBERIZED @ DRINK STATION	F-920
K WORKSTATIONS/SHELVING/CARTS									
K-132	1	X	CLOSING CART	ISS #WST1434Y					K-132
K-210	1	X	PREP SINK WORKSTATION 50" TRACK	ISS #WST255E				WALL TRACK SHELVING	K-210
K-221	1	X	3 COMP. SINK WORKSTATION 96" TRACK	ISS #DS-1F				WALL TRACK SHELVING	K-221
K-382	1	X	FRY WORKSTATION 30"W X 30"D X 75"H	ISS #FRYTAB3030YA					K-382
K-420	1	X	CARBONATOR PLATFORM SHELF 18" X 24"	ISS #WST34Y					K-420
K-490	2	X	FRONT COUNTER SHELVING 18" X 24" X 24" (2 TIER)	ISS #WST440Y				UNDER SERVING COUNTER	K-490
K-517	1	X	PREP RACK 18" X 60" X 76" (6 TIER)	ISS #WST1469Y					K-517
K-5X1	1	X	FUTURE RACK 18" X 48" X 76" (5 TIER)	ISS #WST					K-5X1
K-522	2	X	SMALL PKG. RACK 18" X 60" 76" (5 TIER)	ISS #WST1548Y					K-522
K-523	1	X	CUP & LID RACK 18" X 60" X 76" (3 TIER)	ISS #WST1580Y					K-523
K-525	1	X	FUTURE RACK 18" X 48" X 76" (5 TIER)	ISS #WST1613Y					K-525
K-6X1	1	X	FUTURE RACK 18" X 24" X 76" (5 TIER)	ISS #WST					K-6X1
K-6X2	3	X	FUTURE RACK 18" X 48" X 76" (5 TIER)	ISS #WST					K-6X2
K-602	10	X	SHELVING UNIT 18" X 36" X 86"H (5 TIER)	ISS #WST238Y					K-602
K-604	2	X	SHELVING UNIT 18" X 48" X 86"H (5 TIER)	ISS #WSTU1848-8-5Y				WALK IN COOLER	K-604
K-607	1	X	SHELVING UNIT 18" X 72" X 86"H (4TIER)	ISS #SU187285Y				WALK IN COOLER	K-607
K-657	2	X	SHELVING UNIT 24" X 72" X 86"H (5 TIER)	ISS #SU247285Y				WALK IN COOLER	K-657
K-699	3	X	SHELVING UNIT 18" X 60" X 74"H (5 TIER)	ISS #SU186075Y				WALK IN COOLER	K-699
K-708	1	X	DUNNAGE RACK	ISS #WST1702Y				UNDER FRONT COUNTER	K-708
K-698	1	X	SHELVING UNIT 18" X 24" X 74" (5 TIER)	ISS #SU182475Y				GOLD BOND	K-698

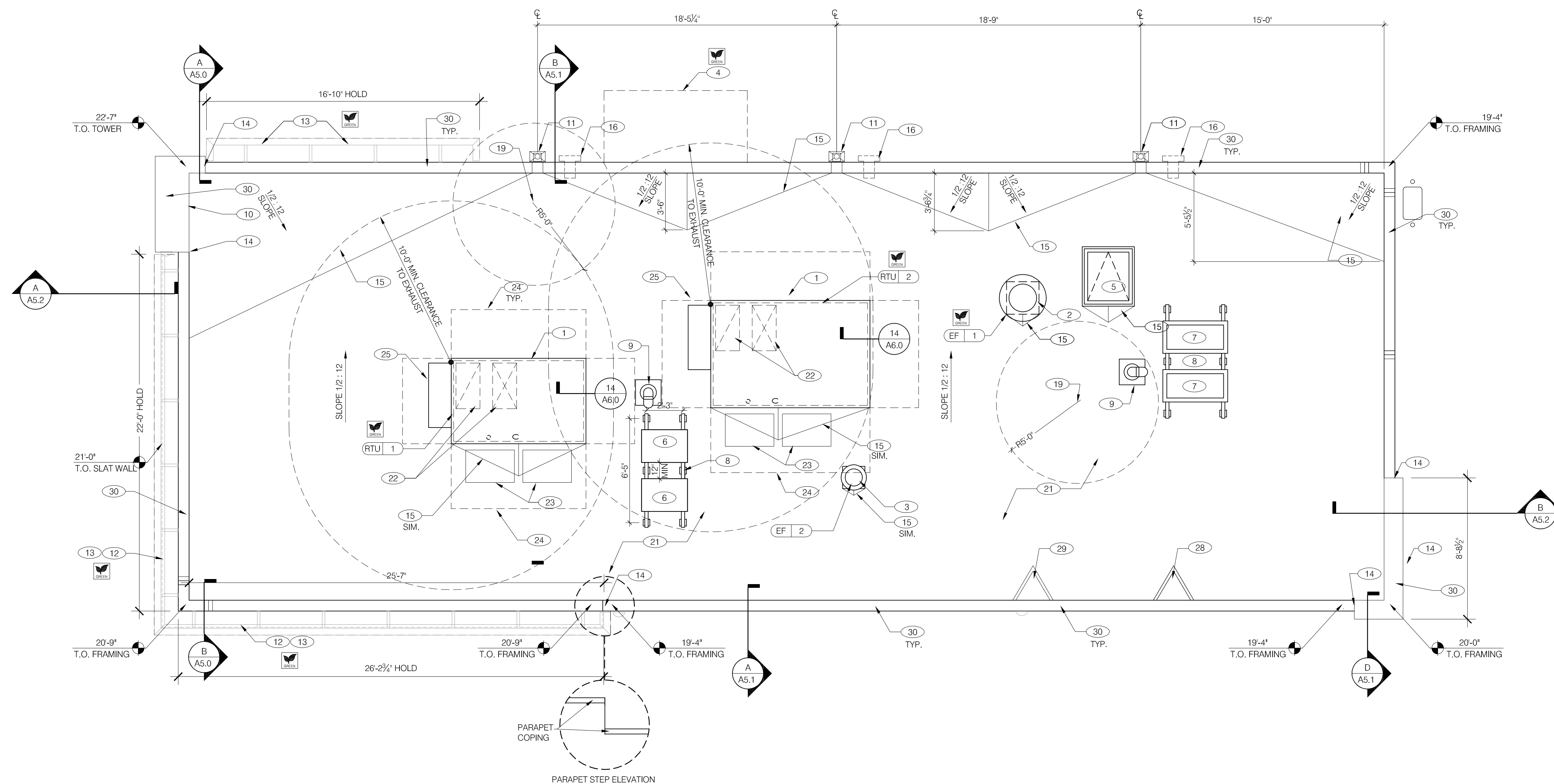


EQUIPMENT SCHEDULE

NO.	QTY	G.C. INST.	ITEM DESCRIPTION	MFR & MODEL NUMBER	PLUMB	ELECT	GAS	REMARKS	NO.
L LIGHTING/SIGNAGE/MENUBOARDS									
L-015	1	X	INTERIOR MENU BOARD PACKAGE - ROTATING, 10-PANEL	EVERBRITE KTO2060P		X		LED INTERNALLY ILLUMINATED	L-015
L-090	1	X	OCB	HYPERACTIVE #TDM-HX1-H05-TCB				FRANCHISE OPTION L-089	L-090
L-150	1	X	SECURITY DOOR DANGER SIGN	ADVVERCO #ADVCLUSTOM				ORDERED DIRECT FROM YFYS	L-150
L-949	4	X	NO SMOKING SIGN	VOLLRATH #4513				PROVIDE PER JURISDICTIONAL REQUIREMENTS	L-949
N SINKS/DISHWASHERS									
N-043	1	X	3-COMP POWER SOAK 102"L X 31"D (R TO L)	METCRAFT #PS6750	X	X		W/ PRE-RINSE CLICK&CLEAN SYSTEM & (2) T & SB-2466 FAUCETS	N-043
N-056	2	X	HAND SINK (KITCHEN)	AERO #HSK		X			N-056
N-071	1	X	MOP SINK FAUCET	T&S #B-2456 W-MAX		X			N-071
N-130	1	X	1 COMP. SINK FAUCET	T&S FAUCET B-2465		X		FOR N-699	N-130
N-141	2	X	FAUCET (RESTROOMS)	T&S FAUCET B-0831-WA		X		FRANCHISE OPTION N-134: T&S B-2465	N-141
N-171	1	X	1 COMP. SINK WASTE DRAIN LEVER	T&S FAUCET S-20		X		2" TWIST TYPE, FOR N-698	N-171
N-208	1	X	MOP SINK 24"X24" FLOOR MOUNT SINK	AERO MANUF. CO., INC. #3MP-2121-6/1P		X		INCLUDES (2) 24"X36" WALL PANELS	N-208
N-698	1	X	1 COMP PREP SINK 53"W X 27"D X 35 1/2"H	AERO #2F121617LR		X			N-698
P FOOD PREPARATION									
P-314	1	X	WATER PRESSURE REGULATOR KIT	A.J. ANTUNES & CO. #7000314		X			P-314
P-315	1	X	REVERSE OSMOSIS SYSTEM	CLINO #FSTM-HP		X		REQUIRES FLOOR SINK	P-315
P-352	1	X	DUAL LINE, 157" READY TO ACCEPT EVO CABINETS	DELFIELD #T800P67 (DUKE OPTIONAL)		X	X	DUKE - WEST / DELFIELD EAST	P-352
P-417	1	X	8-CHANNEL TIMER	FAST #TRACK2X4TB		X		ALTERNATE: PRINCE CASTLE #755HM8TB	P-417
P-452	2	X	HOT WATER SYSTEM	BUNN-MACHINE #43600.0014		X	X	W/ BRACKET, FRONT MOUNT.	P-452
P-541	1	X	STORAGE BINS	B4B SYSTEMS #0307010					P-541
P-550	1	X	KNIFE RACK	DELUND #KR-99					P-550
P-673	1	X	WORK TABLE, 36" X 30"	ISS #WST908A				FOR RETHEMALIZER AND HOT WATER	P-673
R REFRIGERATION									
R-009	1	X	REACH-IN FREEZER	DELFIELD 6100XL		X			R-009
S SERVING/DRIVE-THRU									
S-004	1	X	HEAT CABINET - FULL HEIGHT - (1) LH	BEVLES #CS82-CH8 120LH		X		W/ 8 SHELVES EACH	S-004
S-005	1	X	HEAT CABINET - FULL HEIGHT - (1) RH	BEVLES #CS82-CH8 120RH		X		W/ 8 SHELVES EACH	S-005
S-023	1	X	WARMER,EVO TACO TOWER,TB,208V, L TO R UNIT	CARTER HOFFMAN #EVOR208		X		MOUNT ON PRODUCTION LINE OVER SHELF	S-023
S-024	1	X	WARMER,EVO TACO TOWER,TB,208V, R TO L UNIT	CARTER HOFFMAN #EVOR208		X		MOUNT ON PRODUCTION LINE OVER SHELF	S-024
S-065	1	X	DESSERT TOWER	HATCO #GRBW-24D		X		MOUNT ON PRODUCTION LINE OVER SHELF	S-065
S-204	1	X	DRIVE-THRU TIMER SYSTEM	HME #C11422TB		X		MOUNT ON DT WINDOW HEADER	S-204
S-254	1	X	CONDIMENT RACK	PRONTO PRODUCTS #CHPW0446				W/ ISS #CONDOW24L	S-254
S-274	1	X	BEVERAGE COUNTER DRIVE THRU (36" x 61")	ISS #WST1242YA				W/ ISS #CONDOW24L	S-274
S-284	1	X	BEVERAGE DISPENSER - SELF-SERVE	CORNELIUS 611057625		X	X	BY PEPSI	S-284
S-285	1	X	BEVERAGE DISPENSER - DRIVE THRU	SERVEND NGF-250QD		X	X	OR CORNELIUS IDC255 PROGATE 5 (BY PEPSI)	S-285
S-286	1	X	WATER FILTER SYSTEM	SHURFLO # WB6-M3-22-003		X	X	FRANCHISEES CAN USE SELECTO #TB5620-5	S-286
S-349	1	X	30" x 42" DRIVE-THRU COUNTER	ISS # WST 1344Y					S-349
S-352	1	X	40" x 36" DRIVE-THRU DRINK TABLE	# TBD					S-352
S-375	1	X	SELF SERVE DRINK COUNTER	CARTER HOFFMAN #CH3TDS2N65					S-375
S-443	1	X	18"Hx23"Dx10"W STRAW - LID DISPENSER	CAL-MIL ADA TB103					S-443
S-444	1	X	NAPKIN DISPENSER	#5555100					S-444
S-482	2	X	CUP DISPENSER	A.J. ANTUNES #DAC860				FRANCHISEES CA USE HOSHISAKI KMS-1230	S-482
S-489	2	X	DIGITAL SCALE	EDLUND DS-10		X			S-489
S-513	2	X	ICE MAKER (PLACED ON TOP OF DRINK MACHINES)	MANITOWOC #S1-1474C		X	X	W/ ROOF MOUNTED CONDENSERS	S-513
S-540	1	X	PEPSI BOOSTER TANK	ISS #S1-1474C		X	X	SEE SCOPE OF WORK (PEPSI)	S-540
S-543	1	X	FROZEN BEVERAGE DISPENSER	CORNELIUS VIPER #621360041TB		X	X	W/ BOOSTER AND INSTALLATION KIT	S-543
S-544	4	X	ICED TEA DISPENSER	BUNN TDO-N-3.5		X		3.5 GALLON NARROW ICED BEVERAGE DISPENSER	S-544
S-546	1	X	ICED TEA BREWER	TETLEY TB30		X	X		S-546
S-547	1	X	MV CAFE AP AUTOPOD # 42300 0001			X			S-547
S-550	1	X	BUNN POD BREWER	BUNN POD BREWER					S-550
S-550	1	X	BAG-N-BOX SYRUP RACK	CORNELIUS/REMCOR BNB128BP		X		FLO-3REG-2CRB (BY PEPSI)	S-550
S-580	1	X	CO2 (BULK) TANK	MVE #11805373				WITHOUT IMPURITY RING	S-580
S-600	-	X	BUNDLED SYRUP LINES	CORNELIUS/REMCOR TUBE BUNDLE		X		SEE SCOPE OF WORK (PEPSI)	S-600
U SECURITY/COMM./FIRE PROT./POS									



Maintain roof assembly in accordance with IBC Table 1505.1.



PARAPET STEP ELEVATION

ROOF PLAN 1/4" = 1'-0" A

MARK D. MCCLUGGAGE AIA, CCS
 1525 E. Douglas Wichita, KS 67211
 Tel: (316) 262-5646
 Fax: (316) 262-5646
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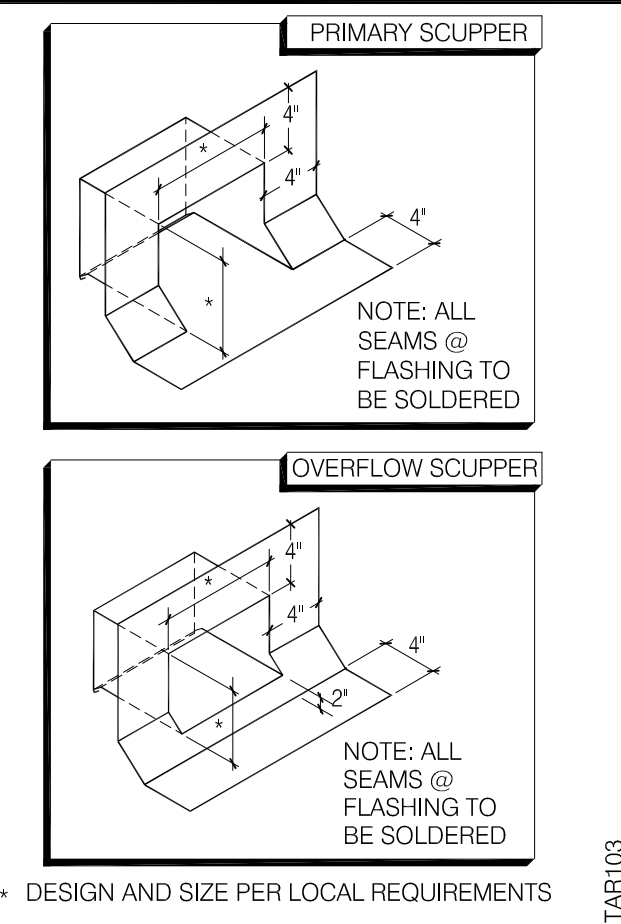
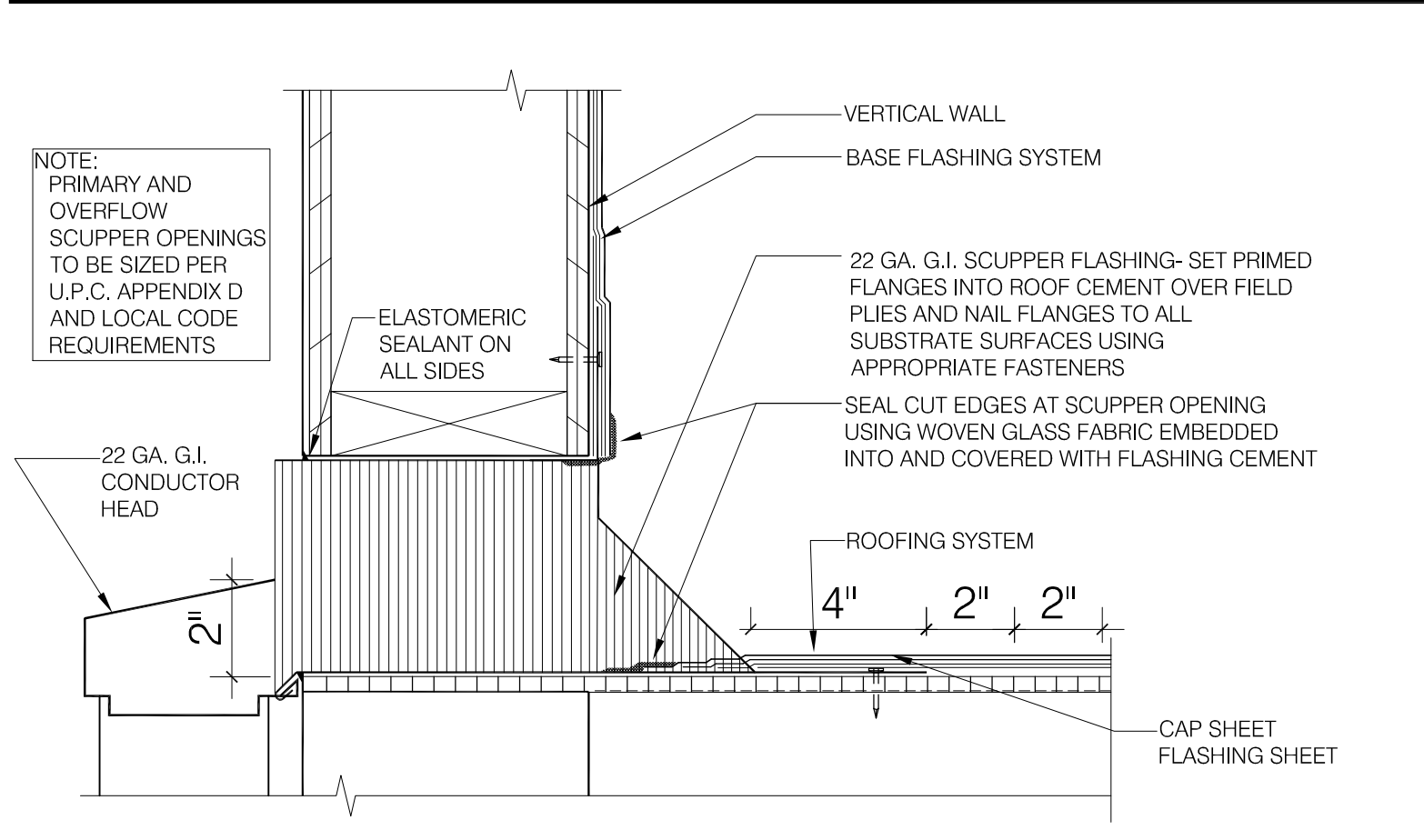
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15025.000

△	ADDRESS CHANGE
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DATE: JULY 15, 2015
 BUILDING TYPE: MED-40-MOD
 PLAN VERSION: JUNE 2015
 SITE NUMBER: -----
 ENTITY NUMBER: -----



SCUPPER FLASHING F

WATERPROOFING:
 A. PAINT UNDERSIDE OF PARAPET CAP FLASHING WITH FACTORY BONDED PAINT GRIP OR PRIMER.
 B. TOP NAILING AT PARAPET CAP FLASHING WILL NOT BE ACCEPTED.
 C. PENETRATIONS IN ROOFING MEMBRANE AND FLASHING SHALL ONLY BE MADE AS INDICATED ON THE DRAWINGS OR SPECS.
 D. SEE SPECIFICATIONS FOR SEALANT SPECS.
 E. ALL SHEET MTL FLASHING SHALL BE 22 GA MIN.

MISCELLANEOUS:
 A. ROOF PENETRATIONS CLOSER THAN 12" FROM ANOTHER WILL NOT BE ALLOWED.
 B. EXHAUST FANS MIN. 10'-0" AWAY FROM ALL AIR INTAKE / SUPPLY.
 C. LOCATE WALK-IN CONDENSERS ON ROOF ONLY IF REQUIRED BY CODE.

ROOF PLAN NOTES E

- 1 ROOFTOP UNIT. INSTALL PLUMB AND LEVEL.
- 2 KITCHEN HOOD EXHAUST FAN. SEE SHEETS M3.0 & DETAIL 19/A6.0.
- 3 RESTROOM EXHAUST FAN. SEE 18/A6.0.
- 4 CANOPY. SEE SCOPE OF WORK.
- 5 ROOF HATCH: SEE 7/A6.0.
- 6 ICE MACHINE CONDENSERS.
- 7 WALK-IN COOLER / FREEZER CONDENSERS. SEE SCOPE OF WORK SHEET.
- 8 EQUIPMENT PLATFORM. SEE DETAIL 15/A6.0.
- 9 PIPE HOOD FOR UTILITIES. SEE DETAIL 9/A6.0.
- 10 24" x 24" HINGED LOUVER. SEE DETAIL 8/A6.0.
- 11 SCUPPER AND DOWNSPOUT. SEE DETAIL F.
- 12 ALUMINUM SLAT WALL BY VENDOR. SEE SCOPE OF WORK.
- 13 ALUMINUM VALANCE. SEE SCOPE OF WORK.
- 14 CHANGE IN PARAPET ELEVATION SEE DETAIL 14/A6.2.
- 15 ROOF CRICKET. SEE DETAIL 16/A6.0.
- 16 OVERFLOW SCUPPER. SEE DETAIL F.
- 17 NOT USED.
- 18 NOT USED.
- 19 WASTE VENT THROUGH ROOF. THE TOP OF WASTE VENTS SHALL BE 12" HIGHER THAN THE CLOSEST PARAPET CAP U.N.O. OR NOT ALLOWED BY LOCAL JURISDICTION. SEE 12/A6.0 FOR FLASHING ASSEMBLY.
- 20 NOT USED.
- 21 'DURO-LAST' SINGLE PLY ROOF MEMBRANE OVER 1/2" EXTERIOR GRADE PLYWOOD OVER TRUSSES. INSTALL PER MANUFACTURERS SPECIFICATIONS.
- 22 POWER / GAS / CONDENSATE ENTRY UNDER HVAC UNIT (PER HVAC MFR. SPECS.) REFER TO MECH. AND PLUMB DWGS. UTILITY ACCESS FROM WITHIN CURB - NO ROOF PENETRATIONS. DO NOT RUN ON ROOF SURFACE. SEE 13/P6.0.
- 23 24x36 WALK MATS. SEE ROOF SPECS.
- 24 MAINTAIN MFRS ROOFTOP UNIT MAINTAINANCE CLEARANCE.
- 25 OUTSIDE AIR INTAKE FOR ROOFTOP UNIT. MAINTAIN MIN 10'-0" SEPARATION FROM PLUMBING VENTS, FLUES AND BUILDING EXHAUST.
- 26 NOT USED.
- 27 NOT USED.
- 28 WATER HEATER INTAKE. SEE DETAIL 13/A6.0 FOR BRACING.
- 29 WATER HEATER EXHAUST FLUE SHALL BE MIN. 6" HIGHER THAN INTAKE-MAINTAIN MIN. 10'-0" FROM NEAREST POINT OF RTU INTAKE. SEE DETAIL 13/A6.0 FOR BRACING.
- 30 PAINTED METAL PARAPET CAP. SEE DETAIL 2 & 5/A6.0

KEY NOTES B

1300 HOLTON LANE
 TAKOMA PARK, MD 20912

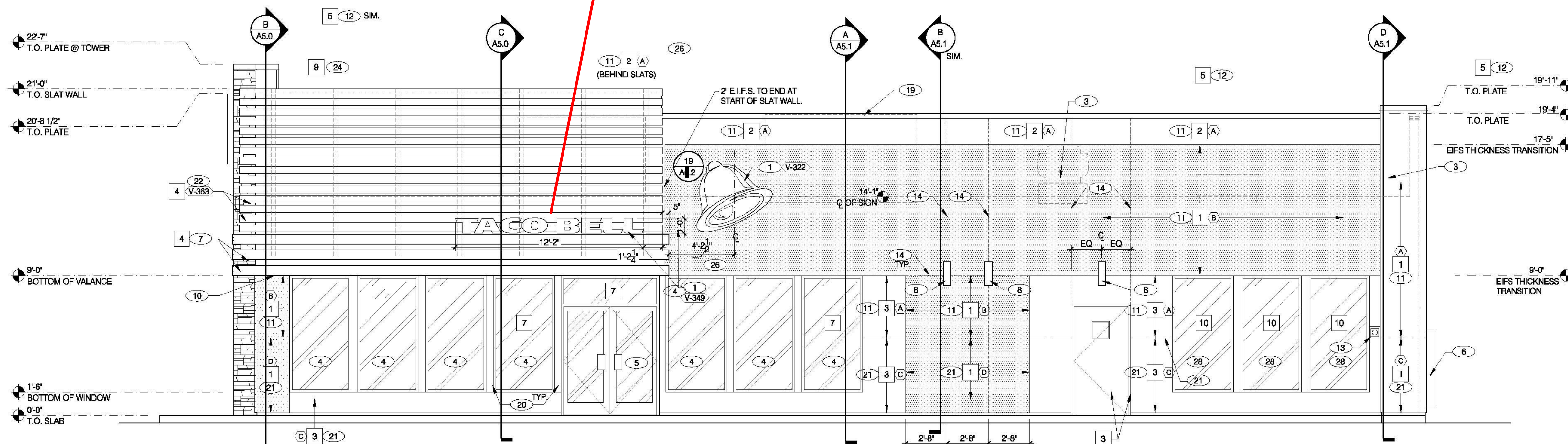


ROOF PLAN
A3.0

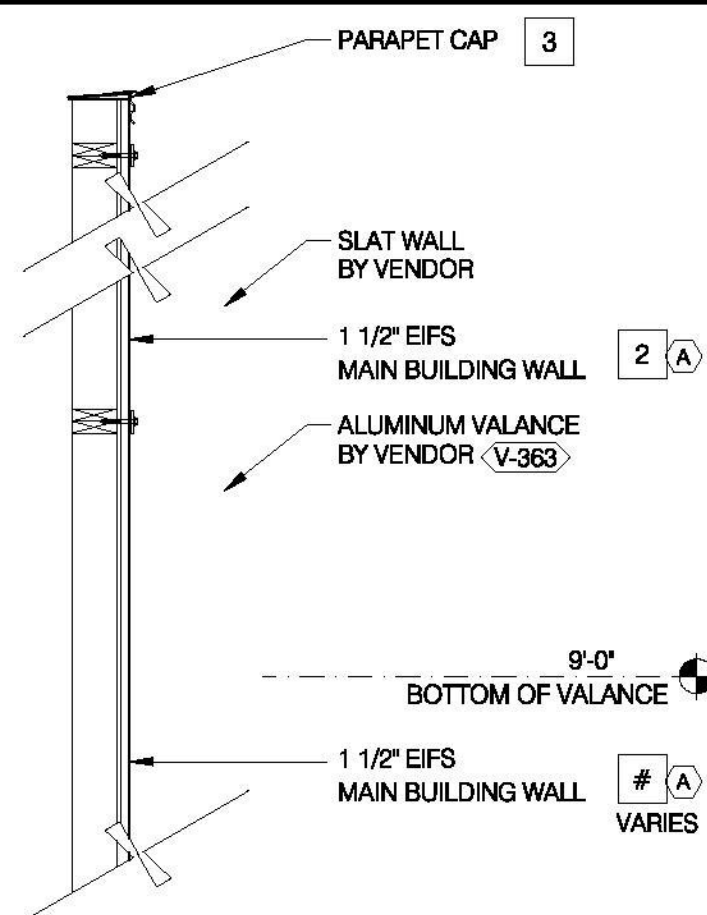
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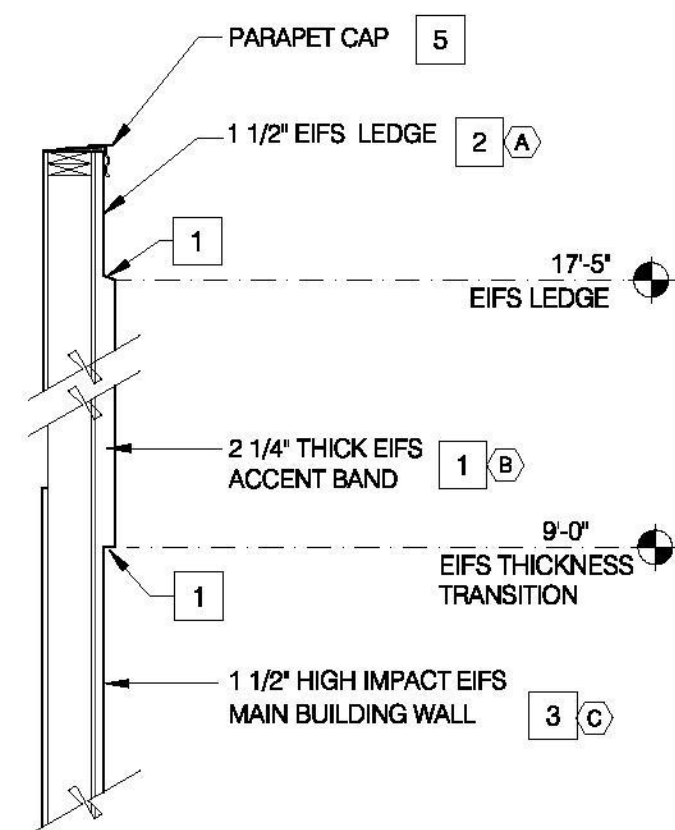
Signs require a separate permit



ENTRY SIDE ELEVATION 1/4"=1'-0" A



SLAT WALL COLOR TRANSITION N.T.S. I



EIFS THICKNESS COLOR TRANSITION N.T.S. G

MISCELLANEOUS
 A. SEE SH1 AT 1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.
 B. SEE SCOPE OF WORK FOR RESPONSIBILITIES.
 C. "HIGH IMPACT" MESH SHALL BE USED WHERE NOTED (C/D).
 D. THE PAINT COLORS SHOWN ARE COLOR REFERENCES FOR THE EIFS.S. SUPPLIER
 E. EIFS.S. TEXTURE SHALL BE FINE.

SEALERS (REFER TO SPECS):
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL @ WINDOWS.
 C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING & CANOPY/TRELLIS.

LEGEND:

B. DENOTES 2" THICK EIFS

"CRITICAL" DIMENSIONS:
 A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/ BUILDING ELEMENTS DIMENSIONS.

GENERAL NOTES F

QTY	ITEM DESCRIPTION	ELEC
V-350 1	TACO BELL DRIVE THRU CANOPY	X
V-348 1	TACO BELL "BUILDING ACCENT" - OPTIONAL	X
V-383 1	SLAT WALL SYSTEM	

CANOPY AND BLDG. ACCENT SCHED. N.T.S. E

(A) BASE THICKNESS - 1 1/2" THICK EIFS.S.
 (B) BASE THICKNESS - 2 1/4" THICK EIFS.S.

E.I.F.S. THICKNESS N.T.S. B

QTY	ITEM DESCRIPTION	ELEC
V-349 3	TACO BELL LETTERS 12" HIGH, WHITE, FLAT FACED	X
V-322 3	TACO BELL "BELL" SIGN 4'-10 1/2"W x 4'-8 1/4"H	X
	LED LAMPING.	

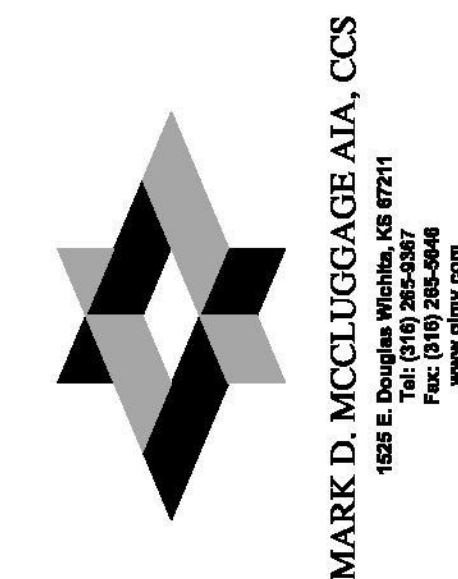
SIGN SCHEDULE N.T.S. C

SYMBOL	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
1	MAIN BUILDING COLOR	SHERWIN WILLIAMS	SW 6122 "CAMEL BACK"	LOTUSAN	NA08-0011	SHERWIN WILLIAMS: BRAD HARRINGTON, 216-341-5558 X115 (PHONE), BRAD.E.HARRINGTON@SHERWIN.COM
2	WALL COLOR BEHIND SCREEN WALL	SHERWIN WILLIAMS	SW 6831 "CLEMATIS"			
3	ACCENT COLOR	SHERWIN WILLIAMS	SW 2823 "ROCKWOOD CLAY"	LOTUSAN	NA08-0010	EIFS CONTACT: STO CORP.; CHUCK DUFFIN, 940-894-2092 (PHONE), 940-894-2095 (FAX), CDUFFIN@STOCORP.COM OWNER REPRESENTATIVE WILL IDENTIFY IF LOTUSAN PAINT WILL BE USED.
4	SLAT WALL AND VALANCE COLOR	VENDOR	SW 7034 "STATUS BRONZE" (EQUAL)			
5	PARAPET CAP COLOR	(12) DUROLAST	MEDIUM BRONZE (FACTORY FINISH)	SHERWIN WILLIAMS	SW 7088 "IRON ORE"	DURO-LAST; CURT JAFFEE, 800-356-8646 (PHONE), CJAFFEE@DURO-LAST.COM
6	STONE WALL	BORAL - VERSA STONE	TIGHT CUT - " PLUM CREEK"	CORONADO.		VERSETTA STONE WALL: ASHLEY JOYCE, 770-645-4531 (PHONE) ALTERNATE: CORONADO: 1-800-847-8663
7	STOREFRONT WINDOWS	TBD	" DARK BRONZE"			
8	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THICK PLASTIC COVER (US.POSTMAN.COM) OR EQUAL.			DURO-LAST; LEE COBB, 800-434-3876 (PHONE)
9	PARAPET BACK ROOFING	DUROLAST	THE COLOR SHALL BE FACTORY COLORED "TAN" EQUAL ALTERNATE ALLOWED.			
10	STOREFRONT WINDOWS	TBD	SPANDREL GLASS			

EXTERIOR FINISH SCHEDULE H

- 1 BUILDING SIGN, SEE SCOPE OF WORK.
- 2 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 3 ROOF BEYOND.
- 4 STOREFRONT TYPICAL.
- 5 DOUBLE DOOR.
- 6 SWITCH GEAR. PAINT TO MATCH WALL.
- 7 ARCHITECTURAL ALUMINUM VALANCE BY VENDOR.
- 8 LIGHT SCONCE. ALIGN BOTTOM OF FIXTURE'S MOUNTING BRACKET WITH CHANGE IN EIFS THICKNESS.
- 9 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- 10 THICKER EIFS TO TERMINATE AT TOP OF WINDOW HEIGHT. PROVIDE THINNER EIFS ABOVE THAT POINT. SLOPE TRANSITION AWAY FROM BUILDING 1:12. SEE DETAIL B/A4.0
- 11 EIFS (TYP). SEE 2 & 4/A.2.
- 12 PARAPET COPING. USE THE DURO-LAST PRE-FINISHED EDGE TRIM. SEE DETAIL 2/A6.0.
- 13 CO2 FILLER VALVE & COVER. SEE DETAIL 5/A6.2 SIM.
- 14 1/2" EIFS REVEAL JOINT.
- 15 GAS SERVICE.
- 16 WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.
- 17 SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT 6" MIN. PAINT TO MATCH ADJACENT WALL.
- 18 OVERFLOW SCUPPER.
- 19 RTU BEYOND. PAINT TO MATCH MAIN BUILDING COLOR.
- 20 BREAK METAL COVER OVER WOOD STUDS TO MATCH STOREFRONT. SEE 3, 4 & 7/A6.1
- 21 HIGH IMPACT EIFS.S. WHERE SHOWN ON ELEVATIONS. TOP EXTENT AT 5'-0". SEE 2/A6.2.
- 22 ALUMINUM SLAT WALL BY VENDOR.
- 23 BOLLARD
- 24 DUROLAST SINGLE MEMBRANE ROOFING OR EQUAL.
- 25 IF THE DURO LAST PARAPET CAP TRIM IS USED IT SHALL NOT BE PAINTED.
- 26 RETURN ALUMINUM LOUVERS BACK TO FACE OF BUILDING.
- 27 SPLASH BACK
- 28 STOREFRONT WITH SPANDREL GLASS.

KEY NOTES D



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15025.000

- △ ADDRESS CHANGE
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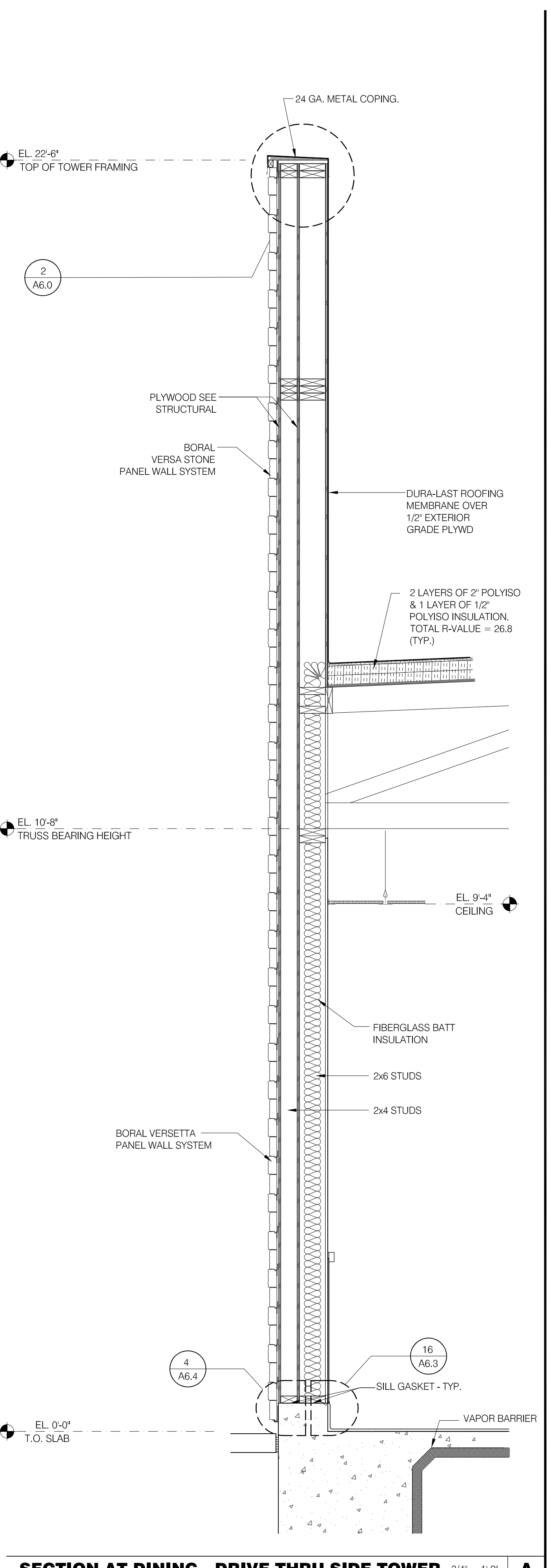
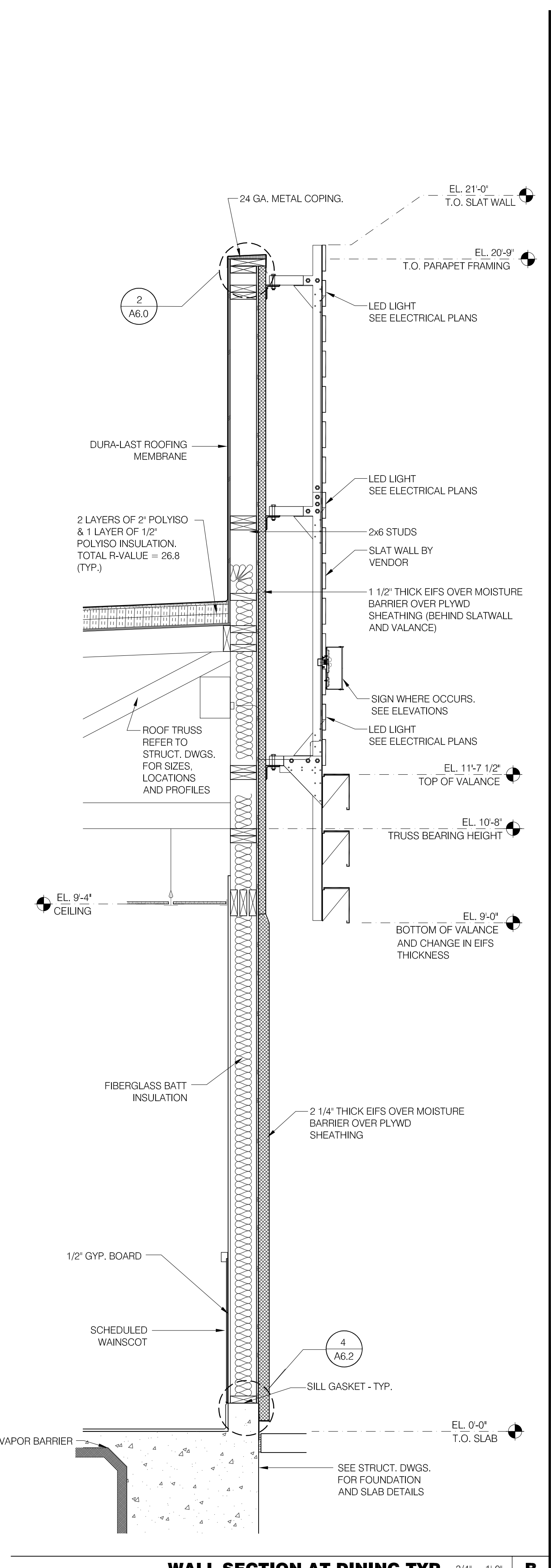
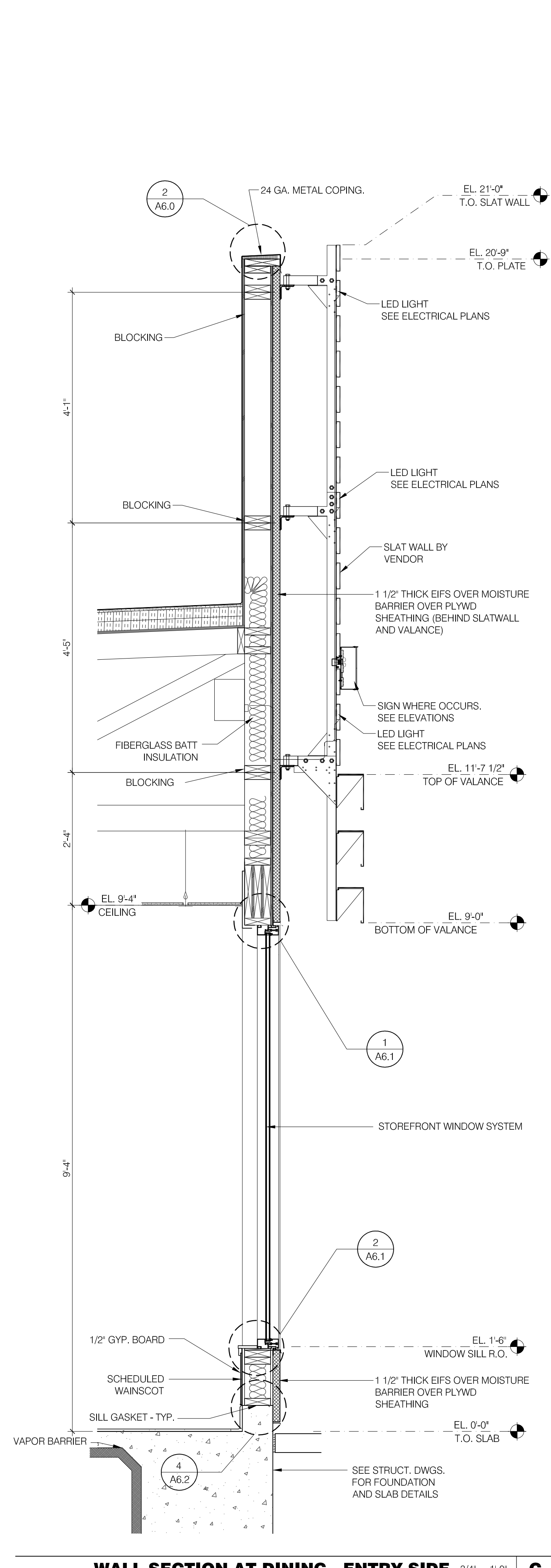
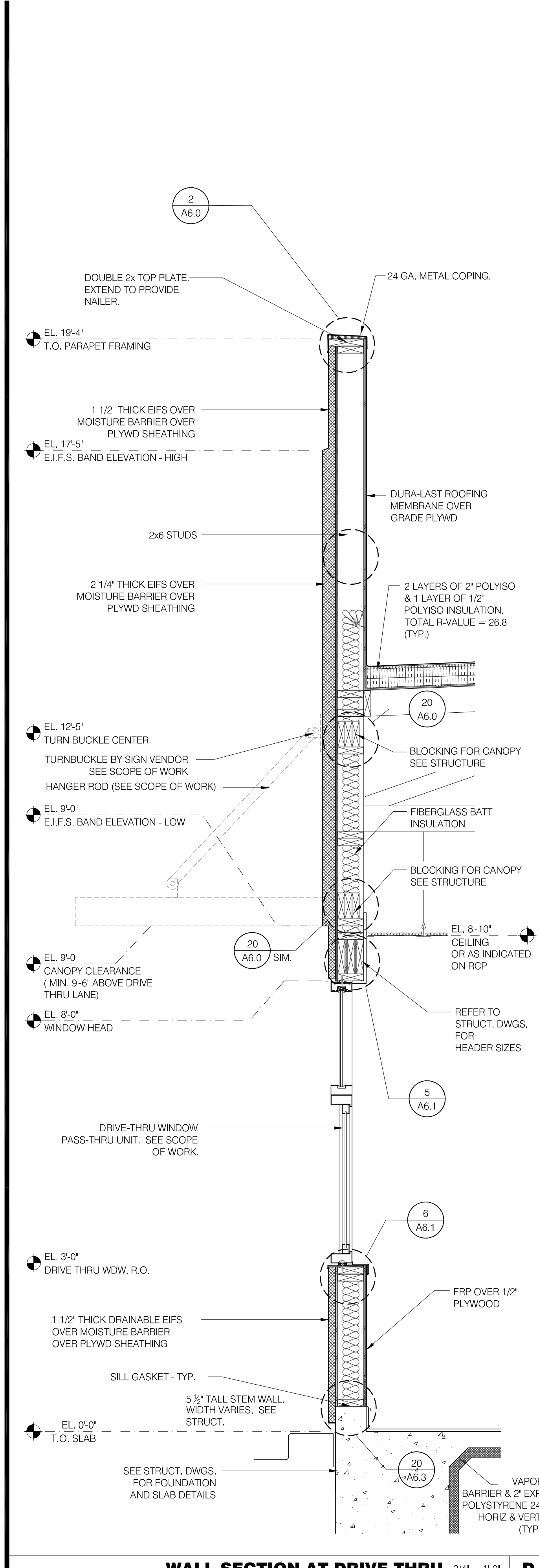
DATE: JULY 16, 2015
 BUILDING TYPE: MED-40-MOD
 PLAN VERSION: JUNE 2015
 SITE NUMBER:
 ENTITY NUMBER:

1300 HOLTON LANE
 TAKOMA PARK, MD 20912

LIVE MAS
 MEDIUM40 - MODIFIED
EXTERIOR ELEVATIONS

A4.0

PLOT DATE: 1-04-16



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ADDRESS CHANGE

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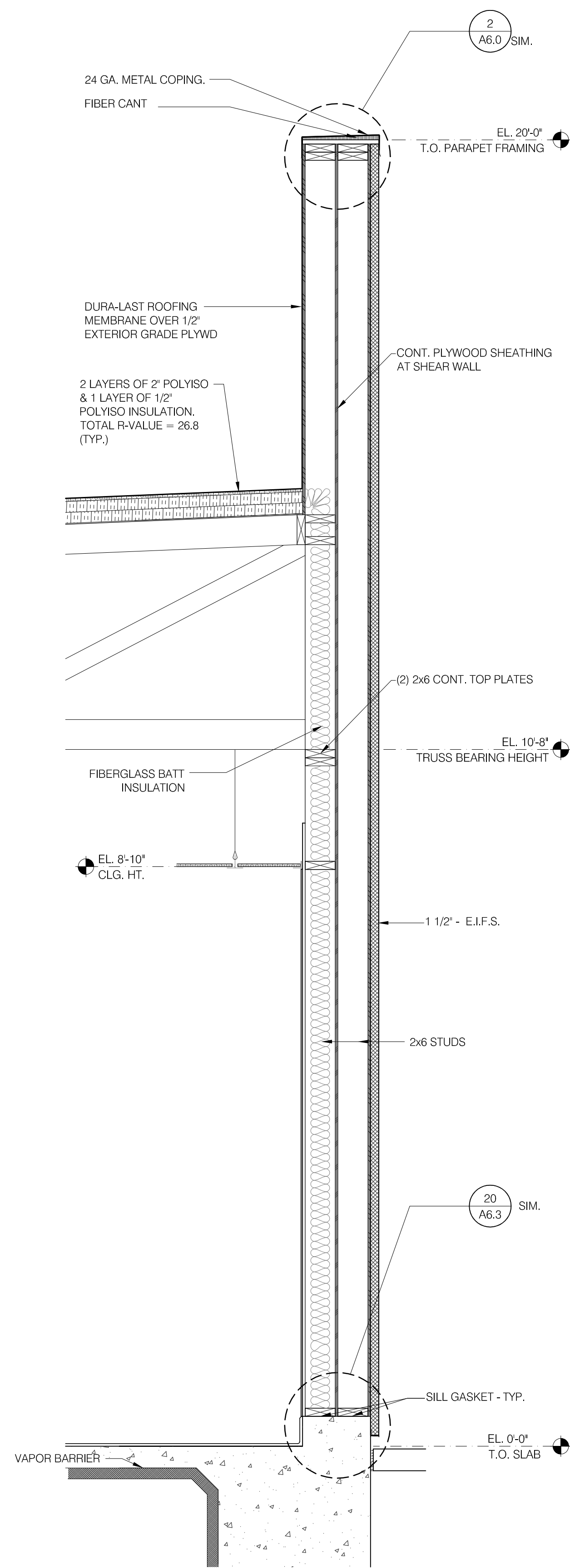
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LIVE MAS
 MEDIUM40 - MODIFIED

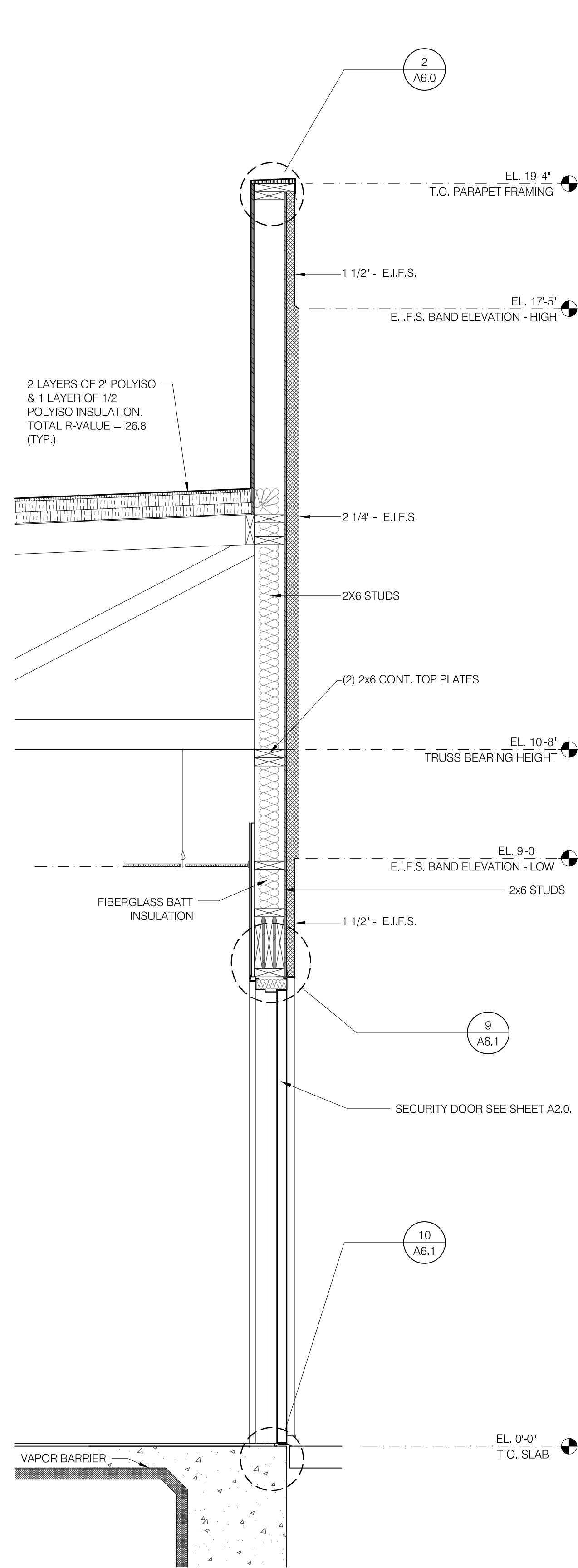
WALL SECTIONS

A5.0

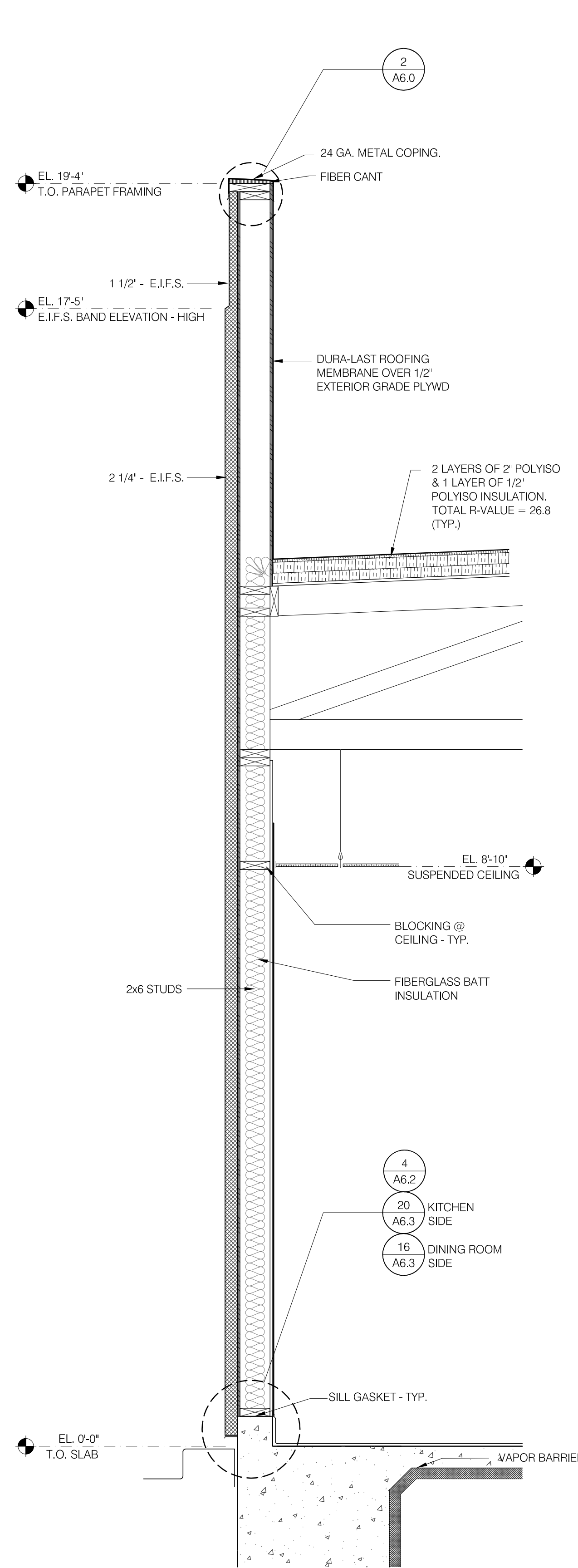
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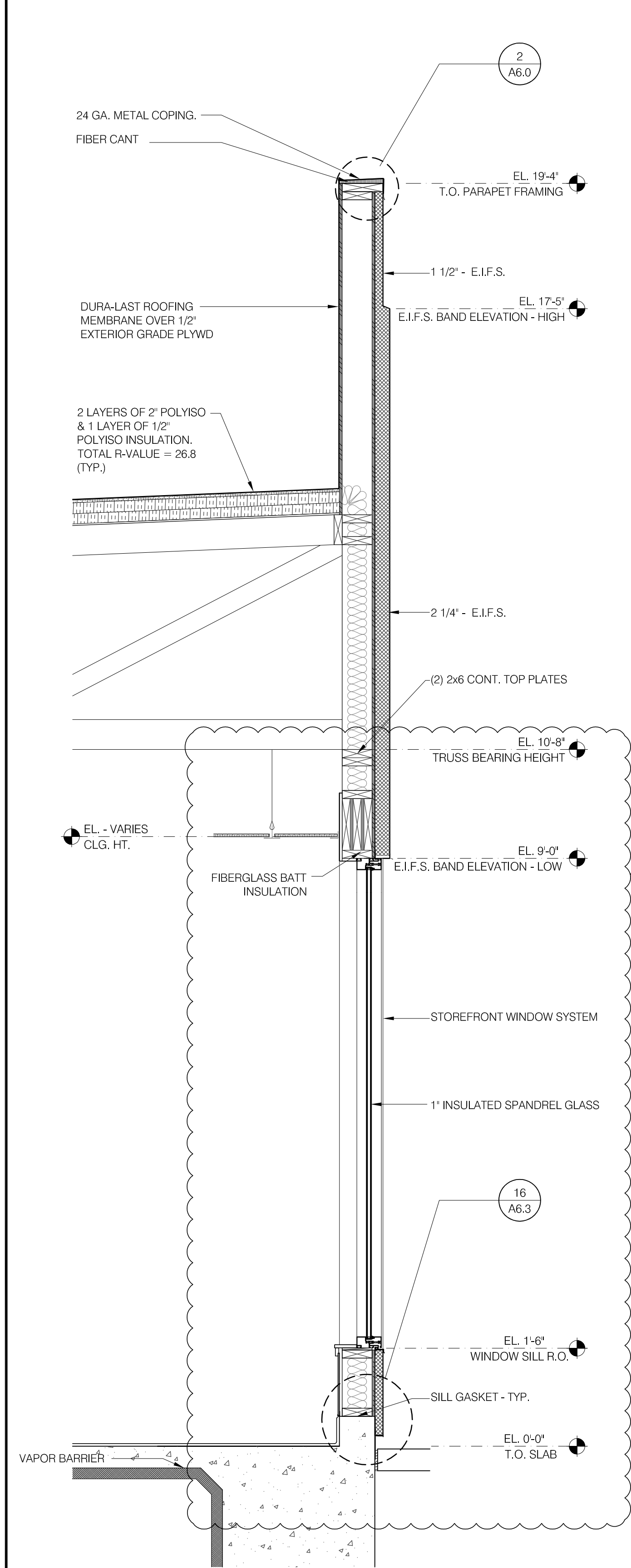
WALL SECTION AT REAR TOWER 3/4" = 1'-0" D



WALL SECTION AT SERVICE DOOR 3/4" = 1'-0" C



WALL SECTION AT THICK E.I.F.S. 3/4" = 1'-0" B



TYPICAL WALL SECTION 3/4" = 1'-0" A



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△ 4.07.16 REVIEW COMMENTS
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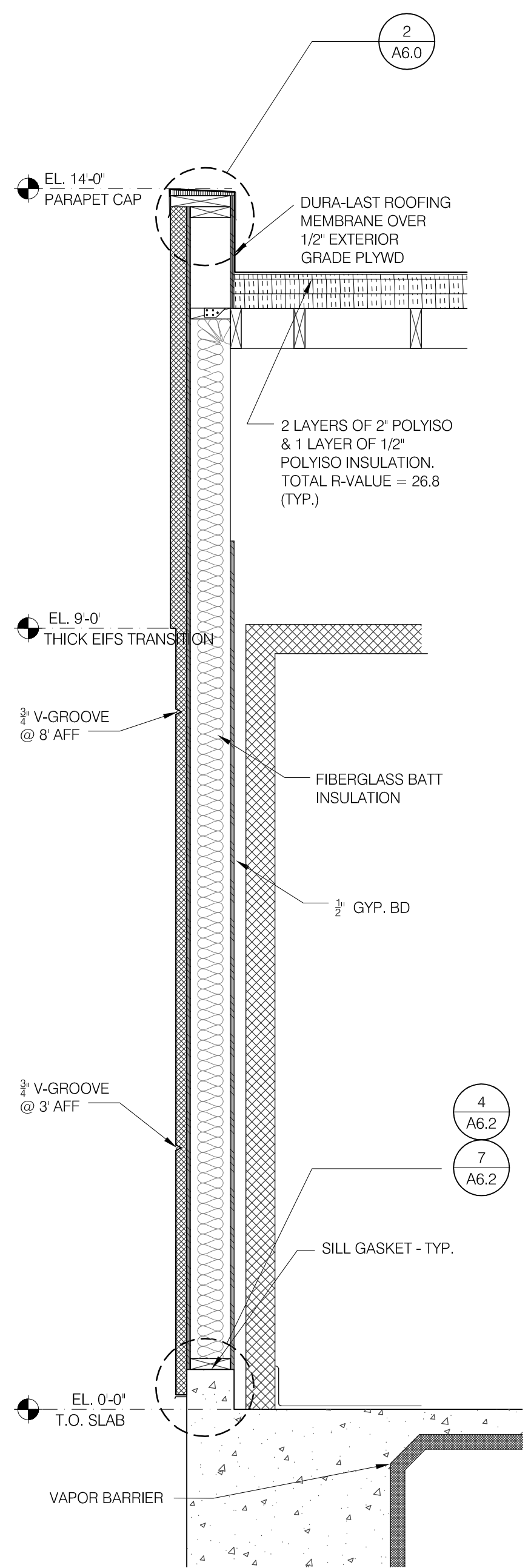
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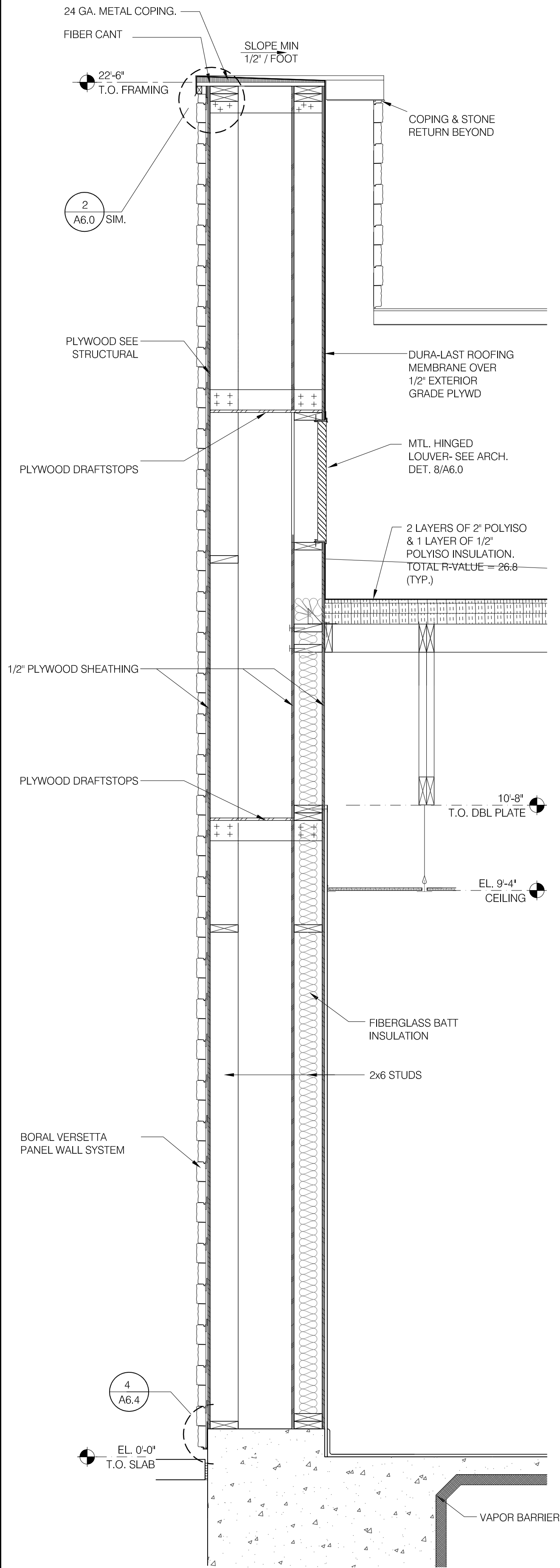


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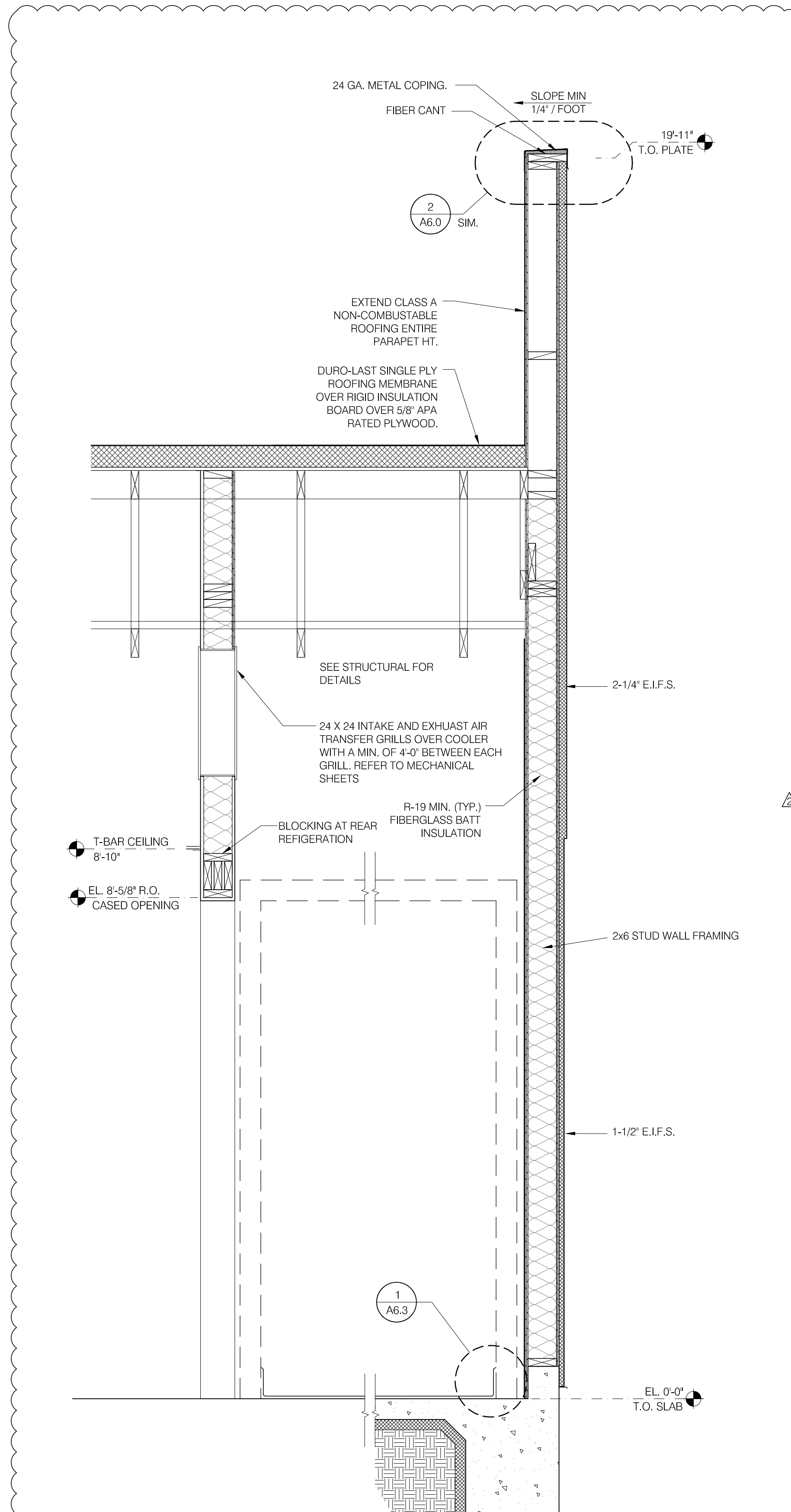
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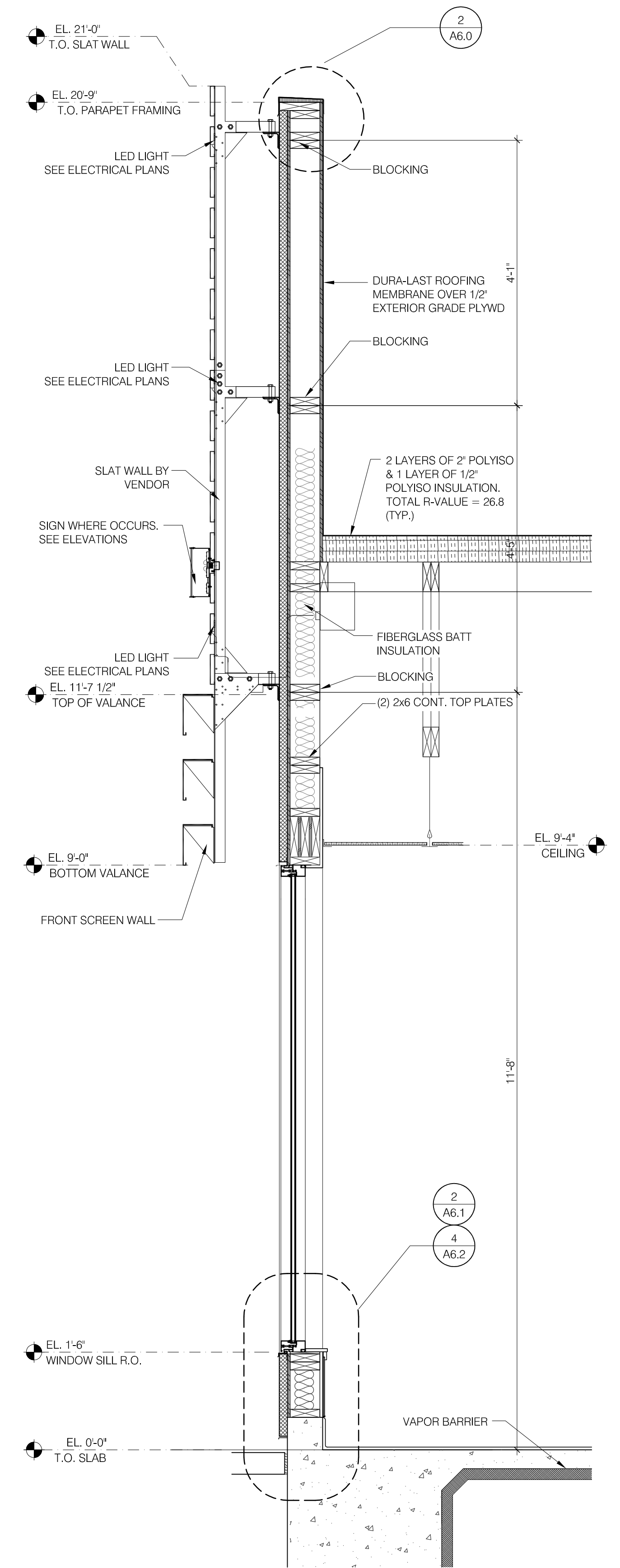
WALL SECTION AT COOLER 3/4" = 1'-0" D



FRONT TOWER SECTION C



REAR WALL SECTION AT COOLER 3/4" = 1'-0" B



FRONT WALL SECTION 3/4" = 1'-0" A



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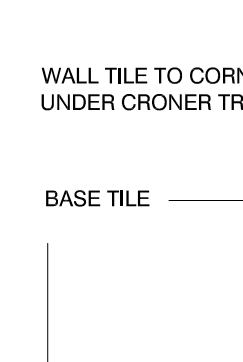
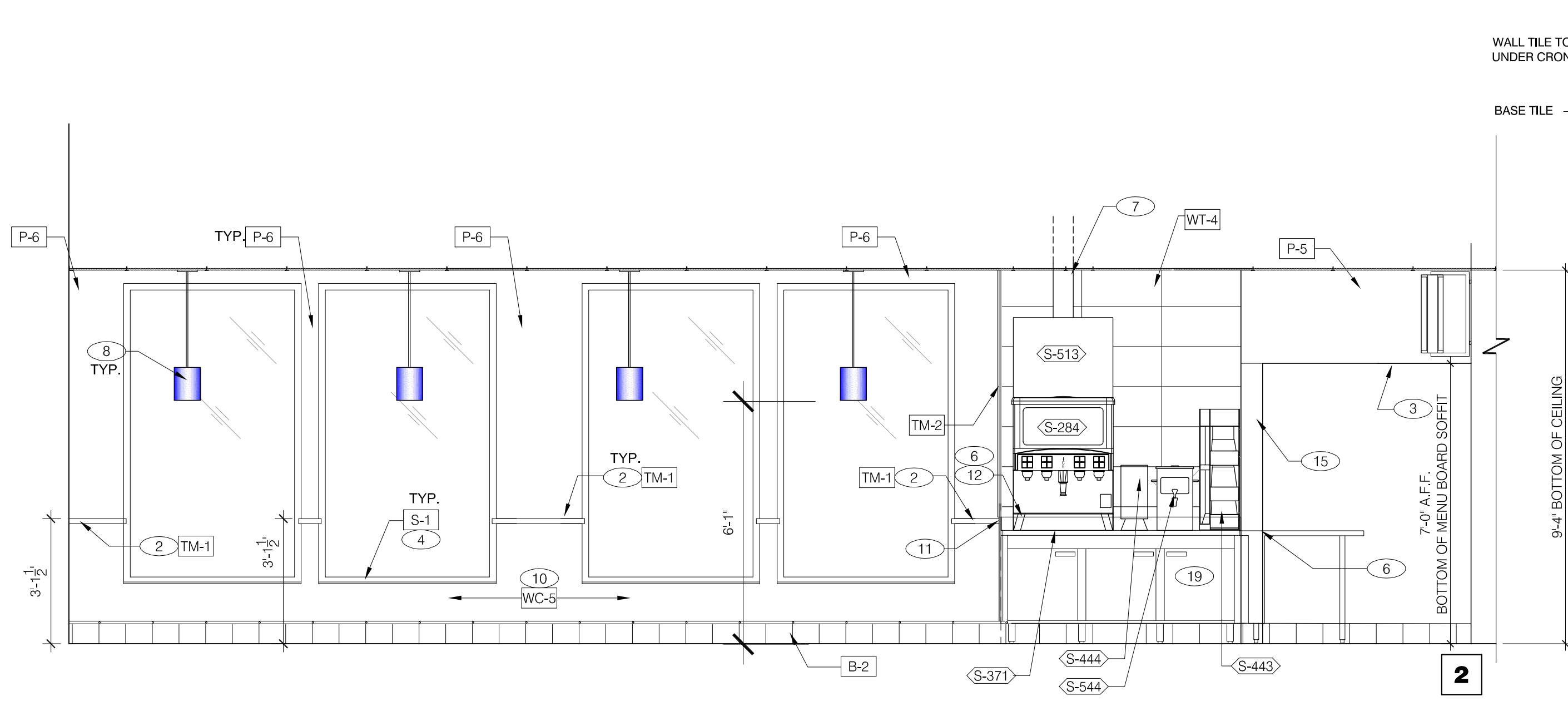
1300 HOLTON LANE
 TAKOMA PARK, MD 20912



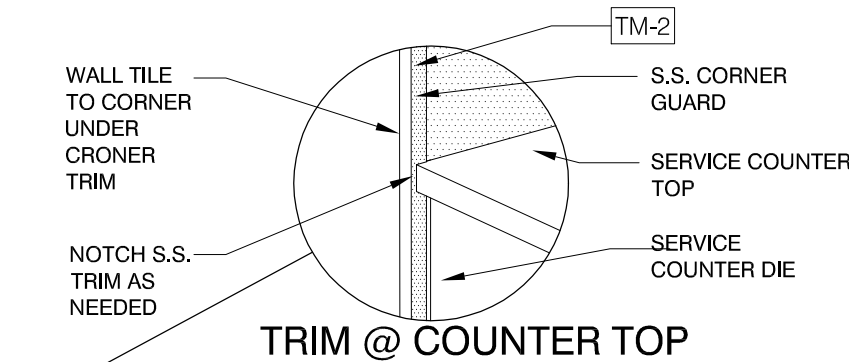
WALL SECTIONS

A5.2

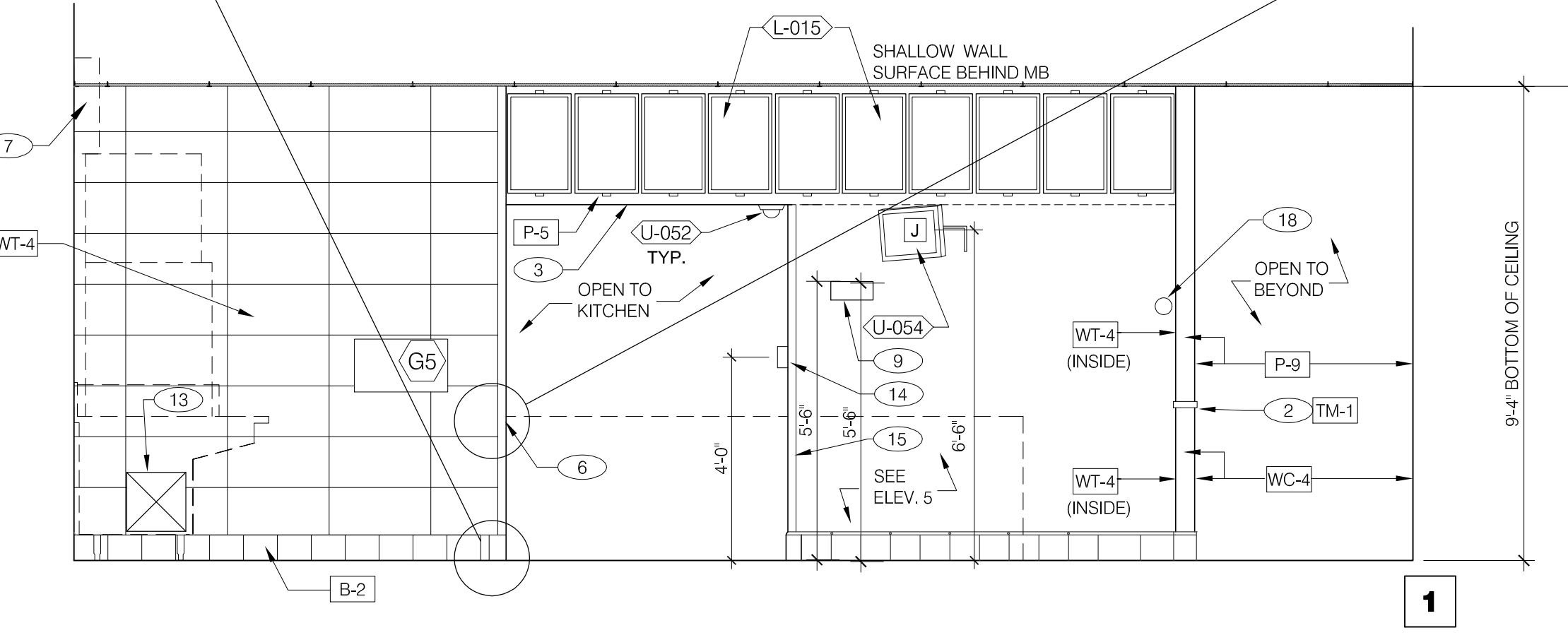
PLOT DATE: 4-12-16



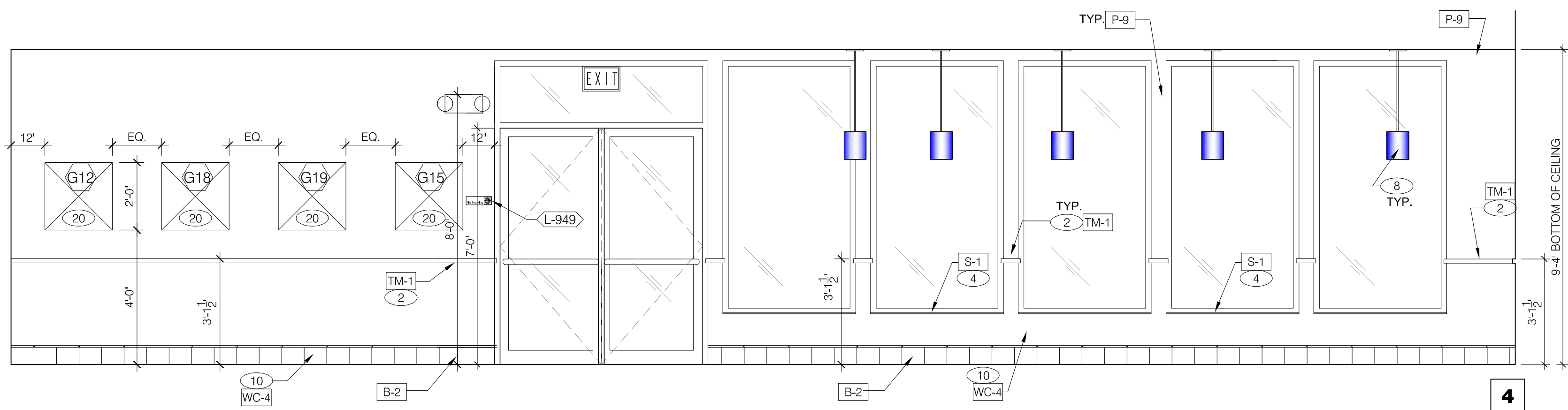
TRIM @ BASE TILE



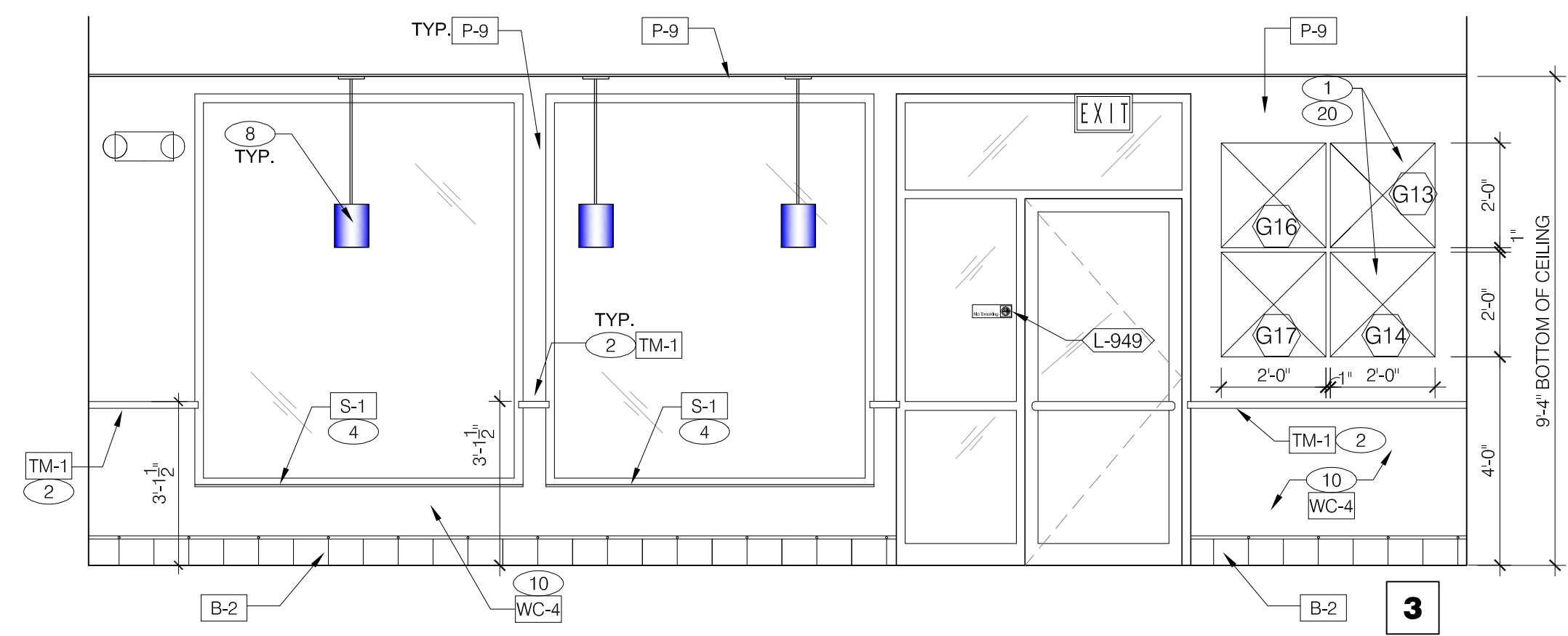
TRIM @ COUNTER TOP



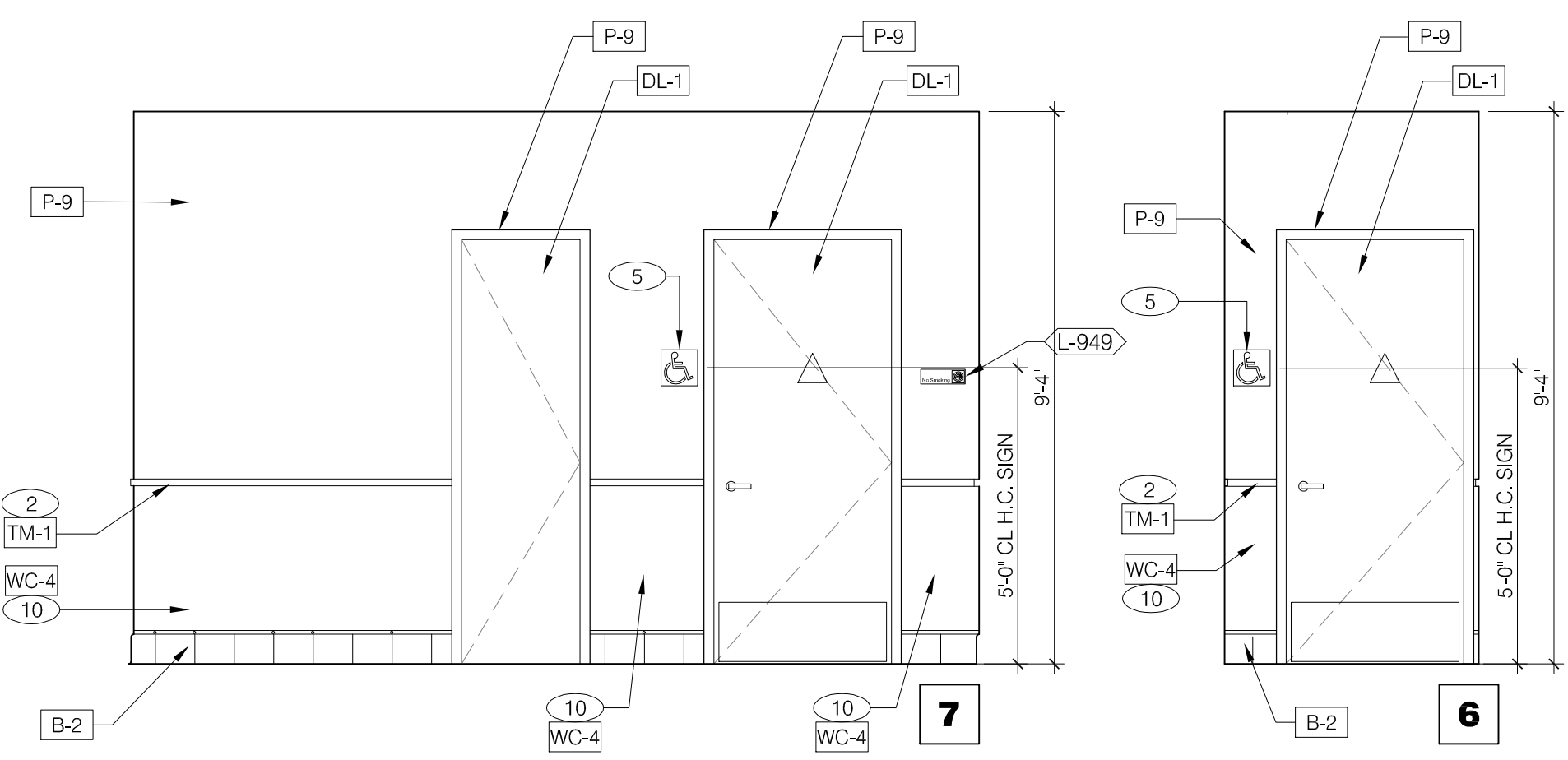
DINING 3/8" = 1'-0"

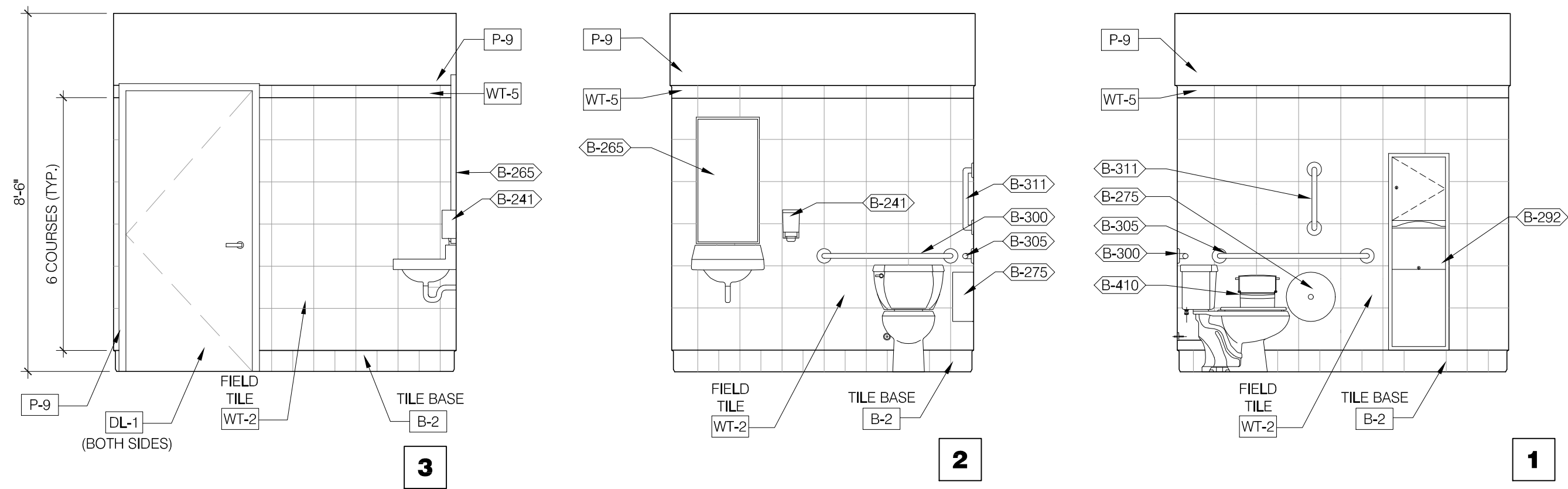


DINING 3/8" = 1'-0"

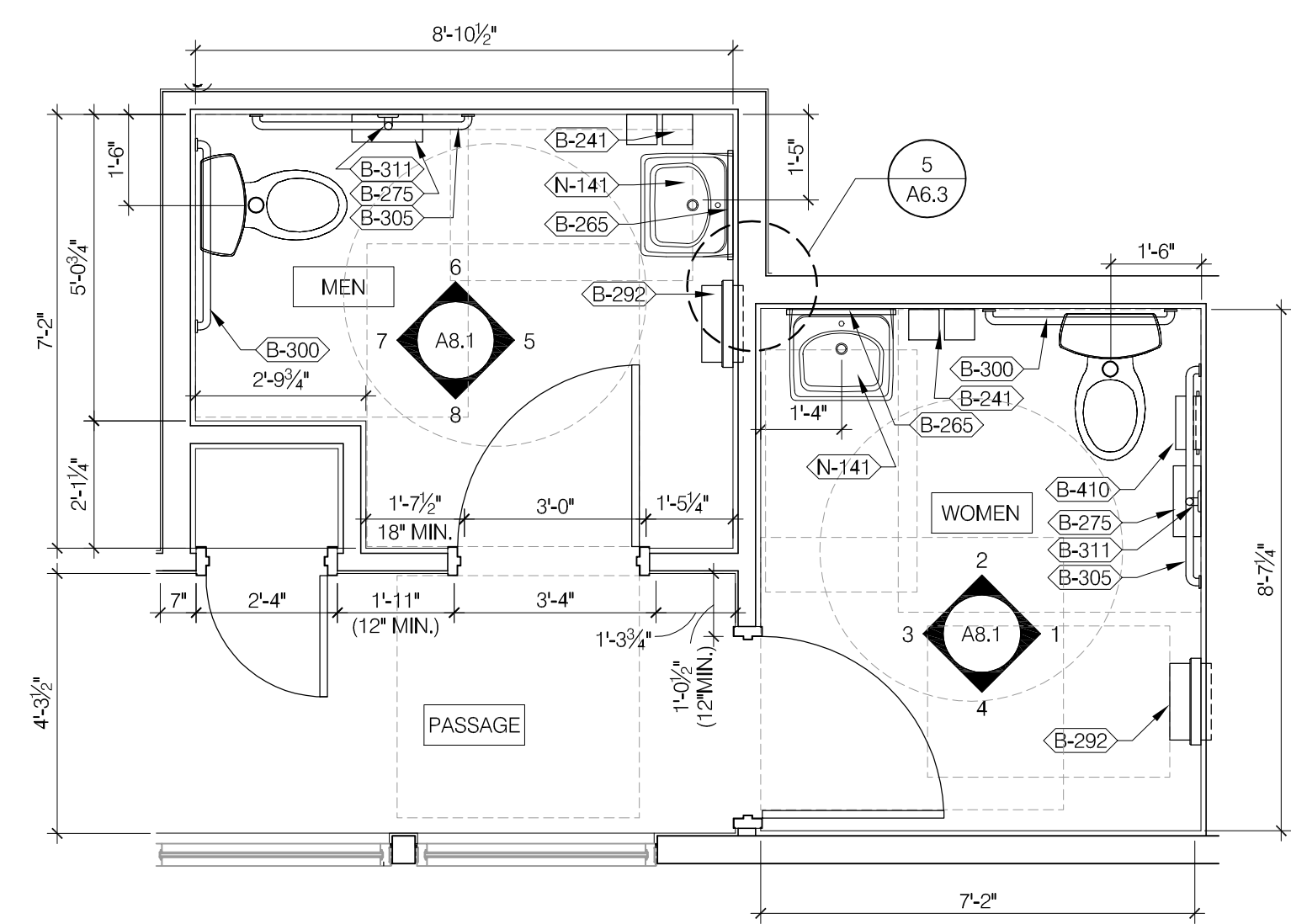


DINING 3/8" = 1'-0"



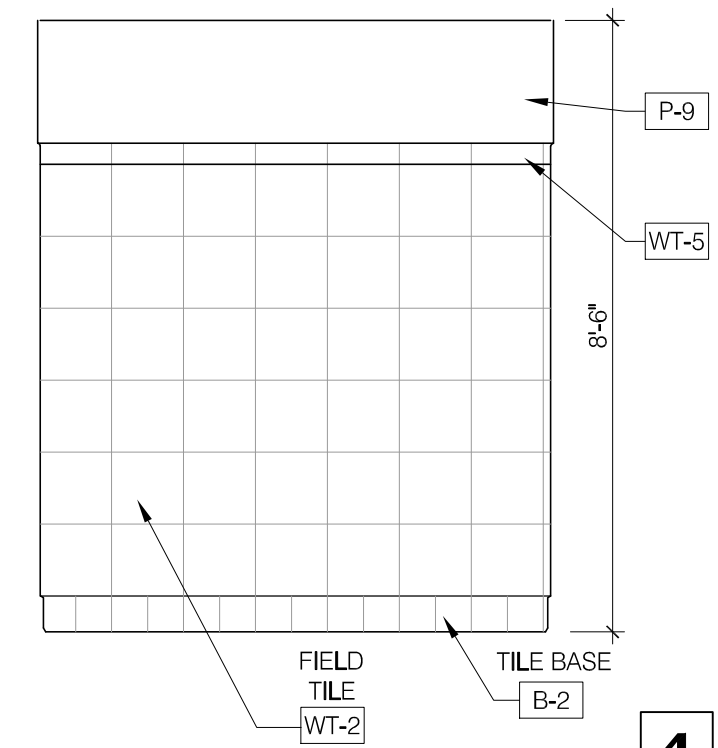


WOMEN'S RESTROOM 3/8"=1'-0"

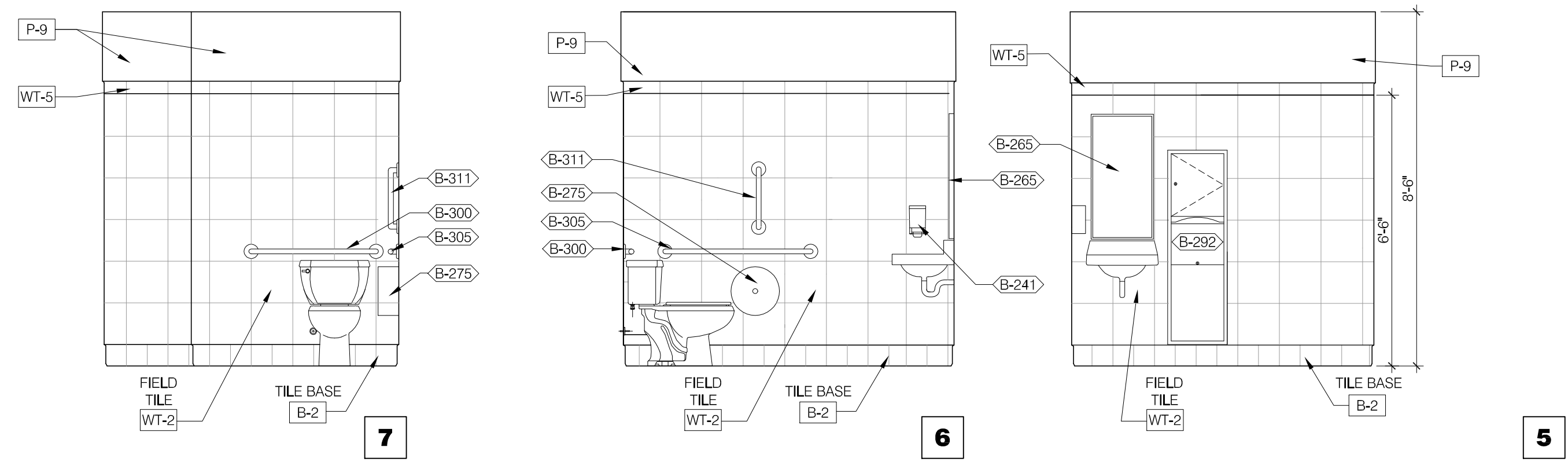
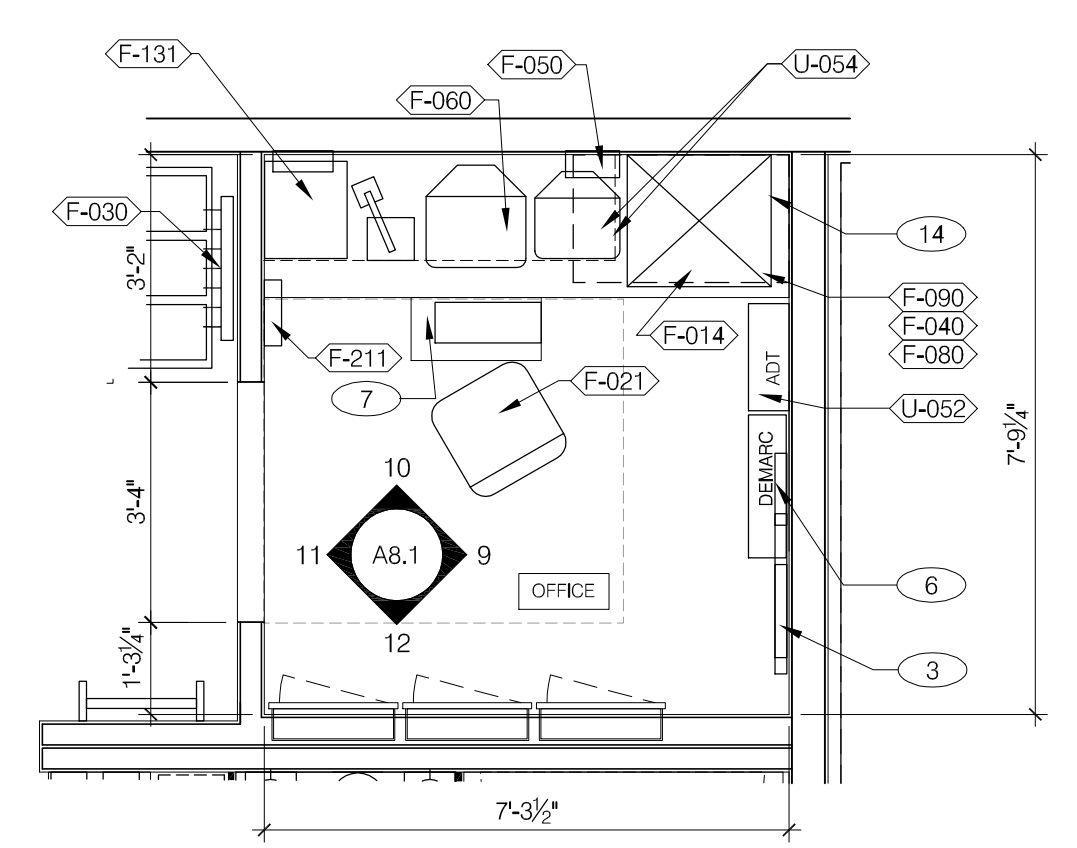


1. PROVIDE PROPER 2x BLOCKING AT WALL RECESSED MOUNTED ACCESSORIES.
2. GRAB BARS, FASTENERS AND MOUNTING DEVICES SHALL BE INSTALLED PER ADA REQUIREMENTS. REFER TO SHEET ADA1.0.
3. REFER TO FLOOR PLAN NOTES FOR BLOCKING AND SUBSTRATE NOTES.
4. REFER TO SHEET ADA1.0 FOR MOUNTING HEIGHTS AND CLEARANCES OF ACCESSORIES AND FIXTURES.
5. ALL DIMENSIONS THIS DRAWING ARE TO FINISH SURFACE.
6. FOR \circ DESCRIPTIONS, REFER TO ARTWORK SCHEDULE ON SHEET A2.0.
7. PROVIDE 1/4" MAX GAP AT ALL TOILET PARTITION JOINTS.

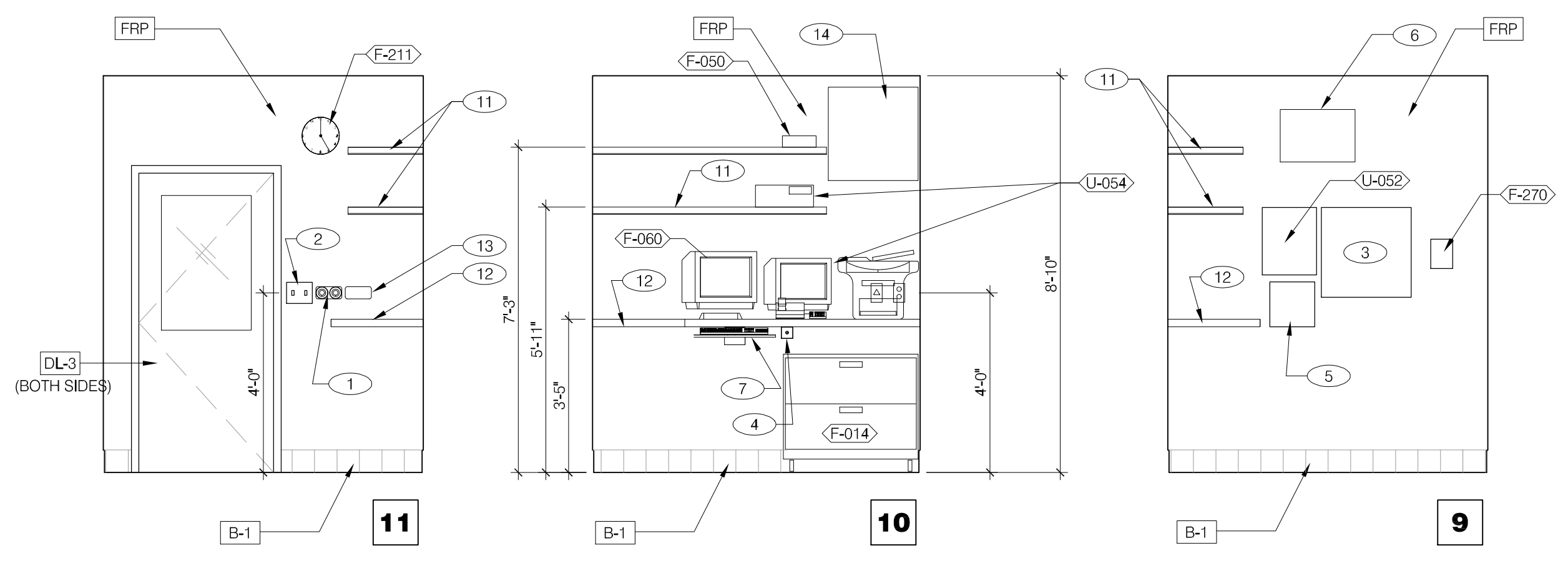
ENLARGED RESTROOM / GENERAL NOTES 3/8"=1'-0" **A**



WOMEN'S RESTROOM 3/8"=1'-0"

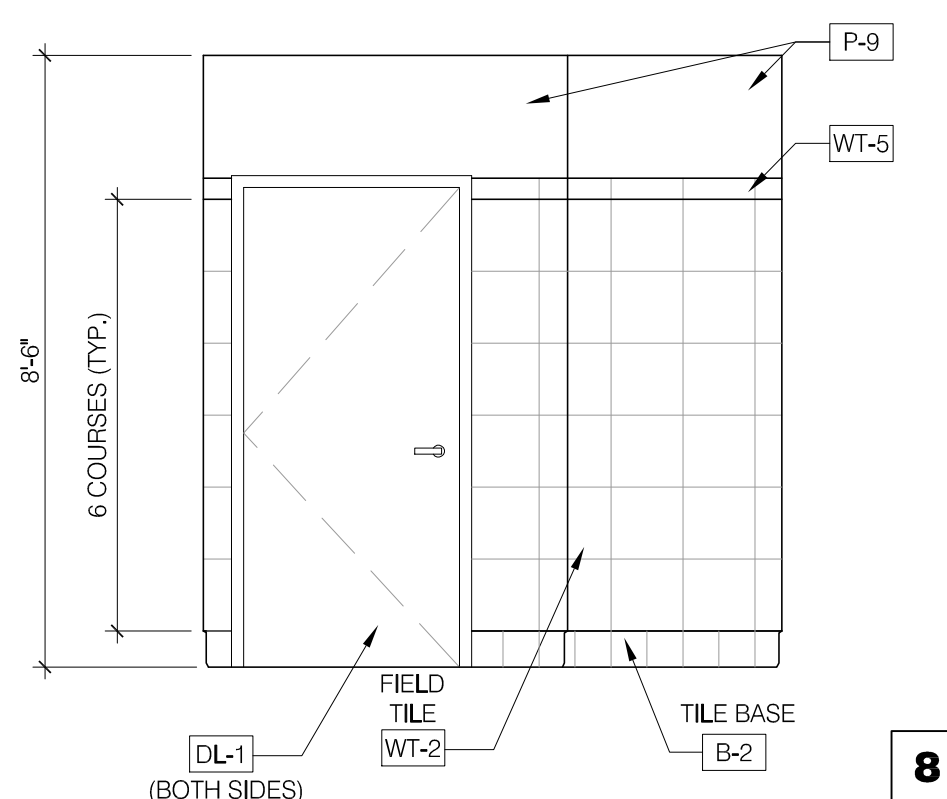


MEN'S RESTROOM 3/8"=1'-0"



- 1 THERMOSTATS
- 2 LIGHTING CONTROL RELAY SWITCHES. SEE DETAIL 3/E3.1
- 3 TELEPHONE TERMINAL BOARD
- 4 HOLD UP BUTTON
- 5 12" X 12" PHONE DISTRIBUTION BOX: OWNER PROVIDED & INSTALLED.
- 6 WIRING CABINET BY POS PROVIDER.
- 7 UNDER COUNTER KEYBOARD TRAY.
- 8 ELECTRIC PANELS.
- 9 LIGHTING CONTROL RELAYS (CONTACTORS).
- 10 EXTERIOR LIGHTING CONTROL PANEL
- 11 SHELF BY G.C. - FINISH WITH PLASTIC LAMINATE DL-3.
- 12 COUNTER BY G.C. - FINISH WITH PLASTIC LAMINATE DL-3.
- 13 SMOKE DETECTOR WITH RESET SWITCH.
- 14 TECH-N-A-BOX: REFER TO E3.1. G.C. TO PROVIDE BLOCKING WHERE REQUIRED.

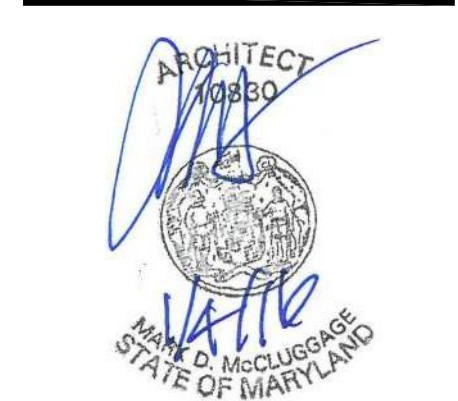
OFFICE PLAN & ELEVATIONS / KEY NOTES 3/8"=1'-0" **B**



MEN'S RESTROOM 3/8"=1'-0"



PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 10830, EXPIRATION DATE: 08/19/2016.



15025.000

△	ADDRESS CHANGE
△	
△	
△	
△	
△	
△	
△	
△	

DATE: JULY 15, 2015
 BUILDING TYPE: MED-40-MOD
 PLAN VERSION: JUNE 2015
 SITE NUMBER: _____
 ENTITY NUMBER: _____

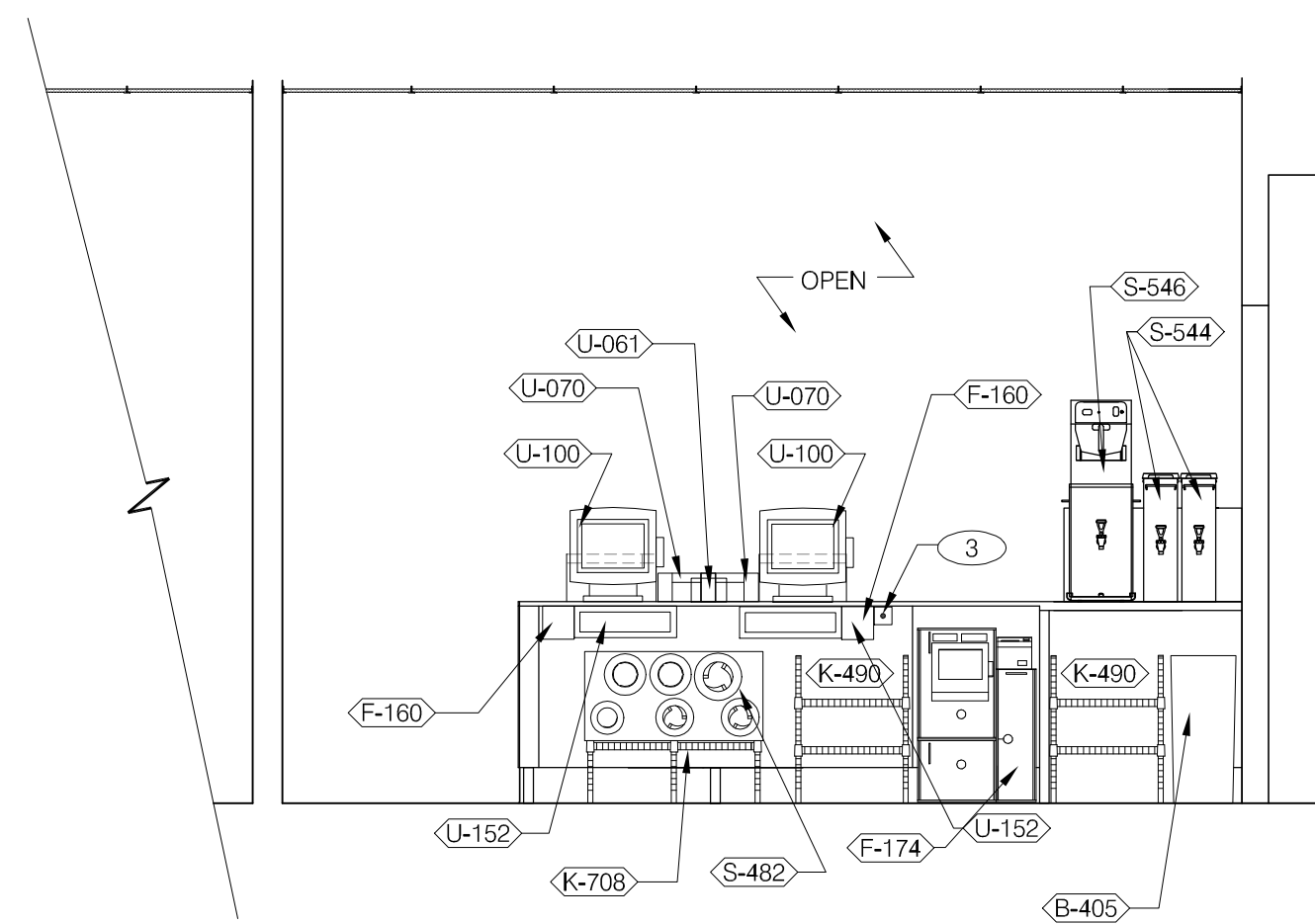
1300 HOLTON LANE
 TAKOMA PARK, MD 20912



**INTERIOR ELEV.
 ENLARGED
 RESTROOMS &
 OFFICE PLAN**

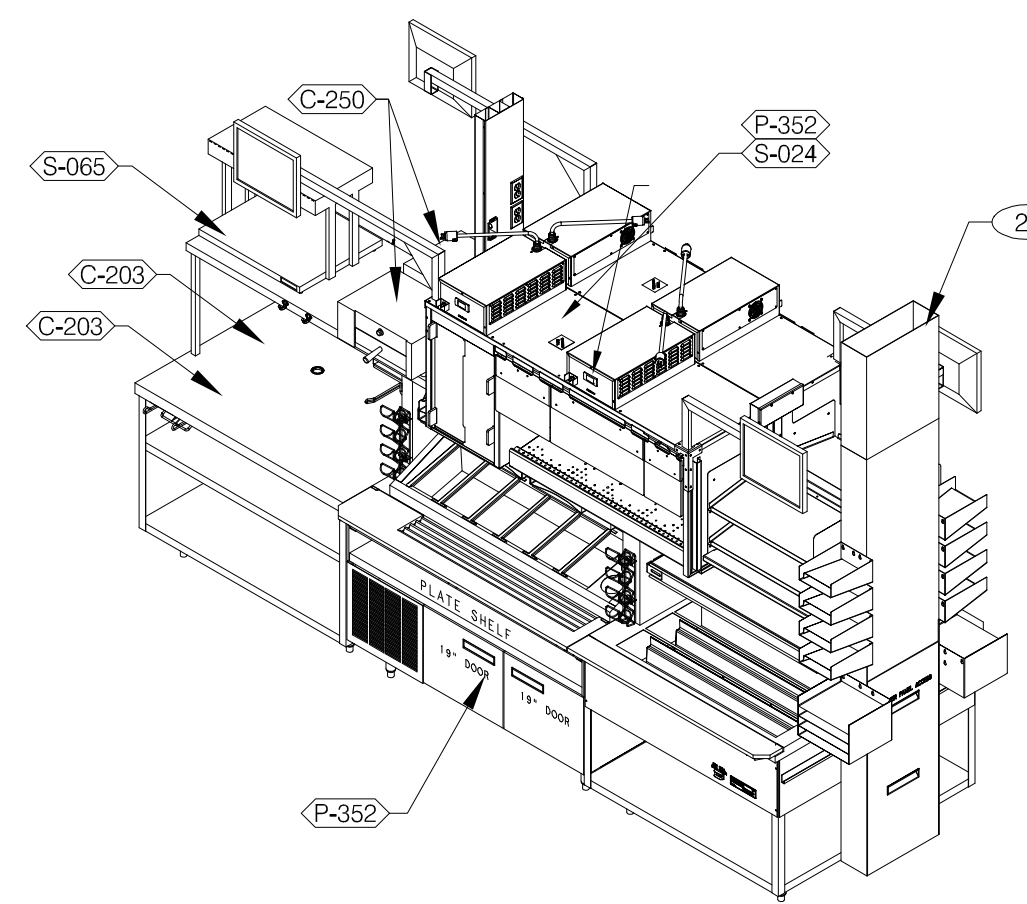
A8.1

PLOT DATE: 1-04-16



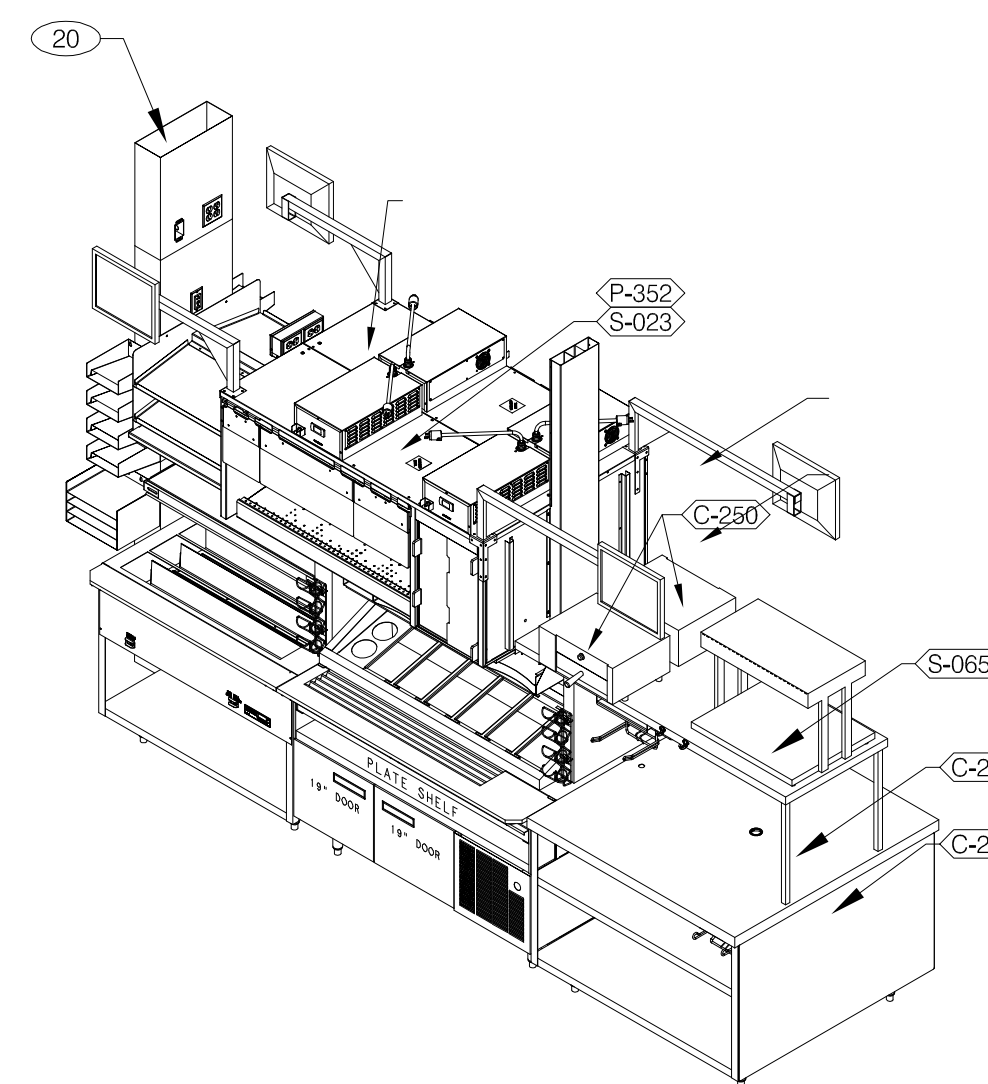
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SERVING 3/8" = 1'-0"



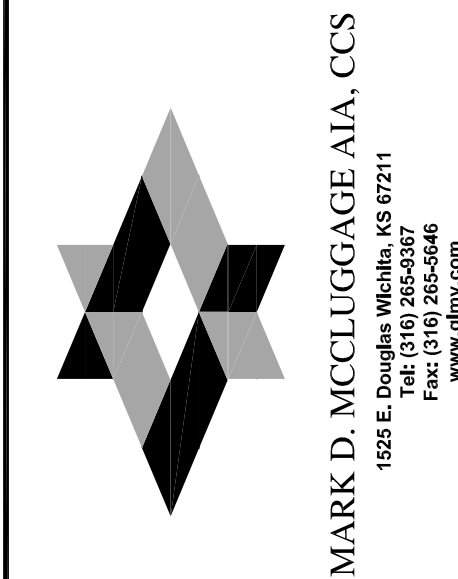
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MOP SINK INSTALLATION C

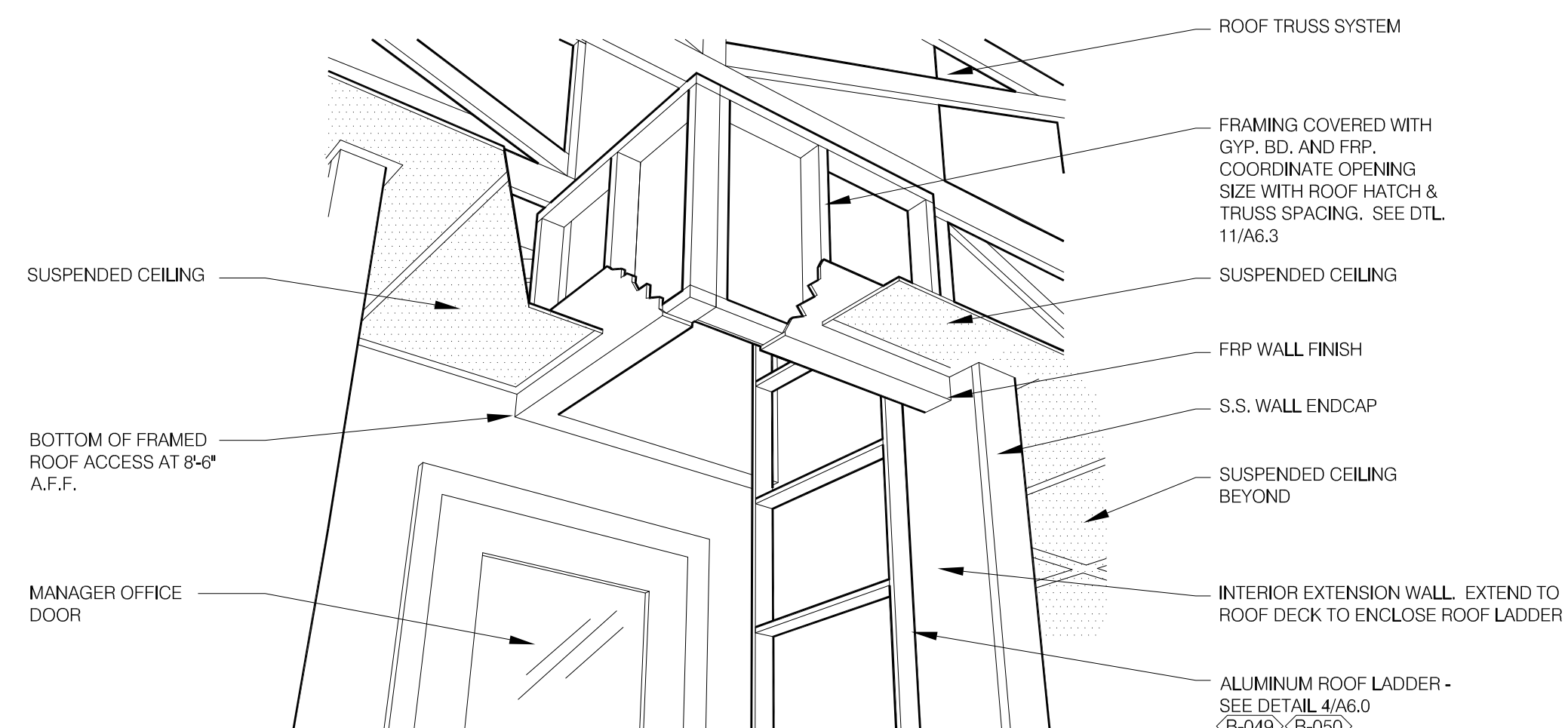


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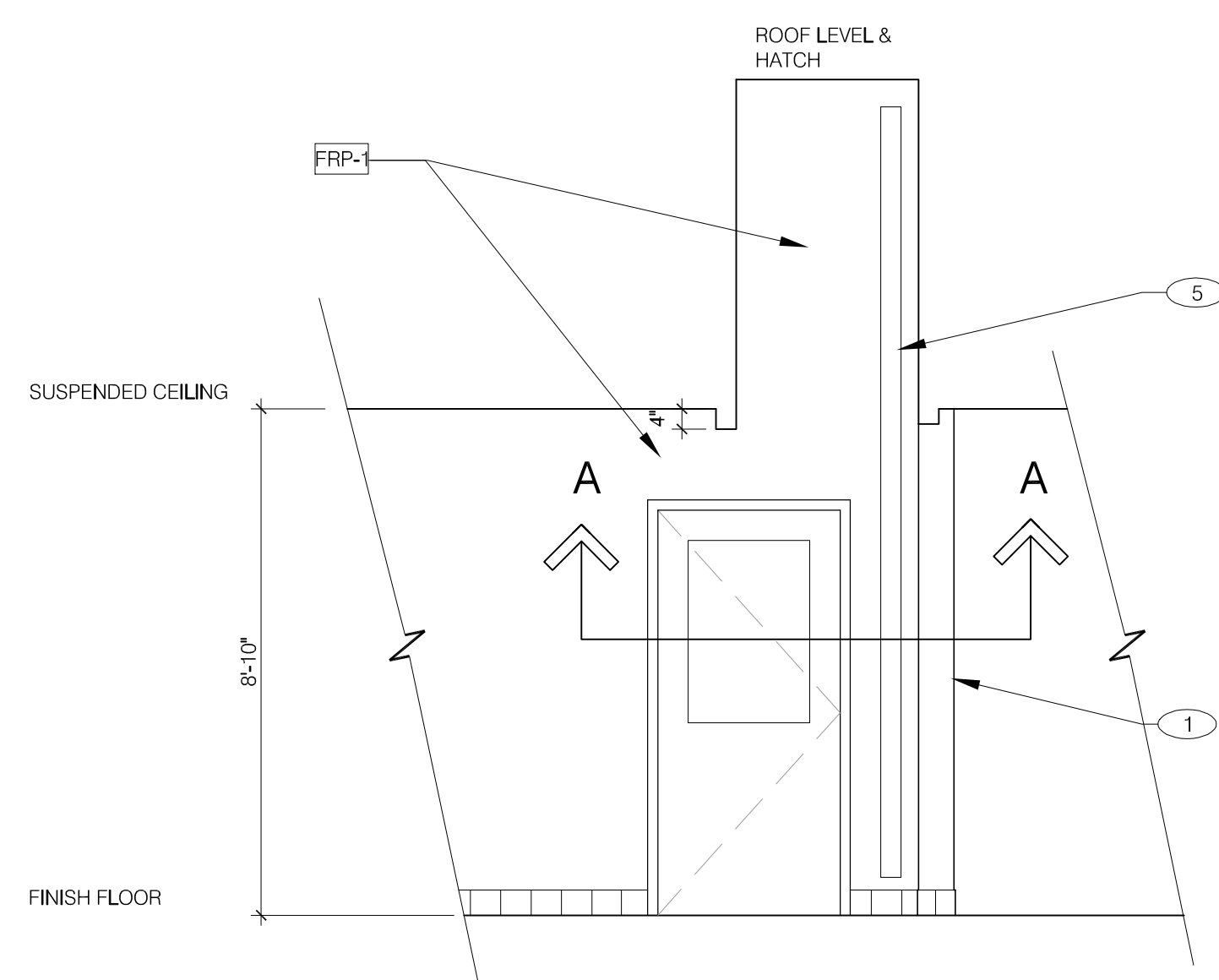
EVO DUAL LINE 3/8" = 1'-0"



PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 10830, EXPIRATION DATE: 08/19/2016.

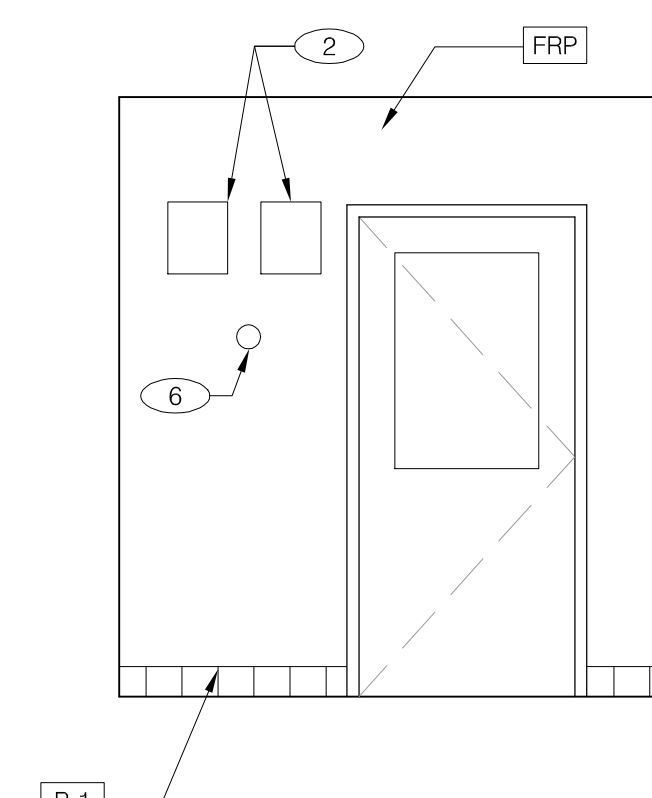


A - ROOF LADDER VIEW



5

ROOF ACCESS PASSAGEWAY N.T.S. B



4

EMPLOYEE / STORAGE 3/8" = 1'-0"

- 1 SS CORNER / END WALL CHANNEL GUARD, FULL HEIGHT. SEE 19/A6.3.
- 2 FAN MOTOR STARTERS, SURFACE MOUNTED, TYP. OF 2.
- 3 HOLD-UP BUTTON
- 4 UTILITY CHASE.
- 5 ROOF LADDER. SEE 7/A6.0.
- 6 TEMPERATURE SENSOR. SEE MECHANICAL DRAWINGS.

KEY NOTES A



15025.000

ADDRESS CHANGE

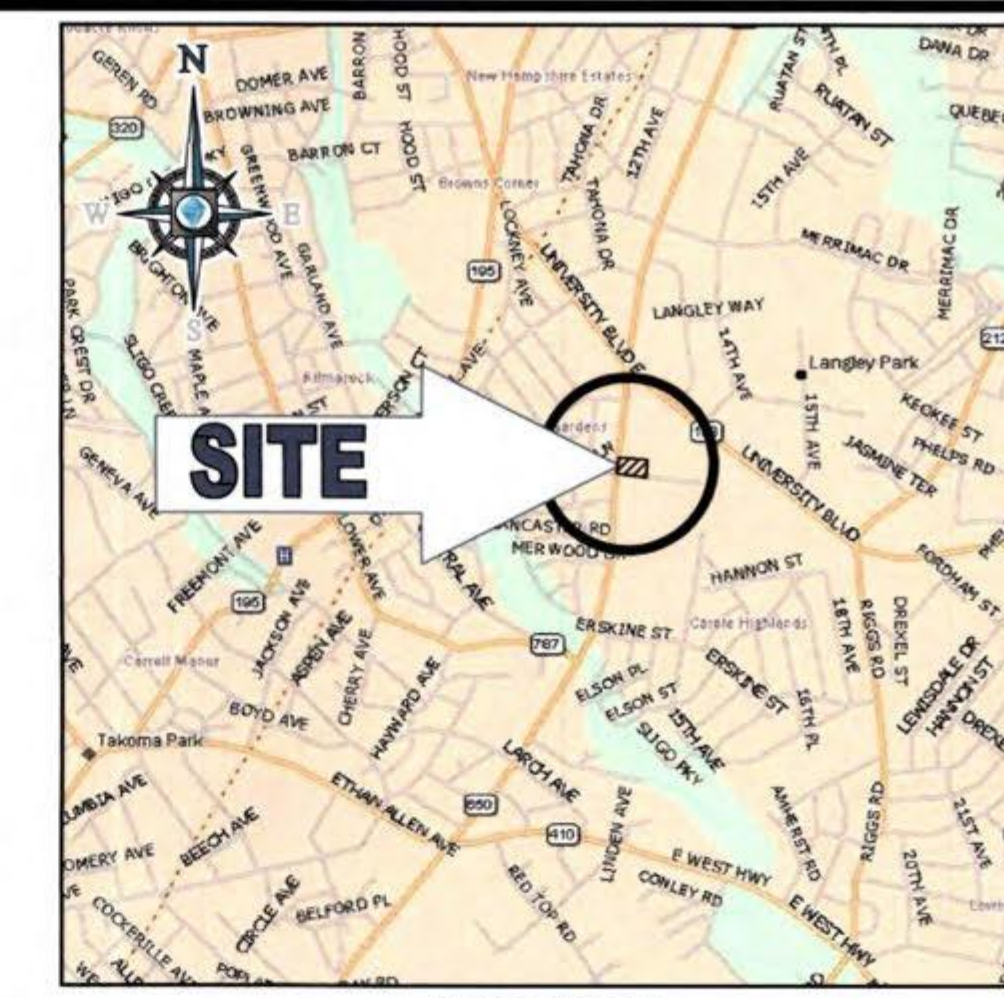
DATE: JULY 15, 2015
 BUILDING TYPE: MED-40-MOD
 PLAN VERSION: JUNE 2015
 SITE NUMBER: _____
 ENTITY NUMBER: _____

1300 HOLTON LANE
 TAKOMA PARK, MD 20912

LIVE MAS
 MEDIUM40 - MODIFIED
INTERIOR ELEVATIONS KITCHEN

A8.3

PLOT DATE: 1-04-16



LOCATION MAP
 COPYRIGHT 2003
 DELORME STREET ATLAS 2004 PLUS USA
 SCALE: 1"=2000'

BOHLER ENGINEERING
 SITE CIVIL AND CONSULTING ENGINEERING FOR ARCHITECTURE
 LAND SURVEYING ENGINEERING PERMITTING SERVICES
 SUSTAINABLE DESIGN TRANSPORTATION SERVICES
 WARREN, NJ NEW YORK
 BALTIMORE, MD
 BOSTON, MA
 CENTRAL VIRGINIA
 LEHIGH VALLEY, PA
 RALEIGH, NC

REV	DATE	COMMENT	BY

NOT APPROVED FOR CONSTRUCTION

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO PESTER THE EARTH'S SURFACE ANYWHERE IN THE STATE IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, NORTH CAROLINA AND DELAWARE CALL: 811 (WV 1-800-245-4848) (PA 1-800-243-1776) (DC 1-800-257-7777) (VA 1-800-552-7501) (MD 1-800-257-7777) (DE 1-800-282-8000)

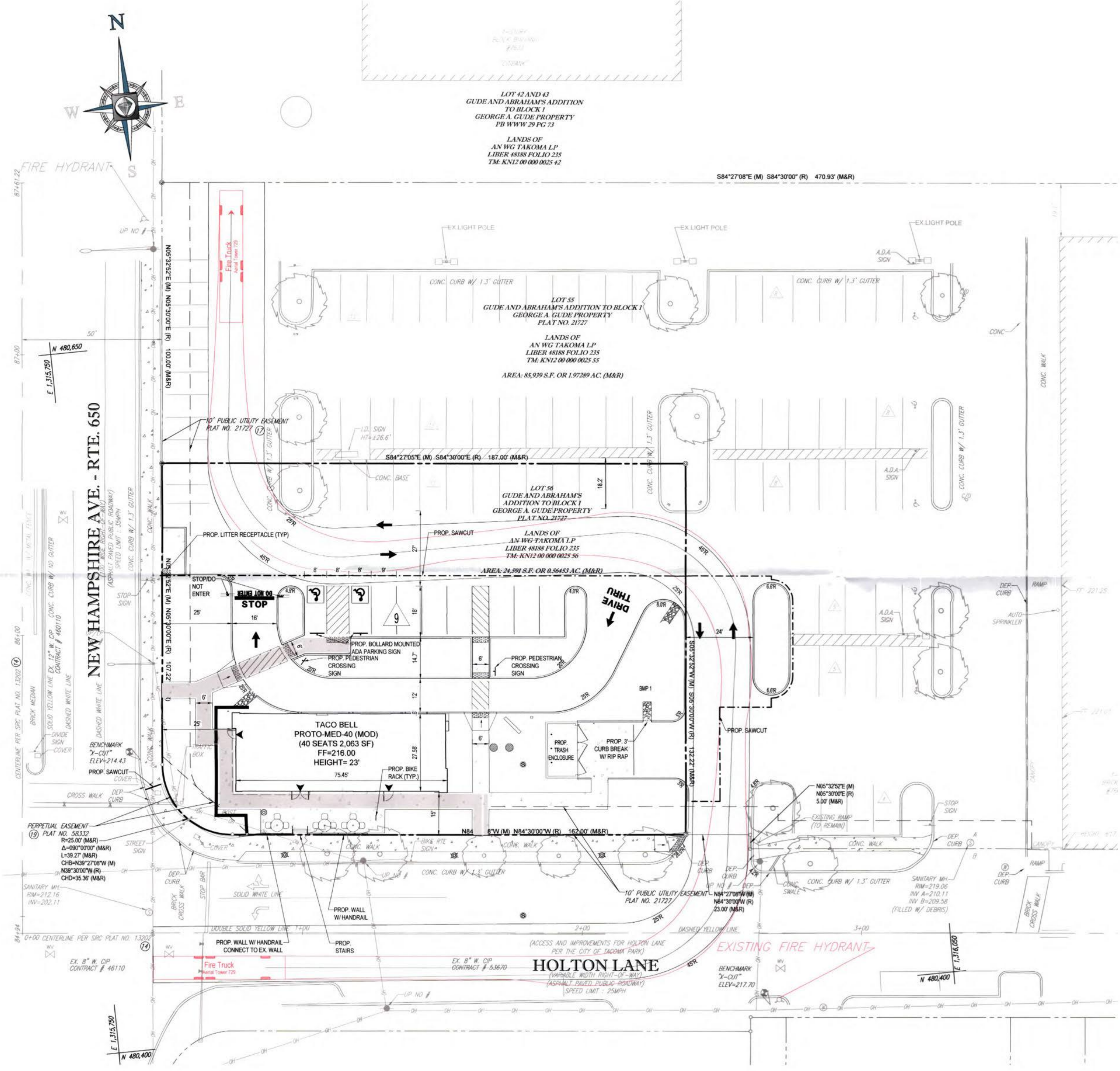
PROJECT No.: MB14200601
 DRAWN BY: AL
 CHECKED BY: BLF
 DATE: 06/25/15
 SCALE: AS SHOWN
 CAD I.D.: EXD

SITE PLAN #820150150 TACO BELL TAKOMA PARK
 FOR MUY TACO BELL
 LOCATION OF SITE
 NEW HAMPSHIRE AVE AND HOLTON AVE
 TAKOMA PARK, MD 20912
 MONTGOMERY COUNTY

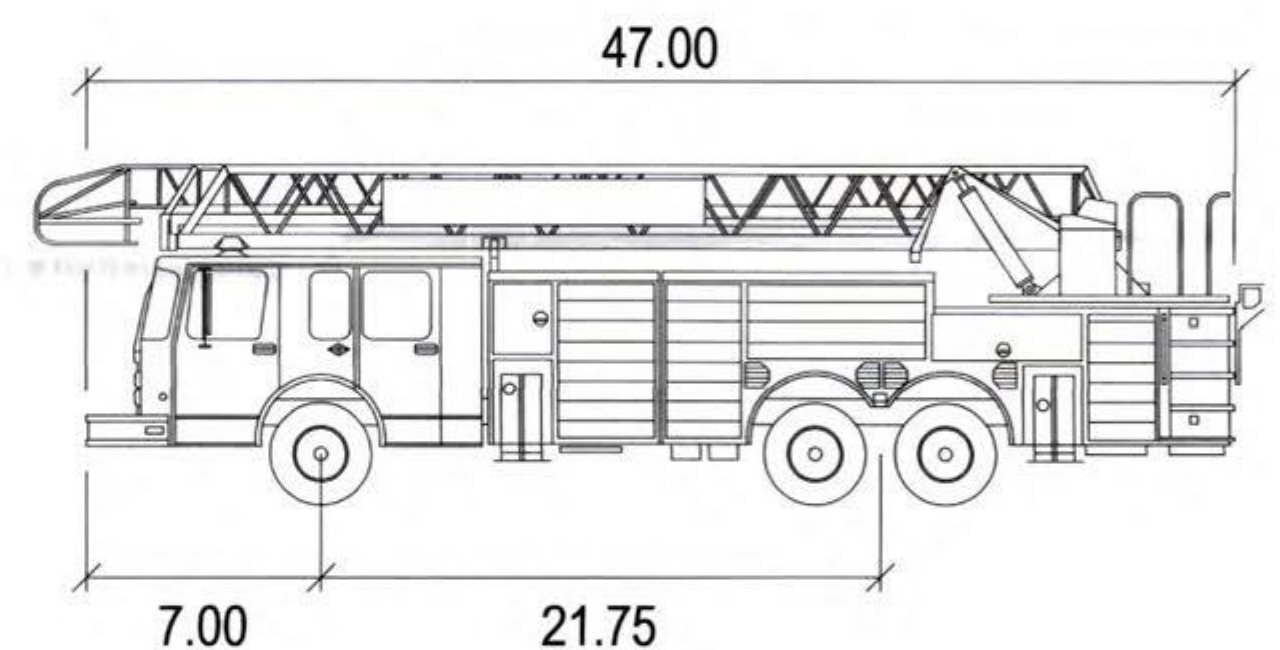
BOHLER ENGINEERING
 16701 MEL FORD BLVD, SUITE 310
 BOWIE, MARYLAND 20715
 Phone: (301) 809-4500
 Fax: (301) 809-4501
 MD@BohlerEng.com

M. K. JONES
 PROFESSIONAL ENGINEER
 10/22/15

SHEET TITLE: **FIRE DEPARTMENT ACCESS PLAN**
 SHEET NUMBER: **1 OF 1**



- NOTES:**
- ALL SIMULATED TURNING MOVEMENTS WERE CREATING USING AUTOCAD AUTOTURN PRO.

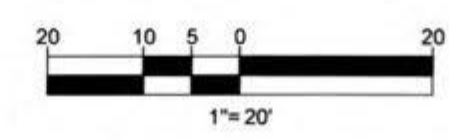


Aerial Tower 729 feet

Track Width : 8.25
 Lock to Lock Time : 6.0
 Steering Angle : 33.2

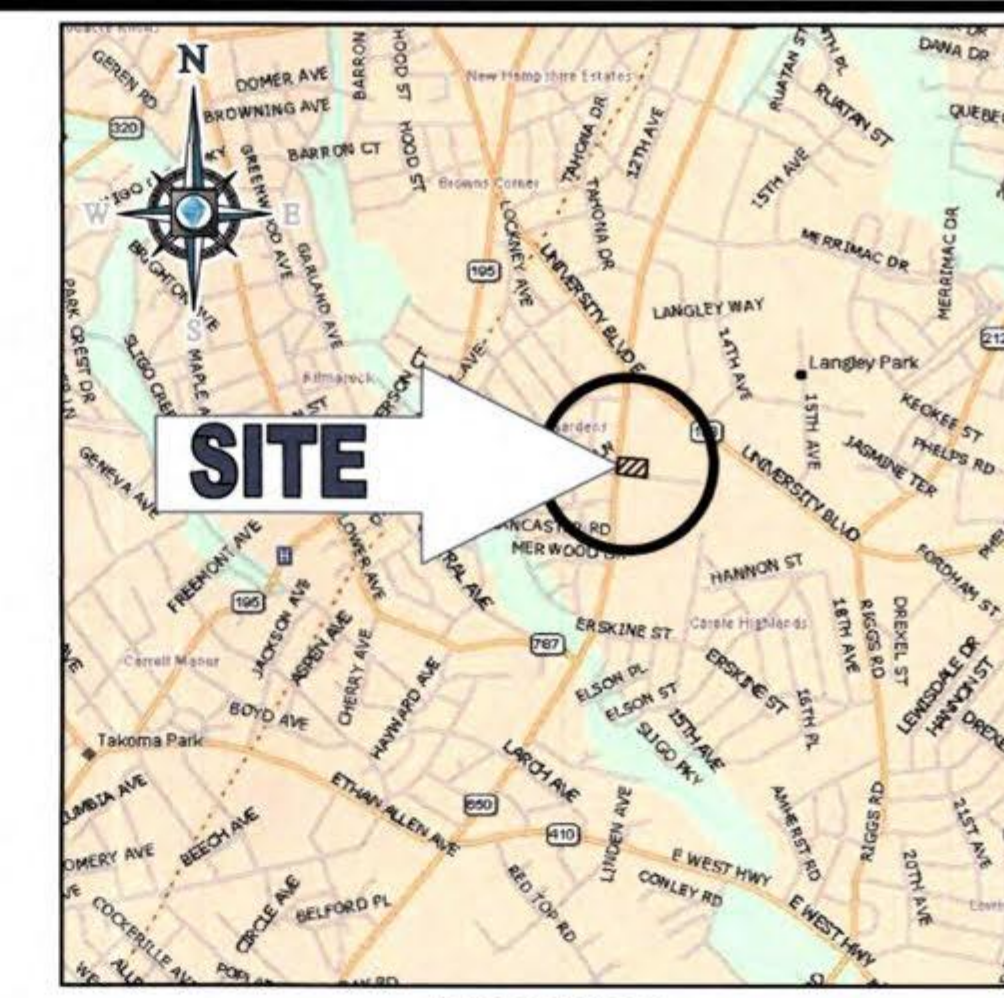
- NOTE:**
- TRUCK DIMENSIONS OBTAINED FROM THE MONTGOMERY COUNTY FIRE MARSHAL.

FIRE CODE ENFORCEMENT
 Fire Department Access Review
 Review based only upon information contained on this plan. Does not cover unsatisfactory layout resulting from omissions, errors or failure to clearly indicate conditions on this plan. Correction of such unsatisfactory layout to afford required access will be required if found upon inspection after installation.
 BY: [Signature] PK: 43 DATE: 10/22/15



PROFESSIONAL CERTIFICATION
 I, MATTHEW K. JONES, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 39999, EXPIRATION DATE: 3/15/2017

GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL APPROPRIATE REGULATORY AGENCIES AND CODES.



LOCATION MAP
 COPYRIGHT 2003
 DELORME STREET ATLAS 2004 PLUS USA
 SCALE: 1"=200'

BOHLER ENGINEERING
 SITE CIVIL AND CONSULTING ENGINEERING FOR ARCHITECTURE
 LAND SURVEYING PERMITTING SERVICES
 SUSTAINABLE DESIGN TRANSPORTATION SERVICES
 WARREN, NJ NEW YORK
 BALTIMORE, MD
 BOSTON, MA
 CENTRAL VIRGINIA
 LEHIGH VALLEY, PA
 RALEIGH, NC

REV	DATE	COMMENT	BY

NOT APPROVED FOR CONSTRUCTION

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO PESTER THE EARTH'S SURFACE ANYWHERE IN THE STATE IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, NORTH CAROLINA AND DELAWARE CALL: 811 (WV 1-800-245-4848) (PA 1-800-243-1778) (DC 1-800-257-7777) (VA 1-800-552-7501) (MD 1-800-257-7777) (DE 1-800-292-8000)

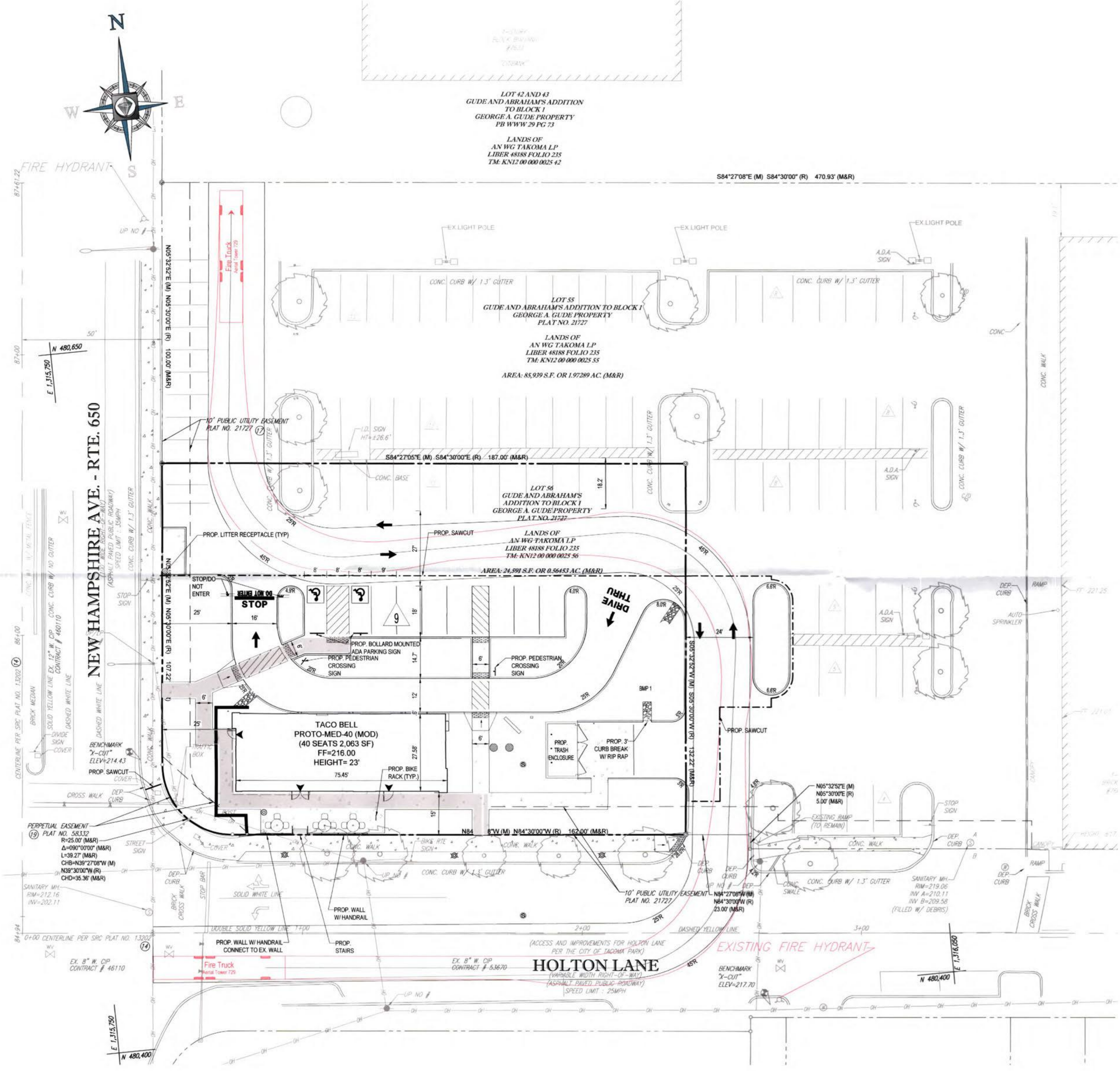
PROJECT No.: MB14200601
 DRAWN BY: AL
 CHECKED BY: BLF
 DATE: 06/25/15
 SCALE: AS SHOWN
 CAD I.D.: EXD

PROJECT: **SITE PLAN #820150150 TACO BELL TAKOMA PARK**
 FOR **MUY TACO BELL**
 LOCATION OF SITE: **NEW HAMPSHIRE AVE AND HOLTON AVE TAKOMA PARK, MD 20912 MONTGOMERY COUNTY**

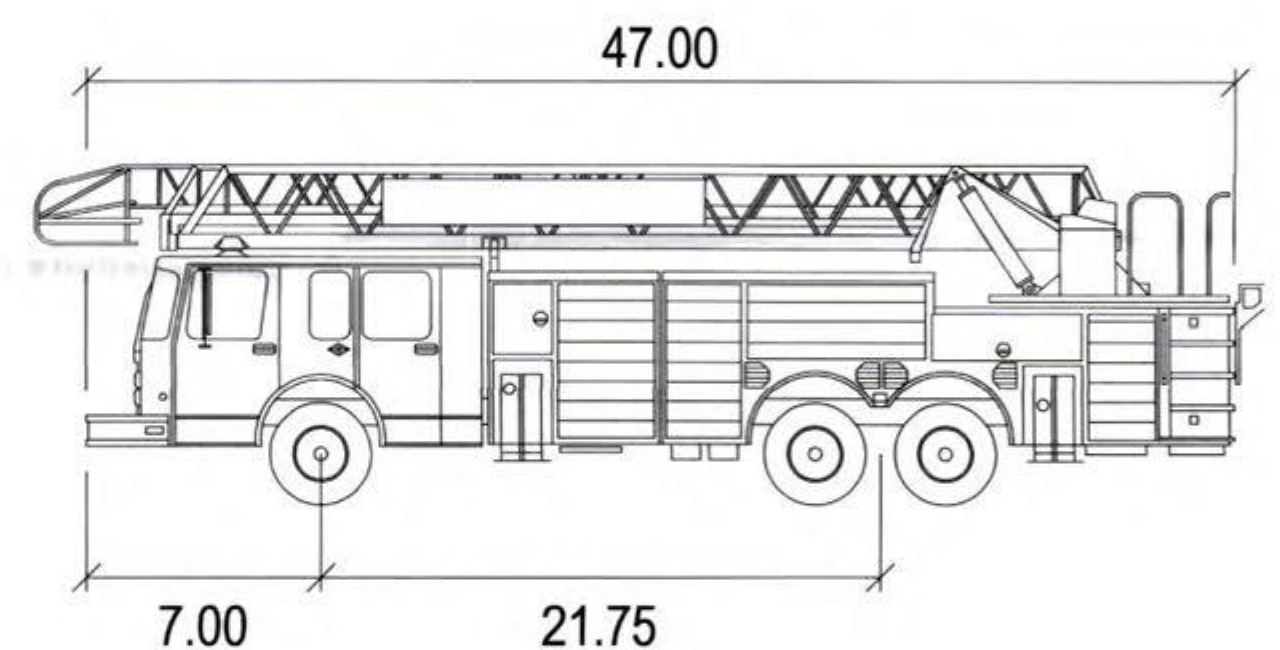
BOHLER ENGINEERING
 16701 MEL FORD BLVD, SUITE 310
 BOWIE, MARYLAND 20715
 Phone: (301) 809-4500
 Fax: (301) 809-4501
 MD@BohlerEng.com

M. K. JONES
 PROFESSIONAL ENGINEER
 10/22/15

SHEET TITLE: **FIRE DEPARTMENT ACCESS PLAN**
 SHEET NUMBER: **1 OF 1**



- NOTES:**
- ALL SIMULATED TURNING MOVEMENTS WERE CREATING USING AUTOCAD AUTOTURN PRO.

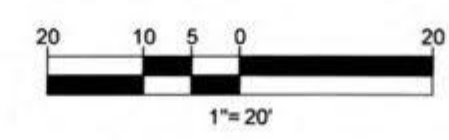


Aerial Tower 729 feet

Track Width : 8.25
 Lock to Lock Time : 6.0
 Steering Angle : 33.2

- NOTE:**
- TRUCK DIMENSIONS OBTAINED FROM THE MONTGOMERY COUNTY FIRE MARSHAL.

FIRE CODE ENFORCEMENT
 Fire Department Access Review
 Review based only upon information contained on this plan. Does not cover unsatisfactory layout resulting from omissions, errors or failure to clearly indicate conditions on this plan. Correction of such unsatisfactory layout to afford required access will be required if found upon inspection after installation.
 BY: *[Signature]* PW: 43 DATE: 10/22/15



PROFESSIONAL CERTIFICATION
 I, MATTHEW K. JONES, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 39959, EXPIRATION DATE: 3/15/2017

GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL APPROPRIATE REGULATORY AGENCIES AND CODES.



MONTGOMERY PLANNING DEPARTMENT
 THE MONTGOMERY NATIONAL CAPITAL PARKWAY PLANNING COMMISSION
 Certified Site Plan - 820150150
APPROVAL
Robert C. Kennedy 05/12/16

STANDARD ABBREVIATIONS

FOR ENTIRE PLAN SET			
AC	ACRES	LOD	LIMITS OF DISTURBANCE
ADA	AMERICANS WITH DISABILITY ACT	LOS	LINE OF SIGHT
ARCH	ARCHITECTURAL	LP	LOW POINT
BC	BOTTOM OF CURB	L/S	LANDSCAPE
BF	BASEMENT FLOOR	MAX	MAXIMUM
BK	BLOCK	MIN	MINIMUM
BL	BASELINE	MH	MAN-HOLE
BLDG	BUILDING	MJ	MECHANICAL JOINT
BM	BUILDING BENCHMARK	OC	ON CENTER
BRL	BUILDING RESTRICTION LINE	PA	POINT OF ANALYSIS
CF	CUBIC FEET	PC	POINT CURVATURE
CL	CENTERLINE	PCCR	POINT OF COMPOUND CURVATURE, CURB RETURN
CMP	CORRUGATED METAL PIPE	PI	POINT OF INTERSECTION
CONN	CONNECTION	POG	POINT OF GRADE
CONC	CONCRETE	PROP	PROPOSED
CPP	CORRUGATED PLASTIC PIPE	PT	POINT OF TANGENCY
CY	CUBIC YARDS	PTCR	POINT OF TANGENCY, CURB RETURN
DEC	DECORATIVE	PVC	POLYVINYL CHLORIDE PIPE
DEP	DEPRESSED	PVI	POINT OF VERTICAL INTERSECTION
DIP	DUCTILE IRON PIPE	PVT	POINT OF VERTICAL TANGENCY
DOM	DOMESTIC	R	RADIUS
ELEC	ELECTRIC	RCP	REINFORCED CONCRETE PIPE
ELEV	ELEVATION	RET WALL	RETAINING WALL
EP	EDGE OF PAVEMENT	R/W	RIGHT OF WAY
ES	EDGE OF SHOULDER	S	SLOPE
EW	END WALL	SAN	SANITARY SEWER
EX	EXISTING	SF	SQUARE FEET
FES	FLARED END SECTION	STA	STATION
FFE	FINISHED FLOOR	STM	STORM
FH	FIRE HYDRANT	TBR	TO BE REMOVED
FG	FINISHED GRADE	TBRL	TO BE RELOCATED
G	GRADE	TC	TOP OF CURB
GF	GARAGE FLOOR (AT DOOR)	TELE	TELEPHONE
GH	GRADE HIGHER SIDE OF WALL	TPF	TREE PROTECTION FENCE
GL	GRADE LOWER SIDE OF WALL	TW	TOP OF WALL
GRT	GRATE	TYP	TYPICAL
GV	GATE VALVE	UG	UNDERGROUND
HDPE	HIGH DENSITY POLYETHYLENE PIPE	UP	UTILITY POLE
HP	HIGH POINT	W	WIDE
HOR	HORIZONTAL	WL	WATER LINE
HW	HEADWALL	WM	WATER METER
INT	INTERSECTION	±	PLUS OR MINUS
INV	INVERT	'	DEGREE
LF	LINEAR FOOT	Ø	DIAMETER
LOC	LIMITS OF CLEARING	#	NUMBER

STANDARD DRAWING LEGEND

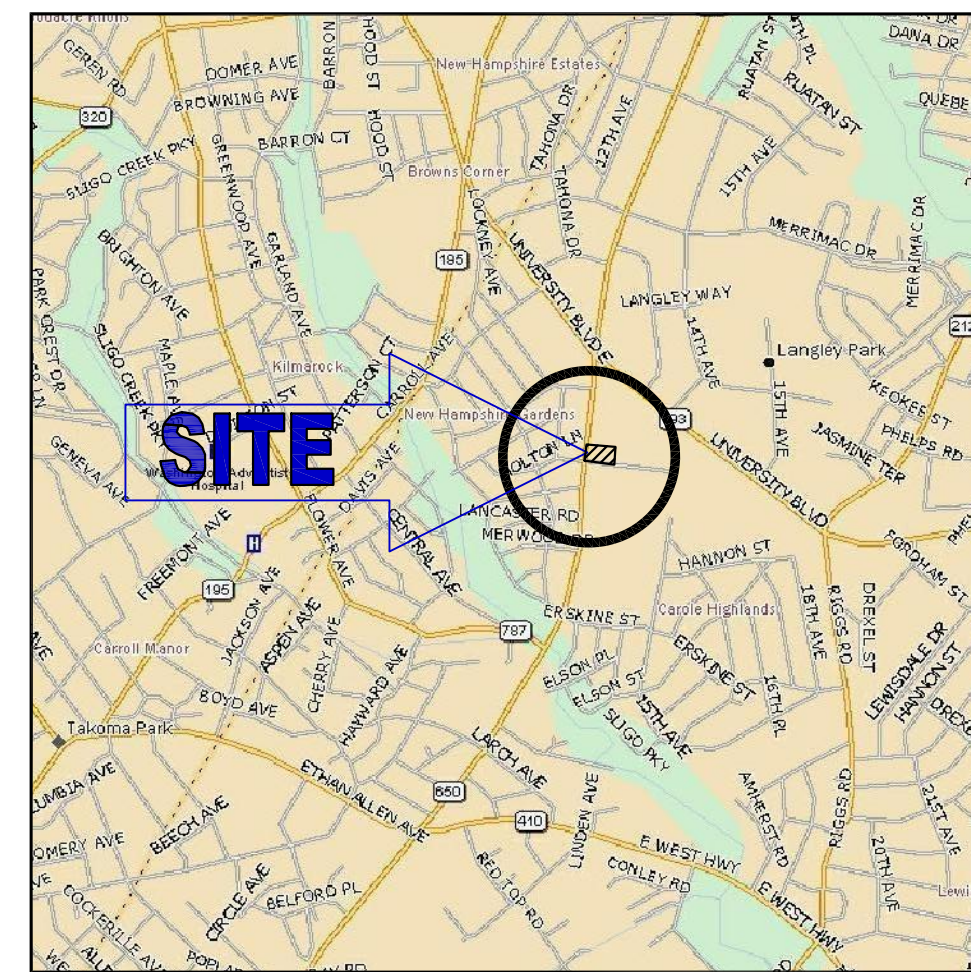
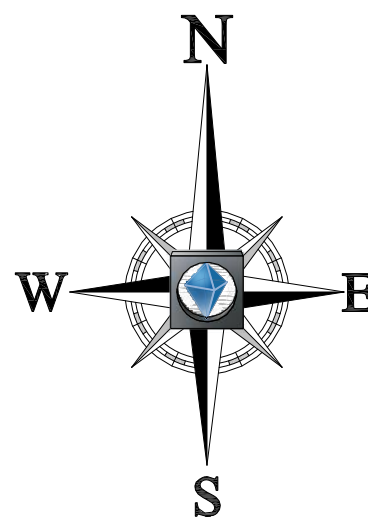
FOR ENTIRE PLAN SET (NOT TO SCALE)		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	ON-SITE PROPERTY LINE / R.O.W. LINE	---
---	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
---	ZONING LINE	---
---	CONCRETE CURB & GUTTER	---
---	UTILITY POLE WITH LIGHT	---
---	POLE LIGHT	---
---	TRAFFIC LIGHT	---
---	UTILITY POLE	---
---	TYPICAL LIGHT	---
---	ACORN LIGHT	---
---	TYPICAL SIGN	---
---	PARKING COUNTS	---
---	CONTOUR LINE	---
---	SPOT ELEVATIONS	---
---	SANITARY LABEL	---
---	STORM LABEL	---
---	SANITARY SEWER LATERAL	---
---	UNDERGROUND WATER LINE	---
---	UNDERGROUND ELECTRIC LINE	---
---	UNDERGROUND GAS LINE	---
---	OVERHEAD WIRE	---
---	UNDERGROUND TELEPHONE LINE	---
---	UNDERGROUND CABLE LINE	---
---	STORM SEWER	---
---	SANITARY SEWER MAIN	---
---	HYDRANT	---
---	SANITARY MANHOLE	---
---	STORM MANHOLE	---
---	WATER METER	---
---	WATER VALVE	---
---	GAS VALVE	---
---	GAS METER	---
---	TYPICAL END SECTION	---
---	HEADWALL OR ENDWALL	---
---	YARD INLET	---
---	CURB INLET	---
---	CLEAN OUT	---
---	ELECTRIC MANHOLE	---
---	TELEPHONE MANHOLE	---
---	ELECTRIC BOX	---
---	ELECTRIC PEDESTAL	---
---	MONITORING WELL	---
---	TEST PIT	---
---	BENCHMARK	---
---	BORING	---
---	PROP. TRANSFORMER	---
---	PUBLIC OPEN SPACE	---

APPROVED
 Department of Permitting Services
 Permit # COMBUILD-742502
 Date 09/21/16

TAKOMA PARK
SITE PLAN
MNCPPC # 820150150

LOCATION OF SITE

**NEW HAMPSHIRE AVE
 AND HOLTON AVE
 TAKOMA PARK, MD 20912
 ELECTION DISTRICT NO. 18
 MONTGOMERY COUNTY
 WSSC GRID: 209NE02**



LOCATION MAP
 COPYRIGHT 2003
 DELORME STREET ATLAS 2004 PLUS USA
 SCALE: 1"=2000'

OWNER
JBG/TAKOMA RETAIL CENTER, L.L.C.
 4445 WILLARD AVE., SUITE 400
 CHEVY CHASE, MD 20815
 PHONE: 301-457-0700
 CONTACT: CARTER DAVIS

DEVELOPER/APPLICANT
RJP CONSULTING GROUP
 100 East Lancaster Avenue, Suite 200
 DOWNTOWN, PA 19335
 PHONE: 610-518-2930
 CONTACT: WILL LEWIS

REFERENCES
 ALTA/ACSM LAND TITLE SURVEY:
 BOHLER ENGINEERING
 18115 GEORGIA AVENUE
 ELECTION DISTRICT NO. 8
 MONTGOMERY COUNTY, MARYLAND
 DATE: 12/10/14
 REVISED: 01/08/15
 PROJECT NO.: SB 14200601

UTILITIES
 VERIZON - LAMBERT CABLE:
 PHONE: (301) 210-0355
 WSSC - PINPOINT UG:
 PHONE: (301) 868-6803
 COLONIAL PIPELINE:
 PHONE: (678) 762-2403
 WASHINGTON GAS - UTILIQUEST:
 PHONE: (301) 210-0355
 PEPCO/UTILIQUEST:
 PHONE: (301) 210-0355
 COMCAST - UTILIQUEST:
 PHONE: (410) 536-0070
 FIBERLIGHT/SUNBELT TELECO:
 PHONE: (727) 596-1500
 CITY OF TAKOMA PARK:
 PHONE: (301) 891-7615

CIVIL ENGINEER
BOHLER ENGINEERING
 16701 MELFORD BOULEVARD, SUITE 310
 BOWIE, MD 20715
 PHONE: (301) 809-4500
 CONTACT: BRADFORD FOX

GEOTECHNICAL ENGINEER
ECS MID-ATLANTIC, LLC
 1340 CHARWOOD ROAD, SUITE A
 HANOVER, MD 21070
 PHONE: (410) 859-4300
 CONTACT: ZACHARY ADCOCK

ARCHITECT
GLMV ARCHITECTURE
 1525 E. DOUGLAS
 WICHITA, KS 67211
 PHONE: (316)265-9367
 CONTACT: CARMEN ONKEN

SHEET INDEX

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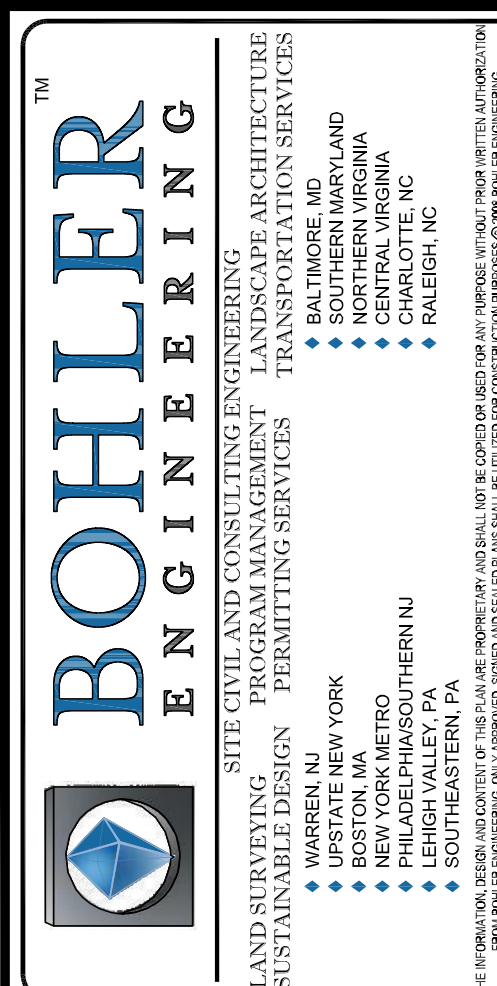
DEVELOPMENT PROGRAM TABLE

DEADLINE	TASK
BEFORE ISSUANCE OF FIRST BUILDING PERMIT	CERTIFICATION FROM A QUALIFIED PROFESSIONAL THAT THE LIGHTING PLANS CONFORM TO THE IESNA STANDARDS (CONDITION #11A, SP) SITE PLAN SURETY AND MAINTENANCE AGREEMENT INCLUDING PERFORMANCE BOND OR OTHER FORM OF SURETY IN ACCORDANCE WITH SECTION 89.7.3.4.K.4 OF THE MONTGOMERY COUNTY ZONING ORDINANCE (CONDITION #12, SP)
PHASING OF STORMWATER MANAGEMENT AND SEDIMENT AND EROSION CONTROL	CITY OF TAKOMA PARK CITY ARBORIST MUST INSPECT ALL TREE-SAVE AREAS AND PROTECTION DEVICES PRIOR TO CLEARING AND GRADING. (CONDITION #10D, SP) PHASE I - INSTALL SEDIMENT CONTROL DEVICES AND CONSTRUCTION ENTRANCE. PHASE II - COMPLETE BUILDING CONSTRUCTION, SITE WORK AND INSTALLATION OF ON-SITE LANDSCAPING AND LIGHTING. DPS IS THE AUTHORITY ON SEDIMENT CONTROL AND CITY OF TAKOMA PARK CITY ENGINEER IS THE AUTHORITY OF SWM, AND THE ASSOCIATED PHASING MAY CHANGE AT THEIR DISCRETION (PROVIDED THAT THE CHANGES DO NOT CONFLICT WITH CONDITIONS OF APPROVAL FOR THE SITE PLAN)
BEFORE FINAL USE AND OCCUPANCY CERTIFICATE	STREET LAMPS AND SIDEWALKS MUST BE INSTALLED BEFORE RELEASE OF ANY RESIDENTIAL/COMMERCIAL DEVELOPMENT USE AND OCCUPANCY CERTIFICATE FOR THE BUILDING. LANDSCAPE PLANTING MAY WAIT NO LATER THAN THE NEXT GROWING SEASON AFTER COMPLETION OF THE SITE WORK. ON-SITE AMENITIES INCLUDING, BUT NOT LIMITED TO, PAVING, SIDEWALKS/PEDESTRIAN PATHWAYS, HARDSCAPE, BENCHES, TRASH RECEPTACLES, BICYCLE FACILITIES AND PUBLIC OPEN SPACE AMENITIES MUST BE INSTALLED. ALL PUBLIC OPEN SPACE AREAS ON THE SUBJECT PROPERTY MUST BE COMPLETED. (CONDITION #1B, SP) APPLICANT MUST MAKE A TRANSPORTATION POLICY AREA REVIEW (TPAR) MITIGATION PAYMENT.



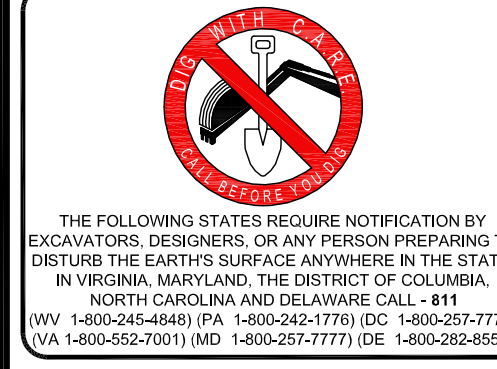
**16701 MELFORD BLVD, SUITE 310
 BOWIE, MARYLAND 20715**
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CONTACT: BRADFORD L. FOX, P.E.



REVISIONS

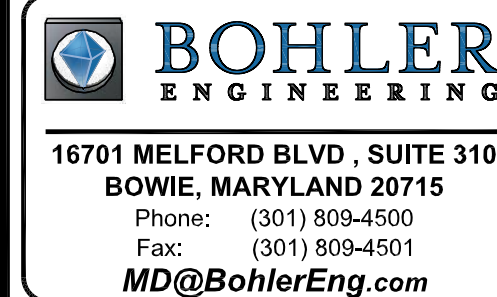
REV	DATE	COMMENT	BY



NOT APPROVED FOR CONSTRUCTION

PROJECT No.: MB14200601
 DRAWN BY: AL
 CHECKED BY: BLF
 DATE: 06/25/16
 SCALE: AS SHOWN
 CAD LD.: SD1

PROJECT:
SITE PLAN
#820150150
TACO BELL
TAKOMA PARK
 FOR
MUY
TACO BELL
 LOCATION OF SITE
 1300 HOLTON LANE
 TAKOMA PARK, MD 20912
 MONTGOMERY COUNTY
 LOTS 55 & 56
 GUDE AND ABRAHAM'S



M. K. JONES
 PROFESSIONAL ENGINEER
 MARYLAND LICENSE NO. 39998

SHEET TITLE:
COVER SHEET
 SHEET NUMBER:
C-1
 OF 5

Developer's Certificate
 The undersigned agrees to execute all the features of the Site Plan Approval No. 820150150, including Approval Conditions, Development Program, and Certified Site Plan.

Developer: RJP Consulting, LLC
 Company: Will Lewis
 Address: 100 East Lancaster Avenue, Suite 200, Downingtown, PA 19335
 Phone: 610-518-2930

Signature: *Will Lewis*

PROFESSIONAL CERTIFICATION
 I, MATTHEW K. JONES, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 39998, EXPIRATION DATE: 3/31/2017

MCPB No. 15-159
Site Plan No. 820150150
Taco Bell Takoma Park
Date of Hearing: January 7, 2016

RESOLUTION

WHEREAS, under Section 59-7.1.2 of the Montgomery County Zoning Ordinance, the Montgomery County Planning Board is authorized to review site plan applications, and

WHEREAS, on August 28, 2015, RJP Consulting, LLC and MUY Brands, LLC ("Applicant") filed an application for approval of a site plan for a 2,063-square-foot restaurant with drive-thru on 0.86 acres of CR 2.5, C 2.0, R 1.5, H 100 zoned-land, located in the northeast quadrant of the intersection of New Hampshire Avenue and Holton Lane ("Subject Property"), in the Silver Spring/Takoma Park Policy Area and Takoma Langley Crossroads Sector Plan ("Sector Plan") area, and

WHEREAS, Applicant's site plan application was designated Site Plan No. 820150150, Taco Bell Takoma Park ("Site Plan" or "Application"); and

WHEREAS, following review and analysis of the Application by Planning Board staff ("Staff") and other governmental agencies, Staff issued a memorandum to the Planning Board, dated December 24, 2015, setting forth its analysis and recommendation for approval of the Application, subject to certain conditions ("Staff Report"); and

WHEREAS, on January 7, 2016, the Planning Board had a public hearing at which it heard testimony and received evidence on the Application; and

WHEREAS, at the hearing, the Planning Board voted to approve the Application subject to certain conditions, by the vote certified below.

NOW, THEREFORE, BE IT RESOLVED that the Planning Board approves Site Plan No. 820150150 for a 2,063-square-foot restaurant with drive-thru on the Subject Property, subject to the following conditions:

For the purpose of these conditions, the term "Applicant" shall also mean the developer, the owner or any successors in interest in the form of this approval.

Approved by the Legal Staff of the Montgomery County Planning Board on May 12, 2016.

MCPB No. 15-159
Site Plan No. 820150150
Taco Bell Takoma Park
Page 2

Public Use Space, Facilities and Amenities

- 1. Public Open Space, Facilities, and Amenities
a. The Applicant must provide a minimum of 2,500 square feet of public open space (10% of net lot area) on-site.
b. Before the issuance of the final use and occupancy certificate, all public open space areas must be completed.
- 2. Maintenance of Public Amenities
The Applicant is responsible for maintaining all publicly accessible amenities including, but not limited to pedestrian pathways, landscaping, hardscape, and public open space.

Transportation & Circulation

- 3. Pedestrian & Bicycle Circulation
The Applicant must provide two bicycle parking spaces for short-term use (one inverted "U" rack or approved alternative) as shown on the Certified Site Plan.
- 4. Transportation Policy Area Review
The Applicant must make a Transportation Policy Area Review ("TPAR") mitigation Payment, equal to 25 percent of the General District Transportation Impact Tax, as required by the 2012-2016 Subdivision Staging Policy within the Silver Spring/Takoma Park Policy Area. The timing and amount of the payment will be in accordance with Chapter 52 of the Montgomery County Code.
- 5. Parking
The Applicant must make 14 of the parking spaces available to the general public, rather than reserved solely for the use of restaurant patrons, as required by Section 6.2.3.H.2 of the Zoning Ordinance.

Agency Approvals

- 6. Stormwater Management
The Planning Board accepts the recommendations of the City of Takoma Park in its stormwater management concept letter dated May 12, 2015, and hereby incorporates them as conditions of the Site Plan approval. The Applicant must comply with each of the recommendations as set forth in the letter, which may be amended by the City of Takoma Park provided that the amendments do not conflict with other conditions of the Site Plan approval.
- 7. Right-of-Way Permitting
The Planning Board accepts the right-of-way permitting recommendations of the City of Takoma Park in its letter dated October 28, 2015, and hereby incorporates them as conditions of the Site Plan approval. The Applicant must comply with each of the recommendations as set forth in the letter, which may be amended by the City of Takoma Park provided that the amendments do not conflict with other conditions of the Site Plan approval.

Site Plan

- 8. Building Height
The development is limited to the maximum height of 23 feet, as measured from the building height measuring point shown on the Certified Site Plan.
- 9. Site Design
The exterior architectural character, proportion, materials, and articulation must be substantially similar to the schematic elevations shown on the latest approved architectural drawings included in the Certified Site Plan, as determined by Staff.
- 10. Landscaping
a. Before issuance of the final use and occupancy certificate for this Site Plan, all on-site amenities including, but not limited to, sidewalks/pedestrian pathways, hardscape, benches, trash receptacles, bicycle facilities, and public open space amenities must be installed.
b. The Applicant must install the landscaping no later than the next growing season after completion of the site work.
c. The Applicant must retain the existing street trees along the property frontage on Holton Lane, as shown on the landscape plan.
d. Before certification of the Site Plan, the Applicant, in consultation with a qualified tree care professional, must revise the notes on the landscape plan regarding the street trees to appropriately protect the subject trees. The notes may be further revised by the City of Takoma Park.

- 11. Lighting
a. Before issuance of any above-grade building permit, the Applicant must provide certification to Staff from a qualified professional that the exterior lighting in this Site Plan conforms to the Illuminating Engineering Society of North America (IESNA) recommendations in effect on the date of the resolution for a development of this type. All on-site exterior area lighting must be in accordance with the latest IESNA outdoor lighting recommendations in effect on the date of this resolution.
b. Deflectors must be installed on all up-lighting fixtures to prevent excess illumination and glare.

c. Pole-mounted lights must not exceed the height illustrated on the Certified Site Plan.

22. Site Plan Surety and Maintenance Agreement

Before issuance of any building permit, the Applicant must enter into a Site Plan Surety and Maintenance Agreement with the Planning Board in a form approved by the M-NCPPC Office of General Counsel that outlines the responsibilities of the Applicant. The Agreement must include a performance bond(s) or other form of surety in accordance with Section 59.7.3.4.k.4 of the Montgomery County Zoning Ordinance, with the following provisions:
a. A cost estimate of the materials and facilities, which, upon Staff approval, will establish the surety amount.
b. The cost estimate must include applicable Site Plan elements including, but not limited to, entrance signage features, plant materials, on-site lighting, exterior site furniture, railings, curbs, gutters, sidewalks and associated improvements; and
c. The bond or surety must be tied to the development program, and completion of plantings and installation of particular materials and facilities covered by the surety will be provided by inspection and release of the surety.

23. Development Program

The Applicant must construct the development in accordance with a development program table that will be reviewed and approved prior to the approval of the Certified Site Plan.

24. Certified Site Plan

- 1. Before approval of the Certified Site Plan, the following revisions must be made and/or information provided to Staff review and approval:
a. Include the forest conservation exemption, stormwater management concept approval letter, development program, and Site Plan resolution on the approval or cover sheets(s).
b. Add a note to the Site Plan stating that "M-NCPPC Staff must inspect all tree-averse areas and protection devices before any land disturbance."
c. Add a note stating that "Minor modifications to the limits of disturbance shown on the Site Plan within the public right-of-way for utility connections may be done during the review of the right-of-way permit drawings by the City of Takoma Park and/or the State Highway Administration."
d. Modify data table to reflect development standards approved by the Planning Board.
e. Ensure consistency of all details and layout between Site and Landscape plans.
f. Show on the Site Plan a building height measuring location for the building.

BE IT FURTHER RESOLVED that all site development elements shown on the latest electronic version of Taco Bell Takoma Park, 820150150, submitted via ePlans to the M-NCPPC as of the date of the Staff Report, are required, except as modified by the above conditions of approval; and

BE IT FURTHER RESOLVED that having considered the recommendations and findings of Staff as presented at the hearing on June 24, 2015, as set forth in the Staff Report, which the Board hereby adopts and incorporates by reference (except as modified herein), and upon consideration of the entire record, the Planning Board FINDS, with the conditions of approval, that:

1. The development satisfies any previous approval that applies to the site.

This finding is not applicable as there were no previous approvals that apply to the site.

2. The development satisfies the binding elements of any development plan or schematic development plan in effect on October 29, 2014.

This finding is not applicable as there are no binding elements of an associated development plan or schematic development plan in effect on October 29, 2014.

3. The development satisfies any green area requirement in effect on October 29, 2014 for a property where the zoning classification on October 29, 2014 was the result of a Local Map Amendment.

This finding is not applicable as the Subject Property's zoning classification on October 29, 2014 was not the result of a Local Map Amendment.

4. The development satisfies applicable use standards, development standards, and general requirements under the Zoning Ordinance.

a. Use Standards

Section 59-3.5.14.E specifies the following standards for approval of a drive-thru as a limited use:

- A Drive-Thru, including the queuing area, must be located a minimum of 100 feet from any property that is vacant or improved with a residential use, including the Agricultural, Rural Residential, or Residential Detached zones.

There are no properties in the agricultural, rural residential, or residential detached zones within 100 feet of the drive-thru.

- For a Restaurant with a Drive-Thru, access to the site from a street with a residential classification is prohibited.

Access to the site is from Holton Lane, which is classified as a business district road, and New Hampshire Avenue, which is a major highway.

- A drive-thru service window, drive aisle, or queuing area located between the street and the front main wall of the main building is prohibited.

The drive-thru service windows are located in the interior of the Subject Property, between the northern side wall of the building and the parking lot. No service window, drive aisle, or queuing area will be located between the building and the street.

- A drive-thru service window, drive aisle, or stacking area may be located between the street and the side wall of the main building on a corner lot if permanently screened from any interior by a minimum 3 foot high wall or fence.

The drive-thru service windows are located in the interior of the Subject Property, between the northern side wall of the building and the parking lot. No service window, drive aisle, or queuing area will be located between the building and the street.

- Site plan approval is required under Section 7.3.4.

Approval of the Application by the Planning Board satisfies this requirement.

b. Development Standards

The Subject Property includes approximately 0.56 acres zoned CR 2.5, C 2.0, R 1.5, H100. The Application satisfies the applicable development standards as shown in the following data table:

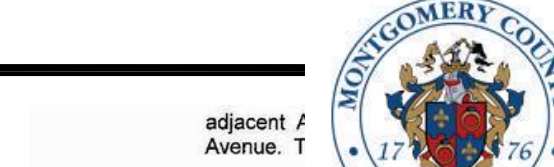
Section	Development Standard	Permitted/Resulted	Approved in Site Plan
59-4	Gross Tract Area (sf)	n/a	24,591
4.5.3.C.2	Density		
	CR2.5, C2.0, R1.5, H100	1,074,591	0.08/2,063
	Commercial FAR/GFA	1,074,591	0/0
	Residential FAR/GFA	1,074,591	0.08/2,063
	TOTAL FAR/GFA	1,074,591	0.08/2,063
4.5.3.C.4	Building Height (feet)		
	CR2.5, C2.0, R1.5, H100	70	23
4.5.3.C.3	Minimum Setback		
	From New Hampshire Ave	0'	25'
	R.O.W.	0'	15.5'
	From Holton Lane R.O.W.	0'	88'
	Side	0'	8.5'
	Rear		
4.5.3.C.3	Build to Area		
	From New Hampshire Ave R.O.W.	70% of facade within 30' max	70% of facade within 27'
	From Holton Lane R.O.W.	35% of facade within 20' max	35% of facade within 15.5'
4.5.3.C.1	Open Space		
	Public Open Space (%/sq. ft.)	107,459	10/2,500
4.5.3.C.5	Transparency, for Walls Facing a Street		
	Ground Story, Front	40%	40%
	Ground Story, Side	25%	36%
6.2	Parking spaces, minimum-maximum	4-11	25 ¹

c. General Requirements

i. Site Access

Access will be provided directly to the Subject Property via a driveway from Holton Lane and through the parking lot for the

¹ Per Section 6.2.3.H.2, the maximum number of spaces may be exceeded if the spaces provided in excess of the maximum are made available to the public and not reserved for the restaurant.



APPROVED
Department of Permitting Services
Permit # COMBULD-742502
Date 09/21/16

adjacent f Avenue. T

ii. Adequate Spaces

As shown in the Development Standards table, the Application plan meets all of the general requirements and development standards of Section 4.5 of the Zoning Ordinance and the general development requirements of Article 59-6 of the Zoning Ordinance.

iii. Open Space and Recreation

The Application has a 10 percent public open space requirement, which yields a requirement of 2,459 square feet of public open space. The Application provides 2,500 square feet of public open space.

iv. General Landscaping and Outdoor Lighting

Landscaping and lighting, as well as other site amenities, are provided to ensure that these facilities will be safe, adequate, and efficient for year-round use and enjoyment by patrons. The Application includes landscaping between the building and the New Hampshire Avenue frontage.

As shown in the Development Standards table, the Application plan meets all of the general requirements and development standards of Section 4.5 of the Zoning Ordinance and the general development requirements of Article 59-6 of the Zoning Ordinance.

5. The development satisfies the applicable requirements of Chapters 19 and 22A of the Montgomery County Code.

a. Chapter 19. Erosion, Sediment Control, and Stormwater Management

A stormwater Control Plan was approved by the City of Takoma Park on May 12, 2015. The stormwater control plan meets stormwater management requirements for environmental site design to the maximum extent practicable through the use of micro bio-retention facilities and underground storage.

b. Chapter 22A. Forest Conservation

An exemption from submitting a forest conservation plan (Exemption 42015222E) was confirmed for the Subject Property on June 24, 2015, as a modification to an existing non-residential developed property under section 22A-5(f) of the Montgomery County Forest Conservation Law. The Application meets the particular requirements of the exemption per the following:

- (1) no more than 5,000 square feet of forest is ever cleared at one time or cumulatively after an exemption is issued;
- (2) the modification does not result in the cutting, clearing, or grading of any forest in a stream buffer or located on property in a special protection area which must submit a water quality plan;
- (3) the modification does not require approval of a preliminary plan of subdivision; and
- (4) the modification does not increase the developed area by more than 50% and the existing development is maintained.

Existing street trees along Holton Lane, which are up to approximately 8' canopy, cannot readily be replaced due to the narrowness of the planting bed. Care should be taken to appropriately protect these trees. Therefore, conditions of approval are recommended regarding their protection.

6. The development provides safe, well-integrated parking, circulation patterns, building massing, and other amenities.

Parking will be provided on-site, to the north of the building and drive-thru aisle. The parking will be not be placed between the building and either New Hampshire Avenue or Holton Lane. The parking lot aisles and drive-thru area will provide safe and well integrated circulation patterns, with traffic control signs and lane markings. Pedestrian access to the building will be provided from the sidewalk between Hampshire Avenue and Holton Lane, as well as via marked pedestrian crossings from the parking lot. The building will be placed as close as possible to the intersection of New Hampshire Avenue and Holton Lane. The Applicant must ensure the presence on the street, while being set back far enough to accommodate future widening of the New Hampshire Avenue right-of-way. Ten percent of the Subject Property will be provided as public open space, which will be located along the building's frontage on New Hampshire Avenue and Holton Lane. The public open space will be improved with landscaping and an outdoor dining area, which will enhance this corner of the intersection of New Hampshire Avenue and Holton Lane.

7. The development substantially conforms to the recommendations of the applicable master plan and any guidelines approved by the Planning Board that implement the applicable plan.

The Subject Property is located within the 2012 Takoma Langley Crossroads Sector Plan area, in the Crossroads District. The Sector Plan's vision is to create a transit-oriented, pedestrian-friendly community that reduces automobile dependency. The Sector Plan envisions redevelopment of existing shopping centers with mixed-use, multi-story buildings connected by a network of new streets. Sector Plan recommendations specific to the Subject Property include the following for New Hampshire Avenue: a 150-foot-wide right-of-way, a 15-foot-wide public improvement easement, and a low-speed access lane separated by a median from the main travel lanes.

However, the Sector Plan recognizes that redevelopment will not take place quickly, but rather that it will happen incrementally. Page 16 of the Sector Plan acknowledges that significant redevelopment of the Crossroads District is unlikely to occur until financing is secured for the construction of planned transit facilities, such as the Purple Line. It also acknowledges that major improvements to the right-of-way for New Hampshire Avenue are not likely to occur until significant redevelopment of the major shopping centers happens. On page 19, the Sector Plan specifically recommends allowing interim development that does not compromise the Sector Plan's ultimate objectives and recommendations if it provides for growth opportunities for existing businesses and uses. The restaurant was previously existing at the intersection of Hampshire Avenue and University Boulevard, and was removed to make way for construction of the transit center.

The restaurant with drive-thru does not fully implement the vision of the Sector Plan. This type of development, a single-story, single-use building with a drive-thru, does not advance the Sector Plan's vision of mixed-use redevelopment. Because the Subject Property is an existing platted lot, a preliminary plan of subdivision is not required, and there is no opportunity to require right-of-way dedication along the Subject Property's frontage. Further, the access lane adjacent to New Hampshire Avenue is not being provided.

The restaurant with drive-thru is an interim use, and approval of the Application will not compromise future realization of the Sector Plan's recommendations. The building and site design will not hinder the eventual development of the Subject Property and the surrounding area as a new mixed-use neighborhood because the small building does not represent such a significant investment in the Subject Property that would prevent it from being removed whenever a more significant project is proposed for the site. In addition, the building is sufficiently set back from New Hampshire Avenue to allow for the future right-of-way dedication called for in the Sector Plan.

The Application does meet other recommendations of the Sector Plan. For example, the landscape area between the building and the New Hampshire Avenue sidewalk is consistent with the recommendation on page 24 to provide landscape panels along New Hampshire Avenue. The placement of the parking spaces on the north side of the building, on the far side of the building from Holton Lane, is consistent with the recommendation on page 30 that surface parking be placed behind or to the side of development (instead of between buildings and the street).

Based on the interim nature of the use and building, the Application substantially conforms with the Sector Plan.

8. The development will be served by adequate public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public facilities.

A traffic study, dated June 19, 2015, was submitted for the Application per the Local Area Transportation Review (LATR)/Transportation Policy Area Review ("TPAR") Guidelines because the development is estimated to generate 30 or more peak-hour trips during the typical weekday morning (8:30 a.m. - 9:30 a.m.) and evening (4:00 p.m. - 7:00 p.m.) peak periods. A trip generation summary for the development, provided in the Staff Report, shows that the development will generate 48 new morning peak hour trips and 33 new evening peak hour trips. The Staff Report shows that trips generated by the development will marginally increase traffic at the studied intersections, but will remain within the Policy Area congestion threshold of 1,600 CLV.

As a development within the Silver Spring/Takoma Park Transportation Policy Area, the Application is considered to be inadequate under the TPAR transit test and adequate under the TPAR roadway test. As a result, the Applicant must make a payment equal to 25% of the general district development impact tax to satisfy the 2012-2016 Subdivision Staging Policy. The development satisfies the LATR and TPAR requirements of the AFF review and will provide safe, adequate, and efficient vehicular and pedestrian access.

Public facilities and services are available and will be adequate to serve the development. The Subject Property is proposed to be served by public water and

gas services are also available to serve the Subject Property.

9. The development is compatible with existing and proposed or pending adjacent development.

The development is compatible with and will complement the existing uses in the adjacent development. The Crossroads District is predominately developed with low-density commercial and service uses. The Applicant will improve the Subject Property with a building, streetscape, and stormwater management improvements and will add a use that will activate an underutilized surface parking lot. The introduction of the restaurant will activate this street corner. Additionally, the building location preserves the option to widen New Hampshire Avenue per the Sector Plan.

10. There is a need for the approved use due to an insufficient number of similar uses presently serving existing population concentrations in the County, and the uses at the approved location will not result in a multiplicity or saturation of similar uses in the same general neighborhood.

Economic, Sector Plan, and traffic analyses do not indicate a saturation of similar uses in the existing population concentration where the Subject Property is located.

The Applicant submitted a needs study, dated October 15, 2015, which presents market information that demonstrates that there is presently an insufficient number of quick service restaurants in the market area to satisfy the current market demand. The study concludes that there is an unmet demand of \$5 million annually for this type of establishment in the market area, with no over-saturation of quick service restaurants with drive-thru.

As discussed in finding 7 above, as an interim use, the Application is in substantial compliance with the Sector Plan. The interim restaurant use and building will not preclude eventual realization of the Sector Plan's vision for future development and will not lead to an oversaturation of such uses.

As discussed in finding 8 above, the use will only marginally increase traffic at the studied intersections, and will not increase it above the congestion threshold for the Silver Spring/Takoma Park Transportation Policy Area. The restaurant with drive-thru will not lead to an oversaturation of such uses.

BE IT FURTHER RESOLVED that this Resolution incorporates by reference all evidence of record, including maps, drawings, memoranda, correspondence, and other information; and

BE IT FURTHER RESOLVED that this Site Plan shall remain valid as provided in Montgomery County Code § 59-7.3.4.H; and

BE IT FURTHER RESOLVED that this Resolution constitutes the final action of the Board on this matter, and the date of this Resolution is (which is the date that this resolution is mailed to all parties of record); and

BE IT FURTHER RESOLVED that any party authorized by law to take an administrative appeal must initiate such an appeal within thirty days of the date of this Resolution, consistent with the procedural rules for the judicial review of administrative agency decisions in Circuit Court (Rule 7-203, Maryland Rules).

CERTIFICATION

This is to certify that the foregoing is a true and correct copy of a resolution adopted by the Montgomery County Planning Board on May 12, 2015.

David Wigglesworth, Director of Planning and Regulatory Coordination

CC: Will Lewis (PFI)
Matt Jones (Bohler Eng.)
42015222E

8787 George Avenue, Silver Spring, Maryland 20910
Development Applications and Engineering Coordination, Division 361, 405 Fax: 301-495-1306
www.MontgomeryPlanning.org

City of Takoma Park
13 Downing Avenue
Silver Spring, MD 20910

Department of Public Works
Telephone: 301-495-7433
5/12/2015 AM 11:26:54 FAX: 301-495-2465

Mr. Bradford Fox, P.E.
Bohler Engineering
16701 Melford Blvd.
Bowie, MD 20715

Re: SWC 15-01-01 Takoma
781 New Hampshire Avenue,
Takoma Park, MD (Taco Bell)

Dear Mr. Fox:

This is to inform you that the above referenced application has been reviewed. The referenced Concept Approval application and response package submitted on 5/12/2015 were found acceptable. A tree protection plan approved by the City Arborist, if required for this project should be obtained as a condition of this approval.

Please refer to Takoma Code title 16 for complete description of Stormwater Management Plan Permit requirements. A summary report of SWM permit requirement documents is listed below for your convenience.

- 1. SWM Permit application.
- 2. Three (3) Copies of the Final SWM plans
- 3. Sediment and Erosion Control set of plans approved by MC PDS.
- 4. Construction cost estimate of SWM facilities for the proposed or pending use of the land.
- 5. A Permit fee Equal to 10% of the total cost of SWM facilities
- 6. A Performance Bond equal to the approved construction cost of the SWM facilities
- 7. Declaration of Covenants Inspection/Maintenance of Stormwater Management System
- 8. Maintenance schedule developed for the life of SWM facilities installed on the Plans
- 9. Schedule for staged inspection and reports (Takoma Code 16.04.210, 16.04.260).
- 10. Takoma Park Code Section 16.04.30 provides that:

"The City Manager, in his or her sole discretion, may accept the certification of a registered professional engineer licensed in Maryland in lieu of any inspection during construction required by this chapter."

Under this option, the owner shall in a letter name the professional engineer registered in Maryland who would be providing inspection and certification for all the stages of construction described in the referenced section of Takoma Code including preparation and presentation of the final As-Built plans and certifications.

On Completion of the project and prior to Bond release, an as-built plan of the SWM facilities along with certification by a professional engineer shall be submitted to this department to appreciate the opportunity to be of service; should you require additional assistance please call the undersigned at 301-9917620.

Sincerely,
Ali Khalilian, P.E.
City Engineer
City of Takoma Park
cc: Daryl Brantwaite
Todd Bitten
File

82015-09-01 for 781 New Hampshire Avenue, Takoma Park, MD (Taco Bell)

Upon Completion of the project and prior to Bond release, an as-built plan of the SWM facilities along with certification by a professional engineer shall be submitted to this department to appreciate the opportunity to be of service; should you require additional assistance please call the undersigned at 301-9917620.

Sincerely,
Ali Khalilian, P.E.
City Engineer
City of Takoma Park
cc: Daryl Brantwaite
Todd Bitten
File

82015-09-01 for 781 New Hampshire Avenue, Takoma Park, MD (Taco Bell)

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Todd Bitten
File

82015-09-01 for 781 New Hampshire Avenue, Takoma Park, MD (Taco Bell)

Upon Completion of the project and prior to Bond release, an as-built plan of the SWM facilities along with certification



GENERAL DEMOLITION NOTES:

- THIS PLAN IS BASED UPON THE FOLLOWING ALTA/ACSM LAND TITLE SURVEY:
 PREPARED BY: BOHLER ENGINEERING
 TITLED: "TACO BELL-TAKOMA PARK
 7681 NEW HAMPSHIRE AVE.
 (13TH) ELECTION DISTRICT
 MONTGOMERY COUNTY, MARYLAND"
 FIELD DATE: 12/09/14
 DATED: 12/10/14
 PROJECT NO.: SB14200601
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.
- BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.
- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION ONLY REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR TO:
 A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK AND DEMOLITION WORK.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY; HOWEVER, NO PHYSICAL INDICATIONS OF SUCH WERE FOUND AT THE TIME OF THE FIELD INSPECTION OF THIS SITE.

BOHLER ENGINEERING
 SITE, CIVIL, AND CONSTRUCTION SERVICES
 LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES
 WARREN, NEW YORK
 BOSTON, MASSACHUSETTS
 CHARLOTTE, NORTH CAROLINA
 CHICAGO, ILLINOIS
 DALLAS, TEXAS
 DENVER, COLORADO
 FORT LAUDERDALE, FLORIDA
 HOUSTON, TEXAS
 KANSAS CITY, MISSOURI
 LOS ANGELES, CALIFORNIA
 MEMPHIS, TENNESSEE
 MIAMI, FLORIDA
 MINNEAPOLIS, MINNESOTA
 NEW YORK, NEW YORK
 PHILADELPHIA, PENNSYLVANIA
 RICHMOND, VIRGINIA
 WASHINGTON, D.C.
 WICHITA, KANSAS

REVISIONS

REV	DATE	COMMENT	BY

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, NORTH CAROLINA AND DELAWARE CALL - 811 (WV 1-800-444-4848) PA 1-800-444-1700 (DC 1-800-551-7777) VA 1-800-552-7001 MD 1-800-257-7777 (DE 1-800-282-6555)

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: MB14200601
 DRAWN BY: AL
 CHECKED BY: BLF
 DATE: 06/25/15
 SCALE: 1"= 20'
 CAD I.D.: SS1

PROJECT: **SITE PLAN**
#820150150
TACO BELL TAKOMA PARK
 FOR **MUY**
TACO BELL
 LOCATION OF SITE
 1300 HOLTON LANE
 TAKOMA PARK, MD 20912
 MONTGOMERY COUNTY

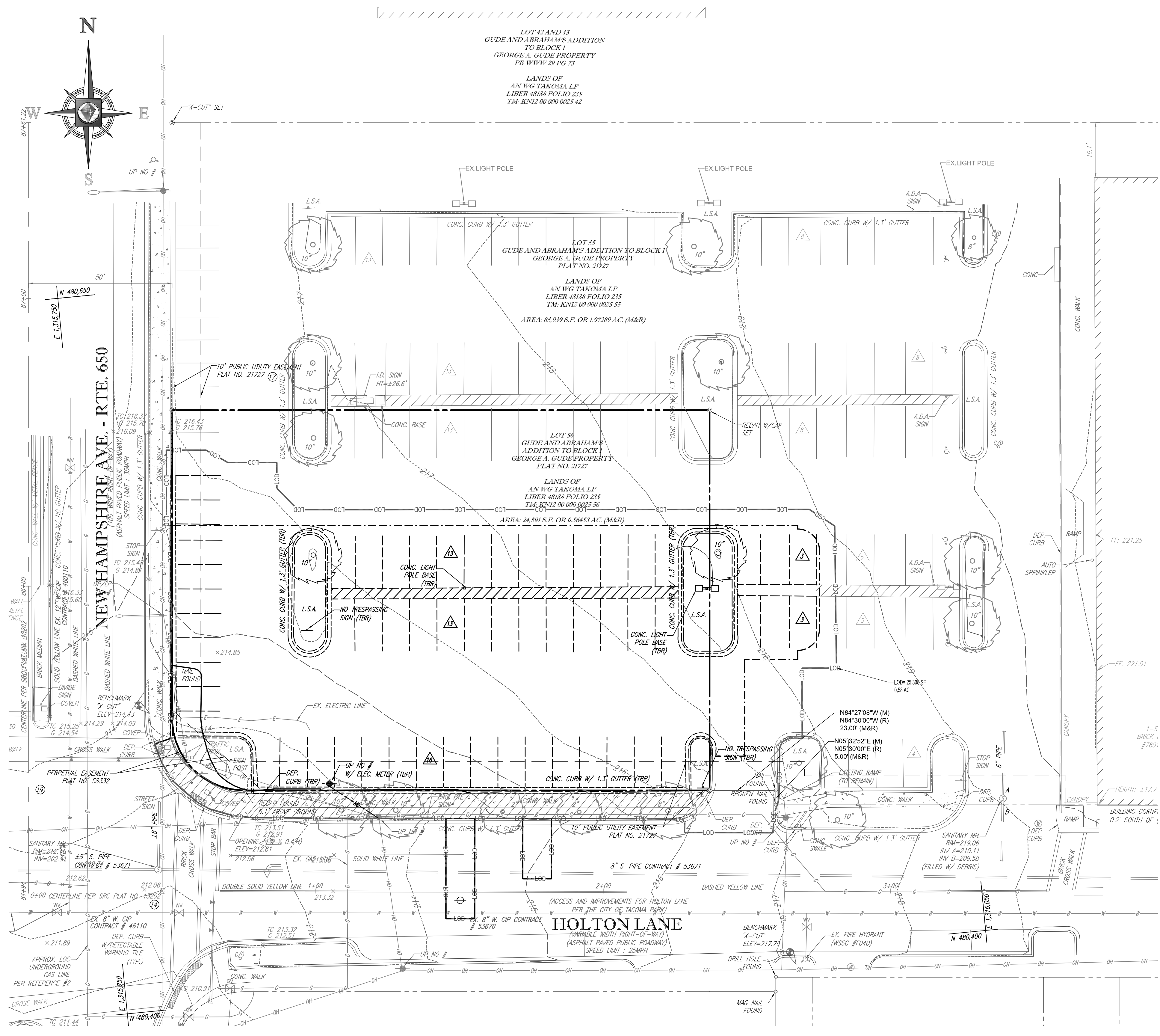
BOHLER ENGINEERING
 16701 MELFORD BLVD., SUITE 310
 BOWIE, MARYLAND 20715
 Phone: (301) 809-4500
 Fax: (301) 809-4501
 MD@BohlerEng.com

M. K. JONES
 PROFESSIONAL ENGINEER
 MARYLAND LICENSE # 39991

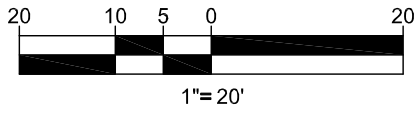
SHEET TITLE:
EXISTING CONDITIONS / DEMOLITION PLAN
 SHEET NUMBER:
C-3
 OF 6

Developer's Certificate
 The Undersigned agrees to execute in all its features the Site Plan Approval No. 820150150, including Approval Conditions, Development Program, and Certified Site Plan.
 Developer: RJP Consulting, LLC Will Lewis
 Company: Consultant
 Address: 100 East Lancaster Avenue, Suite 200, Downingtown, PA 19336
 Phone: 610-619-2930
 Signature: *[Signature]*

PROFESSIONAL CERTIFICATION
 I, MATTHEW K. JONES, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 39991, EXPIRATION DATE: 3/15/2017.



GENERAL NOTES:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO DO SO BY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL CODES, ORDINANCES, AND LOCAL REGULATIONS AND STATUTES.





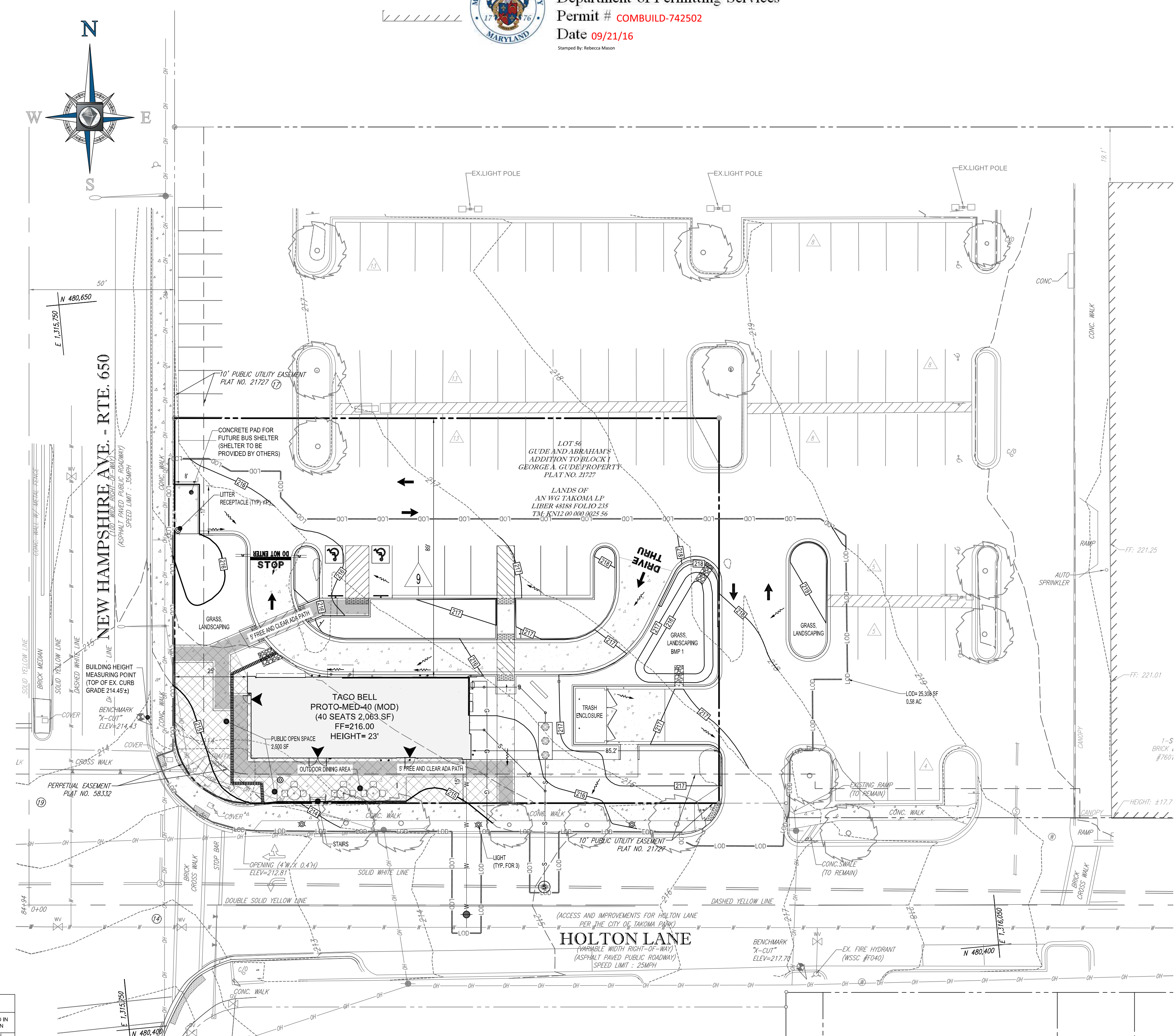
LOCATION MAP
 COPYRIGHT 2003
 DELORME STREET ATLAS 2004 PLUS USA
 SCALE: 1"=200'

BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING PROGRAM MANAGEMENT
 SUSTAINABLE DESIGN PERMITTING SERVICES

LANDSCAPE ARCHITECTURE
 TRANSPORTATION SERVICES
 PERMITTING SERVICES

OFFICE LOCATIONS:
 • STATE NEW YORK
 • BOSTON, MA
 • PHILADELPHIA, PA
 • LEHIGH VALLEY, PA
 • CHARLOTTE, NC
 • RALEIGH, NC



NOTE:
 SEE SHEET C-6 FOR SITE DETAILS

DEVELOPMENT SEQUENCE:
 DEVELOPMENT IS PLANNED TO TAKE PLACE IN ONE PHASE
 (DEMOLITION, BUILDING, AND SITE WORK)

REVISIONS

REV	DATE	COMMENT	BY

NOT APPROVED FOR CONSTRUCTION

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, NORTH CAROLINA AND DELAWARE CALL - 811 (WV 1-800-245-4449) (PA 1-800-242-1777) (DC 1-800-251-7777) (VA 1-800-552-7001) (MD 1-800-257-7777) (DE 1-800-282-8555)

PROJECT No.: MB14200601
AL
BLF
DATE: 06/25/15
SCALE: AS SHOWN
CAD L.D.: SS1

SITE PLAN
#820150150
TACO BELL
TAKOMA PARK
 FOR
MUY
TACO BELL
 LOCATION OF SITE
 1300 HOLTAN LANE
 TAKOMA PARK, MD 20912
 MONTGOMERY COUNTY
 LOTS 55 & 56
 GUDE AND ABRAHAM'S

BOHLER ENGINEERING
 16701 MELFORD BLVD., SUITE 310
 BOWIE, MARYLAND 20715
 Phone: (301) 809-4500
 Fax: (301) 809-4501
MD@BohlerEng.com

M. K. JONES
 PROFESSIONAL ENGINEER
 MARYLAND LICENSE NO. 39998

SHEET TITLE:
SITE PLAN
 SHEET NUMBER:
C-4
 OF 5

PROJECT DATA TABLE: CRT-2.5 ZONE (C-2.0, R-1.5, H-100)

SECTION	DEVELOPMENT STANDARDS	APPROVED IN SITE PLAN
B. GROSS TRACT AREA	NONE	24,591 SF
C. MAXIMUM BUILDING HEIGHT	100'	23'
D. FLOOR AREA RATIO (FAR) (BUILDING COVERAGE TO GROSS TRACT AREA)	0.920 (48,787 SF) 0.915 (38,150 SF) 2.5 MAX. (60,984 SF)	0.08 FAR OR 2,063 SF GFA
E. PUBLIC OPEN SPACE	10% NET TRACT AREA 2,459 SF	10 / 2,500 SF
H. MIN. BUILDING SETBACKS		
	FRONT (NEW HAMPSHIRE AVE.)	0' 25'
	REAR	0' 8.5'
	NORTH SIDE	0' 88'
	SOUTH SIDE (HOLTAN LANE)	0' 15.5'
I. MAXIMUM SETBACK - BUILD TO AREA ¹		
	FRONT STREET	70% OF THE BUILDING FACADE MUST BE WITHIN 50' OF NEW HAMPSHIRE AVE WITH EXISTING 10 FOOT PUE ²
	SIDE STREET	35% OF THE BUILDING FACADE MUST BE WITHIN 20' OF HOLTAN LANE.

¹THE BUILD TO AREA MAXIMUM SETBACK MAY BE INCREASED BY THE MINIMUM SETBACK NECESSARY TO AVOID A PLATTED PUBLIC UTILITY EASEMENT.

GENERAL NOTES

- M-NCPPC STAFF MUST INSPECT ALL TREE-SAVE AREAS AND PROTECTION DEVICES BEFORE ANY LAND DISTURBANCE.
- MINOR MODIFICATIONS TO THE LIMITS OF DISTURBANCE SHOWN ON THE SITE PLAN WITHIN THE PUBLIC RIGHT-OF-WAY FOR UTILITY CONNECTIONS MAY BE DONE DURING THE REVIEW OF THE RIGHT-OF-WAY PERMIT DRAWINGS BY THE CITY OF TAKOMA PARK AND/OR THE STATE HIGHWAY ADMINISTRATION.³

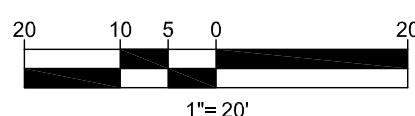
PARKING REQUIREMENTS (CRT-2.5^{3,4})

BUILDING	USE CATEGORY	ZONING ORDINANCE DEVELOPMENT STANDARDS		PARKING REQUIRED		PARKING PROPOSED		PUBLIC BICYCLE PARKING REQUIRED	PUBLIC BICYCLE PARKING PROPOSED
		MINIMUM	MAXIMUM	MINIMUM	MAXIMUM	STANDARD SPACES	23 SPACES		
TACO BELL	RESTAURANT (GENERAL)	4 SPACES/1,000 S.F. OF PATRON USE	12 SPACES/1,000 S.F. OF PATRON USE	4/1,000 X 875.3 PATRON S.F. = 3.5 = 4 SPACES	12/1,000 X 875.3 PATRON S.F. = 10.5 = 11 SPACES	ADA SPACES	23 SPACES	1 BIKE PARKING SPACE (10,000 SF) = 1.0 BICYCLE PARKING SPACE (MIN)	2 BICYCLE PARKING SPACES
		TOTAL SPACES		4 SPACES		28 SPACES ⁵		2 BICYCLE PARKING SPACES	

³ PARKING COMPLIES WITH THE MAXIMUM REQUIREMENT BECAUSE PARKING SPACES IN EXCESS OF MAXIMUM WILL NOT BE RESERVED FOR TACO BELL'S USE.

⁴ THE TACO BELL LOT IS PART OF AN INTEGRATED SHOPPING CENTER, FOR WHICH THERE IS SHARED PARKING. A MINIMUM OF 206 PARKING SPACES AND A MAXIMUM OF 355 PARKING SPACES ARE REQUIRED FOR THE OVERALL SHOPPING CENTER. AFTER CONSTRUCTION OF THE TACO BELL, A TOTAL OF 269 PARKING SPACES WILL BE PROVIDED.

⁵ CRT-2.5 ZONE IS ELIGIBLE TO BE CONSIDERED A REDUCED PARKING AREA. REQUIRED SPACES SHOWN REFLECT THIS REDUCTION.



LEGEND

PUBLIC OPEN SPACE [Symbol]

Developer's Certificate
 The undersigned agrees to execute all the features of the Site Plan Approval No. 820150150, including Approval Conditions, Development Program, and Certified Site Plan.

Developer: **RJP Consulting, LLC** Will Lewis
 Consultant

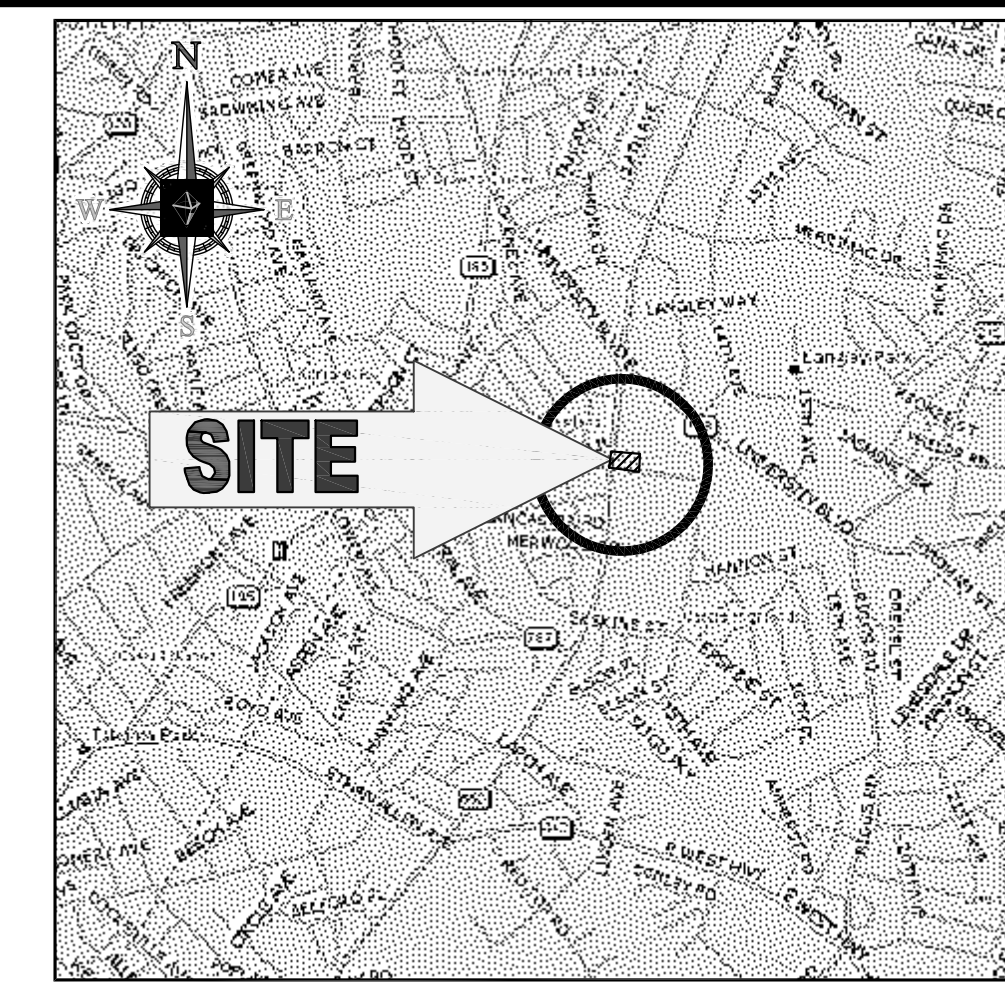
Address: 100 East Lancaster Avenue, Suite 200, Downingtown, PA 19335
 Phone: 610-518-2930

Signature: *Will Lewis*

PROFESSIONAL CERTIFICATION
 I, MATTHEW K. JONES, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 39998, EXPIRATION DATE: 3/31/2017



APPROVED
 Department of Permitting Services
 Permit # COMBUILD-742502
 Date 09/21/16
 Stamped By: Rebecca Mason



LOCATION MAP
 COPYRIGHT 2003
 DELORME STREET ATLAS 2004 PLUS USA
 SCALE: 1"=2000'

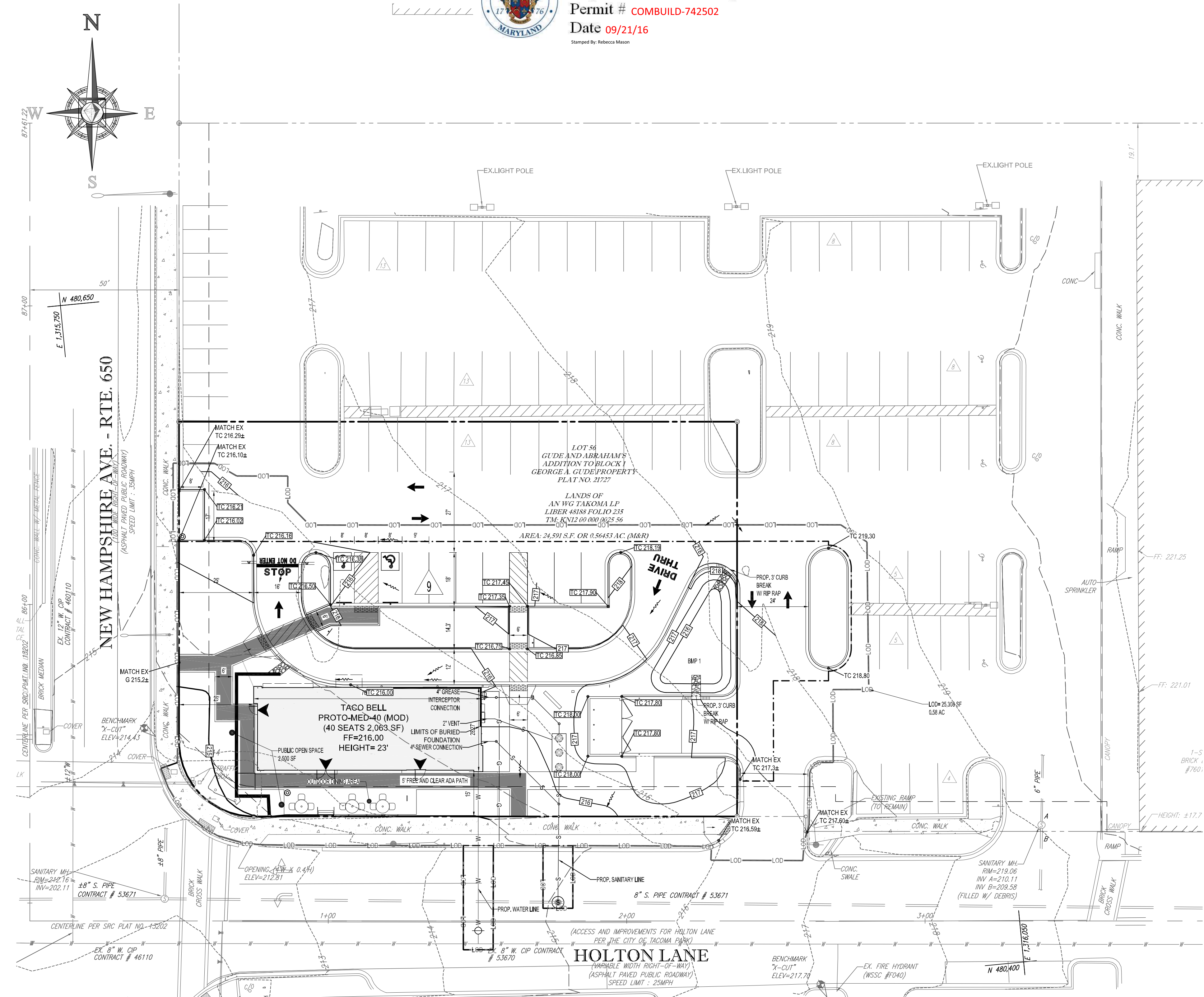
BOHLER ENGINEERING
 SITE PLAN AND CONSULTING SERVICES
 LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES
 WASHINGTON, DC
 BALTIMORE, MD
 BOSTON, MA
 CHICAGO, IL
 COLUMBIA, SC
 DALLAS, TX
 DENVER, CO
 HOUSTON, TX
 LOS ANGELES, CA
 MEMPHIS, TN
 NEW YORK, NY
 PHILADELPHIA, PA
 RICHMOND, VA
 TAMPA, FL
 WASHINGTON, DC

REVISIONS

REV	DATE	COMMENT	BY

NOTE:
 SEE SHEET C-6 FOR SITE DETAILS

DEVELOPMENT SEQUENCE:
 DEVELOPMENT IS PLANNED TO TAKE PLACE IN ONE PHASE (DEMOLITION, BUILDING, AND SITE WORK)



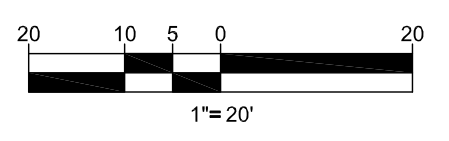
PROJECT DATA TABLE: CRT-2.5 ZONE (C-2.0, R-1.5, H-100)

ITEM	ZONING ORDINANCE DEVELOPMENT STANDARDS	PROPOSED FOR SITE PLAN APPROVAL
B. GROSS TRACT AREA	NONE	0.56 AC
C. MAXIMUM BUILDING HEIGHT	NONE	23'
D. FLOOR AREA RATIO (FAR) (BUILDING COVERAGE TO GROSS TRACT AREA)	0.20 (8,787 SF) OR 1.5 (36,580 SF) 2.5 MAX (60,984 SF)	0.1 FAR OR 2,063 SF GFA
E. PUBLIC OPEN SPACE	10% NET TRACT AREA 2,459 SF	2,500 SF
H. MIN. BUILDING SETBACKS		
	FRONT (NEW HAMPSHIRE AVE.)	0'
	REAR	0'
	NORTH SIDE	0'
	SOUTH SIDE (HOLTON LANE)	0'
I. MAXIMUM SETBACK - BUILD TO AREA ¹		
	FRONT STREET	70% OF THE BUILDING FACADE MUST BE WITHIN 27' OF NEW HAMPSHIRE AVE WITH EXISTING 10 FOOT PUE ²
	SIDE STREET	35% OF THE BUILDING FACADE MUST BE WITHIN 20' OF HOLTON LANE.

PARKING REQUIREMENTS (CRT-2.5^{3,4})

BUILDING	USE CATEGORY	ZONING ORDINANCE DEVELOPMENT STANDARDS		PARKING REQUIRED		PARKING PROPOSED		PUBLIC BICYCLE PARKING REQUIRED	PUBLIC BICYCLE PARKING PROPOSED
		MINIMUM	MAXIMUM	MINIMUM	MAXIMUM	STANDARD SPACES	ADA SPACES		
TACO BELL	RESTAURANT (GENERAL)	4 SPACES/1,000 S.F. OF PATRON USE	12 SPACES/1,000 S.F. OF PATRON USE	41,000 X 875.3 PATRON S.F. = 3.5 = 4 SPACES	121,000 X 875.3 PATRON S.F. = 10.5 = 11 SPACES	23 SPACES	2 SPACES (2 VAN ACCESSIBLE)	1 BIKE PARKING SPACE /10,000 SF = 1.0 BICYCLE PARKING SPACE (MIN)	2 BICYCLE PARKING SPACES
				TOTAL SPACES	11 SPACES	25 SPACES ⁵		1 BICYCLE PARKING SPACE	2 BICYCLE PARKING SPACES

¹ PARKING COMPLIES WITH THE MAXIMUM REQUIREMENT BECAUSE PARKING SPACES IN EXCESS OF MAXIMUM WILL NOT BE RESERVED FOR TACO BELL'S USE.
² THE TACO BELL LOT IS PART OF AN INTEGRATED SHOPPING CENTER. FOR WHICH THERE IS SHARED PARKING. A MINIMUM OF 206 PARKING SPACES AND A MAXIMUM OF 355 PARKING SPACES ARE REQUIRED FOR THE OVERALL SHOPPING CENTER. AFTER CONSTRUCTION OF THE TACO BELL, A TOTAL OF 209 PARKING SPACES WILL BE PROVIDED.
³ CRT-2.5 ZONE IS ELIGIBLE TO BE CONSIDERED A REDUCED PARKING AREA. REQUIRED SPACES SHOWN REFLECT THIS REDUCTION.



LEGEND
 PUBLIC OPEN SPACE

GENERAL NOTE:
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Developer's Certificate
 The undersigned agrees to execute all the features of the Site Plan Approval No. 820150150, including Approval Conditions, Development Program, and Certified Site Plan.

Developer: RJP Consulting, LLC Will Lewis
 Company: RJP Consulting, LLC
 Address: 100 East Lancaster Avenue, Suite 200, Downingtown, PA 19335
 Phone: 810-519-2930

PROFESSIONAL CERTIFICATION
 I, MATTHEW K. JONES, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 38959, EXPIRATION DATE: 3/15/2017

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, ENGINEERS, OR ANY PERSONS PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, NORTH CAROLINA AND DELAWARE CALL: 811 (WV 1-800-444-6849) (PA 1-800-544-1700) (DC 1-800-551-7777) (VA 1-800-552-7001) (MD 1-800-257-7777) (DE 1-800-282-6555)

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: MB14200601
 DRAWN BY: AL
 CHECKED BY: BLF
 DATE: 06/25/15
 SCALE: AS SHOWN
 CAD I.D.: SS1

PROJECT: SITE PLAN #820150150 TACO BELL TAKOMA PARK FOR MUY TACO BELL
 LOCATION OF SITE 1300 HOLTON LANE TAKOMA PARK, MD 20912 MONTGOMERY COUNTY

BOHLER ENGINEERING
 16701 MELFORD BLVD., SUITE 310 BOWIE, MARYLAND 20715
 Phone: (301) 809-4500
 Fax: (301) 809-4501
 MD@BohlerEng.com

M. K. JONES
 PROFESSIONAL ENGINEER
 MARYLAND LICENSE # 38959

SHEET TITLE: SITE PLAN
 SHEET NUMBER: C-4 OF 6



MONTGOMERY PLANNING DEPARTMENT
 200 North Rock Creek Road, Suite 200
 Rockville, MD 20850
 Certified Site Plan - 820150150

APPROVAL

Robert C. Kennedy 05/12/16

LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK:
 THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS
A. GENERAL: ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.

B. TOPSOIL - NATURAL, FRIMBLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.

C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES.

1.1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
1.2. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE-FREE WITH A UNIFORM THICKNESS.
1.3. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.

D. MULCH - THE MULCH AROUND THE PERIMETER OF THE BUILDING SHALL BE A 3" LAYER OF DOUBLE SHREDDED BLACK CEDAR MULCH ONLY. ALL OTHER AREAS SHALL BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDDED DARK BROWN HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.

E. FERTILIZER
1.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
1.2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.

F. PLANT MATERIAL
1.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION

1.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.

1.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.

1.4. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4", WHICH HAVE NOT BEEN COMPLETELY CALLED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.

1.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.

1.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.

1.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.

1.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

3. GENERAL WORK PROCEDURES
A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.

B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

4. SITE PREPARATIONS
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.

B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAIND OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.

C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.

5. TREE PROTECTION
A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER, LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.

B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY "VIS-FENCE," OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8") ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.

C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.

D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

6. SOIL MODIFICATIONS
A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.

B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.

C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.

1.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12"; USE COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE MAINTAINED AS A DARK COLOR AND BE FREE OF PIECES OF IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.

1.2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL CRYSTALLINE COARSE SAND (MAY BE USED IF EXCESSIVE IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.

1.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

7. FINISHED GRADING
A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.

B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").

C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.

D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

8. TOPSOILING
A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED ORDNANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.

B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.

C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

D. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA):
1.1. 20 POUNDS 'GROW POWER' OR APPROVED EQUAL
1.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP

E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

9. PLANTING
A. INsofar THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.

B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.

C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.

D. ALL PLANTING CONTAINERS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.

E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.

PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS: THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS UNLESS OTHERWISE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT:

1.1. PLANTS: MARCH 15 TO DECEMBER 15
1.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1

F. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.

G. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE, WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:

ACER RUBRUM PLATANUS X ACERIFOLIA
BETULA VARIETIES POPULUS VARIETIES
CARPINUS VARIETIES PRUNUS VARIETIES
CRATAEGUS VARIETIES PYRUS VARIETIES
KOELREUTERIA QUERCUS VARIETIES
LIQUIDAMBER STRYACIFLUA TILIA TOMENTOSA
LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES

H. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:

• 1 PART PEAT MOSS
• 3 PART COMPOSTED COV MANURE BY VOLUME
• 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:

A) 2 TABLETS PER 1 GALLON PLANT
B) 3 TABLETS PER 5 GALLON PLANT
C) 4 TABLETS PER 15 GALLON PLANT
D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK

J. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.

K. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.

L. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.

M. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.

N. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.

O. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.

P. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

Q. ANY PLANTING SUBSTITUTIONS REQUIRED ARE MNCPPC APPROVAL.

10. TRANSPLANTING (WHEN REQUIRED)
A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.

B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.

C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.

D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.

E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.

F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

11. WATERING
A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.

B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.

C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

12. GUARANTEE (THIS IS ONLY A GUARANTEE BETWEEN THE OWNER AND CONTRACTOR AND IS NOT A JURISDICTIONAL REGULATORY ITEM WHICH IS ADDRESSED BY A SEPARATE BOND)

A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.

C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATING, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED TO MAINTAIN PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.

D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOVING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

13. CLEANUP
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.

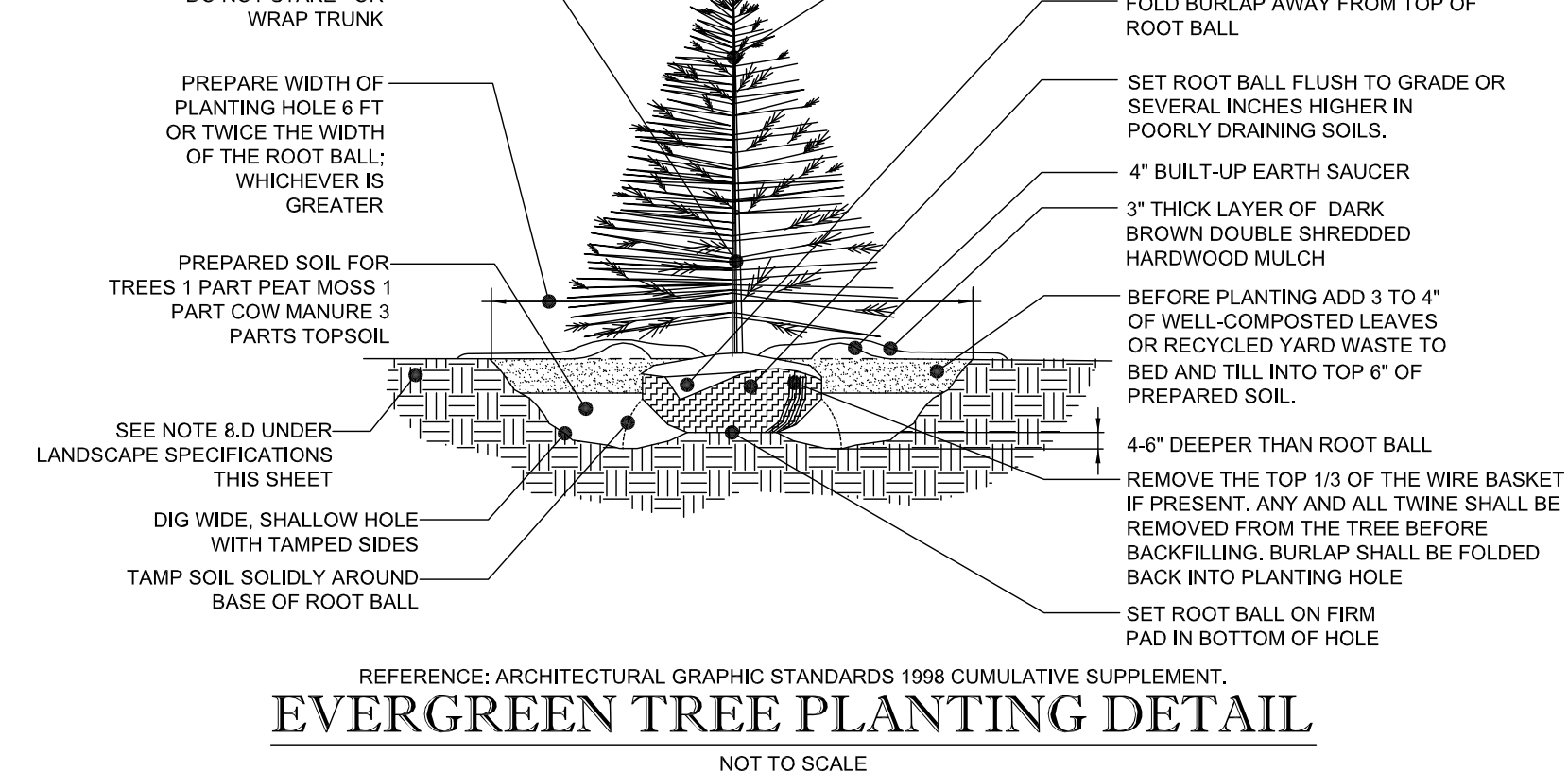
B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

APPROVED Department of Permitting Services

Permit # **COMBUILD-742502**

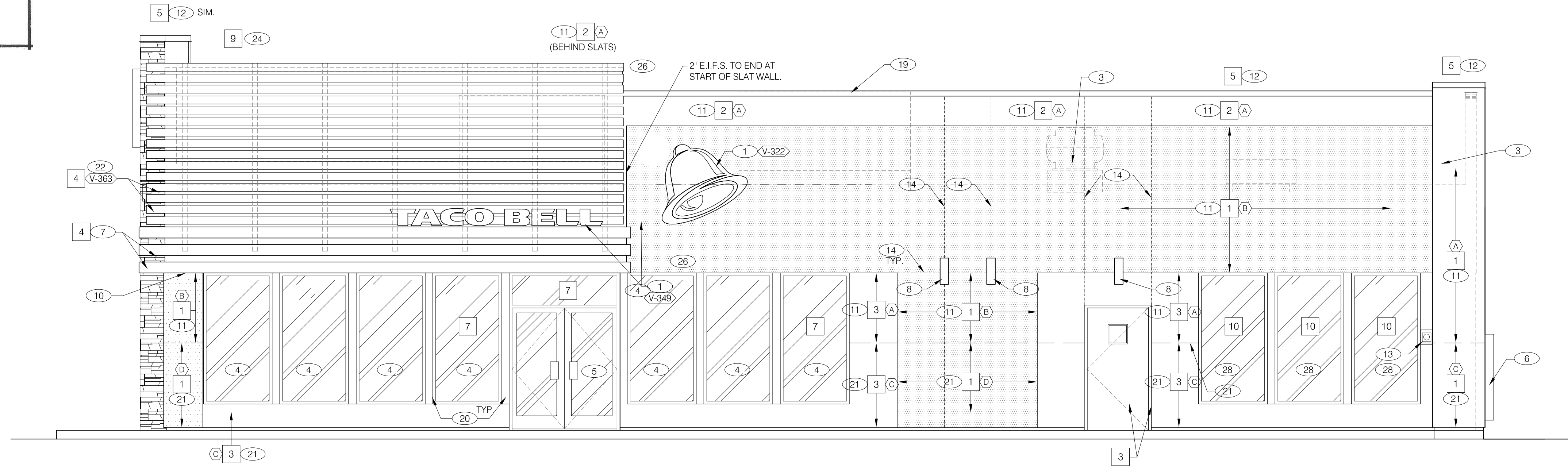
Date **09/21/16**

Stamped By: Rebecca Mason





MONTGOMERY PLANNING DEPARTMENT
 THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
 Certified Site Plan - 820150150
APPROVAL
Robert C. Kowalsky 05/12/16



ENTRY SIDE ELEVATION 1/4"=1'-0" **A**

MARK D. MCCULLAGH AIA, CCS
 1225 E. Douglas, Wichita, KS 67211
 Tel: (316) 265-9387
 Fax: (316) 265-5646
 www.gdm.com

PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 10830. EXPIRATION DATE: 08/19/2016.



15025.000

- △ ADDRESS CHANGE
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DATE: JULY 15, 2015
 BUILDING TYPE: MED-40-MOD
 PLAN VERSION: JUNE 2015
 SITE NUMBER: -----
 ENTITY NUMBER: -----

1300 HOLTON LANE
 TAKOMA PARK, MD 20912



A4.0

PLOT DATE: 4-21-16

SYMBOL	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
1	MAIN BUILDING COLOR	SHERWIN WILLIAMS	SW 6122 'CAMEL BACK'	LOTUSAN	NA08-0011	SHERWIN WILLIAMS: BRAD HARRINGTON, 216-341-5558 X115 (PHONE), BRAD.E.HARRINGTON@SHERWIN.COM
2	WALL COLOR BEHIND SCREEN WALL	SHERWIN WILLIAMS	SW 6831 'CLEMATIS'			EIFS CONTACT: STO CORP.; CHUCK DUFFIN, 940-894-2092 (PHONE), 940-894-2095 (FAX), CDUFFIN@STOCORP.COM OWNER REPRESENTATIVE WILL IDENTIFY IF LOTUSAN PAINT WILL BE USED.
3	ACCENT COLOR	SHERWIN WILLIAMS	SW 2823 'ROOKWOOD CLAY'	LOTUSAN	NA08-0010	
4	SLAT WALL AND VALANCE COLOR	VENDOR	SW 7034 'STATUS BRONZE' (EQUAL)			
5	PARAPET CAP COLOR	12 DUROLAST	MEDIUM BRONZE (FACTORY FINISH)	SHERWIN WILLIAMS	SW 7069 'IRON ORE'	DURO-LAST: CURT JAFFEE, 800-356-6646 (PHONE), CJAFFEE@DURO-LAST.COM
6	STONE WALL	BORAL - VERSA STONE	TIGHT CUT - 'PLUM CREEK'	CORONADO:	IDAHO DRY STACK, CARMEL MOUNTAIN CULTURED STONE VENEER - FULLY GROUTED.	VERSETTA STONE WALL: ASHLEY JOYCE, 770-645-4531 (PHONE) ALTERNATE: CORONADO: 1-800-847-8663
7	STOREFRONT WINDOWS	TBD	'DARK BRONZE'			
8	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THICK PLASTIC COVER (US.POSTMAN.COM) OR EQUAL			DURO-LAST: LEE COBB, 800-434-3876 (PHONE)
9	PARAPET BACK ROOFING	DUROLAST	THE COLOR SHALL BE FACTORY COLORED 'TAN.' EQUAL ALTERNATE ALLOWED.			
10	STOREFRONT WINDOWS	TBD	SPANDREL GLASS			

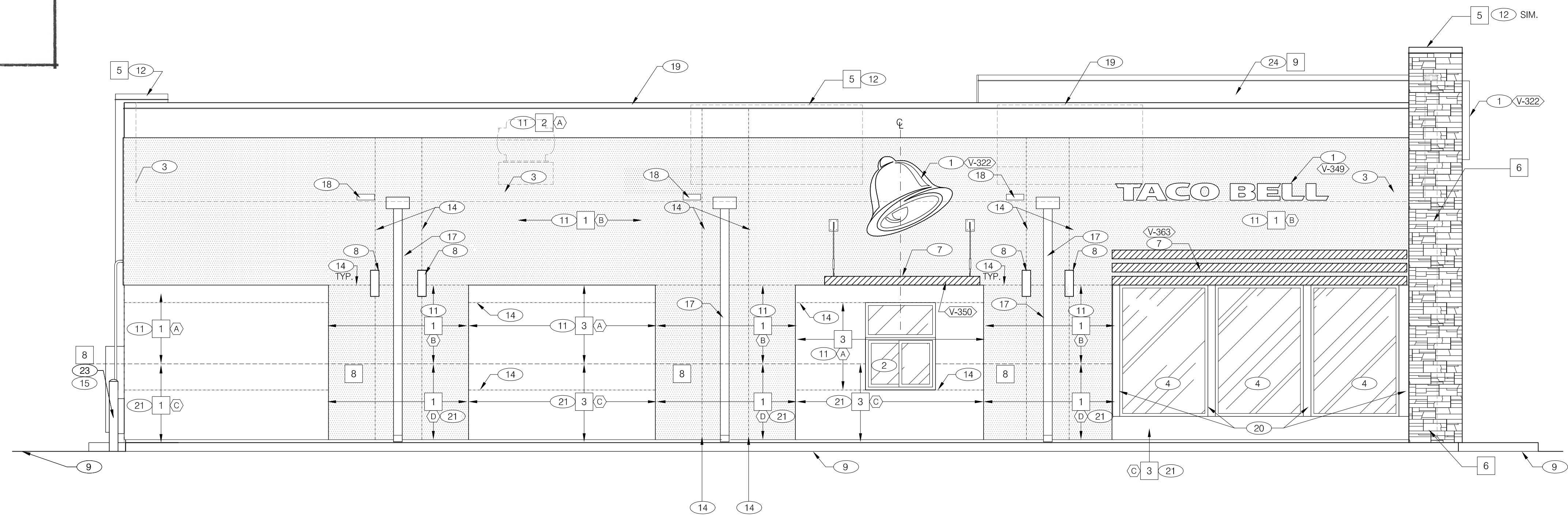
EXTERIOR FINISH SCHEDULE **H**

- 1 BUILDING SIGN. SEE SCOPE OF WORK.
- 2 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 3 ROOF BEYOND.
- 4 STOREFRONT TYPICAL.
- 5 DOUBLE DOOR.
- 6 SWITCH GEAR. PAINT TO MATCH WALL.
- 7 ARCHITECTURAL ALUMINUM VALANCE BY VENDOR.
- 8 LIGHT SCONCE. ALIGN BOTTOM OF FIXTURE'S MOUNTING BRACKET WITH CHANGE IN EIFS THICKNESS.
- 9 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- 10 THICKER EIFS TO TERMINATE AT TOP OF WINDOW HEIGHT. PROVIDE THINNER EIFS ABOVE THAT POINT. SLOPE TRANSITION AWAY FROM BUILDING 1:12. SEE DETAIL B/A4.0
- 11 EIFS (TYP). SEE 2 & 4/A6.2.
- 12 PARAPET COPING. USE THE DURO-LAST PRE-FINISHED EDGE TRIM. SEE DETAIL 2/A6.0.
- 13 CO2 FILLER VALVE & COVER. SEE DETAIL 5/A6.2 SIM.
- 14 1/2" EIFS REVEAL JOINT.
- 15 GAS SERVICE.
- 16 WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.
- 17 SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT 6" MIN. PAINT TO MATCH ADJACENT WALL.
- 18 OVERFLOW SCUPPER.
- 19 RTU BEYOND. PAINT TO MATCH MAIN BUILDING COLOR.
- 20 BREAK METAL COVER OVER WOOD STUDS TO MATCH STOREFRONT. SEE 3.4 & 7/A6.1
- 21 HIGH IMPACT EIFS. WHERE SHOWN ON ELEVATIONS, TOP EXTENT AT 5'-0". SEE 2/A6.2.
- 22 ALUMINUM SLAT WALL BY VENDOR.
- 23 BOLLARD
- 24 DUROLAST SINGLE MEMBRANE ROOFING OR EQUAL.
- 25 IF THE DURO LAST PARAPET CAP TRIM IS USED IT SHALL NOT BE PAINTED.
- 26 RETURN ALUMINUM LOUVERS BACK TO FACE OF BUILDING.
- 27 SPLASH BACK.
- 28 STOREFRONT WITH SPANDREL GLASS.

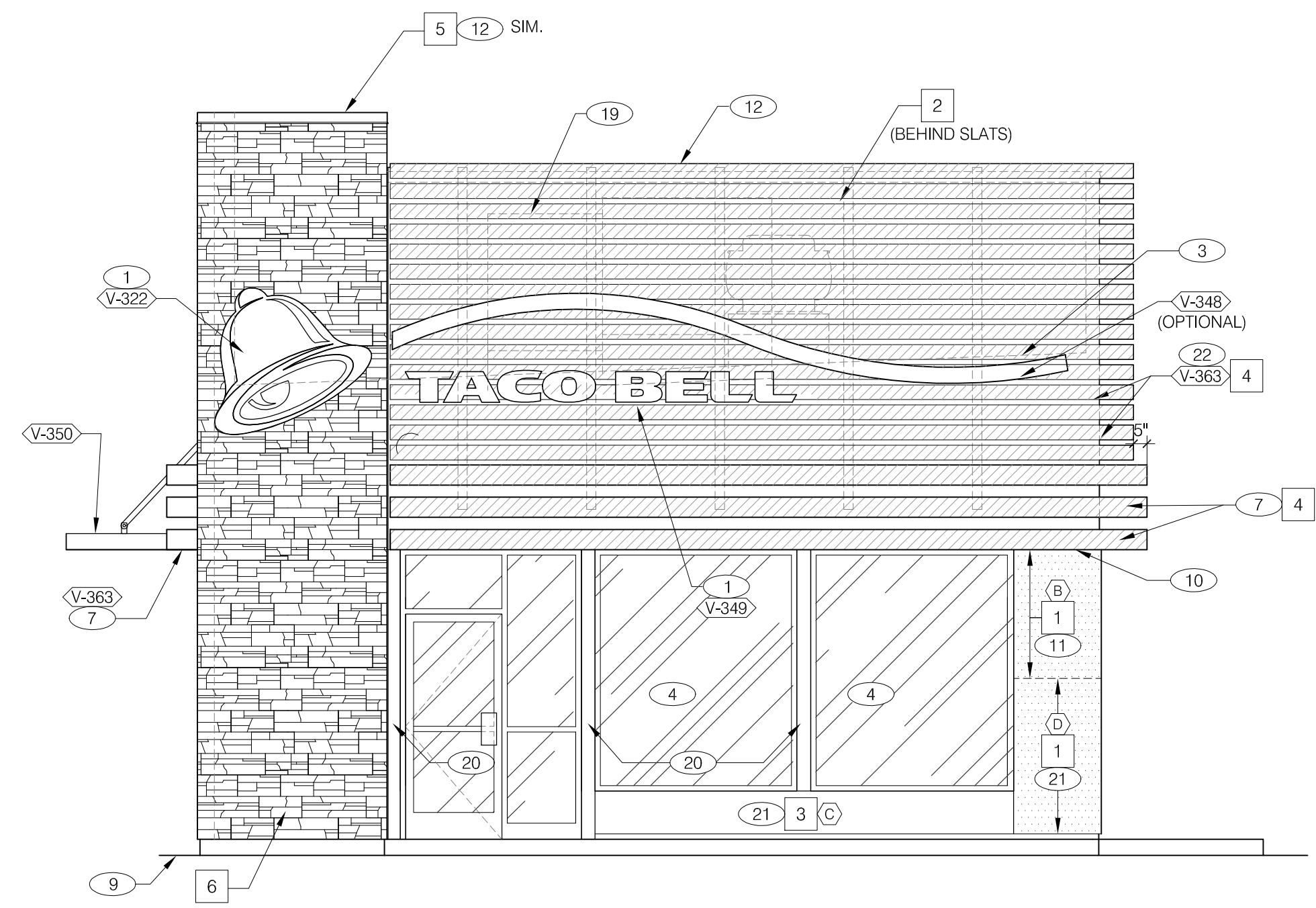
Developer's Certificate
 The undersigned agrees to accept all the liabilities of the Site Plan Approval No. 820150150, including Approval Conditions, Development Program, and Certified Site Plan.
 Developer: **RJP Consulting, LLC** **Will Letz**
 Address: 100 East Lancaster Avenue, Suite 200, Downingtown, PA 19335
 Phone: 610-518-2930
 Signature: *Will Letz*



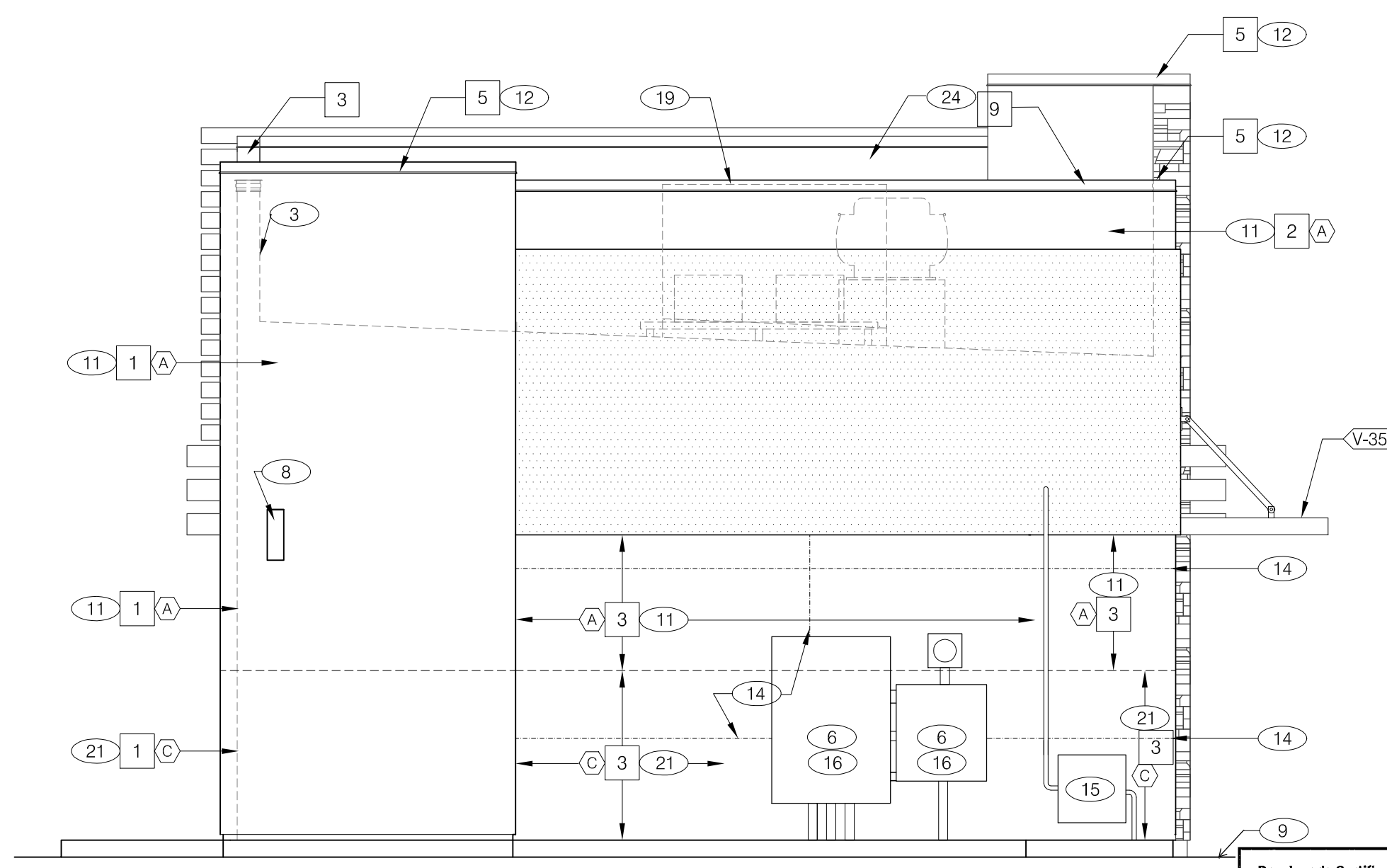
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DRIVE-THRU SIDE ELEVATION 1/4" = 1'-0" **A**



FRONT ELEVATION 1/4" = 1'-0" **C**

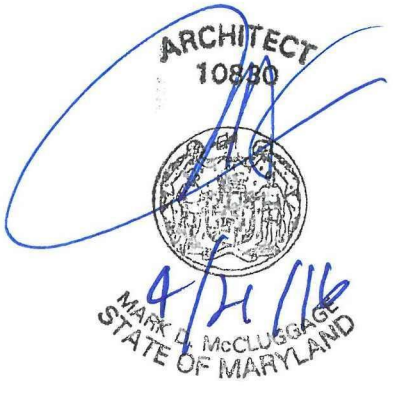


REAR ELEVATION 1/4" = 1'-0" **B**

Developer's Certificate
 The undersigned agrees to execute all the features of the Site Plan Approval No. 820150150, including Approval Conditions, Development Program, and Certified Site Plan.
 Developer: **RJP Consulting, LLC** **Will Lewis**
 Contact Person:
 Address: 100 East Lancaster Avenue, Suite 200, Downingtown, PA 19335
 Phone: 610-518-2930
 Signature: *Will Lewis*

MARK D. MCCLURGAGE AIA, CCS
 1525 E. Douglas Wichita, KS 67211
 Lic. No. 110-285-566
 www.gjmv.com

PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER 10830. EXPIRATION DATE: 08/19/2016.



- 15025.000
- △ ADDRESS CHANGE
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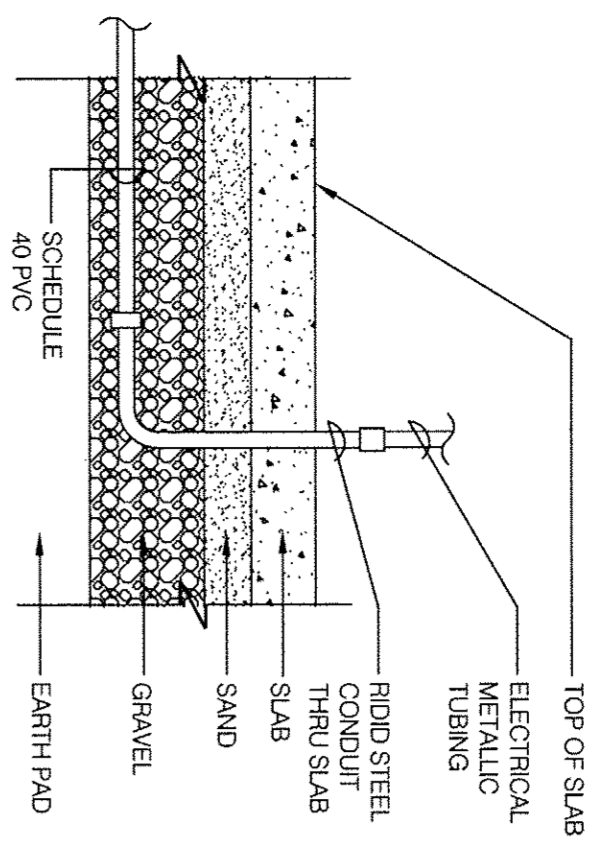
DATE: JULY 15, 2015
 BUILDING TYPE: MED-40-MOD
 PLAN VERSION: JUNE 2015
 SITE NUMBER: _____
 ENTITY NUMBER: _____

1300 HOLTON LANE
 TAKOMA PARK, MD 20912



A4.1

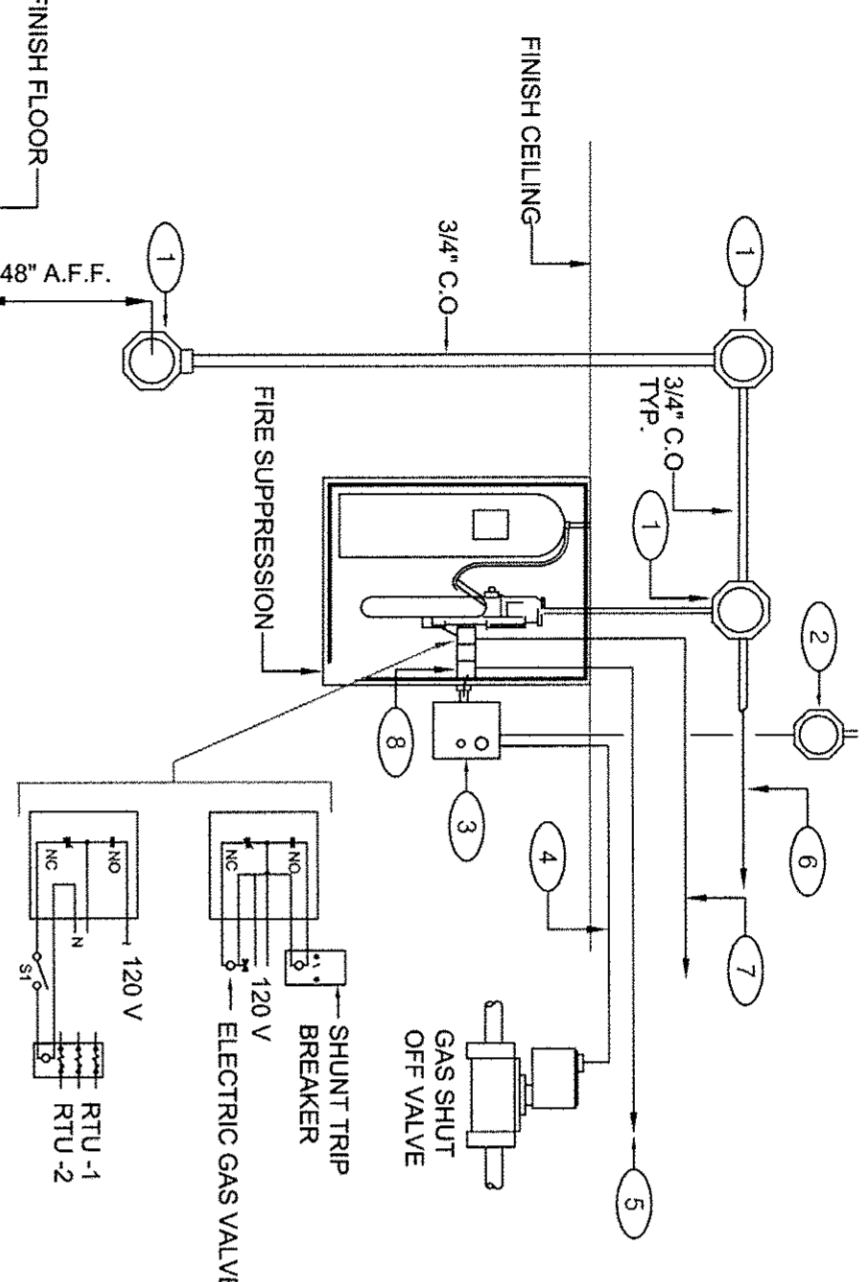
PLOT DATE: 4-21-16



NOTE: GREEN GROUND WIRE REQUIRED IN ALL CONDUITS, SIZED PER N.E.C. REQUIREMENTS.

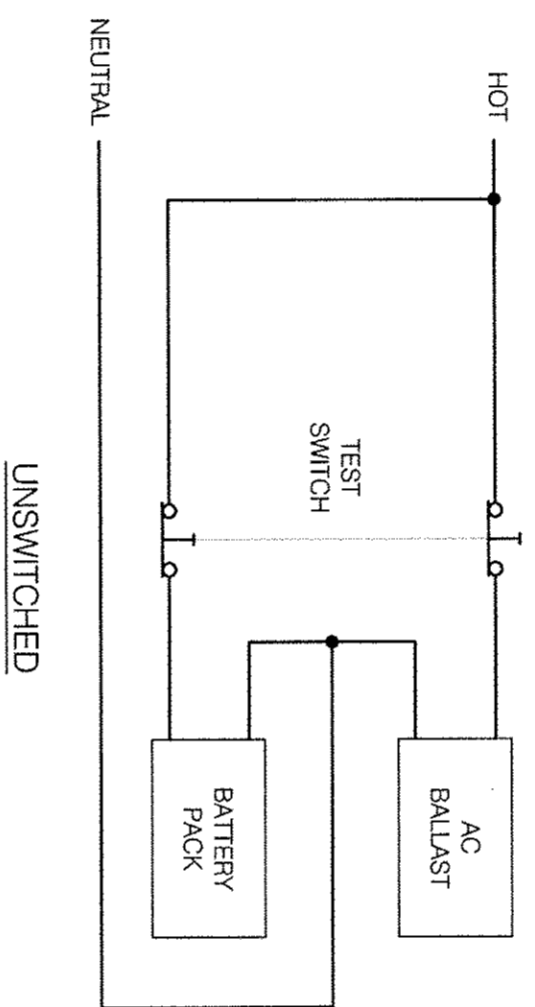
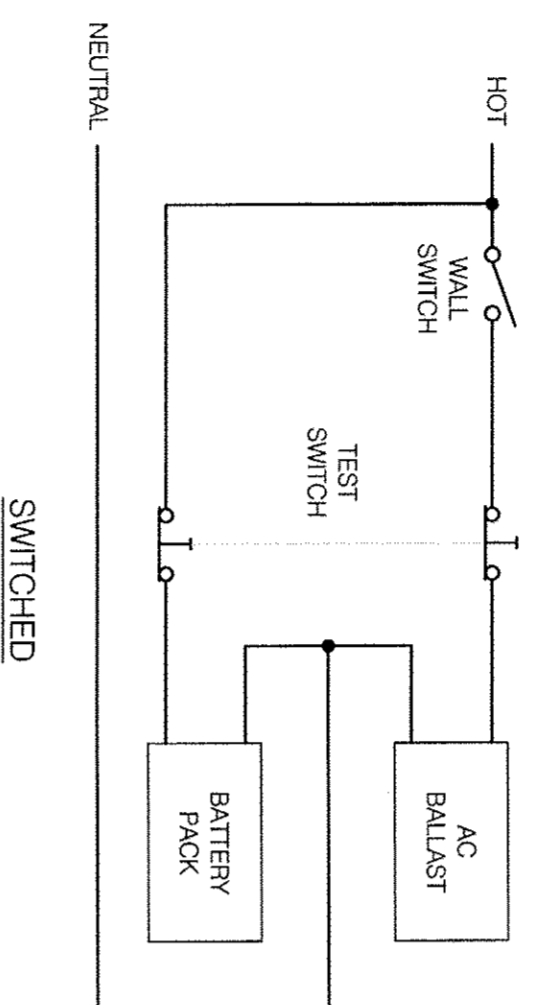
YES001

UNDER SLAB CONDUIT N.T.S. **17**

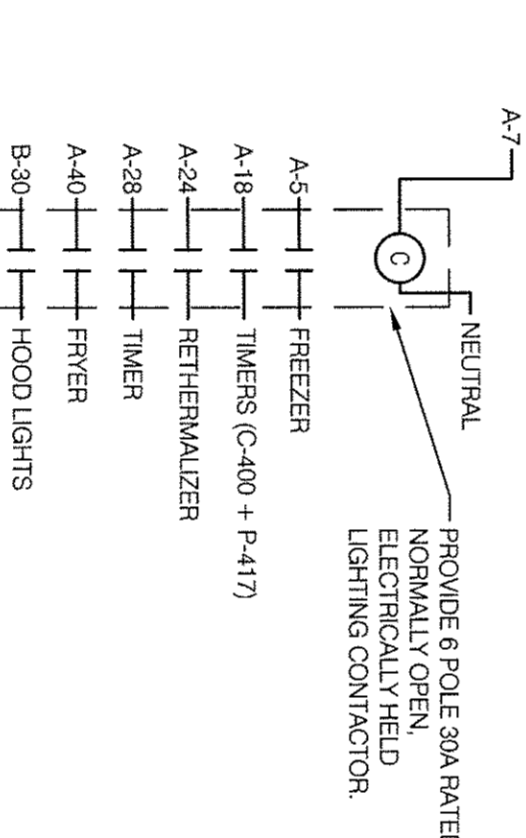


GENERAL NOTES:
1. REFER TO SHEET M30
KEY NOTES:
1 PROVIDE 4" OCTAGONAL J-BOX.
2 PROVIDE 1/2" C WITH CONTROL CABLE TO EQUIPMENT SCHEDULE FLOOR PLAN FOR CIRCUIT ASSIGNMENT. INTERCONNECT TO MANUAL RESET RELAY THROUGH MICROSWITCH.
3 MANUAL RESET RELAY FINISHED WITH UNIT INSTALLED BY E.C.
4 PROVIDE 1/2" C WITH CONTROL CABLE MAKE INTERCONNECTIONS TO VALVE AND RESET RELAY.
5 PROVIDE 1/2" C WITH CONTROL CABLE MAKE INTERCONNECTIONS TO EXHAUST & SUPPLY FAN INTERFACE THROUGH MICROSWITCH ON HOOD.
6 CABLE AND CONNECTION TO FUSIBLE LINKS AT EXHAUST HOOD BY E.C.
7 PROVIDE INTERCONNECTION TO SHUNT TRIP BREAKER AT PANEL AND MICROSWITCH AT HOOD.
8 SLOT FOR 3/16" ACTION MICRO SWITCH. UP TO FOUR SWITCHES SWITCH 1: GAS SHUT-OFF VALVE SWITCH 2: EXHAUST SWITCH 3: SHUNT TRIP BREAKER IN ELE PANEL.

FIRE SUPPRESSION SYSTEM WIRING DIAGRAM N.T.S. **9**



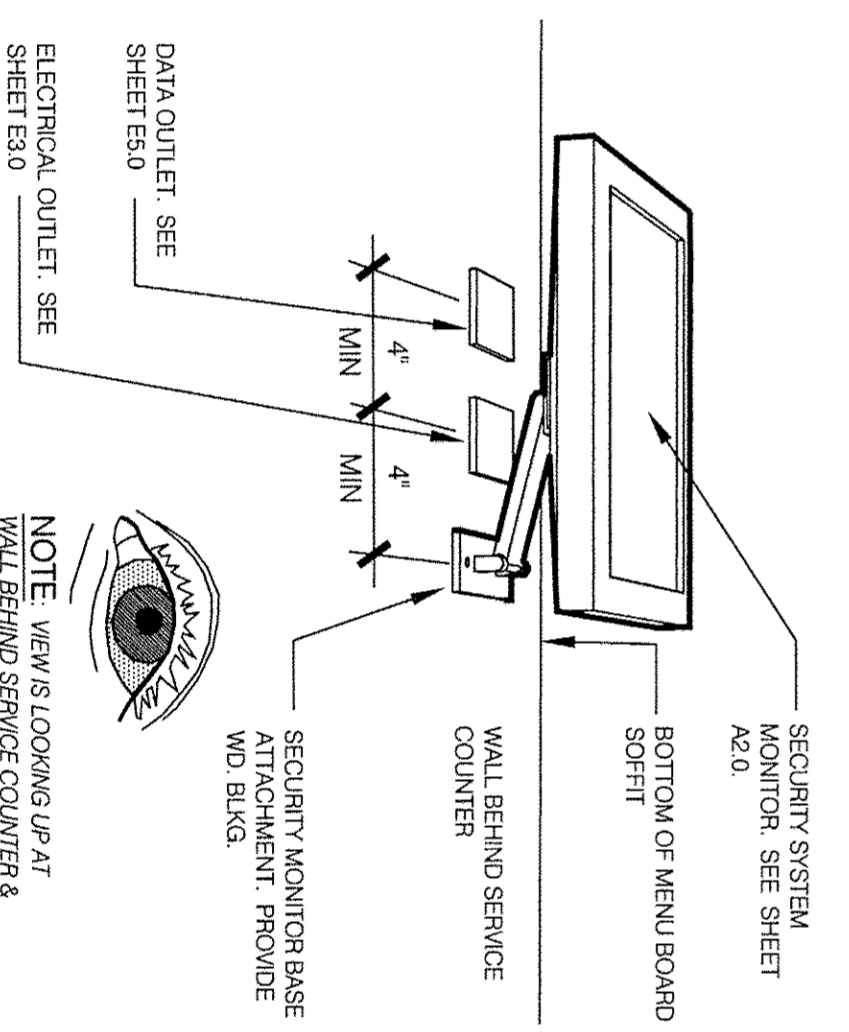
TYPICAL EMERGENCY BATTERY PACK DETAIL N.T.S. **10**



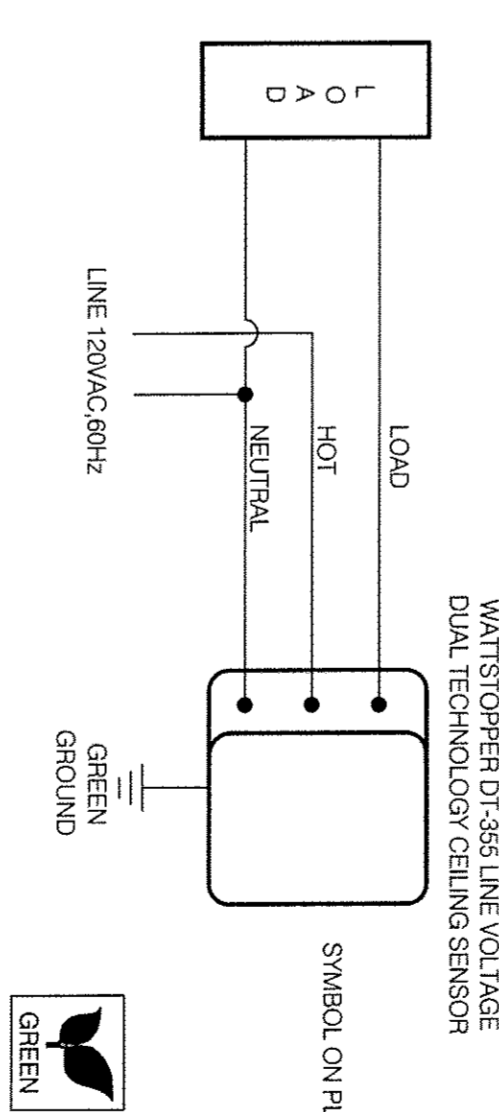
SEQUENCE OF OPERATION:
UPON ACTIVATION OF ANY HOOD FIRE SUPPRESSION SYSTEM, SHUNT TRIP BREAKER WILL TRIP AND SHUNT TRIP BREAKER WILL CAUSE THIS RELAY TO DEENERGIZE, THUS REMOVING POWER FROM ALL DEVICES CONNECTED TO EQUIPMENT LOCATED UNDER THE GREASE HOOD. EXHAUST FANS SHALL NOT BE AFFECTED BY THIS ACTION AND SHALL CONTINUE TO BE CONTROLLED AS INDICATED IN THE SEQUENCE OF OPERATIONS INDICATED IN DETAIL D2810.

NOT USED N.T.S. **15**

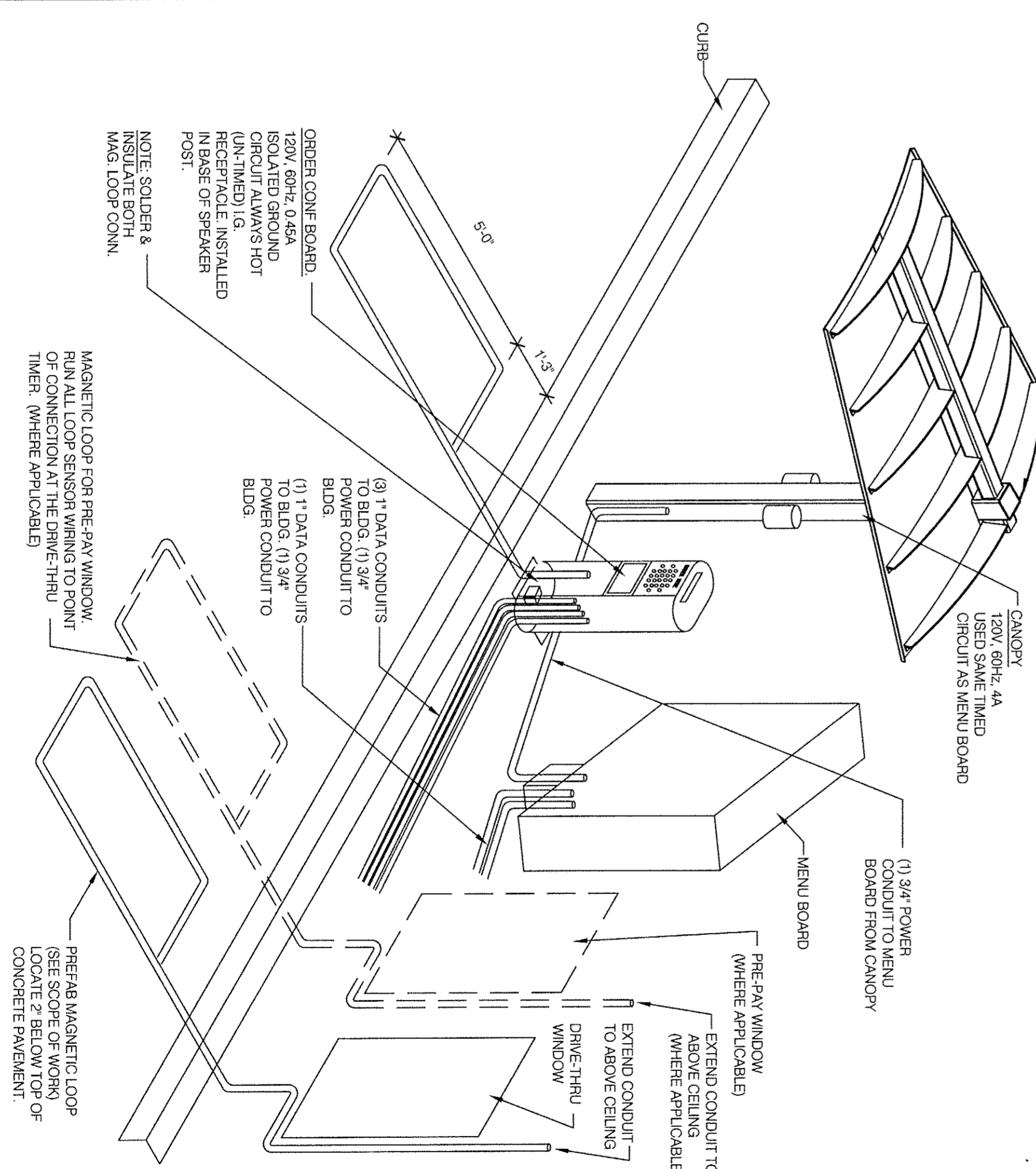
SHUNT TRIP DETAIL N.T.S. **11**



POWER/DATA @ SECURITY MONITOR N.T.S. **12**



CEILING OCCUPANCY SENSOR WIRING DIAGRAM N.T.S. **2**



DRIVE-THRU COMMUNICATIONS ISOMETRIC N.T.S. **4**

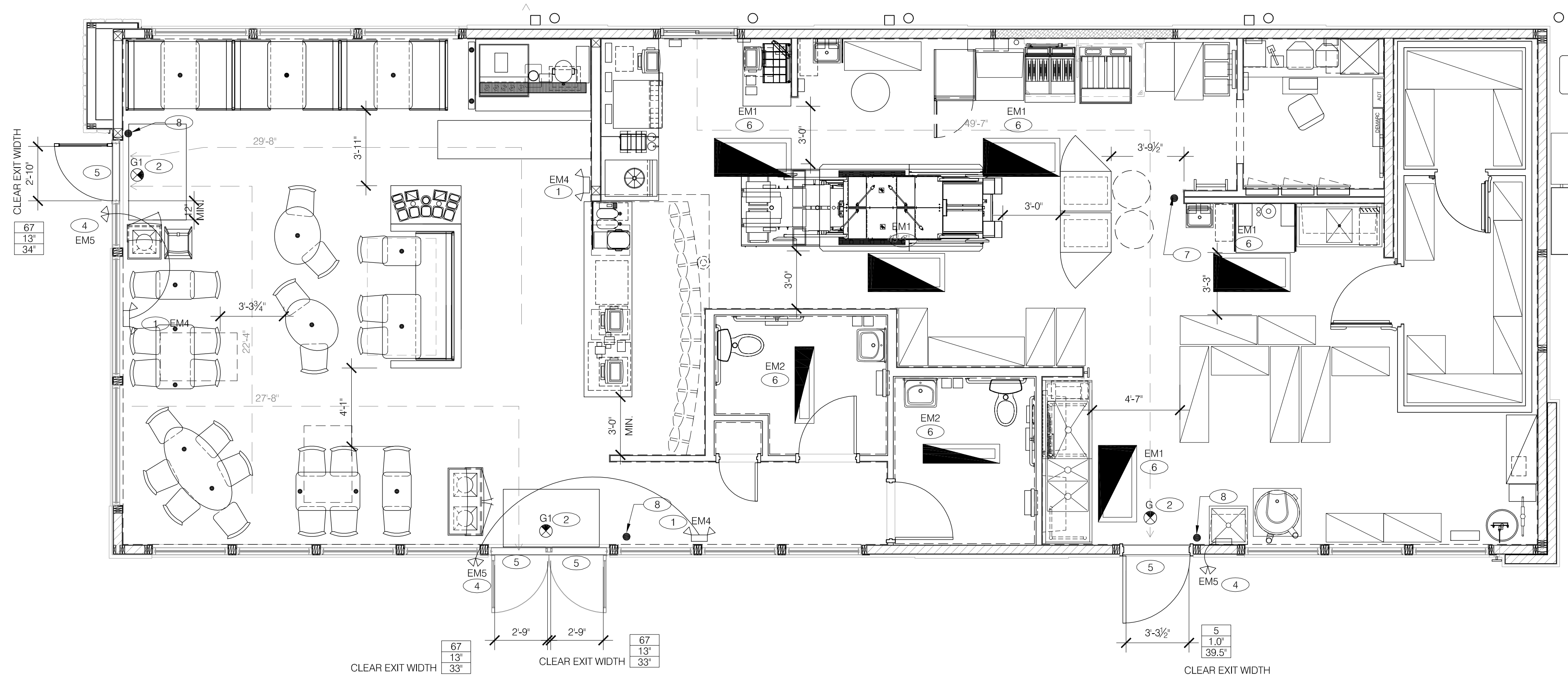
NOT USED N.T.S. **1**

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Fax: 864-242-4878
E-Mail: Carl@devitaleinc.com
DA/PROJECT: 1500226

DESIGNED BY: RPB
CHECKED BY: RAG
Professional Certification. I hereby certify that these documents were prepared or approved by me, and I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 29265
Expiration Date: 09/19/2017

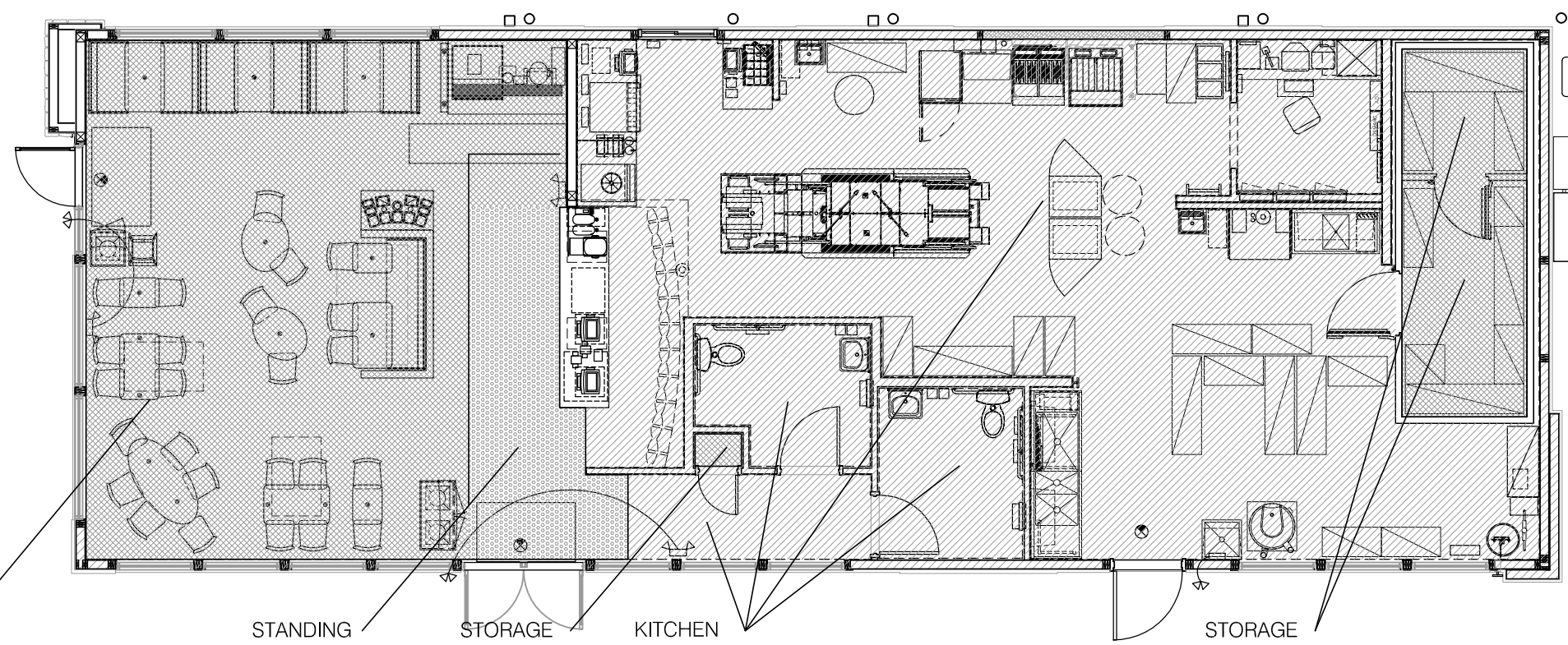
15025.000
ADDRESS CHANGE 01/04/2016
DATE: JULY 15, 2015
BUILDING TYPE: MED-40-MOD
PLAN VERSION: JUNE 2015
SITE NUMBER:
EMTT NUMBER:
1300 HOLLON LANE
TAKOMA PARK, MD 20912
LIVE MAS
MEDIUM-40 - MODIFIED
E7.0
ELECTRICAL DETAILS
PLOT DATE: 1-04-16



--- DENOTES ADA ACCESSIBLE SPACE

LEGEND	
7	# OCCUPANTS - EXIT FACTOR = 0.2
1.4'	EXIT WIDTH REQUIRED (OCC. X 0.2 EXIT FACTOR)
39.5'	EXIT WIDTH PROVIDED

12 11 10 9 8 7 6 5 4 3 2 1
FLOOR PLAN 1/4"=1'-0" **A**



GROSS FLOOR AREA: 2,063 S.F.

	AREA	ALLOWANCE	LOAD	EGRESS WIDTH PER OCCUPANT	EGRESS WIDTH REQUIRED	ACTUAL WIDTH SHOWN
ASSEMBLY UNCONCENTRATED	554 S.F.	1004.7 - FIXED SEATING	40 OCCUPANTS	.2'	32	34'
ASSEMBLY STANDING	102 S.F.	5 S.F./OCCUPANT	20 OCCUPANTS	.2'	32	34'
STORAGE	122 S.F.	500 S.F./OCCUPANT	1 OCCUPANTS	.2'	32	34'
KITCHEN COMMERCIAL CORRIDORS & RESTROOMS	1184 S.F.	200 S.F./OCCUPANT	6 OCCUPANTS	.2'	32	39.5"
TOTAL OCCUPANT LOAD			67 OCCUPANTS			

OCCUPANT LOAD **E**

- 1 EMERGENCY LIGHT FROG EYE
- 2 EXIT SIGN, LED UNIVERSAL MOUNT LED, CEILING MOUNT
- 3 EXIT SIGN, LED UNIVERSAL MOUNT LED, WALL MOUNT
- 4 REMOTE BATTERY PACK, WEATHERPROOF EXTERIOR EMERGENCY LIGHTS
- 5 DOORS WITH PANIC HARDWARE INSTALLED.
- 6 EMERGENCY BALLAST FLUORESCENT.
- 7 TYPE 'K' FIRE EXTINGUISHER.
- 8 TYPE 'ABC' FIRE EXTINGUISHER.

PLAN NOTES **B**

1. EXITS REQUIRED: 2 (2012 IBC 1015.1)
EXITS PROVIDED: 3
2. AISLE WIDTH REQUIRED: 36" MINIMUM CLEARANCE
MINIMUM AISLE WIDTH PROVIDED: 36"
3. COMMON PATH LIMIT: 75 L.F. (IBC 1014.3 & 1028.8)
COMMON PATH ACTUAL LENGTH: 49'-7"
4. TRAVEL DISTANCE LIMIT: 200 FT. (IBC TABLE 1016.1)
ACTUAL MAXIMUM TRAVEL DISTANCE: 49'-7"

NOT USED N.T.S. **D**

GENERAL NOTES **C**



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15025.000

- △ ADDRESS CHANGE
- △ 4.07.16 REVIEW COMMENTS
- △
- △
- △
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DATE: JULY 15, 2015
 BUILDING TYPE: MED-40-MOD
 PLAN VERSION: JUNE 2015
 SITE NUMBER: -----
 ENTITY NUMBER: -----

1300 HOLTON LANE
 TAKOMA PARK, MD 20912



LS1.0

PLOT DATE: 4-12-16

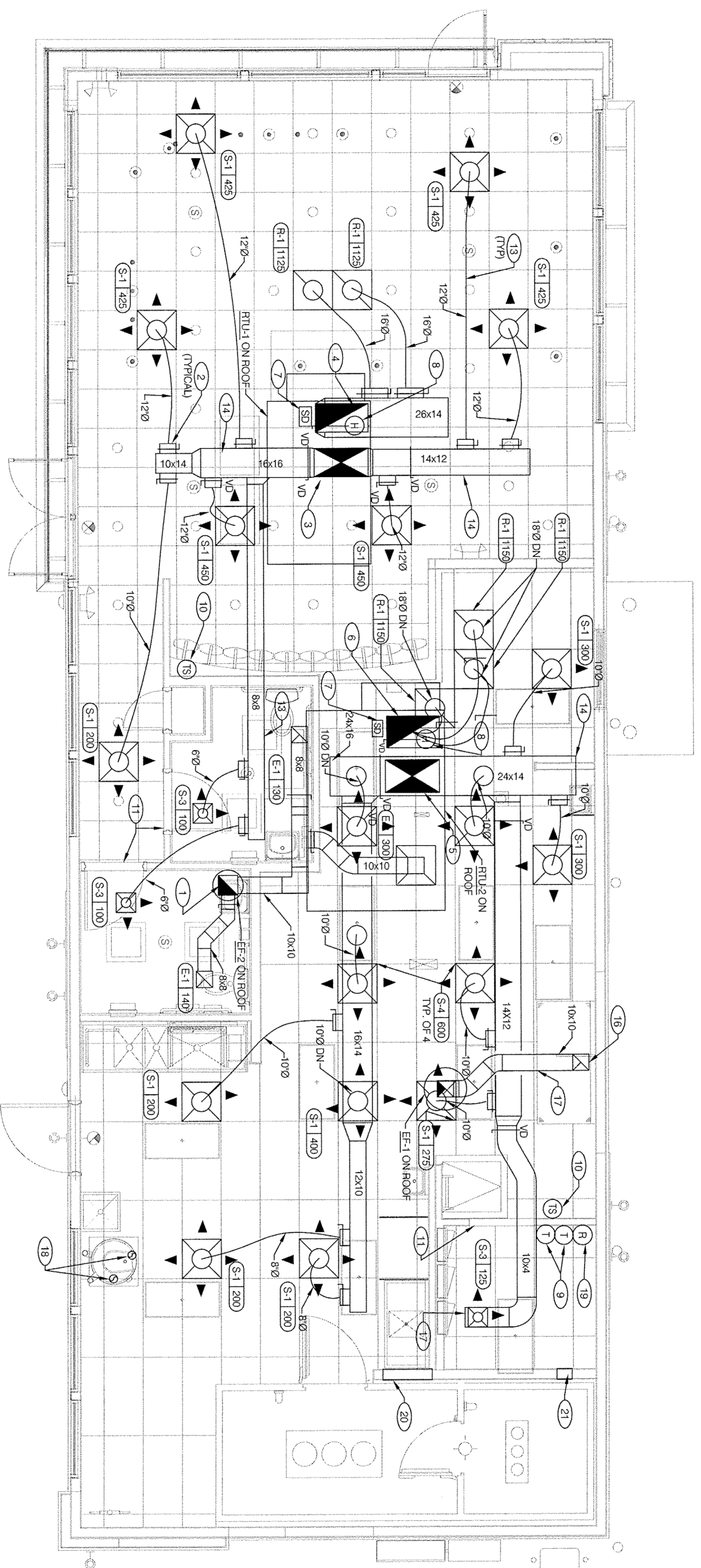


International Mechanical Code 2015
 606.2.1 Return air systems: Smoke detectors shall be installed in return air systems with a design capacity greater than 2,000 cfm (0.9 m3/s). In the return air duct or plenum upstream of any filters, exhaust air connections, outdoor air connections, or decontamination equipment and appliances.
 [F] 606.3 Installation. Smoke detectors required by this section shall be installed in accordance with NFPA 72. The required smoke detectors shall be installed to monitor the entire airflow conveyed by the system including return air and exhaust or relief air. Access shall be provided to smoke detectors for inspection and maintenance.
 [F] 606.4 Controls operation. Upon activation, the smoke detectors shall shut down all operational capabilities of the air distribution system in accordance with the listing and labeling of appliances used in the system. Air distribution systems that are part of a smoke control system shall switch to the smoke control mode upon activation of a detector.
 NFPA 90A 2012
 6.4.2.1 Smoke detectors listed for use in air distribution systems shall be located as follows:
 (1) Downstream of the air filters and ahead of any branch connections in air supply systems having a capacity greater than 944 L/sec (2000 ft3/min)

MECHANICAL PLANS RELEASED
 SUBJECT TO FIELD
 INSPECTION AND APPROVAL

FIRE SUPPRESSION SYSTEMS ARE NOT
 INCLUDED WITH THIS APPLICATION

A MECHANICAL PRE-CONSTRUCTION
 MEETING IS REQUIRED BEFORE
 INSTALLATION OF ALL HOOD SYSTEMS



DUCT AND DIFFUSER PLAN 1/4" = 1'-0"

1. DINING ROOM LIGHT FIXTURE LOCATIONS ARE CRITICAL. COORDINATE LOCATIONS WITH LIGHT FIXTURE CONTRACTOR. SEE SCHEDULE 1M10 FOR FIXTURE CONDITIONS.
2. THERMOSTATS SHALL BE PROGRAMMABLE THERMOSTAT WITH SQUEEZE REMOTE AND REMOTE THERMOSTAT SENSORS (PROVIDED WITH TRANE PACKAGES).
3. HUMIDITY SENSOR LOCATION IS VARIABLE PER SITE SPECIFIC CONDITIONS. REFER TO TRANE UNIT SCHEDULE 1M10 FOR FIXTURE LOCATION CONDITIONS.
4. COORDINATE DUCTWORK LOCATIONS WITH LIGHTING AND STRUCTURAL.

- 1 12x12 EXHAUST AIR DUCT UP THROUGH ROOF TO EF-2.
- 2 SEE DETAIL 8 ON DRAWING M4.0 FOR SUPPLY AIR TAKE-OFF TO CEILING DIFFUSERS.
- 3 RETURN OR EXHAUST AIR TAKE-OFFS SHALL BE SIMILAR.
- 4 34x14 SUPPLY AIR DUCT UP. CONNECT TO SUPPLY AIR PLENUM AT ROOFTOP UNIT RTU-1.
- 5 34x18 RETURN AIR DUCT UP. CONNECT TO RETURN AIR PLENUM AT ROOFTOP UNIT RTU-1.
- 6 34x20 SUPPLY AIR DUCT UP. CONNECT TO SUPPLY AIR PLENUM AT ROOFTOP UNIT RTU-2.
- 7 34x20 RETURN AIR DUCT UP. CONNECT TO RETURN AIR PLENUM AT ROOFTOP UNIT RTU-2.
- 8 FURNISH AND INSTALL SMOKE DETECTOR IN THE RETURN AIR DUCT. IN ACCORDANCE WITH LOCAL CODES. DUCT SMOKE DETECTOR WIRING BY ELECTRICAL CONTRACTOR. SEE SHEET E32.
- 9 HUMIDITY SENSOR (REMOTE). HUMIDITY SENSOR LOCATION SHALL BE PLACED IN RETURN AIR DUCTWORK. VERIFY EXACT LOCATION. SEE RM4.0.
- 10 LOCATE THERMOSTAT CONTROLS ON WALL IN OFFICE AT 48" A.F.F. COORD LOCATION WITH LIGHT SWITCHES.
- 11 MOUNT THERMOSTAT REMOTE SENSOR AT 60" ABOVE FINISHED FLOOR.
- 12 UNDERCUT RESTROOM DOORS AND OFFICE DOOR MIN. 3/4" FOR MAKE-UP AIR. NOT USED.

- 13 RUN DUCT THROUGH OPEN WEIRING OF ROOF JOISTS (WHERE POSSIBLE). COORDINATE WITH TRUSS DESIGN PRIOR TO DUCTWORK FABRICATION.
- 14 RUN DUCTWORK BETWEEN JOISTS AS HIGH AS POSSIBLE UNDER ROOF JOISTS. NOT USED.
- 15 10x14 EXHAUST AIR DUCT DOWN AND TRANSITION TO 10" R.D. CUT EXHAUST CONNECTION AT HOOD. EXHAUST DUCT SHALL RUN BETWEEN ROOF JOISTS TO DETAIL 15 ON SHEET M4.0 FOR THE PROTECTION OF DUCTWORK. SEE DETAIL 18 ON SHEET M4.0 FOR EXHAUST DUCT TRANSITION.
- 16 EXHAUST DUCTWORK RUN UP BETWEEN ROOF JOISTS AND THROUGH OPEN WEIRING (IF NEEDED) TO EF-1.
- 17 FURNISH AND INSTALL 3" PVC WATER HEATER INTAKE AND FLEE VENT TERMINATION ON ROOF. COORDINATE WORK WITH ALL TRADES.
- 18 NEW SMOKE DETECTOR RESET SWITCH WITH KEY. MFR. IS SYSTEM SENSOR MODEL # RT5151 KEY MOUNT NEXT TO THERMOSTATS @ 48" A.F.F. - INSTALL PER MFR. SPECIFICATIONS.
- 19 ACCESS OPENING TO SPACE ABOVE WALK-IN. SEE SHEET A7.1.
- 20 AIR TRANSFER GRILLS. SEE SECTION 7B ON SHEET A5.2.
- 21 NOT USED.

NOT USED

GENERAL NOTES

E

KEY NOTES

B

1-04-16

1300 HOLLTON LANE
 TAKOMA PARK, MD 20912

LIVE MAS
 MECHANICAL
 DIFFUSER AND
 DUCT PLAN

M2.0

DATE: JULY 15, 2015
 BUILDING TYPE: MED-40-MCD
 PLAN VERSION: JUNE 2015
 SITE NUMBER:
 ENTRY NUMBER:

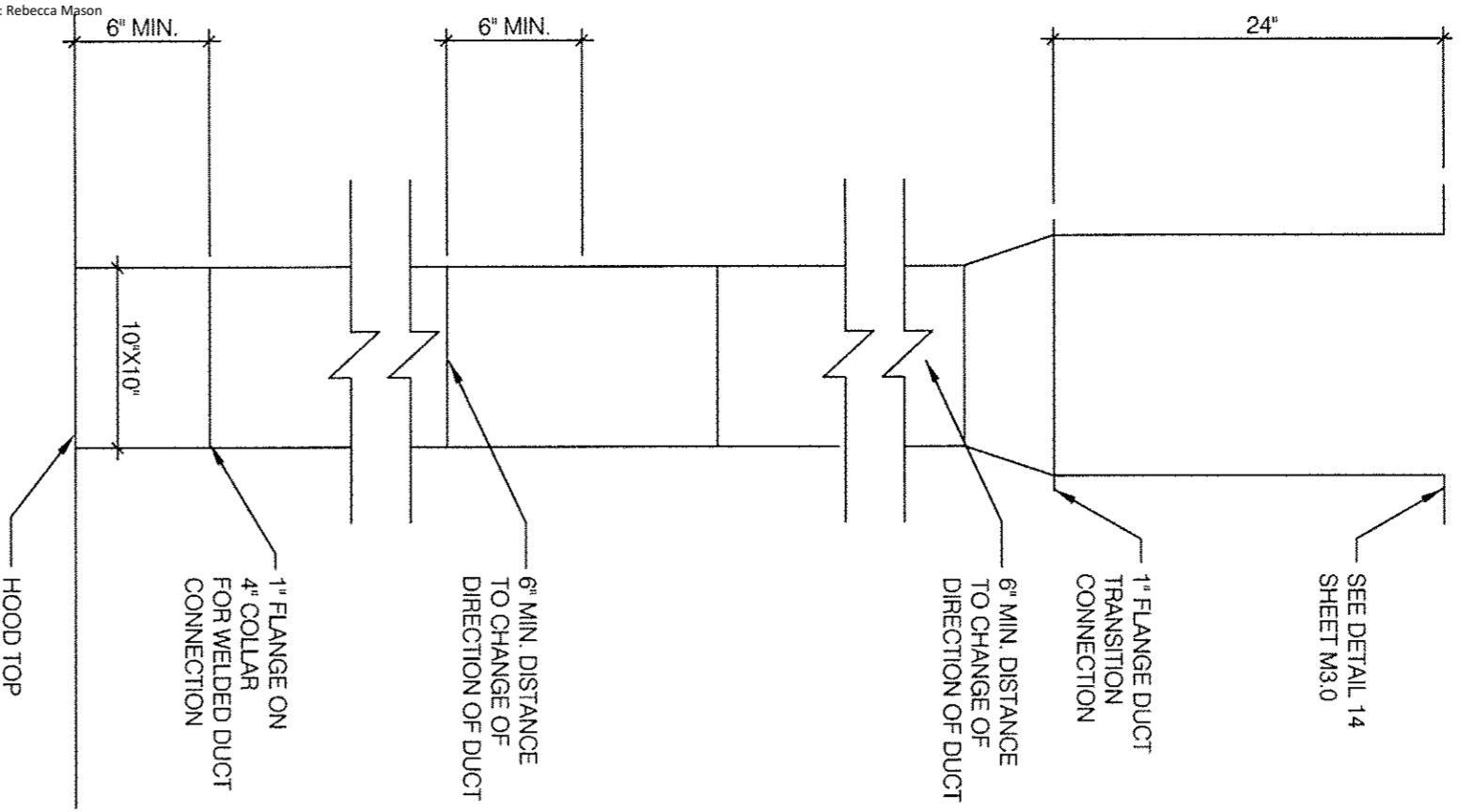
ADDRESS CHANGE 01/04/2016
 15025.000

DESIGNED BY: MAS
 CHECKED BY: AMP
 Professional Certification. I hereby certify that the above information was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. Expiration Date: 01/02/2017

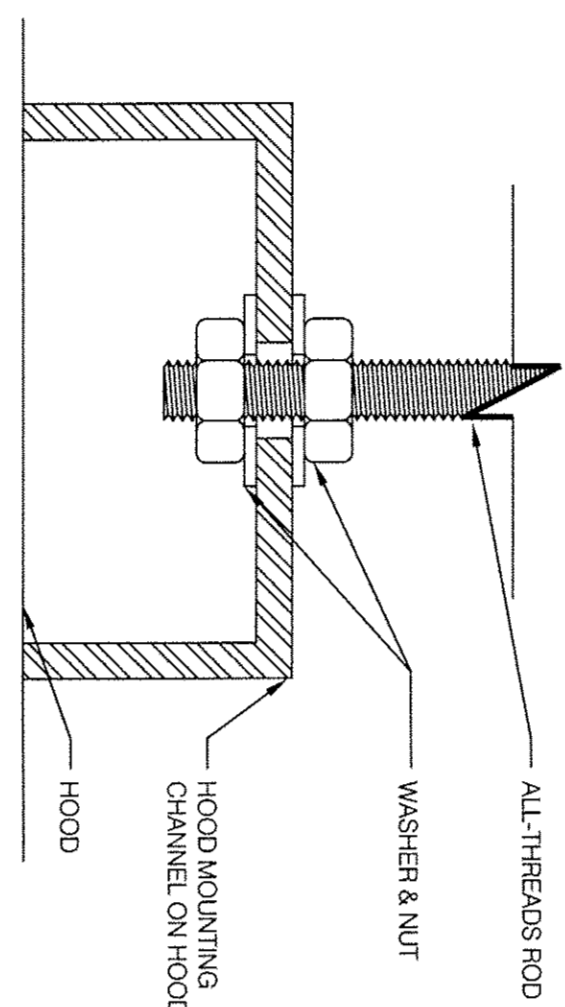
DAI/PROJECT: 15002-26

DEVITA & ASSOCIATES
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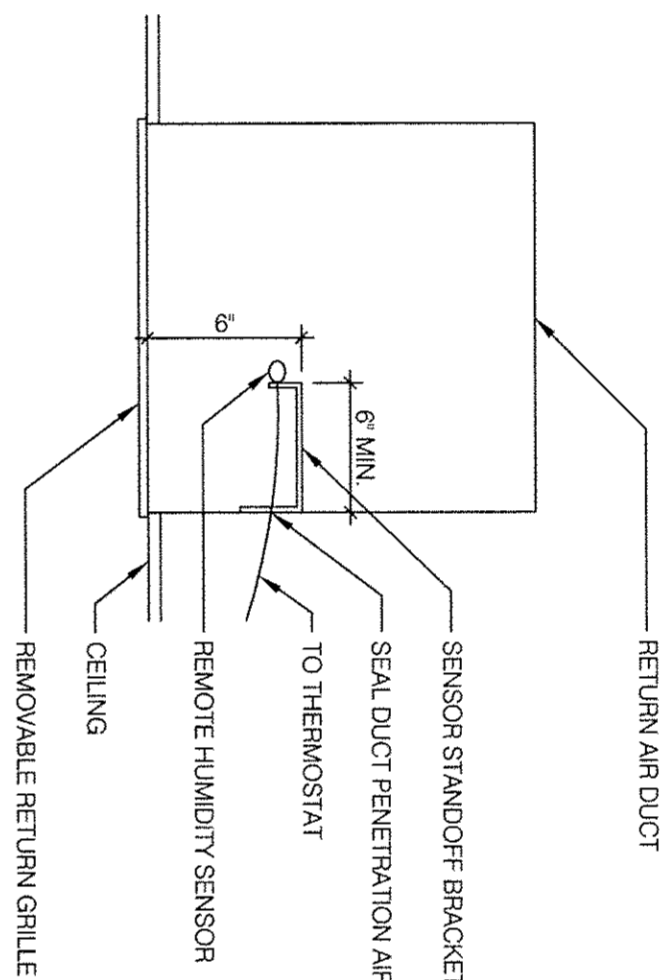


TB HOOD DUCT TRANSITION N.T.S. **18**



BOLT CONNECTION TO HOOD N.T.S. **14**

NOT USED **13**

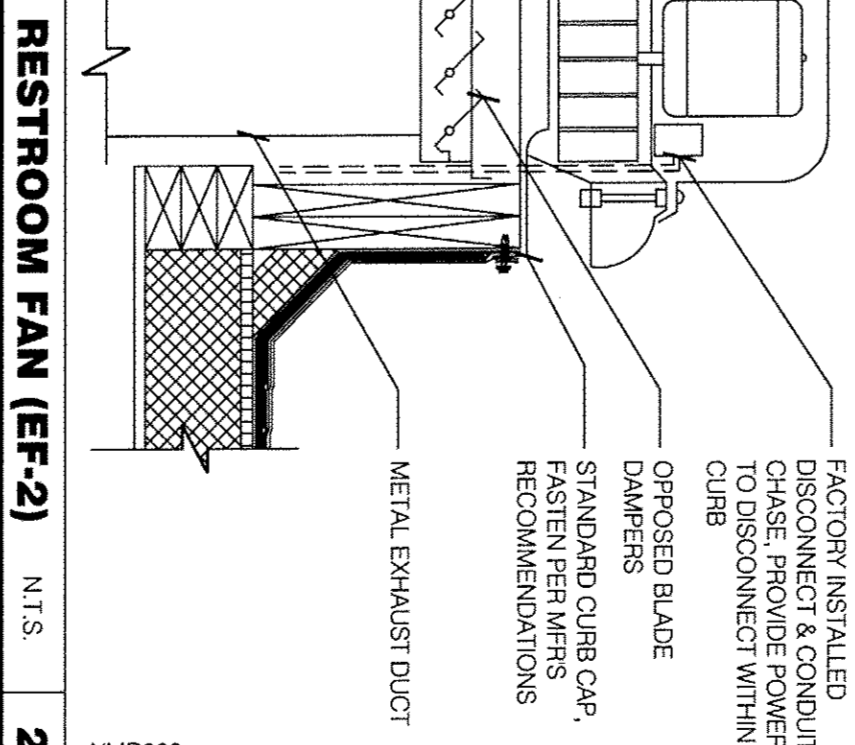


REMOTE HUMIDITY SENSOR N.T.S. **9**

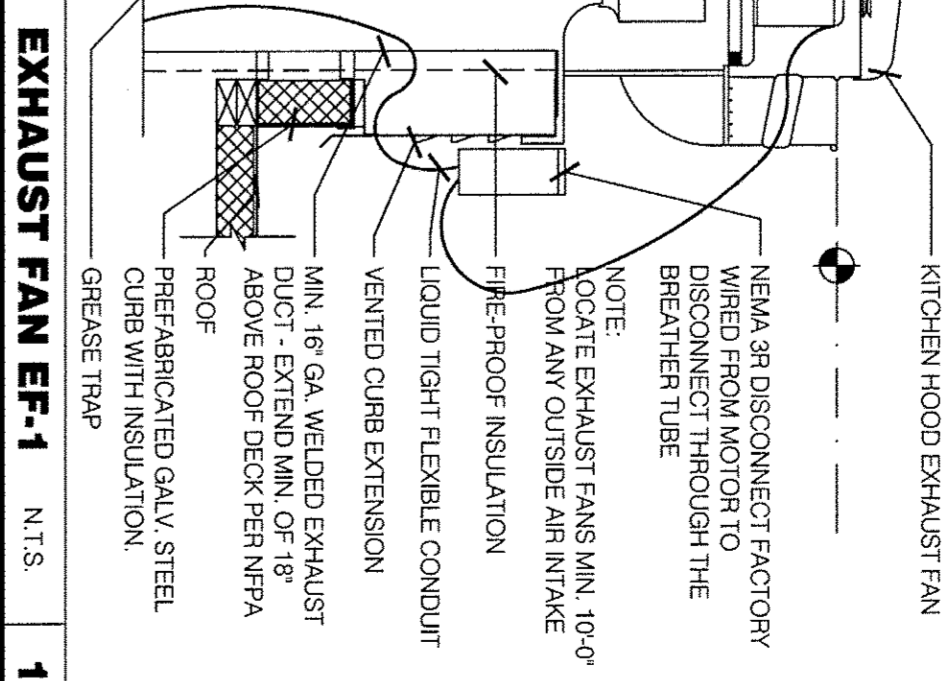
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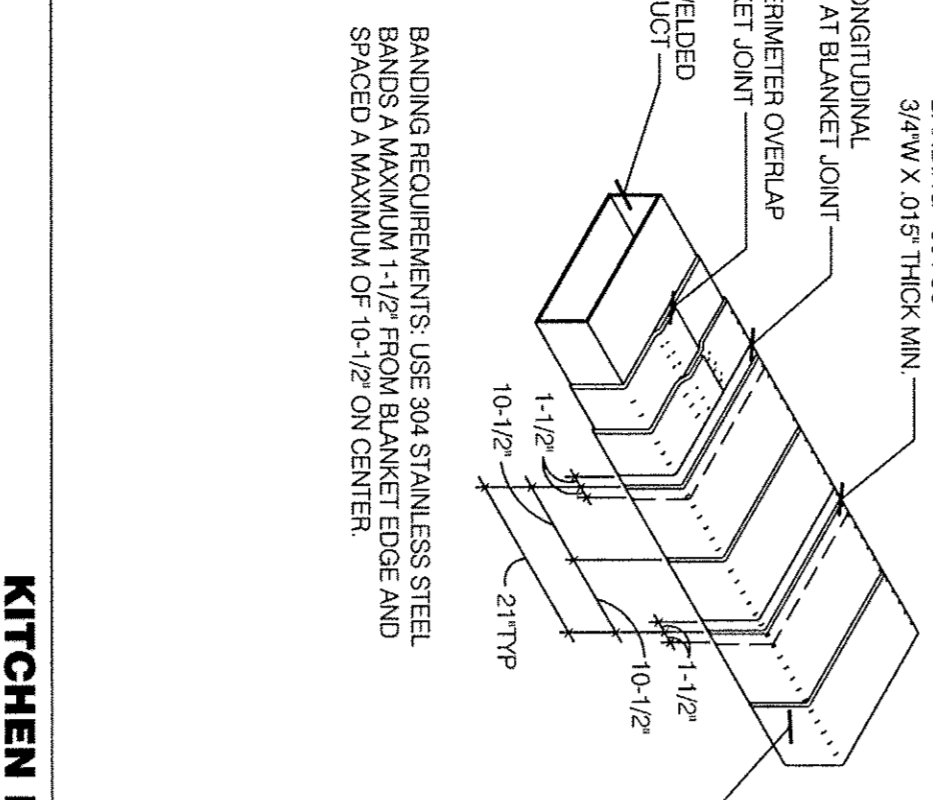
NOT USED **6**



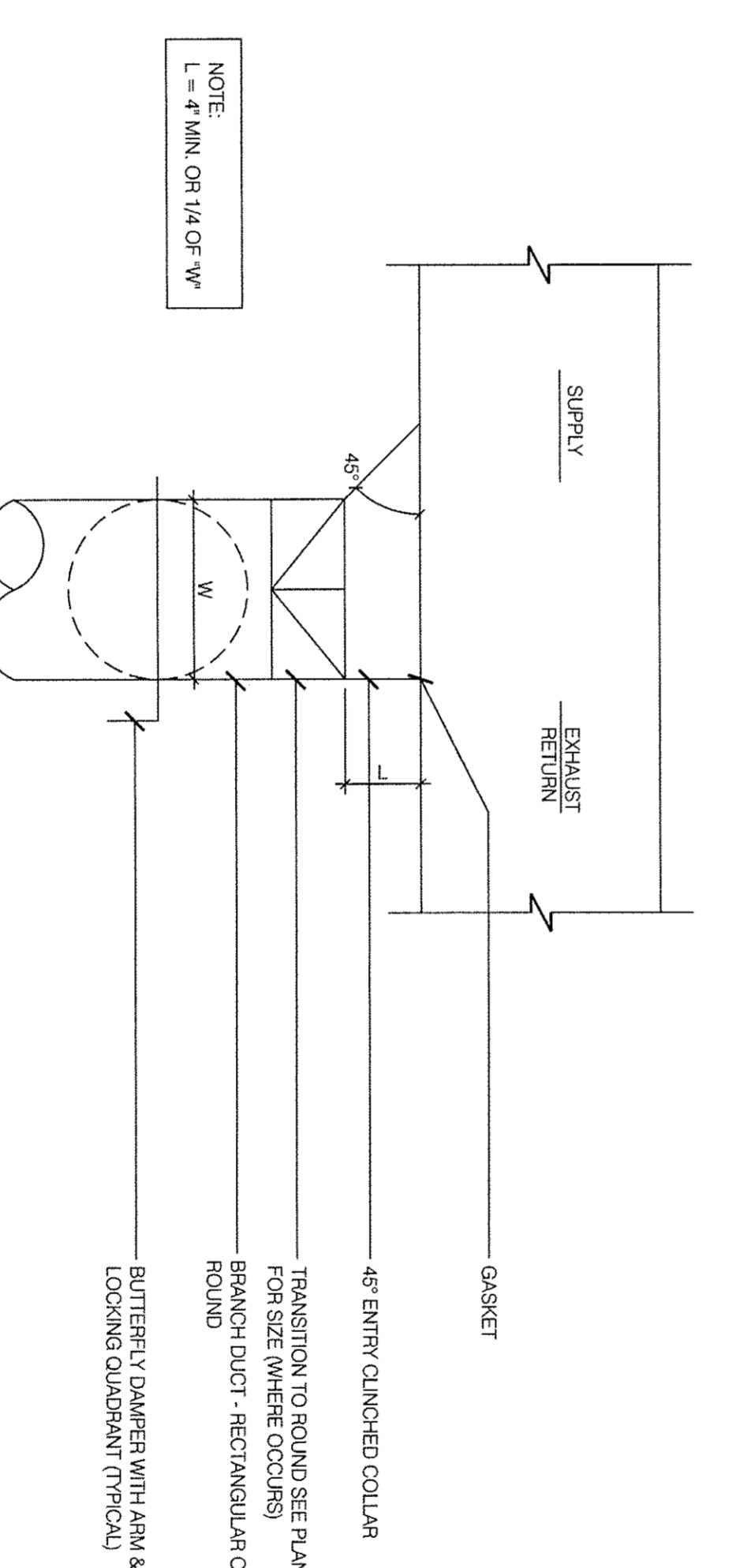
RESTROOM FAN (EF-2) N.T.S. **2**



EXHAUST FAN EF-1 N.T.S. **1**



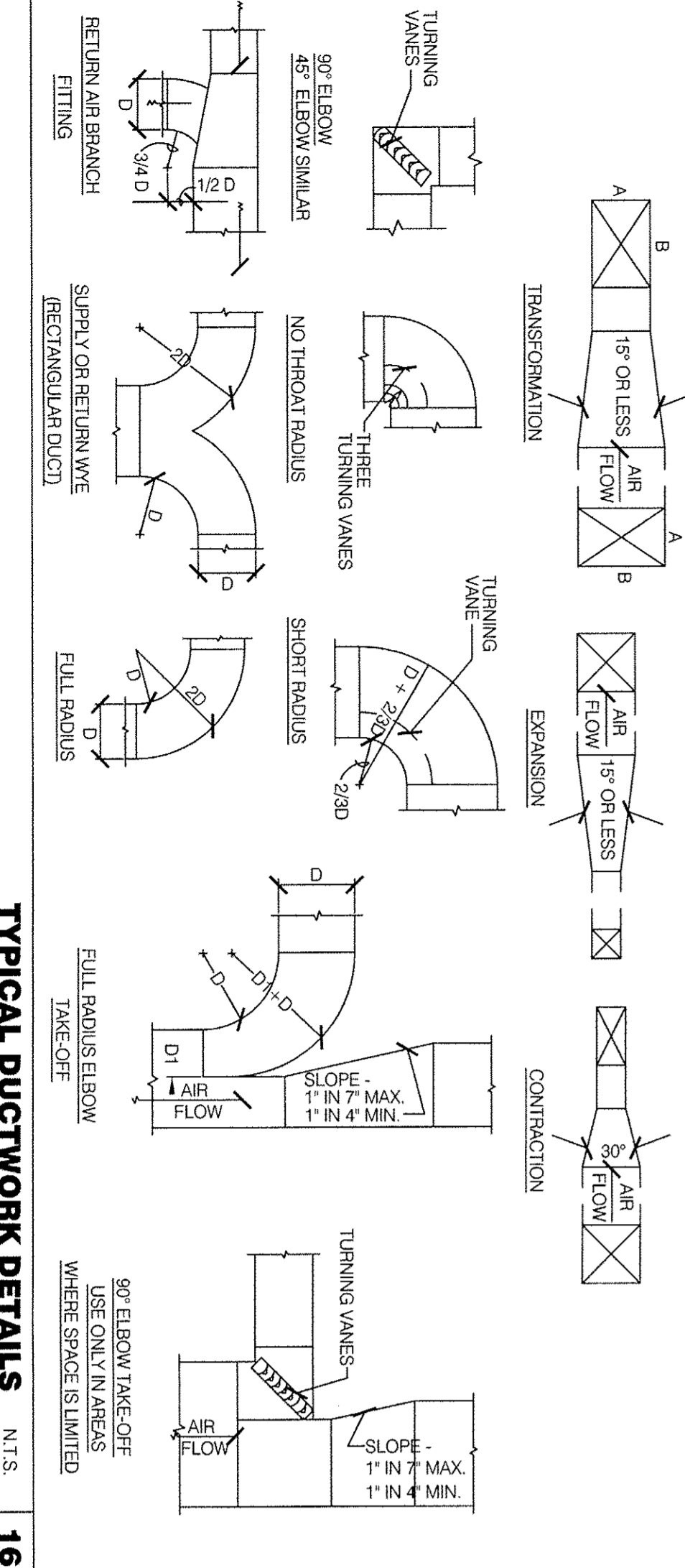
KITCHEN HOOD EXHAUST DUCT SYSTEM DETAIL N.T.S. **15**



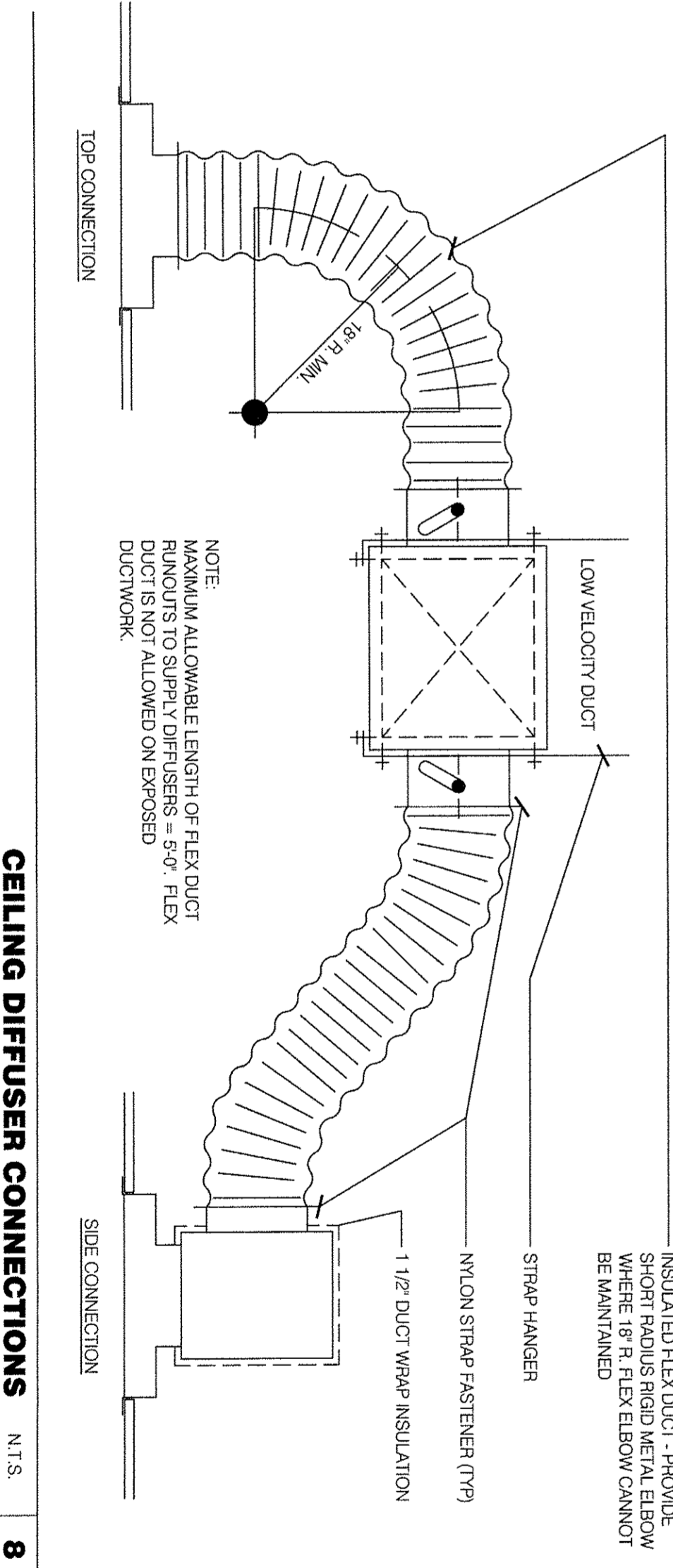
CEILING DIFFUSER CONNECTIONS N.T.S. **8**

NOT USED **6**

DATE:	JULY 15, 2015
BUILDING TYPE:	MED-4-MOD
PLAN VERSION:	JUNE 2015
SITE NUMBER:	
ENTRY NUMBER:	



TYPICAL DUCTWORK DETAILS N.T.S. **16**



CEILING DIFFUSER CONNECTIONS N.T.S. **8**

HOOD NOTES AND SPECS (TYP.)

- Hoods shall be constructed of minimum 20 gauge stainless steel with # 3 1/8 gauge aluminum steel.
- UL classified aluminum or stainless steel built-in type filters shall be gasketed through their drains to a removable stainless steel grease cup.
- UL listed and NSF approved vapor proof translucent light fixtures are wired to junction box at top of hood in accordance with NEC 70.
- Pipe-pipe for suspension systems shall be located on the top of the hood and extend to a slope to a grease cup to be locally supported and inspected.
- Hoods shall be fabricated in accordance with NSF 3A and NSF 3B and shall bear the NSF seal of approval. Hoods shall be listed under UL 710 EXHAUST HOODS FOR COMMERCIAL COOKING EQUIPMENT. Certified by ETL under FILE# 355484-001.

THIS HOOD DESIGN IS BASED UPON STRATTON VENTILATION HOODS MANUFACTURED BY: STRATTON VENTILATION HOODS PALEIGH, NC 27916 CONTACT: JEFF JOHNSON, 251-480-9114

NSF

MPA INTERNATIONAL

NOT USED **4**

DESIGNED BY: MAS
CHECKED BY: AMP
Professional Certification
I hereby certify that these documents were prepared and approved by me as a duly licensed professional engineer under the laws of the State of Maryland License No. A5220 01/02/2017

DAI PROJECT: 15002-26

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1300 HOTTON LANE
PARKDA PARK, MD 20912

LIVE MAS
MED/4-MODIFIED

MECHANICAL AND HOOD DETAILS
M4.0
H04-16



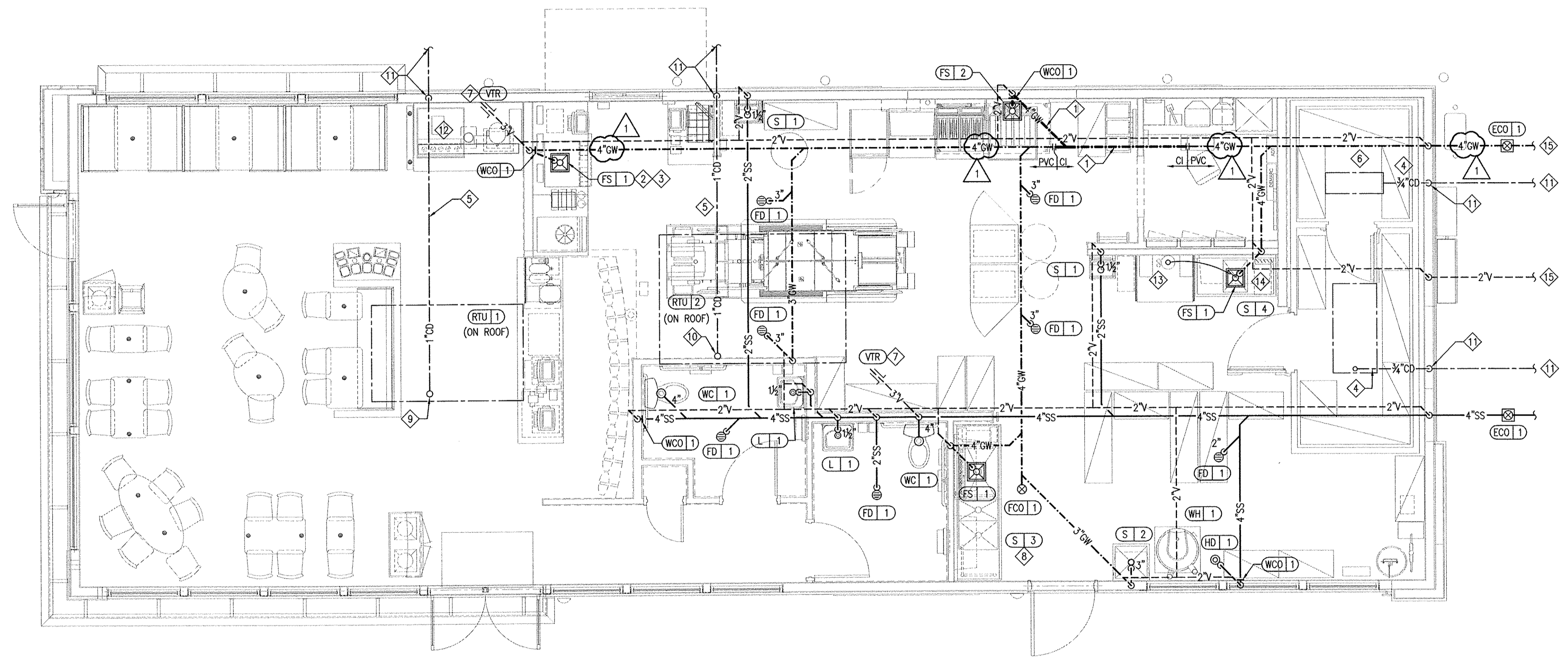
APPROVED
 Department of Permitting Services
 Permit # COMBUILD-742502
 Date 09/21/16
 Stamped By: Rebecca Mason

MARK	FIXTURE/EQUIPMENT	QUANTITY	WASTE	
			WASTE F.U. PER FIXTURE	TOTAL F.U. PER FIXTURE
FD-1	FLOOR DRAIN	3	2.0	6.0
HD-1	HUB DRAIN	1	2.0	2.0
WC-1	ADA WATER CLOSET	2	4.0	8.0
L-1	LAVATORY	2	1.0	2.0
S-1	HAND SINK	2	2.0	4.0
TOTALS			22.0	

MAXIMUM WASTE DEMAND AT 22.0 F.U. = 4" SANITARY SEWER WASTE

MARK	FIXTURE/EQUIPMENT	QUANTITY	WASTE	
			WASTE F.U. PER FIXTURE	TOTAL F.U. PER FIXTURE
FD-1	FLOOR DRAIN	4	3.0	12.0
FS-1	FLOOR SINK	3	3.0	9.0
FS-2	FLOOR SINK	1	3.0	3.0
S-2	MOP SINK	1	5.0	5.0
TOTALS			29.0	

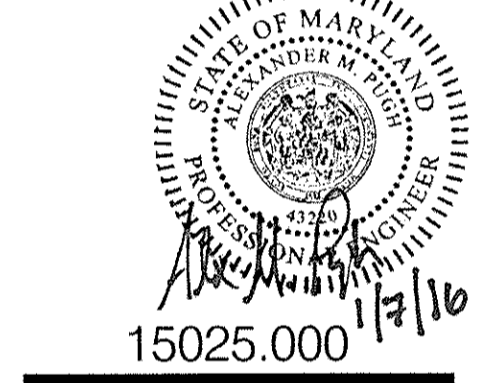
MAXIMUM WASTE DEMAND AT 29.0 F.U. = 4" GREASE WASTE



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 FAX: 864-242-4878
 E-Mail: Corp@devitainc.com

DAI PROJECT: 15002-26
 DESIGNED BY: MAS
 CHECKED BY: AMP
 Professional Certification.
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland License No. 43220
 Expiration Date: 01/02/2017



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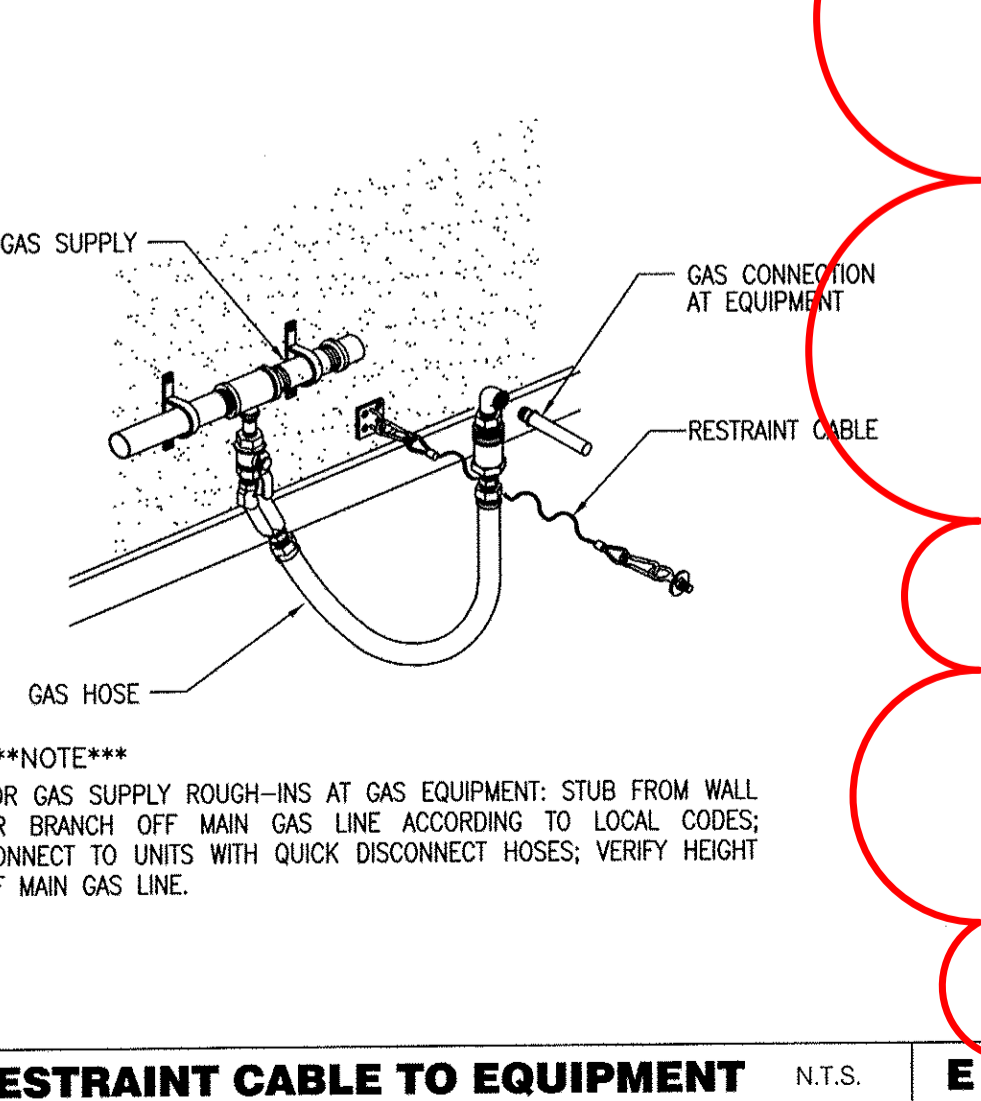
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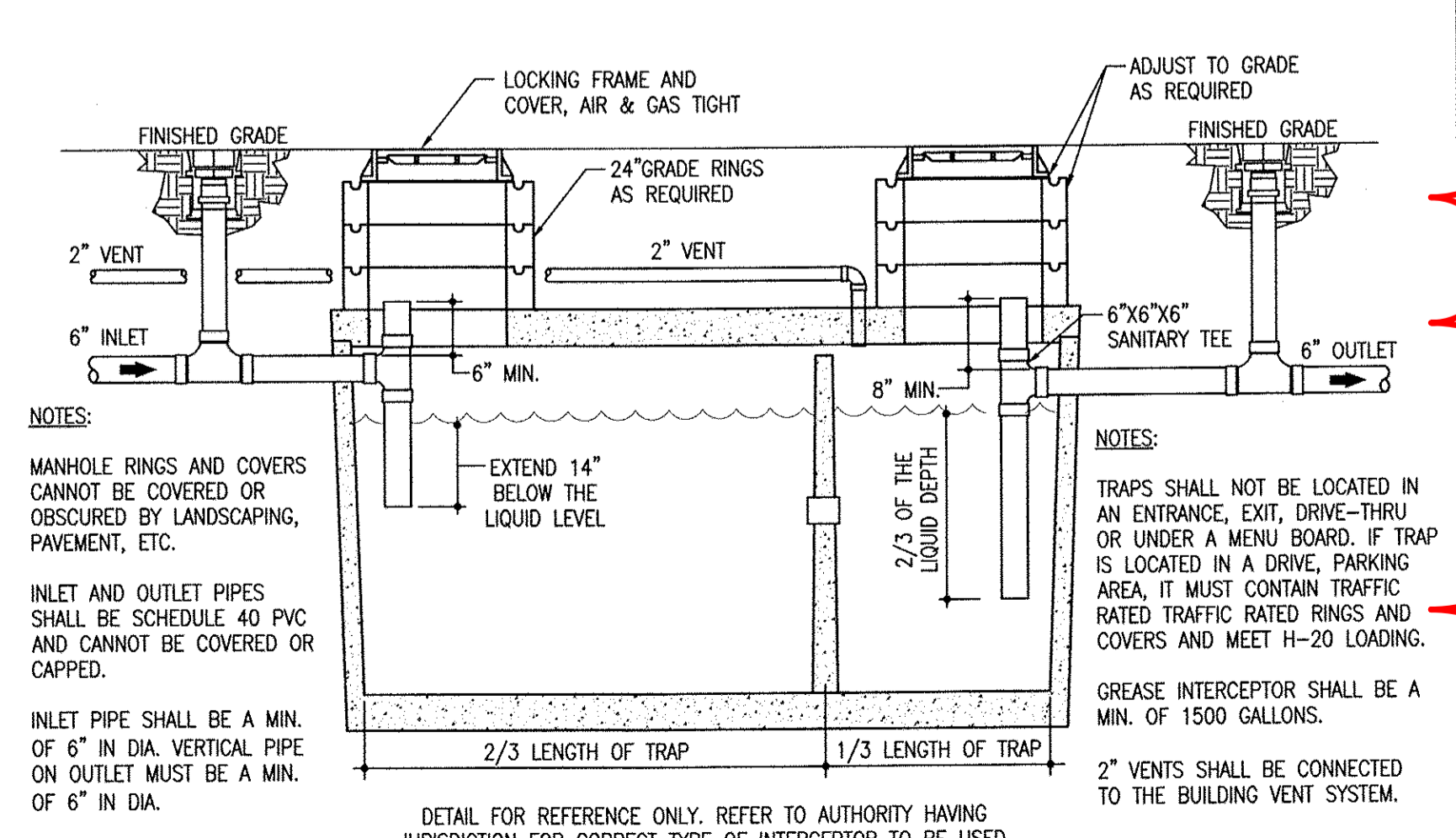
PLUMBING WASTE FLOOR PLAN

P2.0
 PLOT DATE: 1-07-16

WASTE & VENT PLAN 1/4"=1'-0" A



RESTRAINT CABLE TO EQUIPMENT N.T.S. E



GREASE INTERCEPTOR DETAIL N.T.S. D

- WASTE & VENT PLAN NOTES C
- A. NOTIFY GENERAL CONTRACTOR OF PENETRATIONS THROUGH ROOF MEMBRANE. REFER TO ROOF PLAN FOR LOCATIONS.
 - B. REFER TO RISER DIAGRAM ON SHEET P5.0 FOR ALL WASTE AND VENT SIZES.
 - C. SEE ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATIONS.
 - D. VERIFY WITH THE LOCAL BUILDING AUTHORITY THAT CONDENSATE DRAINAGE CAN BE ROUTED TO THE MOP SINK.

- 1 UNDERGROUND GREASE WASTE PIPE SHALL BE HUB CAST IRON PIPE FOR THE FIRST 10 FEET FROM CONNECTION TO FLOOR SINK FS-2, OUTWARD.
- 2 PROVIDE CONDENSATE LINE AND DRAIN LINE FROM ICE MACHINE TO FLOOR SINK, PROVIDE AIR GAP PER LOCAL CODE.
- 3 PROVIDE WASTE LINES FROM BEVERAGE UNIT TO FLOOR SINK, PROVIDE AIR GAP PER LOCAL CODE.
- 4 PROVIDE 3/4" COPPER CONDENSATE FROM COOLER/FREEZER EVAPORATOR DRAIN PROVIDED BY VENDOR TO OUTFALL TO THE OUTSIDE (HEAT ROPE IS SUPPLIED WITH FREEZER CONDENSATE), PIPE 3/4" DRAIN FROM REVERSE OSMOSIS SYSTEM TO FLOOR SINK.
- 5 COPPER CONDENSATE DRAIN FROM HVAC UNITS ON ROOF, RUN ABOVE CEILING TO DRYWELL, PIPING SHALL SLOPE 1/4" PER FOOT AND SHALL BE INSULATED WITH 1" CLOSED CELLULAR INSULATION. REFER TO RISER DIAGRAM ON SHEET P5.0 FOR PIPE SIZES.
- 6 DRAIN LINES TO INLET OF EXTERIOR GREASE INTERCEPTOR AND OUTLET OF INTERCEPTOR TO CONNECTION AT SANITARY MAIN SHALL BE SCHEDULE 40 PVC DWV OR AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- 7 3" VENT UP THROUGH ROOF.
- 8 PIPE WASTE FROM 3-COMPARTMENT SINK TO FLOOR SINK WITH AIR GAP PER CODE.
- 9 1" CONDENSATE DRAIN DOWN FROM RTU-1. SEE DETAIL 13 ON DRAWING P6.0.
- 10 1" CONDENSATE DRAIN DOWN FROM RTU-2. SEE DETAIL 13 ON DRAWING P6.0.
- 11 2" CONDENSATE DRAIN PIPE DOWN TO DRYWELL. IF REQUIRED RUN CONDENSATE PIPING TO EXTERIOR DRYWELL, RETENTION AREA OR STORM SEWER AS DIRECTED BY THE AUTHORITY HAVING JURISDICTION.
- 12 RUN DRAIN LINE FROM S/S DRINK MACHINE THRU WALL OPENING. TO OUTFALL AT FLOOR SINK BENEATH D/T DRINK MACHINE.
- 13 3/4" DRAIN FOR REVERSE OSMOSIS.
- 14 PIPE WASTE FROM PREP SINK TO FLOOR SINK WITH AIR GAP PER CODE.
- 15 ROUTE TO GREASE INTERCEPTOR. SEE CIVIL DRAWINGS FOR EXACT LOCATION.

KEY NOTES B



SANITARY SEWER LOAD CALC.

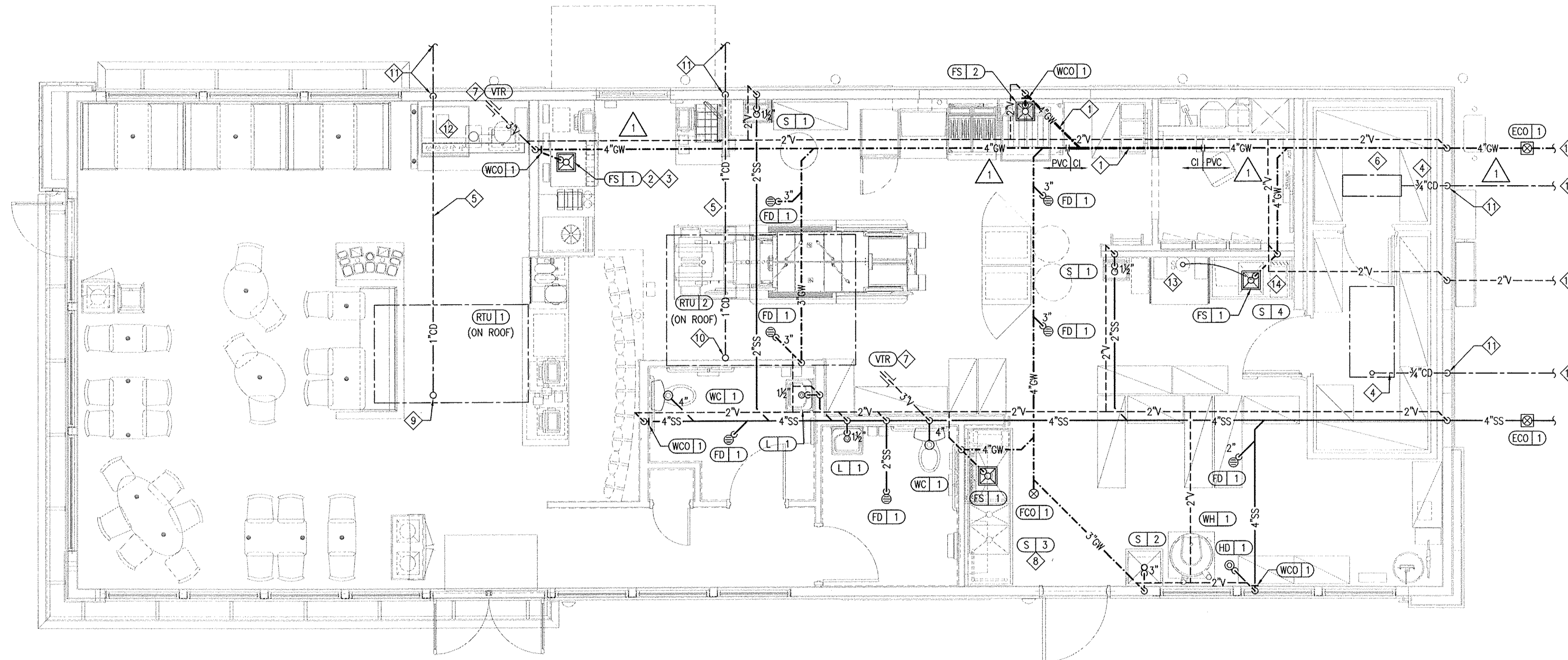
MARK	FIXTURE/EQUIPMENT	QUANTITY	WASTE	
			WASTE F.U. PER FIXTURE	TOTAL F.U. PER FIXTURE
FD-1	FLOOR DRAIN	3	2.0	6.0
HD-1	HUB DRAIN	1	2.0	2.0
WC-1	ADA WATER CLOSET	2	4.0	8.0
L-1	LAVATORY	2	1.0	2.0
S-1	HAND SINK	2	2.0	4.0
TOTALS			22.0	

MAXIMUM WASTE DEMAND AT 22.0 F.U. = 4" SANITARY SEWER WASTE

GREASE WASTE LOAD CALC.

MARK	FIXTURE/EQUIPMENT	QUANTITY	WASTE	
			WASTE F.U. PER FIXTURE	TOTAL F.U. PER FIXTURE
FD-1	FLOOR DRAIN	4	3.0	12.0
FS-1	FLOOR SINK	3	3.0	9.0
FS-2	FLOOR SINK	1	3.0	3.0
S-2	MOP SINK	1	5.0	5.0
TOTALS			29.0	

MAXIMUM WASTE DEMAND AT 29.0 F.U. = 4" GREASE WASTE



WASTE & VENT PLAN 1/4"=1'-0" **A**



DEVITA & ASSOCIATES
 PO Box 1596
 Greenville, SC 29602
 Phone: 864-232-6642
 FAX: 864-242-4878
 E-Mail: Corp@devita-inc.com

DAI PROJECT: 15002-26

DESIGNED BY: MAS
 CHECKED BY: AMP

Professional Certification.
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland License No. 29285
 Expiration Date: 06/10/2017



FOR REVISION 2 ONLY
 15025.000

- △ ADDRESS CHANGE 01.04.2016
- △ CIVIL COORDINATION 04.01.2016
- △
- △
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- △
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DATE: JULY 15, 2015
 BUILDING TYPE: MED-40-MOD
 PLAN VERSION: JUNE 2015
 SITE NUMBER: _____
 ENTITY NUMBER: _____

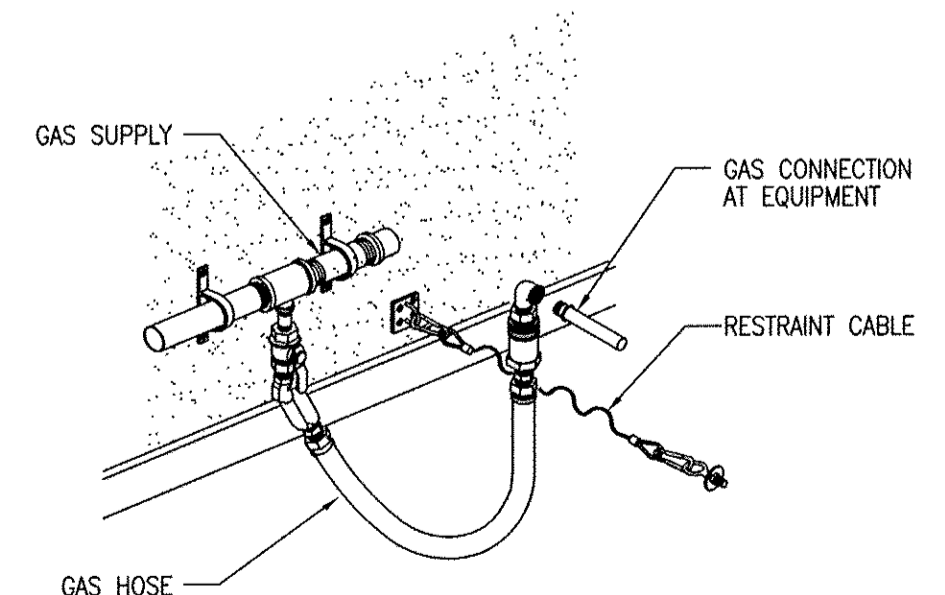
1300 HOLTON LANE
 TAKOMA PARK, MD 20912



PLUMBING WASTE FLOOR PLAN

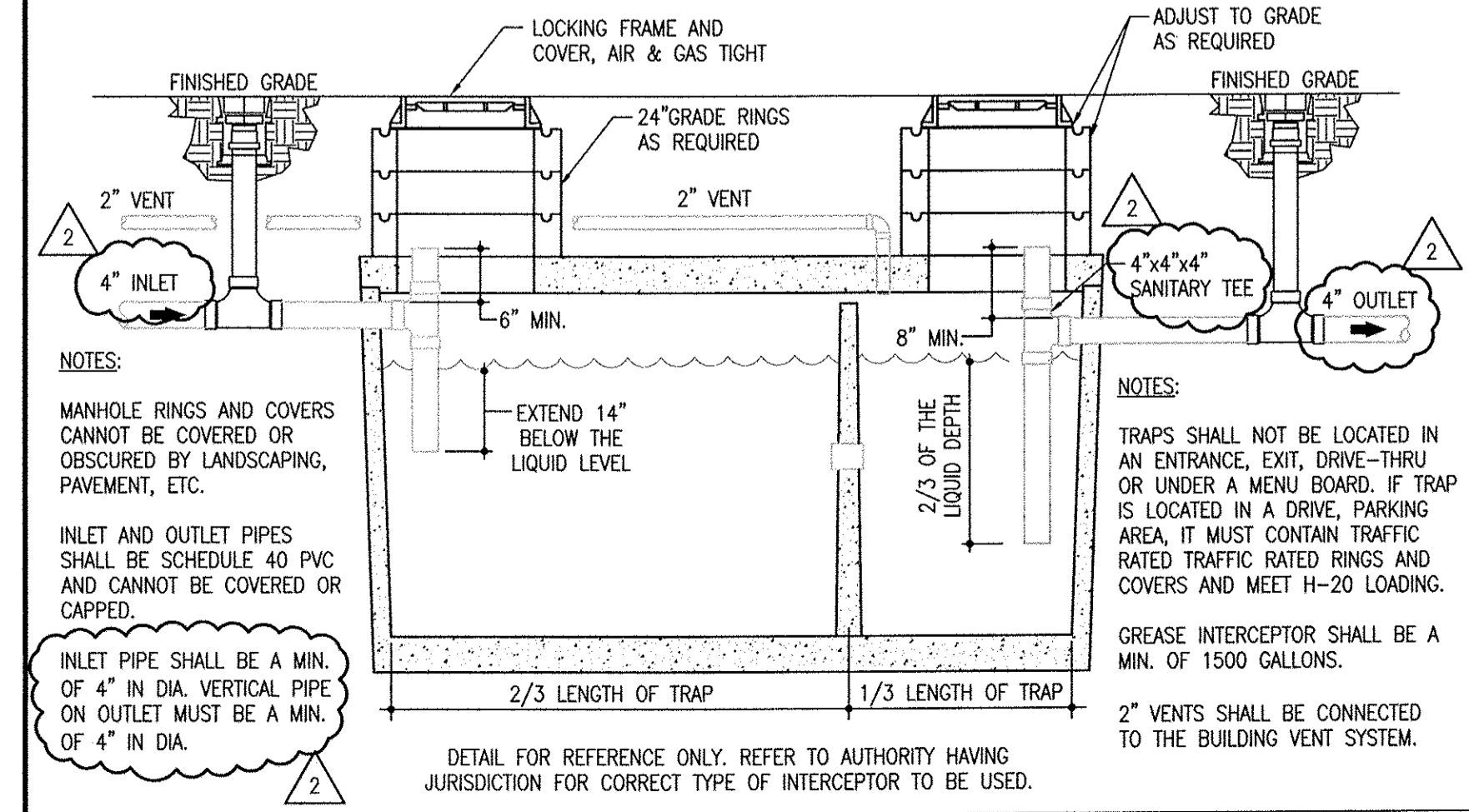
P2.0

PLOT DATE: 4-01-16



NOTE
 FOR GAS SUPPLY ROUGH-INS AT GAS EQUIPMENT; STUB FROM WALL OR BRANCH OFF MAIN GAS LINE ACCORDING TO LOCAL CODES; CONNECT TO UNITS WITH QUICK DISCONNECT HOSES; VERIFY HEIGHT OF MAIN GAS LINE.

RESTRAINT CABLE TO EQUIPMENT N.T.S. **E**



NOTES:
 MANHOLE RINGS AND COVERS CANNOT BE COVERED OR OBSCURED BY LANDSCAPING, PAVEMENT, ETC.
 INLET AND OUTLET PIPES SHALL BE SCHEDULE 40 PVC AND CANNOT BE COVERED OR CAPPED.
 INLET PIPE SHALL BE A MIN. OF 4" IN DIA. VERTICAL PIPE ON OUTLET MUST BE A MIN. OF 4" IN DIA.

NOTES:
 TRAPS SHALL NOT BE LOCATED IN AN ENTRANCE, EXIT, DRIVE-THRU OR UNDER A MENU BOARD. IF TRAP IS LOCATED IN A DRIVE, PARKING AREA, IT MUST CONTAIN TRAFFIC RATED TRAFFIC RATED RINGS AND COVERS AND MEET H-20 LOADING.
 GREASE INTERCEPTOR SHALL BE A MIN. OF 1500 GALLONS.
 2" VENTS SHALL BE CONNECTED TO THE BUILDING VENT SYSTEM.

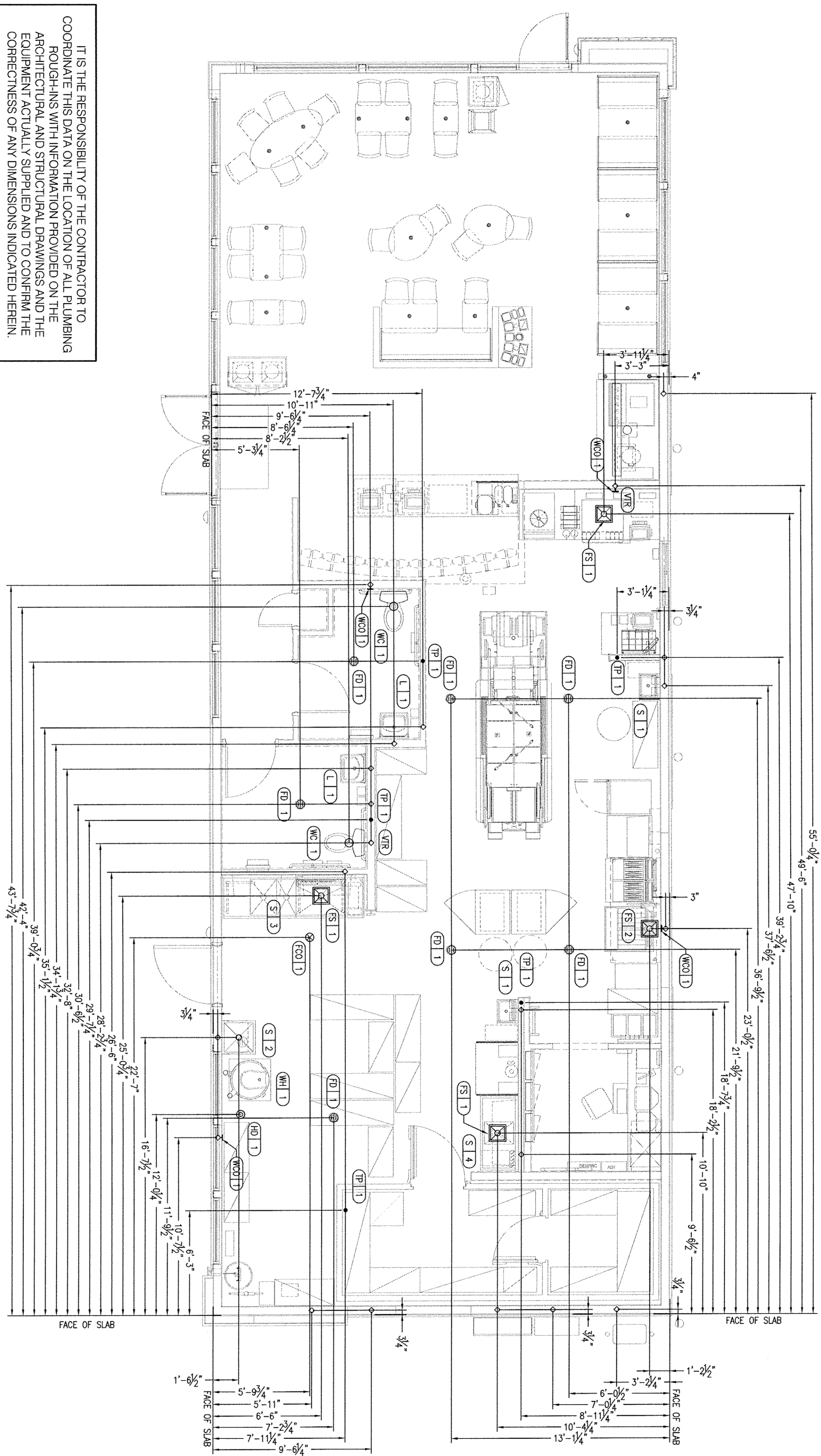
GREASE INTERCEPTOR DETAIL N.T.S. **D**

- A. NOTIFY GENERAL CONTRACTOR OF PENETRATIONS THROUGH ROOF MEMBRANE. REFER TO ROOF PLAN FOR LOCATIONS.
- B. REFER TO RISER DIAGRAM ON SHEET P5.0 FOR ALL WASTE AND VENT SIZES.
- C. SEE ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATIONS.
- D. VERIFY WITH THE LOCAL BUILDING AUTHORITY THAT CONDENSATE DRAINAGE CAN BE ROUTED TO THE MOP SINK.

WASTE & VENT PLAN NOTES **C**

- 1 UNDERGROUND GREASE WASTE PIPE SHALL BE HUB CAST IRON PIPE FOR THE FIRST 10 FEET FROM CONNECTION TO FLOOR SINK FS-2, OUTWARD.
- 2 PROVIDE CONDENSATE LINE AND DRAIN LINE FROM ICE MACHINE TO FLOOR SINK, PROVIDE AIR GAP PER LOCAL CODE.
- 3 PROVIDE WASTE LINES FROM BEVERAGE UNIT TO FLOOR SINK, PROVIDE AIR GAP PER LOCAL CODE.
- 4 PROVIDE 3/4" COPPER CONDENSATE FROM COOLER/FREEZER EVAPORATOR DRAIN PROVIDED BY VENDOR TO OUTFALL TO THE OUTSIDE (HEAT ROPE IS SUPPLIED WITH FREEZER CONDENSATE). PIPE 3/4" DRAIN FROM REVERSE OSMOSIS SYSTEM TO FLOOR SINK.
- 5 COPPER CONDENSATE DRAIN FROM HVAC UNITS ON ROOF, RUN ABOVE CEILING TO DRYWELL. PIPING SHALL SLOPE 1/4" PER FOOT AND SHALL BE INSULATED WITH 1" CLOSED CELLULAR INSULATION. REFER TO RISER DIAGRAM ON SHEET P5.0 FOR PIPE SIZES.
- 6 DRAIN LINES TO INLET OF EXTERIOR GREASE INTERCEPTOR AND OUTLET OF INTERCEPTOR TO CONNECTION AT SANITARY MAIN SHALL BE SCHEDULE 40 PVC DWV OR AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- 7 3" VENT UP THROUGH ROOF.
- 8 PIPE WASTE FROM 3-COMPARTMENT SINK TO FLOOR SINK WITH AIR GAP PER CODE.
- 9 1" CONDENSATE DRAIN DOWN FROM RTU-1. SEE DETAIL 13 ON DRAWING P6.0.
- 10 1" CONDENSATE DRAIN DOWN FROM RTU-2. SEE DETAIL 13 ON DRAWING P6.0.
- 11 2" CONDENSATE DRAIN PIPE DOWN TO DRYWELL. IF REQUIRED RUN CONDENSATE PIPING TO EXTERIOR DRYWELL, RETENTION AREA OR STORM SEWER AS DIRECTED BY THE AUTHORITY HAVING JURISDICTION.
- 12 RUN DRAIN LINE FROM S/S DRINK MACHINE THRU WALL OPENING, TO OUTFALL AT FLOOR SINK BENEATH D/T DRINK MACHINE.
- 13 3/4" DRAIN FOR REVERSE OSMOSIS.
- 14 PIPE WASTE FROM PREP SINK TO FLOOR SINK WITH AIR GAP PER CODE.
- 15 ROUTE TO GREASE INTERCEPTOR. SEE CIVIL DRAWINGS FOR EXACT LOCATION.

KEY NOTES **B**



IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THIS DATA ON THE LOCATION OF ALL PLUMBING ROUGH-INS WITH INFORMATION PROVIDED ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS AND THE EQUIPMENT ACTUALLY SUPPLIED AND TO CONFIRM THE CORRECTNESS OF ANY DIMENSIONS INDICATED HEREIN.

EQUIP #	EQUIPMENT ITEM	TYPE	ELEVATION	REMARKS
(S 1)	FLOOR SINK	W	+19' A.F.F.	
(S 2)	FLOOR SINK	W	+19' A.F.F.	
(FD 1)	HUB DRAIN	W	+16'-1/2" A.F.F.	WALL MOUNTED
(WH 1)	WATER HEATER	G	+15' A.F.F.	
(WH 2)	WATER HEATER	G	+15' A.F.F.	
(WC 1)	WATER CLOSET FLUSH VALVE	CW	+29' A.F.F.	BOTH HANDICAP AND REGULAR
(UR 1)	URINAL FLUSH VALVE	CW	+27' A.F.F.	WALL MOUNTED
(UR 2)	URINAL FLUSH VALVE	CW	+27' A.F.F.	WALL MOUNTED
(L 1)	LAVATORY	W	+20' A.F.F.	
(L 2)	LAVATORY	W	+16'-1/2" A.F.F.	
(RPO 1)	REVERSE OSMOSIS	CW	+8' A.F.F.	
(S 1)	HAND SINK	W	+18' A.F.F.	RM OF LAV @ +2'-8" A.F.F.
(S 2)	MOP SINK	CW/HW	+9' A.F.F.	RECESSED IN FLOOR
(S 3)	MOP SINK FAUCET	CW/HW	+12' A.F.F.	
(S 3)	3-COMPARTMENT SINK	W	+19' A.F.F.	CLOSET MOP SINK ONLY

EQUIP #	EQUIPMENT ITEM	TYPE	ELEVATION	REMARKS
(S 3)	3-COMPARTMENT SINK FAUCET	CW/HW	+19' A.F.F.	
(S 4)	FREP SINK	W	+19' A.F.F.	
(S 4)	FREP SINK FAUCET	CW/HW	+19' A.F.F.	
(WC 1)	WALL CLEAN OUT	CI	--	
(S 1)	ICE MAKER	FV	--	VIA SYRUP BUNDLE
(S 1)	REHEMATIZER	HW	+8' A.F.F.	
(S 1)	REHEMATIZER	G	+12' A.F.F.	
(S 1)	DOUBLE OPEN FRFR	G	+12' A.F.F.	
(S 1)	WATER FILTER SYSTEM	CW	+8' A.F.F.	INLET TO & OUTLET FROM FILTER
(S 1)	UTILITY CHASE FOR M.A.P.S. LINE	HW/HW	CLG	STUB AT CLG.
(S 1)	HOT WATER SYSTEM	CW	+24' A.F.F.	

PLUMBING ROUGH-IN SCHEDULE

- HOT WATER
- COLD WATER
- ◐ TEMPERED WATER
- ◑ GAS
- ⊖ FLOOR DRAIN
- ⊕ FLOOR SINK
- ⊖ HUB DRAIN
- ⊖ WASTE OUTLET
- FLOOR CLEANOUT
- WALL CLEANOUT
- FILTERED WATER
- VENT UP FROM UNDER SLAB
- WATER LINE THRU FLOOR

SYMBOL LEGEND

- PLUMBING ROUGH-IN PLAN** 1/4" = 1'-0"
- ALL DIMENSIONS TO FLOOR SINKS, FLOOR DRAINS AND HUB DRAINS ARE TO CENTER OF FIXTURE.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THIS DATA ON THE LOCATION OF ALL PLUMBING ROUGH-INS WITH INFORMATION PROVIDED ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS AND THE EQUIPMENT ACTUALLY SUPPLIED AND TO CONFIRM THE CORRECTNESS OF ANY DIMENSIONS INDICATED HEREIN.
- * CHILLED & FILTERED.

PLUMBING ROUGH-IN NOTES

1800 HOLLON LANE
RACONIA PARK, MD 20912

LIVE MAS
MEDULI40 - MODIFIED

PLUMBING ROUGH-IN FLOOR PLAN

P4.0

DATE: JULY 15, 2015
BUILDING TYPE: MED-40-MOD
PLAN VERSION: JUNE 2015
SITE NUMBER:
ENTRY NUMBER:

ADDRESS CHANGE 01/04/2016

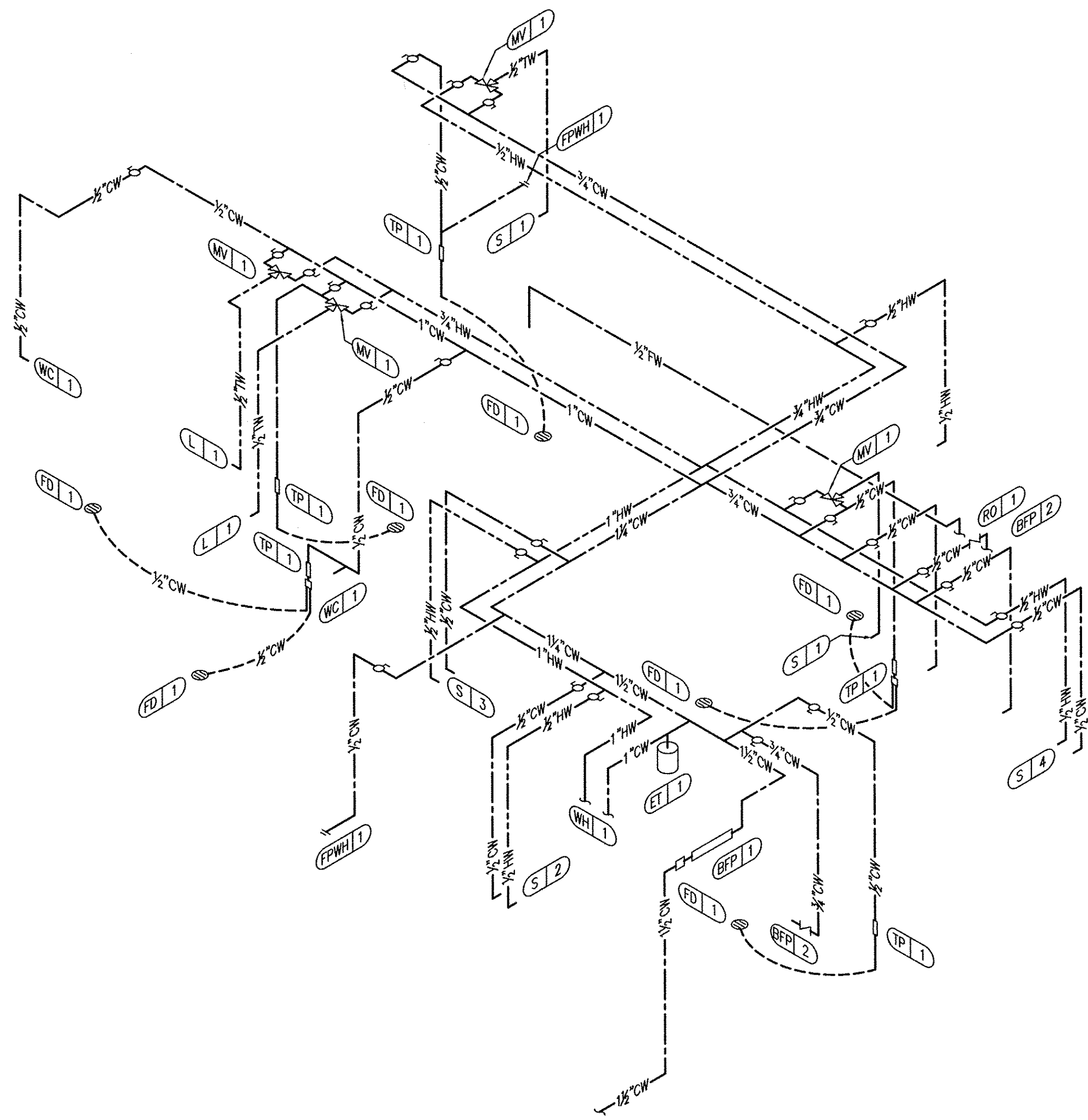
15025.000

DESIGNED BY: MAS
CHECKED BY: AMP
Professional Certification:
I hereby certify that these documents were prepared, reviewed, and approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
Expiration Date: 01/02/2017

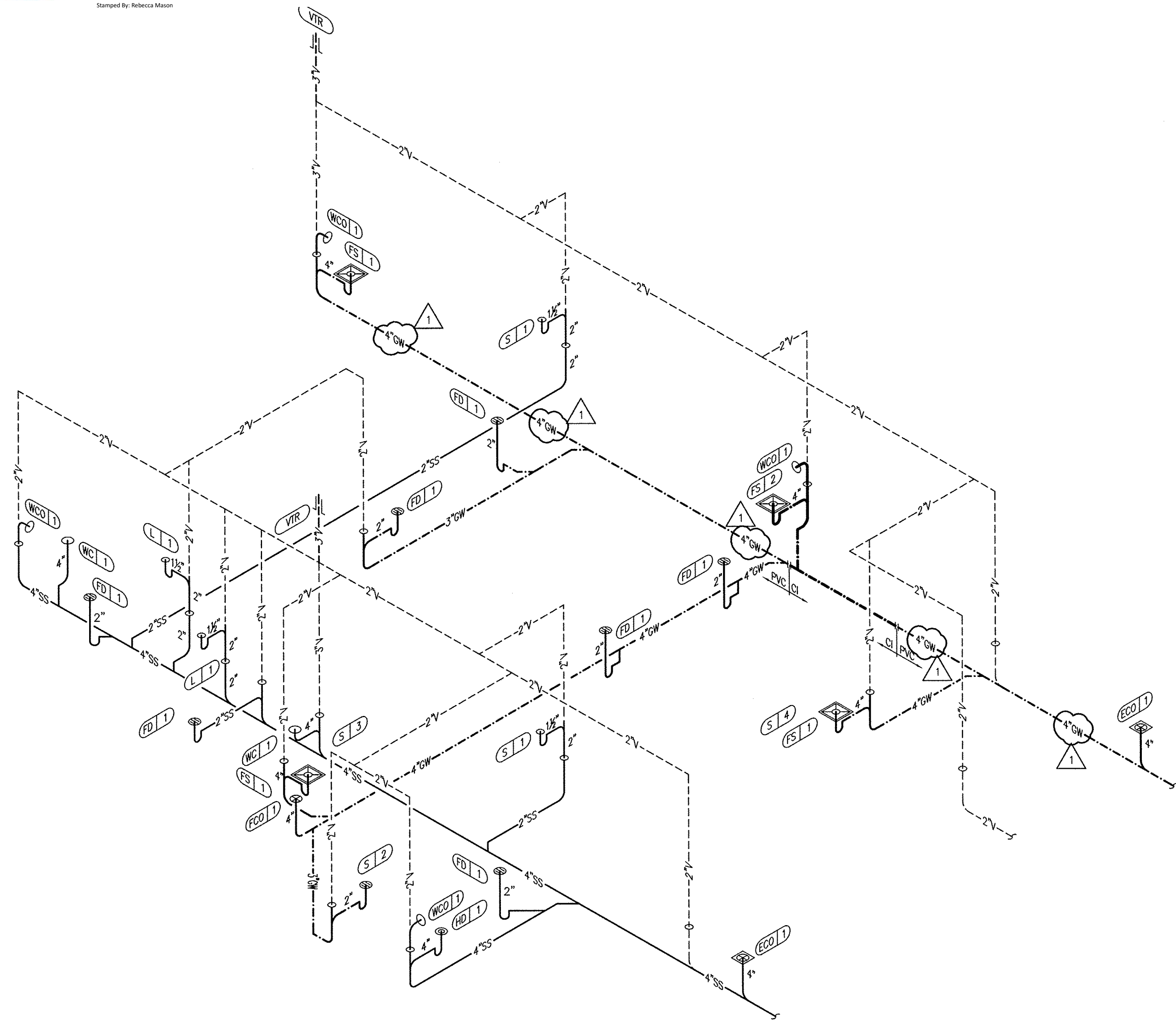
DAI PROJECT: 15002-28

DEVITA & ASSOCIATES
PO Box 1598
Greenville, SC 29602
Phone: 864-232-6642
FAX: 864-242-4878
E-Mail: Carl@devitale.com

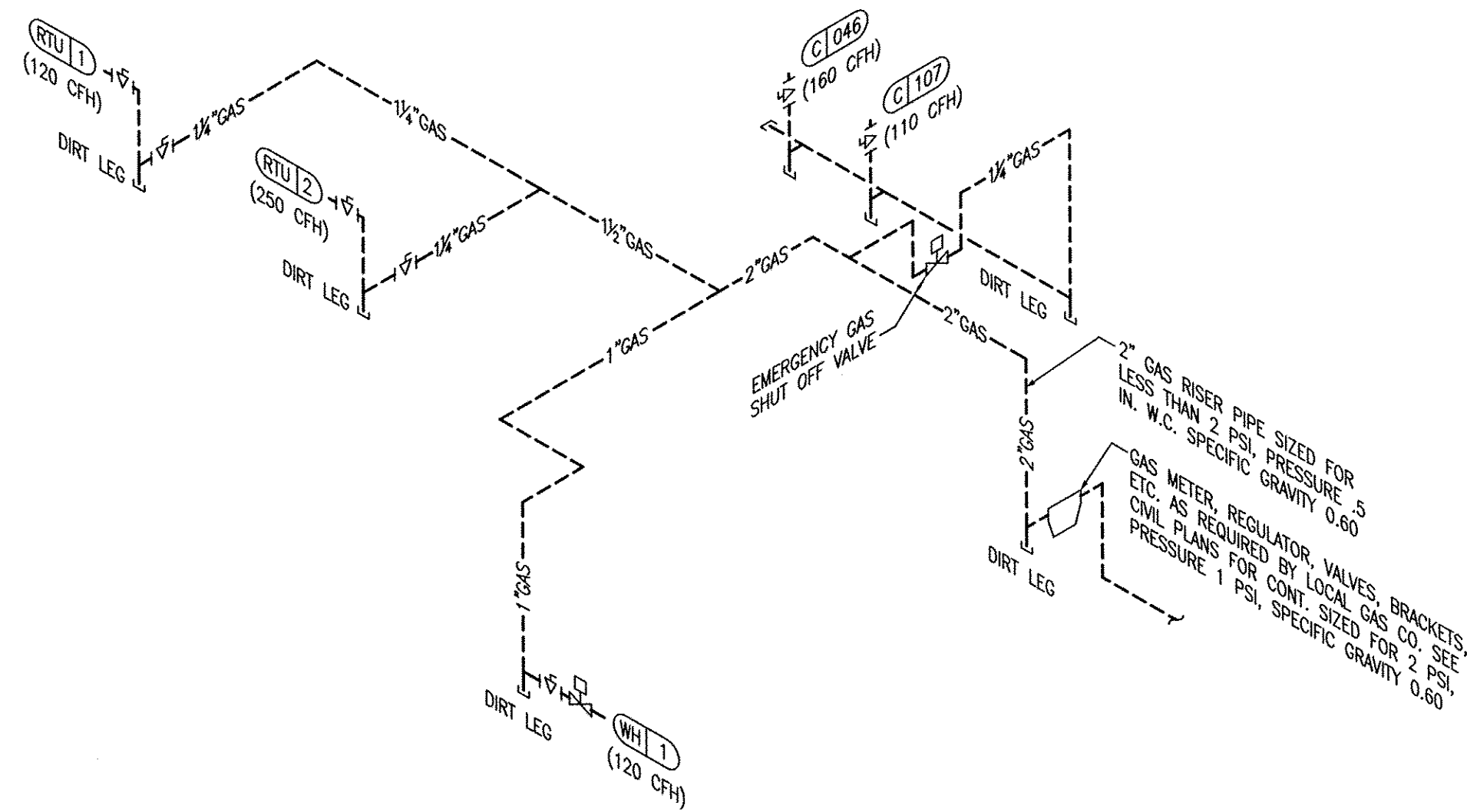
MARK D. MCCLUGGAGE AIA, CCS
1525 E. Douglas Wichita, KS 67211
Tel: (316) 265-9367
Fax: (316) 265-6646
www.dmv.com



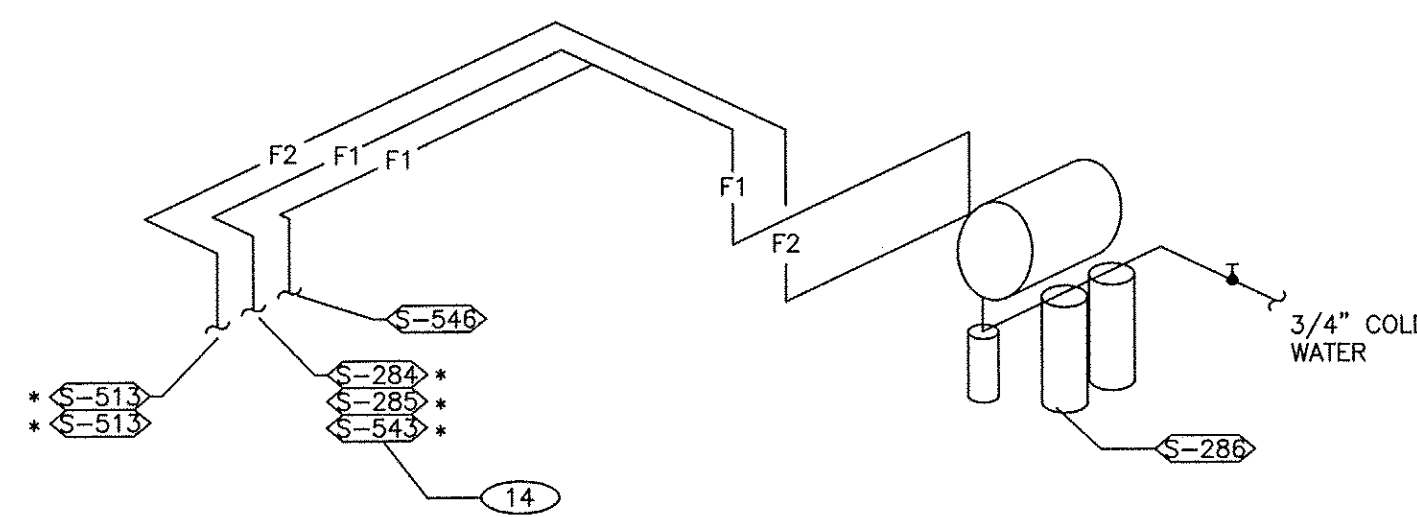
WATER ISOMETRIC N.T.S. **3**



WASTE AND VENT ISOMETRIC N.T.S. **1**



GAS ISOMETRIC N.T.S. **4**



- FILTERED EQUIPMENT AND LINES:**
- S-288 - WATER FILTER
- FILTERED LINE (COLD WATER)**
- S-513 - ICE MAKER - ABOVE SELF-SERVE BEVERAGE DISPENSER *
 - S-511 - ICE MAKER - ABOVE DRIVE-THRU BEVERAGE DISPENSER *
 - S-285 - DRIVE-THRU BEVERAGE DISPENSER *
 - S-284 - SELF-SERVE BEVERAGE DISPENSER *
 - S-546 - ICED TEA BREWER
 - S-543 - FROZEN BEVERAGE DISPENSER
- * FILTERED WATER SUPPLIED VIA SYRINGE BUNDLE. REFER TO 11/P6.0. SEE SCOPE OF WORK FOR RESPONSIBILITIES.

FILTERED WATER ISOMETRIC N.T.S. **2**



DAI PROJECT: 15002-26
 DESIGNED BY: MAS
 CHECKED BY: AMP
 Professional Certification.
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland License No. 43220 Expiration Date: 01/02/2017



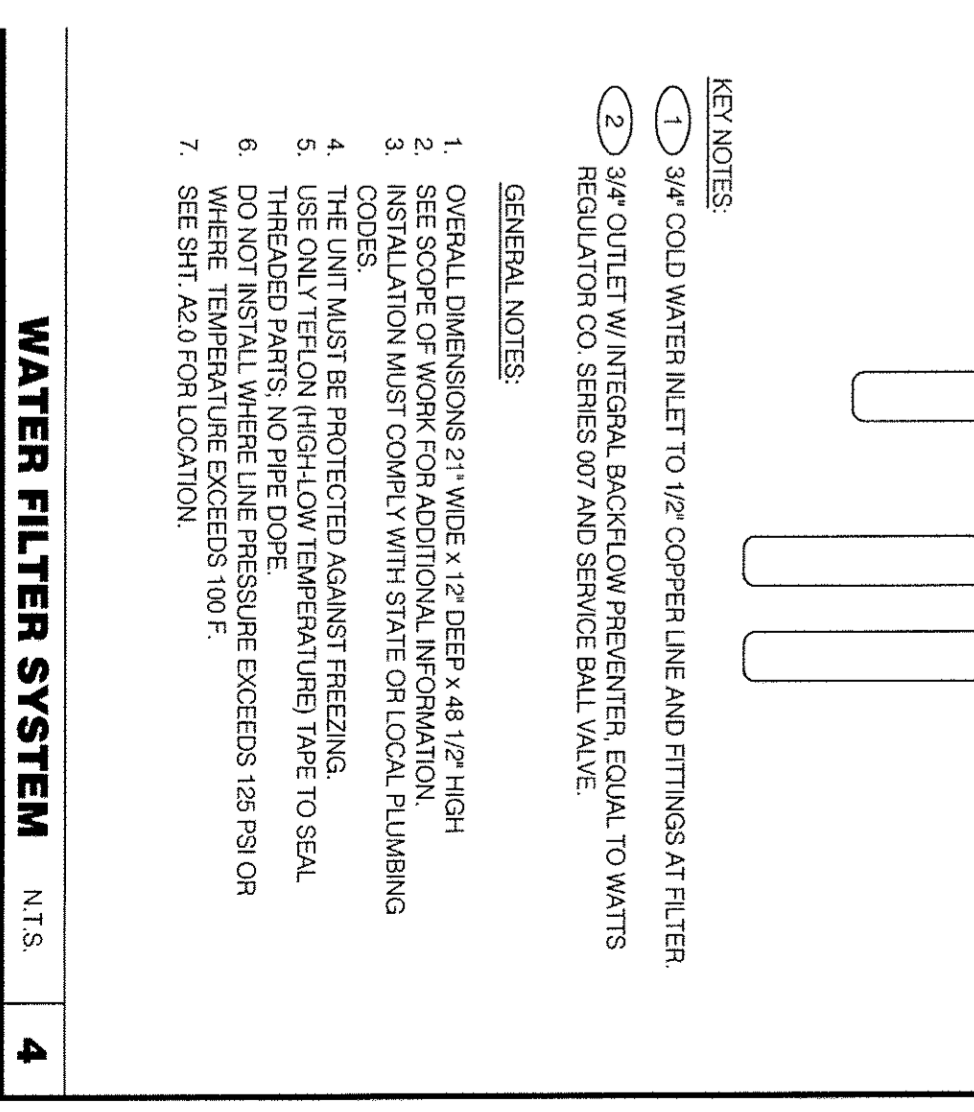
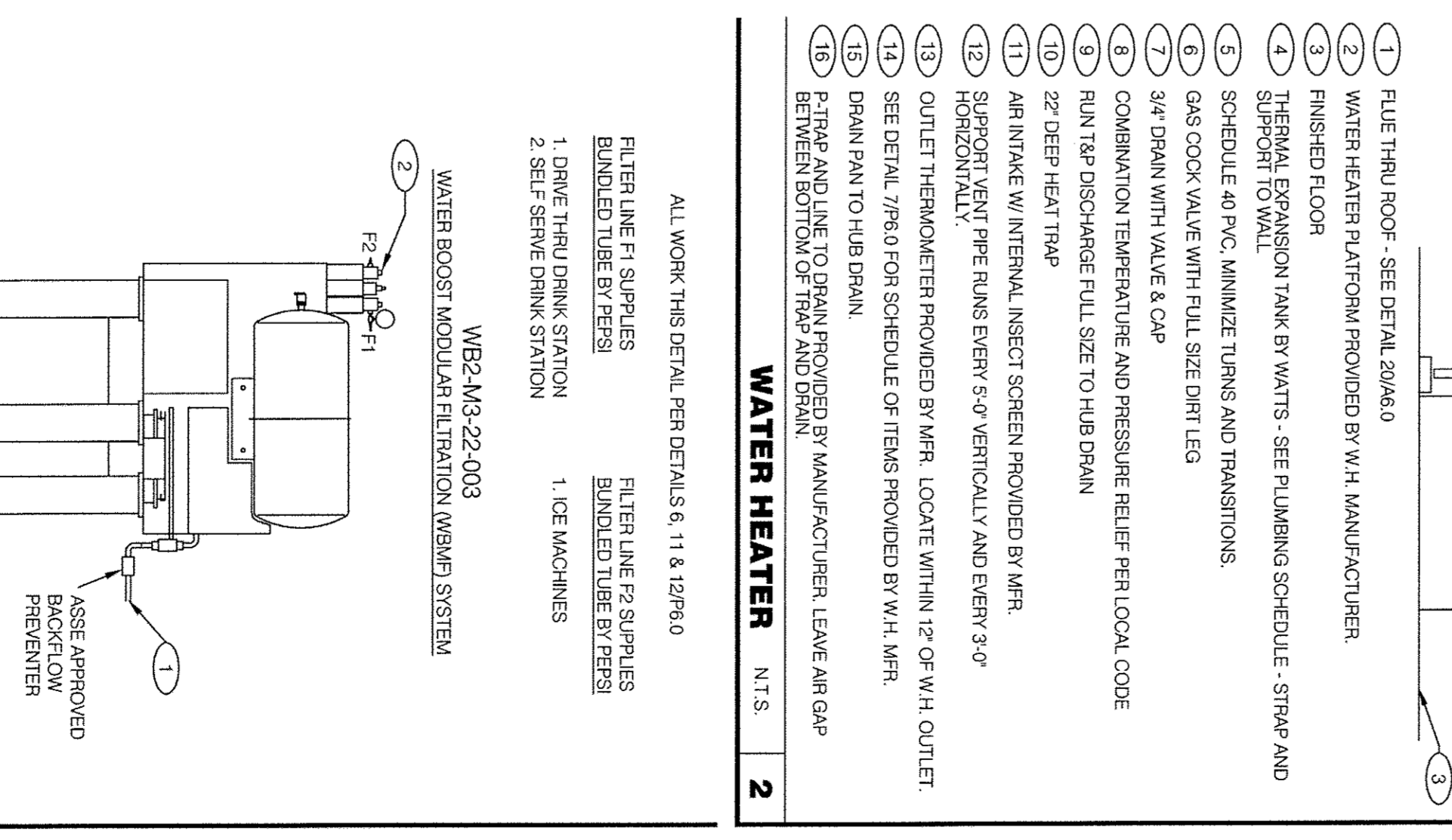
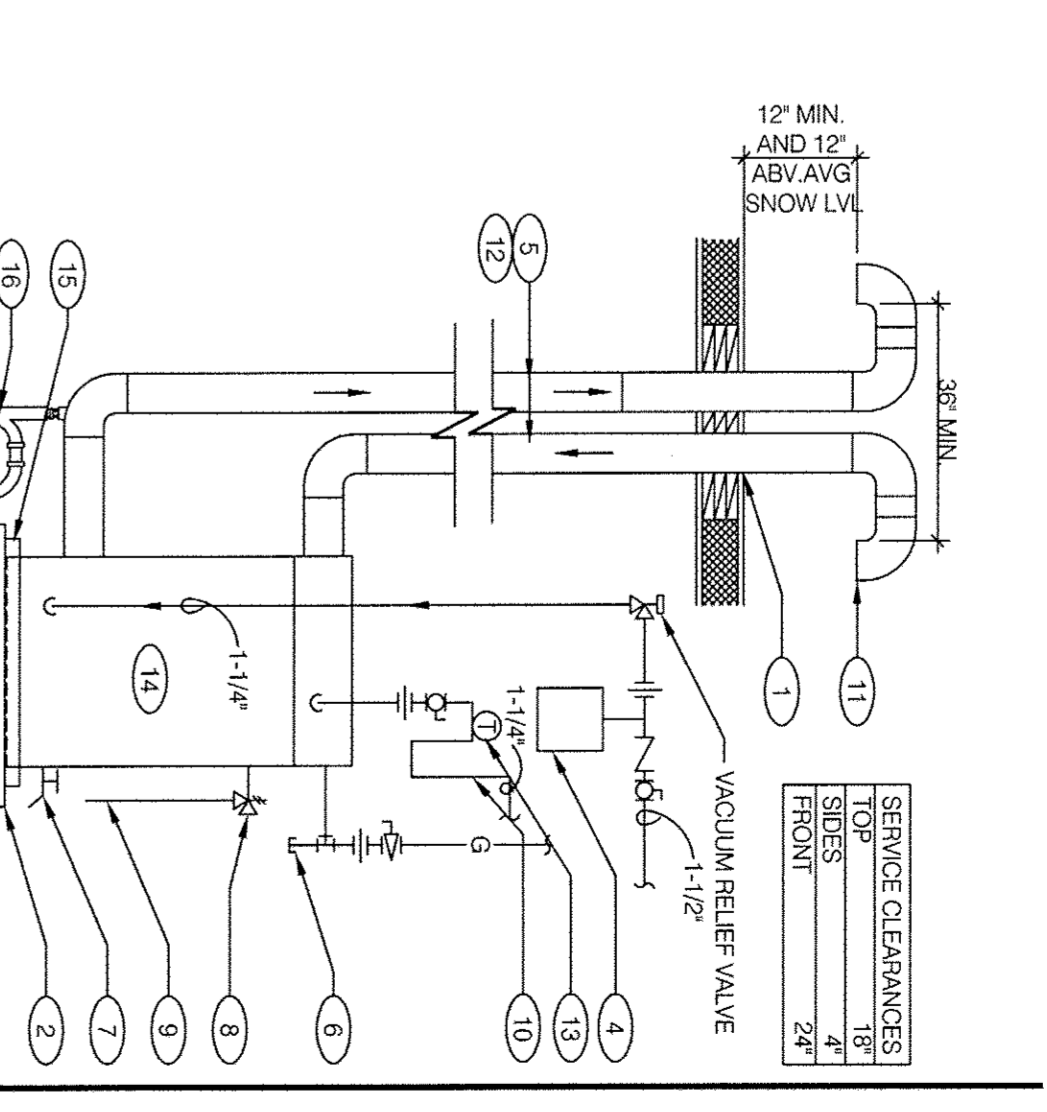
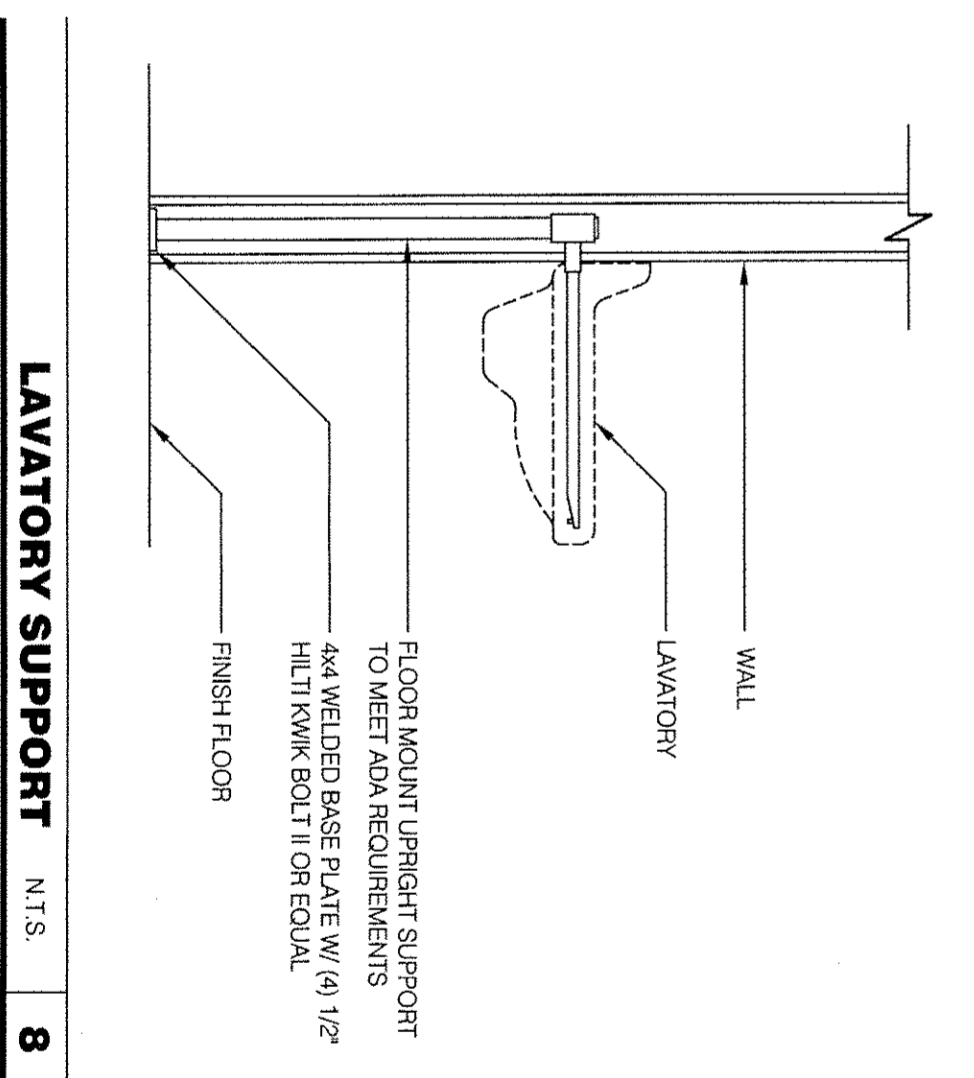
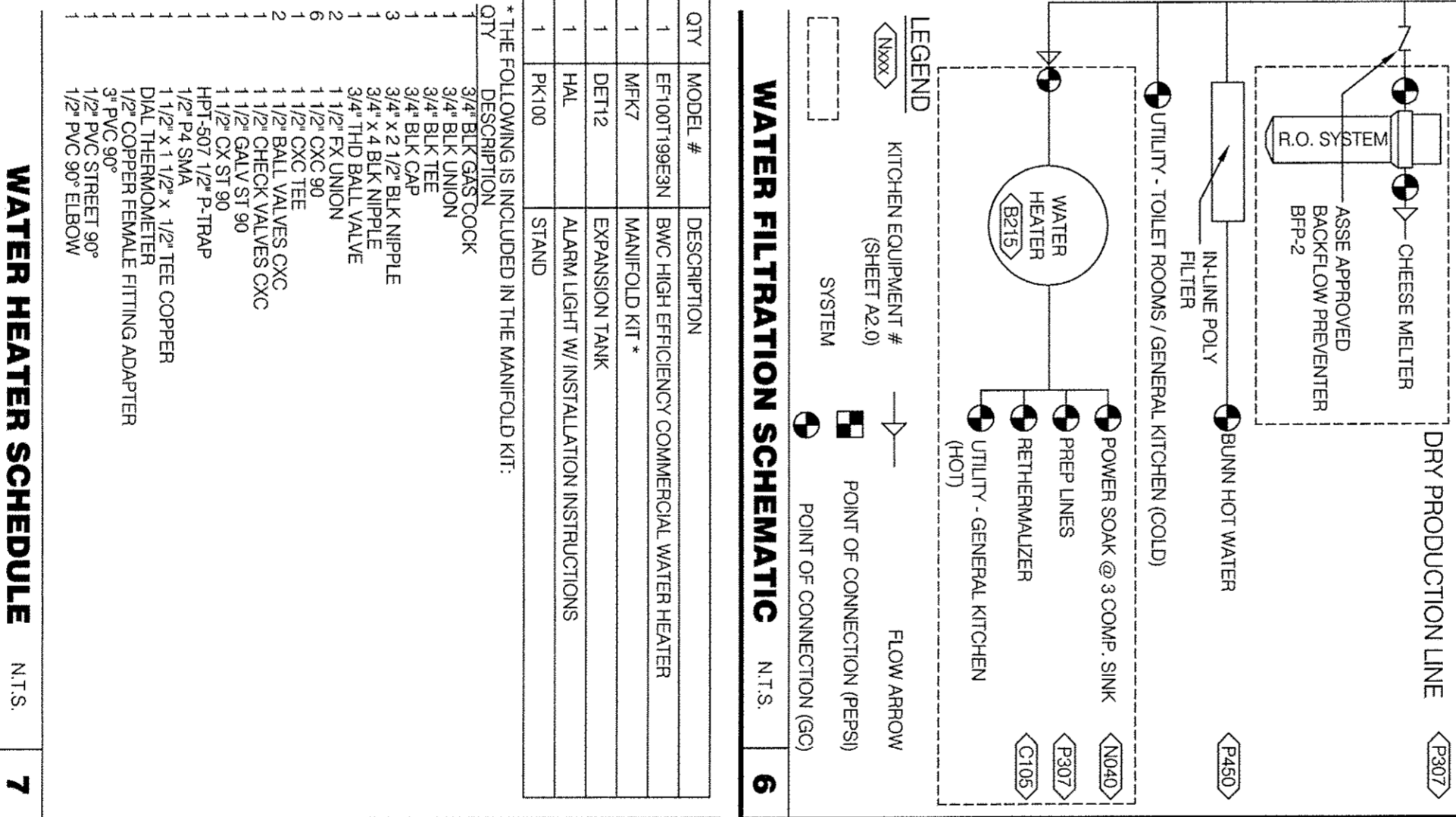
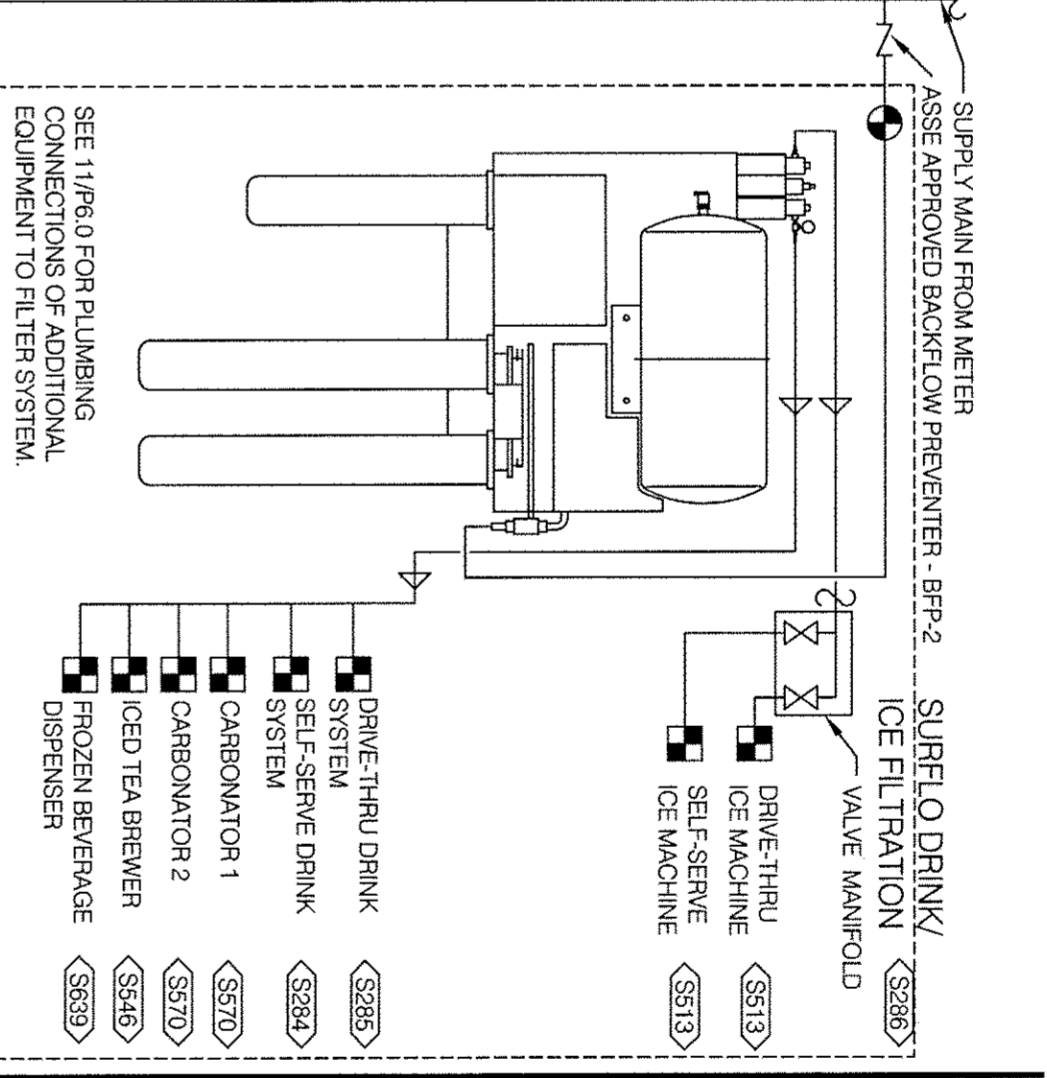
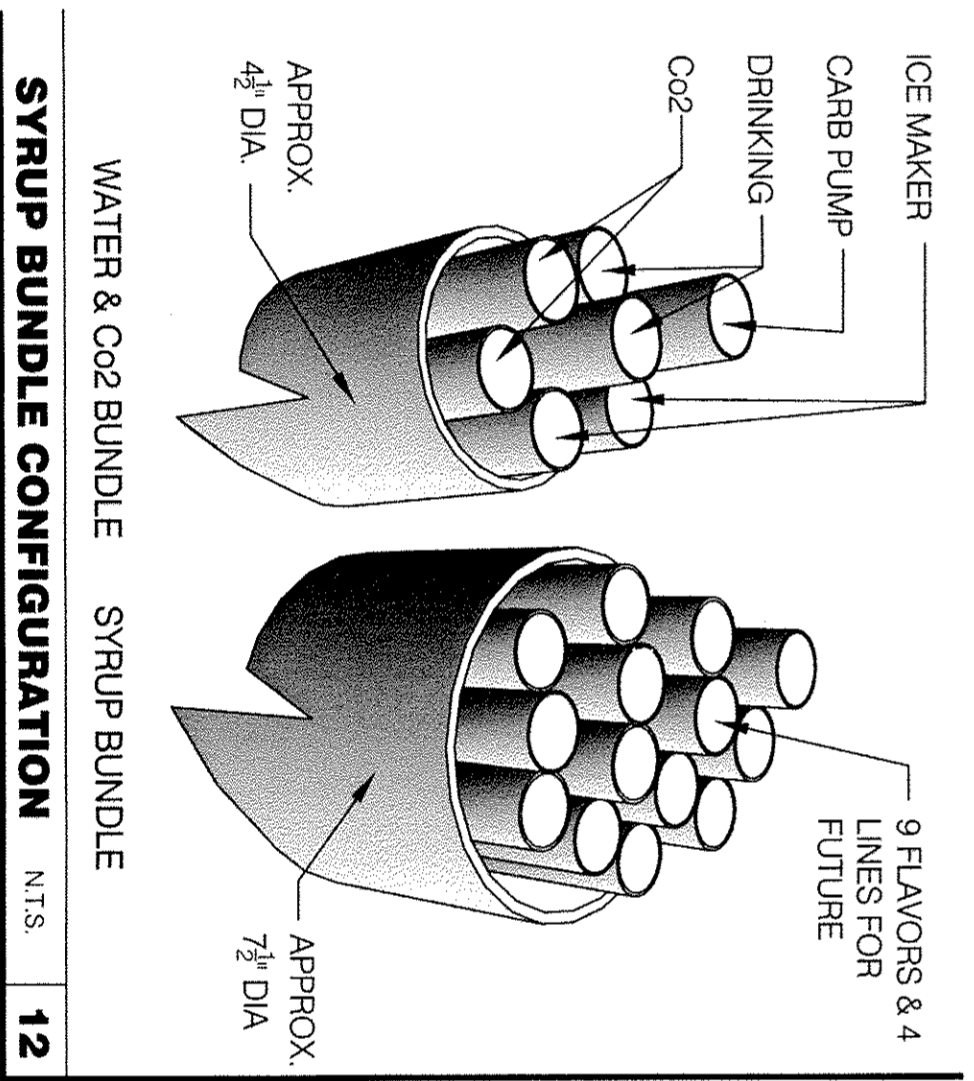
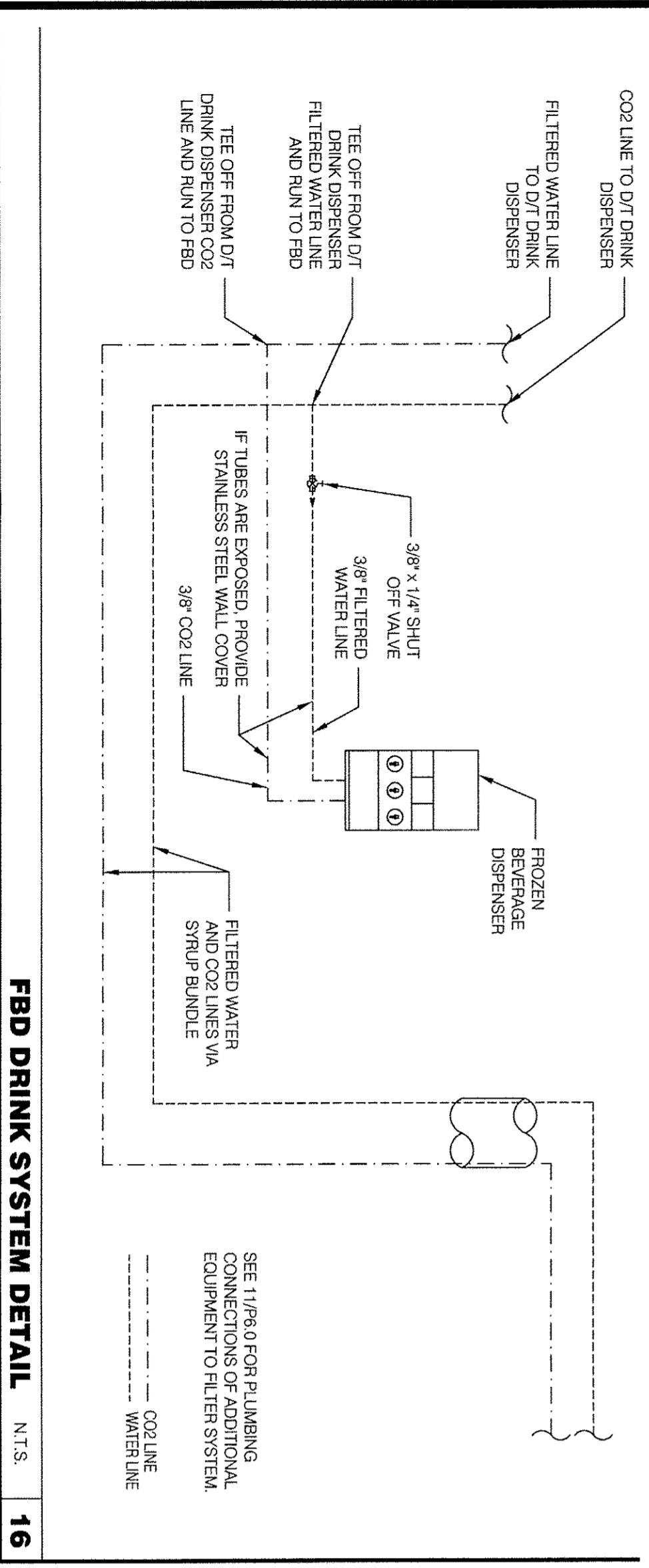
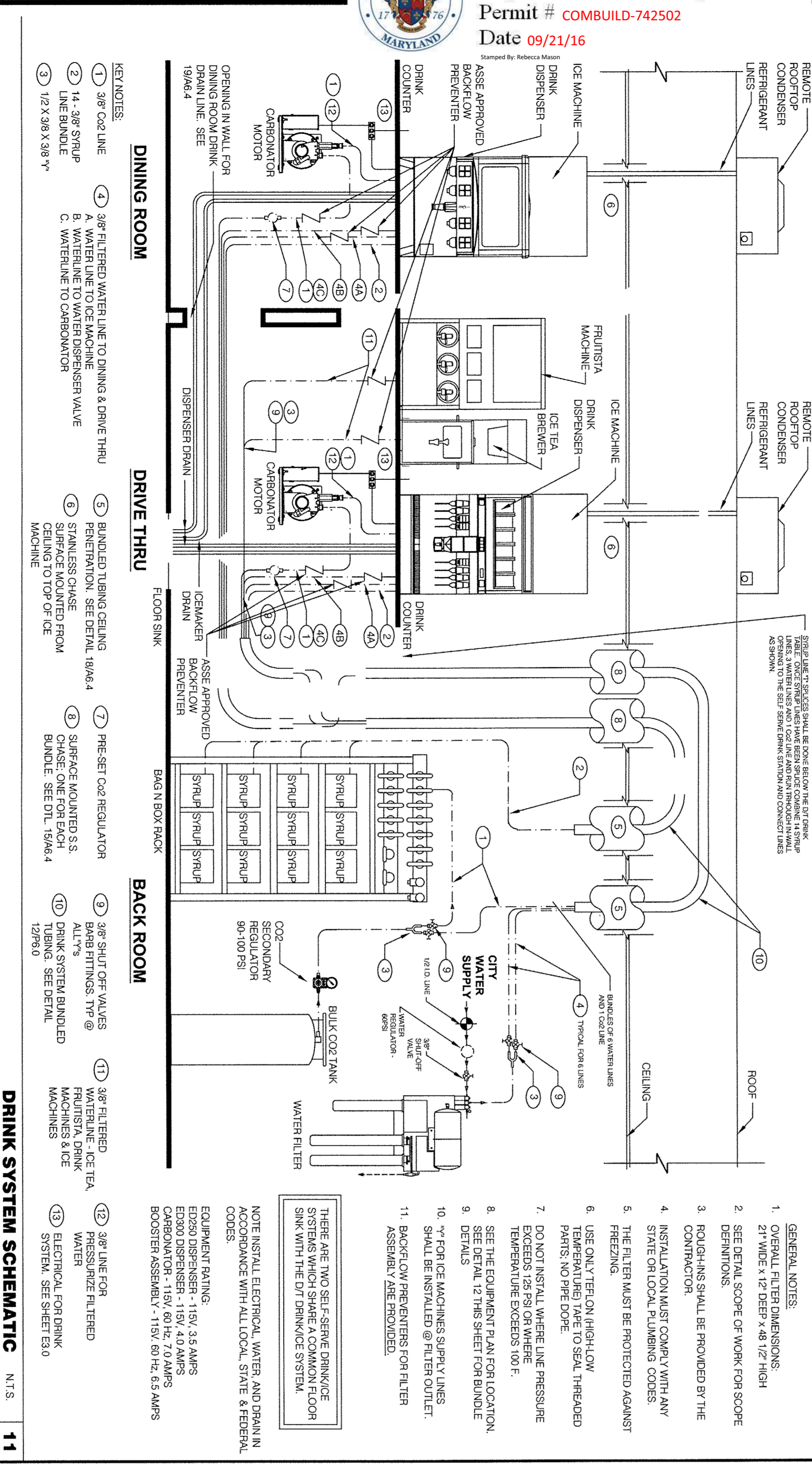
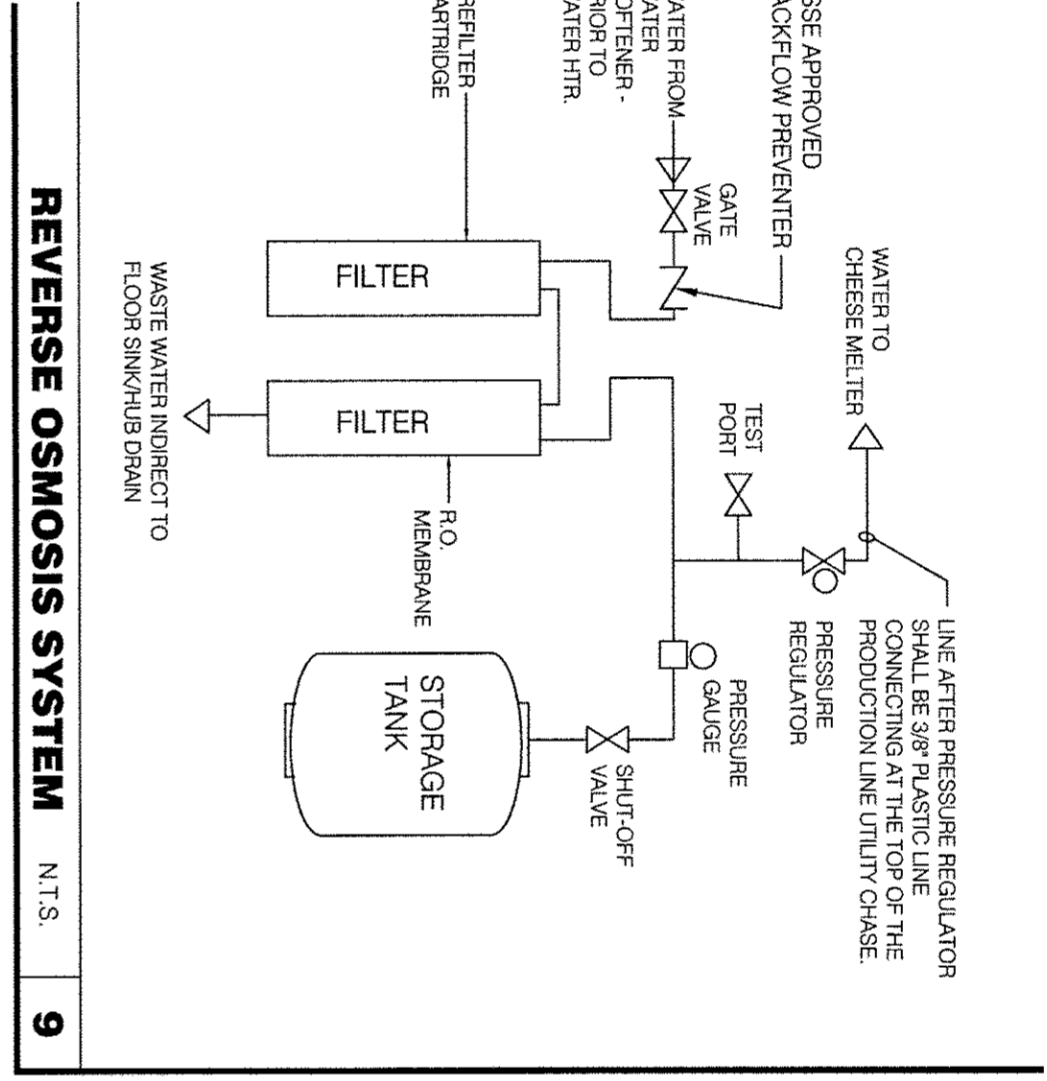
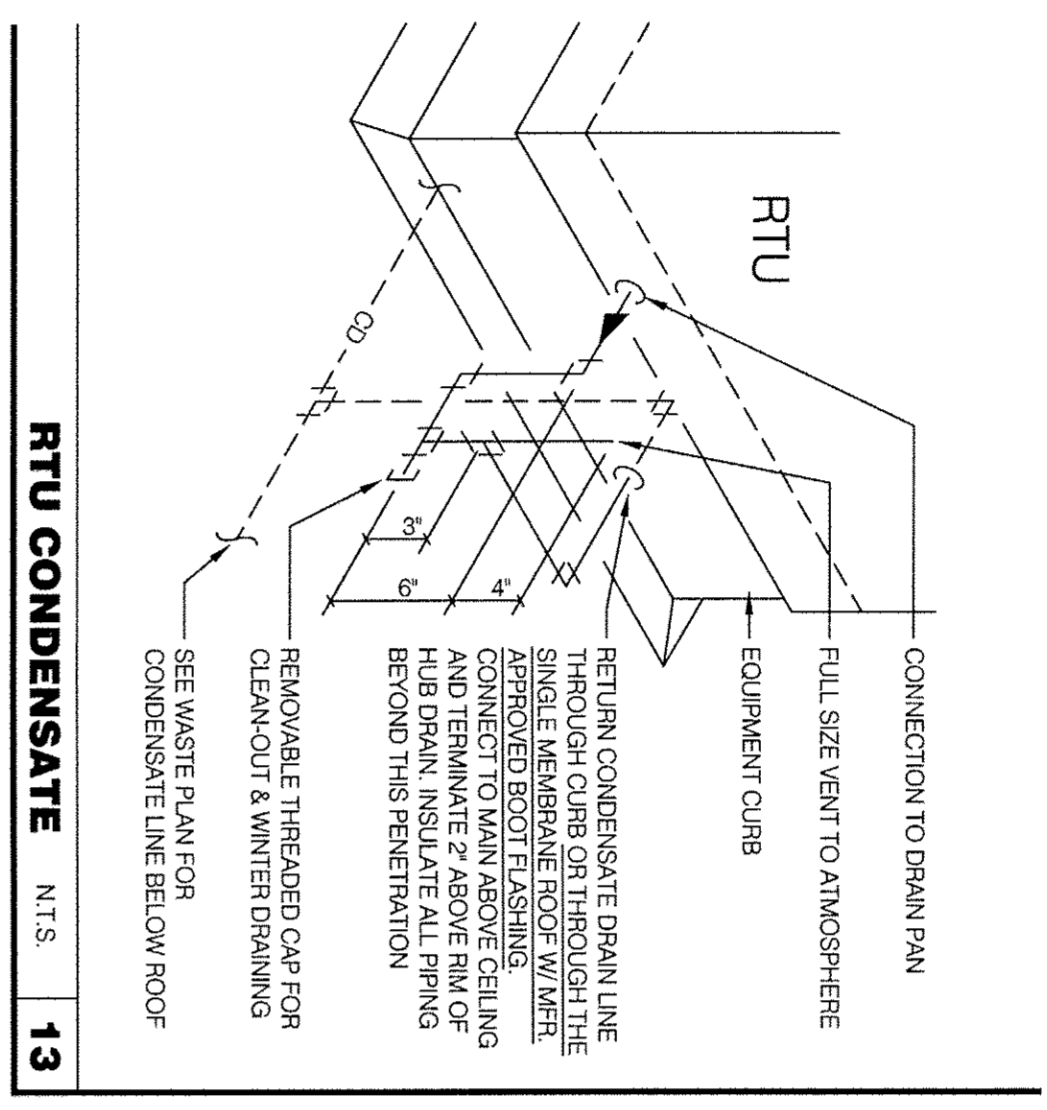
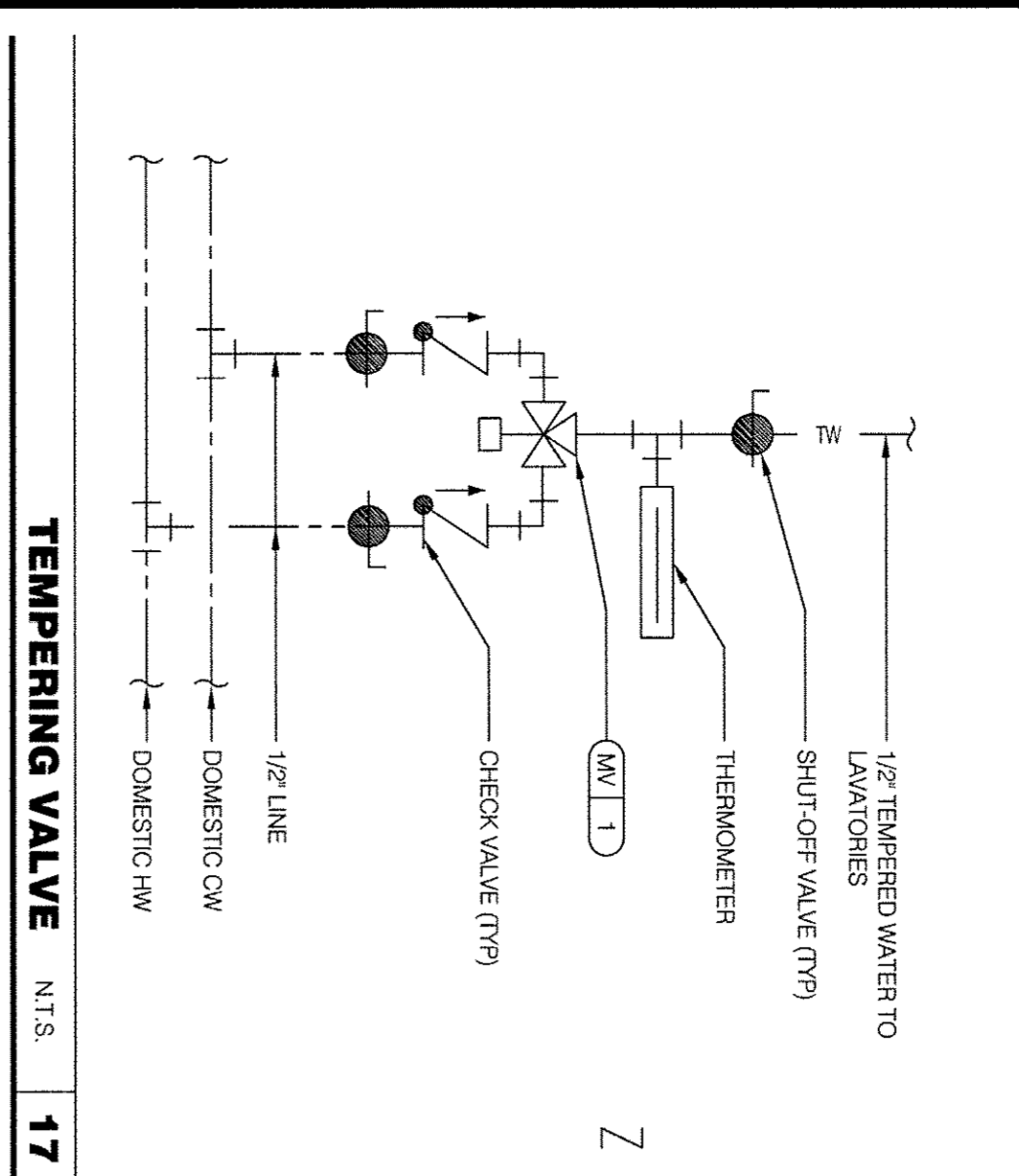
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DATE: JULY 15, 2015
 BUILDING TYPE: MED-40-MOD
 PLAN VERSION: JUNE 2015
 SITE NUMBER:
 ENTITY NUMBER:

1300 HOLTON LANE
 TAKOMA PARK, MD, 20912



RISER DIAGRAMS
P5.0



DESIGNED BY: MAS
CHECKED BY: AMP
Professional Certification:
I hereby certify that these documents were prepared by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
Expiration Date: 01/02/2017

15025.000

DATE: JULY 15, 2015
BUILDING TYPE: MED-40-MOD
PLAN VERSION: JUNE 2015
SITE NUMBER:
ENTRY NUMBER:

1300 HOLLON LANE
TAKOMA PARK, MD 20912

PLUMBING DETAILS

P6.0

1-04-16



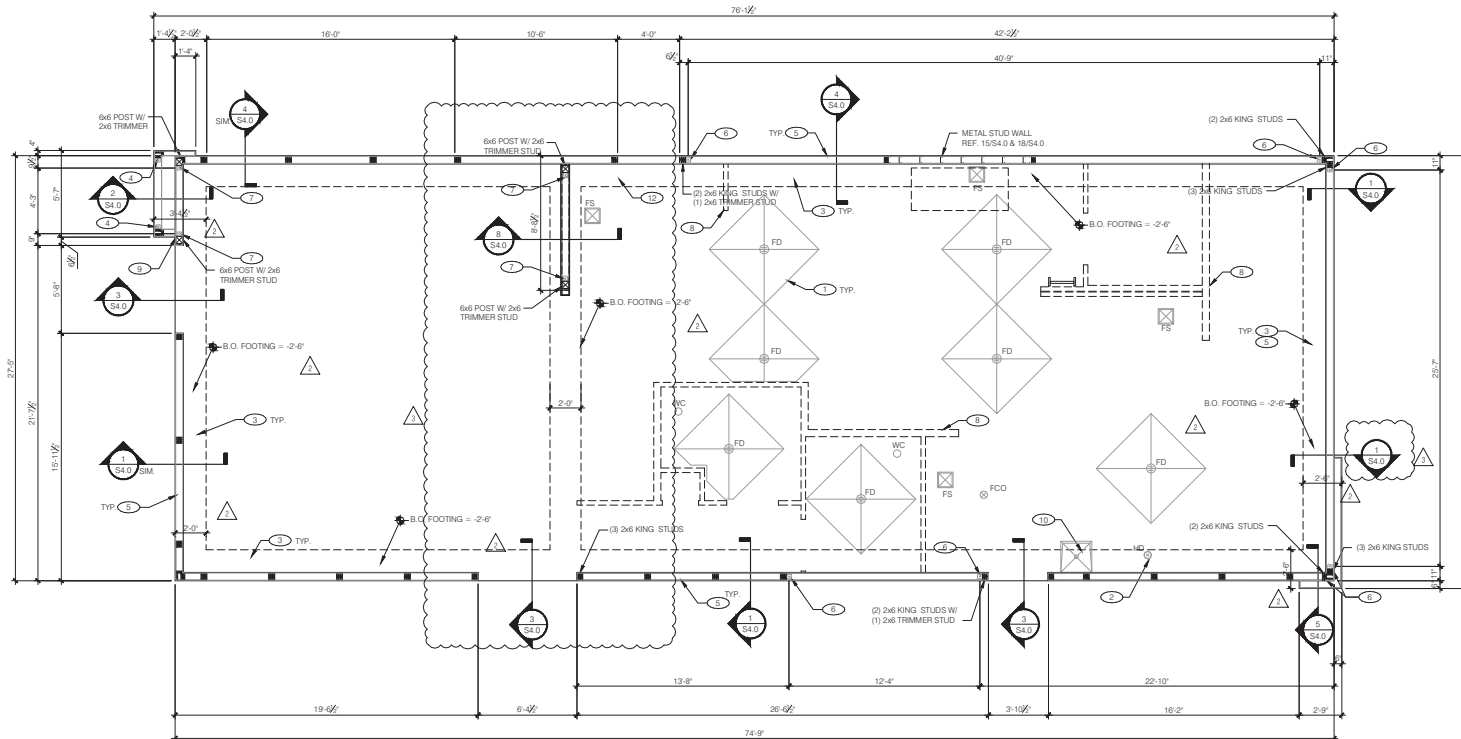
APPROVED

Department of Permitting Services

Permit # COMBUILD-742502

Date 09/21/16

Stamped By: Rebecca Mason



DIMENSIONS THIS SHEET TO EDGE OF CONCRETE

FOUNDATION PLAN 1/4" = 1'-0" A

DESIGN CRITERIA

2015 INTERNATIONAL BUILDING CODE
W/ LOCAL AMENDMENTS

ROOF SNOW LOADS:
GROUND SNOW LOAD (Pg) 30 PSF
EXPOSURE FACTOR (Ce) 1.0
IMPORTANCE FACTOR (I) 1.0
FLAT ROOF SNOW LOAD (Pf) 21 PSF + DRIFT
THERMAL FACTOR (Ct) 1.0

ROOF LOADS:
LIVE LOAD 30 PSF
DEAD LOAD 20 PSF

FLOOR LOADS:
RETAIL 100 PSF

WIND LOADS:
3 SECOND GUST (Vult) 115.00 MPH
RISK CATEGORY II
EXPOSURE CATEGORY (MMFRS) B
INTERNAL PRESSURE COEFF. ± 0.18

SEISMIC LOADS:
RISK CATEGORY II
SEISMIC IMPORTANCE FACTOR 1.0
SITE CLASS D
MAPPED SPECTRAL RESPONSE ACCEL. Ss 0.125
S1 0.055
S2 0.055
SPECTRAL RESPONSE COEFF. SHORT PERIODS (SD1) 0.133
1 SEC. PERIODS (SD1) 0.088
SEISMIC DESIGN CATEGORY B
FRAMING SYSTEMS BASIC STRUCTURAL SYSTEM LOAD BEARING WALL SYSTEM
SEISMIC RESISTING SYSTEM: WOOD SHEAR WALLS
RESPONSE MOD. FACTOR (R) 6.5
DEF. MOD. FACTOR (Cd) 4.0
SEISMIC RESP. COEFF. (Ca) 0.021
DESIGN BASE SHEAR (V) 4.65F
ANALYSIS BY EQUIVALENT LATERAL FORCE PROCEDURE

PROVIDE SHOP DRAWINGS AND CALCULATIONS BY REGISTERED ENGINEER FOR SIGNS AND AWNINGS
REFER TO S&G FOR SNOW DRIFT LOADING DIAGRAM

Component & Cladding Pressures

Member	Area (sq ft)	Exterior Wind Area (sq ft)			
		Windward	Leeward	Side	Roof
Roof	181.4	181.4	181.4	181.4	181.4
Wall	181.4	181.4	181.4	181.4	181.4
Edge	181.4	181.4	181.4	181.4	181.4
Roof	181.4	181.4	181.4	181.4	181.4
Wall	181.4	181.4	181.4	181.4	181.4
Edge	181.4	181.4	181.4	181.4	181.4
Roof	181.4	181.4	181.4	181.4	181.4
Wall	181.4	181.4	181.4	181.4	181.4
Edge	181.4	181.4	181.4	181.4	181.4

CORNER & EDGE ZONES ARE 3.0 FEET WIDE

FOUNDATION

A. FOUNDATION DESIGN IS BASED ON GEOTECHNICAL REPORT ENTITLED "REPORT OF SUBSURFACE EXPLORATION, LABORATORY TESTING, AND GEOTECHNICAL ENGINEERING ANALYSIS, TACO HILL AT LANGLEY PARK, TACOMA PARK, MONTGOMERY COUNTY, MARYLAND, PREPARED BY ECS MID-ATLANTIC, LLC DATED OCTOBER 2, 2014 (ECS PROJECT NO. 7396)

B. CONTRACTOR TO PROVIDE FOUNDATION & FOOTING AS REQUIRED FOR Pylon OR MONUMENTAL SIGN. (SEE ELECTRICAL DRAWINGS FOR SET BACK)

C. COORDINATE STRUCTURAL PLANS AND DETAILS WITH REQUIREMENTS OF GEOTECHNICAL REPORT.

D. CONTRACTOR SHALL TREAT SOIL BELOW SLAB FOR TERMITES.

E. REFER TO THE GEOTECHNICAL REPORT FOR GENERAL REQUIREMENTS OF EARTHWORK, OVEREXCAVATION, SUBGRADE PREPARATION, FILL AND COMPACTION, WATERPROOFING AND OTHER PERTINENT REQUIREMENTS AND INFORMATION.

F. PROTECT PIPES AND CONDUITS RUNNING THROUGH WALLS AND SLABS WITH 12 INCH EXPANSION MATERIAL. LOWER CONCRETE FOOTINGS AND GRADE BEAMS PERPENDICULAR TO PIPE RUNS TO ALLOW PIPES TO PASS ABOVE THE FOOTINGS OR NEAR THE GRADE BEAMS. ALTERNATIVELY, PROVIDE A CONCRETE JACKET IF PIPES ARE LOW ENOUGH TO BE PLACED BELOW THE FOOTINGS AND GRADE BEAMS. LOWER FOOTINGS AND GRADE BEAM PANELS TO PIPE RUNS TO AVOID BURSTAGE ONTO ADJACENT TRENCH EXCAVATIONS.

G. MAINTAIN SUBGRADE AND FILL MOISTURE CONTENT UNTIL FOUNDATIONS ARE PLACED.

H. ARRANGE FOR OWNER'S INDEPENDENT TESTING AGENCY TO MONITOR CUT AND FILL OPERATIONS AND PERFORM FIELD DENSITY AND MOISTURE CONTENT TESTS TO VERIFY COMPACTION AND APPROVE FOOTING SUBGRADES PRIOR TO PLACING CONCRETE.

I. DO NOT PLACE FOOTINGS OR SLABS AGAINST SUBGRADE. CONTAIN FREE WATER, FROST, OR ICE.

J. MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION TO ENSURE SURFACE RUNOFF AWAY FROM STRUCTURES AND TO PREVENT PONDING OF SURFACE RUNOFF NEAR THE STRUCTURES.

K. CONTRACTOR SHALL OBTAIN THE SOILS REPORT AND FOLLOW ALL RECOMMENDATIONS FOR SUBGRADE PREPARATION.

L. FOUNDATION DESIGN IS BASED ON ALLOWABLE BEARING PRESSURE = 2,500 PSF

CONCRETE

A. CONCRETE SHALL BE 4000 PSI CONCRETE PER GUYD MIN. AND MEET THE FOLLOWING MIN. ULTIMATE COMPRESSIVE STRENGTHS AT 28 DAYS:

LOCATION	MIN. STRENGTH	AGGREGATE	SLAB
SLAB	4000 PSI	3000 PSI	3000 PSI
FOOTING	4000 PSI	3000 PSI	3000 PSI
FOUNDATION	4000 PSI	3000 PSI	3000 PSI

B. CONCRETE SHALL BE CURING AND PROTECT WITH THREE SPECIES. CURING SHALL BE IN ACCORDANCE WITH ASTM C-150 TYPE II. VERY MIN. CONC. STRENGTH AND CEMENT TYPE. REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60. STEEL SHALL BE KEPT CLEAN AND FREE OF RUST.

C. CONCRETE CURING SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF AC-308.4 SECTION 5.11 AND STANDARD PRACTICE FOR CURING CONCRETE REPORTED BY COMMITTEE 308.

SLAB

A. DESIGN IS BASED UPON 4" THICK CONCRETE SLAB REINFORCED BY W/4R #4 @ 14" OR #4 BARS @ 18" O.C. EA. WAY OVER 10 ML VISQUEEN MEMBRANE, OVER A GRADUATE BASE OVER ENGINEERED SUBGRADE. MOOR AS REQUIRED TO COVER WITH REINFORCING OF SOILS REPORT. LAP MEMBRANE EDGES @ MINIMUM AND TAPE.

MISCELLANEOUS

A. DIMENSIONS NOTED ARE TO FACE OF CONCRETE. REFER TO DWG. A-1 FOR DIMENSIONS TO FACE OF STUD AND OTHER DIMENSIONS NOT OTHERWISE NOTED. DIMENSIONS SHALL NOT BE SCALED. ALL DIMENSIONS AND FIT SHALL BE DETERMINED AND VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.

B. DETAILS NOT FULLY OR SPECIFICALLY SHOWN SHALL BE OF SIMILAR NATURE AS OTHER SIMILAR CONDITIONS.

C. SEE FLAME DWGS FOR PLAN LAYOUT DIMENSIONS, U.O.N.

D. SEE ELEC DWGS FOR ELEC. LAYOUT DIMENSIONS, U.O.N.

E. CODE FOUNDATION AND SUBGRADE LAYOUT WITH OTHER TRADES PRIOR TO POURING SLAB.

- KEY NOTES**
- SLAB SHALL BE PITCHED 1/4" FOR 5'-0" x 5'-0" SQUARE AT ALL FLOOR DRAINS U.O.N. REFER TO PLUMBING DRAWINGS FOR LOCATIONS.
 - PROVIDE HUB DRAIN (H) UNLESS REQUIRED BY LOCAL CODE TO HAVE FLOOR SINK (FS).
 - INDICATES INSIDE SURFACE OF FOOTING. SEE SHEET S4.0.
 - HTTS HOLDOWN ANCHOR. SEE 6/54.0 FOR HOLDOWN EMBEDMENT DETAIL.
 - ANCHOR BOLTS LOCATED THROUGHOUT PERIMETER OF BUILDING SHALL BE PROVIDED AS REQUIRED PER THE "PLATE/ANCHOR BOLT" COLUMN OF THE WALL SHEATHING AND SHEARWALL SCHEDULE. SEE D52.0.
 - HOLDOWN ANCHOR AT EACH END OF SHEARWALL. SEE 6/54.0 FOR HOLDOWN EMBEDMENT DETAIL.
 - HU14 OR HD19 HOLDOWN ANCHOR AT EACH END OF SHEARWALL. SEE 7/54.0 FOR HOLDOWN EMBEDMENT DETAIL AND S2.0 FOR SHEARWALL SCHEDULE.
 - INTERIOR WALLS (I). SEE SHEET S2.0.
 - CONTINUE SHEARWALL SHEATHING PAST INTERSECTING WALL W/O INTERRUPTION.
 - WASTE LINE STUB-UP FOR MCP SINK.
 - SLOPE FREEZER SLAB TO DOORWAY. REFER TO ARCHITECTURAL DRAWINGS.
 - SEE 14/54.0 FOR REINFORCING AT CORNERS AND INTERSECTIONS.

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BPA_326 No. 150699

GLMV Architecture
1000 CHERRY WALKWAY, SUITE 100
FARMINGTON, CT 06030

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER 20691. EXPIRATION DATE: 12/11/2017.

15025.000

ADDRESS CHANGE 01/05/16
COUNTY COMMENTS 04/08/16
COUNTY COMMENTS 06/16/16

DATE: JULY 15, 2015
BUILDING TYPE: MED-40 MOD
PLAN VERSION: JUNE 2015
SITE NUMBER:
ENTRY NUMBER:

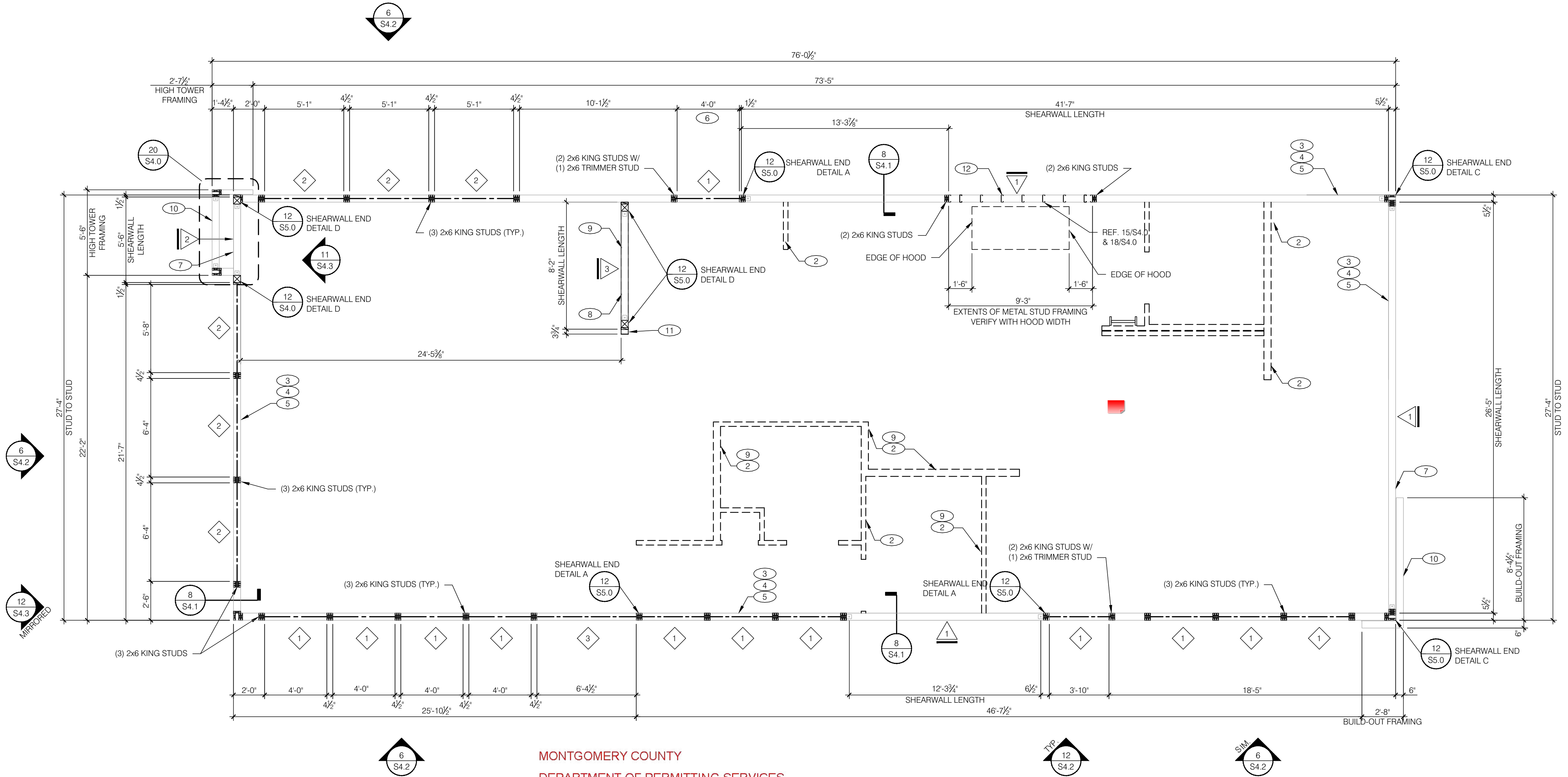
1300 HOLTEN LANE
TAKOMA PARK, MD 20912

LIVE MAS
MEDIUM-40 - MODIFIED

FOUNDATION PLAN

\$1.0

PLOT DATE: 6-16-16



MONTGOMERY COUNTY
 DEPARTMENT OF PERMITTING SERVICES
 DIVISION OF BUILDING CONSTRUCTION
 APPROVED AS NOTED

NOTE: DIMENSIONS HERE ARE TO FACE OF STUD, U.N.O.

WALL FRAMING PLAN 1/4"=1'-0" A

MARK	BUILT-UP SECTION	BUILT-UP MANUF. MEMBER
1	(3) 2x8	--
2	(3) 2x10	--
3	(3) 2x12	(3) 1 3/4" x 9 1/4" LVL

- NOTES:
- BUILT-UP HEADER SECTION SHALL HAVE 1/2" PLYWOOD SANDWICHED PIECES. REF. 20/S4.1
 - MANUFACTURED LUMBER TO BE 1 9/16 MICROLAM LVL BY TRUSJOIST OR APPROVED EQUAL (NER-200). REF. 19/S4.1

SW	SHEATHING	EDGE	FIELD	HOLDOWN	PLATE / ANCHOR BOLT	REMARKS
1	1/2" CDX PLYWD (32/16), PS1 RATING	10d @ 6" O.C.	10d @ 6" O.C.	HDU4	5/8" DIA. x 7" EMBED. TITEN HD @ 32" O.C. W/ WASHER	PLYWOOD ON EXTERIOR FACE OF STUDS
2	1/2" CDX PLYWD (32/16), PS1 RATING	10d @ 3" O.C.	10d @ 6" O.C.	HDU14	5/8" DIA. x 7" EMBED. TITEN HD @ 24" O.C. W/ WASHER	PLYWOOD ON EXTERIOR FACE OF STUDS (NOTE 8)
3	1/2" CDX PLYWD (32/16), PS1 RATING	10d @ 3" O.C.	10d @ 6" O.C.	HD19	5/8" DIA. x 7" EMBED. TITEN HD @ 8" O.C. W/ WASHER	PLYWOOD ON BOTH FACES OF STUDS (NOTE 8)
***	1/2" CDX PLYWD (32/16), PS1 RATING	10d @ 6" O.C.	10d @ 12" O.C.	N/A	5/8" DIA. x 7" EMBED. TITEN HD @ 48" O.C. W/ WASHER	NAILING @ HEADERS PER 19 & 20/S4.1

- *** REQUIREMENTS FOR EXTERIOR NON-SHEARWALL WALLS
- OSB OF COMPARABLE THICKNESS MAY BE USED IN LIEU OF PLYWOOD WHEN APPROVED IN WRITING BY THE PROJECT ENGINEER AND THE LOCAL JURISDICTION.
 - BLOCK ALL UNSUPPORTED EDGES WITH 2x MATERIAL U.O.N. BLOCK EDGES WITH 3x MATERIAL WHERE 10d NAILING IS 3' O.C. OR LESS AND 8d NAILING IS 2' O.C. OR LESS.
 - ALL PLYWOOD NAILS SHALL BE COMMON WIRE. SEE SPECIFICATIONS FOR OTHER NAIL REQUIREMENTS.
 - EXTERIOR WALLS NOT DESIGNATED AS SHEARWALLS IN THE WALL FRAMING PLAN SHALL MEET REQUIREMENTS INDICATED FOR NON-SHEARWALL WALLS IN THE SCHEDULE ABOVE.
 - SHEARWALL LENGTHS WHERE NOTED ARE MINIMUM. DO NOT LOCATE HOLD-DOWNS FROM THESE DIMENSIONS. SEE ARCH DWGS FOR ACTUAL WALL LENGTHS.
 - HD REFERS TO SIMPSON STRONGTIE CO. HOLD-DOWNS. INSTALL PER 6 & 7 OF S4.0. POST WIDTH SHALL MATCH STUD WALL WIDTH. SEE FOUNDATION PLAN FOR OTHER REQS.
 - EDGE NAIL WALL PLY TO STUDS OR POSTS WITH HOLD-DOWNS.
 - WHERE PANELS ARE APPLIED TO BOTH FACES OF A WALL AND NAIL SPACING IS LESS THAN 4' O.C. ON EITHER SIDE, PANEL JOINTS SHALL BE OFFSET TO WALL ON DIFFERENT FRAMING MEMBERS OR FRAMING SHALL BE 3x OR THICKER AND NAILS ON EACH SIDE SHALL BE STAGGERED. SILL PLATES SHALL BE (2) 2x MEMBERS.
 - PROVIDE A MINIMUM OF TWO SILL ANCHORS PER SILL PLATE SEGMENT WITH BOLTS LOCATED FROM THE END OF EACH SEGMENT AT LEAST 4 INCHES, BUT NOT MORE THAN 12 INCHES.
 - FASTENERS FOR PRESSURE-PRESERVATIVE AND FIRE-RETARDANT-TREATED WOOD SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL. THE COATING WEIGHTS SHALL BE IN ACCORDANCE WITH ASTM A153.
 - PROVIDE 1/4"x3"x2" PLATE WASHER BETWEEN HEAD OF SILL ANCHOR BOLTS AND WOOD SILL PLATE AT ALL INTERMEDIATE SILL ANCHORS.

- WALL FRAMING:
- STRUCTURAL WOOD FRAMING SHALL MEET OR EXCEED THE FOLLOWING:

USE	WOOD TYPE	GRADE	FB/PSI	FC/PSI	E/PSI
2x8	SOUTHERN PINE	#2	925	1,350	1,400,000
2x10	SOUTHERN PINE	#2	800	1,300	1,400,000
2x12	SOUTHERN PINE	#2	750	1,250	1,400,000
STUDS (2x6)	SOUTHERN PINE	#2	1,000	1,400	1,400,000
6x6	SOUTHERN PINE	#1	1,350	825	1,500,000
 - ALL BEAMS AND JOISTS SHALL BE SEAT CUT FOR FULL UNIFORM BEARING AT SUPPORTS, BEAM SEATS AND COLUMN CAPS.
 - SEE SHEET A1.0 FOR DIMENSIONS.
 - EXTERIOR STUD WALLS ARE 2x6 AT 16" O.C. U.O.N.
 - ALL WOOD IN CONTACT WITH CONC., STEEL OR GRADE SHALL BE PRESSURE TREATED.
 - ALL BOLTED OR NAILED STRAP CONNECTIONS SHALL HAVE AN EQUAL NUMBER OF BOLTS OR NAILS EACH SIDE OF THE SPLICE JOINT. THE FIRST BOLT OR NAIL FROM EACH SIDE OF THE SPLICED OR TREATED MEMBER SHALL BE EQUAL DISTANCE FROM THE SPLICE. STRAPS USING 16d NAILS ON 2x MATERIAL SHALL BE INSTALLED ON THE 1-1/2" EDGE OF THE MEMBER.
 - THE CONTRACTOR SHALL VERIFY THAT THE MOISTURE CONTENT OF ALL FRAMING LUMBER AND PLYWOOD MEET THE REQUIREMENTS OF THE SPECS. AT THE TIME OF INSTALLATION AND AT CLOSE-IN.
 - USE AT PRESSURE TREATED LUMBER AT WINDOW JAMBS, SILL AND STUDS UNDER SILL AS WELL AS ALL TOILET PLUMBING WALLS.
- STUD LAYOUT:
- LAYOUT STUDS ON SIDEWALLS (LONG WALLS) STARTING AT REAR OF BUILDING TOWARDS FRONT.
 - LAYOUT STUDS ON ENDWALLS (SHORT WALLS) STARTING AT EACH END AND WORKING TOWARDS CENTER.
 - LAYOUT STUDS TO ALIGN WITH ROOF TRUSSES. PROVIDE DOUBLE STUDS AT DOUBLE TRUSSES, TYPICAL. SEE ROOF FRAMING PLAN ON SHEET S3.0 FOR TRUSS LOCATIONS.

- COORDINATE WITH ELECTRICAL POWER PLAN.
- INTERIOR NON-BEARING STUD WALL FRAMING; REFER TO SHEET A1.0 FOR DIMENSIONS AND STUD SIZES. SEE DETAIL 13 & 14/S4.1 AND WALL FRAMING NOTES.
- (2) 2x6 TOP PLATES - SPLICE PER 15/S4.1 (U.N.O.)
- TOP OF TRUSS BEARING PLATE. SEE DETAIL 2/S4.1 & 16/S4.2.
- TOP OF PARAPET. SEE ARCHITECTURAL DRAWINGS.
- ENSURE ROUGH OPENING DIMENSION TO PROVIDE TOLERANCE FOR DRIVE THRU WINDOW INSTALLATION. COORDINATE WITH WINDOW MANUFACTURER.
- EXTERIOR SHEATHING SHALL NOT BE INTERRUPTED WITH TOWER FRAMING OR INTERSECTING WALLS, TYPICAL.
- INTERIOR SHEAR WALL, FRAMING FOR 2x6 STUDS, BLOCKING, & SILL PLATE SHALL BE SOUTHERN PINE OR DOUGLAS FIR AT THIS WALL. PROVIDE 6x6 POST AT EACH END OF WALL.
- COORDINATE WITH PLUMBING ROUGH IN SHEET P4.0.
- 2x FRAMING ON THICKENED CONCRETE FOUNDATION / PIER; SEE SHEETS S1.0 AND S4.0. DIMENSIONS FOR FRAMING ARE TO FACE OF STUD.
- PROVIDE 3 1/2" CLEARANCE FROM POST TO END OF FINISHED WALL FOR ELECTRICAL CHASE.
- FASTENER FOR SHEARWALL SHALL BE #8 SCREW AT SAME EDGE AND FIELD SPACING LISTED IN THE SHEARWALL SCHEDULE WHERE STUDS ARE METAL.

HEADER SCHEDULE N.T.S. F

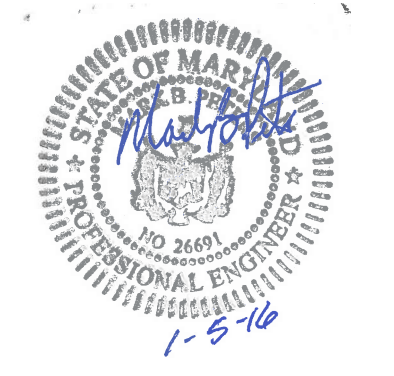
WALL SHEATHING AND SHEARWALL SCHEDULE D

FRAMING PLAN NOTES C

KEY NOTES B



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15025.000

ADDRESS CHANGE	DATE
1	01/05/16
2	
3	
4	
5	
6	
7	
8	
9	
10	

DATE: JULY 15, 2015
 BUILDING TYPE: MED-40-MOD
 PLAN VERSION: JUNE 2015
 SITE NUMBER: -----
 ENTITY NUMBER: -----

1300 HOLTON LANE
 TAKOMA PARK, MD 20912



WALL FRAMING PLAN

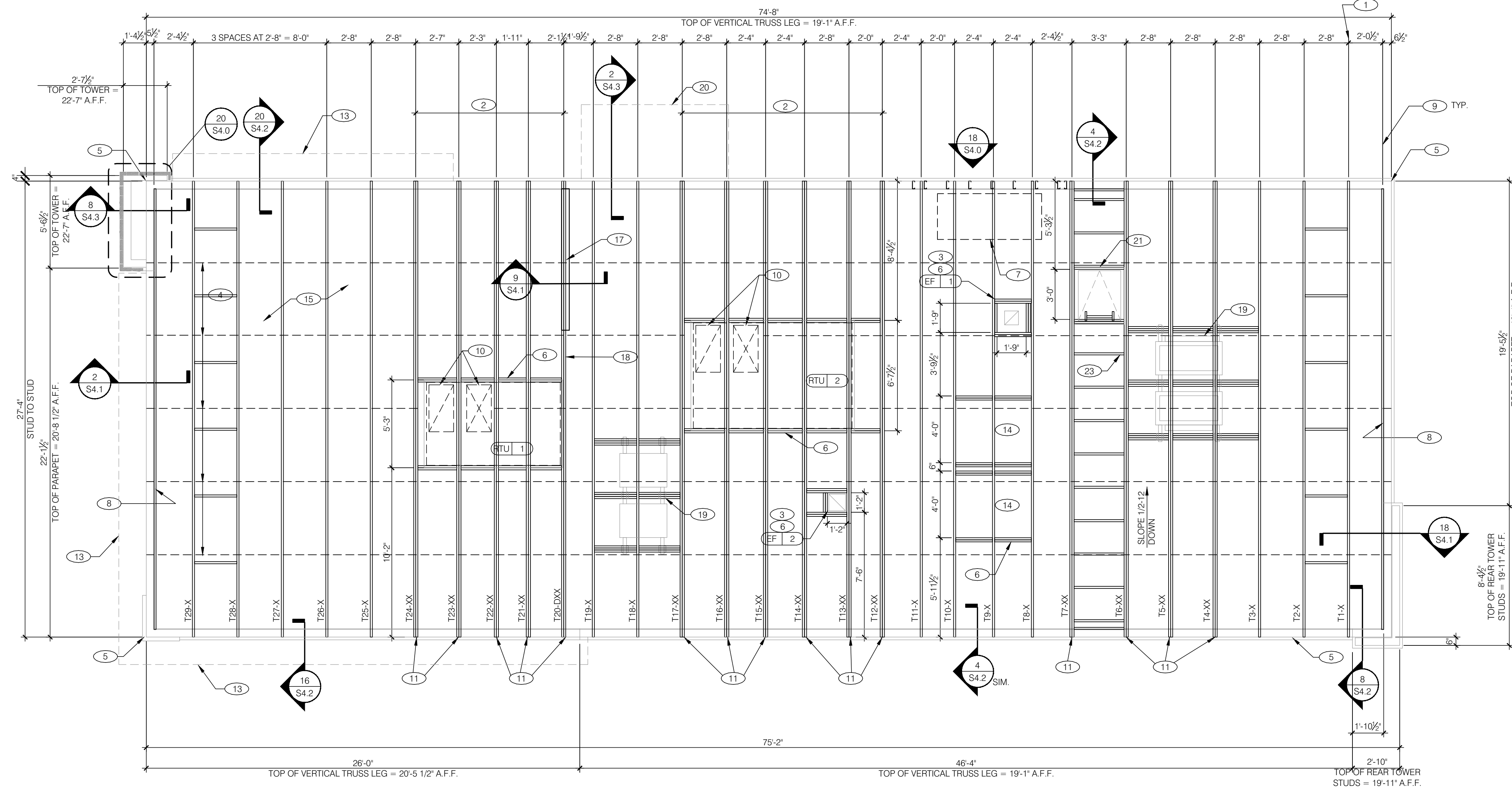
S2.0

PLOT DATE: 1-05-16

MONTGOMERY COUNTY
DEPARTMENT OF PERMITTING SERVICES
DIVISION OF BUILDING CONSTRUCTION
APPROVED AS NOTED



APPROVED
Department of Permitting Services
Permit # COMBUILD-742502
Date 09/21/16
Stamped by Rebecca Mason



TRUSS MANUFACTURER SHALL BE REQUIRED TO SHOW THAT THEY ARE REGISTERED & APPROVED TO PERFORM WORK WITHOUT SPECIAL INSPECTIONS.

SEE 4/S4.1 FOR RTU WEIGHTS

SEE 10/S5.0 FOR SNOW DRIFT

EXTREME CARE SHALL BE USED IN ERECTING ROOF TRUSSES - COMPLY WITH TPI BRACING REQUIREMENTS.

ROOF NOT DESIGNED FOR PONDING. SEE ARCHITECTURAL DRAWINGS FOR DRAIN REQUIREMENTS.

ROOF FRAMING PLAN 1/4"=1'-0" A

TYPE	NAILING / SHEATHING	REMARKS
BN	10d @ 4" O.C.	-
EN	10d @ 6" O.C.	-
FN	10d @ 12" O.C.	-
ROOF SHEATHING	19/32" CDX PLYWOOD (40/20), PS1 RATING	-

NOTE:
"BN" DENOTES ROOF BOUNDARY NAILING
"EN" DENOTES EDGE OF PANEL NAILING
"FN" DENOTES FIELD OF PANEL NAILING

NAILING SCHEDULE - ROOF D

ROOF FRAMING NOTES C

A. ALL UNSUPPORTED EDGES OF PLYWOOD SHEATHING SHALL BE BLOCKED WITH 2x4 INSTALLED FLAT. PLYWOOD MTL CLIPS ARE NOT PERMITTED. SEE DETAIL 14/S4.2. OSB OF COMPARABLE THICKNESS MAY BE USED IN LIEU OF PLYWOOD WHEN APPROVED IN WRITING BY THE PROJECT ENGINEER AND THE LOCAL JURISDICTION.

B. ALL MECHANICAL SUPPLY AND RETURN OPENINGS SHALL BE BETWEEN FRAMING U.O.N.

MANUFACTURED ROOF TRUSS NOTES:
A. MFRD ROOF TRUSSES ARE AT 2'-8" O.C. U.O.N.

B. "T-#" DENOTES ROOF TRUSS TYPE. REFER TO SCHEDULE 19/S4.3.

C. TRUSS DRAWINGS ARE PROVIDED FOR CONCEPTUAL DESIGN ONLY. MFR SHALL SUBMIT SHOP DRAWINGS AND CALCULATIONS, BOTH SIGNED BY A LICENSED STRUCTURAL ENGINEER (STATE OF PROJECT). SUBMIT SHOP DRAWINGS AND CALCULATIONS TO THE ARCHITECT AND ENGINEER FOR REVIEW AND SUBMITTAL AND, IF REQUIRED, TO THE BUILDING OFFICIAL FOR APPROVAL PRIOR TO FABRICATION. SHOP DRAWINGS SHALL INCLUDE LAYOUT PLAN AND CONNECTORS. CALCS. SHALL BE BASED ON THE SPECIFIED LOADING CONDITIONS SHOWN HEREIN. MANUFACTURER SHALL PROVIDE HANGERS AND CONNECTIONS BETWEEN TRUSSES. REVIEW AND APPROVE DIMENSIONS, SHAPES AND DETAILS SHOWN ON SHOP DRAWINGS PRIOR TO SUBMITTAL TO THE ARCHITECT / ENGINEER FOR REVIEW AND COMMENT. A MINIMUM OF 10 BUSINESS DAYS SHALL BE ALLOWED FOR REVIEW.

D. TRUSS MFR SHALL PROVIDE HANGERS AND CONNECTORS ADEQUATE FOR LOADS. ROOF CONNECTORS ARE BASED UPON SIMPSON "STRONG-TIE" OR APPROVED EQUAL.

E. TRUSS CHORDS AND PARAPET VERTICALS SHALL BE 2x6 MIN. AND CONSISTENTLY SIZED THROUGHOUT PROJECT.

F. REFER TO TRUSS ELEVATIONS FOR SHAPE, OVERHANG, SLOPES, SPAN, ETC. LOCATION OF BEARING POINTS ARE AS INDICATED ON THE DRAWINGS. SEE 16/S4.3.

G. MFRD ROOF TRUSS DESIGN LOADS: SEE TRUSS DESIGN CRITERIA 18/S4.3 AND SNOW DRIFT DIAGRAM 10/S5.0

H. THE POSITIONS, WEIGHTS, AND METHODS OF ATTACHMENT OF ALL MECHANICAL UNITS, ELECT FIXTURES, PLUMBING, ETC. SHALL BE INCLUDED IN THE DESIGN OF THE TRUSSES BY THE TRUSS MFR.

I. DESIGN ROOF TRUSSES TO SUPPORT ALL IMPOSED LOADS, INCLUDING WIND & LATERAL LOADS. COORDINATE SIZE, LOCATION AND WEIGHT OF EQUIPMENT WITH MECHANICAL WORK. PROVIDE MULTIPLE TRUSSES WHERE ONE TRUSS CANNOT SUPPORT THE LOAD. PROVIDE BRIDGING BETWEEN TRUSSES AS SPECIFIED AS MINIMUM STANDARD.

J. INSTALLATION OF ALL TRUSSES SHALL BE DONE USING A SPREADER BAR WITH A THREE POINT VERTICAL PICK. CARE SHALL BE USED IN LIFTING TO PREVENT HORIZONTAL BENDING.

K. IMPROPER HANDLING OF THE TRUSSES AS NOTED ABOVE AND IN THE SPECS SHALL MEAN REMOVAL OF THE TRUSSES FROM THE JOBSITE AND REPLACEMENT AT CONTRACTORS EXPENSE.

L. SEE DIV. 6 OF THE SPECS FOR DETAILS ON TRUSS MANUFACTURING AND NAILING.

- KEY NOTES B**
- 1 STARTING POINT OF TRUSS LAYOUT - CENTERLINE OF TRUSS.
 - 2 VERIFY NECESSITY OF DOUBLE TRUSSES WITH TRUSS MFR. DUE TO POINT LOADING AND ADDITIONAL UNIFORM LOADING, TYPICAL.
 - 3 COORDINATE BLOCKING WITH EXHAUST AND SUPPLY DUCT.
 - 4 CONT 2x4 WD BRIDGING ON TOP OF BOTTOM CHORD. ADJUST AS REQUIRED FOR DUCT PLENUMS. MAX SPACING AT 5'-0" O.C. OR TIGHTER SPACING AS REQUIRED BY TRUSS DESIGN. SEE 16/S4.1 FOR BRIDGING LAP DETAIL.
 - 5 SIMPSON MSTA 24 AT CORNER DBL TOP PLATE. CENTER STRAP ON CORNER.
 - 6 (2) 2x6 BLOCKING W/ U26-2 HANGERS. TYP. EDGES OF ALL ROOF TOP EQUIPMENT AND ALL ROOF OPENINGS - SEE DET. 11 & 3/S4.2.
 - 7 LOC. OF HOOD. SEE HOOD DRAWINGS FOR HOOD ATTACHMENT DETAIL 17/S4.3.
 - 8 2X6 LEDGER REF. 5/S4.1.
 - 9 DIMENSION IS FROM INSIDE FACE OF WALL FRAMING.
 - 10 HVAC ROOF OPENING FOR DUCT. VERIFY SIZE WITH HVAC MFR. & MECHANICAL DWGS.
 - 11 (2) 2x6 BUILT-UP COLUMN AT TRUSS BEARING, TYP. @ DOUBLE TRUSS ONLY. REFERENCE DETAIL 10/S4.2.
 - 12 ROOF JOISTS - 2x8 @ 16" O.C.
 - 13 OUTLINE OF ALUMINUM SLAT WALL/CANOPY BY VENDOR
 - 14 PREFERRED LOCATION OF SATELLITE DISH SLED. SEE SCOPE OF WORK.
 - 15 19/32" PLYWOOD ROOF DECK. SEE NAILING SCHEDULE, THIS SHEET.
 - 16 NOT USED
 - 17 INTERIOR SHEAR WALL BELOW. ALIGN DINING SIDE OF WALL WITH SIDE OF TRUSS. SEE DETAIL 9/S4.1
 - 18 DRAG TRUSS AT INTERIOR SHEAR WALL. PROVIDE 2-PLY TRUSS. DESIGN EACH PLY OF DRAG TRUSS FOR 250 PLF (500 PLF TOTAL) SERVICE WIND LOAD ALONG TOP CHORD OF TRUSS (12,000 LBS TOTAL DRAG LOAD). ATTACH ROOF SHEATHING TO DRAG TRUSS WITH 10d NAILS @ 4" O.C. ALONG ENTIRE LENGTH OF TRUSS. ATTACH DRAG TRUSS TO TOP PLATE OF SHEAR WALL PER DETAIL 9/S4.1.
 - 19 SEE 9/S4.2 FOR ALUMA STAND ATTACHMENT. PROVIDE TRIPLE 2x6 BLOCKING BETWEEN ROOF TRUSSES AT EACH STAND BASE.
 - 20 ALUMINUM CANOPY BY SUPPLIER.
 - 21 ROOF HATCH. SEE ARCH.
 - 22 FULL DEPTH BLOCKING AT MIDSPAN. PROVIDE (2) 10d TOENAILS, EACH END.
 - 23 2x6 BLOCKING @ 24" OC W/ SIMPSON LU24 EACH END.

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15025.000

ADDRESS CHANGE	01/05/16

DATE: JULY 15, 2015
BUILDING TYPE: MED-40-MOD
PLAN VERSION: JUNE 2015
SITE NUMBER:
ENTITY NUMBER:

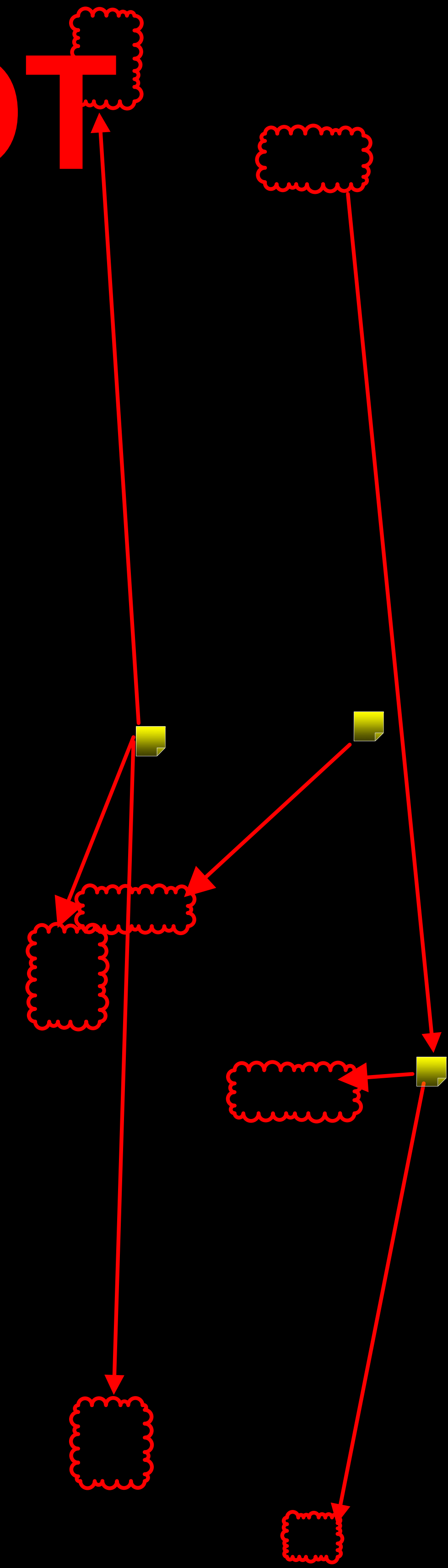
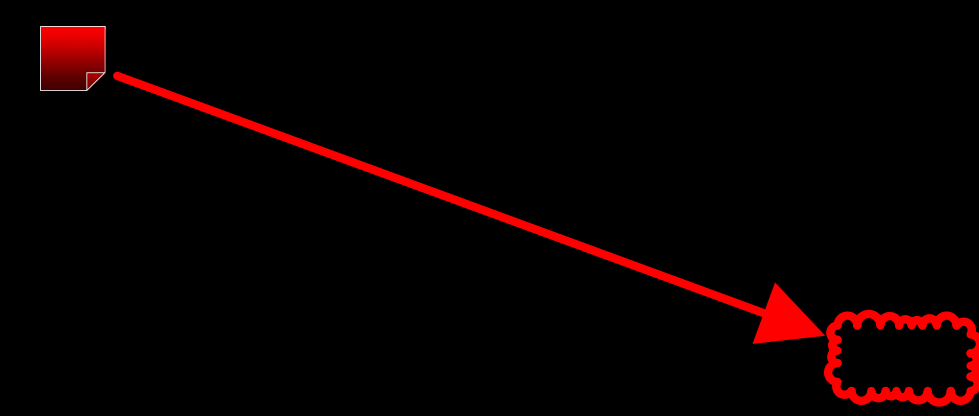
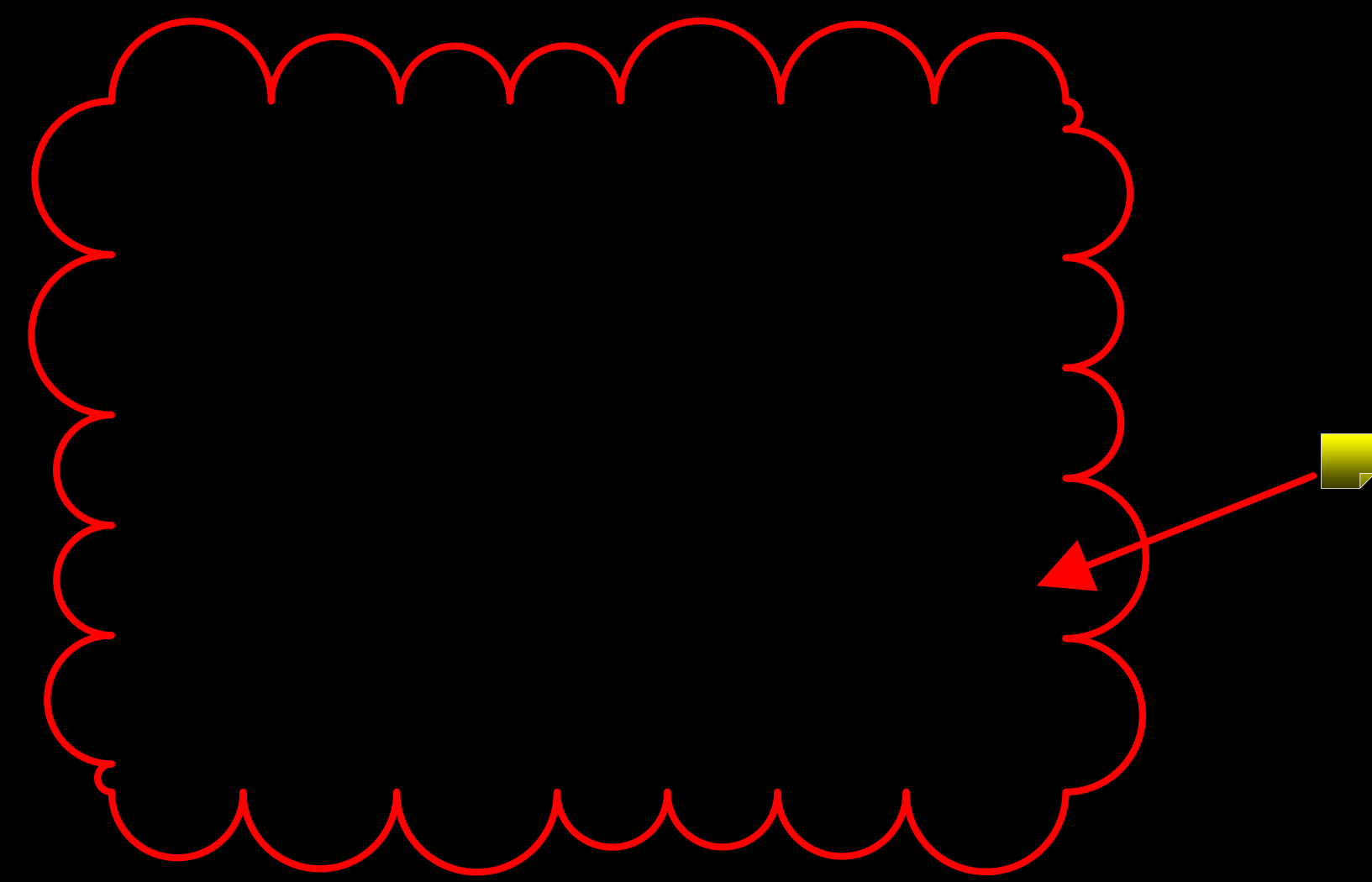
1300 HOLTON LANE
TAKOMA PARK, MD 20912

TACO BEER L
LIVE MAS
MEDIUM40 - MODIFIED

ROOF FRAMING PLAN
S3.0
PLOT DATE: 1-05-16

**VOID SHEET, NOT
APPLICABLE.**

Old drawing not applicable. See latest drawing dated 5/17/16





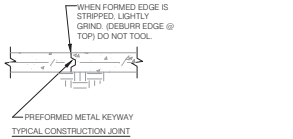
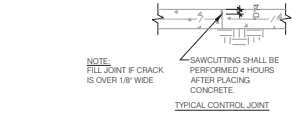
APPROVED

Department of Permitting Services

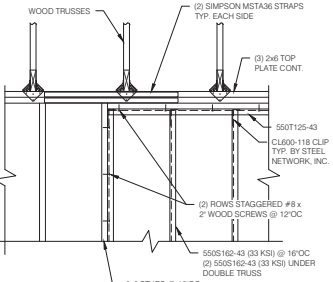
Permit # COMBUILD-742502

Date 09/21/16

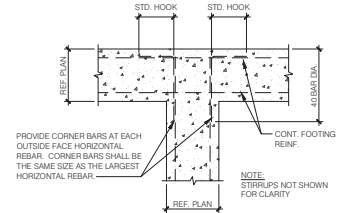
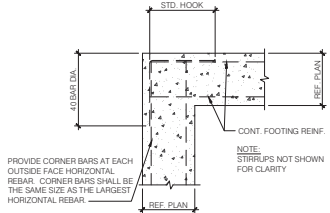
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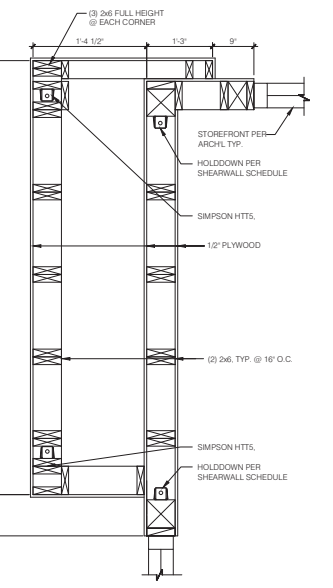
TYP. CONST. & CONTROL JOINTS 3/4" = 1'-0" 17



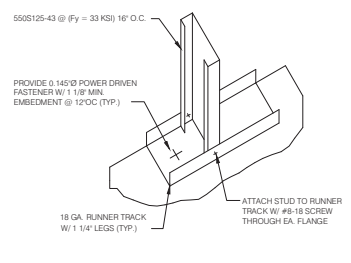
METAL STUD FRAMING ELEVATION N.T.S. 18



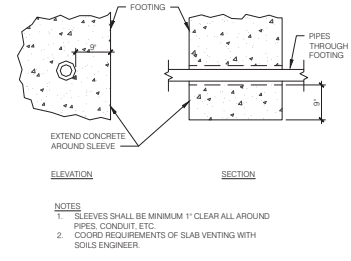
CORNER & INTERSECTION REINF. 1" = 1'-0" 14



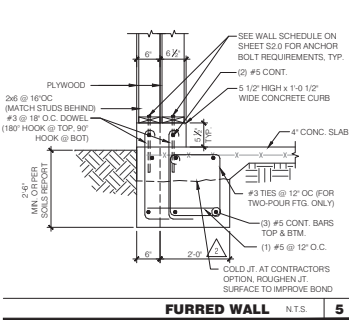
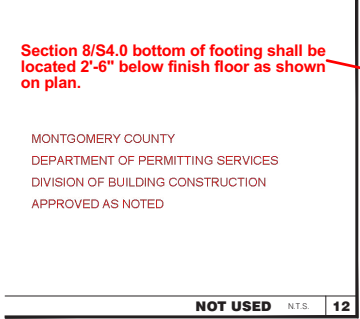
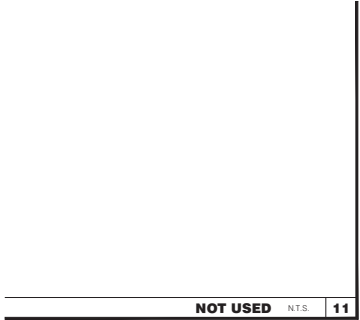
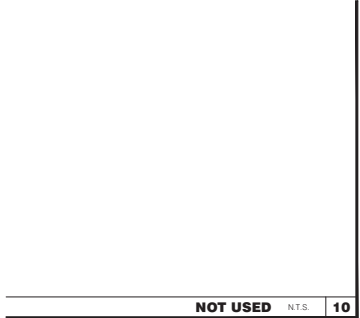
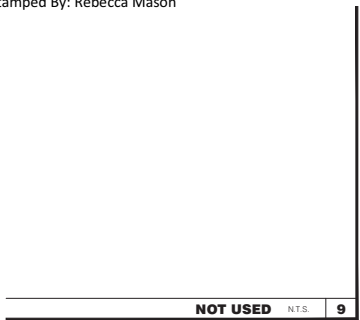
FRONT TOWER FRAMING N.T.S. 20



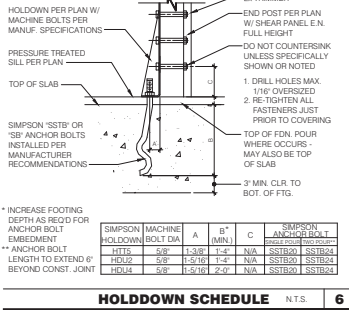
METAL STUD TO CONCRETE CONN. N.T.S. 15



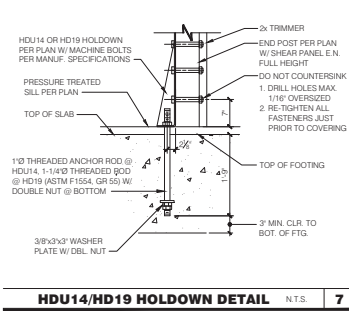
PIPES THROUGH FOUNDATIONS N.T.S. 16



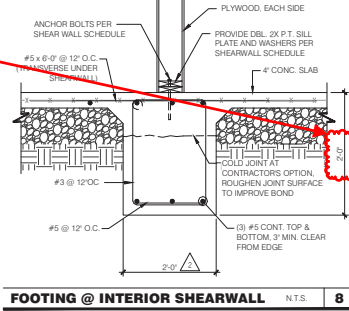
FURRED WALL N.T.S. 5



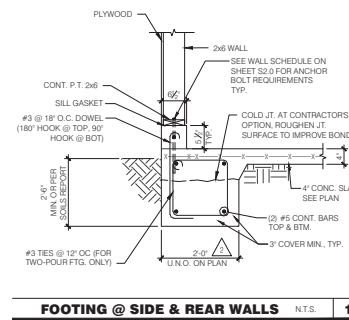
HOLDDOWN SCHEDULE N.T.S. 6



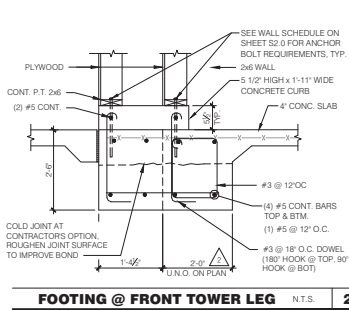
HDU14/HD19 HOLDDOWN DETAIL N.T.S. 7



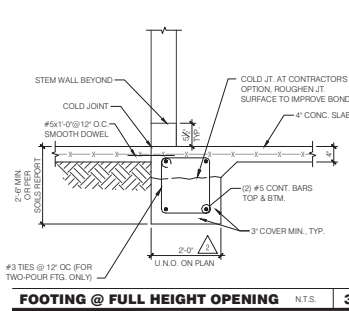
FOOTING @ INTERIOR SHEARWALL N.T.S. 8



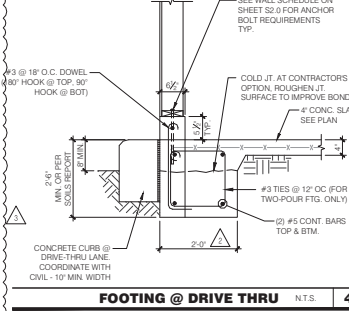
FOOTING @ SIDE & REAR WALLS N.T.S. 1



FOOTING @ FRONT TOWER LEG N.T.S. 2



FOOTING @ FULL HEIGHT OPENING N.T.S. 3



FOOTING @ DRIVE THRU N.T.S. 4

Section 8/S4.0 bottom of footing shall be located 2'-6" below finish floor as shown on plan.

MONTGOMERY COUNTY
DEPARTMENT OF PERMITTING SERVICES
DIVISION OF BUILDING CONSTRUCTION
APPROVED AS NOTED



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER 26691 EXPIRATION DATE: 12/31/2017.

15025.000

ADDRESS CHANGE	01/05/16
COUNTY COMMENTS	04/09/16
COUNTY COMMENTS	06/16/16

DATE: JULY 15, 2015
BUILDING TYPE: MED-40-MOD
PLAN VERSION: JUNE 2015
SITE NUMBER:
ENTRY NUMBER:

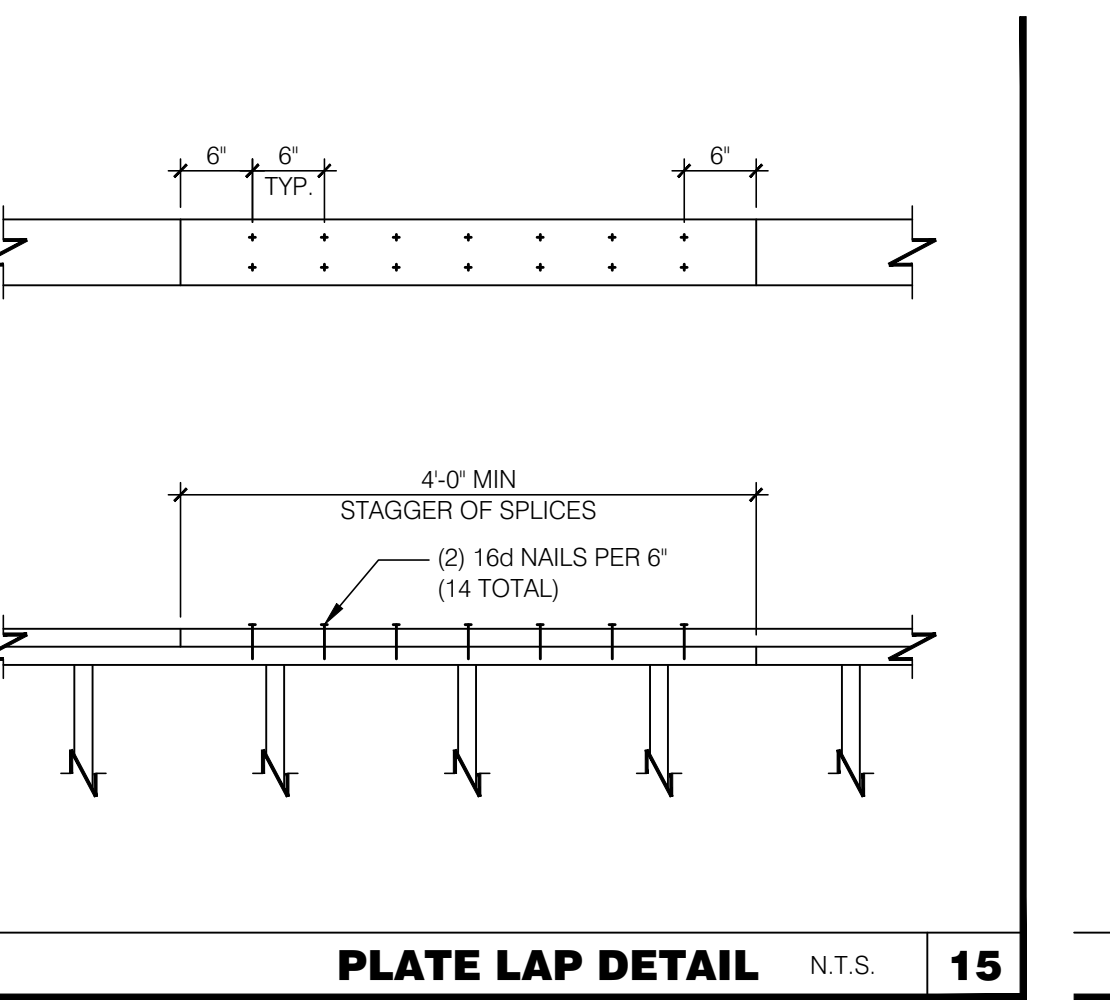
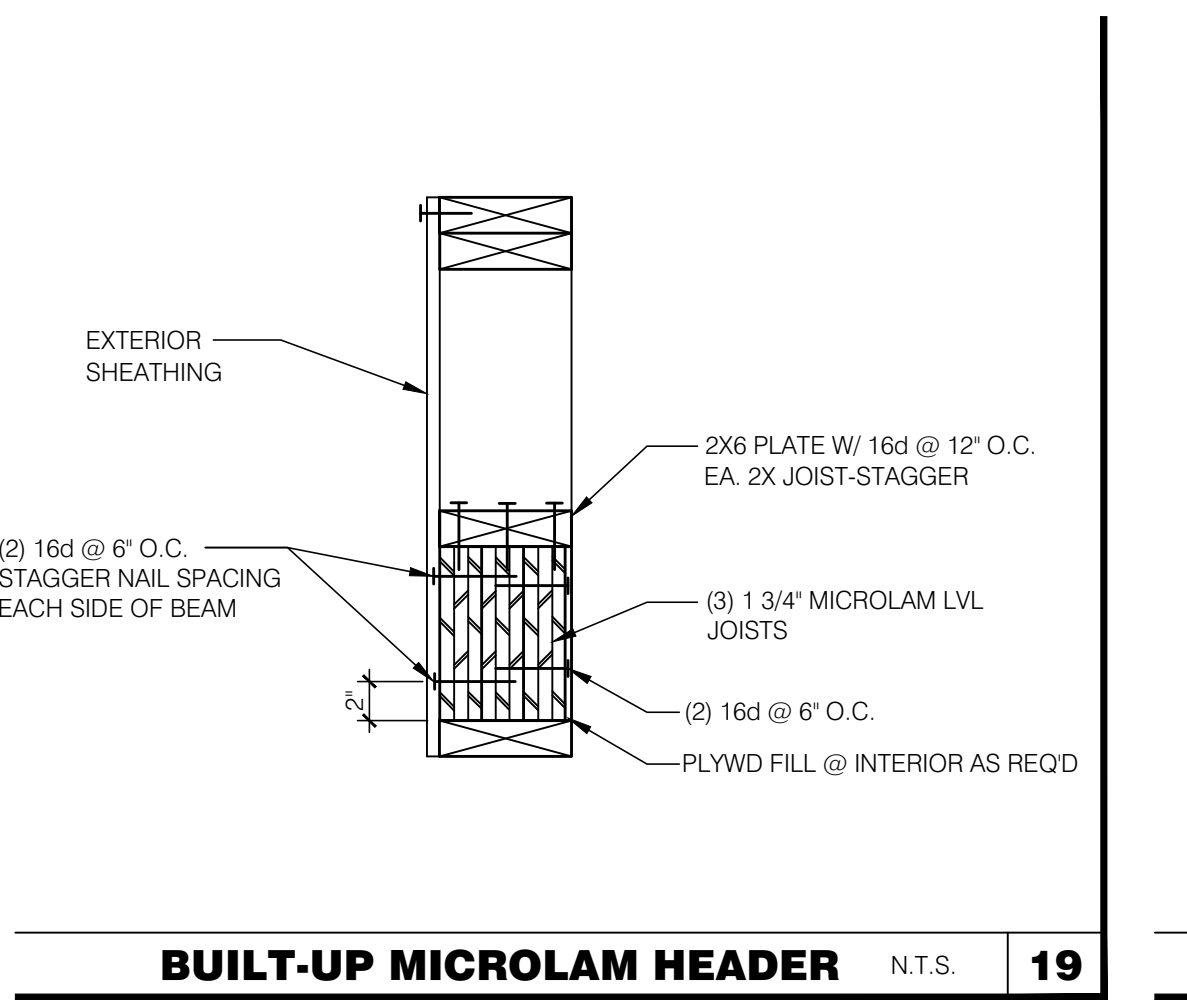
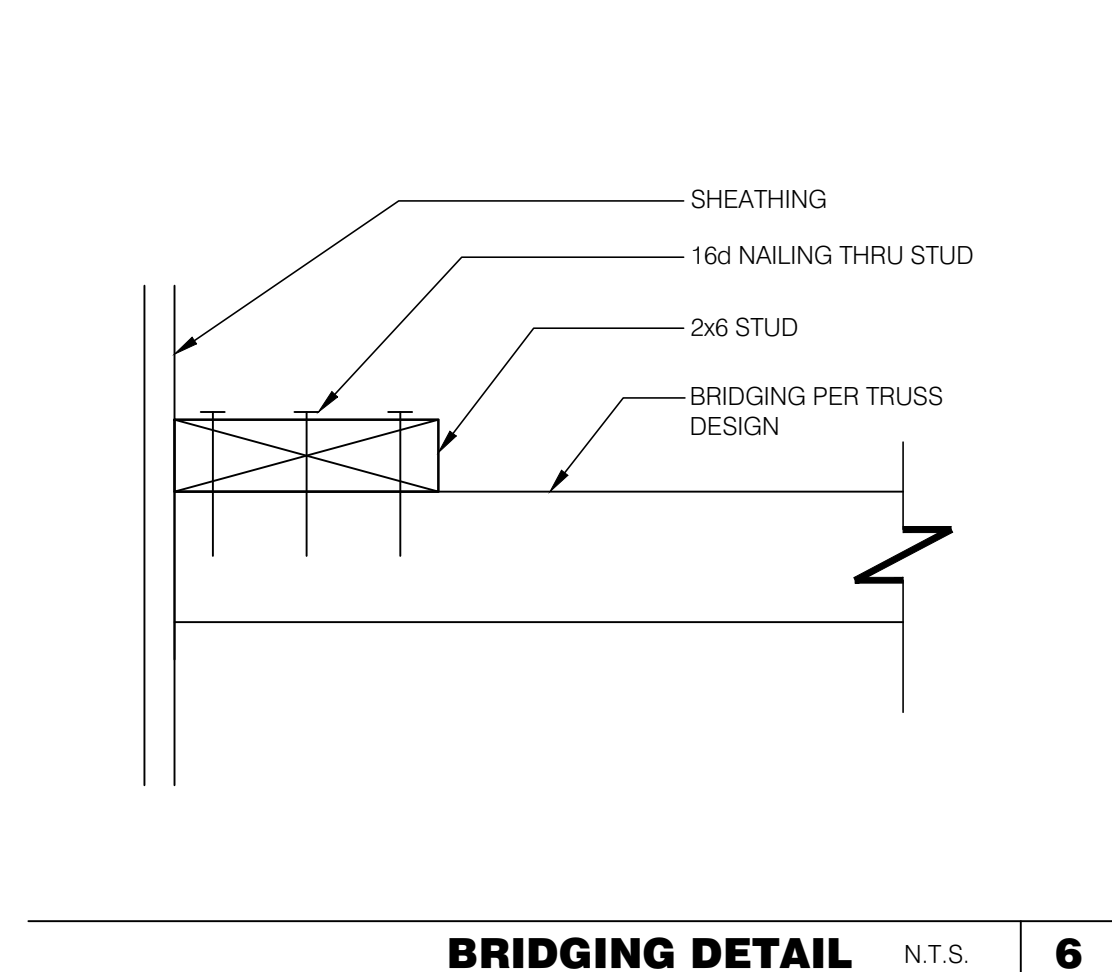
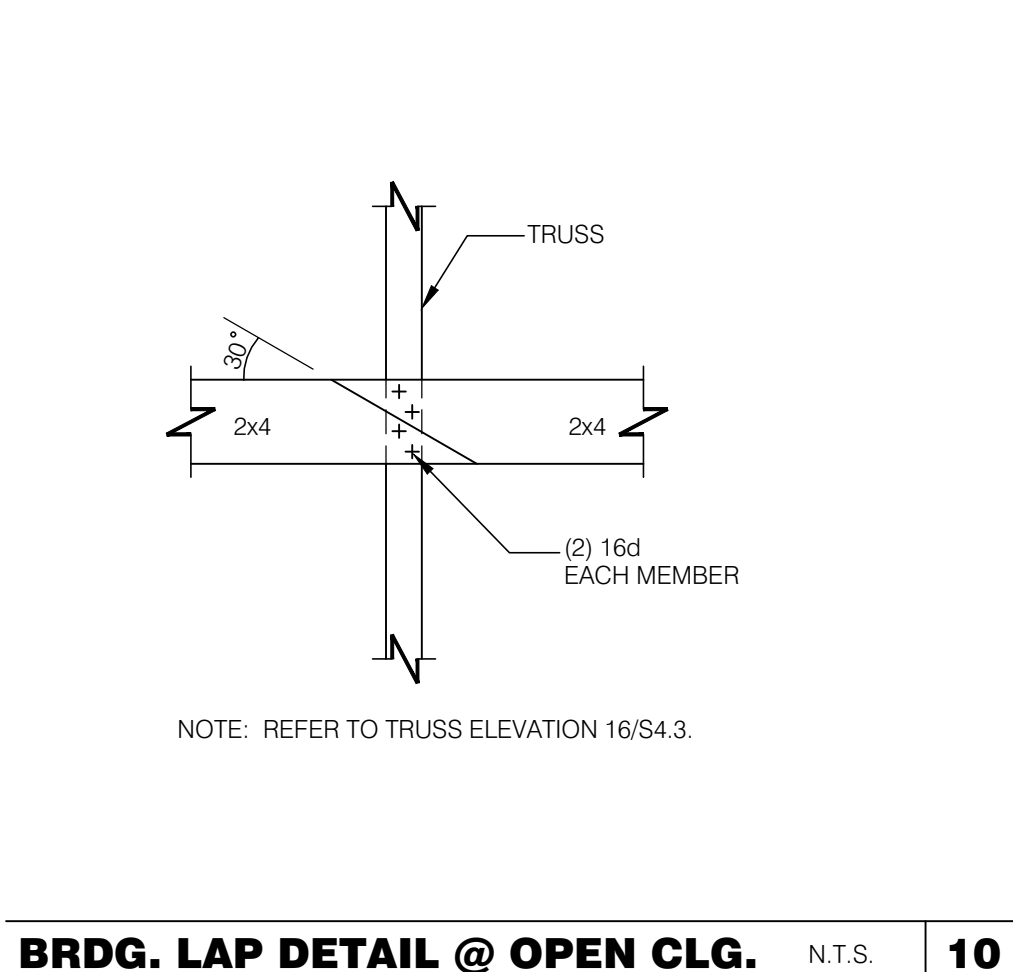
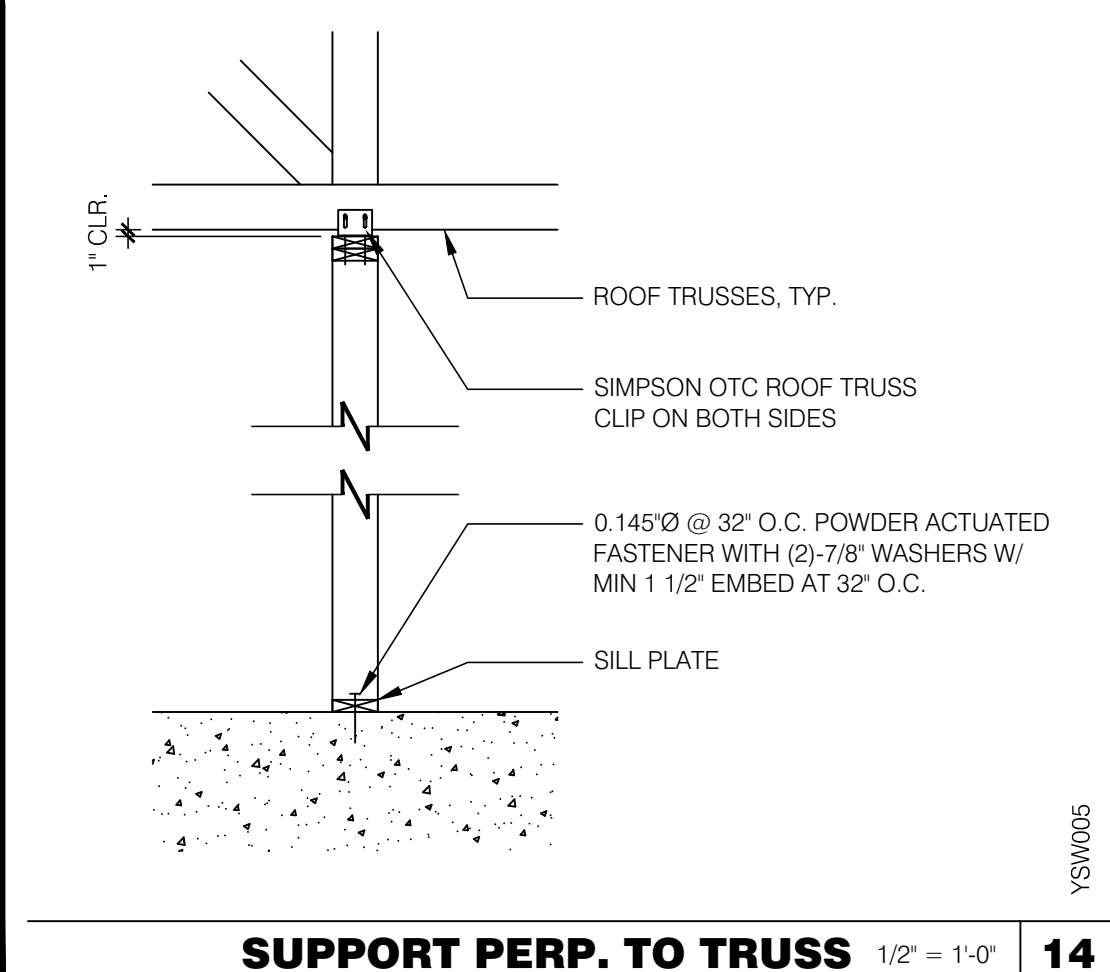
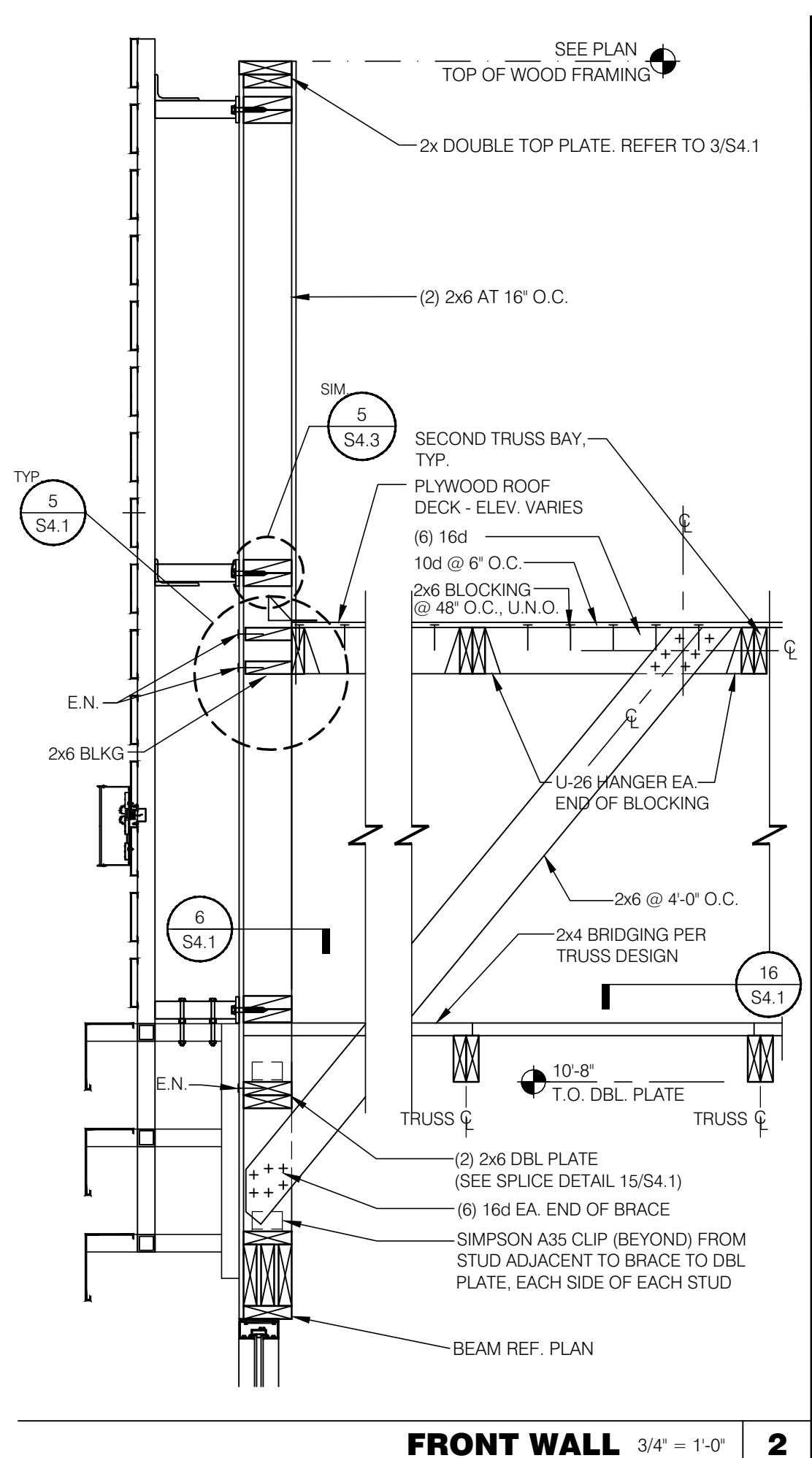
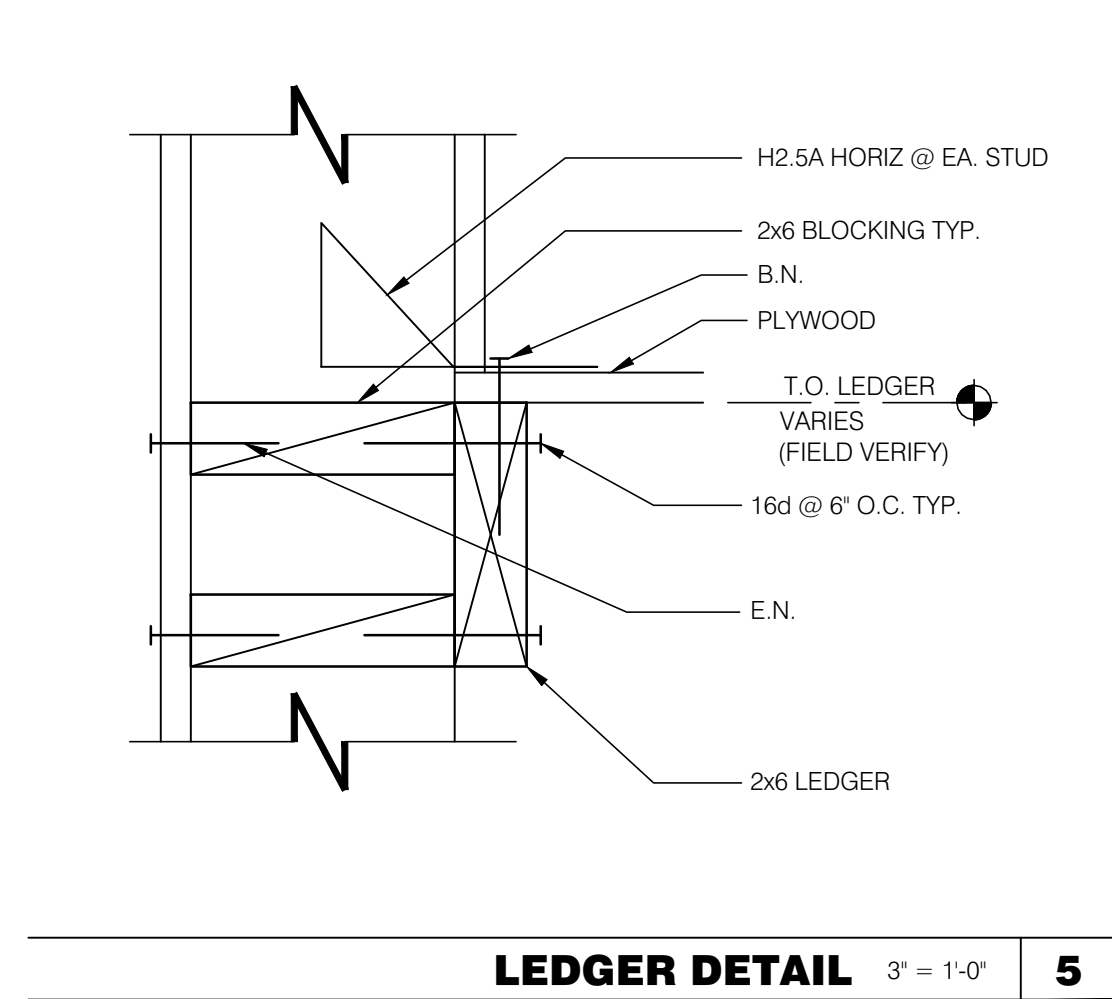
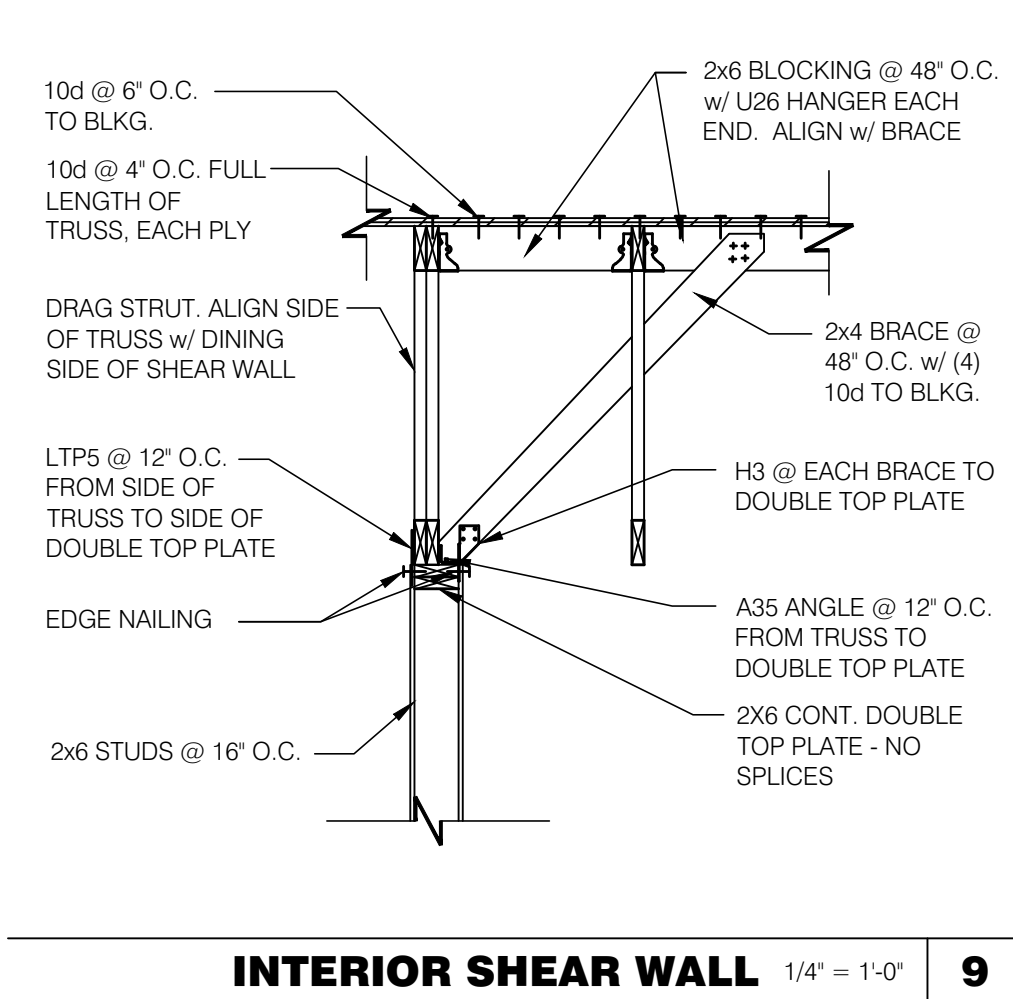
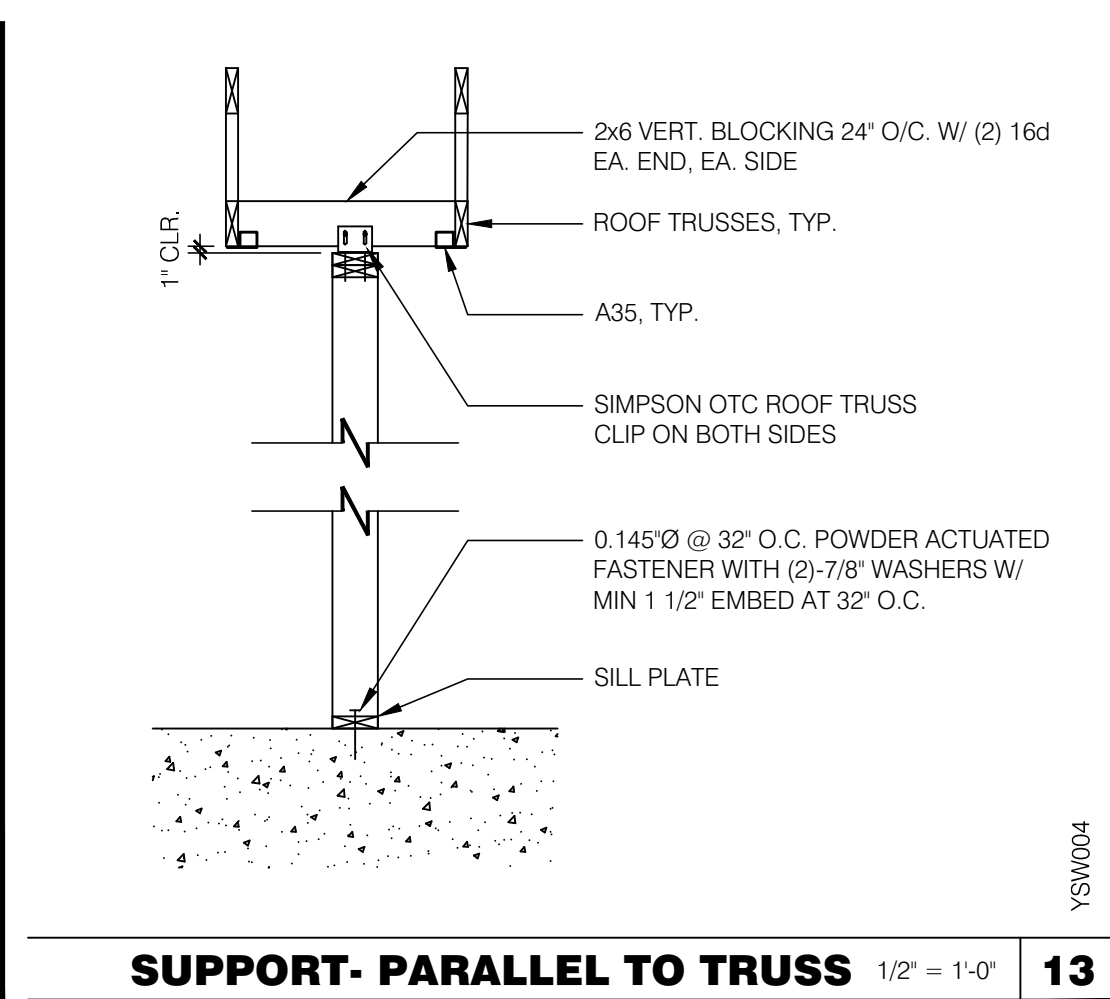
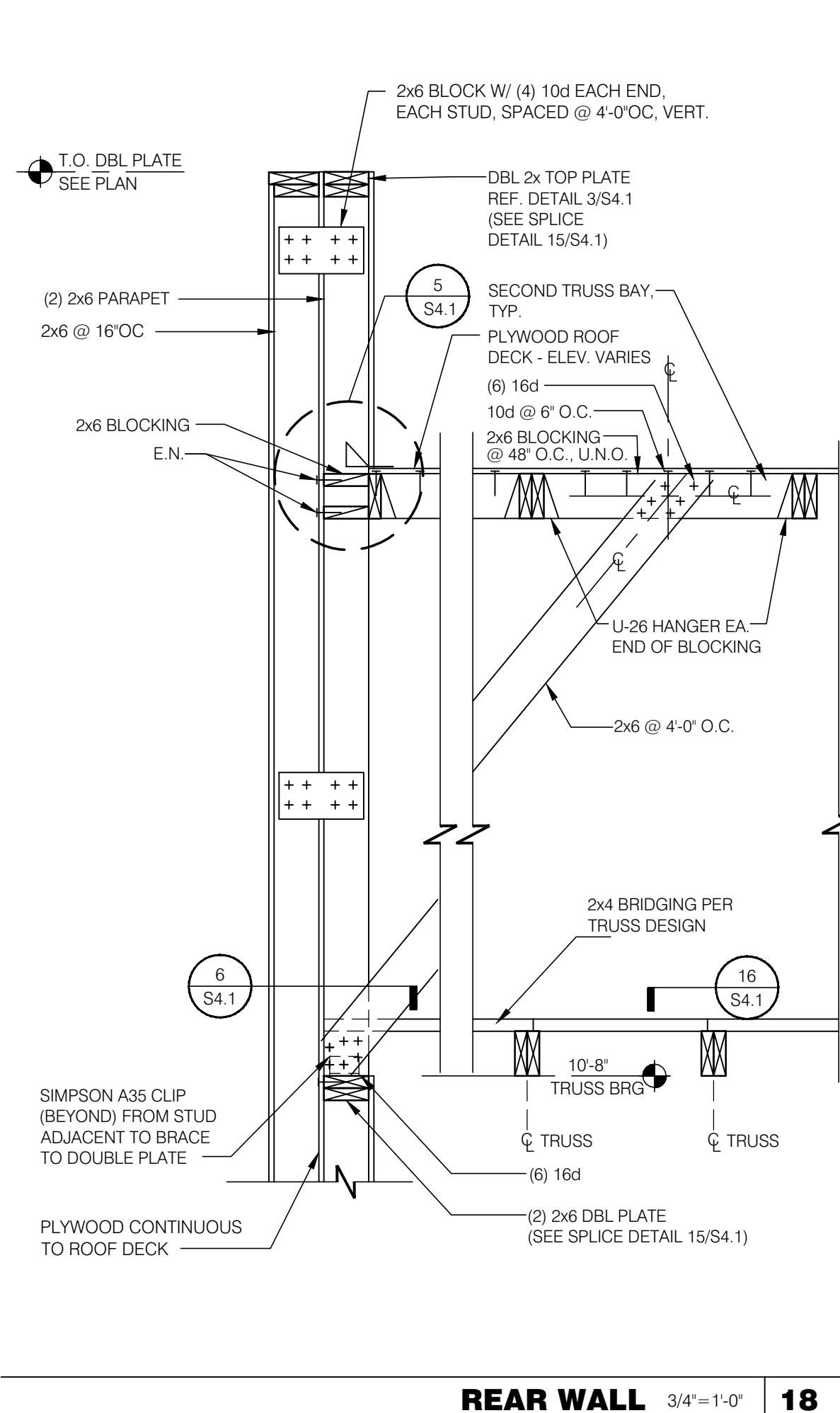
1300 HOLTON LANE TAKOMA PARK, MD 20912



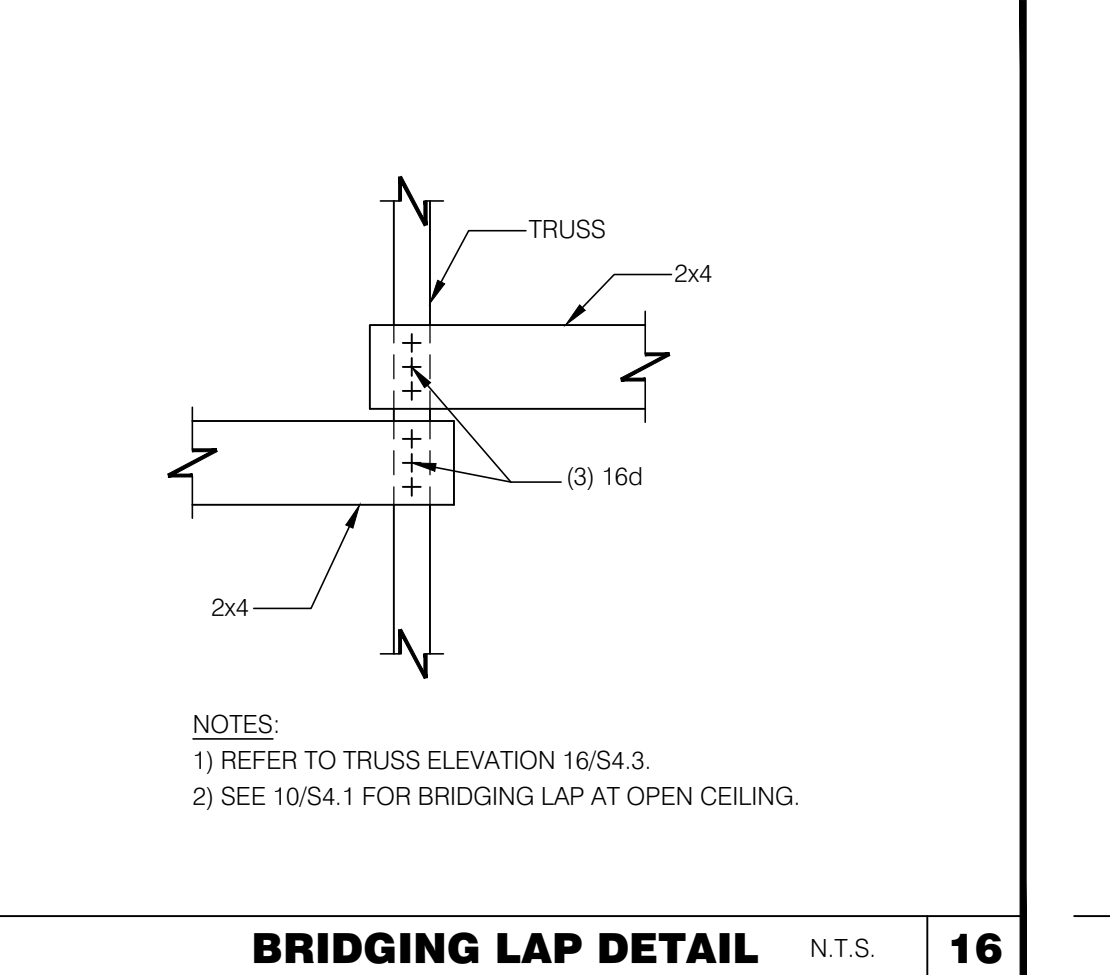
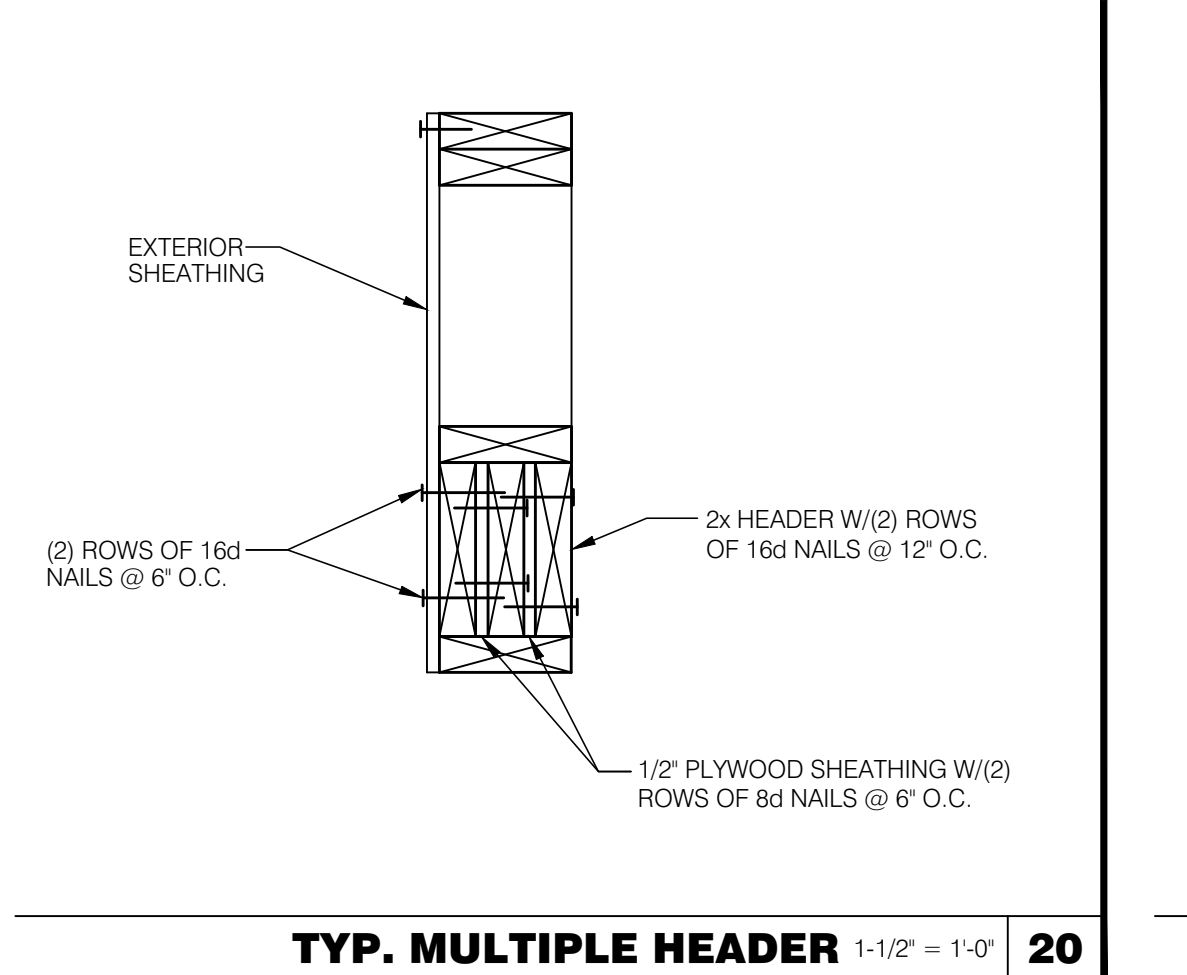
STRUCTURAL DETAILS (FOUNDATION)

S4.0

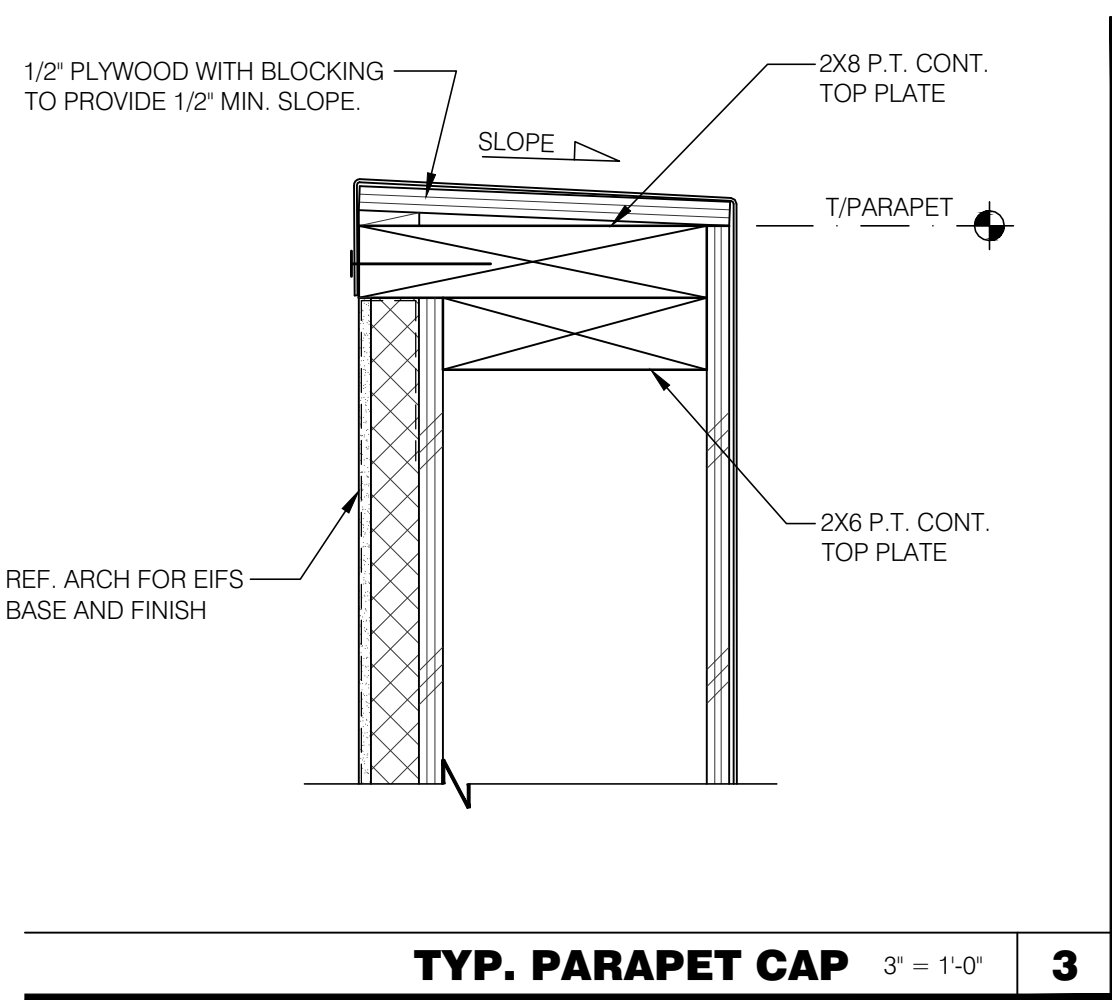
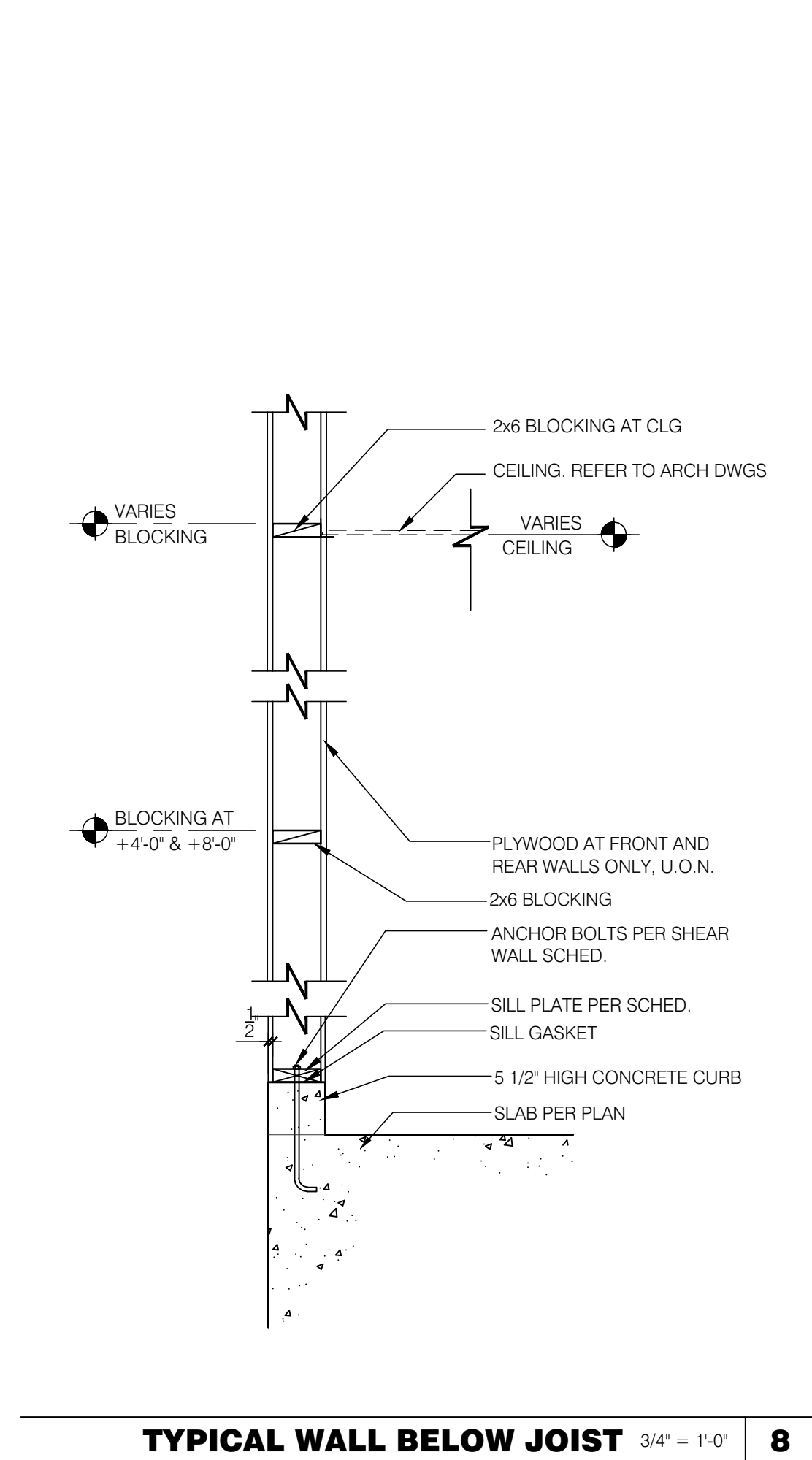
PLOT DATE: 6/16/16



MONTGOMERY COUNTY
 DEPARTMENT OF PERMITTING SERVICES
 DIVISION OF BUILDING CONSTRUCTION
 APPROVED AS NOTED



NOT USED N.T.S.



EQUIPMENT	DESIGN WEIGHT
HVAC UNIT - RTU-1	1600 lbs.
HVAC UNIT - RTU-2	2800 lbs.
EXHAUST FAN - EF-1	200 lbs.
EXHAUST FAN - EF-2	70 lbs.
HOOD #1 - TACO BELL	400 lbs.
ICE CONDENSERS	200 lbs.
FREEZER CONDENSER	300 lbs.
COOLER CONDENSER	300 lbs.
MUZAK DISH, SLED & BALLAST - ALLOW FOR LOCATION ANYWHERE ON ROOF.	1,087 lbs.

* A. ALL DESIGN WEIGHTS INCLUDE CURB.
 B. COORDINATE WEIGHTS WITH HVAC UNIT SCHEDULE 1/M.1.0.
 C. MAXIMUM RTU WEIGHT: 2,800 LBS.
 D. USE THESE WEIGHTS FOR TRUSS DESIGN CRITERIA: 18/S4.3

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15025.000

ADDRESS CHANGE 01/05/16
 COUNTY COMMENTS 04/08/16

DATE: JULY 15, 2015
 BUILDING TYPE: MED-40-MOD
 PLAN VERSION: JUNE 2015
 SITE NUMBER:
 ENTITY NUMBER:

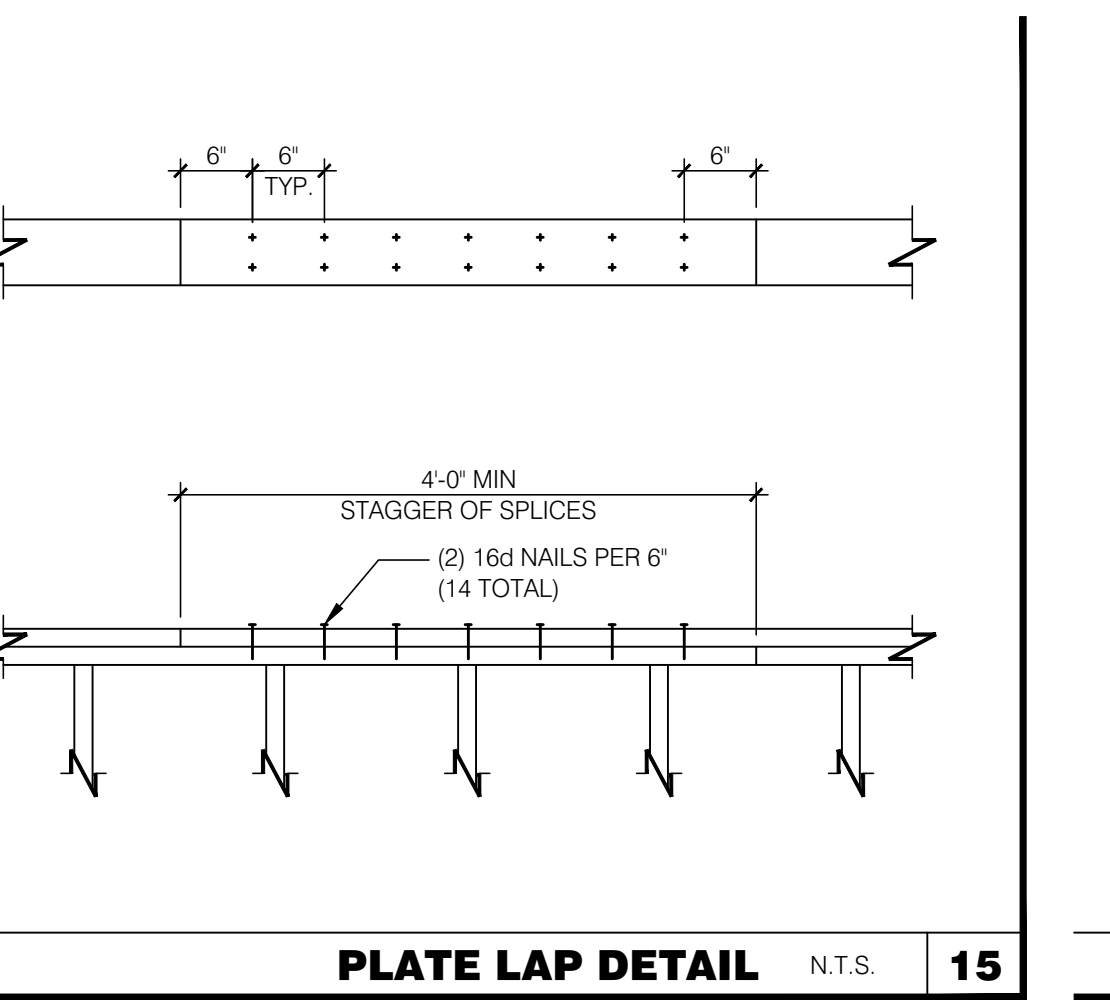
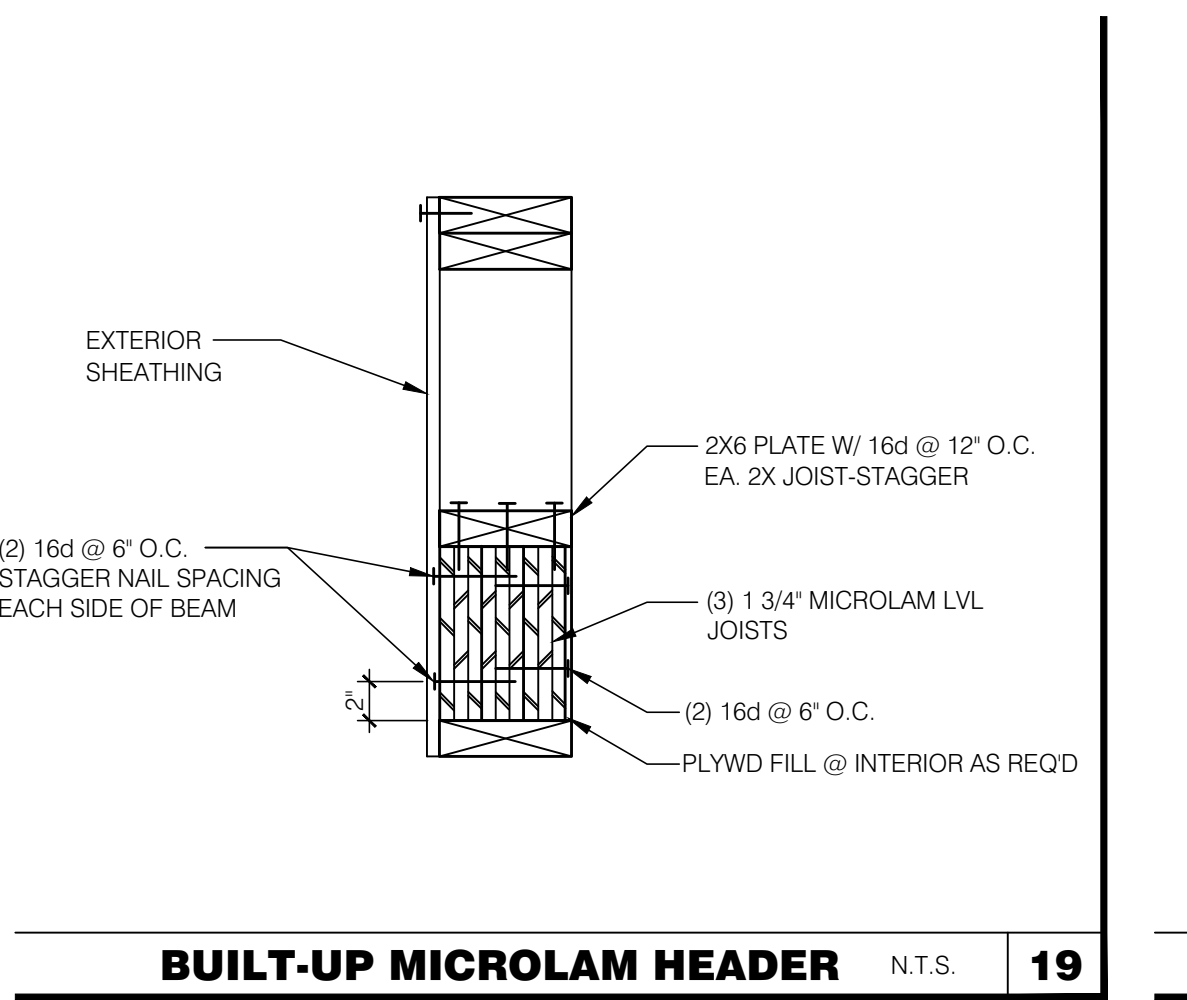
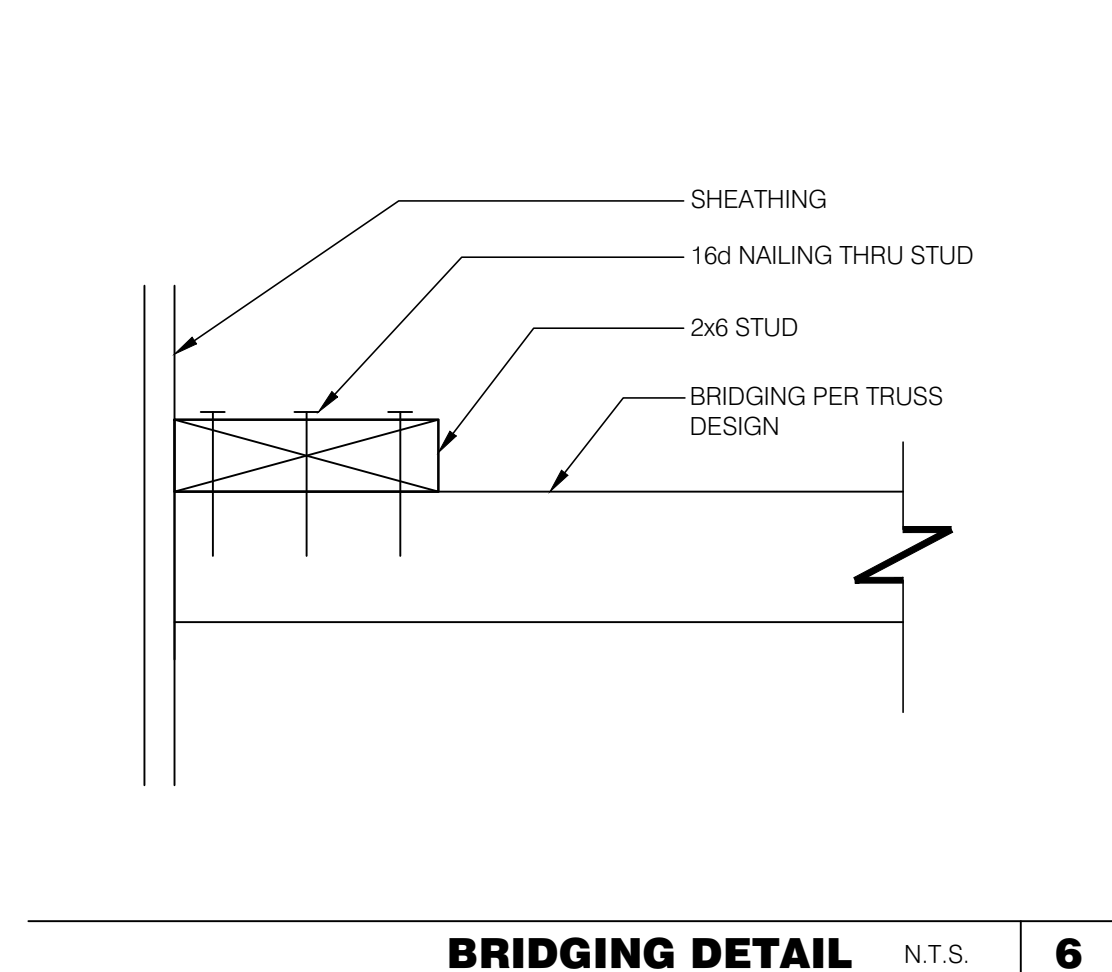
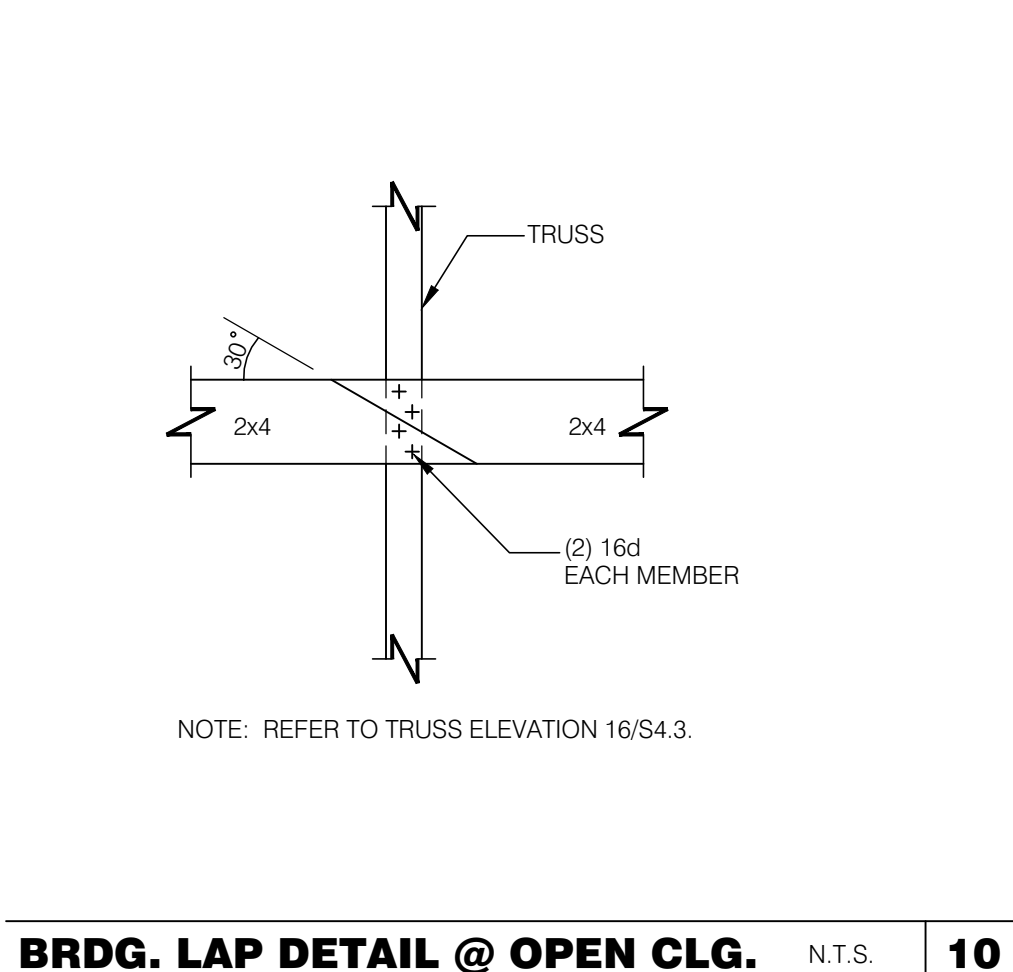
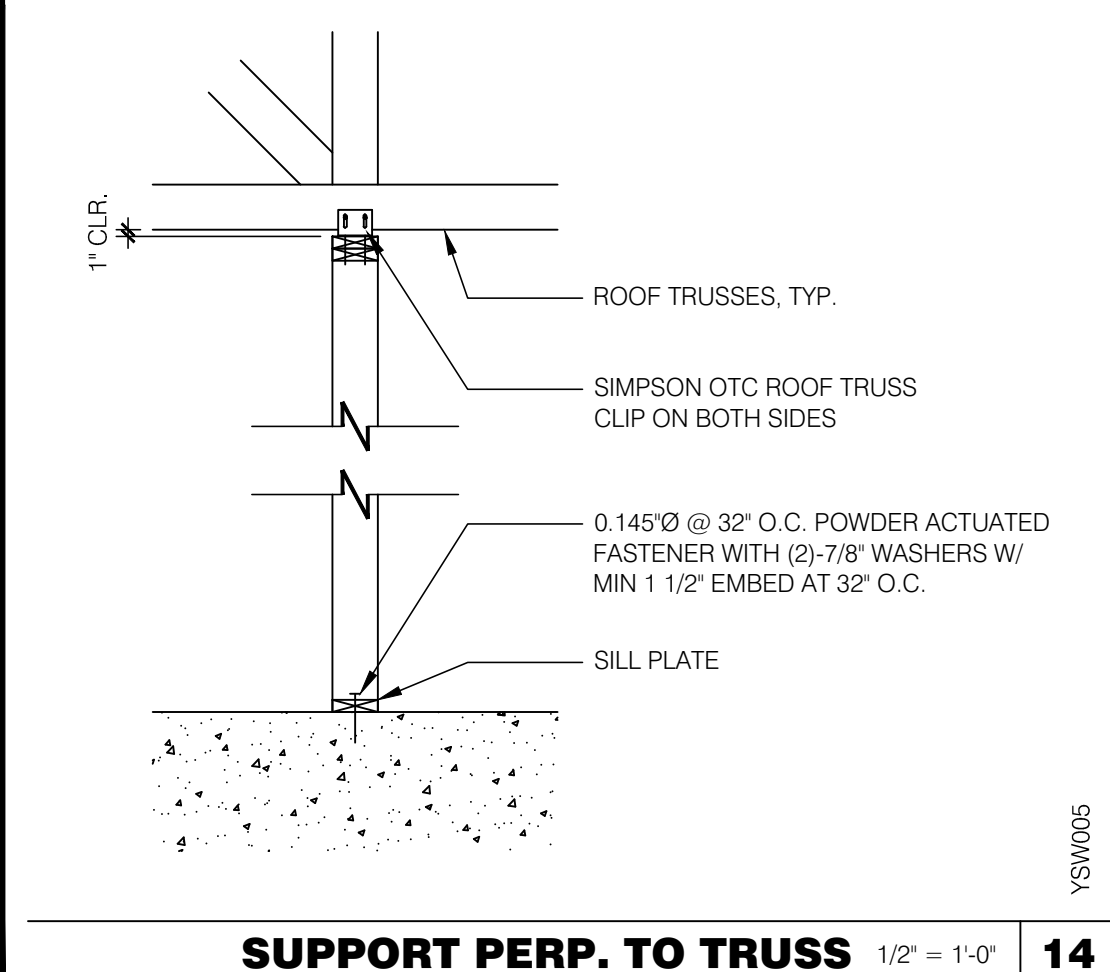
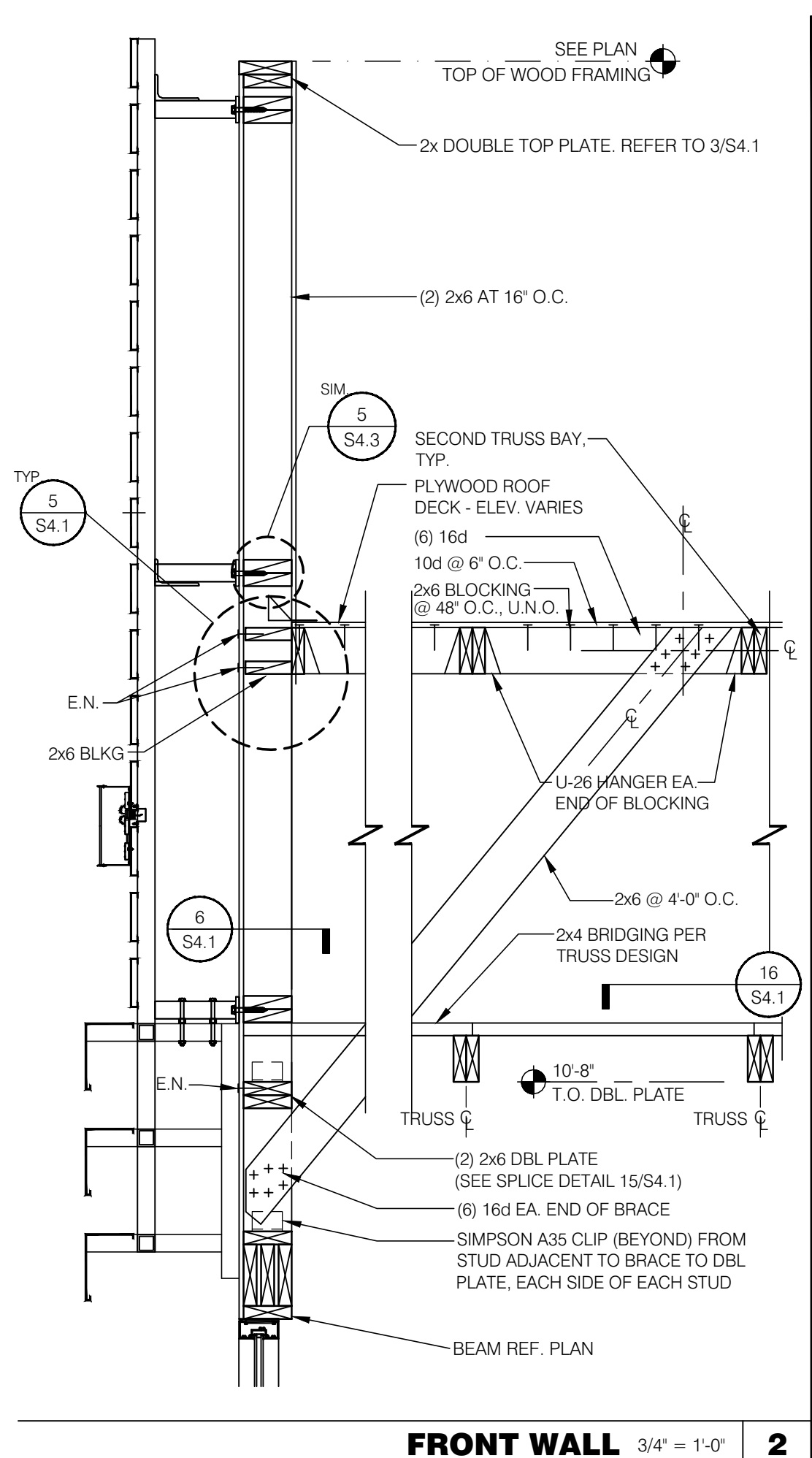
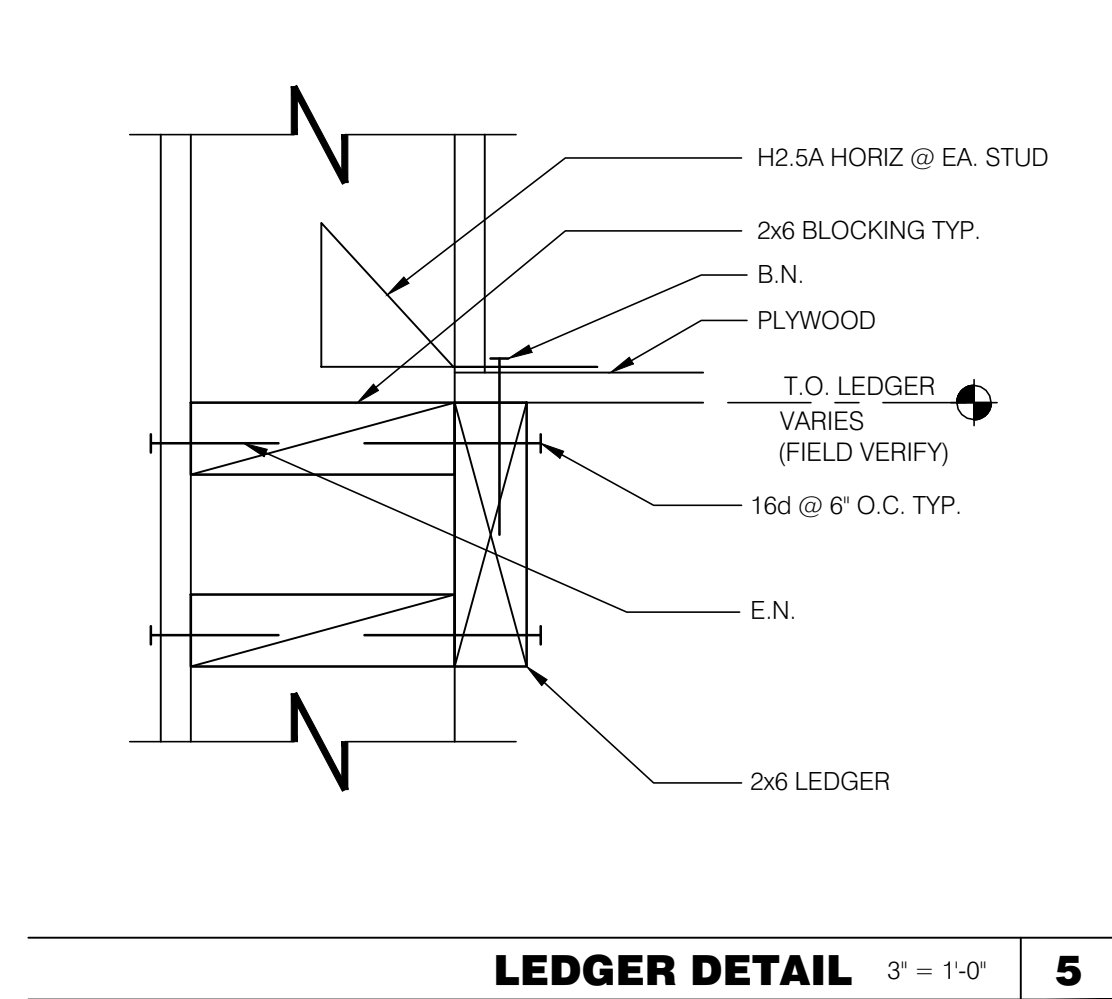
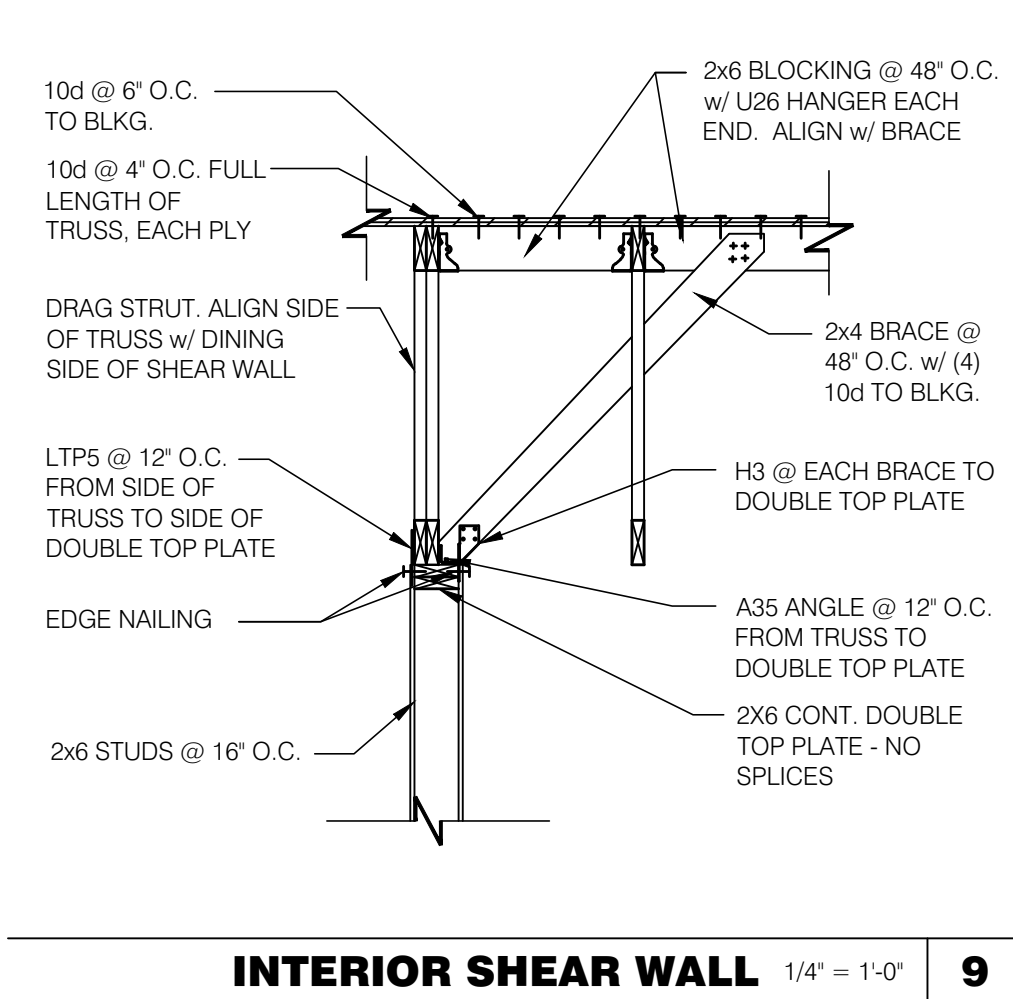
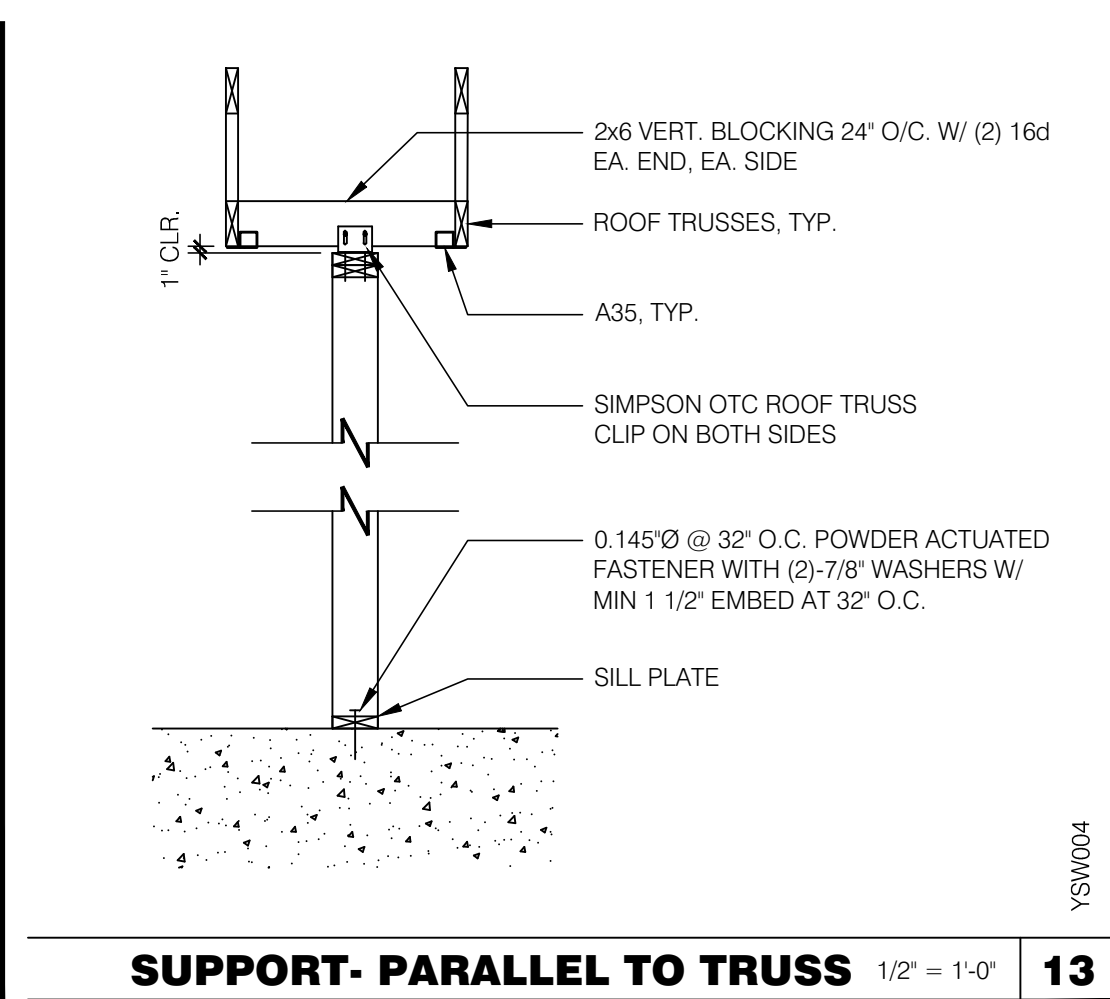
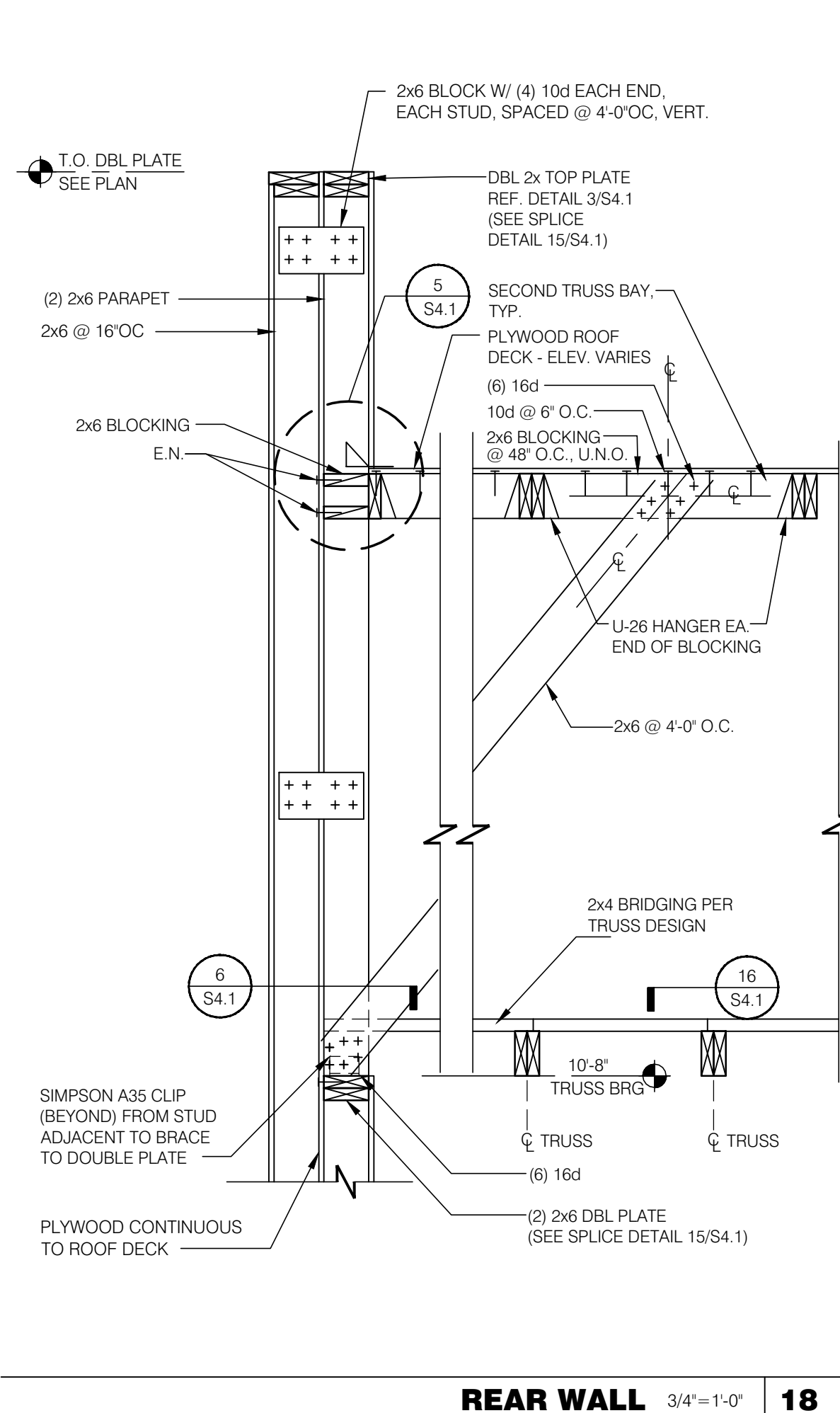
1300 HOLTON LANE
 TAKOMA PARK, MD 20912

LIVE MAS
 MEDIUM40 - MODIFIED

STRUCTURAL DETAILS (FRAMING)

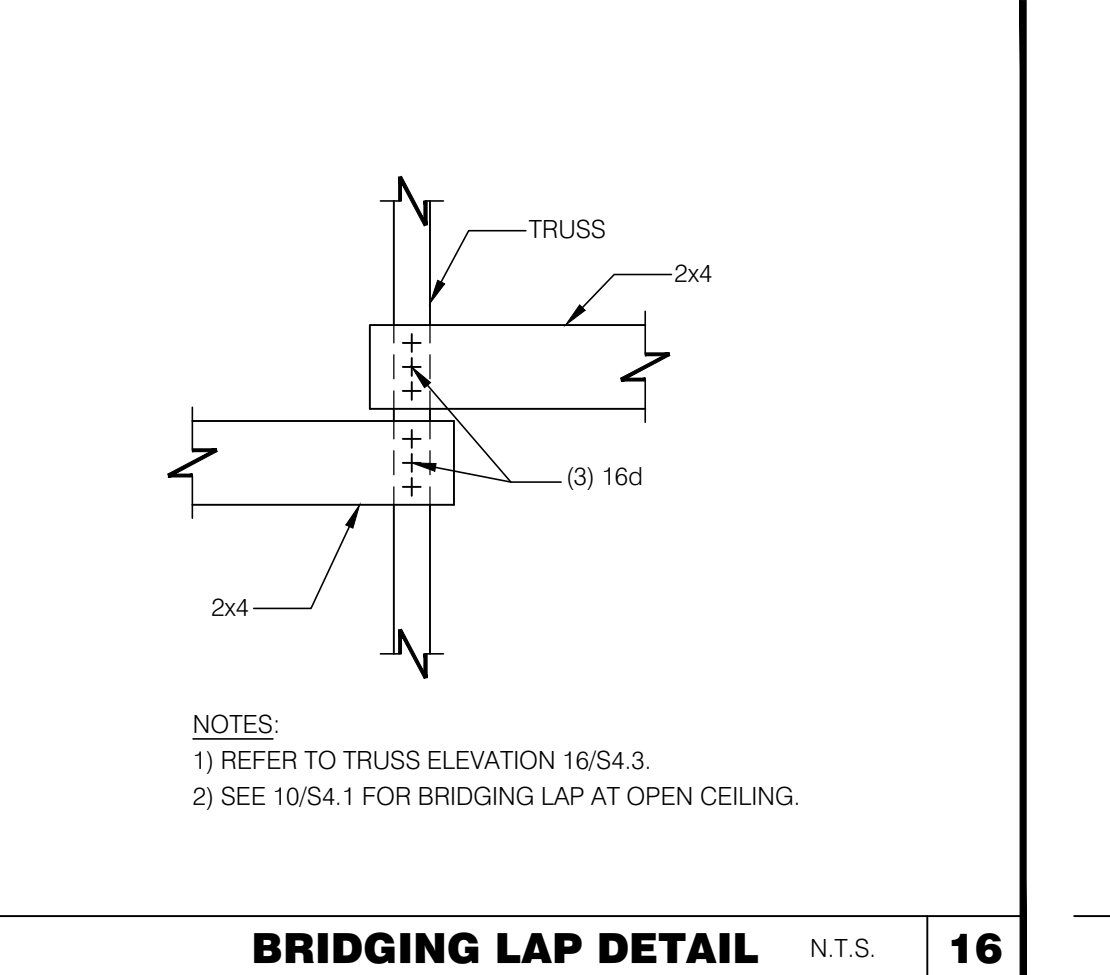
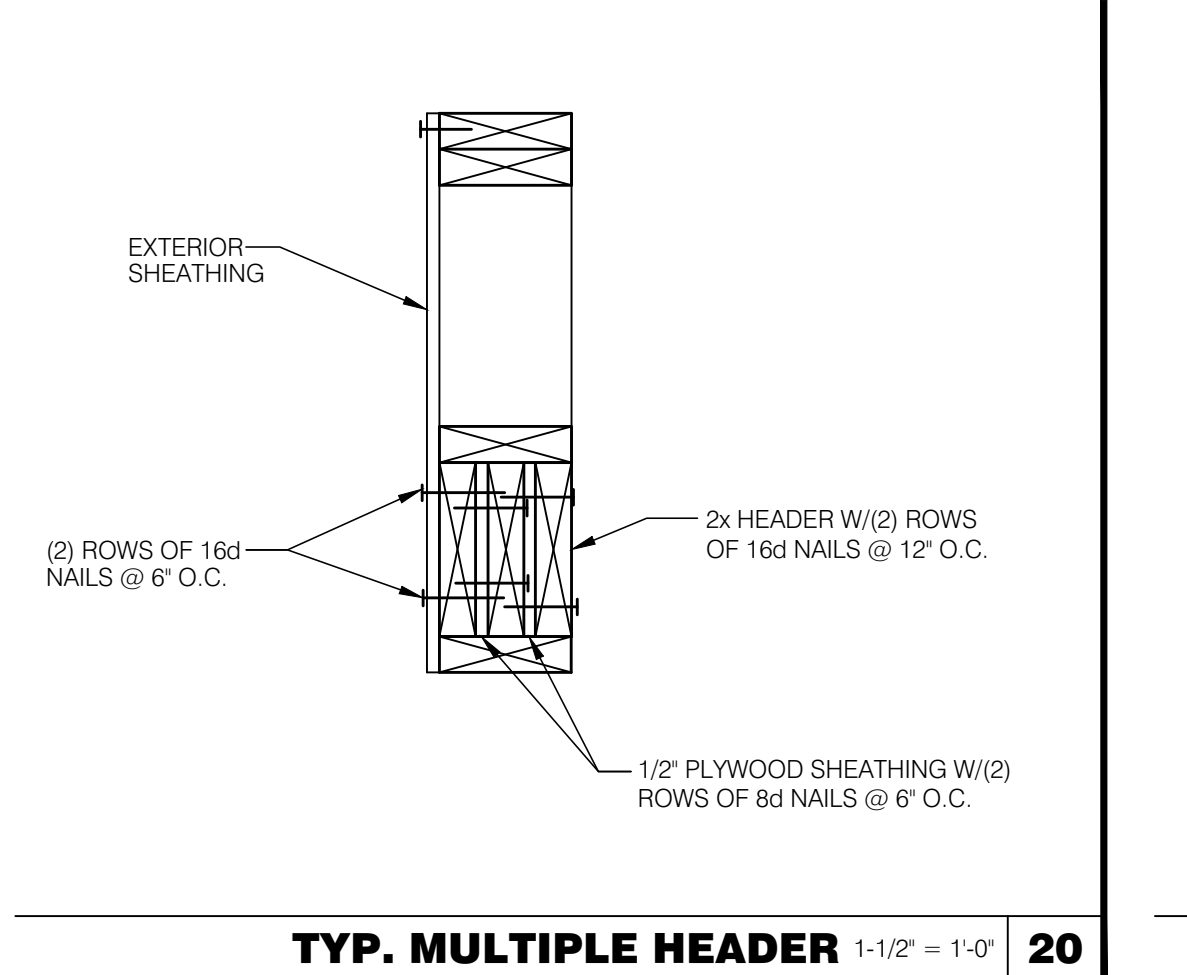
S4.1

PLOT DATE: 4-08-16

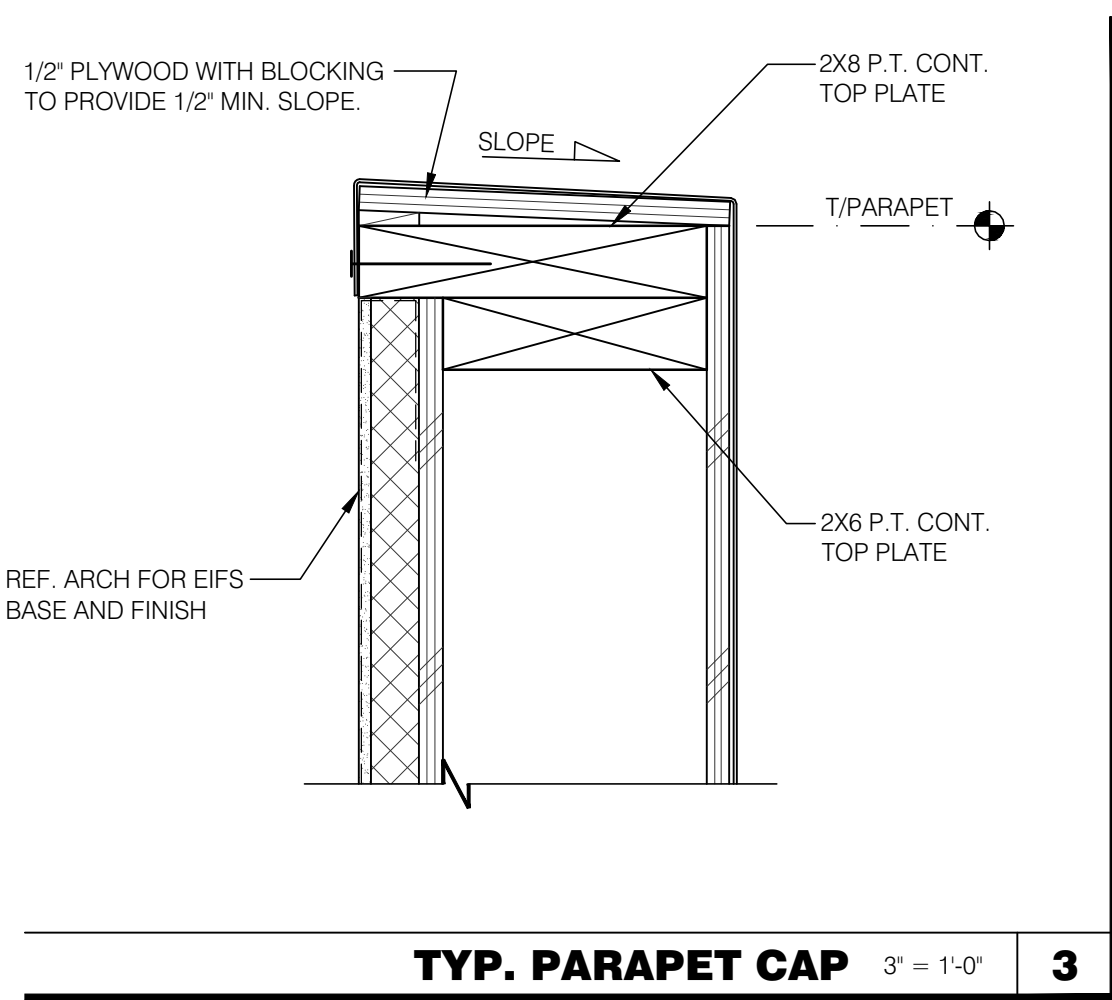
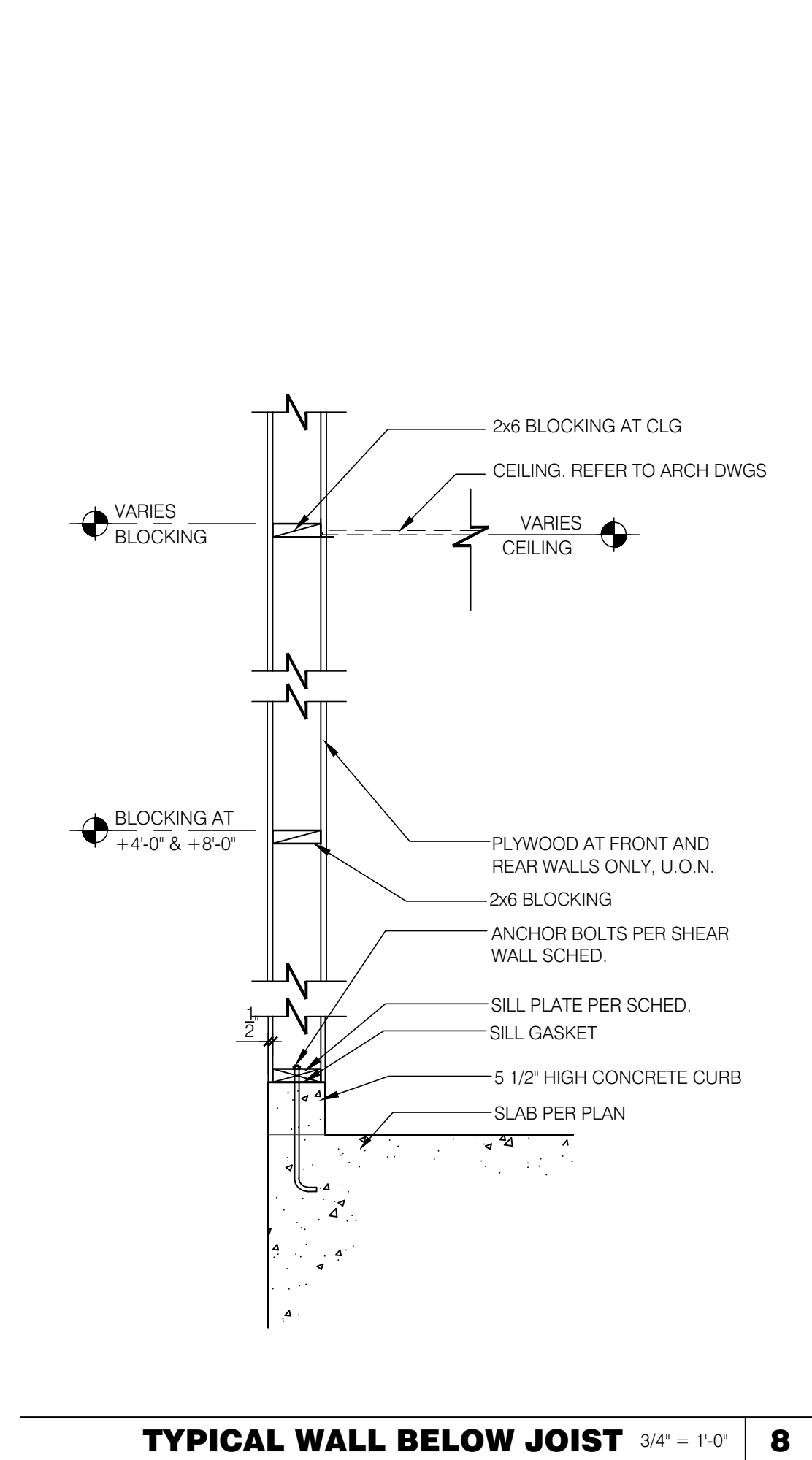


MONTGOMERY COUNTY
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 DIVISION OF BUILDING CONSTRUCTION
 APPROVED AS NOTED

Duplicate copy. Latest drawing is dated 04/08/16.



NOT USED N.T.S.



EQUIPMENT	DESIGN WEIGHT
HVAC UNIT - RTU-1	1600 lbs.
HVAC UNIT - RTU-2	2800 lbs.
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15025.000

ADDRESS CHANGE 01/05/16
 COUNTY COMMENTS 04/08/16

DATE: JULY 15, 2015
 BUILDING TYPE: MED-40-MOD
 PLAN VERSION: JUNE 2015
 SITE NUMBER: _____
 ENTITY NUMBER: _____

1300 HOLTON LANE
 TAKOMA PARK, MD 20912

LIVE MAS
 MEDIUM40 - MODIFIED

STRUCTURAL DETAILS (FRAMING)

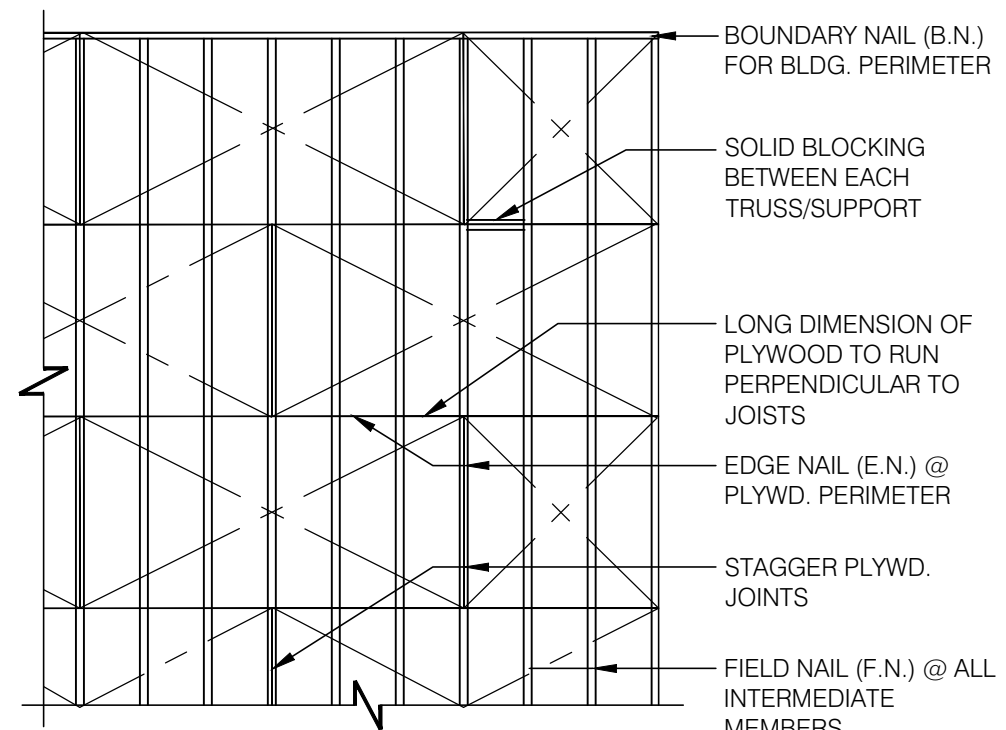
S4.1

PLOT DATE: 4-08-16



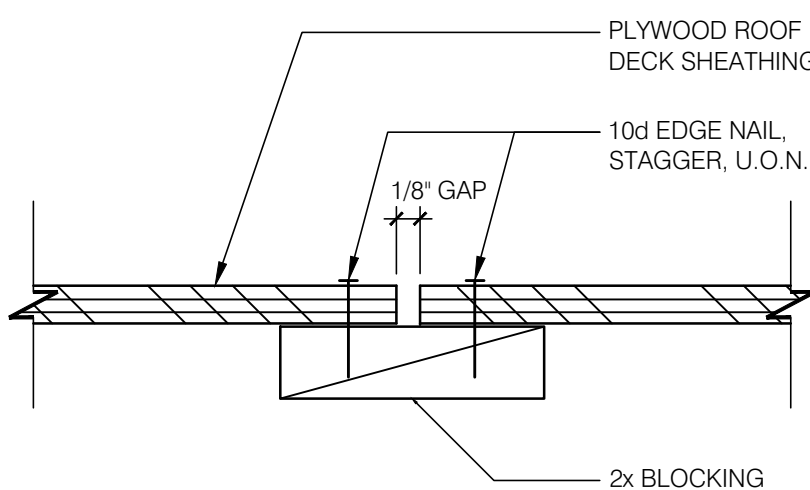
CONNECTION TYPE:	NAILING:
1. JOIST TO SILL OR GIRDER, TOENAIL	(3-8d)
2. BRIDGING TO JOIST, TOENAIL EACH END	(2-8d)
3. 1"x6" (25MMx152MM) SUBFLOOR OR LESS TO JOIST, FACE NAIL	(2-8d)
4. WIDER THAN 1' X 6" (25MMx152MM) SUBFLOOR TO JOIST, FACE NAIL	(3-8d)
5. 2" (52MM) SUBFLOOR TO GIRDER, BLIND AND FACE NAIL	(2-16d)
6. SOLE PLATE TO JOIST OR BLOCKING, TYPICAL FACE NAIL	(16d @ 16" O.C.)
7. SOLE PLATE TO JOIST OR BLOCKING, AT BRACED W. PANELS	(3-16d PER 16')
8. TOP PLATE TO STUD, END NAIL	(2-16d)
9. STUD TO SOLE PLATE	(2-16d END NAIL)
10. DOUBLE STUDS, FACE NAIL	(16d @ 24", O.C.)
11. DOUBLE TOP PLATES, TYPICAL FACE NAIL	(16d @ 16" O.C.)
12. DOUBLE TOP PLATES, LAP SPLICE	(8-16d)
13. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	(3-8d)
14. RIM JOIST TO TOP PLATE, TOENAIL	(8d @ 6" O.C.)
15. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	(2-16d)
16. CONTINUOUS HEADER, TWO PIECES	(16d @ 16" O.C. ALONG EDGE)
17. CEILING JOISTS TO PLATE, TOENAIL	(3-8d)
18. CONTINUOUS HEADER TO STUD, TOENAIL	(4-8d)
19. CEILING JOISTS, LAP OVER PARTITIONS, FACE NAIL	(3-16d)
20. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	(3-16d)
21. RAFTER TO PLATE, TOENAIL	(3-8d)
22. 1" (25MM) BRACE TO EACH STUD AND PLATE, FACE NAIL	(2-8d)
23. 1"x8" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	(2-8d)
24. WIDER THAN 1"x8" SHEATHING TO EACH BEARING, FACE NAIL	(3-8d)
25. BUILT-UP CORNER STUDS	(16d @ 24" O.C.)
26. 2" PLANKS	(2-16d AT EACH SPLICE)
27. 2x6 BOX BEAM / HEADER	(12d @ 12" O.C.)
28. BUILT-UP GIRDER AND BEAMS	(20d @ 32" O.C. AT TOP & BOTTOM AND STAGGERED 2-20d AT ENDS AND AT EACH SPLICE)

NAILING SCHEDULE N.T.S. **18**

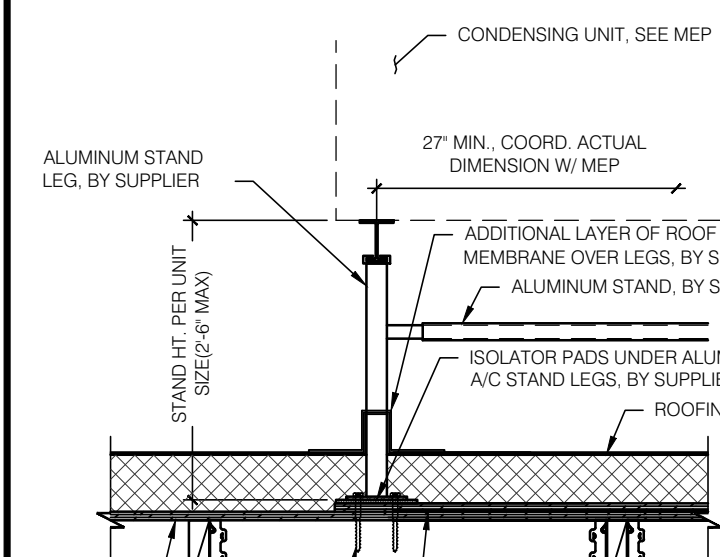


NOTES:
 1. MIN. PLYWD. SHT. SIZE SHALL BE 2'-0" X 4'-0".
 2. MIN. 3/8" NAILING EDGE DISTANCE.
 3. EDGE NAIL (E.N.) O/ BEAMS AND AROUND ALL OPENINGS.

ROOF NAILING PLAN N.T.S. **13**

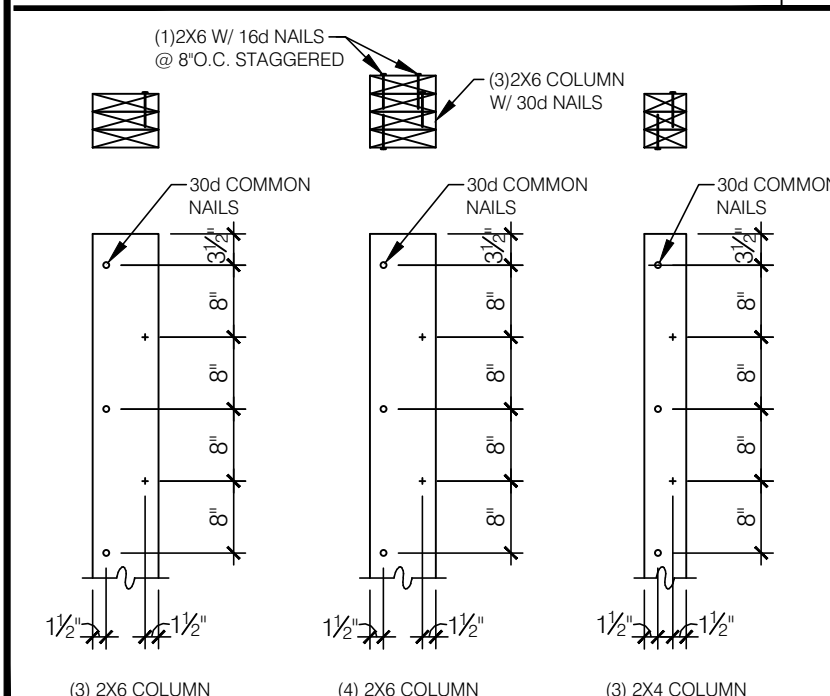


PLYWOOD EDGE BLOCKING N.T.S. **14**

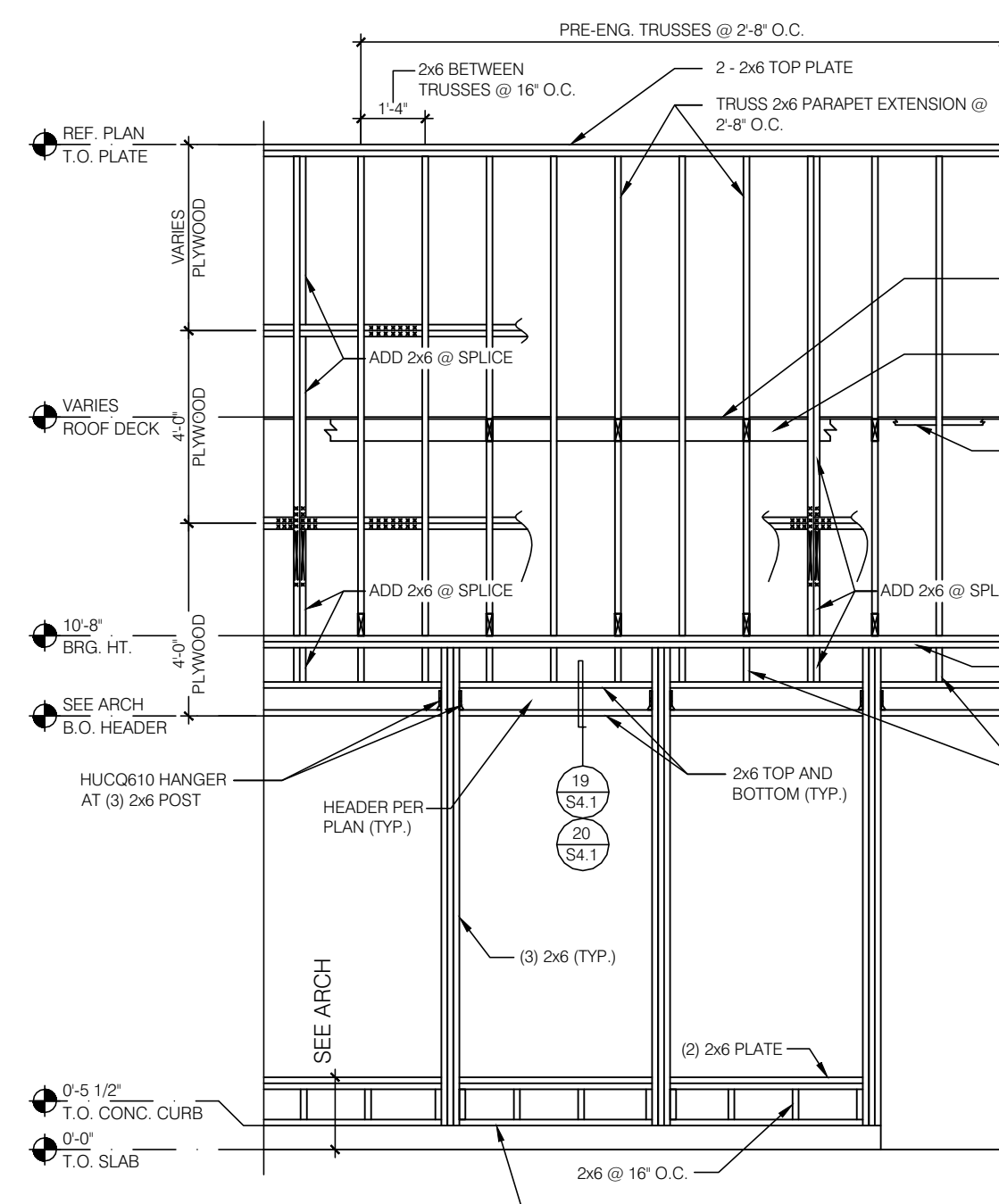


NOTE:
 SET SUPPORTS ON SOLID NON-RIBBED NEOPRENE, AND SECURE LAG BOLTS THROUGH STEEL/NEOPRENE WASHER

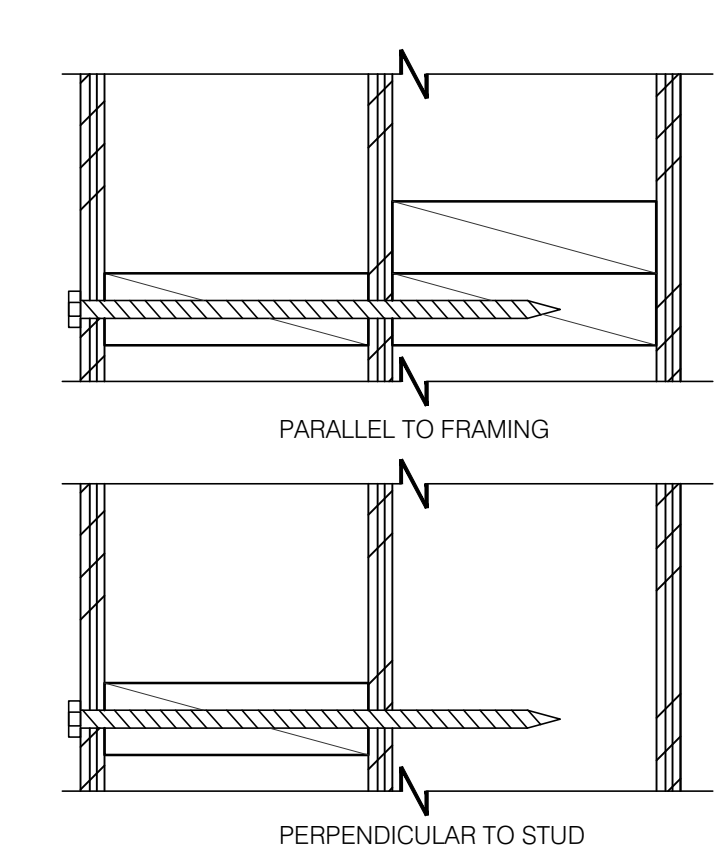
ALUMA STAND DETAIL N.T.S. **9**



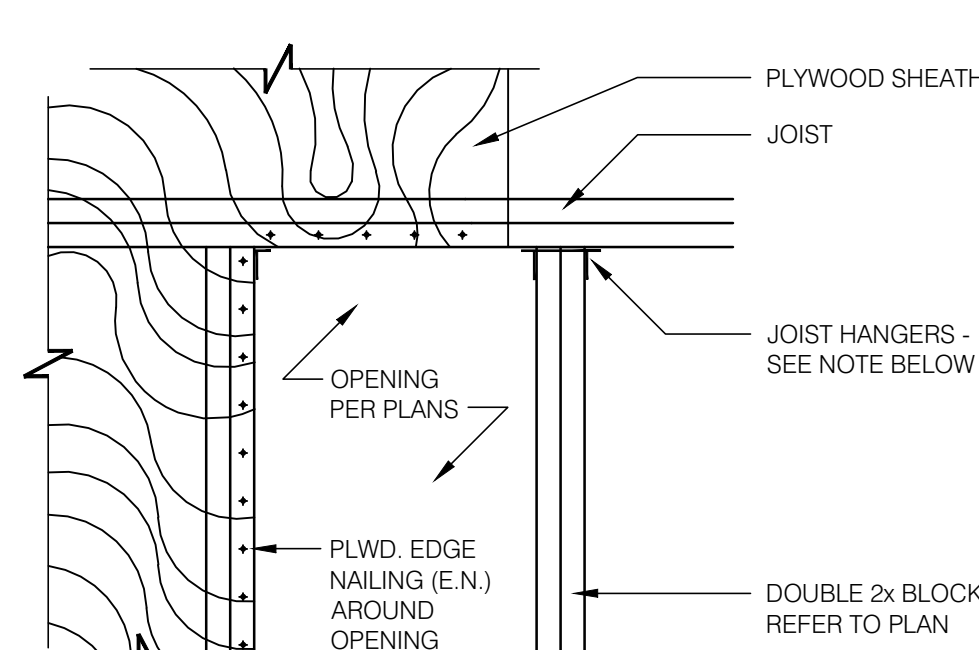
BUILT-UP 2X COLUMNS N.T.S. **10**



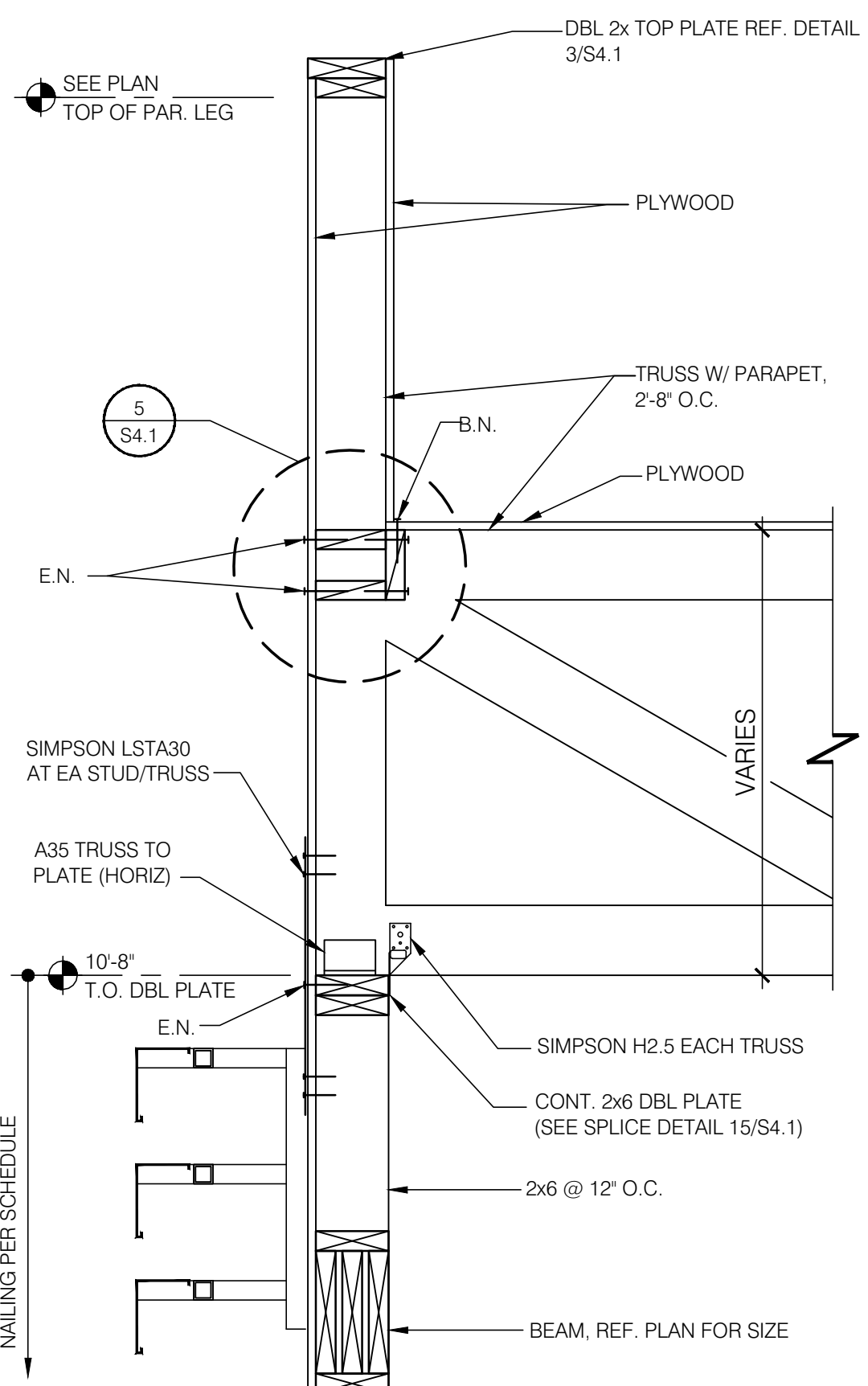
WALL FRAMING AT OPENING 3/8" = 1'-0" **6**



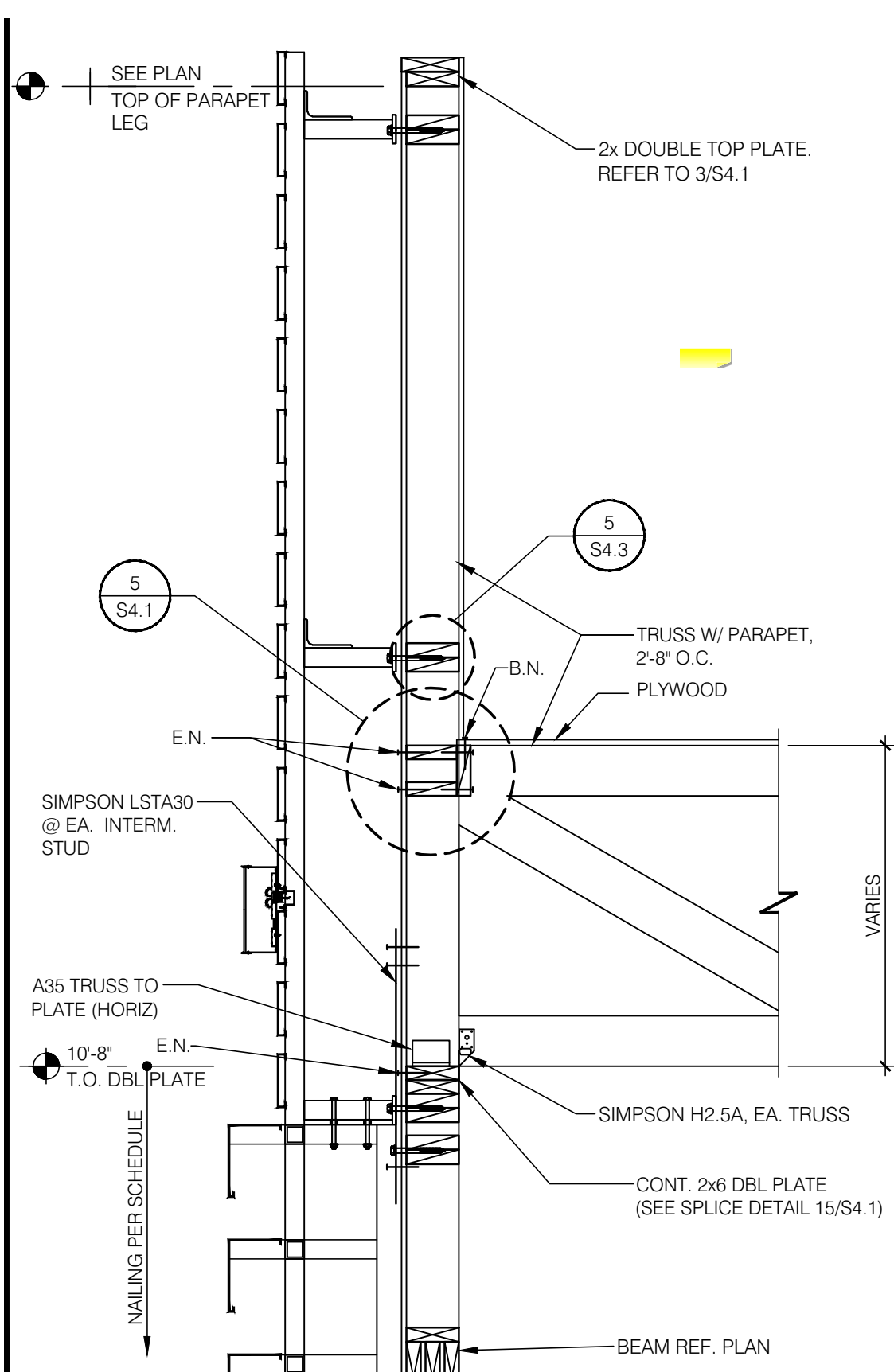
BUILD-OUT ATTACHMENT N.T.S. **1**



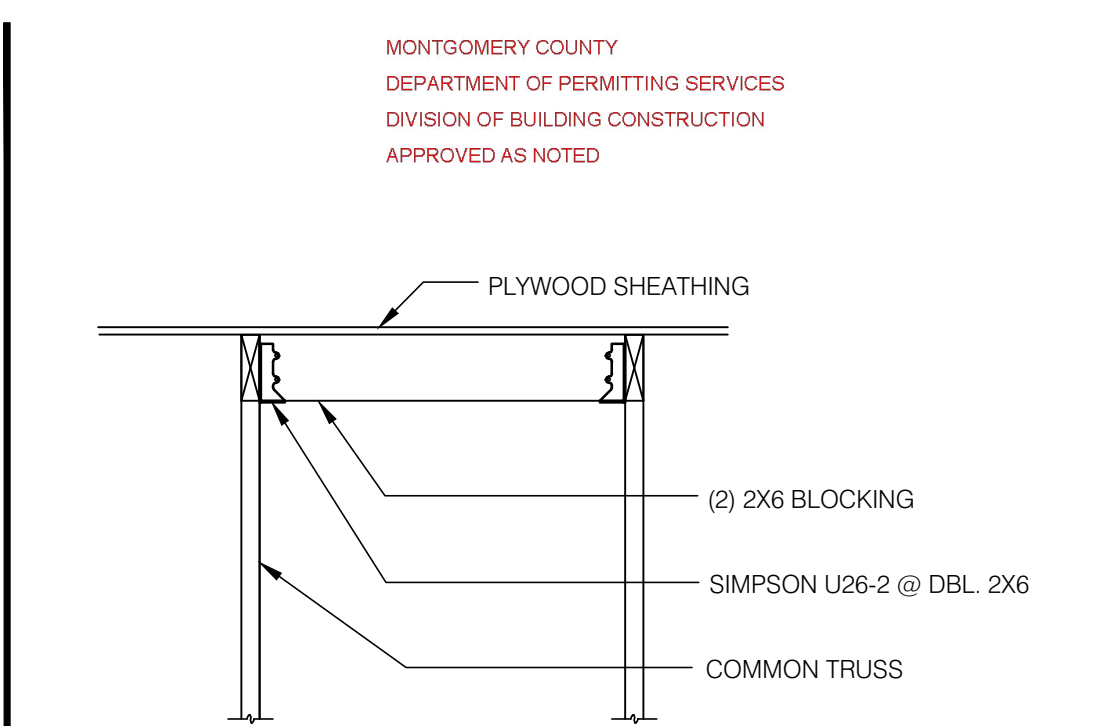
TYPICAL ROOF OPENING 1" = 1'-0" **3**



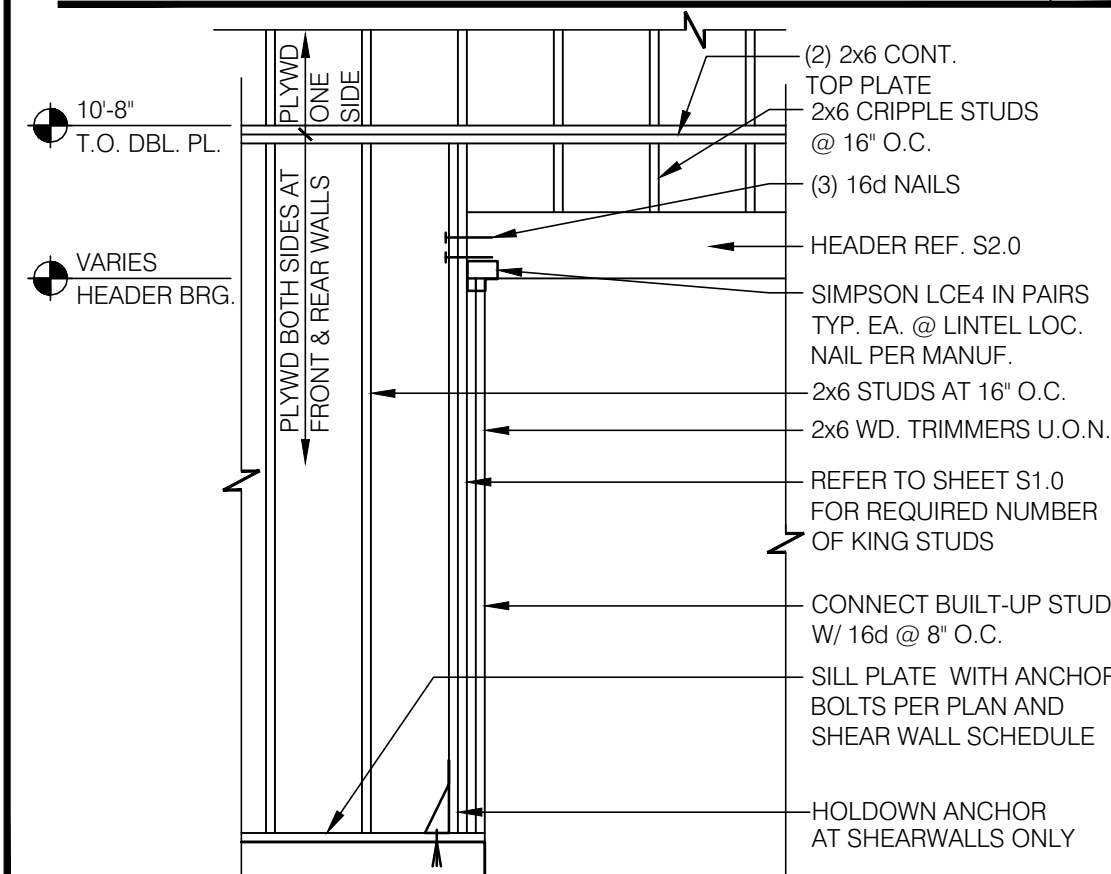
SIDEWALL AT DRIVE-THRU N.T.S. **20**



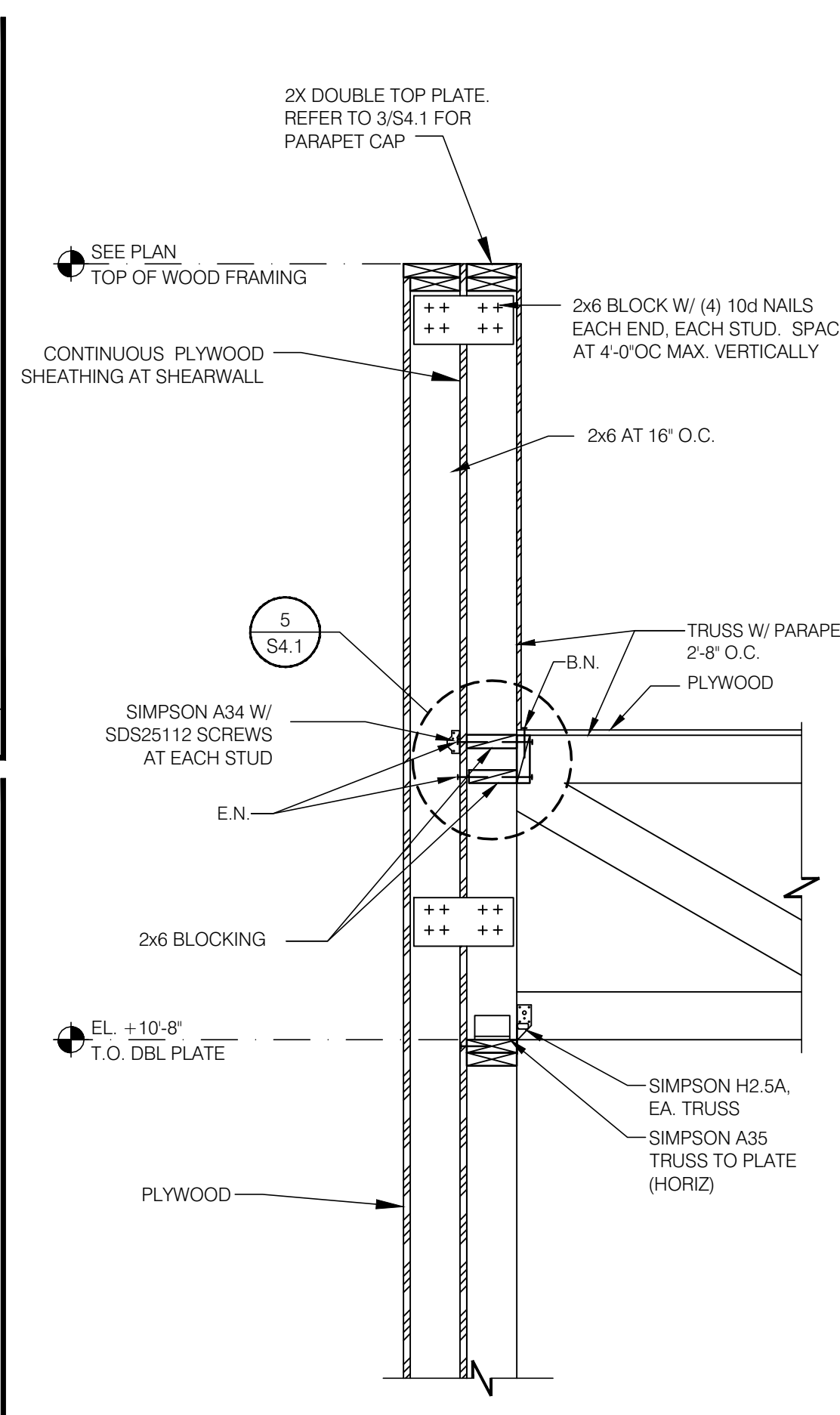
SIDEWALL AT DINING 3/4" = 1'-0" **16**



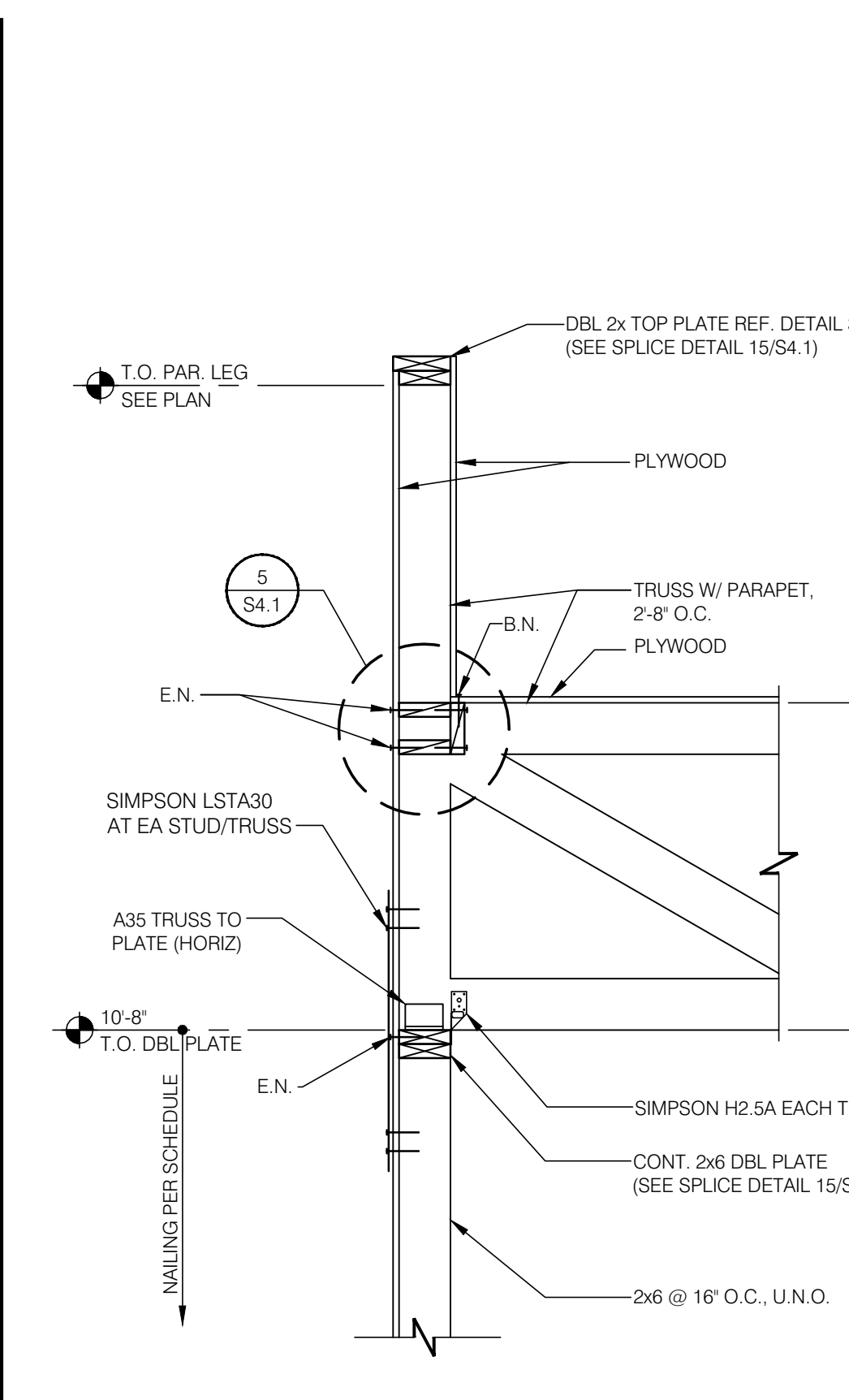
ROOF OPENING DETAIL N.T.S. **11**



FRAMING ELEVATION @ OPENING 3/8" = 1'-0" **12**



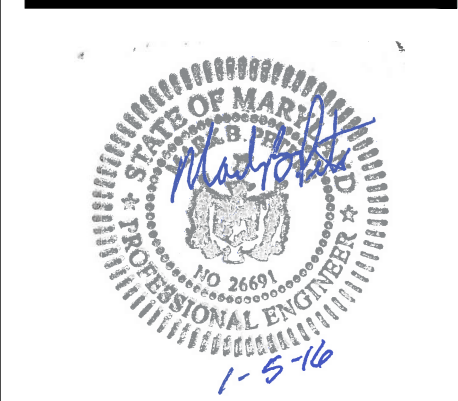
WALL AT REAR TOWER 3/4" = 1'-0" **8**



SIDE WALL @ TRUSS N.T.S. **4**

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ADDRESS CHANGE	01/05/16

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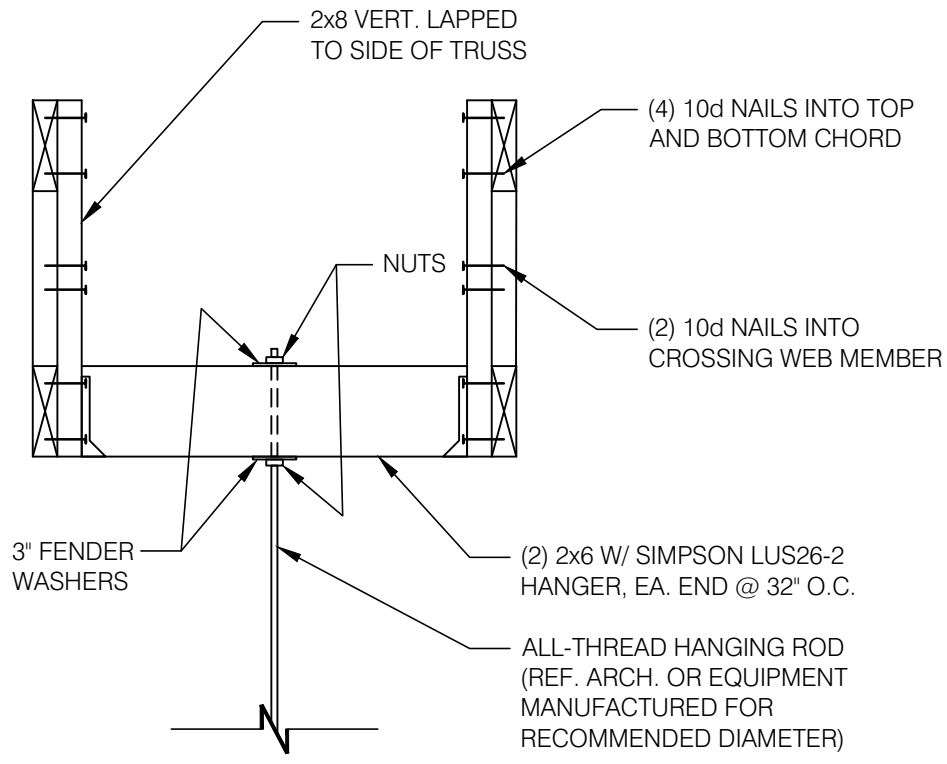
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LIVE MAS
 MEDIUM40 - MODIFIED

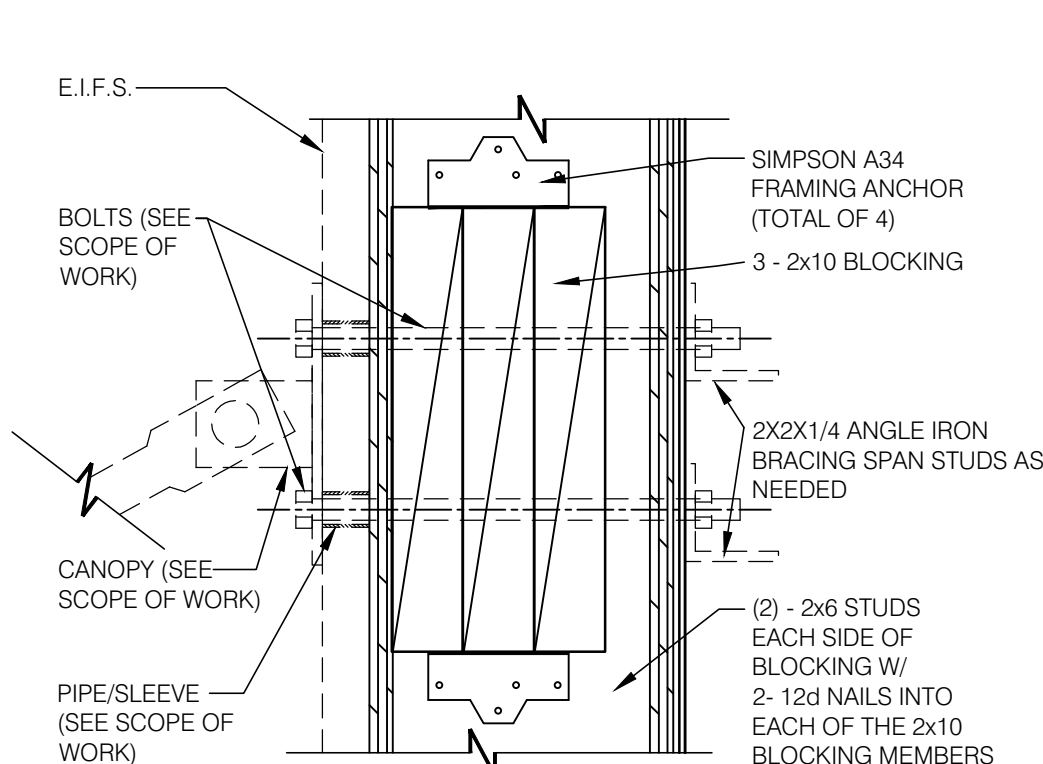
STRUCTURAL DETAILS

S4.2

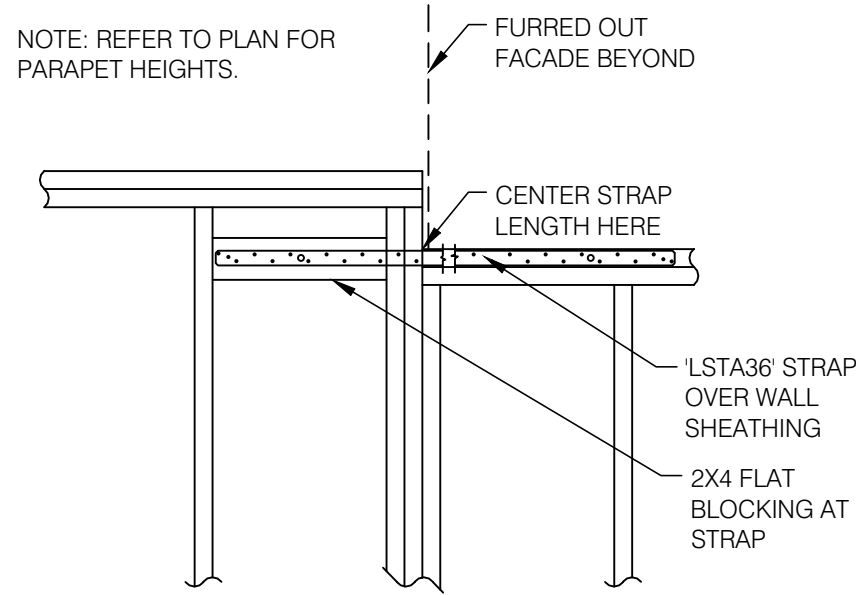
PLOT DATE: 1-05-16



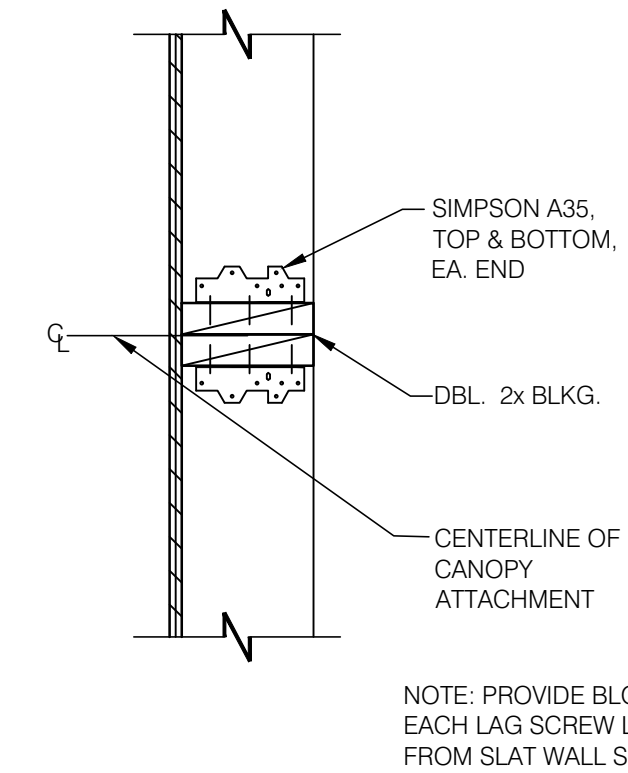
HANGING BULKHD. OR HOOD DETL. N.T.S. 17



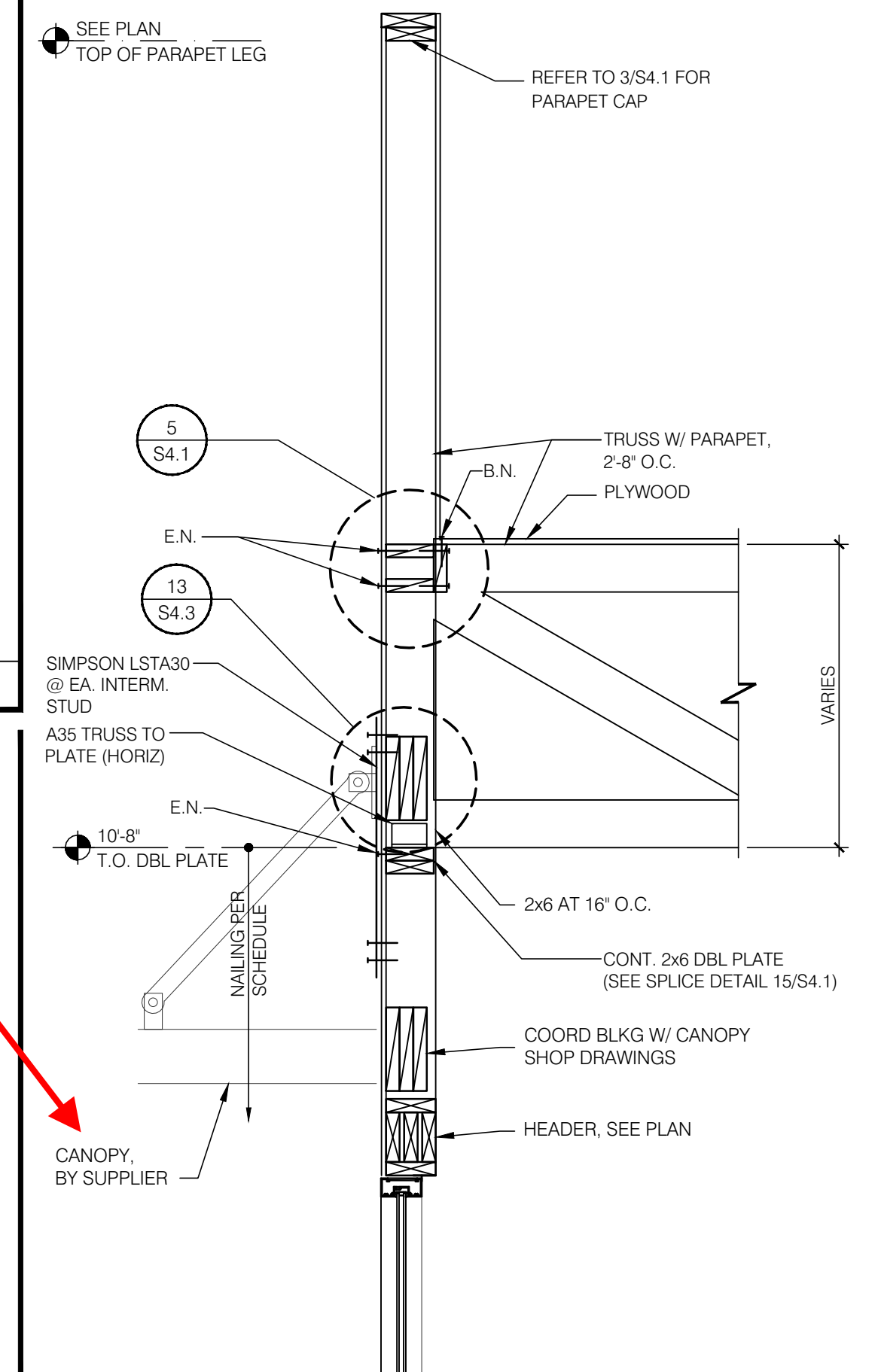
TIE-ROD BLOCKING 3/4" = 1'-0" 13



STRAP AT PARAPET HEIGHT TRANS. N.T.S. 9



SLAT WALL BLOCKING 1-1/2" = 1'-0" 5

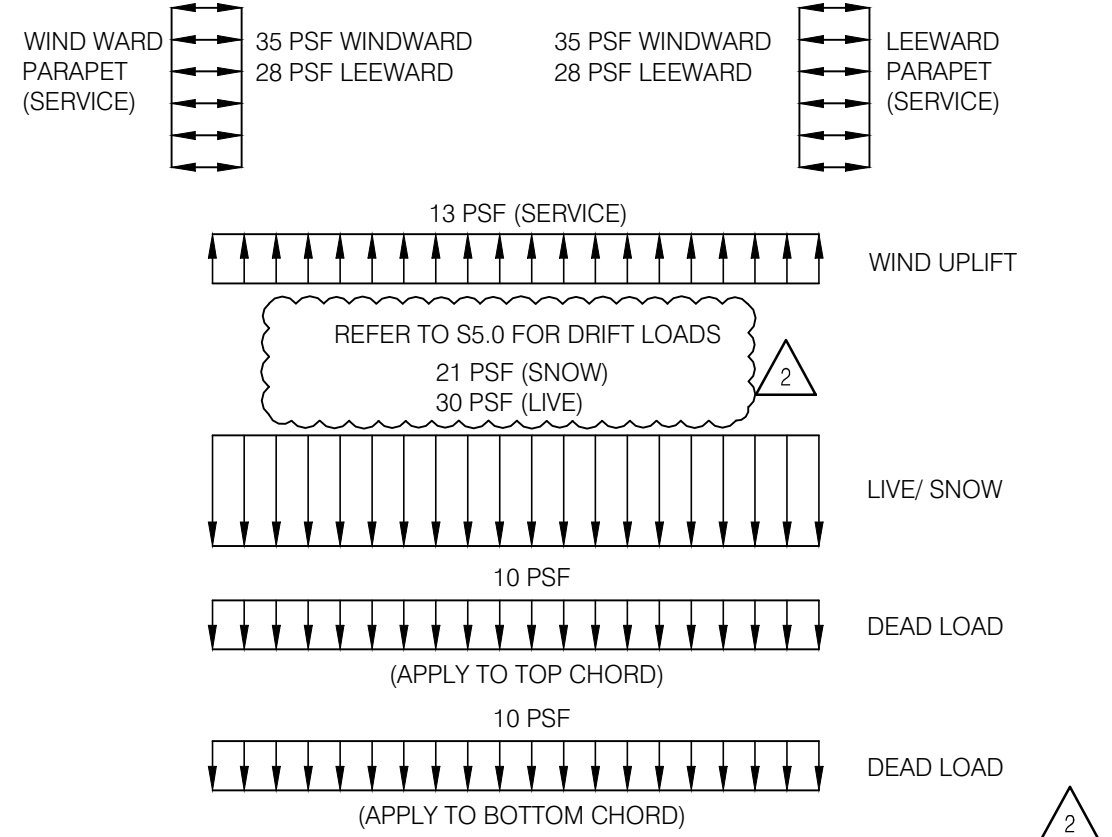


D/T WALL SECTION 3/4" = 1'-0" 2

Separate permit is required for Canopy.

MONTGOMERY COUNTY
 DEPARTMENT OF PERMITTING SERVICES
 DIVISION OF BUILDING CONSTRUCTION
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NOT USED N.T.S. 6

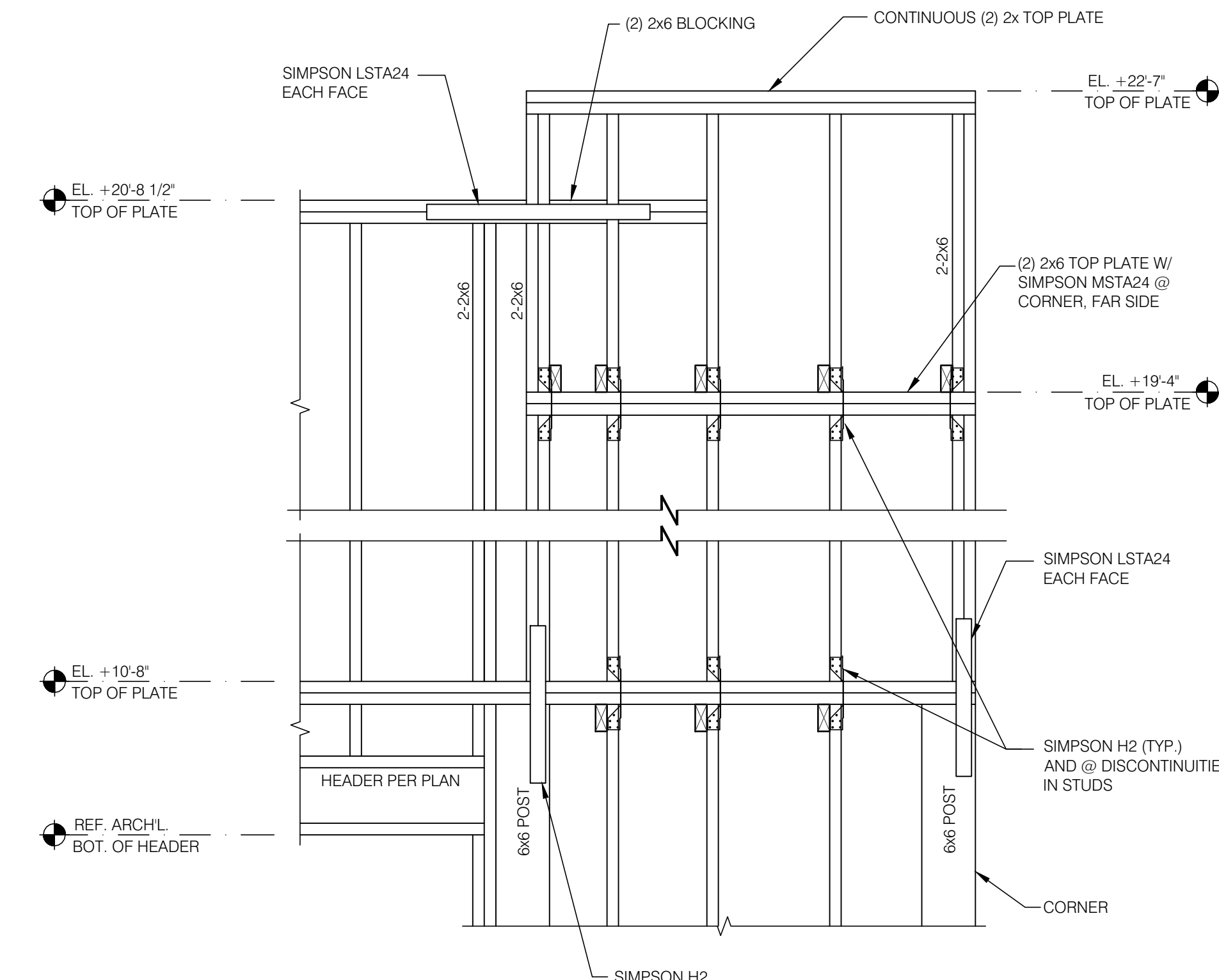


TRUSS DESIGN CRITERIA N.T.S. 18

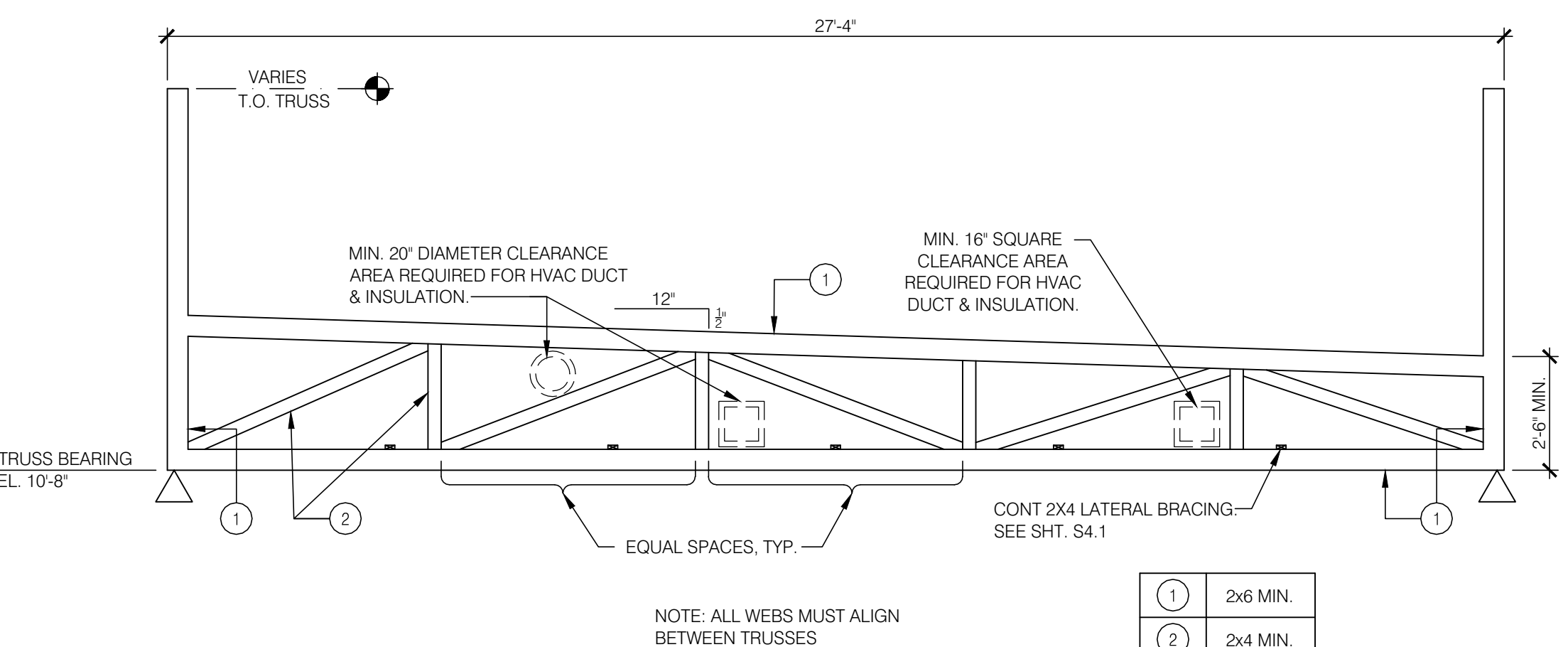
TRUSS TYPES	SINGLE TRUSS DESIGNATION	DOUBLE TRUSS DESIGNATION	BEARING POINT	COMMENTS
T#	X	XX	▲	SEE NOTE 1.

- NOTES:
- HOLD-DOWN CONNECTORS SHALL BE SPECIFIED BY SITE SPECIFIC ARCHITECT/ENGINEER BASED UPON LOADING DATA PROVIDED BY TRUSS DESIGNER.
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 - * D' DENOTES DRAG TRUSS FOR LATERAL FORCE RESISTING SYSTEM.

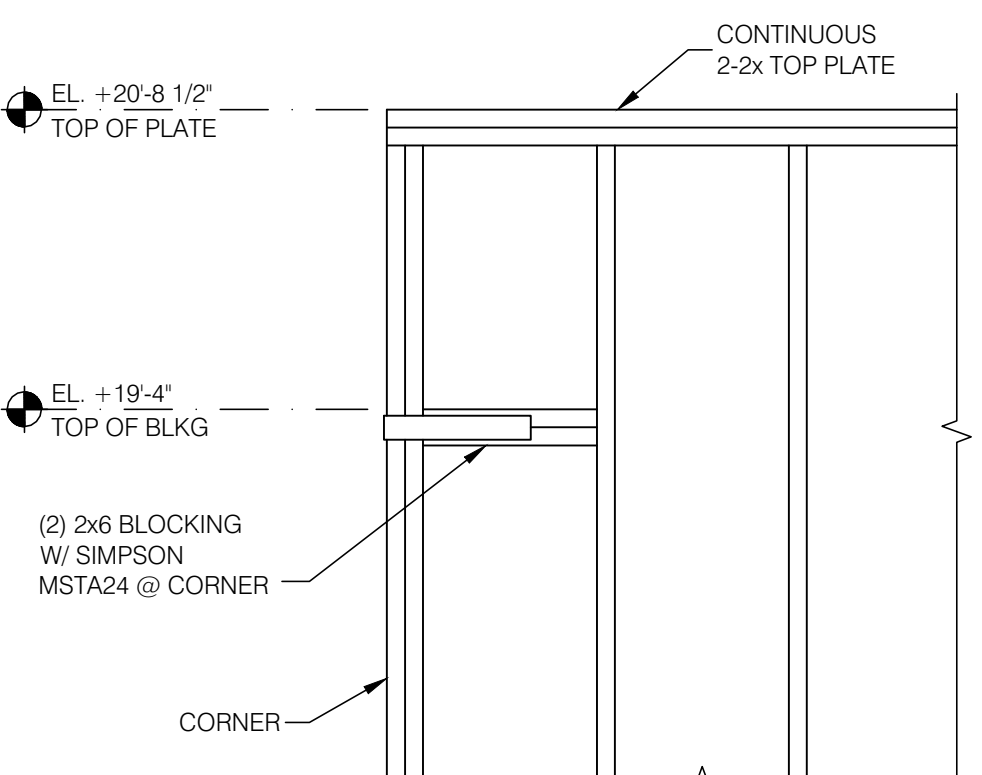
TRUSS SCHEDULE N.T.S. 19



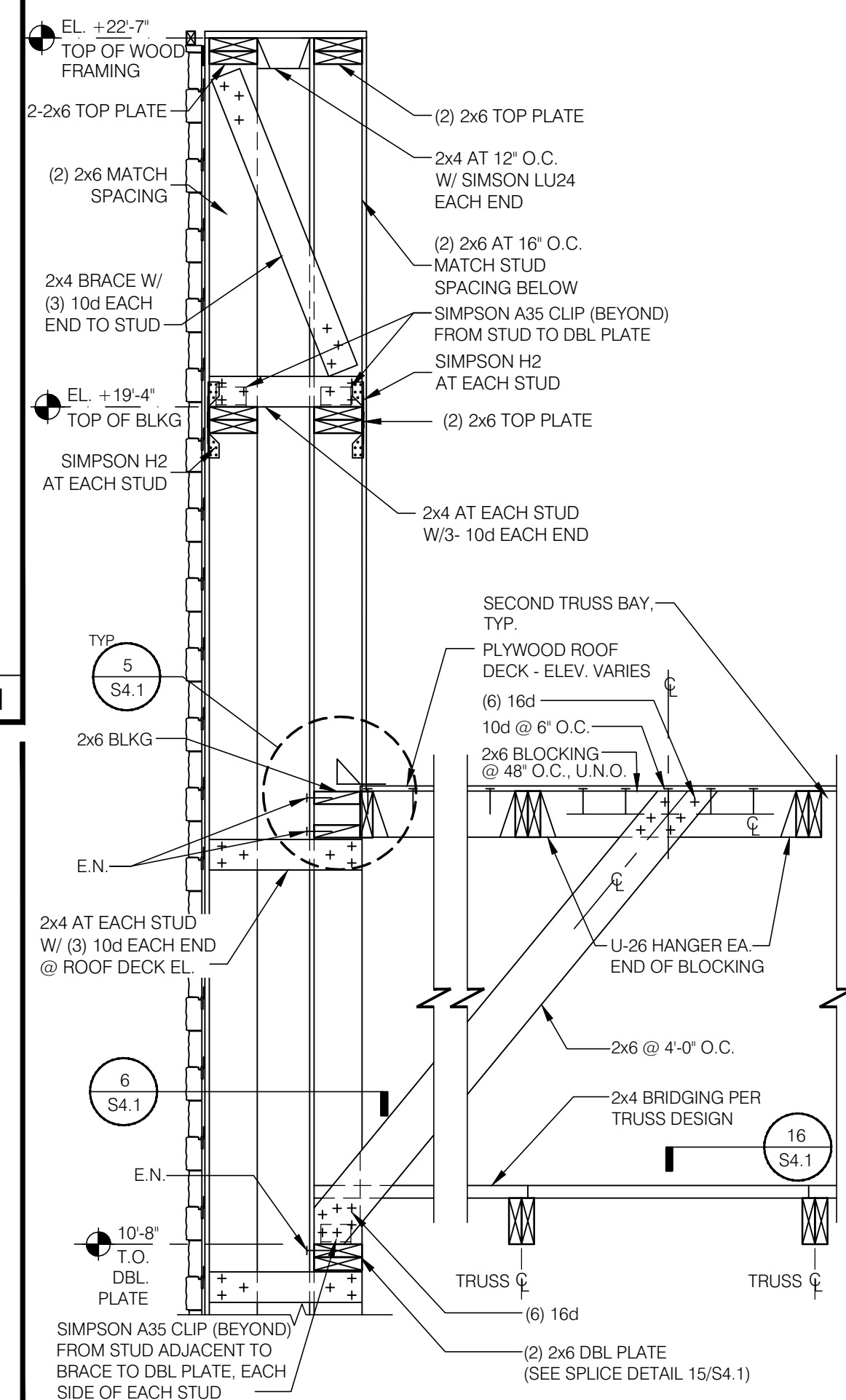
FRONT WALL AT TOWER 3/4" = 1'-0" 11



TRUSS ELEVATION 1/4" = 1'-0" 16

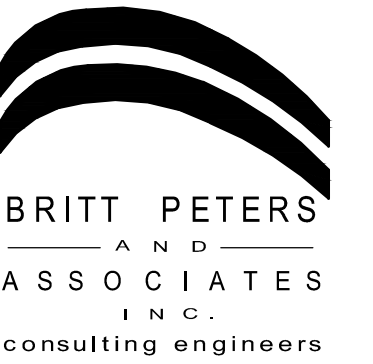


FRONT WALL AT CORNER 3/4" = 1'-0" 12



TOWER WALL 3/4" = 1'-0" 8

NOT USED N/A 4



101 Falls Park Drive
 Suite 501
 Greenville, SC 29601
 (864) 271-8869
 Fax (864) 233-5140
 www.brittpeters.com
 BPA Job No. 150699



PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER 26691. EXPIRATION DATE: 12/11/2017.

15025.000

ADDRESS CHANGE	01/05/16
COUNTY COMMENTS	04/08/16

DATE: JULY 15, 2015
 BUILDING TYPE: MED-40-MOD
 PLAN VERSION: JUNE 2015
 SITE NUMBER: -----
 ENTITY NUMBER: -----

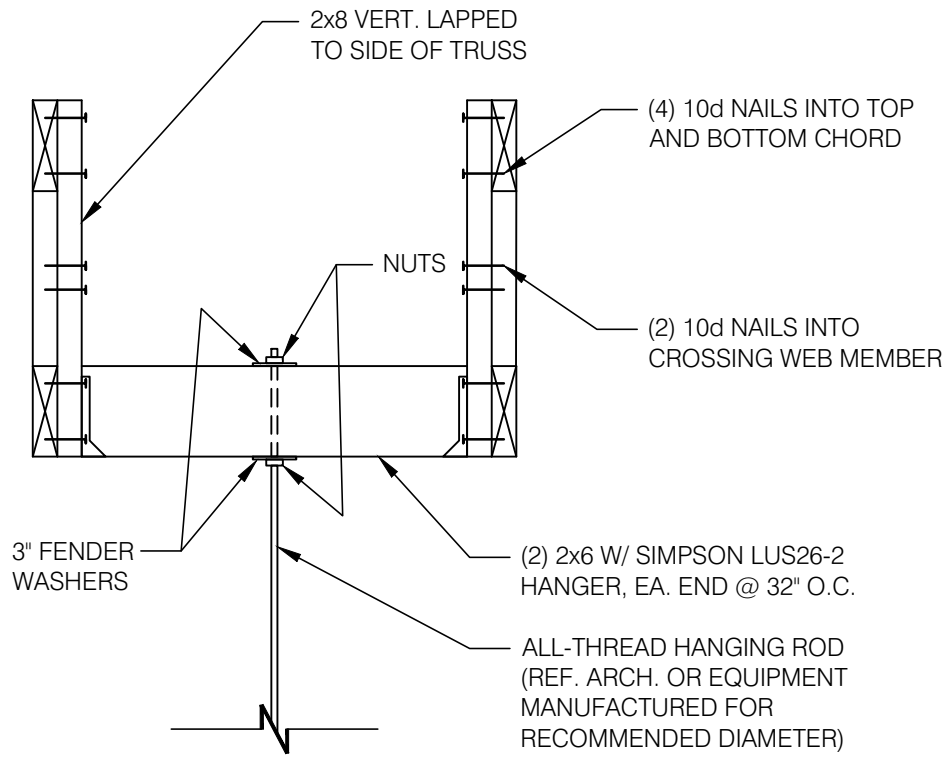
1300 HOLTON LANE
 TAKOMA PARK, MD 20912



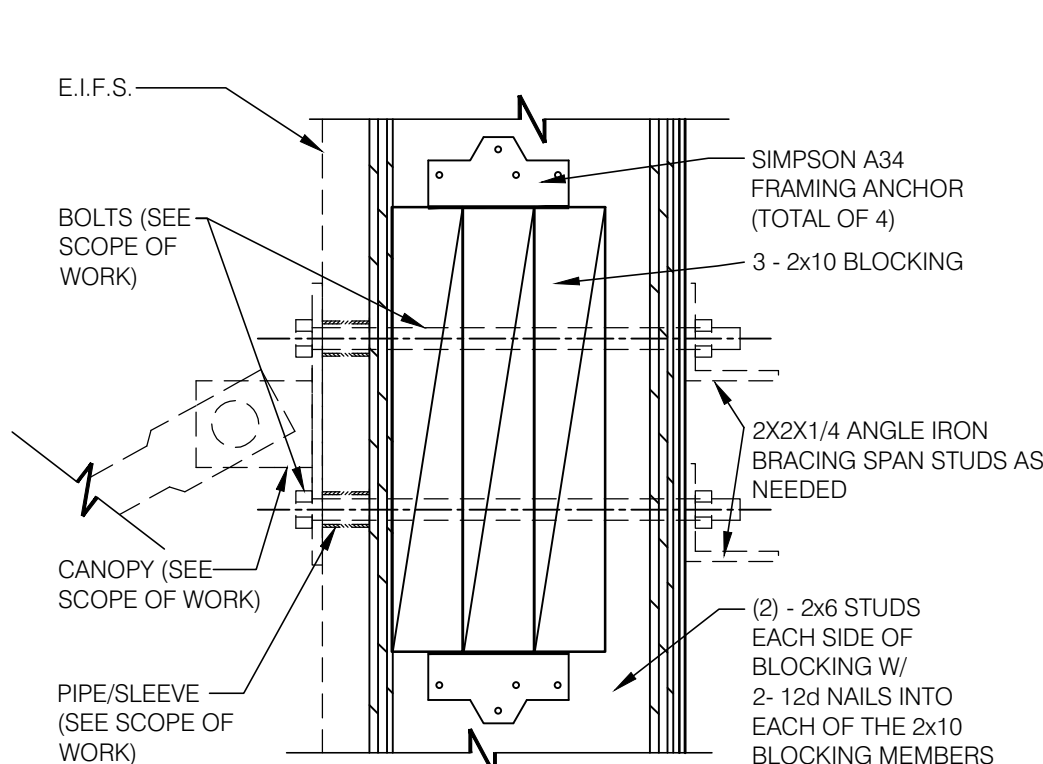
STRUCTURAL DETAILS

S4.3

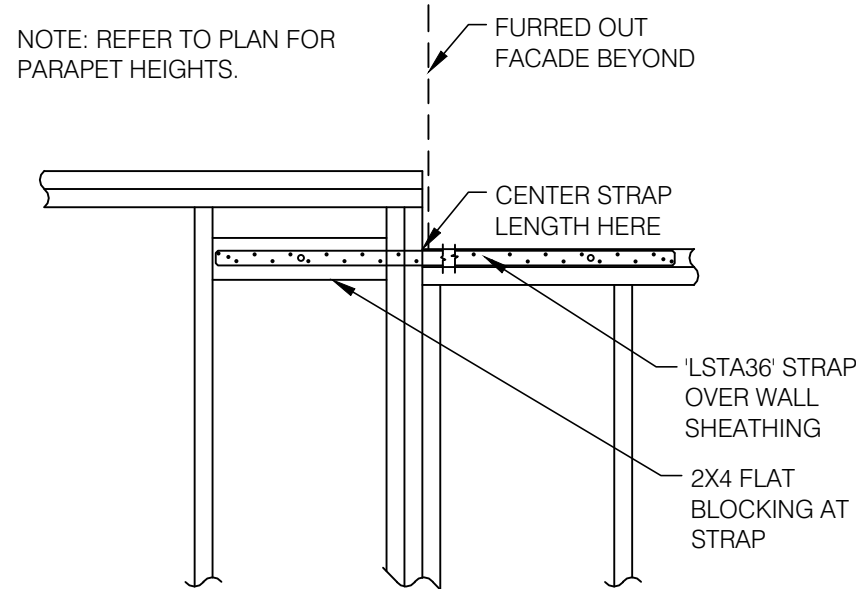
PLOT DATE: 4-08-16



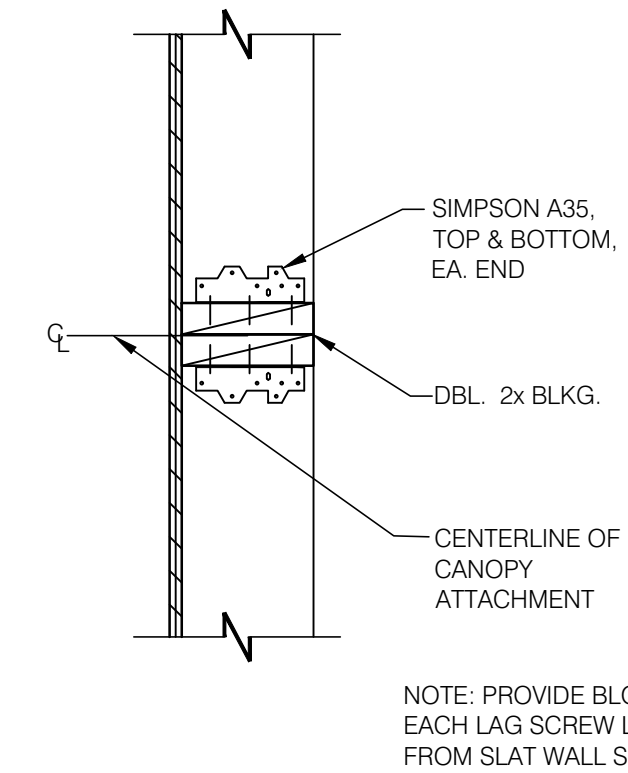
HANGING BULKHD. OR HOOD DETL. N.T.S. 17



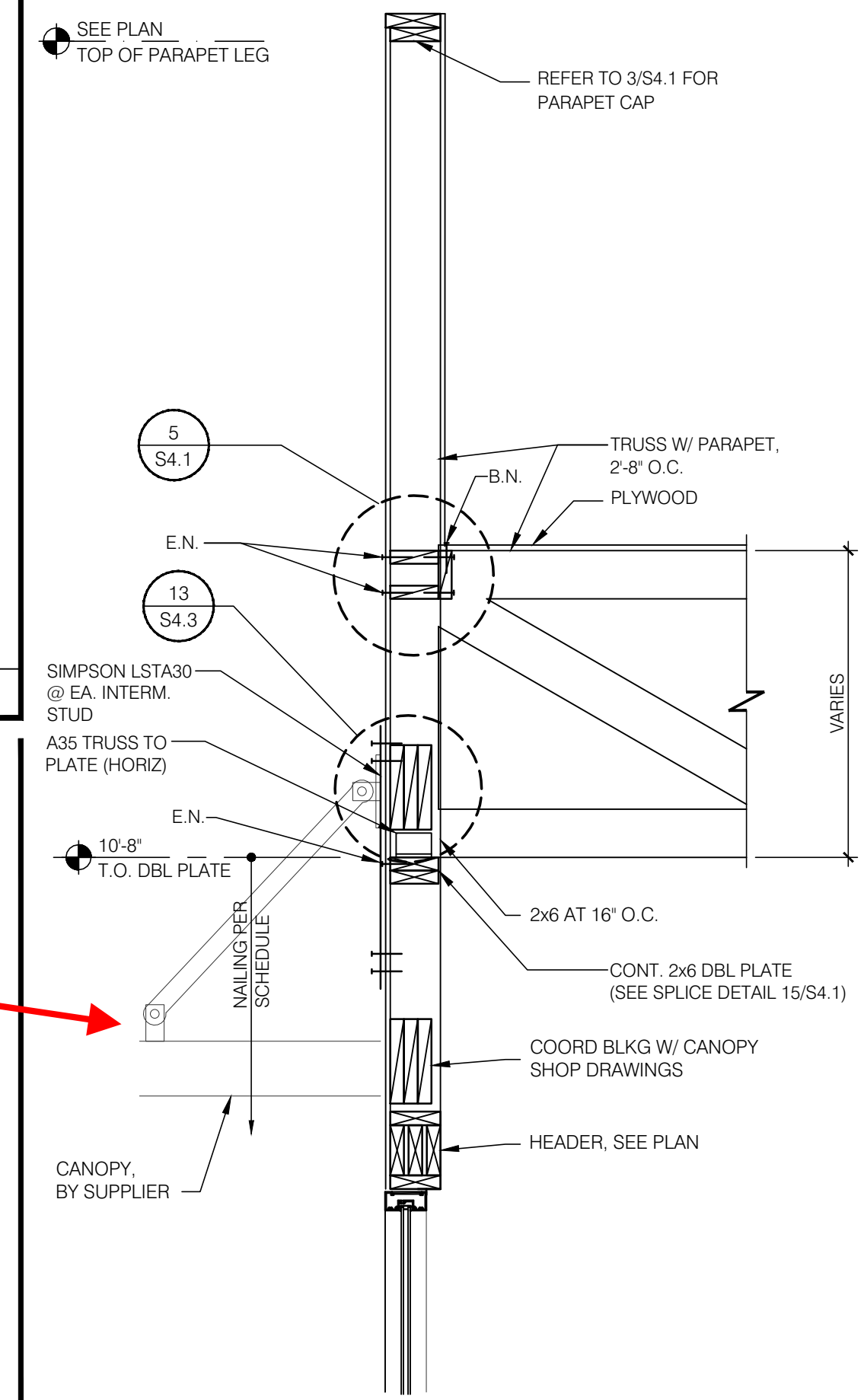
TIE-ROD BLOCKING 3/4" = 1'-0" 13



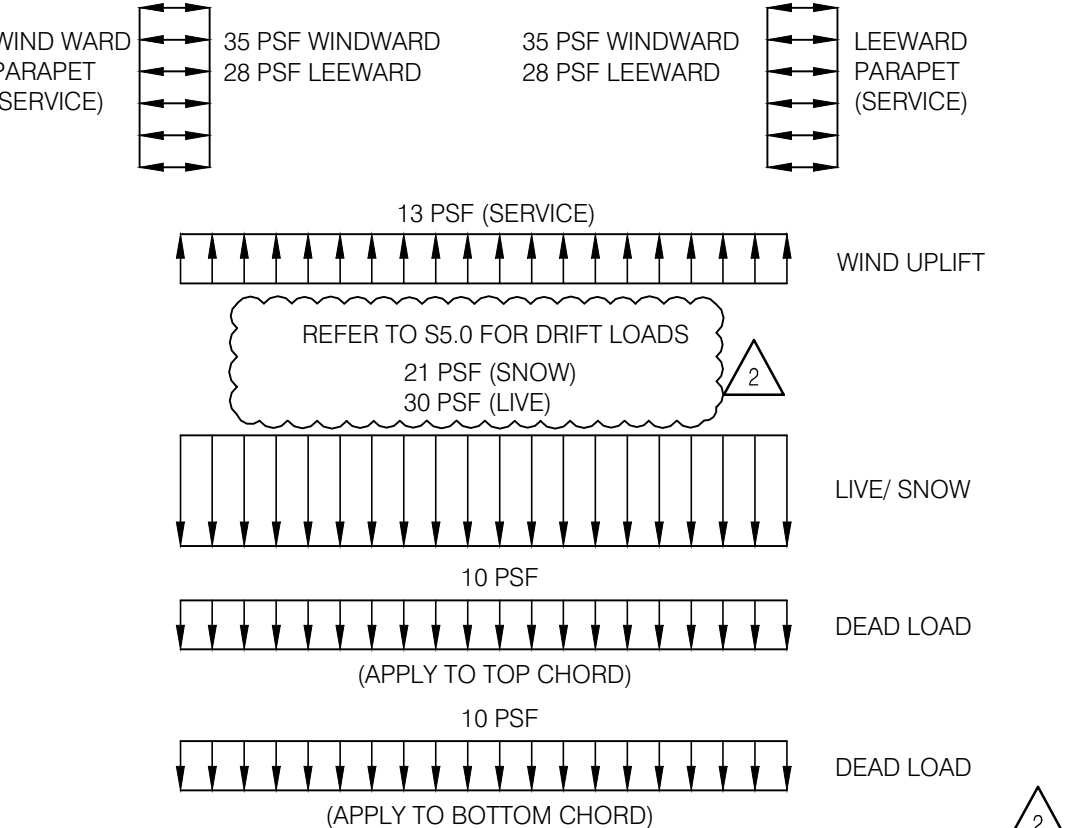
STRAP AT PARAPET HEIGHT TRANS. N.T.S. 9



SLAT WALL BLOCKING 1-1/2" = 1'-0" 5



D/T WALL SECTION 3/4" = 1'-0" 2



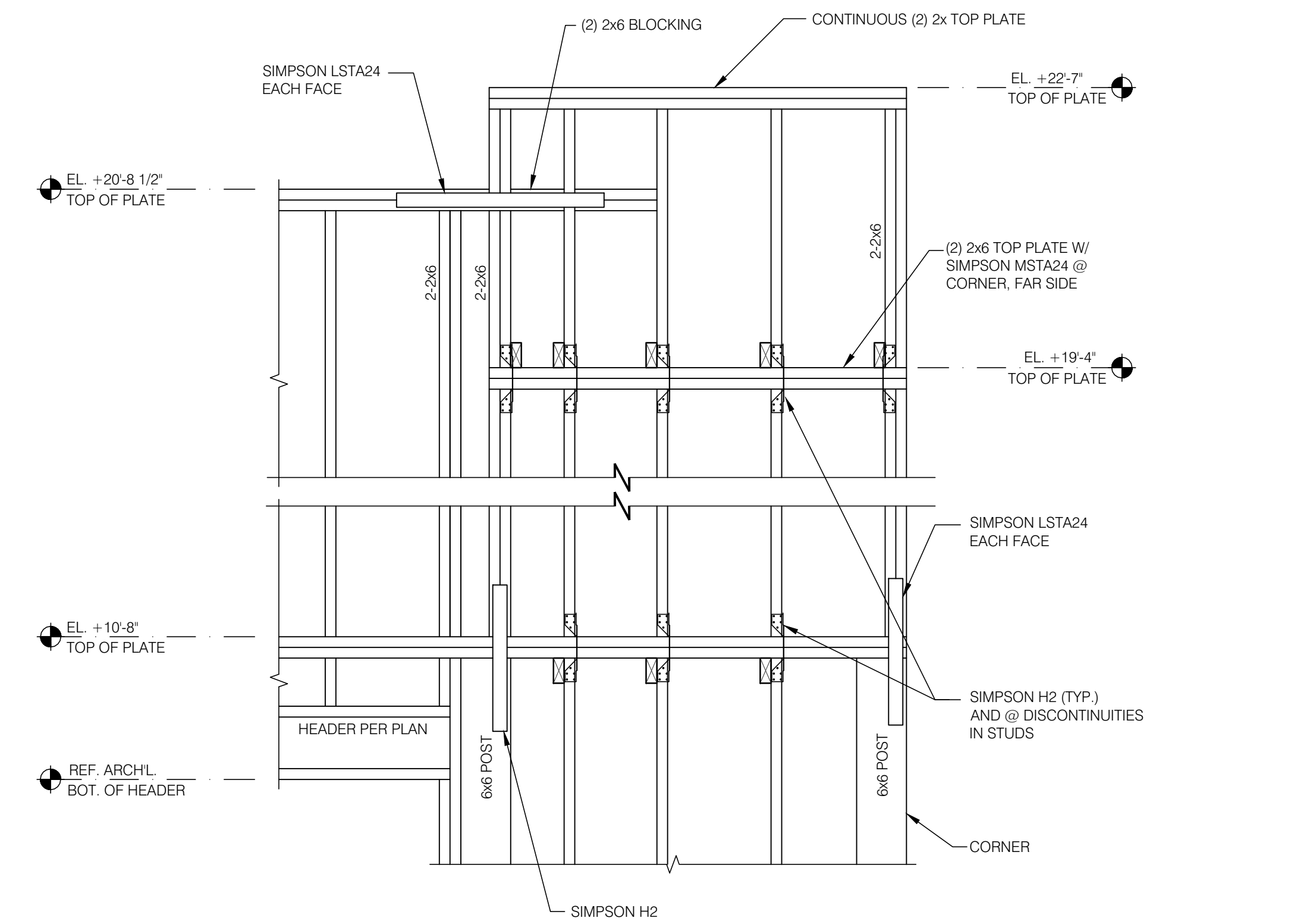
NOTE: ALSO, APPLY ROOF TOP AND SUSPENDED POINT LOADS. WEIGHT AND LOCATION OF UNITS AS NOTED ARE SHOWN ON S4.1 AND S3.0 AND ARE NOT INCLUDED IN THE ABOVE LOADING DIAGRAM. VERIFY THESE LOADS WITH MECHANICAL SUPPLIER BEFORE DESIGNING TRUSS.

TRUSS DESIGN CRITERIA N.T.S. 18

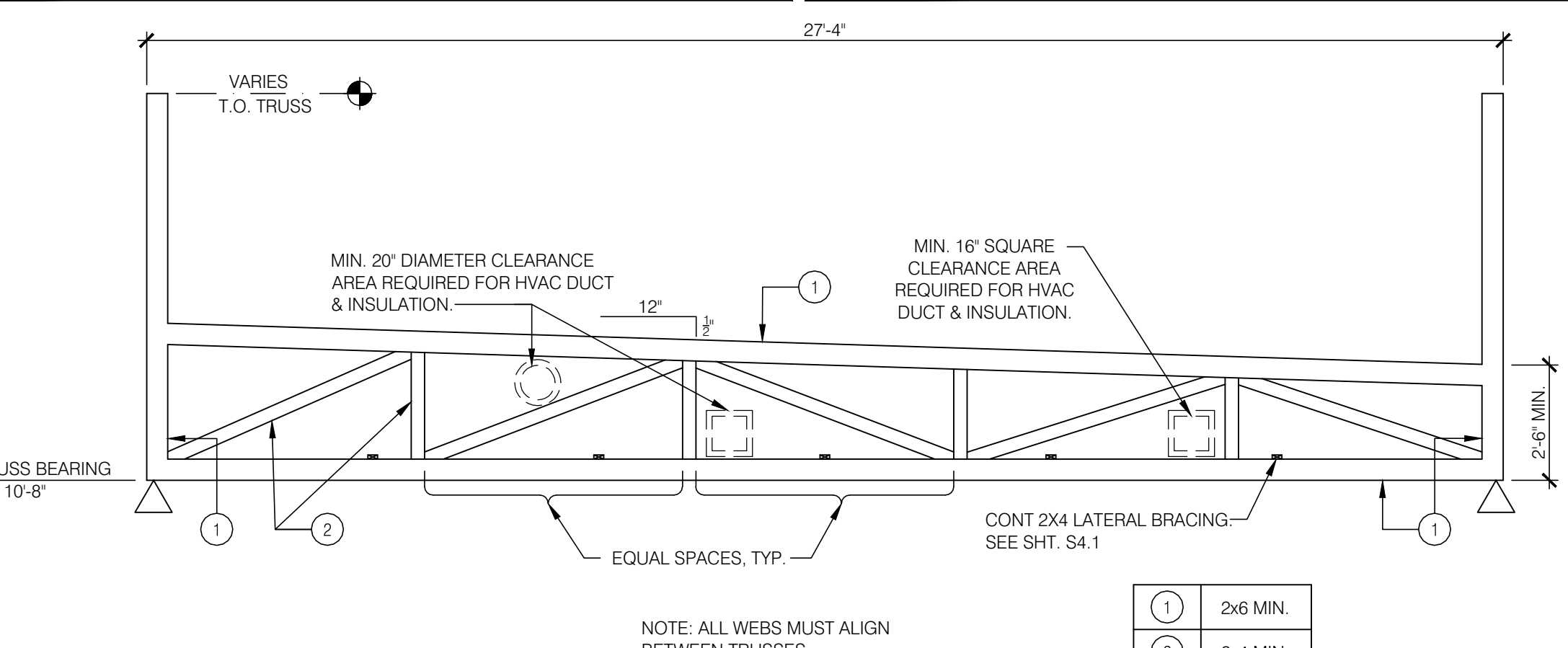
TRUSS TYPES	SINGLE TRUSS DESIGNATION	DOUBLE TRUSS DESIGNATION	BEARING POINT	COMMENTS
T#	X	XX	▲	SEE NOTE 1.

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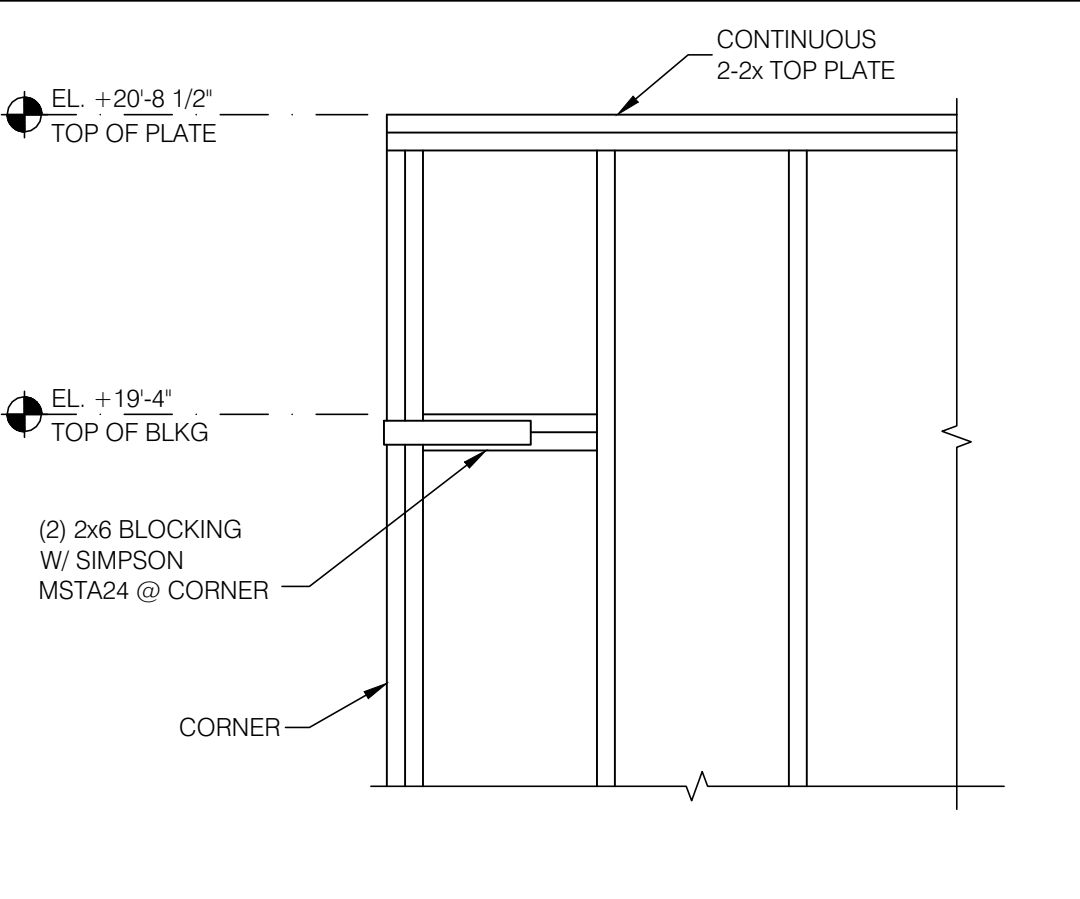
TRUSS SCHEDULE N.T.S. 19



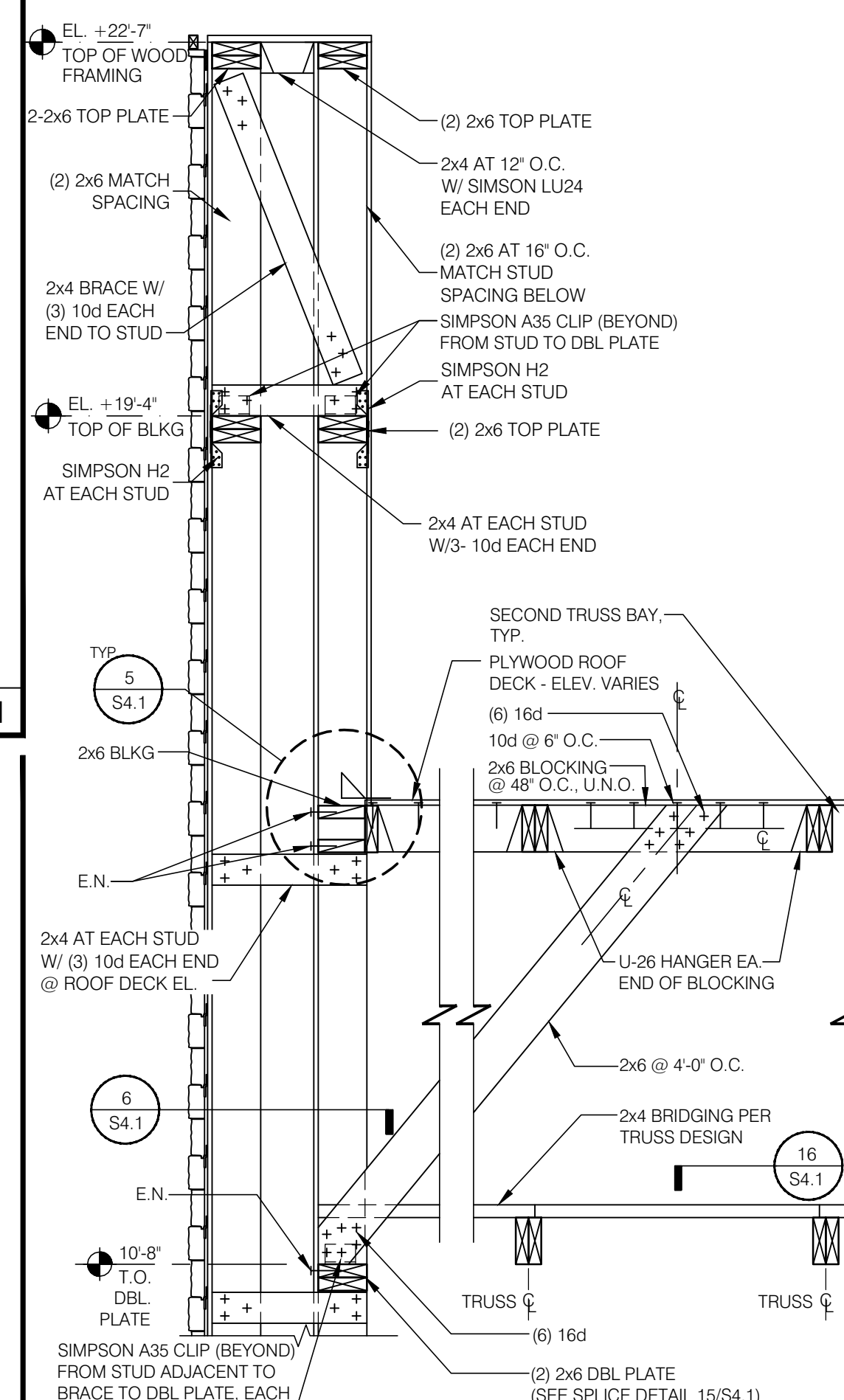
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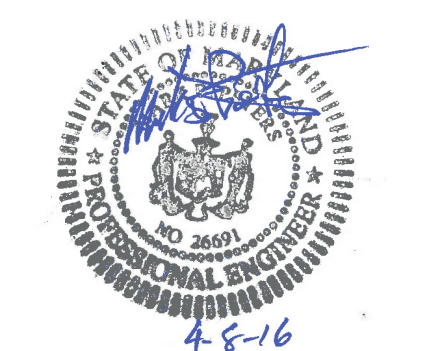
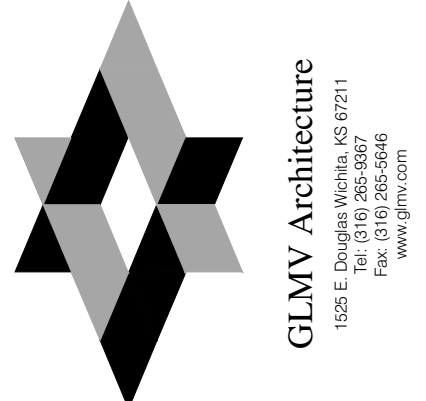
Duplicate Copy. Latest drawing dated 4/8/16

MONTGOMERY COUNTY
 DEPARTMENT OF PERMITTING SERVICES
 DIVISION OF BUILDING CONSTRUCTION
 APPROVED AS NOTED

NOT USED N/A 4



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 PLAN VERSION: JUNE 2015
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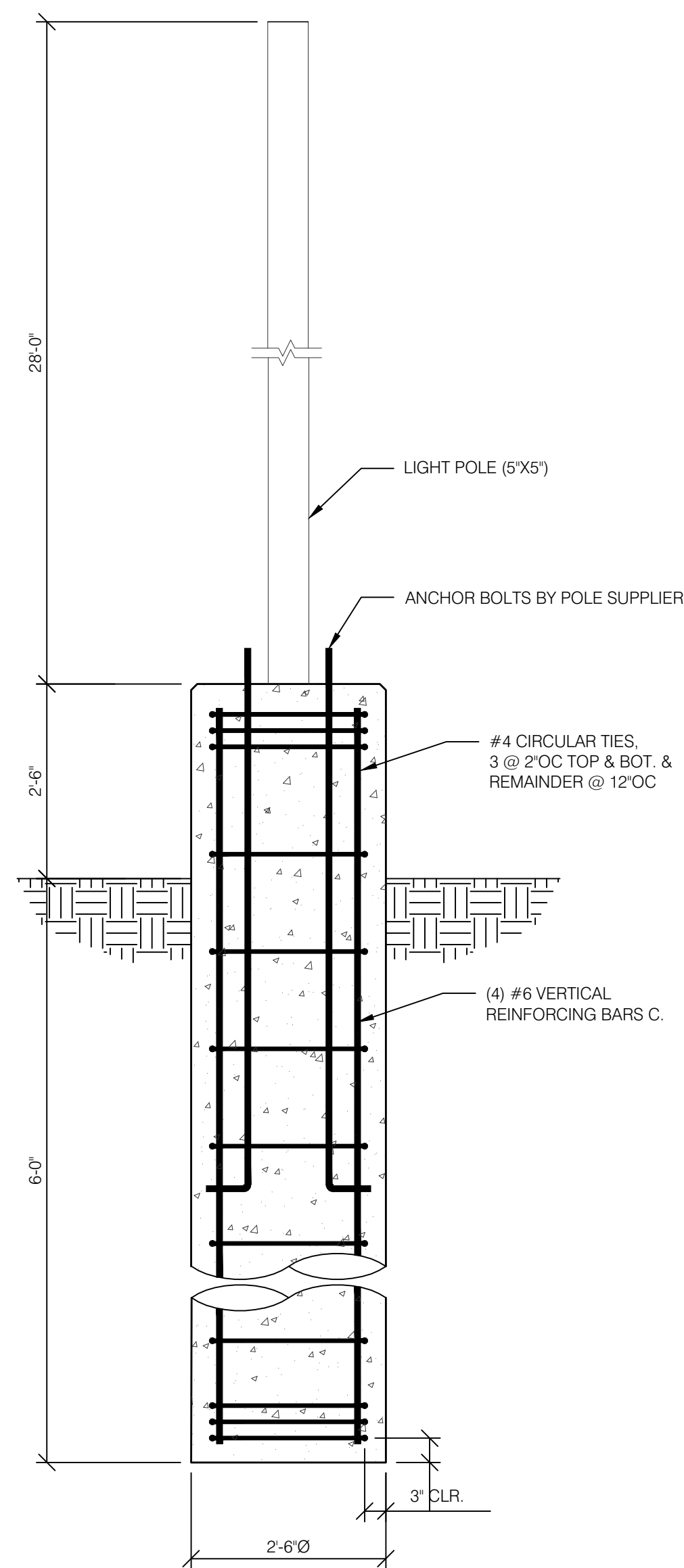
1300 HOLTON LANE
 TAKOMA PARK, MD 20912



STRUCTURAL DETAILS

S4.3

PLOT DATE: 4-08-16

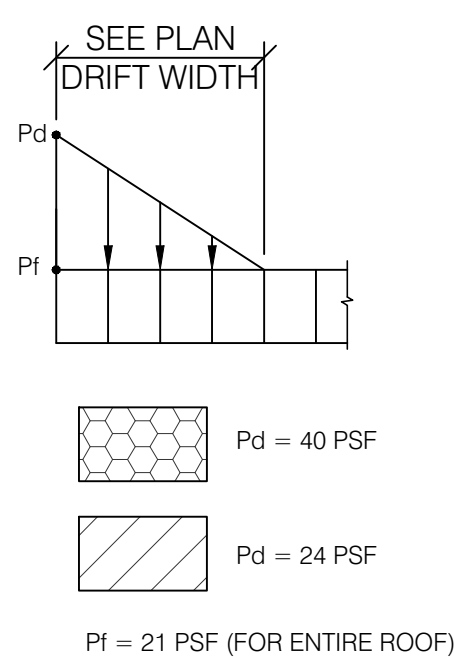
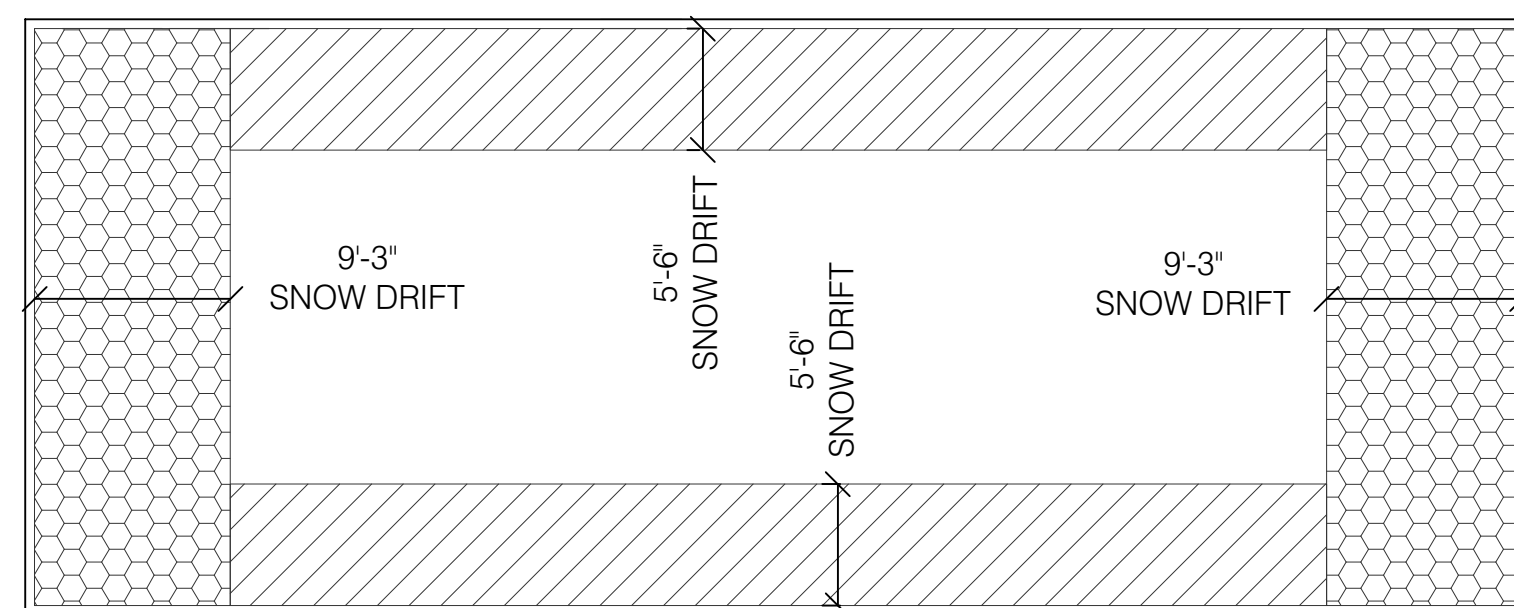


LIGHT POLE BASE DETAIL 3/4" = 1'-0" **20**

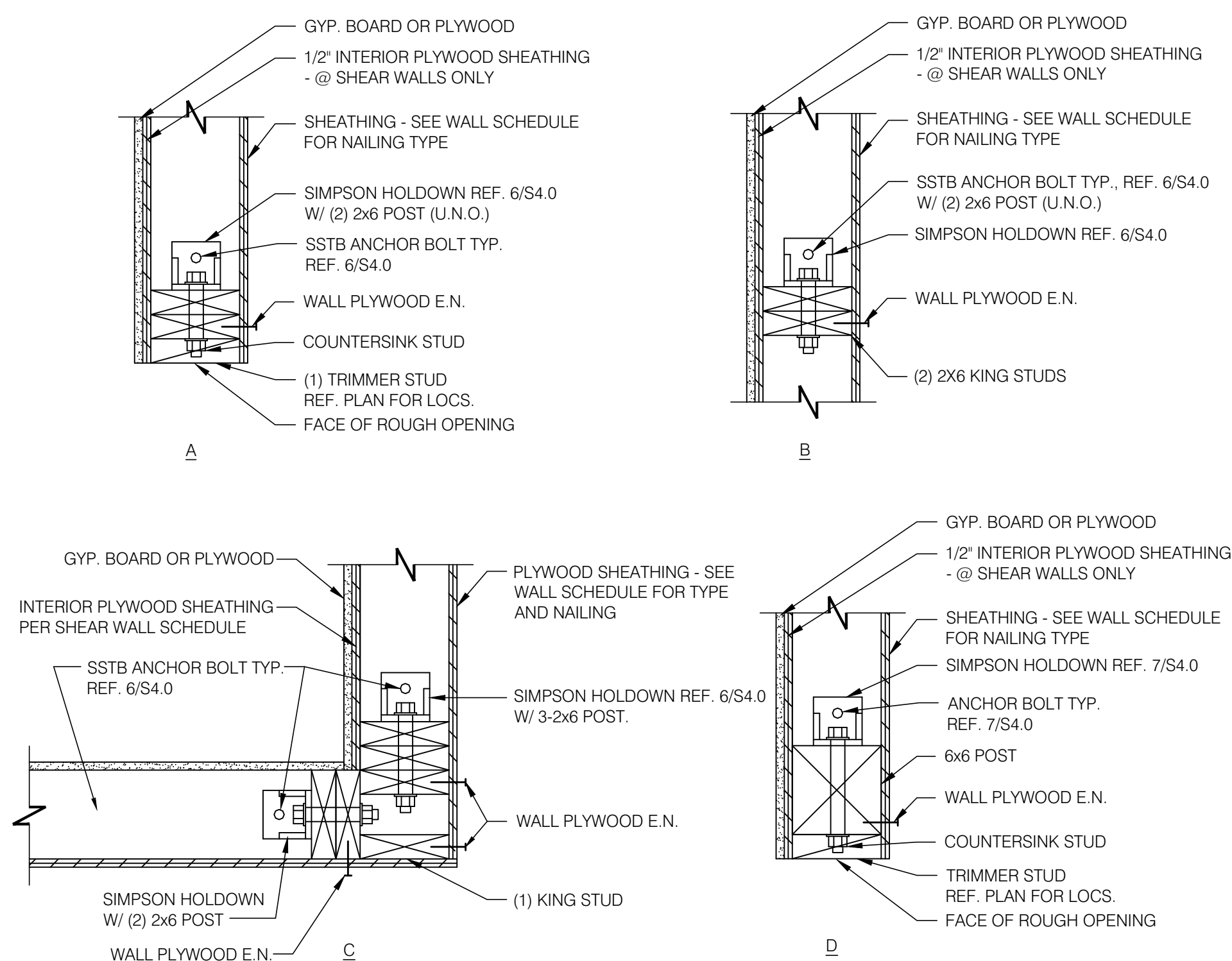
Inspection for adhesive anchors installed in horizontally or upwardly inclined orientations to resist sustained tension loads shall be continuous and shall be performed by an ACI or CRSI certified adhesive anchor installer.

Inspection for mechanical and adhesive anchors installed without tension load can be periodic.

STRUCTURAL REVIEW APPROVED BY
 DICLE FIRAT
 MONTGOMERY COUNTY
 DEPARTMENT OF PERMITTING SERVICES
 DIVISION OF BUILDING CONSTRUCTION
 APPROVED AS NOTED



SNOW DRIFT LOADING DIAGRAM N.T.S. **10**



HOLDOWN DETAILS 1 1/2" = 1'-0" **12**

REQUIRED VERIFICATION AND INSPECTION						
	INSPECTION TASK	FREQUENCY OF INSPECTION		REFERENCED STANDARD	IBC REFERENCE	
		CONTINUOUS	PERIODIC			
CONCRETE	1. INSPECTION OF REINFORCED STEEL, AND PLACEMENT	—	X	ACI 318: 20, 25.2, 25.3, 26.6.1–26.6.3	1908.4	
	3. INSPECTION OF ANCHORS CAST IN CONCRETE	—	X	ACI 318: 17.8.2	—	
	4. INSPECTION OF ANCHORS POST-INSTALLED IN HARDENED CONCRETE	—	X	ACI 318: 17.8.2.4	—	
	5. VERIFY USE OF REQUIRED DESIGN MIX	—	X	ACI 318: Ch.19, 26.4.3, 26.4.4	1904.1, 1904.2, 1908.2, 1908.3	
	6. PRIOR TO CONCRETE PLACEMENT, FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF CONCRETE	X	—	ASTM C 172 ASTM C 31 ACI 318: 26.4, 26.12	1908.10	
	8. VERIFY MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES	—	X	ACI 318: 26.5.3–26.5.5	1908.9	
	SOIL	1. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL	—	X	—	1705.6
		2. PERFORM CLASSIFICATION AND TESTING OF CONTROLLED FILL MATERIALS	—	X	—	1705.6
3. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF CONTROLLED FILL		X	—	—	1705.6	
4. PRIOR TO PLACEMENT OF CONTROLLED FILL, INSPECT SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY		—	X	—	1705.6	
WOOD	1. WOOD MEMBERS	—	X	N.D.S. SPECIFICATIONS	—	
	2. WALL AND ROOF SHEATHING	—	X	N.D.S. SPECIFICATIONS	—	
	3. NAILING	—	X	N.D.S. SPECIFICATIONS	—	
	4. FOUNDATION ANCHORS	—	X	N.D.S. SPECIFICATIONS	—	
	5. SHEAR & ROOF DIAPHRAGM NAILING	—	X	N.D.S. SPECIFICATIONS	—	
	6. ROOF TRUSSES	—	X	N.D.S. SPECIFICATIONS	—	
	7. METAL CONNECTIONS	—	X	N.D.S. SPECIFICATIONS	—	

SPECIAL INSPECTION REQUIREMENTS

- CHAPTER 17 OF THE IBC, REQUIRES THAT THE OWNER EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTIONS LISTED IN THE TABLE ON THIS SHEET. SPECIAL INSPECTORS SHALL KEEP RECORDS OF INSPECTIONS AND A REPORT SHALL BE FURNISHED TO THE BUILDING OFFICIAL AND THE APPROPRIATE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE. UPON COMPLETION OF ALL SPECIAL INSPECTIONS, A FINAL REPORT DOCUMENTING THE REQUIRED SPECIAL INSPECTIONS AND CORRECTION OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL.
- CONTRACTOR SHALL SUBMIT WRITTEN STATEMENT OF RESPONSIBILITY ACCORDING TO THE REQUIREMENTS LISTED IN SECTIONS 1704 OF THE IBC TO THE BUILDING OFFICIAL, OWNER, AND ENGINEER OF RECORD.
- ALL STRUCTURAL COMPONENTS AND STRUCTURAL SYSTEMS SHALL BE TESTED AND INSPECTED ACCORDING TO THE APPROPRIATE CODE SPECIFICATIONS LISTED IN THE TABLE ON THIS SHEET.
- SPECIAL INSPECTIONS NOTED AS "PERIODIC" SHALL REQUIRE PART-TIME OR INTERMITTENT OBSERVATION OF WORK BY AN APPROVED SPECIAL INSPECTOR WHO IS PRESENT IN THE AREA WHERE THE WORK HAS BEEN OR IS BEING PERFORMED AND AT THE COMPLETION OF THE WORK.
- SPECIAL INSPECTIONS NOTED AS "CONTINUOUS" SHALL REQUIRE FULL-TIME OBSERVATION OF WORK BY AN APPROVED SPECIAL INSPECTOR WHO IS PRESENT IN THE AREA WHERE THE WORK IS BEING PERFORMED.



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MISC. DETAILS & SPECIAL INSPECTION

\$5.0
 PLOT DATE: 4-08-16

SPECIAL INSPECTIONS N.T.S. **4**