MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES DIVISION OF BUILDING CONSTRUCTION APPROVED AS NOTED

777-0311 AND SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE FIELD INSPECTOR

FAILURE TO DO SO MAY RESULT IN A CIVIL CITATION PER SECTION 8-25(H) OF THE BUILDING CODE OF MONTGOMERY COUNTY.

**APPROVED** Department of Permitting Services OWNER/DESIGNEE SHALL CONTA Permit # COMBUILD-742502 Date 09/21/16

# TACO BELL

# DRIVE THRU RESTAURANT LIVE MAS MEDIUM40

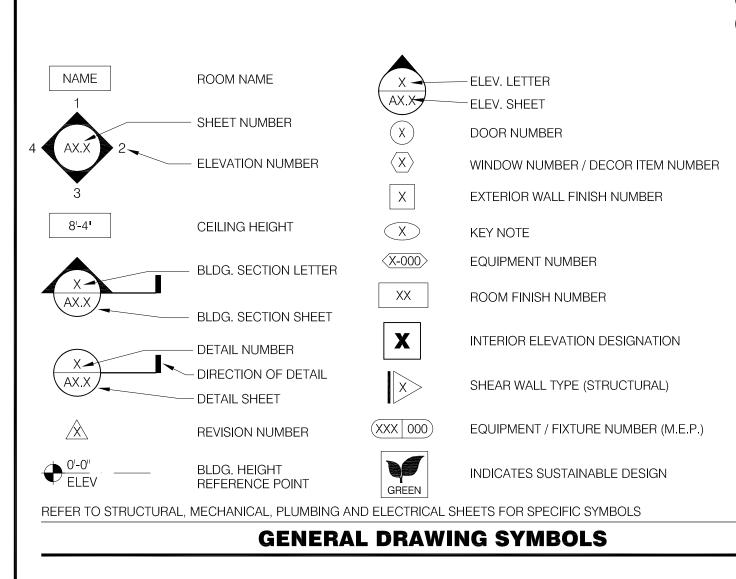


- A. ALL WORK SHALL CONFORM TO THE 2012 EDITION OF THE INTERNATIONAL BUILDING CODE, AND ALL OTHER APPLICABLE CODES, STANDARDS, AND REGULATIONS OF THE CITY OF TAKOMA PARK & MONTGOMERY
- B. IT IS INTENDED THAT A COMPLETE OCCUPIABLE BUILDING PROJECT IS PROVIDED.
- C. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION (A.I.A. A201 LATEST EDITION) ARE A PART OF THESE CONTRACT DOCUMENTS. A COPY IS ON FILE AT THE ARCHITECT'S OFFICE.
- D. DRAWINGS ARE BASED ON A SURVEY, DATED 12/10/14 PREPARED BY BOHLER ENGINEERS AND IS INCLUDED IN THE CIVIL DOCUMENTS. (BY OTHERS) E. THIS BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH THE RECOMMENDATIONS OF A GEOTECHNICAL
- INVESTIGATION DATED MAY 1, 2014, ADDENDUM #1 BY ECS MID-ATLANTIC, LLC. THE REPORT IS PART OF THESE CONTRACT DOCUMENTS, AND THE CONTRACTOR IS RESPONSIBLE FOR CARRYING OUT ITS RECOMMENDATIONS, THOUGH SOME MAY NOT BE SPECIFICALLY DETAILED ON THE PLANS.
- E. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO
- G. ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE CONSTRUCTION MANAGER, IN WRITING, PRIOR TO INSTALLATION.
- H. RETAIN THE PROJECT GEOTECHNICAL ENGINEER TO PROVIDE OBSERVATION AND TESTING SERVICES DURING THE GRADING (INCLUDING UTILITY TRENCHES) AND FOUNDATION PHASE OF CONSTRUCTION AS RECOMMENDED IN THE GEOTECHNICAL REPORT. ALL TESTING AND INSPECTION REPORTS, INCLUDING FINAL SUMMATION LETTER, SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND OWNER. G.C. SHALL CERTIFY PAD ELEVATION PRIOR TO START OF FOUNDATION WORK.
- SUBMIT PAY FEES AND OBTAIN ALL PERMITS ASSOCIATED WITH THE PROJECT EXCEPT GENERAL BUILDING PERMIT. THIS INCLUDES, BUT IS NOT LIMITED TO ELECTRICAL, MECHANICAL, PLUMBING, FIRE SPRINKLER, HOOD ANSUL, OR OTHER RELATED FIRE PERMITS, ENCROACHMENT PERMIT, ETC. YUM BRANDS WILL PAY FOR "CONNECTION FEES" ASSOCIATED WITH UTILITY PERMITS. PAY FOR TEMPORARY FACILITIES FEES AS REQUIRED TO COMPLETE THE WORK IN A TIMELY MANNER.
- J. PROVIDE EACH SUBCONTRACTOR WITH A COMPLETE AGENCY-PERMITTED DRAWING SET AT TIME OF CONSTRUCTION.
- K. ALL ABBREVIATIONS INCLUDED FOLLOW INDUSTRY STANDARDS. CONTACT ARCHITECT IF ANY ABBREVIATIONS ARE NOT CLEAR.
- . GC SHALL SUPPLY AND INSTALL ALL ASPECTS OF THE PROJECT DESCRIBED IN THIS DRAWING SET UNLESS OTHERWISE NOTED. SEE SCOPE OF WORK FOR EXCEPTIONS.
- M. GRAPHIC AND WRITTEN INFORMATION ON DRAWINGS SHALL BE COORDINATED WITH ALL TRADES PRIOR TO INSTALLATION.
- N. ALL MATERIALS STAGED TO BE USED FOR CONSTRUCTION SHALL BE PROTECTED FROM EXCESSIVE MOISTURE. IF THEY ARE EXPOSED TO MOISTURE THEY SHOULD BE ADEQUATELY DRIED BEFORE ENCAPSULATED INTO THE
- O. ALL PAINTS, ADHESIVES, COATINGS AND SEALANTS USED INSIDE THE BUILDING SHALL HAVE A LOW VOC CONTENT.
- P. GENERAL CONTRACTOR SHALL PROVIDE KNOX BOX AS PER LOCAL JURISDICTION REQUIREMENTS. INSTALL IN LOCATION SPECIFIED BY LOCAL FIRE MARSHALL OF FIRE DEPARTMENT.

V FORTINSPECTION TREQUIREMENTS.

- Q. GENERAL CONTRACTOR SHALL COORDINATE WITH SPECIAL INSPECTOR. REFER TO STRUCTURAL DRAWINGS
- R. CONTRACTOR SHALL SUBMIT TO COUNTY THE METHOD OF E.I.F.S. CONSTRUCTION AND THE METHOD OF
- CONTAINING LOOSE PARTIALS AS A RESULT OF RASPING.

**PROJECT GENERAL NOTES** 



ALL MATERIALS AND METHODS SHALL COMPLY WITH EIMA STANDARDS, ASTM E 2568, ASTM E 2570 AND ICC-ES AC219.

DRAINAGE TRACKS SHALL BE USED AT THE BASE OF ALL WALLS AND FLASHINGS AS RECOMMENDED BY MANUFACTURER.

EIFS SYSTEM SHALL BE EQUAL TO STO THERM CI ESSENCE/STO THERM NEXT ESSENCE WITH STO GUARD. SYSTEM

A. STARTER TRACK: RIGID PVC PLASTIC TRACK PART NO. STDE AS FURNISHED BY PLASTIC COMPONENTS, INC.

EIFS SYSTEM SHALL COMPLY WITH ICC-ES REPORT ESR-1748.

THE EIFS SYSTEM SHALL BE A CLASS PB-DRAINABLE SYSTEM.

A. STANDARD IMPACT MESH (4.5 OZ/SQ. YD.) ABOVE 6'-0".

B. ULTRA-HIGH-IMPACT MESH (15 OZ/SQ. YD.) BELOW 6'-0".

WALL IMPACT RESISTANCE SHALL BE AS FOLLOWS:

B. AIR/MOISTURE BARRIER: STO GUARD.

c. STO GUARD RAPID FILL.

d. STO GUARD RAPID SEAL

C. ADHESIVE: STO-PRIMER/ADHESIVE-B.

2. WATERPROOF COATING: STO GOLD COAT.

D. CONTINUOUS INSULATION: STO EPS INSULATION BOARD.

WARRANTY: 7 YEARS.

COMPONENTS AS FOLLOWS:

a. STO GOLD FILL. b. STO GOLD COAT.

THE AIR/MOISTURE BARRIER SHALL BE LIQUID APPLIED PER MANUFACTURER'S STANDARDS.

1. JOINT TREATMENT, ROUGH OPENING PROTECTION AND DETAIL COMPONENTS:

3. TRANSITION MEMBRANE: STO GUARD TRANSITION MEMBRANE.

	WALLS/ CEILING	FLOOR
EXIT ACCESS CORRIDOR	NA	NA
ALL OTHER ROOMS	CLASS A	NA
SMOKE DEVELOPMENT:	NOT TO EXCEED 450	NOT TO EXCEED 450
	DE	SIGN CRITERIA
	FRC	OST DEPTH: 24 INCHES MINIMUM
	REF	ER TO STRUCTURAL DRAWINGS.
	LEGA	L DESCRIPTION
OWNER  JBG/TAKOMA RETAIL CENTER, LLC  4445 WILLARD AVE., SUITE 400  CHEVY CHASE, MD 20815	MAF 1525 WIC	RCHITECT  RK D. McCLUGGAGE AIA, CCS 5 EAST DOUGLAS AVENUE CHITA, KS, 67211 NTACT: BRAD DOEDEN
CONTACT: CARTER DAVIS 301-657-0700		-265-9367
	BRIT 101 GRE CON	TRUCTURAL ENGINEER IT PETERS & ASSOCIATES, INC. WEST CAMPERDOWN WAY, SUITE 601 EENVILLE, SC, 29601 NTACT: ANDREW RUFFIN -233-5140
	DEV 1150 GRE CON	ECH. / ELEC. ENGINEER  VITA & ASSOCIATES, INC. DEAST WASHINGTON STREET EENVILLE, SC, 29602 NTACT: RYAN GRAY -232-6642
	PROJE	ECT DIRECTORY
	EDIATE MESH, 11.2 OZ/SQ. YD. ARMOR MAT, 15.0 OZ/SQ. YD. MESH, 4.2 OZ/SQ. YD. PRIMER SMOOTH AS RECOMME SH, ACRYLIC-BASED TEXTURED V BY OWNER FROM MANUFACTUI ND COLOR SAMPLES TO OWNE	
TALL AIR/MOISTURE BARRIER AND EIFS FAILS.	SYSTEM IN ACCORDANCE WITH	H MANUFACTURER'S WRITTEN INSTRUCTIONS AND
TALLER MUST BE CERTIFIED IN WRITIN	G BY SYSTEM MANUFACTURER	AS QUALIFIED TO INSTALL SYSTEM.
. ATTACHMENTS MADE THROUGH EIFS AWINGS.	SHALL BE BRUSHED TO PREVEN	NT DAMAGE TO THE FINISH PER ARCHITECTURAL
. PENETRATIONS THROUGH EIFS SHALL	. BE SEALED AS RECOMMENDED	BY MANUFACTURER.
. HORIZONTAL REVEALS MUST HAVE A		
INTAIN MINIMUM INSULATION THICK		
S SHALL TERMINATE MINIMUM OF 6" A	•	
OVIDE INDEPENDENT THIRD PARTY INS	PECTIONS AND SPECIAL INSPEC	TIONS OF EIFS SYSTEM AND WATER-RESISTIVE
RRIER PER IBC SECTION 1705.15 AND A	POLICE OF BY LOCAL AUTHORI	IY HAVING JUKISDICTION.
		E.I.F.S. NOTES

LEGAL JURISDICTION: CITY OF TAKOMA PARK IN MONTGOMERY COUNTY, MARYLAND

BUILDING AREA: BUILDING FOOTPRINT = 2,063 SF

BUILDING HEIGHT = 22'-7" FULLY SPRINKLED - NO

TYPE CONSTRUCTION: TYPE V - B

FIRE ALARM

SEATING: 40

OCCUPANCY: A2

**BEARING WALLS EXTERIOR** 

INTERIOR

INTERIOR **EXTERIOR** 

FLOOR CONSTRUCTION

**ROOF CONSTRUCTION** 

BUILDING ELEMENT

PRIMARY STRUCTURAL FRAME

NONBEARING WALLS AND PARTITIONS

BUILDING CODE: 2015 IBC, 2012 IPC, 2015 IMC, NFPA 101 2012 LIFE SAFETY CODE, 2015 IFGC, 2014 NEC, 2015

IECC, ICC/ ANSI A117.1 - 2009, COMAR .05.02.02 MARYLAND ACCESSIBILITY CODE AND MARYLAND FPC

RATING IN HOURS

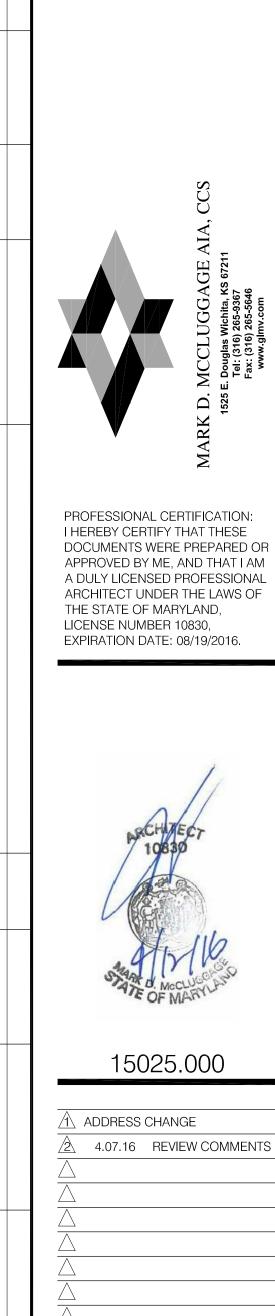
0

0

0

**INTERIOR FINISHES** 

TITLE/SITE T1.0 TITLE SHEET LS1.0 LIFE SAFETY PLAN	4	<u>↑</u>	\$ 6	<u></u>	
CIVIL / LANDSCAPE  (MASTER SITE PLAN UNDER SEPARATE CONTRACT AND SUBMISSION) SD# 21681-2012	•				
STRUCTURAL S1.0 FOUNDATION PLAN S2.0 WALL FRAMING PLAN		<u> </u>			
<ul> <li>S3.0 ROOF FRAMING PLAN</li> <li>S4.0 STRUCTURAL DETAILS (FOUNDATION)</li> <li>S4.1 STRUCTURAL DETAILS (FRAMING)</li> <li>S4.2 STRUCTURAL DETAILS</li> <li>S4.3 STRUCTURAL DETAILS</li> <li>S5.0 MISC. DETAILS AND SPECIAL INSPECTION</li> </ul>		2 2 2 2 2			
ARCHITECTURAL  A1.0 FLOOR PLAN A1.1 DOOR & WINDOW ELEVATIONS & SCHEDULES A2.0 EQUIPMENT AND SEATING PLAN		<u>^</u>			
A2.1 EQUIPMENT SCHEDULE A3.0 ROOF PLAN A4.0 EXTERIOR ELEVATIONS A4.1 EXTERIOR ELEVATIONS A5.0 WALL SECTIONS A5.1 WALL SECTIONS A5.2 WALL SECTIONS A6.0 CONSTRUCTION DETAILS - ROOF A6.1 CONSTRUCTION DETAILS - DOOR / WINDOW A6.2 CONSTRUCTION DETAILS - WALL A6.3 FINISH DETAILS A6.4 CONSTRUCTION DETAILS - INTERIOR A7.0 FLOOR FINISH PLAN A7.1 REFLECTED CEILING PLAN A7.2 FINISH SCHEDULE		<u>2</u>			PROFESSION I HEREBY (IN DOCUMENT APPROVED A DULY LICENSENTE CONTRACTION IN THE STATE LICENSENTE APPRATION IN THE STATE LICENSENTE APPRAISE A
A8.0 INTERIOR ELEVATIONS - DINING ROOM A8.1 INTERIOR ELEVATIONS, ENLARGED RESTROOM & OFFICE PLAN A8.2 INTERIOR ELEVATIONS - KITCHEN A8.3 INTERIOR ELEVATIONS - KITCHEN  ACCESSIBILITY  ADA1.0 ACCESSIBILITY REQUIREMENTS ADA1.1 ACCESSIBILITY REQUIREMENTS  MECHANICAL  M1.0 MECHANICAL SCHEDULES AND NOTES M2.0 MECHANICAL DIFFUSER AND DUCT PLAN M3.0 HOOD DRAWINGS - PLANS AND SECTIONS M4.0 MECHANICAL & HOOD DETAILS					53%
PLUMBING P1.0 PLUMBING SCHEDULES AND NOTES P2.0 PLUMBING WASTE FLOOR PLAN P3.0 PLUMBING WATER AND GAS FLOOR PLAN P4.0 PLUMBING ROUGH-IN FLOOR PLAN P5.0 RISER DIAGRAMS P6.0 PLUMBING DETAILS		<u> </u>			1 ADDRE 4.07.
ELECTRICAL  E1.0 ELECTRICAL SITE PLAN  E2.0 RISER DIAGRAM AND LEGEND  E2.1 PANEL SCHEDULES AND LOAD SUMMARY  E3.0 POWER FLOOR PLAN					
E3.1 ENLARGED POWER PLAN AND DETAILS E3.2 POWER ROOF PLAN E4.0 LIGHTING PLAN & SCHEDULE E5.0 COMMUNICATIONS PLAN E6.0 ELECTRICAL DETAILS E7.0 ELECTRICAL DETAILS		<u> </u>			DATE:
SCOPE OF WORK IN BOOK FORMAT  SPECIFICATIONS IN BOOK FORMAT					BUILDING T PLAN VERS SITE NUMB ENTITY NUM
					13 TAKO
					<b>L</b>



1300 HOLTON LANE TAKOMA PARK, MD 20912

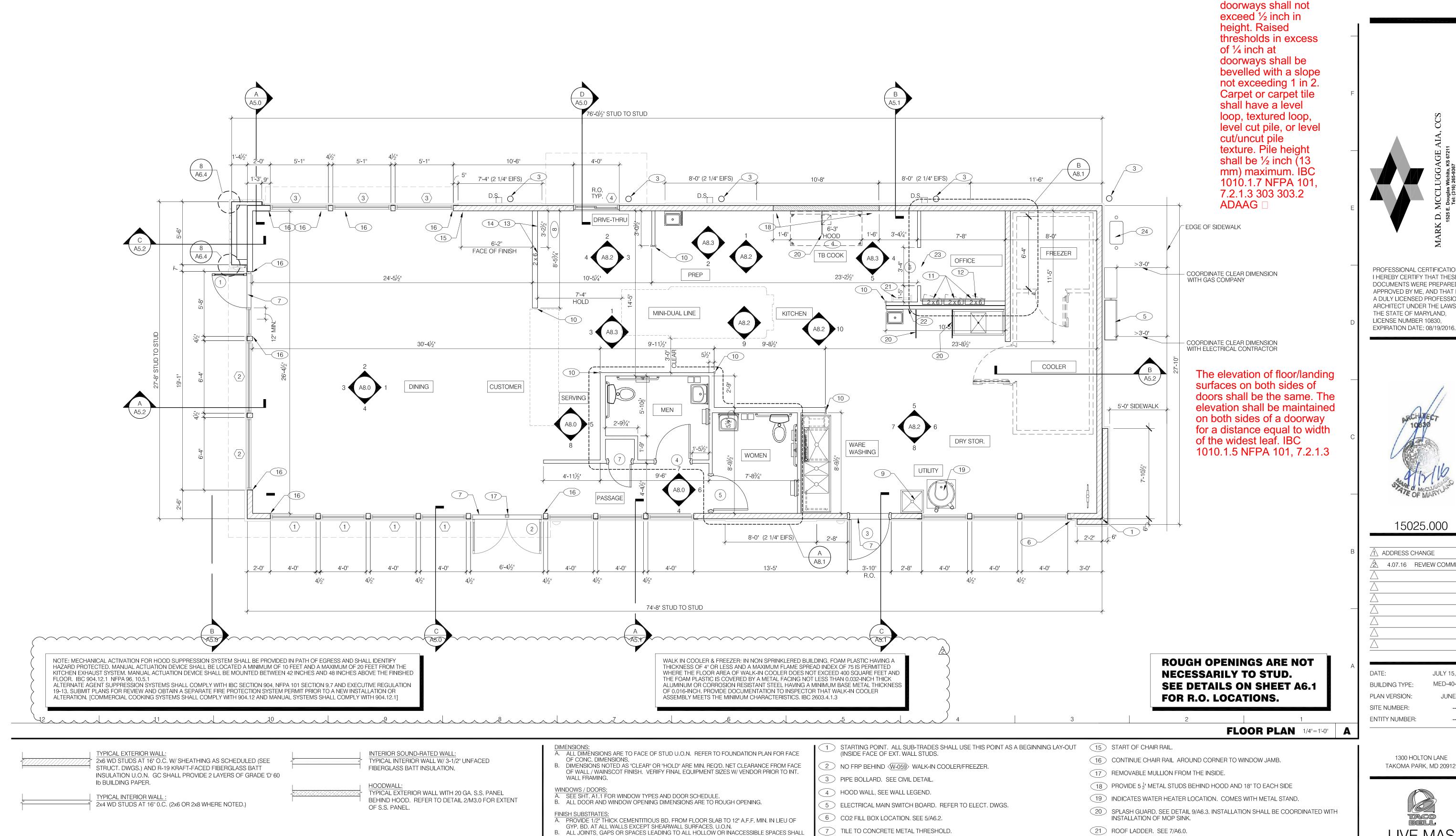
JULY 15, 2015

MED-40-MOD

JUNE 2015

PLOT DATE:

**SHEET INDEX** 



Thresholds at

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF



2 4.07.16 REVIEW COMMENTS

JULY 15, 2015 MED-40-MOD JUNE 2015

1300 HOLTON LANE

TAKOMA PARK, MD 20912



MEDIUM40 - MODIFIED

**FLOOR** 

**FLOOR PLAN NOTES** 

12 LIGHTING CONTROL PANEL SURFACE MOUNTED. REFER TO ELECT. DWGS.

D

11) ELECT. PANELS RECESSED IN 2x6 WALL.

9 MOP SINK. REFER TO SHEET A2.0 & A2.1.

13 SYRUP LINE CHASE (ABOVE). SEE DETAIL 19/A6.4.

14 14"x14" HORIZONTAL OPENING FOR SYRUP TUBES. COORDINATE WALL PENETRATION WITH COUNTER INSTALLER. SEAL CHASE TO COUNTER. SEE 11/A6.4.

8 KEEP CLEAR FOR UTILITIES & SYRUP LINES. SEE DETAIL 14 & 19/A6.4 FOR STUD

10 S.S. CORNER GUARD / WALL CAP, TYP. ALL CORNERS IN BACK-OF-HOUSE FROM REAR

WALL TO THE KITCHEN SIDE OF THE SERVICE COUNTER. SEE DETAIL 19/A6.3.

**WALL LEGEND** 

A. SEE A2.0 FOR SEATING PLAN AND DETAILS.

SEE A7.0 FOR FLOOR FINISHES.

D. SEE A7.1 FOR CEILING FINISHES.

LOCAL AUTHORIZING AGENT.

SEE A8.0 - A8.3 FOR WALL FINISHES.

WALL SUBSTRATES:

ALLOW THE G.C. FLEXIBLITY.)

- KITCHEN WALLS AND DINING ROOM CLOSET:

- ALL OTHER FRAME WALL CONDITIONS:

HEIGHT U.O.N. FINISH AS SCHEDULED.

1/2" GYPSUM WALLBOARD FROM T.O. CURB TO 6" ABOVE CEILING HEIGHT U.O.N. SEE 6, 8 & 16 / A6.3. (NOTE: THE CEMENT BOARD SPECIFICATION IS DESIGNED TO

1/2" CEMENT WALLBOARD FROM T.O. SLAB WITH 1/2" CDX PLYWOOD W/FRP SURFACE FINISH TO 6" ABOVE CEILING HEIGHT U.O.N. IF DOUBLE SIDED SHEAR WALL

5/8" CEMENT WALLBOARD FROM T.O. SLAB OR T.O. CONCRETE CURB TO 48" A.F.F. WITH 5/8" HI-IMPACT BRAND XP WALLBOARD, TYPE X CORE FROM T.O. CEMENT

1/2" CEMENT WALLBOARD FROM T.O. SLAB OR T.O. CONCRETE CURB TO 48" A.F.F., WITH 1/2" GYPSUM WALLBOARD FROM T.O. CEMENT BOARD TO 6" ABOVE CEILING

PLYWD IS SPECIFIED THE PLYWOOD SHALL SHALL BE CONTINUOUS FROM SILL PLATE TO TOP PLATE. SEE 4, 11 & 20 / A6.3.

BOARD TO 6" ABOVE CEILING HEIGHT U.O.N.. NO SUBSTITUTIONS ALLOWED. FINISH AS SCHEDULED. SEE 11 (SIM), 12 /A6.3.

- DINING ROOM:

BE SEALED WITH "NSF INTERNATIONAL" APPROVED SEALANTS.

C. ALL BACK OF HOUSE AND OFFICE WALLS SHALL HAVE 1/2" CDX PLYWOOD SUBSTRATE,

A. PROVIDE FOUR FIRE EXTINGUISHERS - (2) 10 lb. BC and (1) 10 lb. ABC and (1) 10 lb. TYPE K

TO COMPLY WITH LOCAL FIRE CODE. L'OCATE PER DIRECTION OF FIRE MÀRSHALL OR

C. ALL ATTACHMENTS MADE THROUGH E.I.F.S. SHALL BE BUSHED TO PREVENT DAMAGE TO

B. DRAWINGS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE.

D. ALL PENETRATIONS THROUGH E.I.F.S. SHALL BE SEALED USING MFR'S. APPROVED

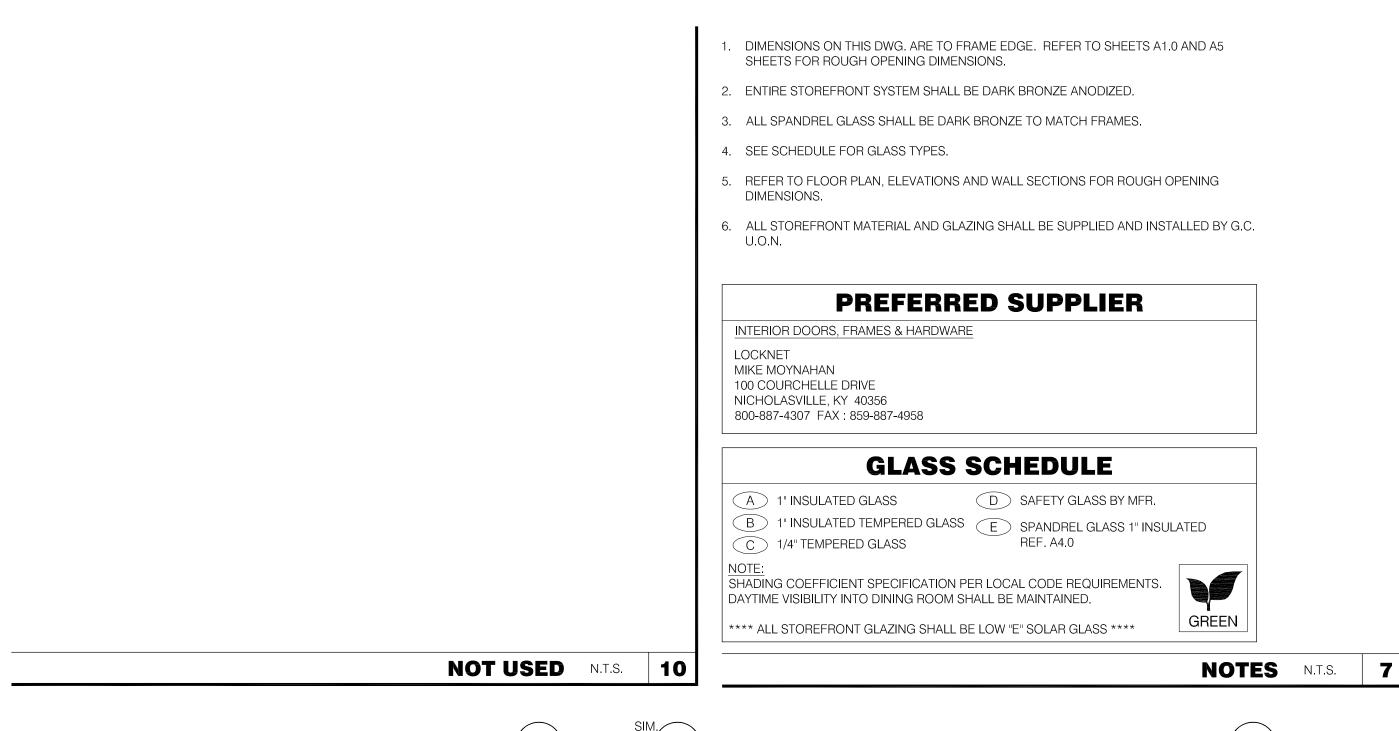
**KEY NOTES** 

22 ADD SECOND 2X4 WALL ON KITCHEN SIDE.

24 GAS SERVICE METER. SEE MECH. DRAWINGS.

CASED OPENING. REFER TO DETAIL 6/A6.4 DOOR OPTIONAL, REFER TO DOOR SCHEDULE ON A1.1 (DOOR #6).

PLOT DATE:



# STOREFRONT FRAMING & GLAZING SUPPLIER

OLDCASTLE BUILDING ENVELOPE PAUL McKENZIE 913-653-2500

1. LAMINATE DOORS 4, 5, 6 & 7 AND PAINT FRAMES 3, 4, 5, 6 & 7. SEE FINISH SCHEDULE, SHEET A7.2.

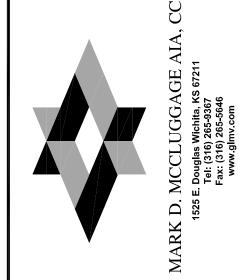
- 2. ALL HARDWARE SHALL BE US32D U.O.N.
- 3. ALL HM FRAMES SHALL BE 16 GA STEEL U.O.N.
- 4. ALL LOCKS SHALL BE FALCON 6 PIN INTERCHANGEABLE CORE SUPPLIED AND INSTALLED BY THE G.C. ALL EXTERIOR LOCKS SHALL BE PROVIDED WITH CONSTRUCTION CORES. ALL PERMANENT CORES SHALL BE
- 5. PERMANENT CORES SHALL BE SHIPPED TO THE RESTAURANT GENERAL MANAGER.
- 6. MOUNT DOOR CLOSERS ON RESTROOM OR KITCHEN SIDE ONLY.
- 7. COMPLETE DOOR, FRAME AND HARDWARE PACKAGE INCLUDING: VISION PANEL (WITH 18 GA. HOLLOW METAL FRAME), CONTINUOUS HINGE, HEAVY DUTY CLOSER, RAIN DRIP, DOOR BOTTOM/ SWEEP, WEATHERSTRIP, KICKPLATE AND PANIC HARDWARE, ORDERED THRU LOCKNET SECURITY DOORS, PART #DU3670L52VED (1-800-887-4307).
- 8. PROVIDE PUSH/ PULL PLATES. IF REQUIRED BY LOCAL CODE, STOREFRONT DOOR PANIC HARDWARE SHALL BE : DOR-O-MATIC 2092 RIM PANIC HARDWARE AND EXTERIOR PULLS WITH QUALITY #520 DOOR PULL.
- 9. MOUNT KICKPLATE ON PUSH SIDE ONLY.
- 10. MAXIMUM DOOR OPERATING PRESSURE : 5 LBS INTERIOR : 15 LBS EXTERIOR.
- 11. ADA COMPLIANT ACCESSIBILITY SIGNAGE, INCLUDE BRAILLE AS REQUIRED BY LOCAL JURISDICTION (1) MEN; (1) WOMEN
- 12. RESTROOM SIGN REQUIRED.
- 13. INSTALL WITH REMOVABLE DOOR STOPS AND WEATHER STRIPS.

KICKPLATE
KITCHEN SIDE
ONLY

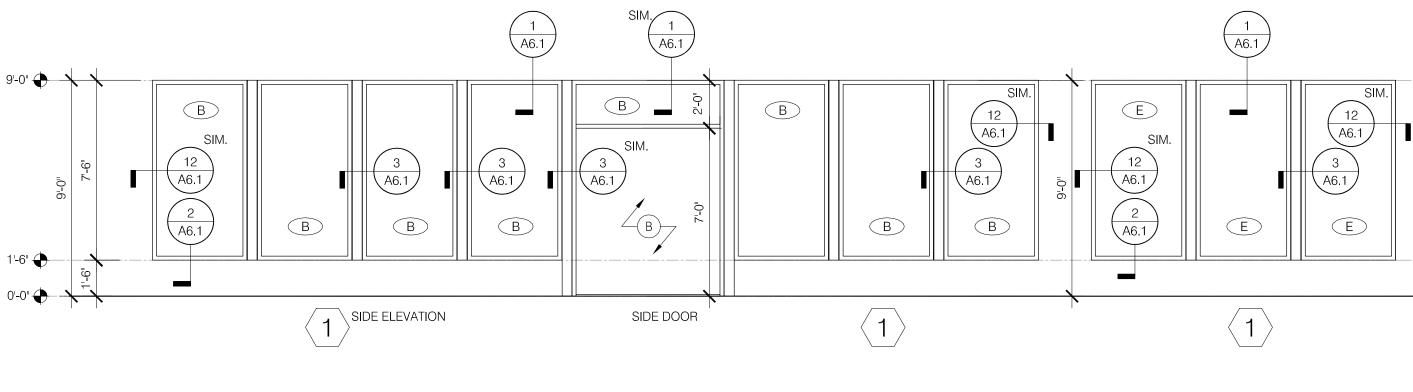
B

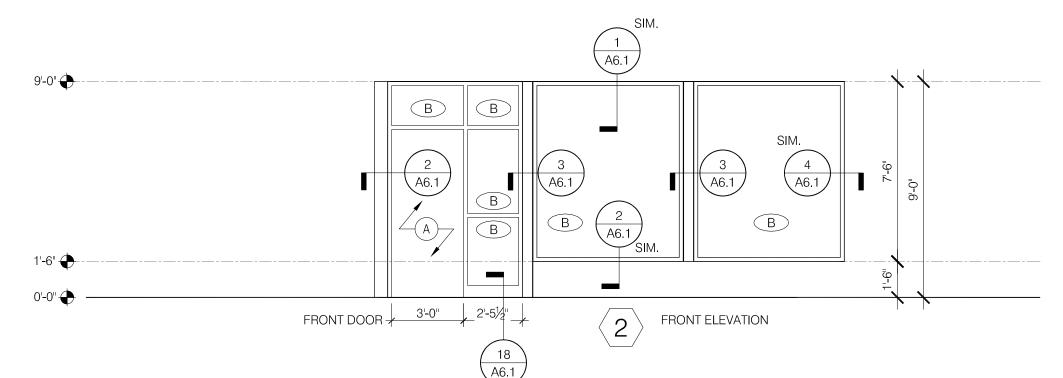
STOREFRONT SYSTEM

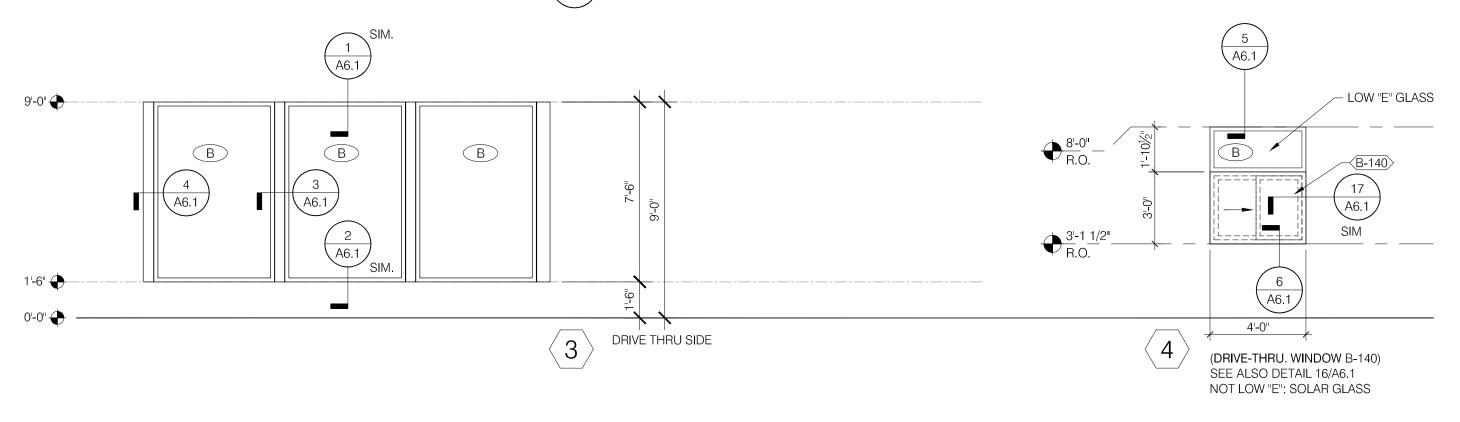
- 14. FRAMES SHALL BE PAINTED.
- 15. RESTROOM PARTITIONS: BOBRICK 1080 SERIES, WITH STAINLESS STL. 1 1/2" WALL POST, LATCH, KEEPER, COAT HOOK (DTL 20/ADA1.0) & MOUNTING BRACKETS. INSTALL PER MANUFACTURER'S SPECIFICATIONS & DETAILS. DOOR HANDLE AND LATCH SHALL BE MOUNTED AT 36" A.F.F.
- 16. PROVIDE LATCH AND STRIKE PLATE HARDWARE BY DOOR MFR. TO BE COMPATIBLE WITH LOCKS. 17. PANIC HARDWARE OR FIRE EXIT HARDWARE SHALL BE REQUIRED ON ALL DOORS IN THE MEANS OF EGRESS FROM ANY POINT IN THE ROOM OR SPACE CONTINUING THROUGH TO THE PUBLIC WAY.



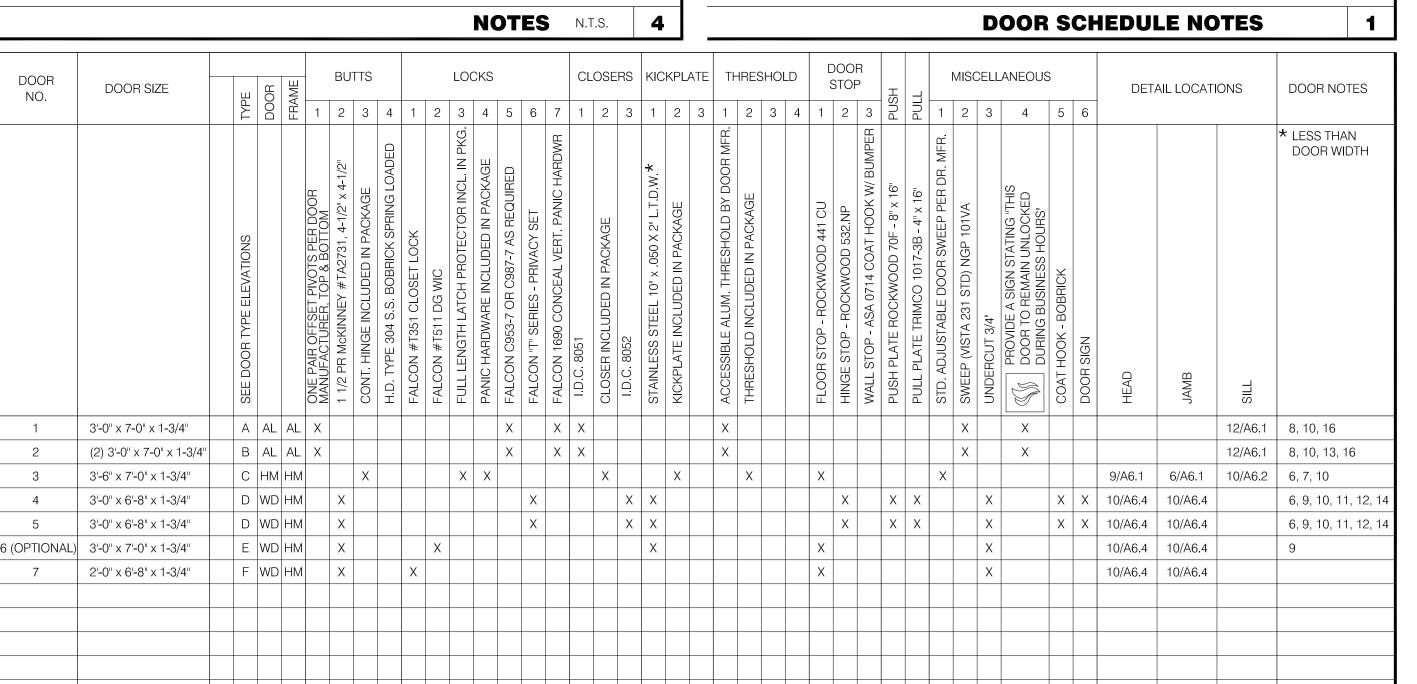
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 10830, EXPIRATION DATE: 08/19/2016.







NOTE: ELEVATIONS DRAWN AS VIEWED FROM EXTERIOR OF BUILDING. **WINDOW TYPES** 1/4" = 1'-0" **9** 

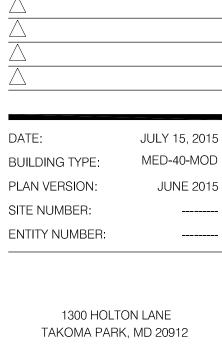


SIGN WHERE NOTED

KICKPLATE — — ON PUSH SIDE ONLY

UNDERCUT → - SEE M2.0

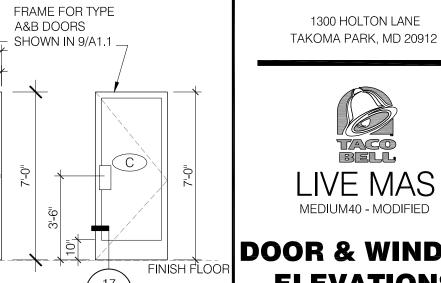
# **DOOR SCHEDULE**



15025.000

4.07.16 REVIEW COMMENTS

1 ADDRESS CHANGE



MEDIUM40 - MODIFIED **DOOR & WINDON ELEVATIONS** AND **SCHEDULES** 

NOTE: ELEVATIONS DRAWN AS VIEWED FROM EXTERIOR OF BUILDING OR OUTSIDE ROOM

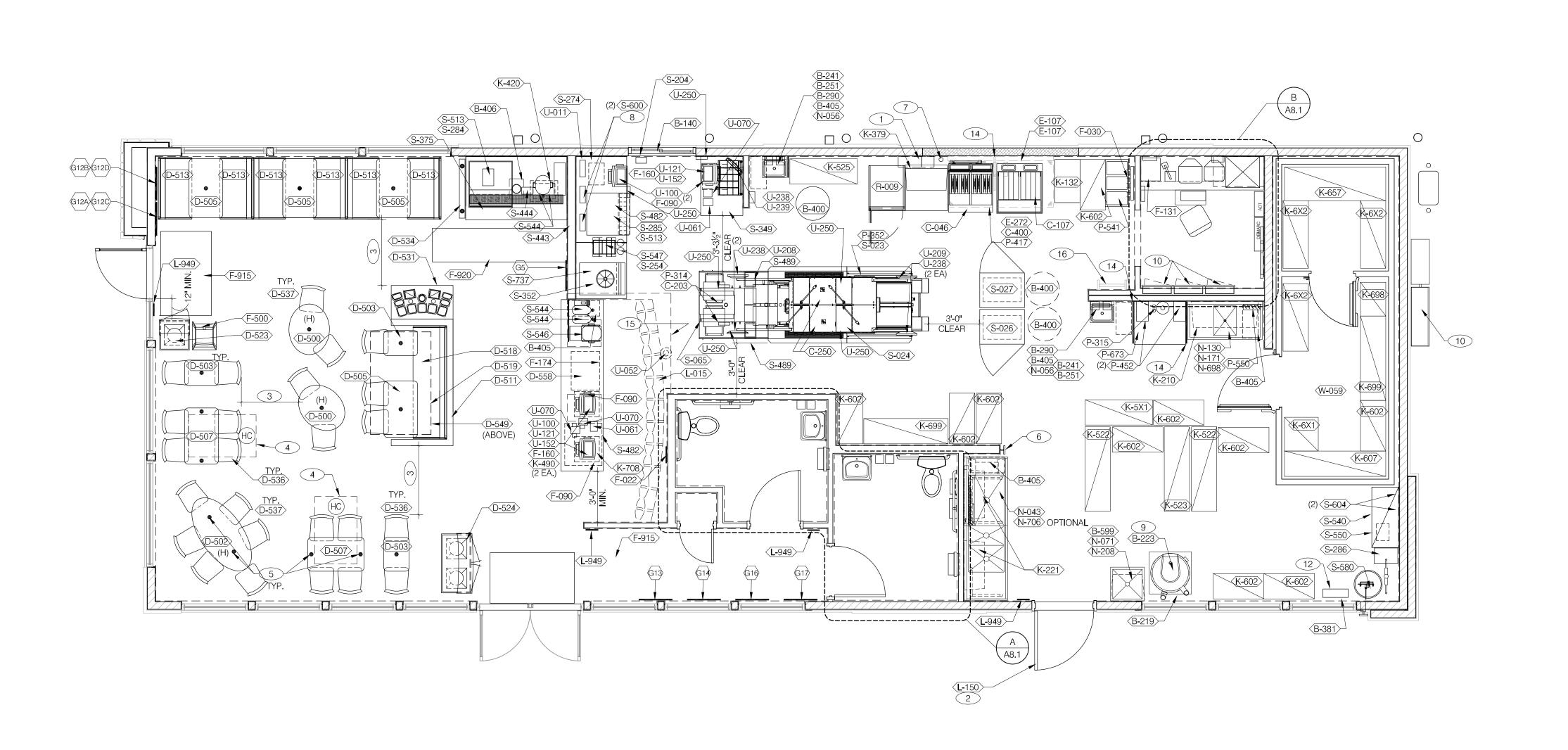
**DOOR TYPES** 1/4" = 1'-0" **3** 

STOREFRONT SYSTEM

Self-service shelves and dispensing devices for tableware, dishware, condiments, food and beverages shall be installed to comply with ADAAG 2010 904.5. Space Allowances and Reach Ranges.

Sales and service counter shall comply with ADAAG 2010 section 227 & 904.4. ADA 2010 902.1

General. Dining surfaces and work surfaces shall comply with 226, 902.2 and 902.3. 902.2 Clear Floor or Ground Space. A clear floor space complying with 305 positioned for a forward approach shall be provided. Knee and toe clearance complying with 306 shall be provided. 902.3 Height. The tops of dining surfaces and work surfaces shall be 28 inches (710 mm) minimum and 34 inches (865 mm) maximum above the finish floor or ground.



SYM.	QTY.	ITEM	SYM.	QTY.	
(D-500)	2	TABLE - OVAL - BAR HEIGHT - 24" X 30" - CORE DRILL BASE	(D-534)	1	SCREEN WALL
(D-502)	1	TABLE - OVAL - BAR HEIGHT - 30" X 60" - CORE DRILL BASE	(D-536)	15	FORMED WOOD SHELL DINING CHAIR
D-503	3	TABLE - RECTANGLE - STD HEIGHT - 18" X 24" - CORE DRILL BASE	(D-537)	10	FORMED WOOD SHE <b>LL</b> DINING CHAIR
(D-505)	4	TABLE - RECTANGLE - STD HEIGHT - 24" X 40" - CORE DRILL BASE	(D-549)	1	SOFFIT BY DISTRIBUTOR.
(D-507)	2	TABLE - RECTANGLE - STD HEIGHT - 24" X 40" - CORE DRILL BASE (ADA)			
(D-511)	1	DIVIDER WALL - 90" LONG			
(D-513)	6	OPEN BACK BENCH SETTEE - 42"			
(D-518)	1	BACKLESS BENCH SETTEE - 38"			
(D-519)	1	BACKLESS BENCH SETTEE - 42"			
(D-523)	1	SINGLE TRASH RECEPTACLE			
D-524	1	DOUBLE TRASH RECEPTACLE			
(D-558)	1	SERVICE COUNTER - 122"			
(D-531)	1	CONDIMENT COUNTER - SQAURE CORNERS			

SEATING PACKAGE - BY SEATING VENDOR U.O.N. (TOTAL SEATS = 40)

$\langle X \rangle$	QTY.	ITEM	REMARKS
G12A	1	TASTE EXPLOSION 1 OF 4	SEE A8.0 FOR LOCATION
G12B	1	TASTE EXPLOSION 2 OF 4	SEE A8.0 FOR LOCATION
G12C	1	TASTE EXPLOSION 3 OF 4	SEE A8.0 FOR LOCATION
G12D	1	TASTE EXPLOSION 4 OF 4	SEE A8.0 FOR LOCATION
G13	1	VOLCANO TARGET	SEE A8.0 FOR LOCATION
(G14)	1	NYC TACO TAXI	SEE A8.0 FOR LOCATION
(G16)	1	TACO NIGHT TIME	SEE A8.0 FOR LOCATION
(G17)	1	TACO BEACH BE <b>LL</b>	SEE A8.0 FOR LOCATION
(G5)	1	NUTRITION BOARD	SEE A8.0 FOR LOCATION
		I	

**ARTWORK SCHEDULE** 

D

GENER	AL NOTES C1
STORAGE TYPE	LINEAR FT.
DRY STORAGE	63
COLD STORAGE	22
FROZEN STORAGE	14
SHELVING QUANTITIES	S REQUIRED C2

3. (HC)- SYMBOL DENOTES A HANDICAP ACCESSIBLE TABLE.

	EQUIPMENT/SEATING PLAN 1/4"=1'-0"
DECOR  1. REFER TO SC SHEETS FOR SCOPE OF WORK RESPONSIBILITIES.  2. (H) - SYMBOL DENOTES A HIGH TABLE OR DINING COUNTER WITH STOOLS.	1 HOOD FIRE SUPPRESSION SYSTEM (ANSUL R-102 OR EQUAL). 2 SEE SHEET A1.1 FOR SECURITY DOOR PACKAGE.

3 MAINTAIN 36" MIN CLEAR AISLE EGRESS PATHS TO EXIT DOORS. 4 30" x 48" CLEAR FLOOR SPACE FOR HANDICAP ACCESS.

DOT INDICATES CORE DRILL LOCATION. CORE DRILL LAYOUT TO BE PROVIDED BY THE SEATING VENDOR. SEE DETAIL 7/A6.3 AND SCOPE OF WORK. CHANGE CORE DRILL BITS TO MATCH DECOR BASE SIZE TO MAINTAIN 3 /8" MAX GROUT **LINE AROUND BASE** 

6 PU**LL** STATION @ 3'-8" A.F.F.

GAS LINE DOWN TO EQUIPMENT. COORDINATE LOCATION OF HORIZ PVC SYRUP CHASE THRU WALL TO COUNTER.

6" HIGH WATER HEATER PLATFORM. SWITCHGEAR / ELECTRIC PANELS.

NOT USED. B' **L**ADDER.

✓L-090 ► SITE ITEM

NOT USED. SP**L**ASH GUARD. ALERT LIGHT BOX FOR 3-COMP POWER SOAK.

ROOF LADDER &B-049 AND ROOF HATCH &B-050.

**KEYNOTES** 

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 10830, EXPIRATION DATE: 08/19/2016.



15025.000

ADDRESS CHANGE

JU**L**Y 15, 2015 MED-40-MOD BUILDING TYPE: PLAN VERSION: SITE NUMBER: ENTITY NUMBER:

1300 HOLTON LANE TAKOMA PARK, MD 20912



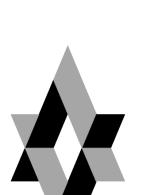
**EQUIPMENT** AND **SEATING** PLAN

P**L**OT DATE:

В

Fryers require a 16" clearance between the fryer and flames from adjacent cooking equipment. Provide separate high limit control, in addition to operating thermostats, to shut off fuel or energy when fat temperature reaches 475 degrees at one inch below the surface. NFPA 96 (12.1.2.4 and 12.2)

D.   QTY  G.(	C. INST	ITEM DESCRIPTION	MFR. & MODEL NUMBER PLUMB	ELECT GAS	REMARKS	NO.	NO. OT	Y G.C. INST	. ITEM DESCRIPTION	MFR & MODEL NUMBER	LUMB	ELECT GAS	REMARKS	N
		B CONTRACTOR BUILDING ELEMENTS							L LIGHTING/SIGNAGE/MENUBOARDS					+
49 1		OOF LADDER	PRECISION #FL184		15'-4" WITH 8" EXTENSION	B-049	L-015 1	X	INTERIOR MENU BOARD PACKAGE - ROTATING, 10-PANEL	EVERBRITE KTO206OP		Х	LED INTERNALLY ILLUMINATED	L
50 1 40 1		OOF HATCH RIVE-THRU WINDOW	PRECISION #PH-G2'-6"x3'-0" QUICKSERV #SC-4030BR		2'-6" X 3'-0" CLEAR OPENING G.C. TO PROVIDE TRANSOM - DARK BRONZE ANODIZED	B-050 B-140	L-090 1	X	OCB	HYPERACTIVE #TDM-HX1-H05-TCB REQUIRES THE USE OF XPIENT POS SYSTEM			FRANCHISE OPTION L-095 TEXAS DIGITAL # AV150IECEAVNG60	L
19 1	X W	ATER HEATER DUNNAGE RACK	NEW AGE INDUSTRIAL CORP., INC. #98147 X	Х	Side is the vise in the own side in the vise is a side in the vise is a side in the vise in the vise is a side in the vise in the vise is a side in the vise in the vise in the vise in the vise is a side in the vise in the	B-219	L-150 1	X	SECURITY DOOR DANGER SIGN	ADVERCO#ADVCUSTOM			ORDERED DIRECT FROM YRFS	L-
23 1 4 4		ATER HEATER  OAP DISPENSER (WALL MOUNT)	AO SMITH BTH 120 60 CYCLONE HE X KAY 3741	X	SURFACE MTD	B-223 B-241	L-949 4	X	NO SMOKING SIGN	VOLLRATH #4513			PROVIDE PER JURISDICTIONAL REQUIREMENTS	L-
251 2		ANITIZER DISPENSER	KAY 3741		SURFACE MTD.	B-251			N SINKS/DISHWASHERS					
265 2 275 2		IRROR, 18" X 36" DILET PAPER DISPENSER	BOBRICK #B-165-1836 BOBRICK #B-2890		SURFACE MTD SURFACE MTD	B-265 B-275	N-043 1 N-056 2	X	3-COMP POWER SOAK 102"L x 31"D (R TO L) HAND SINK (KITCHEN)	METCRAFT #PS6750 AERO #HSK	X	Х	W/ PRE-RINSE, CLICK&CLEAN SYSTEM & (2) T & SB-2466 FAUCE	ETS N
290 2		APER TOWEL DISPENSER	BOBRICK #B-269 BOBRICK #B-262		SURFACE MTD.	B-273	N-071 1	X	MOP SINK FAUCET	T&S #B-2456 -W-MAX	X			N-
292 2		APER TOWEL DISPENSER / TRASH 12 GALLON RAB BAR 1-1/2"DIA X 36" S.S. FIN.	BOBRICK #B-3942 BOBRICK #B6806X36		SEMI-RECESSED SURFACE MTD	B-292 B-300	N-130 1	X	1 COMP. SINK FAUCET	T&S FAUCET B-2465	X		FOR N-699	N-
300 2 305 2		RAB BAR 1-1/2 DIA X 36 S.S. FIN.	BOBRICK #B6806X36  BOBRICK #B6806X42		SURFACE MTD	B-305							_	
311 2		RAB BAR 1-1/2"DIA X 18" S.S. FIN. O2 CARBON DIOXIDE SENSOR/WARNING	BOBRICK #B6806X18 AMPROBE C02-200	V	SURFACE MTD	B-311 B-381	N-141 2 N-171 1	X	FAUCET (RESTROOMS)  1 COMP. SINK WASTE DRAIN LEVER	T&S FAUCET B-0831-WA T&S FAUCET S-20	X		FRANCHISE OPTION N-134: T&S B-2465 2" TWIST TYPE, FOR N-698	N-
00 3		ASTE BASKET - 32 GALLON	RUBBERMAID #2632 (GREY)	^		B-400	N-208 1	X	MOP SINK 24"X24" FLOOR MOUNT SINK	AERO MANUF. CO., INC. #3MP-2121-6/1P	X		INCLUDES (2) 24"X36" WALL PANELS	N-2
05 6 06 1		ASTE BASKET ASTE BASKET	RUBBERMAID SLIM JIM #3541 (GREY)			B-405 B-406	N-698 1	X	1 COMP PREP SINK 53"W X 27"D X 35 1/2"H	AERO #2F1211617LR	Х			N-
10 1		ANITARY NAPKIN RECEPTACLE	RUBBERMAID 28 QT #2956 (BLACK) RUBBERMAID #6140		INCLUDES ACCESSORY KIT & MOUNTING HARDWARE	B-406 B-410			P FOOD PREPARATION					
99 1	X M	OP SINK STATION	ISS #WST806Y X			B-599	P-314 1	X	WATER PRESSURE REGULATOR KIT	A.J. AUTUNES & CO. #7000314	X			P-3
		C COOKING EQUIPMENT					P-315 1 P-352 1	X	REVERSE OSMOSIS SYSTEM  DUAL LINE, 157" READY TO ACCEPT EVO CABINETS	CUNO #FSTM-HP  DELFIELD #TB000P67 (DUKE OPTIONAL)	X	X	REQUIRES FLOOR SINK  DUKE - WEST / DELFIELD EAST	P-3
)46 1		UAL OPEN FRYER W/ UNDER-FRYER FILTER SYSTEM	FRYMASTER #FPPH255SD	X X	COMES WITH GAS HOSE KIT. OPTION: WITHOUT FILTER	C-046		.,	·	, i		.,		
107 1 203 2		ETHERMALIZER PLIT LID CLAM SHELL TOASTER	PITCO #TB-SRTG14-2 X PROLINE PROGRILL SL1577YA	XXX	COMES WTH GAS HOSE KIT POWERED BY PRODUCTION LINE	C-107 C-203	P-417 1 P-452 2	X	8-CHANNEL TIMER HOT WATER SYSTEM	FAST #TRACK2X4TB BUNN-MACHINE #43600.0014	X	X	ALTERNATE: PRINCE CASTLE #755HM8TB  W/ BRACKET, FRONT MOUNT:	P-
250 2		HEESE MELTER (SINGLE)	A. J. ANTUNES # CM-100 X	X	POWERED BY PRODUCTION LINE	C-250								
100 1	x   C	OOK TIMER	FAST #TBZAP12	X	FOR THE RETHERMALIZER	C-400	P-541 1 P-550 1	X	STORAGE BINS KNIFE RACK	B4B SYSTEMS #0307010 EDLUND #KR-99			+	P-6
							P-673 1	X	WORK TABLE, 36" X 30"	ISS #WST908A			FOR RETHERMALIZER AND HOT WATER	P-
		E EXHAUST HOODS/FIRE SUPP.							R REFRIGERATION					
07 1		TRATOVENT 6'-3" EXHAUST HOOD	STRATOVENT MODEL # TBG3650SVBD6FT3IN	X	PRE-PIPED FOR ANSUL SUPPRESSION	E-107	R-009 1	X	REACH-IN FREEZER	DELFIELD 6100XL		X		R-
08 1	X S	TRATOVENT 106"H X 111" L BACK SPLASH	STRATOVENT MODEL # BACKSPLASH106X111FLA	X		E-108								
272 1	X	MER OUTLET		X		E-272								
									S SERVING/DRIVE-THRU				+	
		F OFFICE/EMPLOYEE/MUSIC/MISC.					S-004 1	×	HEAT CABINET - FULL HEIGHT - (1) LH	BEVLES #CS82-CH8 120LH		X	W/ 8 SHELVES EACH	S-(
)14 1		LE CABINET (2 DRAWER HIGH) 18" x 36" x 27"H	HON #58266		IN OFFICE. SEE SHEET A8.1	F-014	S-005 1	X	HEAT CABINET - FULL HEIGHT - (1) RH	BEVLES #CS82-CH8 120RH		X	W/ 8 SHELVES EACH	S-
121 1 122 1		HAIR - OFFICE CENSE FRAME 8" X 10" (BLACK)	HON #5831 CREATIVE PALETTE TB30		IN OFFICE. SEE SHEET A8.1 IN OFFICE. SEE SHEET A8.1	F-021 F-022	S-023 1 S-024 1	X	WARMER,EVO TACO TOWER,TB,208V, L TO R UNIT WARMER,EVO TACO TOWER,TB,208V, R TO L UNIT	CARTER HOFFMAN #EVOR208  CARTER HOFFMAN #EVOR208		X	MOUNT ON PRODUCTION LINE OVER SHELF  MOUNT ON PRODUCTION LINE OVER SHELF	S-
30 1	X C	OAT HOOKS	ISS #HOOK246R2Y			F-030	S-065 1	X	DESSERT TOWER	HATCO #GRBW-24D		X	MOUNT ON PRODUCTION LINE OVER SHELF	S-
040 1 050 1		FFICE COMPUTER REDIT CARD SATELLITE ROUTER JUNCTION	POS PROVIDED YUM	X	IN OFFICE. SEE SHEET A8.1	F-040 F-050	S-204 1 S-254 1	X	DRIVE-THRU TIMER SYSTEM CONDIMENT RACK	HME #C11422TB PRONTO PRODUCTS #CHPW0446		X	MOUNT ON DT WINDOW HEADER  W/ ISS #CONDTOW24L	S-2
060 1		ONITOR-OFFICE	YUM	^	IN OFFICE. SEE SHEET A8.1	F-060	S-254 1	×	BEVERAGE COUNTER DRIVE THRU (36" x 61")	ISS #WST1242YA			W/ ISS #CONDTOW24L	S-2
90 5		FFICE PRINTER/ COPIER/ FAX/ SCANNER PS (UN-INTERUPTABLE POWER SUPPLY)	POS PROVIDED POS PROVIDED	X	IN OFFICE. SEE SHEET A8.1	F-080 F-090	S-284 1	V	BEVERAGE DISPENSER - SELF-SERVE	CORNELIUS 611057625	Х	V	BY PEPSI	S-a
02 1	M	ONEY COUNTER	TELLERMATE #TIX3000	X		F-102	S-285 1	X	BEVERAGE DISPENSER - DRIVE THRU	SERVEND NGF-250QD	X	X	OR CORNELIUS IDC255 PROGATE 5 (BY PEPSI)	S-
31 1 60 3		USIC SYSTEM ROP SAFE	MUZAK #6848. LOCAL LEASE PERMA VAULT #PRO-10	X	MUZAK (LOCAL LEASE)	F-131 F-160	S-286 1 S-349 1	X	WATER FILTER SYSTEM 30" x 42" DRIVE-THRU COUNTER	SHURFLO # WB6-M3-22-003 ISS # WST 1344Y	X	Х	FRACHISEES CAN USE SELECTO #TB5/620-5	S-
74 1		AFE WITH TOUCH SCREEN CONTROLS	BRINKS SAFE A-GALILEO 111-01	X	3-DOOR	F-174	S-349 1 S-352 1	X	40" x 36" DRIVE-THRU DRINK TABLE	# TBD			_	S-5
211 1 1 270 1		LOCK RST AID KIT	B&B SYSTEMS #03060425 PROSTAT FIRST AID LLC #2617		IN OFFICE. SEE SHEET A8.1 IN OFFICE. SEE SHEET A8.1	F-211 F-270	S-375 1	X	SELF SERVE DRINK COUNTER	CARTER HOFFMAN #CH3TDS72N55				S-S
000 2	X S	TACKABLE HIGH CHAIR	KOALA KOA-KB103-01			F-500	S-443 1 S-444 1	×	18"Hx23"Dx10"W STRAW - LID DISPENSER NAPKIN DISPENSOR	CAL-MIL ADA TB103 #5555100				S-
15 2 20 1		LOOR MAT 3' X 5' LOOR MAT 2' X 8'	ENTRANCE, INC. #41150012  ENTRANCE #4-4450		RUBBERIZED RUBBERIZED @ DRINK STATION	F-915 F-920	C 400	V	CUP DISPENSER	A.J. ANTUNES #DACS60			FRANCHISEES CA USE HOSHISAKI KMS-1230	S-
1	^	LOON WAT 2 AU	ENTRANGE # 4-4430		HOBBENIZED & DININK STATION	1-920	S-482 2 S-489 2	X	DIGITAL SCALE	EDLUND DS-10		Х	FRANCHISES CA USE HUSHISANI NVIS-1230	S-4
							S-513 2	X	ICE MAKER (PLACED ON TOP OF DRINK MACHINES)	MANITOWOC #SY-1474C	X	X	W/ ROOF MOUNTED CONDENSERS	S-
							S-540 1 S-543 1	X	PEPSI BOOSTER TANK FROZEN BEVERAGE DISPENSER	CORNELIUS VIPER #621360041TB	X	X	SEE SCOPE OF WORK (PEPSI)  W/ BOOSTER AND INSTALLATION KIT	S-
							S-544 4	X	ICED TEA DISPENSER	BUNN TDO-N-3.5			3.5 GALLON NARROW ICED BEVERAGE DISPENSER	S-5
							S-546 1 S-547 1	X	ICED TEA BREWER BUNN POD BREWER	TETLEY TB3Q  MY CAFE AP AUTOPOD # 42300 0001	X	X	+	S-
		K WORKSTATIONS/SHELVING/CARTS					S-550 1		BAG-N-BOX SYRUP RACK	CORNELIUS/REMCOR BNB12B8P	X		FLO-3REG-2CRB (BY PEPSI)	S-
32 1	X C	LOSING CART	ISS #WST1434Y			K-132	S-580 1		CO2 (BULK) TANK	MVE #11805373			WITHOUT IMPURITY RING	S-
210 1	X P	REP SINK WORKSTATION 50" TRACK	ISS #WST255E		WALL TRACK SHELVING	K-210	S-600 -	X	BUNDLED SYRUP LINES	CORNELIUS/REMCOR TUBE BUNDLE	X		SEE SCOPE OF WORK (PEPSI)	S-
221 1 382 1		COMP. SINK WORKSTATION 96" TRACK RY WORKSTATION 30"W x 30"D x 75"H	ISS #DS-1F ISS #FRYTAB3030YA		WALL TRACK SHELVING	K-221 K-382							_	
20 1	X C	ARBONATOR PLATFORM SHELF 18" X 24"	ISS #WST34Y		LINDED CEDVING COUNTED	K-420								
90 2	x F	RONT COUNTER SHELVING 18" x 24" x 24" (2 TIER)	ISS #WST440Y		UNDER SERVING COUNTER	K-490								
517 1	X P	REP RACK 18" X 60" X 76" (6 TIER)	ISS #WST1469Y			K-517								
5X1 1	X F	JTURE RACK 18" X 48" X 76" (5 TIER)	ISS #WST			K-5X1			U SECURITY/COMM./FIRE PROT./POS					
		, and the second					U-011 1	X	D/T COMM. SYSTEM	HME-HEADSET SYSTEM,FIVE,#C40000-5-HS3-TB		Х	6 COMMUNICATORS, +7'-0" A.F.F.	U-
522 2	Х	MALL PKG. RACK 18" X 60" 76" (5 TIER)	ISS #WST1548Y			K-522	U-052 1 U-054 1	X	SECURITY SYSTEM CCTV DVR & MONITOR	ADT #3BCZTB  MARTCO - NUVICO DVR		X	CROSS ZONE SECURITY SYSTEM WITH 2 CAMERA. SEE DETAIL 4/E6.0 FOR MNTG. MONITOR	U- 3 U-
523 1	X C	UP & LID RACK 18" X 60" X 76" (3 TIER)	ISS #WST1580Y			K-523	U-061 2		CREDIT CARD READER (VSAT)		$\perp$	X		U-
525 1 5X1 1		JTURE RACK 18" X 48" X 76" (5 TIER) JTURE RACK 18" X 24" X 76" (5 TIER)	ISS #WST1613Y ISS #WST			K-525 K-6X1	U-070 3 U-100 4		RECEIPT PRINTER POS/ORDER ENTRY TERMINAL	IBM, NCR & PAR IBM. NCR & PAR		X	2 FOR F/C AND 1 D/T 2 FOR F/C AND 2 D/T	U- U-
X2 3	X F	JTURE RACK 18" X 48" X 76" (5 TIER)	ISS #WST			K-6X2	U-121 3		CASH DRAWER BRACKETS	IBM, NCR & PAR			SEE SCOPE OF WORK	U-
602 10 604 2		HELVING UNIT 18" X 36" X 86"H (5 TIER) HELVING UNIT 18" x 48" x 86"H (5 TIER)	ISS #WST238Y ISS #WSTSU1848-8-5Y		WALK IN COOLER	K-602 K-604	U-152 3 U-208 2		CASH DRAWER KIT,TB,39"L,MONITOR SUPPORT ARM, CRADLE NOT INCLUDED	IBM, NCR & PAR FACILITY SOLUTIONS #SW550340-39			SEE SCOPE OF WORK	U- U-
07 1	X S	HELVING UNIT 18" X 72" X 86"H (4TIER)	ISS #SU187285Y		WALK-IN COOLER	K-607	U-209 2	X	KIT,TB,24.25"L,MONITOR SUPPORT ARM, CRADLE NOT INCLUDE	FACILITY SOLUTIONS #SW550340-24				U-
57 2 599 3		HELVING UNIT 24" X 72" X 86"H (5 TIER) HELVING UNIT 18" X 60" X 74"H (5 TIER)	ISS #SU247285Y ISS #SU186075Y		WALK-IN COOLER WALK IN COOLER	K-657 K-699	U-238 5 U-239 1	Y	KITCHEN MONITOR MONITOR CEILING MOUNTED BRACKET	IBM, NCR & PAR IBM, NCR & PAR		х	FOR ONE MONITOR EACH. SEE DETAIL 2/A6.3	U-
08 1	X D	UNNAGE RACK	ISS #WST1702Y		UNDER FRONT COUNTER	K-708	U-250 6	^	BUMP BAR	IBM, NCR & PAR			WITH MOUNTING PLATE	U-
98 1	X S	HELVING UNIT 18" X 24" X 74" (5 TIER)	ISS #SU182475Y		GOLD BOND	K-698								
									W WALK-IN COOLERS/FREEZERS					
							W-059 1	X	WALK-IN COOLER/FREEZER	ICS/NORLAKE	Х	Х	1 COOLER, 1 FREEZER. XDX & EPACT (CORPORATE STORE	- 1
													NOT APPROVED FOR THE NORLAKE VERSION CAPSULE PAR	'K
							DOOR	CURTAIN, MOP SIN	NK, HAND SINK ACC., CORNER GUARDS, MATS RETHERMALIZERS, TOASTERS, MICROWAVES				DERS, MARINATORS, HOT WATER, WORK TABLES, CHEESE	
								. , , OI IILLO	DS, FIRE SUPPRESSION EQUIPMENT			ZERS (NOT WA		



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 10830, EXPIRATION DATE: 08/19/2016.

15025.000

1 ADDRESS CHANGE

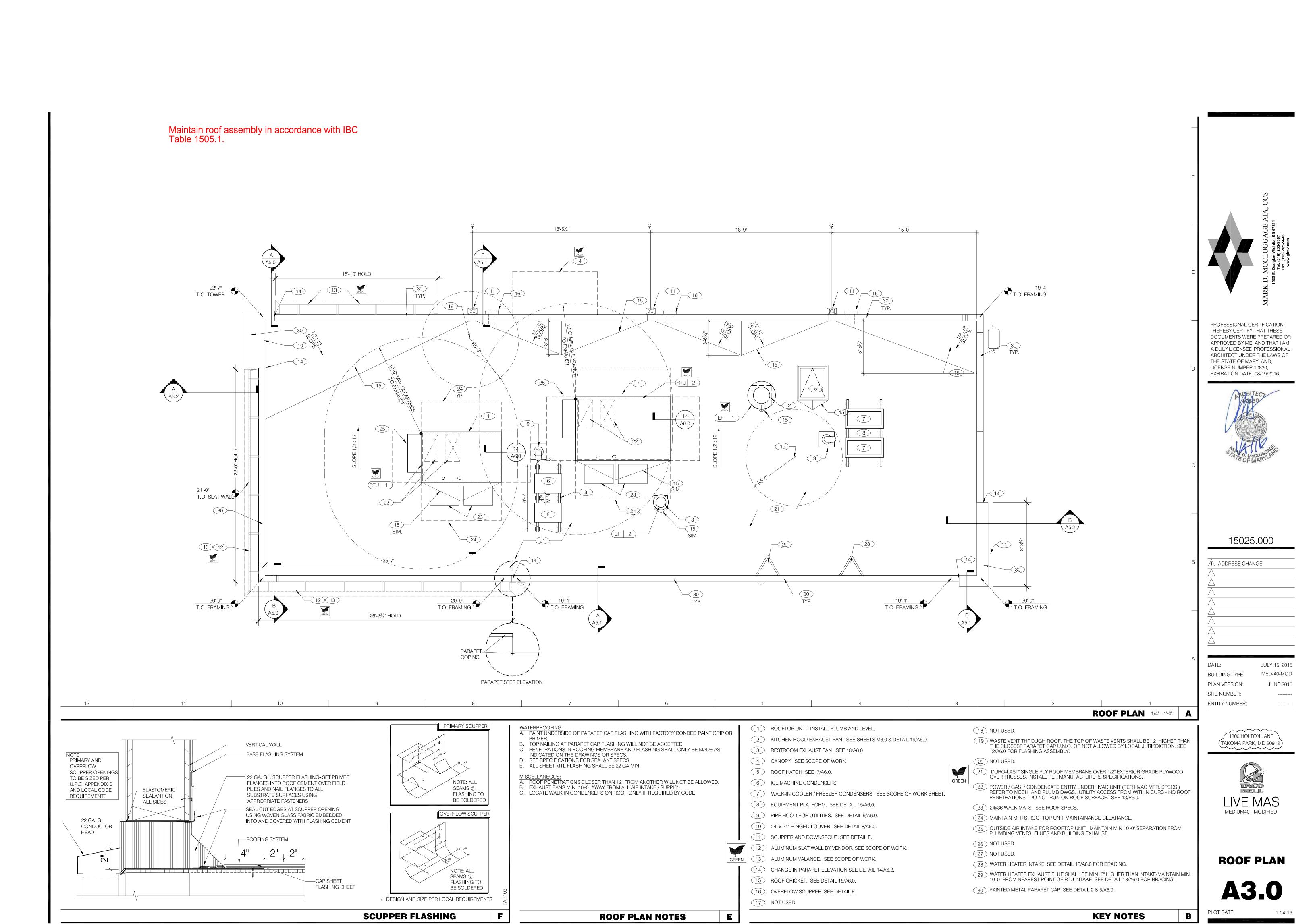
DATE: JULY 15, 2015 MED-40-MOD BUILDING TYPE: PLAN VERSION: JUNE 2015 SITE NUMBER: **ENTITY NUMBER:** 

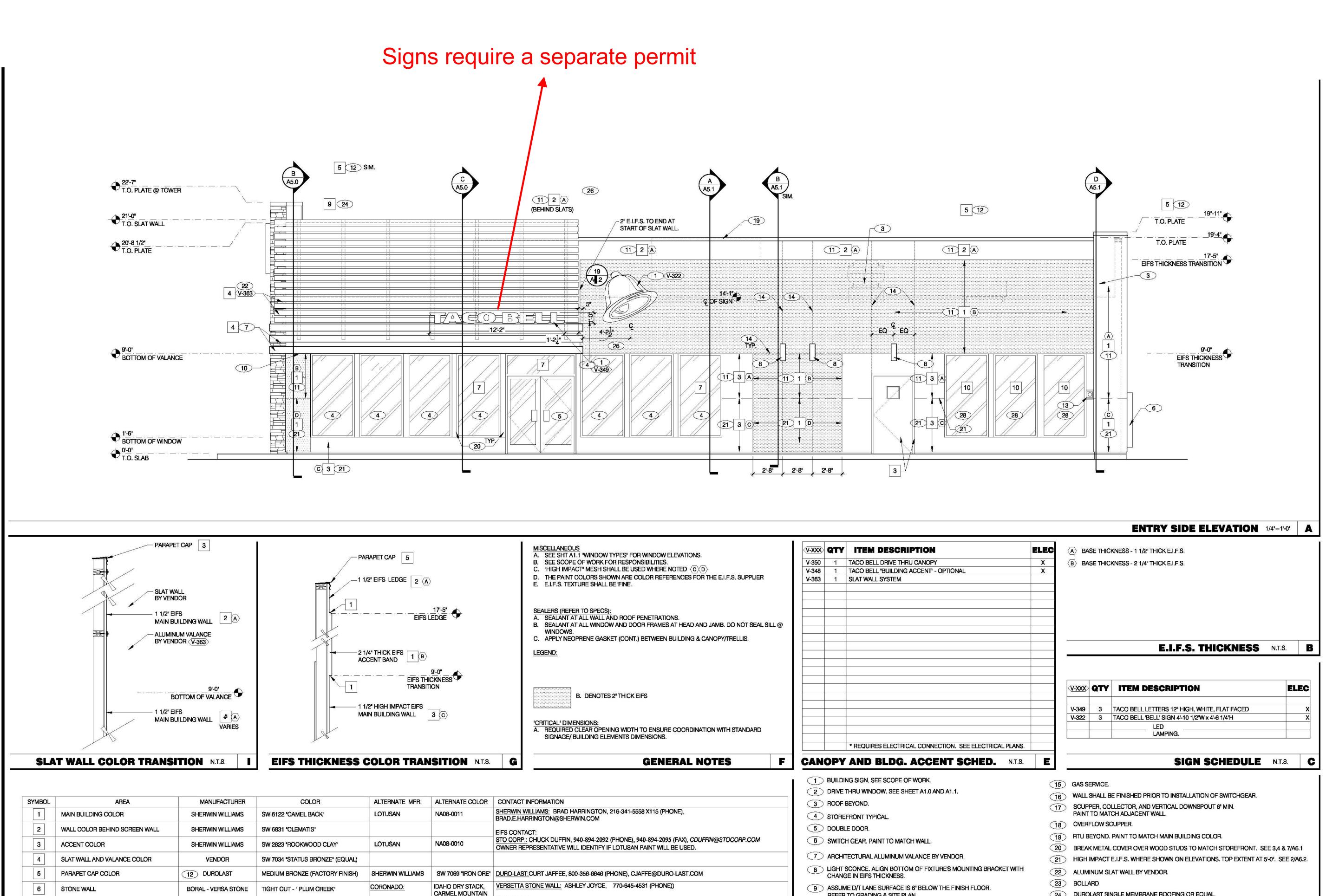
-----





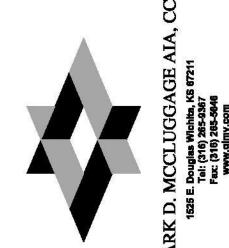
**EQUIPMENT SCHEDULE** 





			90.51					* REQUIRES ELECTRICAL CONNECTION. SEE ELECTRICAL PLANS.		
SLA	T WALL COLOR TRANSI	TION N.T.S.	EIFS THICKNESS	COLOR TRAN	ISITION N.T.S.	G GENERAL NOTES	F	CANOPY AND BLDG. ACCENT SCHED. N.T.S.	E	SIGN SCHEDULE N.T.S. C
YMBOL  1  2  3  4  5  6	AREA  MAIN BUILDING COLOR  WALL COLOR BEHIND SCREEN WALL  ACCENT COLOR  SLAT WALL AND VALANCE COLOR  PARAPET CAP COLOR  STONE WALL	MANUFACTURER SHERWIN WILLIAMS SHERWIN WILLIAMS VENDOR 12 DUROLAST BORAL - VERSA STONE	COLOR SW 6122 "CAMEL BACK"  SW 6831 "CLEMATIS"  SW 2823 "ROOKWOOD CLAY"  SW 7034 "STATUS BRONZE" (EQUAL)  MEDIUM BRONZE (FACTORY FINISH)  TIGHT CUT - " PLUM CREEK"	ALTERNATE MFR. LOTUSAN  LOTUSAN  SHERWIN WILLIAMS  CORONADO:	NA08-0011  NA08-0010  SW 7069 "IRON ORE"  IDAHO DRY STACK, CARMEL MOUNTAIN CULTURED STONE	CONTACT INFORMATION  SHERWIN WILLIAMS: BRAD HARRINGTON, 216-341-5558 X115 (PHONE), BRAD.E.HARRINGTON@SHERWIN.COM  EIFS CONTACT: STO CORP.: CHUCK DUFFIN, 940-894-2092 (PHONE), 940-894-2095 (FAX), CDUFFIN@STOCORP.COM  OWNER REPRESENTATIVE WILL IDENTIFY IF LOTUSAN PAINT WILL BE USED.  DURO-LAST:CURT JAFFEE, 800-356-6646 (PHONE), CJAFFE@DURO-LAST.COM  VERSETTA STONE WALL: ASHLEY JOYCE, 770-645-4531 (PHONE))  ALTERNATE: CORONADO: 1-800-847-8663		1 BUILDING SIGN, SEE SCOPE OF WORK. 2 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1. 3 ROOF BEYOND. 4 STOREFRONT TYPICAL. 5 DOUBLE DOOR. 6 SWITCH GEAR. PAINT TO MATCH WALL. 7 ARCHITECTURAL ALUMINUM VALANCE BY VENDOR. 8 LIGHT SCONCE. ALIGN BOTTOM OF FIXTURE'S MOUNTING BRACKET WITH CHANGE IN EIFS THICKNESS. 9 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN. 10 THICKER EIFS TO TERMINATE AT TOP OF WINDOW HEIGHT. PROVIDE THINNER EIFS ABOVE THAT POINT. SLOPE TRANSITION AWAY FROM BUILDING 1:12. SEE DETAIL B/A4.0	16 (17 (18 (19) (20) (21) (22) (23) (24) (25) (26) (26)	SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT 6" MIN. PAINT TO MATCH ADJACENT WALL.  OVERFLOW SCUPPER.  RTU BEYOND. PAINT TO MATCH MAIN BUILDING COLOR.  BREAK METAL COVER OVER WOOD STUDS TO MATCH STOREFRONT. SEE 3,4 & 7/A6.1  HIGH IMPACT E.I.F.S. WHERE SHOWN ON ELEVATIONS. TOP EXTENT AT 5'-0". SEE 2/A6.2.  ALUMINUM SLAT WALL BY VENDOR.  BOLLARD  DUROLAST SINGLE MEMBRANE ROOFING OR EQUAL.  IF THE DURO LAST PARAPET CAP TRIM IS USED IT SHALL NOT BE PAINTED.  RETURN ALUMINUM LOUVERS BACK TO FACE OF BUILDING.
7	STOREFRONT WINDOWS	TBD	" DARK BRONZE"					11 EIFS (TYP). SEE 2 & 4/A6.2.	27 28	
8	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THCIK PLASTIC COVER (U	JS.POSTMAN.COM) OR	EQUAL	DURO-LAST: LEE COBB, 800-434-3876 (PHONE)		PARAPET COPING. USE THE DURO-LAST PRE-FINISHED EDGE TRIM. SEE DETAIL	2/A6.0.	
9	PARAPET BACK ROOFING	DUROLAST	THE COLOR SHALL BE FACTORY COLO	RED 'TAN." EQUAL ALTE	ERNATE ALLOWED.			13 CO2 FILLER VALVE & COVER. SEE DETAIL 5/A6.2 SIM.		
10	STOREFRONT WINDOWS	TBD	SPANDREL GLASS					1/2' EIFS REVEAL JOINT.		

**EXTERIOR FINISH SCHEDULE** 



ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 10830, **EXPIRATION DATE: 08/19/2016.** 



15025.000

ADDRESS CHANGE

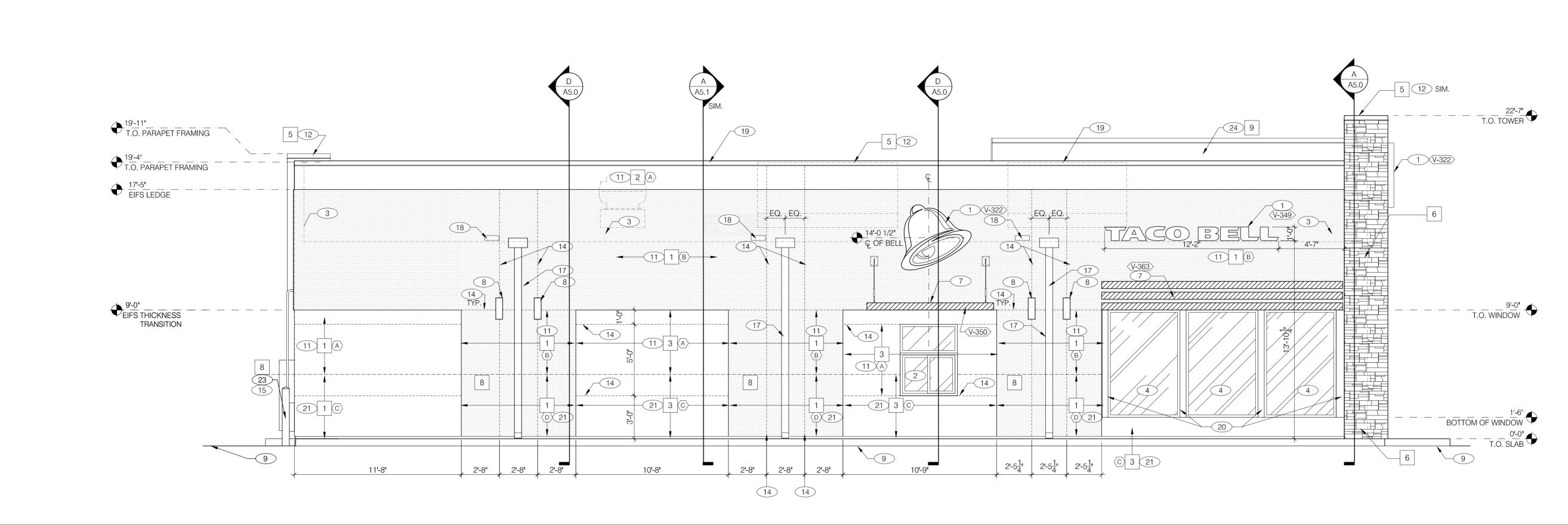
JULY 15, 2015 MED-40-MOD BUILDING TYPE: PLAN VERSION: SITE NUMBER:

**ENTITY NUMBER:** 



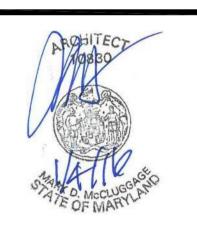


**KEY NOTES** 

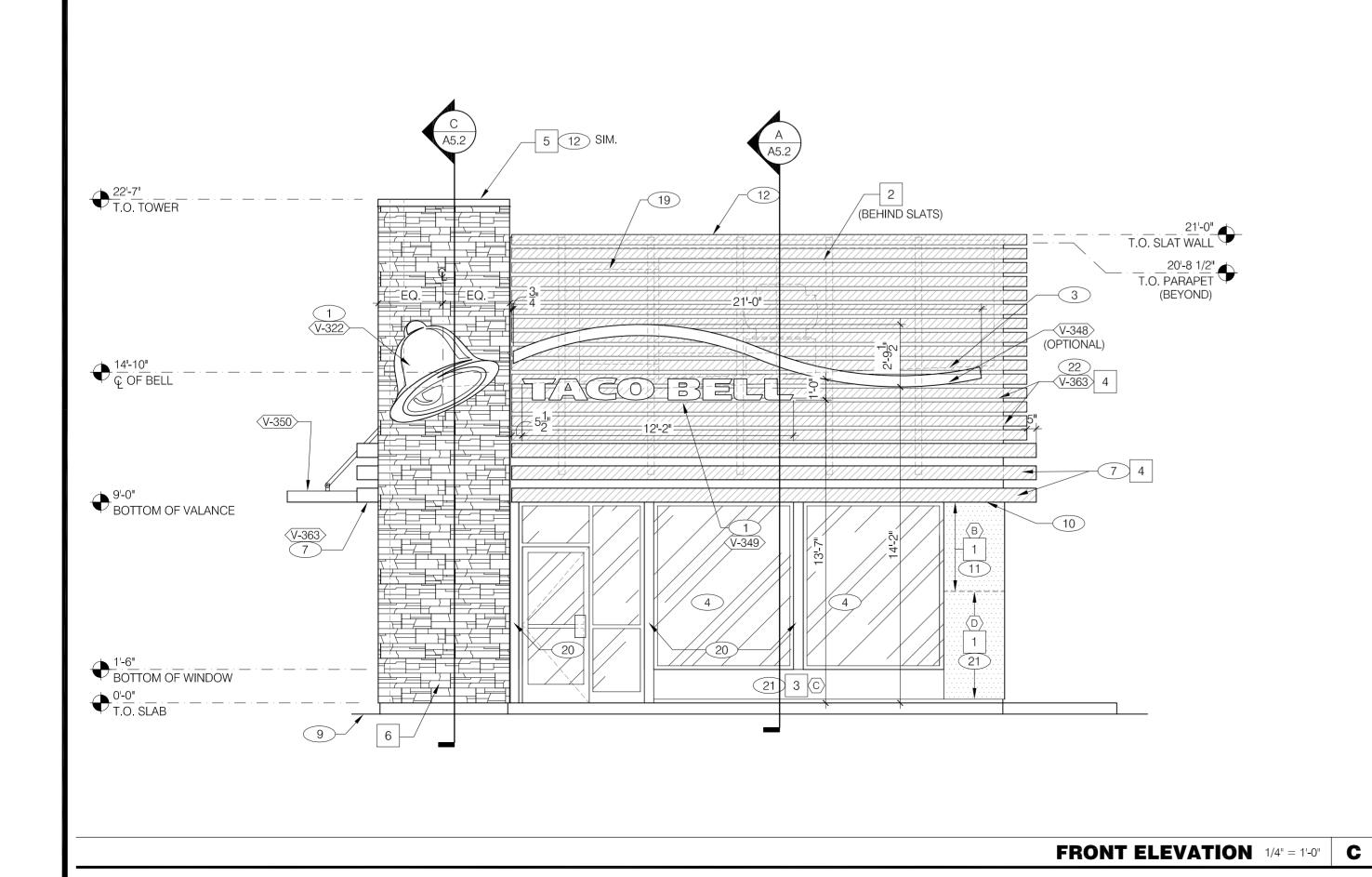


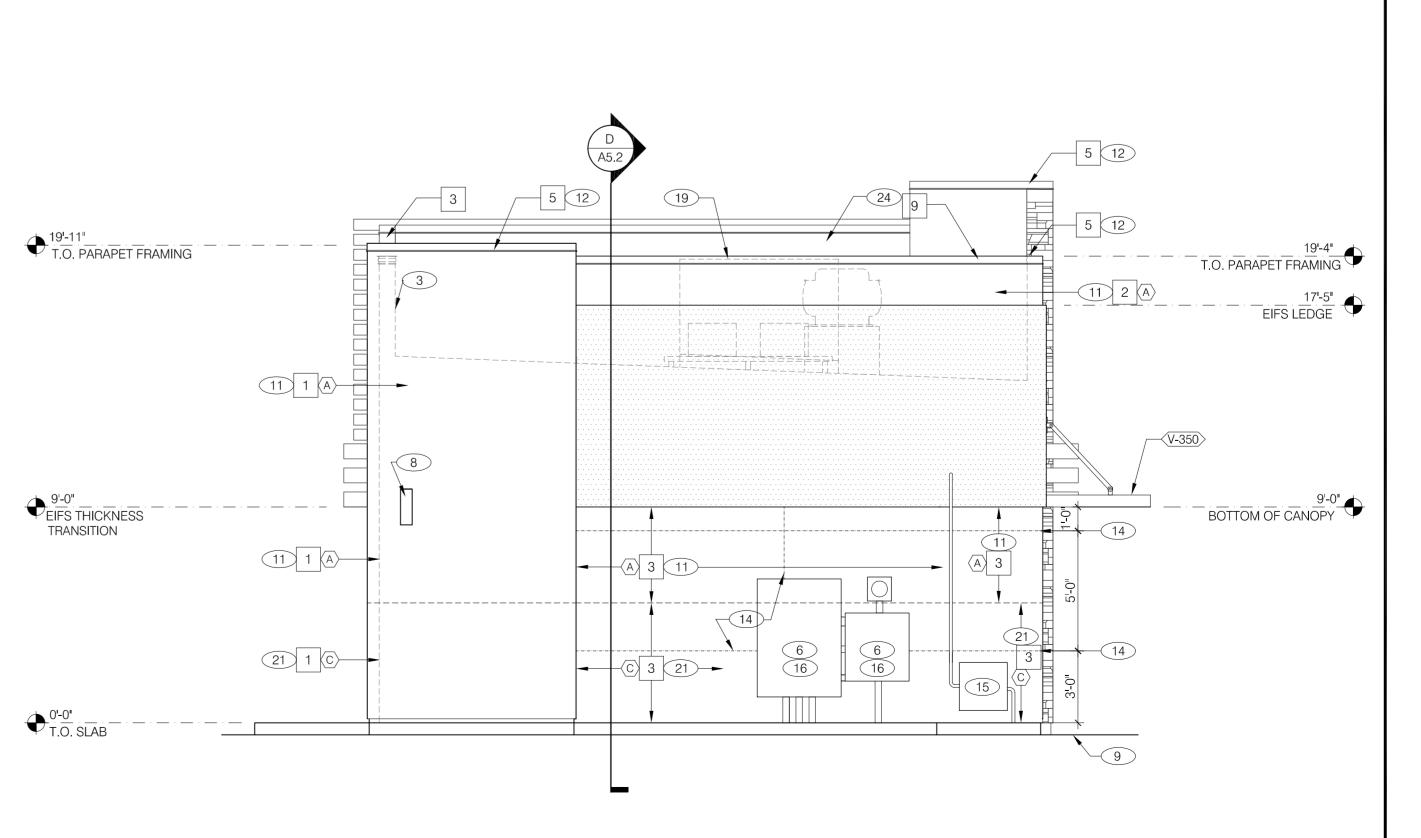


PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 10830, EXPIRATION DATE: 08/19/2016.



## DRIVE-THRU SIDE ELEVATION 1/4"=1'-0" A





# 15025.000

ADDRESS CHANGE

JULY 15, 2015 BUILDING TYPE: PLAN VERSION: SITE NUMBER: **ENTITY NUMBER:** 

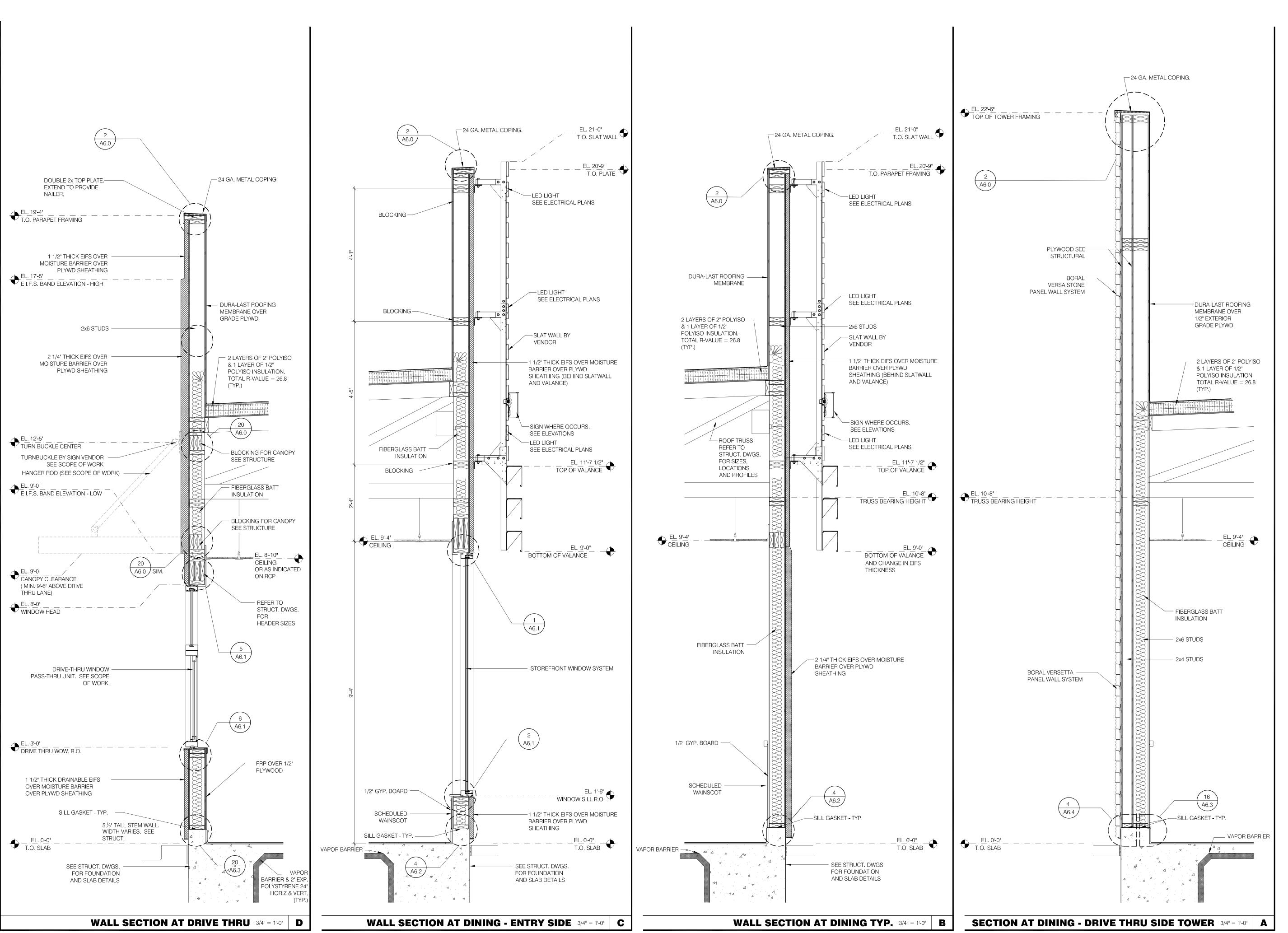
1300 HOLTON LANE TAKOMA PARK, MD 20912



**EXTERIOR ELEVATIONS** 

**A4.1** 

REAR ELEVATION 1/4" = 1'-0" B





PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR
APPROVED BY ME, AND THAT I AM
A DULY LICENSED PROFESSIONAL
ARCHITECT UNDER THE LAWS OF
THE STATE OF MARYLAND,
LICENSE NUMBER 10830,
EXPIRATION DATE: 08/19/2016.



15025.000

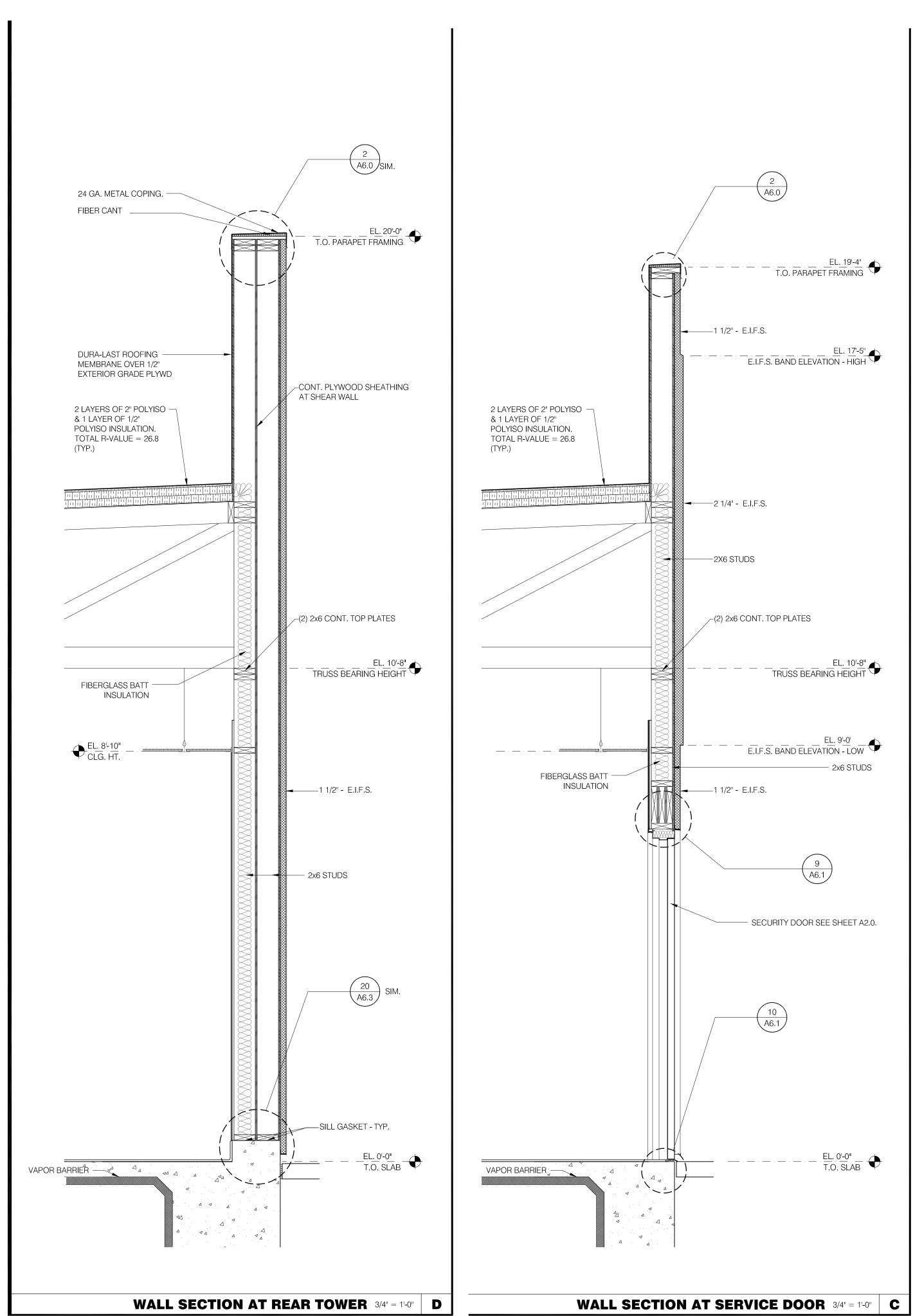
DATE: JULY 15, 2015
BUILDING TYPE: MED-40-MOD
PLAN VERSION: JUNE 2015
SITE NUMBER: -------

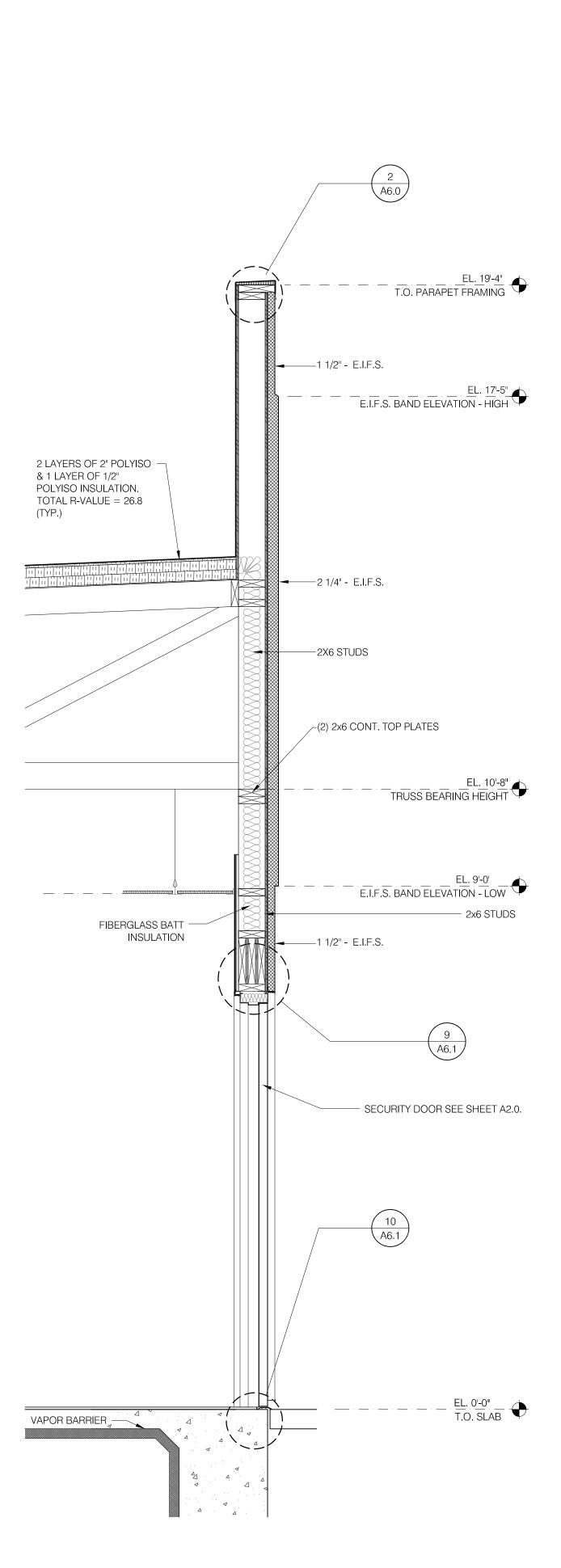
1300 HOLTON LANE TAKOMA PARK, MD 20912

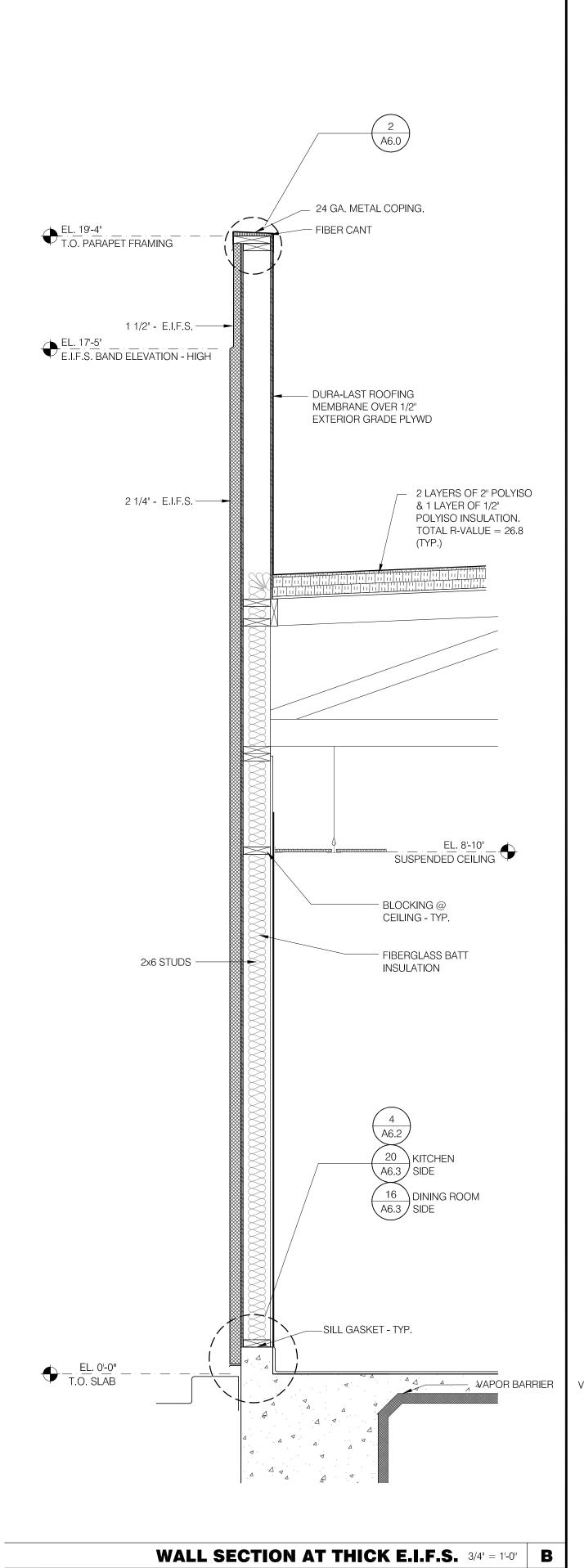


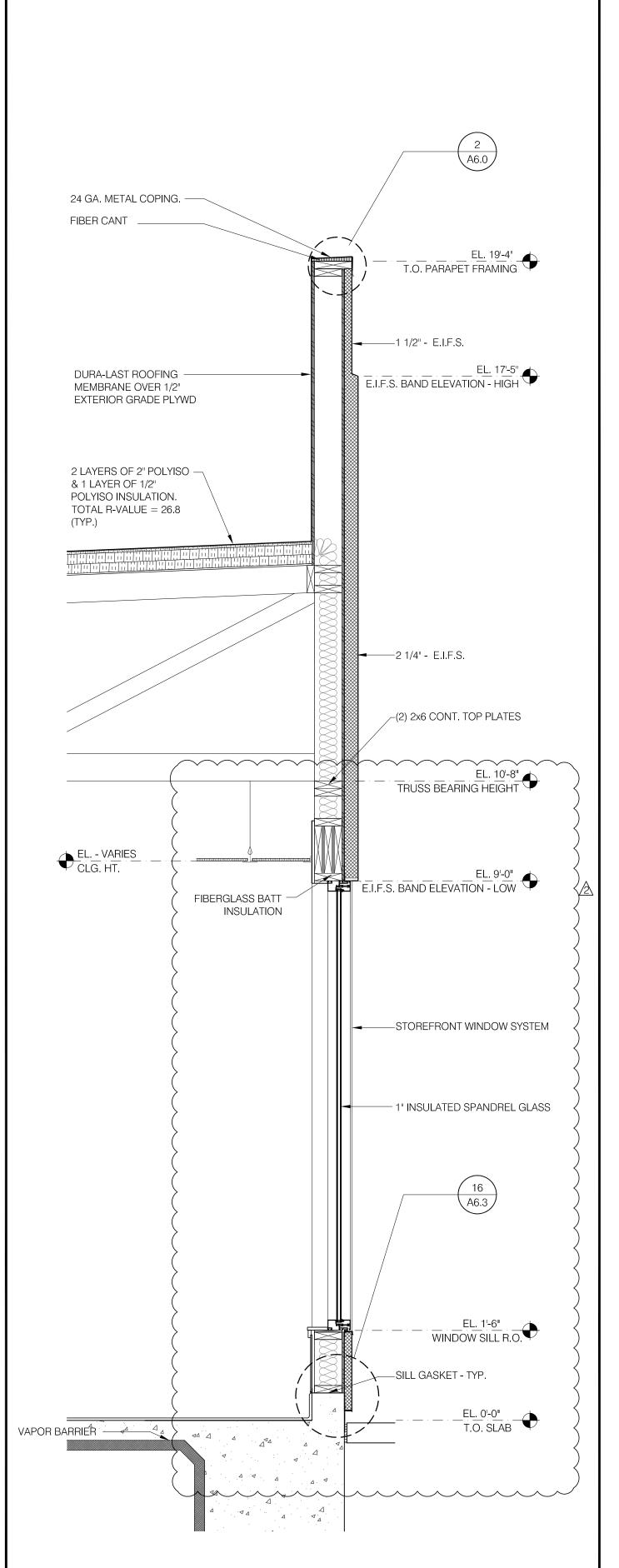
WALL SECTIONS

**A5.0**PLOT DATE: 1-04-









TYPICAL WALL SECTION 3/4" = 1'-0" A



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 10830, EXPIRATION DATE: 08/19/2016.



15025.000

1	ADDRESS	CHANGE
2	4.07.16	REVIEW COMMENTS
$\overline{\triangle}$		

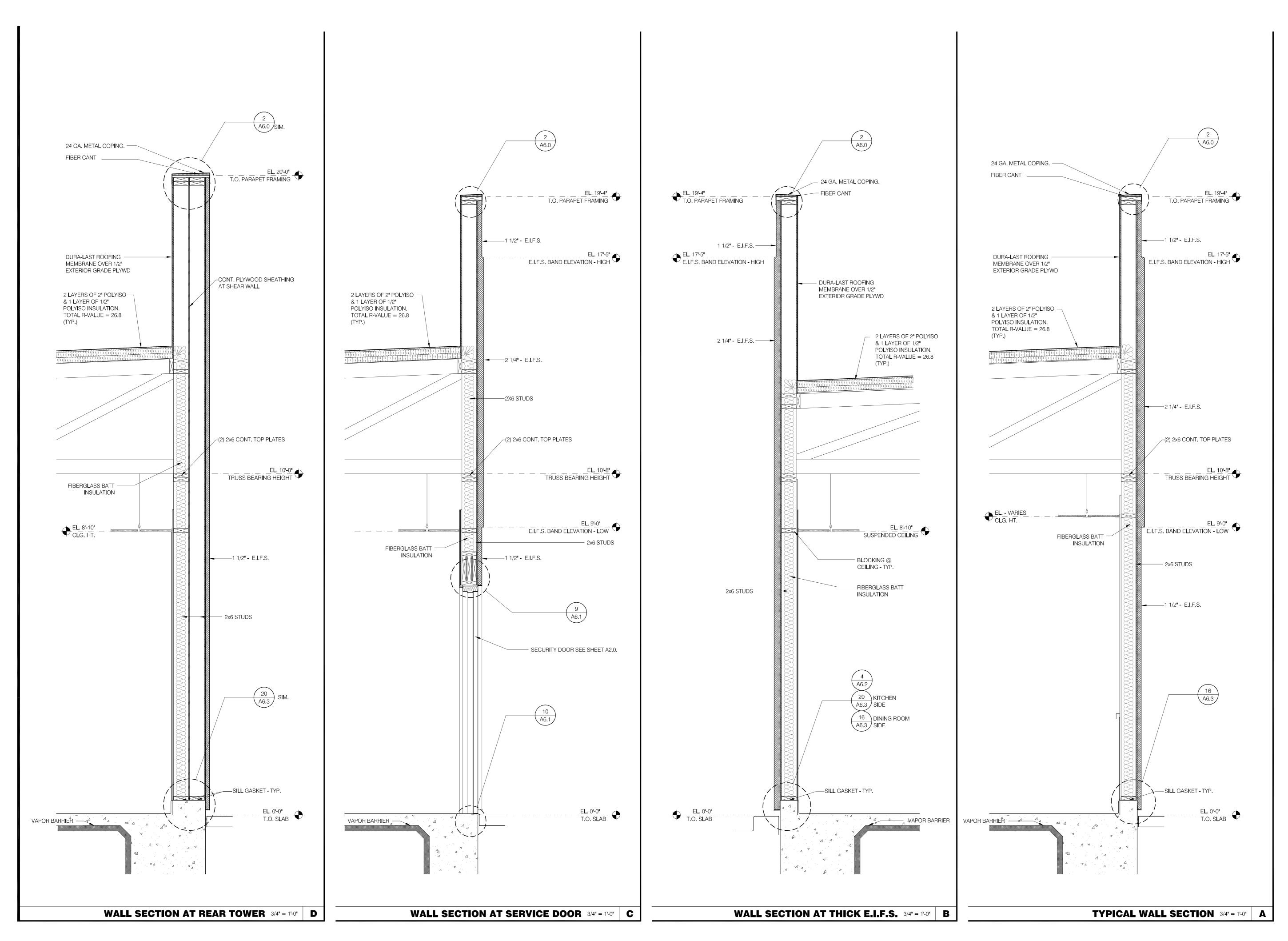
JULY 15, 2015 BUILDING TYPE: PLAN VERSION: SITE NUMBER: **ENTITY NUMBER:** 

> 1300 HOLTON LANE TAKOMA PARK, MD 20912



WALL **SECTIONS** 

PLOT DATE: 4-12-16





PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR
APPROVED BY ME, AND THAT I AM
A DULY LICENSED PROFESSIONAL
ARCHITECT UNDER THE LAWS OF
THE STATE OF MARYLAND,
LICENSE NUMBER 10830,
EXPIRATION DATE: 08/19/2016.



4	ADDRESS CHANGE	
$\frac{\triangle}{\triangle}$	ADDRESS CHANGE	
$\triangle$		
$\triangle$		
$\overline{\triangle}$		

15025.000

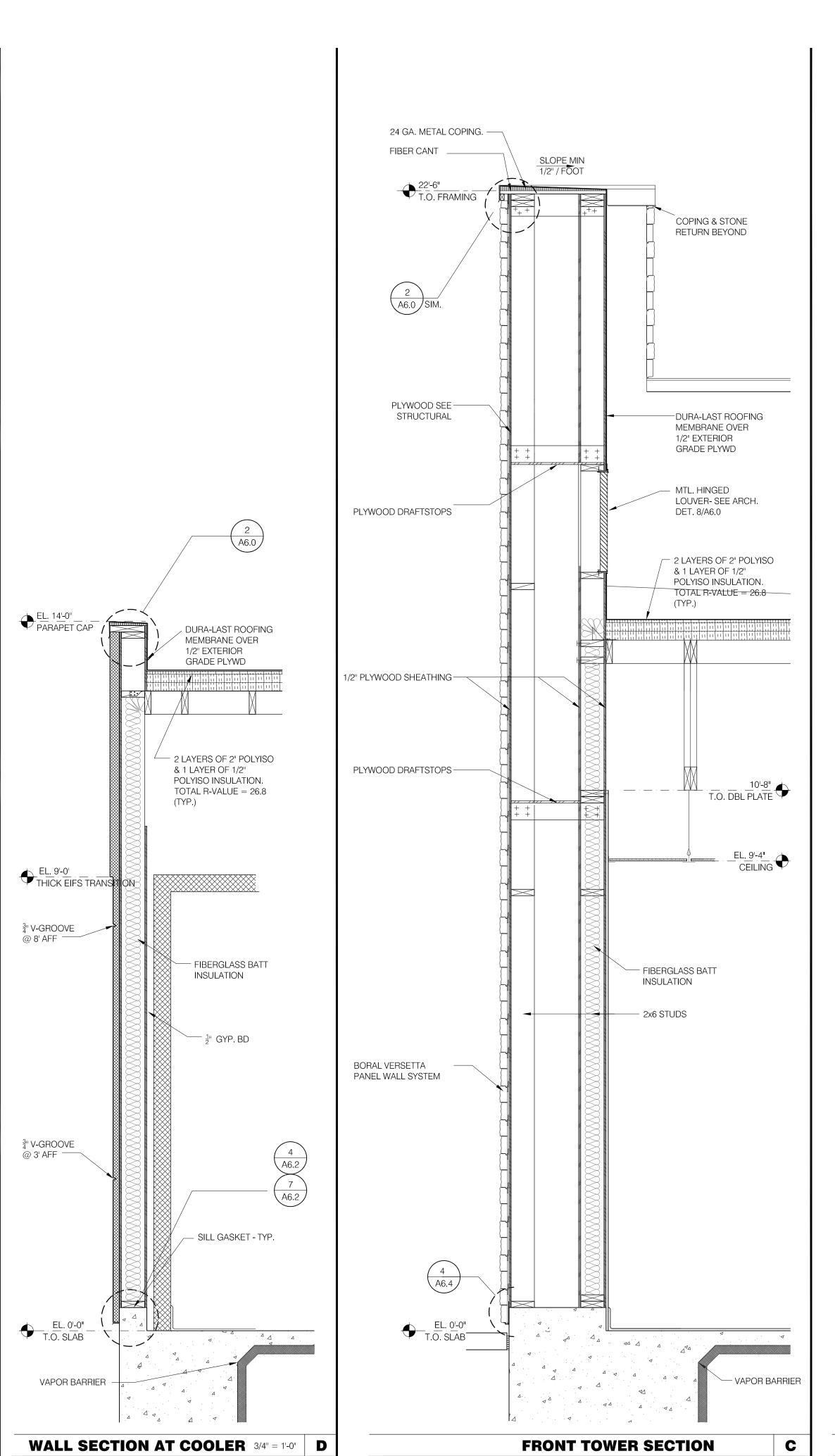
DATE: JULY 15, 2015
BUILDING TYPE: MED-40-MOD
PLAN VERSION: JUNE 2015
SITE NUMBER: -------

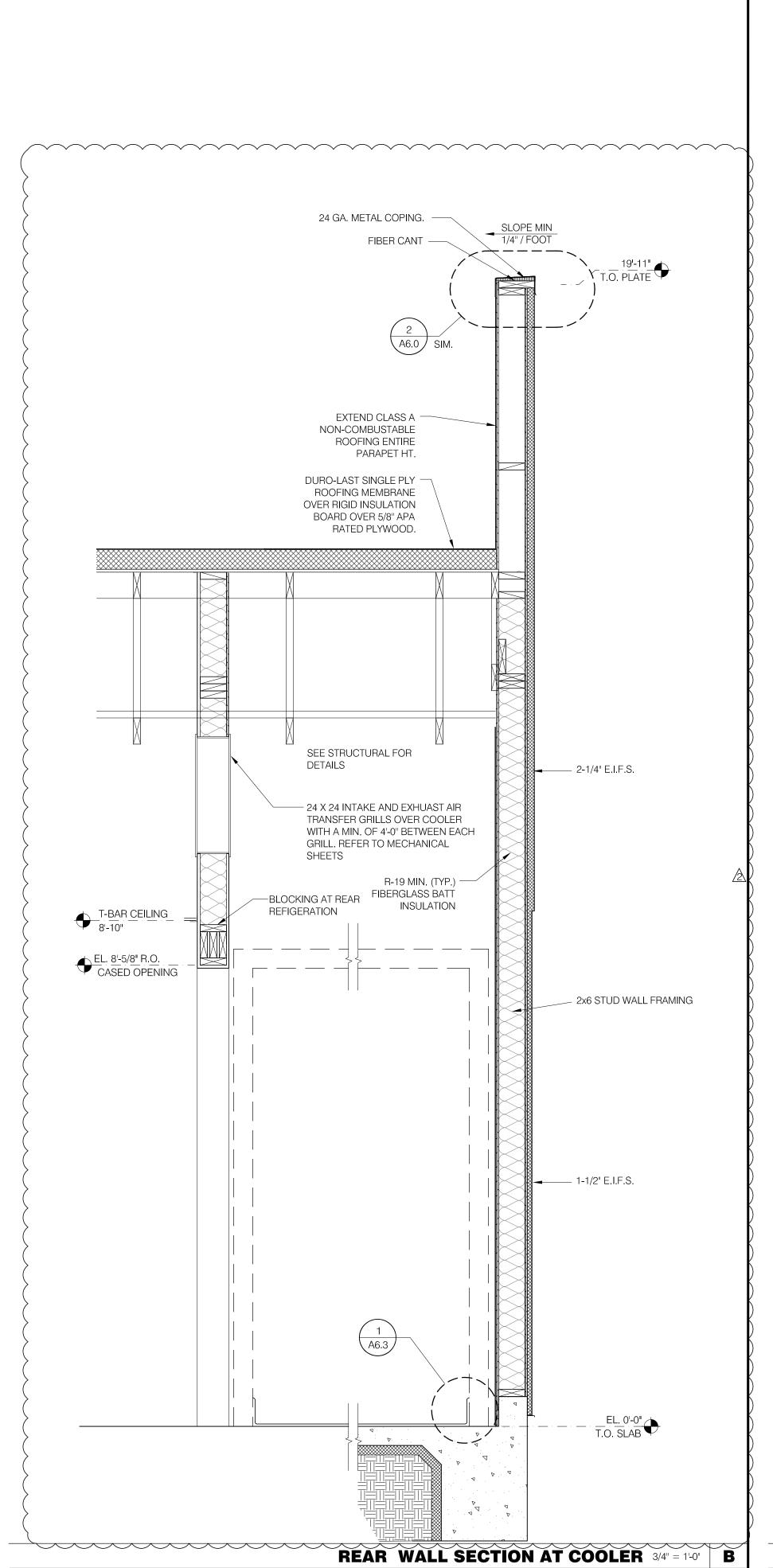
1300 HOLTON LANE TAKOMA PARK, MD 20912

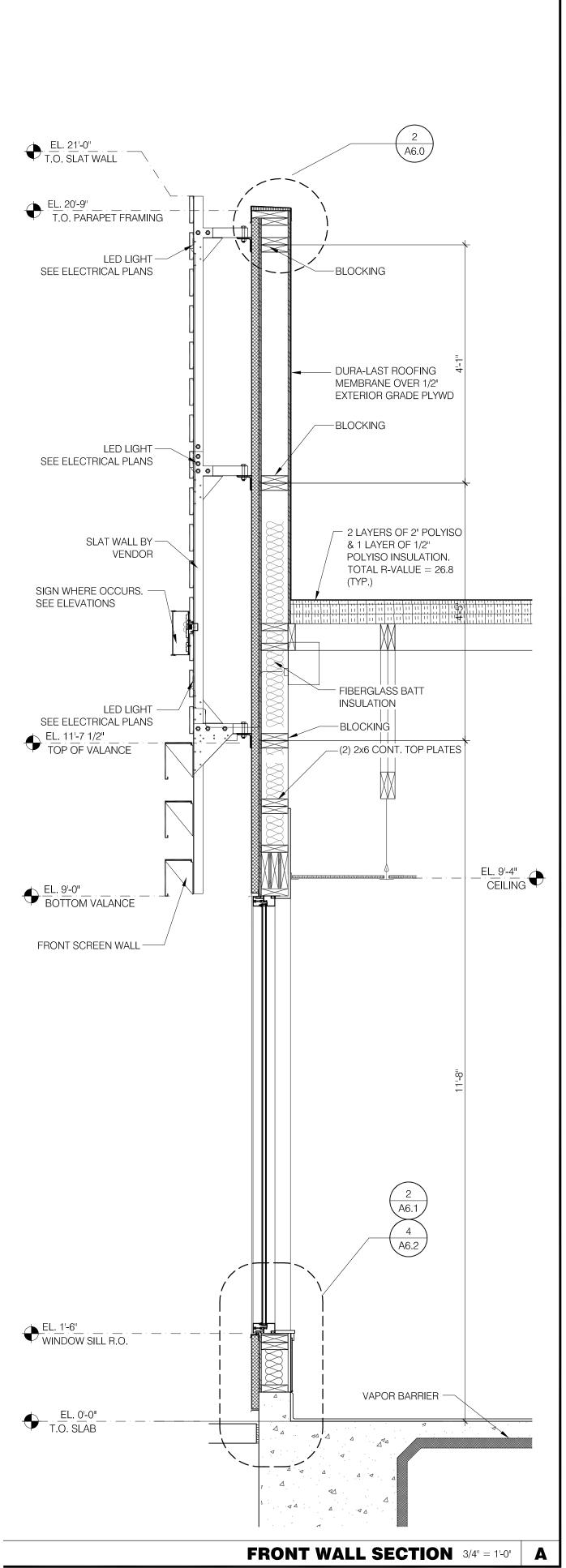


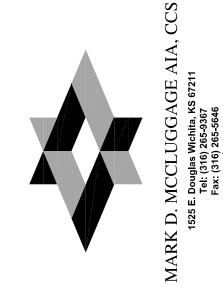
WALL SECTIONS

**A5.1**PLOT DATE: 1-0









PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR
APPROVED BY ME, AND THAT I AM
A DULY LICENSED PROFESSIONAL
ARCHITECT UNDER THE LAWS OF
THE STATE OF MARYLAND,
LICENSE NUMBER 10830,
EXPIRATION DATE: 08/19/2016.



15025.000

DATE: JULY 15, 2015
BUILDING TYPE: MED-40-MOD
PLAN VERSION: JUNE 2015
SITE NUMBER: ------ENTITY NUMBER: -------

1300 HOLTON LANE TAKOMA PARK, MD 20912

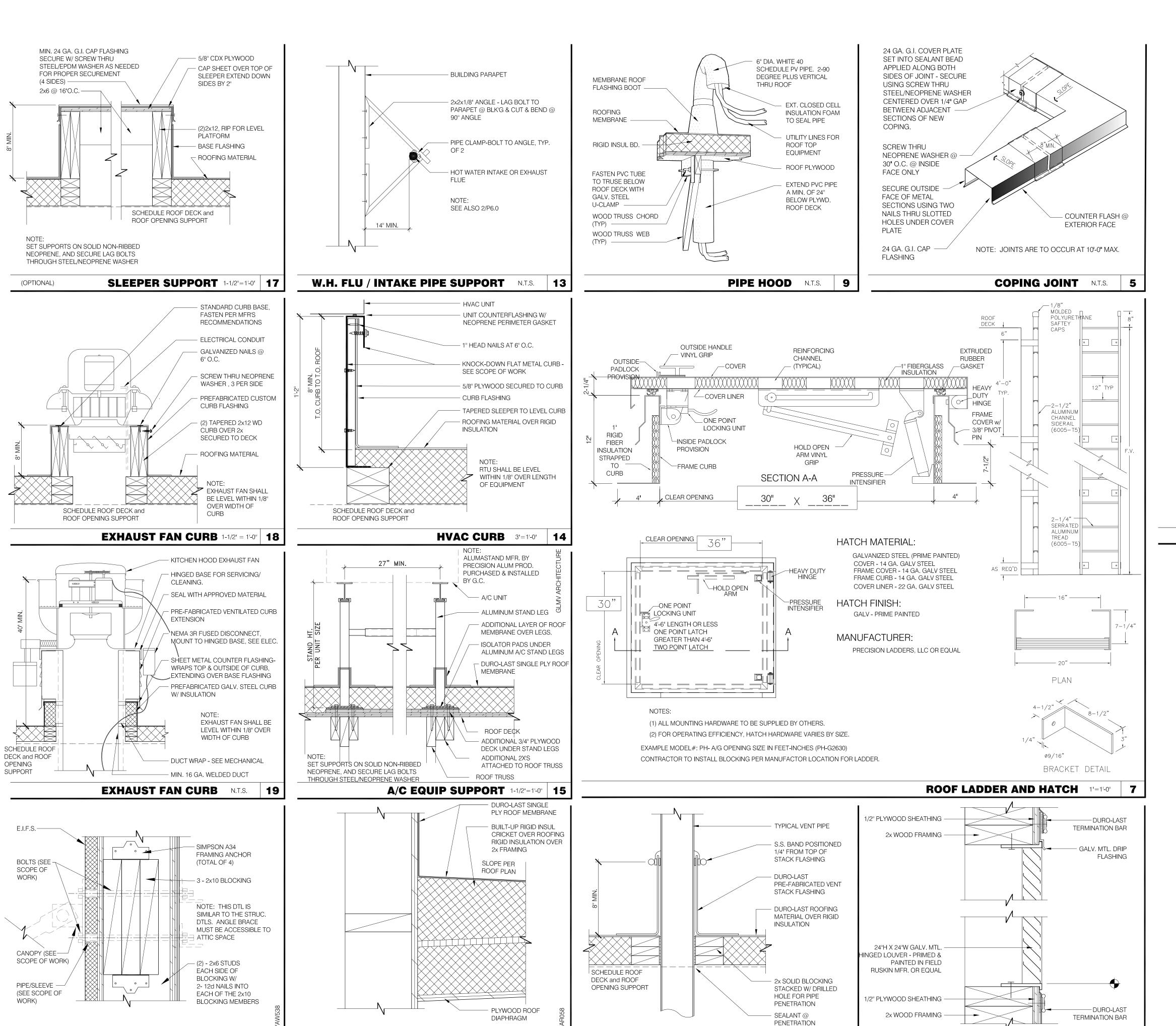


WALL

SECTIONS

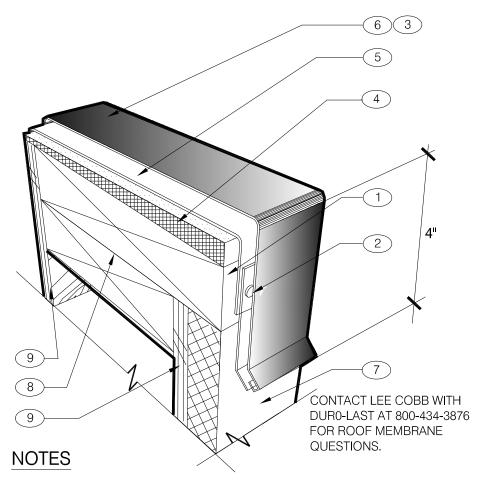
**A5.2**PLOT DATE: 4-12-16

SEALED PIPE FLASHING 1 1/2"=1'-0" 12



**CRICKET** 3"=1'-0" **16** 

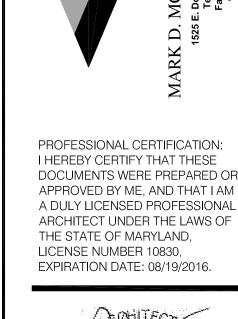
CANOPY BLOCKING DETAIL 3" = 1'-0" 20

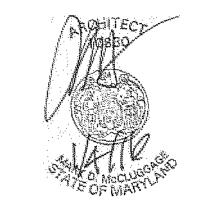


- 1 PROVIDE A WOOD NAILER TO MATCH THE THICKNESS OF THE WALL FINISH. APRROX. 1" THICK IS TYPICAL BUT MAY VARY. TOP OF WOOD NAILER SHALL BE FLUSH WITH TOP OF WALL FINISH. THE WOOD NAILER SHALL EXTEND AT LEAST 1/2" INCH BEYOND THE LOWER HORIZONTAL EDGE OF THE PARAPET COPING TO ALLOW FOR PROPER FASTENING.
- 2 FASTENERS USED TO ATTACH THE COPING TO WOOD NAILERS, MUST BE SPACED NO GREATER THAN 18 - INCHES ON-CENTER.
- 3 ALLOW FOR 1/8 INCH EXPANSION GAP BETWEEN 10-FOOT LENGTHS OF COPING. PROVIDE A COPING JOINT COVERS BETWEEN ENDS OF COPING PIECES AND AT CORNERS. JOINT COVERS SHOULD BE MADE FROM THE SAME MATERIAL AS THE COPING AND SHOULD LAP THE JOINTS A MINIMUM OF 6" ON EITHER SIDE. JOINT COVERS SHALL BE FASTENED THE SAME WAY AS THE COPING.
- 4 FIBER CANT STRIP SLOPED 1/4:12 TOWARDS ROOF...
- 5 ROOF MEMBRANE

LOUVER DETAIL N.T.S. 8

- 6 FACTORY PAINTED 24 GAUGE METAL COPING WITH 4" DROP FRONT BACK AND ENDS (WHERE SHOWN).
- 7 WALL FINISH: TYPICALLY 1" THK EIFS OR 7/8" THK STUCCO
- 8 DOUBLE 2X TOP PLATE
- 9 PLYWOOD SUBSTRATE. SEE SHEET A1.0 & S2.0 FOR ADDITIONAL





PARAPET CAP N.T.S. 2

Désign in accordacne with IBC 705.11.1 (as appropriate)

15025.000

ADDRESS CHANGE

DATE: JULY 15, 2015 MED-40-MOD BUILDING TYPE: PLAN VERSION: SITE NUMBER: ENTITY NUMBER:

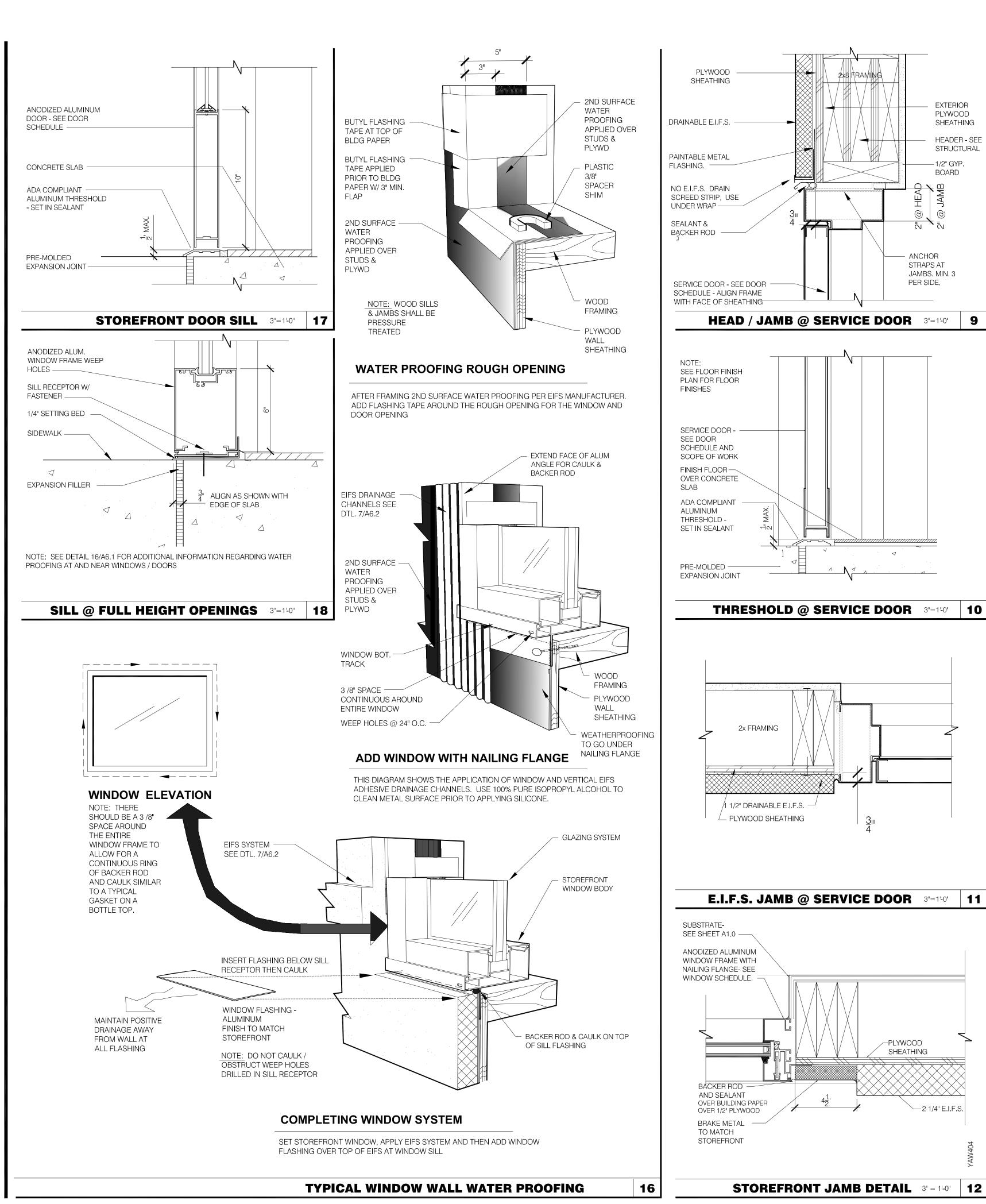
> 1300 HOLTON LANE TAKOMA PARK, MD 20912

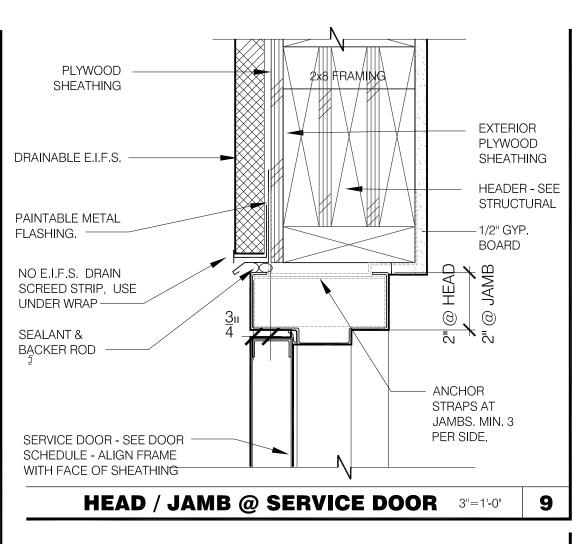


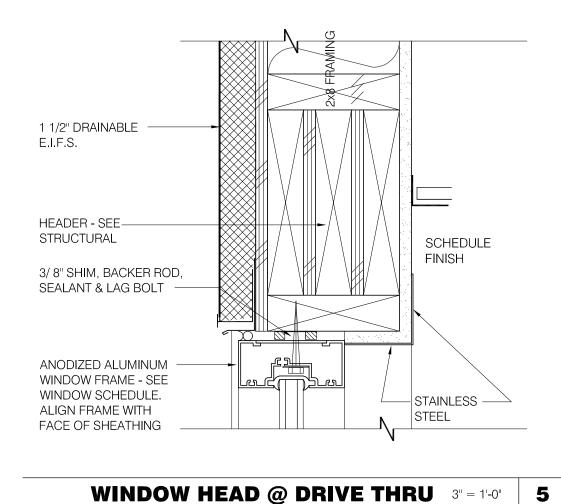
LIVE MAS MEDIUM40 - MODIFIED

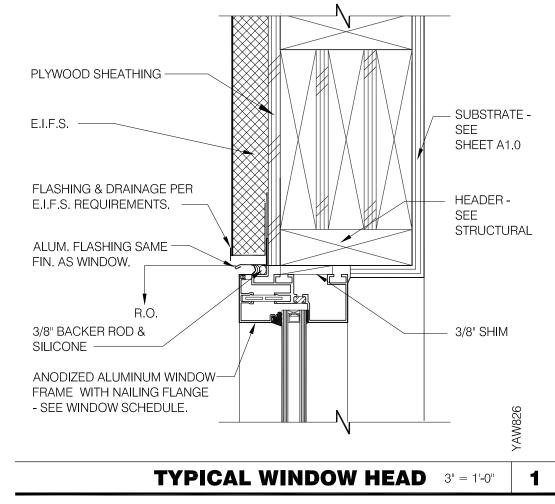
**CONSTRUCTION DETAILS ROOF** 

NOT USED N.T.S. 4

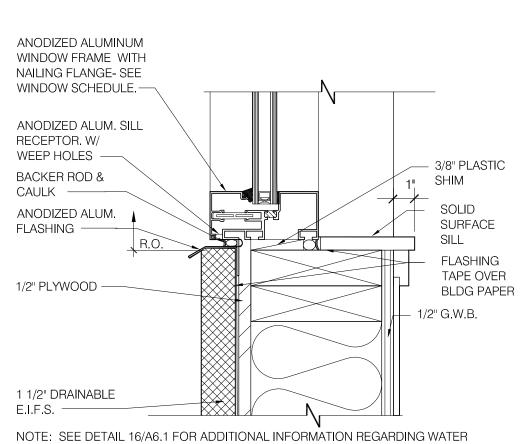


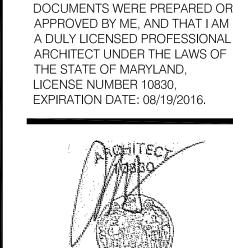






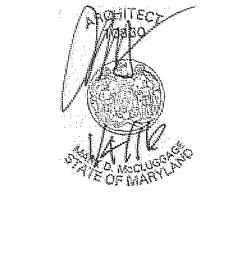


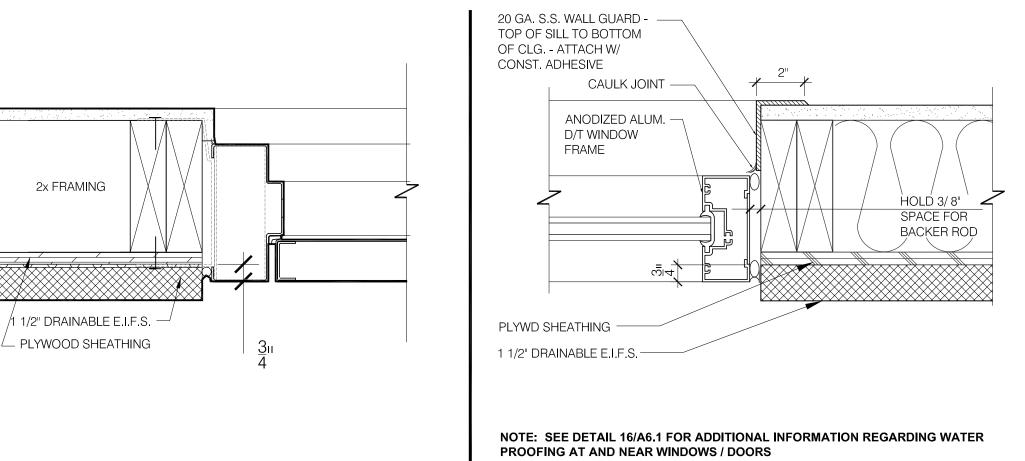




PROFESSIONAL CERTIFICATION:

I HEREBY CERTIFY THAT THESE





ANODIZED ALUM.

WINDOW FRAME - ALIGN

FRAME WITH FACE OF

OPAQUE PANEL FRAME -

MTL "Z" FLASHING W/

SEALANT AT FLASHING

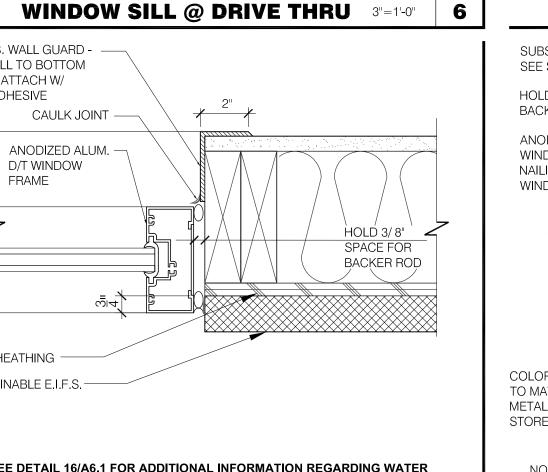
TO ALLOW WEEPAGE

1 1/2" DRAINABLE E.I.F.S.

PROOFING AT AND NEAR WINDOWS / DOORS

WITHIN FRAME —

END DAM - NO



WINDOW JAMB @ DRIVE THRU 3"=1'-0" 7

STOREFRONT JAMB AT TOWER 3" = 1'-0" 8

BACKER ROD

SHEATHING

– PLYWOOD

HOLD 3/ 8"

SPACE FOR

BACKER ROD

SUBSTRATE-

NOTE: SEE DETAIL 16/A6.1 FOR ADDITIONAL INFORMATION REGARDING WATER

PROOFING AT AND NEAR WINDOWS / DOORS

STONE VENEER (VERSETTA)

TO MATCH STOREFRONT

J CHANNEL

SEALANT

ANODIZED

ALUMINUM

WINDOW

FRAME

WITH

NAILING

FLANGE-

WINDOW

SCHEDULE

SEE

-PLYWOOD

STOREFRONT JAMB DETAIL 3" = 1'-0" 12

SHEATHING

BRAKE METAL

NOTE: SEE DETAIL 16/A6.1 FOR ADDITIONAL INFORMATION REGARDING WATER

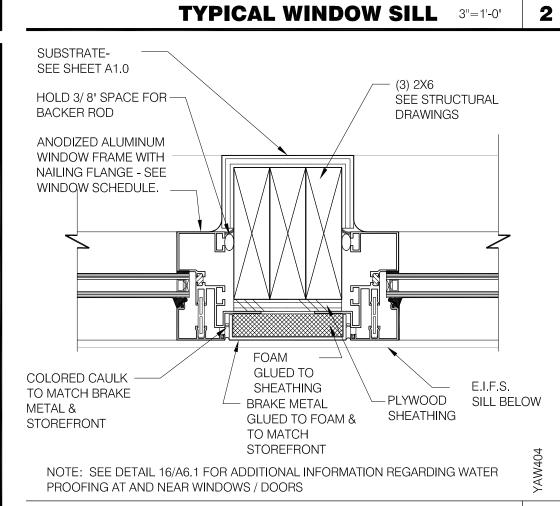
CAULK JOINT

20 GA. S.S. WALL GUARD -

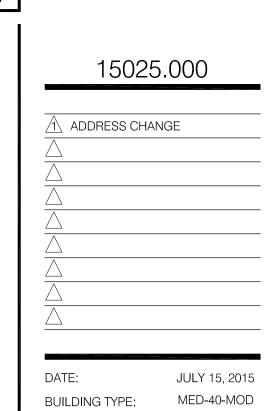
JAMB - ATTACH W/ CONST.

TOP OF SILL JAMB TO

**ADHESIVE** 



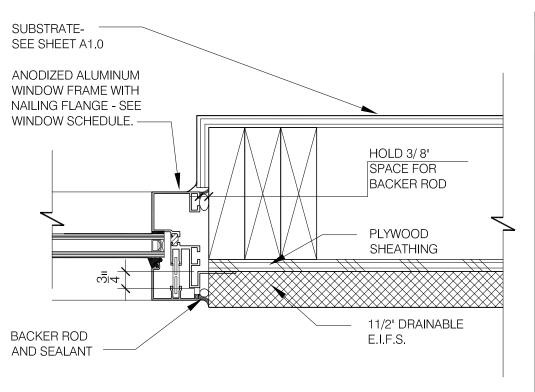
PROOFING AT AND NEAR WINDOWS / DOORS



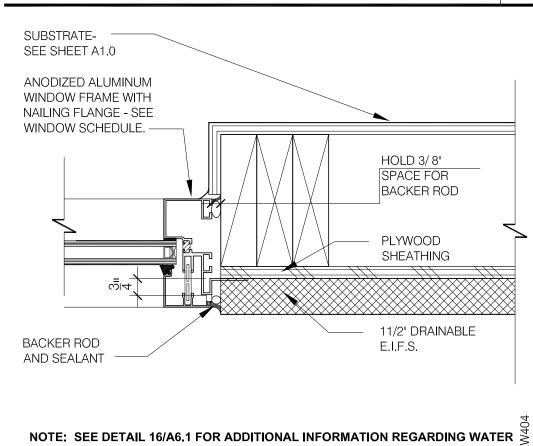
PLAN VERSION:

SITE NUMBER:

**ENTITY NUMBER:** 



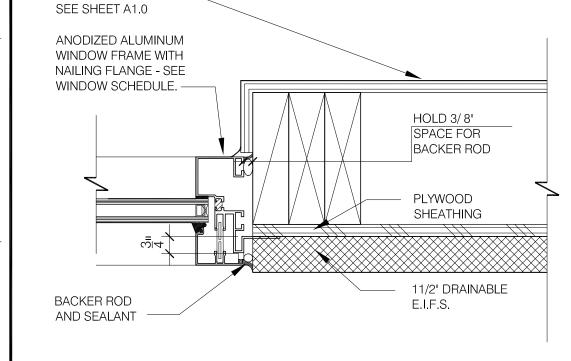
STOREFRONT JAMB DETAIL 3' = 1'-0" 3



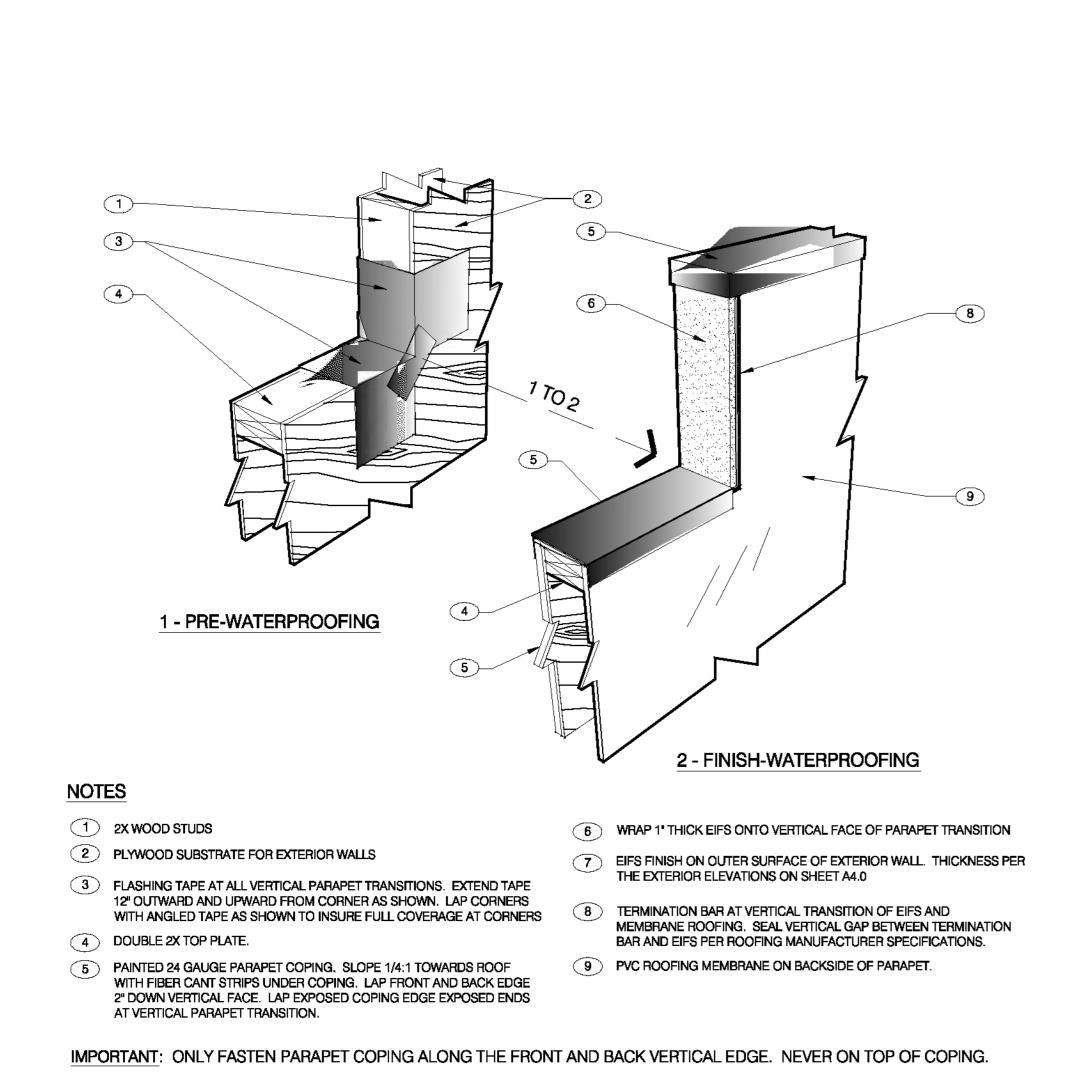


1300 HOLTON LANE

TAKOMA PARK, MD 20912



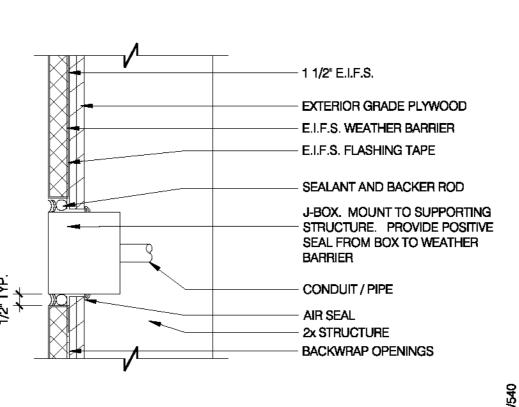
TYPICAL WINDOW JAMB 3"=1'-0" 4

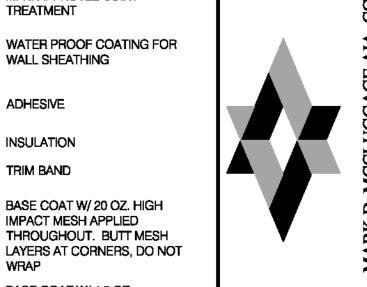


PLYWOOD SHEATHING WASHER BLOCKING AS REQUIRED PVC (SCH 40) BUSHING - FILL WITH - FASTENER AS REQUIRED INSTALL BUSHING AFTER E.I.F.S. APPLICATION HAS HARDENED. DRILL HOLE SLIGHTLY LARGER THAN BUSHING THROUGH INSULATION ONLY, STOP AT PLYWOOD. CAULK OPENING PRIOR TO INSERTING FASTENER TO SEAL PENETRATION.

CONNECTION THRU EIFS 3' = 1'-0" 9

NOT USED NTS 10





WOOD STUD WALL FRAMING

MFR. APPROVED JOINT

WATER PROOF COATING FOR

BASE COAT W/ 20 OZ. HIGH IMPACT MESH APPLIED THROUGHOUT. BUTT MESH

BASE COAT W/ 4.5 OZ.

CORNERS WITH MESH

BASE COAT AND MESH

STANDARD MESH TO BE APPLIED THROUGHOUT. WRAP

SUBSTRATE

TREATMENT

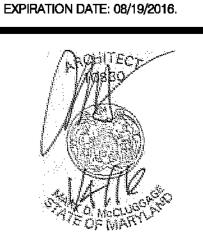
**ADHESIVE** 

INSULATION

TRIM BAND

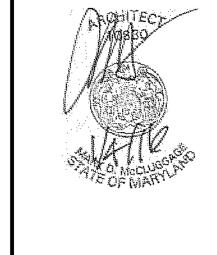
WALL SHEATHING

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 10830,



CO2 FILL / J-BOX IN EIFS 3" = 1'-0" 5 SUPPORTING STRUCTURE SUBSTRATE - WATERPROOF COATING FOR WALL SHEATHING BARRIER MEMBRANE SEALANT WITH BACKER ROD BACK-WRAP TERMINATION INSULATION BASE COAT AND MESH TYP. E.I.F.S. @ INSIDE CORNER N.T.S. 6

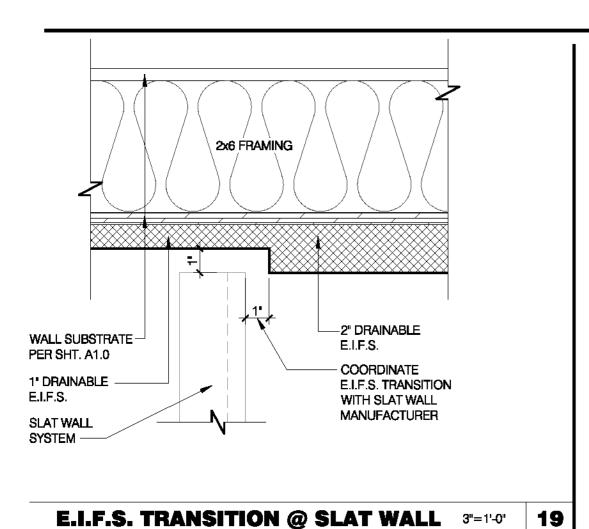
TYP. E.I.F.S. TRIM HIGH-IMPACT N.T.S. 2



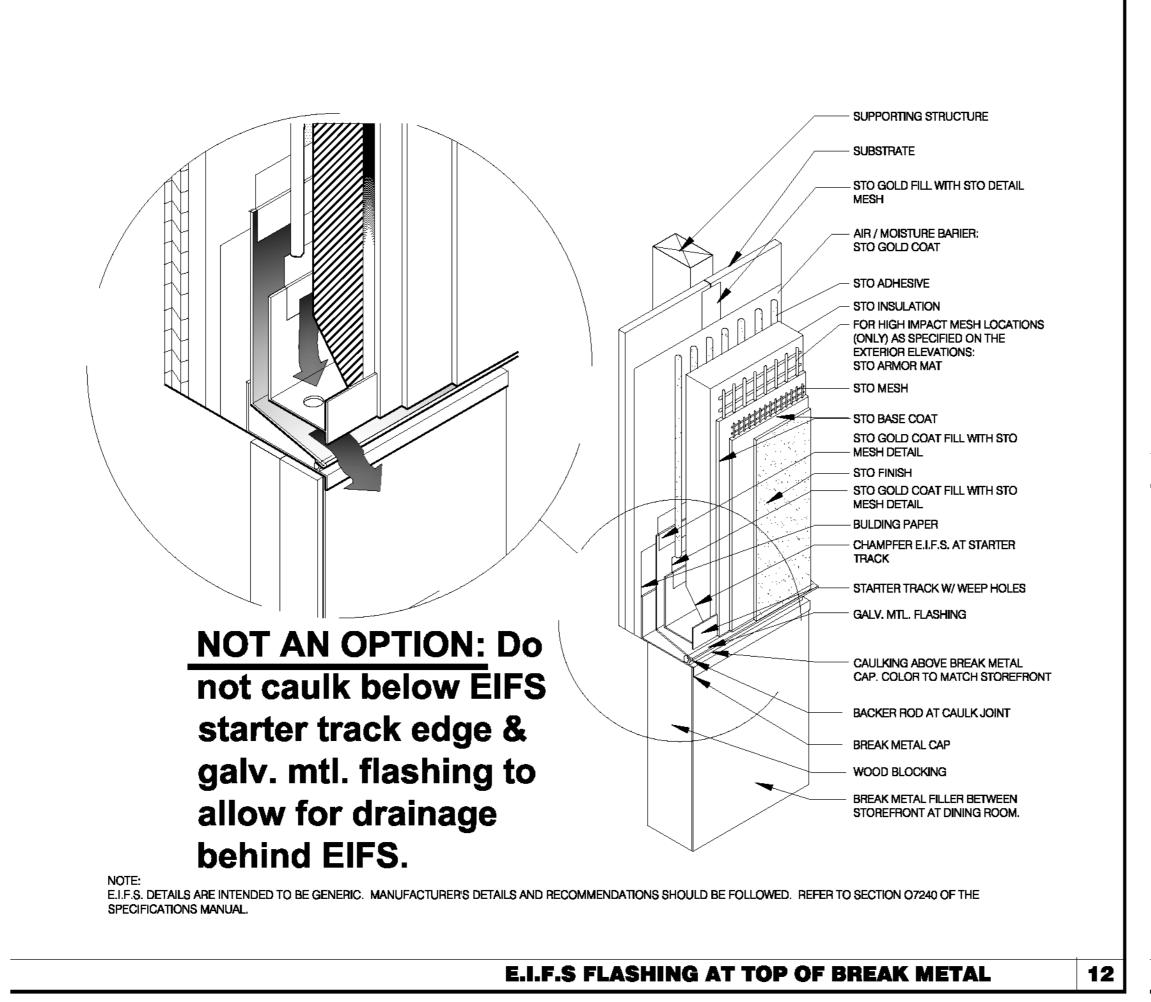
15025.000

JULY 15, 2015

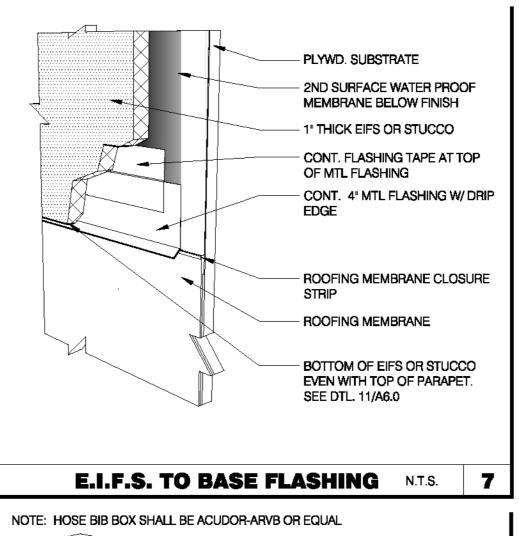
MED-40-MOD



NOT USED N.T.S. 20



PARAPET CAP & TRANSITION N.T.S. 14

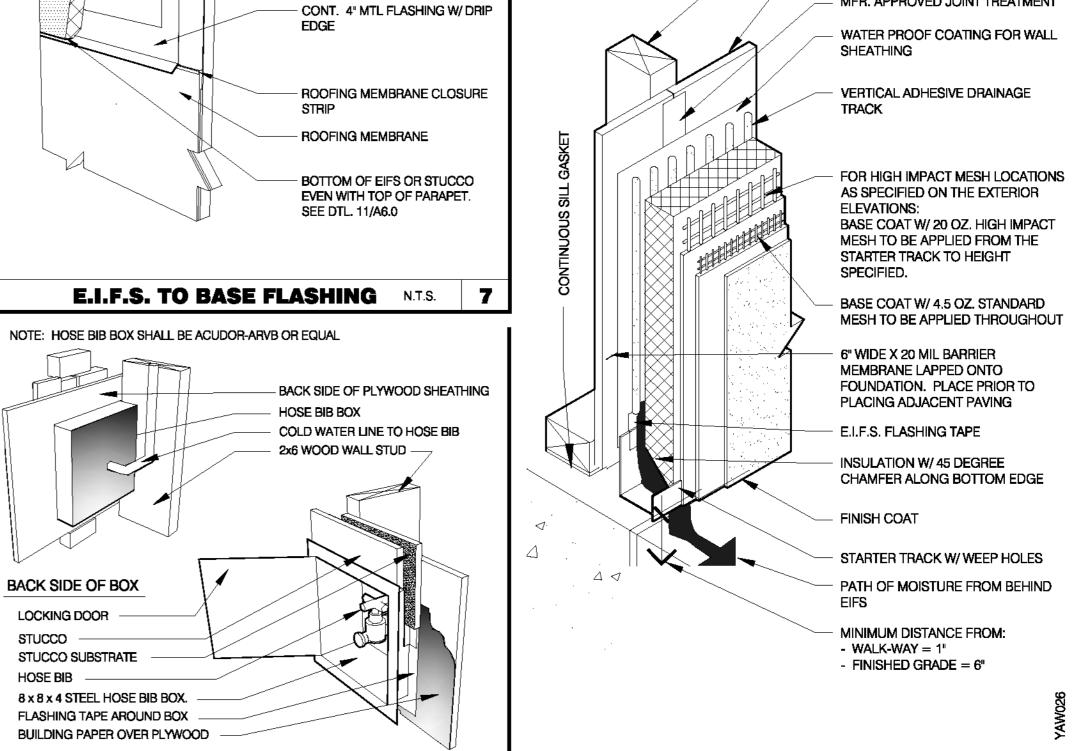


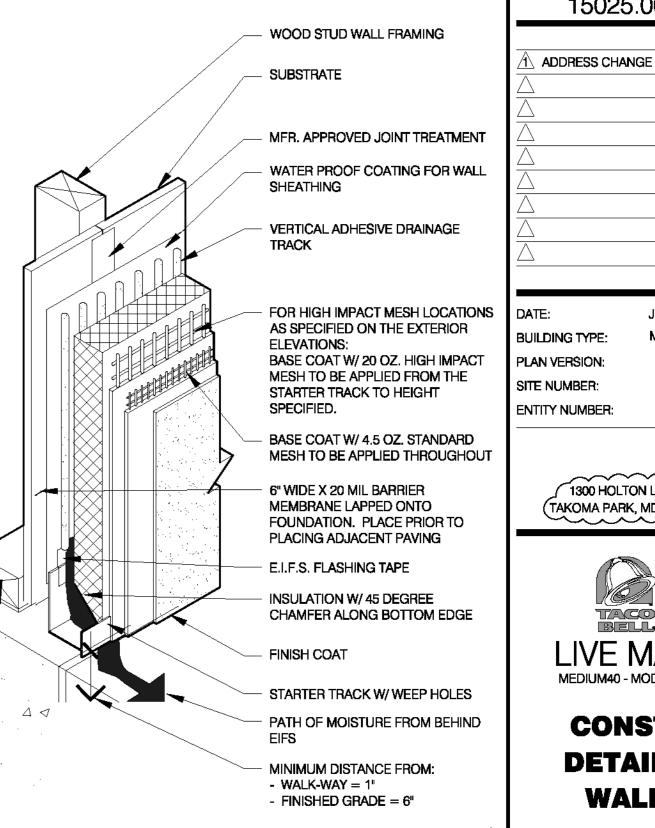
HOSE BIB BOX N.T.S. 8

LOCKING DOOR

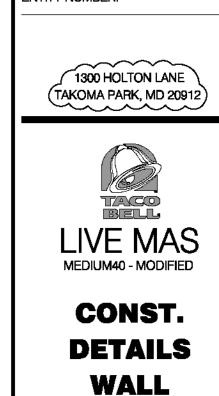
STUCCO

HOSE BIB

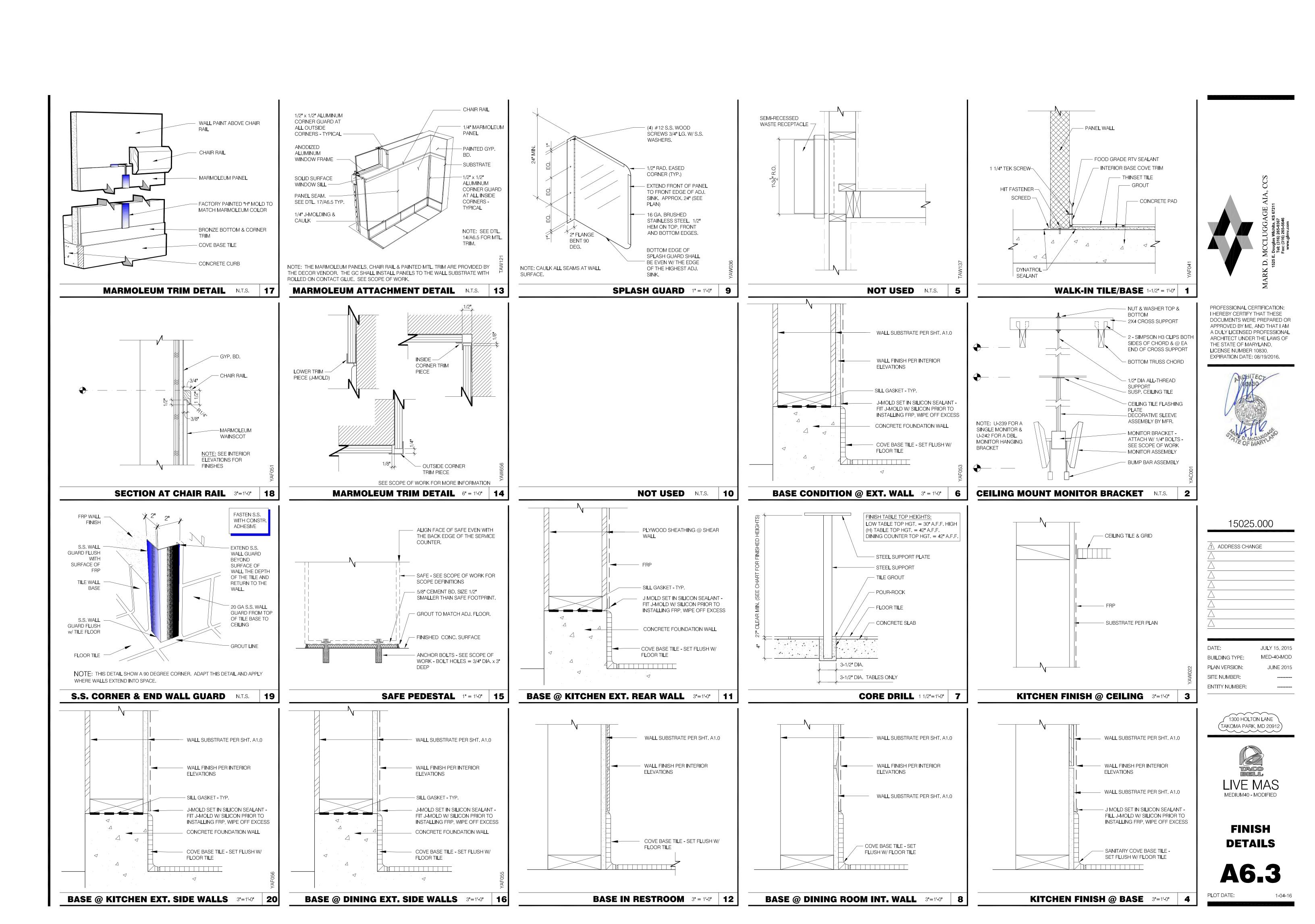


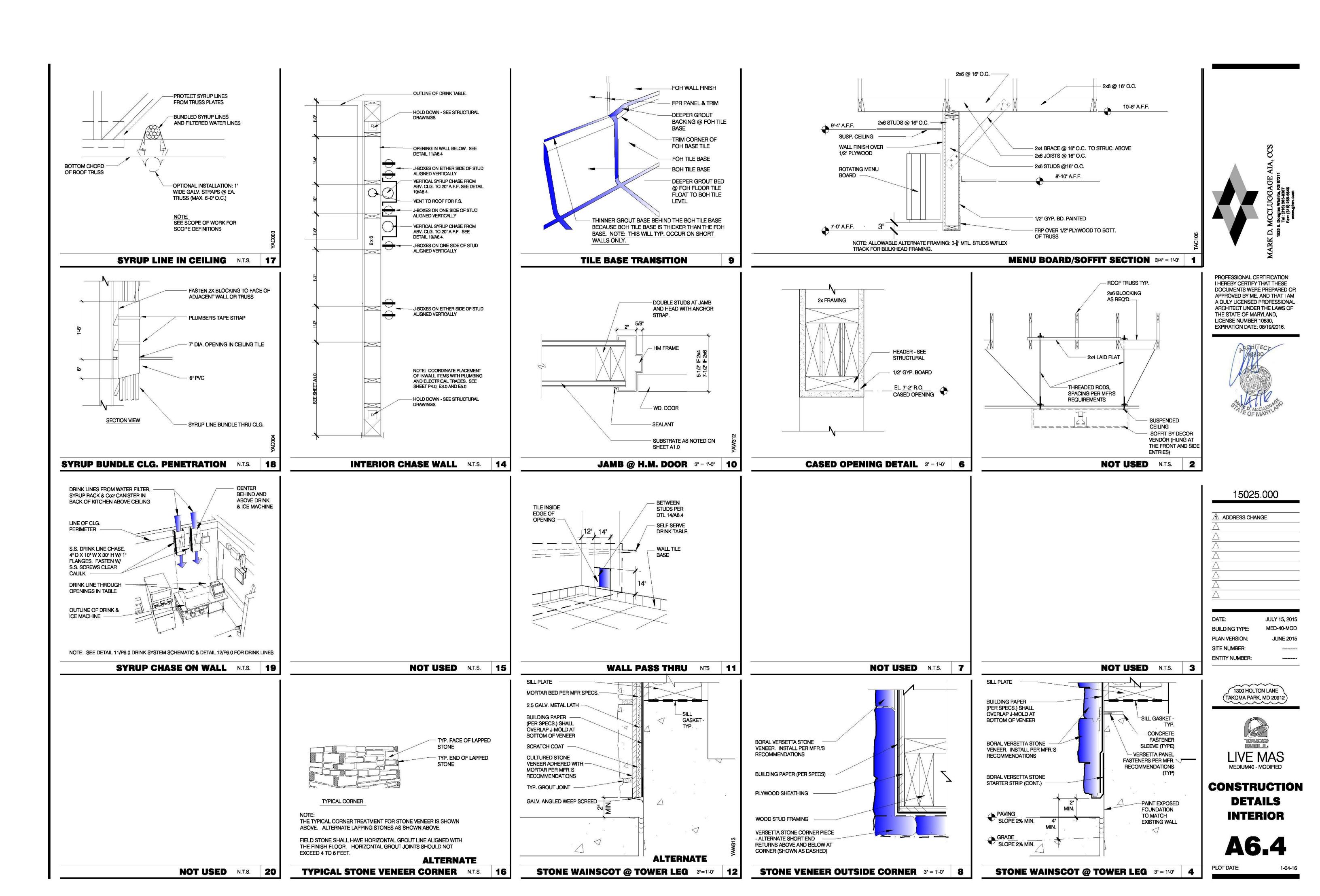


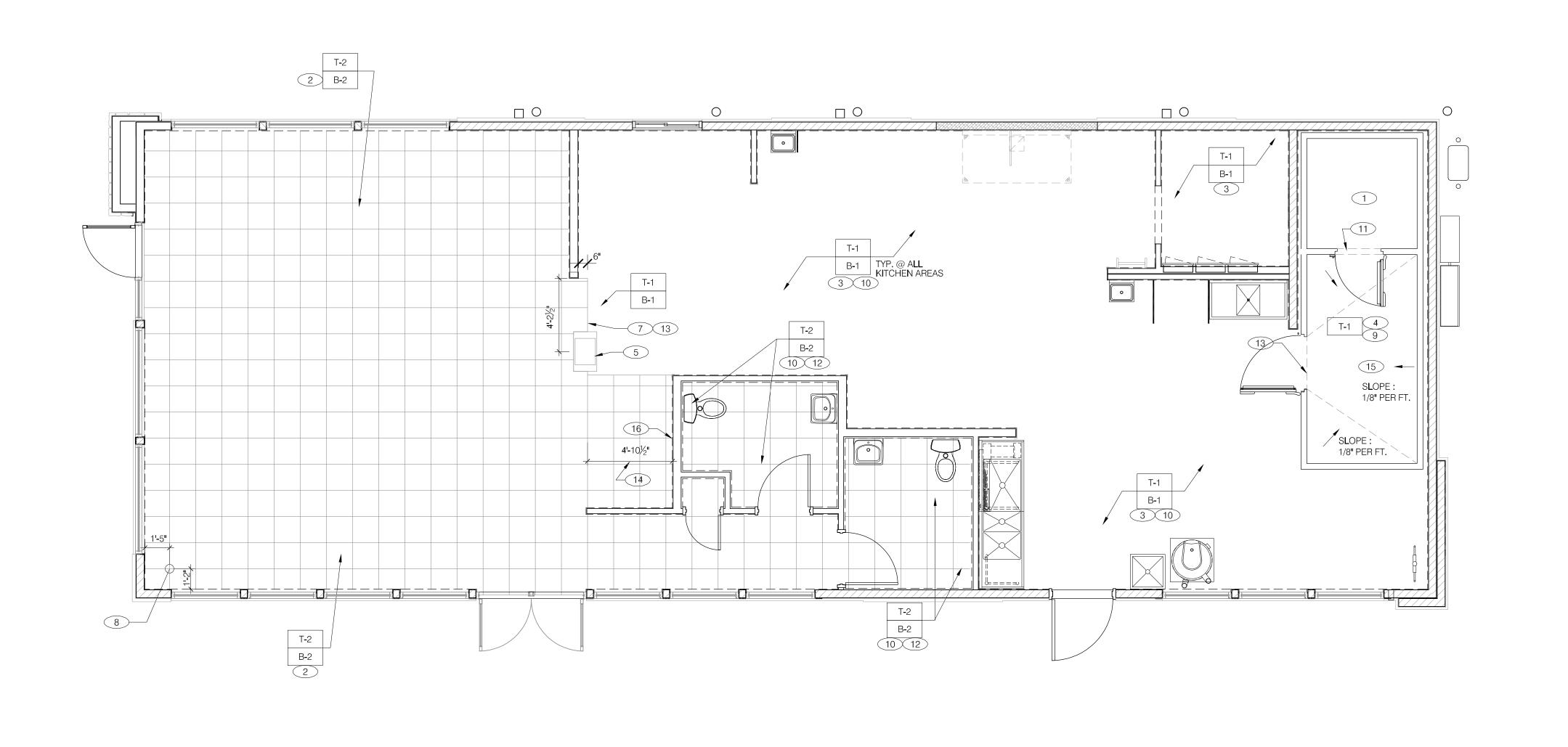
TYP. E.I.F.S. BASE TERMINATION N.T.S. 4



A6.2







**FINISH NOTES** 

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 10830, EXPIRATION DATE: 08/19/2016.



15025.000

ADDRESS CHANGE

DATE: BUILDING TYPE: PLAN VERSION: SITE NUMBER:

JU**L**Y 15, 2015 MED-40-MOD ENTITY NUMBER:

FLOOR FINISH PLAN 1/4"=1'-0" A

13 FLOAT FLOOR TILE FOR FLUSH TRANSITION.

14 DIMENSION STRING REPRESENTS LINE OF FLOOR TILE TRANSITION.

15 NO BASE TILE BEHIND (W-059) WALK-IN COOLER/FREEZER.



MEDIUM40 - MODIFIED

**FLOOR FINISH** 

PLAN

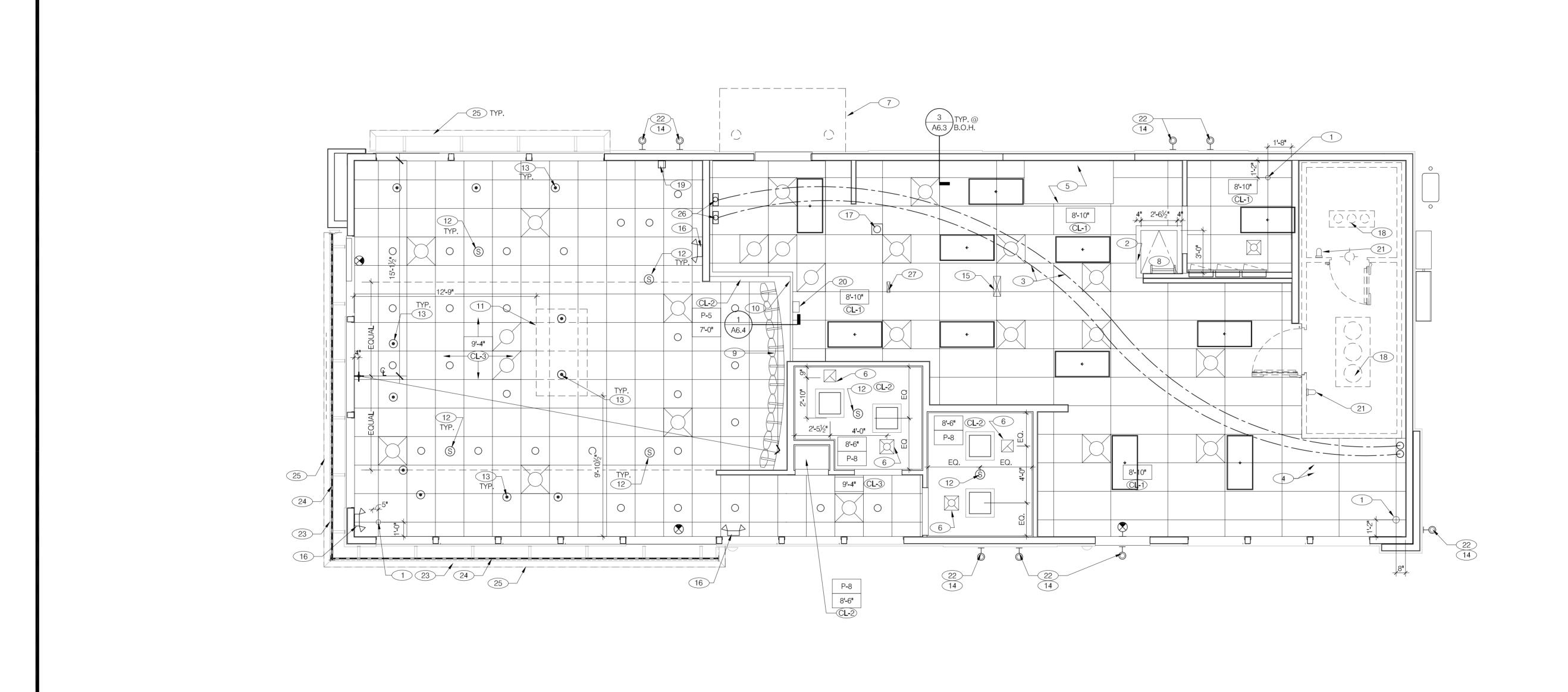
- A. DENOTES FINISH MATERIAL. REFER TO SHT A7.2 FOR FINISHES.
- B. TILE JOINTS (U.O.N.): 1. QUARRY FLOOR TILE: 1/4"

**NOT USED** 

- 2. PORCELAIN FLOOR TILE: 3/16"
- 3. GLAZED WALL TILE: 1/8" 4. BASE, TRIM AND ACCESSORIES : MATCH ADJOINING TILE UNITS
- C. TILE INSTALLATIONS REQUIRE MANUFACTURERS STANDARD MOLDED CORNERS
- AT BOTH INSIDE AND OUTSIDE CORNERS.
- D. ALL BASE TILE SHALL BE SANITARY COVE STYLE WITH 3/8" MIN RADIUS UNLESS NOTED
- E. SEE SCOPE OF WORK SHEETS FOR RESPONSIBILITIES.
- F. PROVIDE CLEAR SILICONE CAULK WHERE FRP STOPS AT TOP OF COVE BASE.
- G. TILE CHIPPING AROUND CORE DRILL HOLES FOR SEATING FIXTURE WILL NOT BE ACCEPTED.

- 1 FACTORY FLOOR FINISH (GALV STL) W/ INTEGRAL COVE BASE
- 2 6" COVE TILE BASE. SEE DETAIL 8/A6.3 FOR INSTALLATION.
- 3 6" SANITARY COVE TILE BASE. SEE DETAIL 4/A6.3.
- PROVIDE FLOOR TILE INSIDE WALK-IN COOLER (NO TILE OR BASE IN FREEZER). FLOAT FLOOR TILE IN COOLERS TO DRAIN TO KITCHEN. COORD. WITH COOLER WALL CONFIGURATION.
- 5 PLATFORM FOR SAFE SEE DETAIL 15/A6.3
- 6 NOT USED.
- 7 FLOOR TILE SHALL TRANSITION AT SERVICE COUNTER WALL.
- 8 START POINT FOR FLOOR TILE.
- 9 METAL BASE IN COOLER; SEE SCOPE OF WORK. SEE DETAIL 1/A6.3.
- 10 REFER TO STRUCT DRAWINGS FOR CONC FLOOR SLOPES AROUND FLOOR DRAINS.
- 11 FLOAT FLOOR TILE TO MEET FREEZER FLOOR FLUSH. COORD WITH FREEZER THRESHOLD INSTALLATION.
- SANITARY TILE BASE IN RESTROOMS. SEE DETAIL 12/A6.3 FOR INSTALLATION.

**KEY NOTES** D



A. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N.

E. SEE SPECS FOR ADDITIONAL INFORMATION.

ELECTRICAL:

A. SEE ELECT. DWGS. FOR FIXTURE SCHED.

A. REFER TO ROOM FINISH SCHEDULE (SHT A7.2) FOR CLG. FINISHES.

SUSPENDED CEILING:

A. ACOUSTICAL PANEL INSTALLATION: INSTALL ACOUSTICAL PANELS WITH EDGES IN CLOSE CONTACT WITH METAL SUPPORTS AND IN TRUE ALIGNMENT.

ALLOWABLE VARIATIONS FROM PLUMB OF GRID MEMBERS: AS CAUSED BY ECCENTRIC

D. INSTALL SYSTEM AFTER MAJOR ABOVE CLG. WORK IS COMPLETE. COORD LOCATIONS OF HANGERS WITH RELATED WORK.

GYPSUM BOARD CEILING:

A. SUBSTRATE SHALL BE 1/2" THICK GYP BD.

B. ACOUSTICAL SEALANT: APPLY TO GYP. BD. PANELS AS INDICATED IN SPECS.

GYP. BD. FINISHING AND DECORATING: REFER TO DWGS FOR TEXTURE AND FINISHES.

B. ALLOWABLE VARIATIONS FROM FLAT AND LEVEL SURFACE: 1/8" IN 10'-0" MAX.

2'-0" x 2'-0"

2'-0" x 4'-0"

**FIXTURE** 

**L**ED TROFFER

FLUORESCENT LIGHT

DOWNLIGHT @ WALK-IN (BY WA**L**K-IN MFR.)

SUSPENDED DOWN**LI**GHT AT OPEN TRUSS

PENDANT FIXTURE

EMERGENCY LIGHTS

(WA**LL** MOUNTED)

(CEILING MOUNTED)

PENDANT OR DIRECTIONAL

FIXTURE, TRACK MOUNTED

**CEILING SYMBOL LEGEND** 

DOWN**LI**GHT

EXIT **LI**GHT

NOT USED 1/4"=1'-0" F

EXTERIOR WALL FIXTURE

SPEAKER

12" EXHAUST FAN

HVAC RETURN GR**ILL**E

HVAC SUPPLY DIFFUSER

HVAC SUPPLY DIFFUSER

**HVAC PERFORATED** 

SUPPLY DIFFUSER

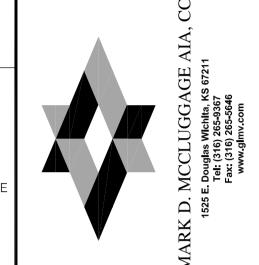
TEXTERIOR CANOPY

FLUORESCENT LIGHT

E

STROBE LIGHT

BACK DOOR SECURITY



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 10830, EXPIRATION DATE: 08/19/2016.



15025.000

ADDRESS CHANGE

DATE: BUILDING TYPE: PLAN VERSION: SITE NUMBER:

REFLECTED CEILING PLAN 1/4"=1'-0" A

6" x 6" 18 GA. STAINLESS STEEL CHASE ALONG WALL FOR ICE MACHINE REFRIGERANT LINES: 6" ABOVE CEILING TO TOP OF ICE MACHINE.

20 ALERT LIGHT BOX FOR 3-COMP POWER SOAK MOUNTED AT C.L. OF BOX 7-11" AFF

21 WALK-IN COOLER/FREEZER CEILING LIGHT WITH PROTECTIVE GLOBES BY VENDOR.

22 ALIGN BOTTOM OF LIGHT FIXTURE MOUNTING PLATE WITH EIFS REVEL / CHANGE IN EIFS THICKNESS.

23 DECORATIVE SLAT WALL BY VENDOR. SEE BUILDING ELEVATIONS.

26 STAINLESS STEEL SYRUP CHASE ON WALL. SEE DETAIL 19/A6.4.

(24) 3 ROWS OF LED LIGHTS BEHIND SLAT WALL. SEE BUILDING SECTIONS.

(27) WATER INLET CHASE FOR CHEESE MELTER SCREWED TO HEATED AIR SCREEN

17 SECURITY STROBE LIGHT, REFER TO ELECT. DWGS.

25 ALUMINUM VALANCE. SEE SCOPE OF WORK.

18 FAN COIL FOR WALK-IN.

ENTITY NUMBER:

1300 HOLTON LANE

JU**L**Y 15, 2015 MED-40-MOD





REFLECTED **CEILING** 

**PLAN** 

P**L**OT DATE:

В

16 EMERGENCY DUAL HEAD FIXTURE. SEE ELECT. DWGS. **KEY NOTES REFLECTED CEILING PLAN NOTES** D

(1) CEILING GRID STARTING POINT.

3 NON-INSULATED BUNDLED SYRUP LINES FOR DRINK SYSTEM. SEE SCOPE OF WORK. SEE DETAIL 17/A6.4.

6 FOR ROUGH FRAMING OPENINGS SEE AIR DEVICE SCHED. (TYP. AT RESTROOMS).

10 MENU BOARD BULKHEAD - BOTTOM OF SOFFIT AT 7'-0" A.F.F. / SEE DETAIL 1/A6.4.

13 PENDANT LTG - CENTER OVER TABLE TOP (TYP). COORDINATE WITH DECOR FIELD

PRE-FABRICATED & PRE-FINISHED SOFFIT BY 3RD PARTY VENDOR. PROVIDE CLG. TILES ABOVE SOFFIT. D-549 (OPTIONAL)

14 EXTERIOR WALL LIGHT FIXTURES, SEE ELEVATIONS AND ELECT. DWGS.

4 6" DIA PVC STUB THROUGH CEILING, SEE DETAIL 18/A6.4.

2 BU**L**KHEAD @ 8'-0" A.F.F.

7 DRIVE THRU CANOPY.

INSTALLATION.

8 ROOF HATCH, SEE 7/A6.0.

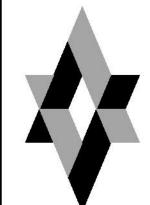
9 MENU BOARD. SEE SCOPE OF WORK.

12 SPEAKER, CENTER IN CEILING TILE PANEL.

15 UTILITY CHASE BY 3RD PARTY VENDOR TO CEILING.

5 HOOD.

LOOR	NG		WALL FINISHES		LAMINATES		CEILINGS	
M DI	ESCRIPTION	ALTERNATE / NOTE	DESCRIPTION	ALTERNATE / NOTES	DESCRIPTION	ALTERNATE/ NOTE	<b>DESCRIPTION</b>	ALTERNATE / NOTE
MFR.: TYPE: COLOR: SIZE: GROUT:	CREATIVE MATERIALS CORP CMC #308 DURAQUARRY NON-ABRASIVE RED 6"x6" CMC #H141 FLASH WALNUT EPOXY	MFR.: DAL TILE TYPE: QUARRY #0Q40 NON ABRASIVE COLOR: RED BLAZE SIZE: 6"x6" GROUT: CUSTOM #95 SABLE BROWN EPOXY	P-1 MFR.: SHERWIN WILLIAMS TYPE: SATIN / EGGSHELL LATEX COLOR: SW7069 IRON ORE (DK. GREY) PRIMER: #023 (WHITE) FRESH START 100% ACR' (Y) (PAINT FOR CL-1)	rlic	WC-4 MFR.: FORBO TYPE: MARMOLEUM COLOR: 3141 HIMALAYA	ANODIZED CORNER GUARDS AND J-MOLDS BY NATIONAL METAL SHAPES (DARK BRONZE). INTERMEDIATE VERTICAL TRIM BY DECOR VENDORS BANKED CAME COLOR AS WALL BANKE	CL-1 MFR.: CERTAINTEED TYPE: VINYLROCK #1140, WASHABLE NON-PERFORATED, 24*x48*X1/2* COLOR: WHITE GRID: WHITE SUSPENSION GRID W/ ALUMINUM FACE NOTE: FLAME SPREAD RATING 0-25, CLASS A	COLOR: FLAT WHITE #050, VINYL 3270 NOTE: 24"x48"
MFR.: TYPE: COLOR: SIZE:	CREATIVE MATERIALS CORP. PORCELAIN TILE ANTIQUE SUNSET 18"x18" OR 12"x12"	MFR.: DAL TILE TYPE: TERRA ANTICA CERAMIC TILE COLOR: ROSSO TA02 SIZE: 18"x18" OR 12"x12"	P-2 MFR.: SHERWIN WILLIAMS TYPE: SATIN / EGGSHELL LATEX COLOR: SW6657 "AMBER WAVE" PRIMER: #023 (WHITE) FRESH START 100% ACR"	P-2 MFR.: SHERWIN WILLIAMS TYPE: SEMI-GLOSS LATEX COLOR: SW6657 "AMBER WAVE" /LIC RESTROOMS	WC-5 MFR.: FORBO TYPE: MARMOLEUM COLOR: 173 PAVING	PAINTED SAME COLOR AS WALL PANEL.  ANODIZED CORNER GUARDS AND J-MOLDS BY NATIONAL METAL SHAPES (DARK BRONZE). INTERMEDIATE VERTICAL TRIM BY DECOR VENDORS	NOTE: FLAME SPREAD RATING 0-25, CLASS A  CL-2 MFR.: TYPE: GYPSUM BOARD COLOR:	NOTE: SEE SPECIFICATIONS
GROUT:	CMC #H141 FLASH WALNUT	GROUT: CUSTOM #95 SABLE BROWN	(ORANGE)  P-3 MFR.: SHERWIN WILLIAMS TYPE: SATIN / EGGSHELL LATEX COLOR: SW6510 'LOYAL BLUE" PRIMER: #023 (WHITE) FRESH START 100% ACR'	NOTE: HIGH-GLOSS DOOR FRAMES	FRP-1 MFR.: MARLITE TYPE: FIBERGLASS REINFORCED PANEL COLOR: FP-100 WHITE (PEBBLED FINISH)	PAINTED SAME COLOR AS WALL PANEL.	CL-3 MFR.: USG SUSPENDED CEILING TILE TYPE: 414, FROST, 24x24x1/2" COLOR: FLAT BLACK #205 GRID: ARMSTRONG PRELUDE XL 15/16" EXPOSED TEE	* GRID, VENTS, SPEAKERS TO BE FACTORY PAINTED WITH BLACK
			(BLUE)  P-5 MFR.: SHERWIN WILLIAMS TYPE: SATIN / EGGSHELL LATEX COLOR: SW 6839 "KIMONO VIOLET" PRIMER: #023 (WHITE) FRESH START 100% ACR'		NOTE: NO COLOR VARIATIONS ACCEPTED		COLOR: PRE-PAINTED BLACK	
			P-6 MFR.: SHERWIN WILLIAMS TYPE: SATIN / EGGSHELL LATEX COLOR: SW 6167 "GARDEN GATE" PRIMER: #023 (WHITE) FRESH START 100% ACR					
			P-8 MFR.: SHERWIN WILLIAMS TYPE: SATIN / EGGSHELL ENAMEL COLOR: SW6116 'TATAMI TAN"					
			PRIMER: #023 (WHITE) FRESH START 100% ACR  P-9 MFR.: SHERWIN WILLIAMS TYPE: SATIN / EGGSHELL ENAMEL COLOR: SW6108 "LATTE"  PRIMER: #000 AMULTE FRESH START 100% ACR					
			PRIMER: #023 (WHITE) FRESH START 100% ACR  S-1 MFR.: WILSONART TYPE: SOLID SURFACE COLOR: AVALANCHE MELANGE #9175ML					
			TM-1 MFR.: OLYMPIC PREMIUM WOOD STAIN TYPE: CHAIR RAIL COLOR: 'AMERICAN CHERRY'	TM-1 MFR.: DALYS WOOD STAIN TYPE: CHAIR RAIL COLOR: DALY'S #45 1 x 2 SOLID MAPLE				
			TM-2 MFR.: SCHLUTER TYPE: RONDEC RO80AE 3/8" TILE EDGE TRIM COLOR: SATIN ANNODIZED ALUMINUM	I X E QQLID IYINI LL				
			WT-1 MFR.: NOT USED TYPE: COLOR:					
			WT-2 MFR.: CREATIVE MATERIALS CORP	MFR.: DALTILE				
/ALL B	ESCRIPTION	ALTERNATE / NOTE	TYPE: PORCELAIN TILE COLOR: LINES GOLD	MFR.: DALTILE TYPE: 12"X24" FABRIQUE LINE COLOR: SOLEIL LINEN P687 UNPOLISHED SIZE: 12"X12" AT RESTROOMS GROUT: MAPEI #06 "HARVEST"	MILLWORK  SYM DESCRIPTION	ALTERNATE / NOTE	DOORS  SYM DESCRIPTION	ALTERNATE/ NOTE
MFR.: TYPE: COLOR: SIZE: GROUT:	CREATIVE MATERIALS CORP DURAQUARRY #Q3565 RED TO MATCH T-1 5" x 6" CMC #H141 FLASH WALNUT	MFR.: AMERICAN OLEAN TYPE: QUARRY #Q01 COLOR: RED TO MATCH T-1 SIZE: 5" x 6" GROUT: #95 SABLE BROWN - NON EPOXY	NOTE: TILE TO BE INSTALLED WITH THE GRAIN HORIZONTA  WT-4 MFR.: CREATIVE MATERIALS CORP TYPE: PORCELAIN TILE	NOTE: TILE TO BE INSTALLED WITH THE GRAIN HORIZONT  MFR.: DALTILE TYPE: 12"X24" FABRIQUE LINE	PL-1 MFR.: NEVAMAR TYPE: WM-8-350T COLOR: CARMEL SAGAWOOD		DL-1 MFR.: NEVAMAR TYPE: WM-8-350T COLOR: CARMEL SAGAWOOD	* DOOR EDGES SHALL BE FINISHED SIMILAR TO FACES
MFR.: TYPE: COLOR: SIZE: GROUT:	CREATIVE MATERIALS CORP PORCELAIN TILE ANTIQUE SUNSET 6"x12" COVED BASE CMC #H141 FLASH WALNUT	MFR.: DAL TILE TYPE: TERRA ANTICA CERAMIC TILE COLOR: ROSSO TA-02 SIZE: 6"x12" COVED BASE GROUT: CUSTOM #95 SABLE BROWN	COLOR: LINES GOLD SIZE: 12"X24" AT DINING RM. GROUT: CMC #H163 LINEN  NOTE: TILE TO BE INSTALLED WITH THE GRAIN HORIZONTA	COLOR: SOLEIL LINEN P687 UNPOLISHED SIZE: 12"X24" AT DINING RM. GROUT: MAPEI #06 "HARVEST"  NOTE:  TILE TO BE INSTALLED WITH THE GRAIN HORIZONT	TAL		DL-2 MFR.: BOBRICK TYPE: SIERRA SERIES 1090 COLOR: SC03 'TERRA COTTA' SOLID COLOR REINFORCED COMPOSITE	
			WT-5 MFR.: CREATIVE MATERIALS CORP TYPE: PORCELAIN TILE COLOR: LINES GOLD SIZE: 3"X12" BULLNOSE GROUT: CMC #H163 LINEN	MFR.: DALTILE TYPE: FABRIQUE LINE COLOR: SOLEIL LINEN P687 UNPOLISHED SIZE: 3'X12" SHAPE NUMBER P-43C9 GROUT: MAPEI #06 "HARVEST"			DL-3 MFR.: NEVAMAR TYPE: S7027T COLOR: SMOKY WHITE * DOOR EDGES SHALL BE FINISHED SIMILAR TO FACES	ALTERNATE : FORMICA 933-58 MISSION WHITE
			NOTE: TILE TO BE INSTALLED WITH THE GRAIN HORIZONTA	NOTE:  TILE TO BE INSTALLED WITH THE GRAIN HORIZONT	TAL			
		I.		I				
V STEEL WAL	ITCHEN SIDE OF SERVING COUNTER WALL. AND CEILING FINISHES BY WIC/WIF BOX MFI OR ELEVATIONS FOR LOCATIONS OF TILE AND		MARLITE DAN EGBERS Russel Day 330-343-6621 800-837-9559 WWW.MARLITE.COM TILE: WILSONART INTERNATIONAL, INC. DAN CHICKVARA CREATIVE MAT	(Mortar Pigment) West: 800-356-4848 East: 800-638-4444				
TS A4.0 & A4 T A7.0 - FLO T A7.1 - REFI	FIONS REFER TO: 1 - EXTERIOR ELEVATIONS OR FINISH PLAN ECTED CEILING PLAN 8.3 - INTERIOR ELEVATIONS		254-207-2130 PH: 800.207.290 CHICKV@WILSONART.COM FAX: 518.452.91	67 EXT BELL (2355) 53  @CREATIVEMATERIALSCORP.COM  .E				
TER, BENJAM CH SPECIFIED	MANUFACTURERS: N MOORE, SHERWIN WILLIAMS, ICI, & PITTSBU SCHEDULE COLORS EXACTLY. SUM BOARD SHALL HAVE A LIGHT ORANGE P		216-341-5553 EXT. 115 714.501.7693	DSSVILLEINC.COM	-			
	LL BE MIXED WITH WHITE SAND TO INSURE A ( HE ORIGINAL DESIGN INTENT	COLOR	614-583-8504	EGROUP.COM RDAS@US.ROCA.COM				
			502-423-5456		1			1
			FRED DAVIS@D	ALTILE.COM				



MARK D. MCCLUGGAGE AL
1525 E. Dougles Wichita, KS 67211
Tel: (316) 265-6367
Fax: (316) 265-5646
wasse glass com

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR
APPROVED BY ME, AND THAT I AM
A DULY LICENSED PROFESSIONAL
ARCHITECT UNDER THE LAWS OF
THE STATE OF MARYLAND,
LICENSE NUMBER 10830,
EXPIRATION DATE: 08/19/2016.

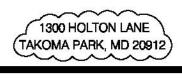


15025.000

JULY 15, 2015 MED-40-MOD

BUILDING TYPE:
PLAN VERSION:
SITE NUMBER:
ENTITY NUMBER:

E NUMBER: FITY NUMBER:



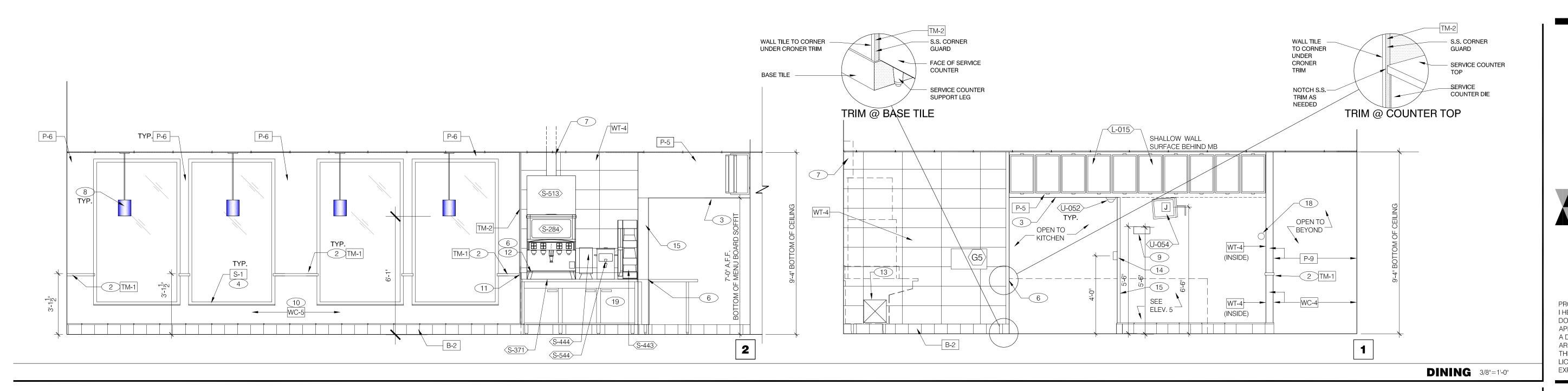


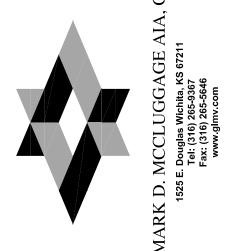
FINISH SCHEDULE

**A7 2** 

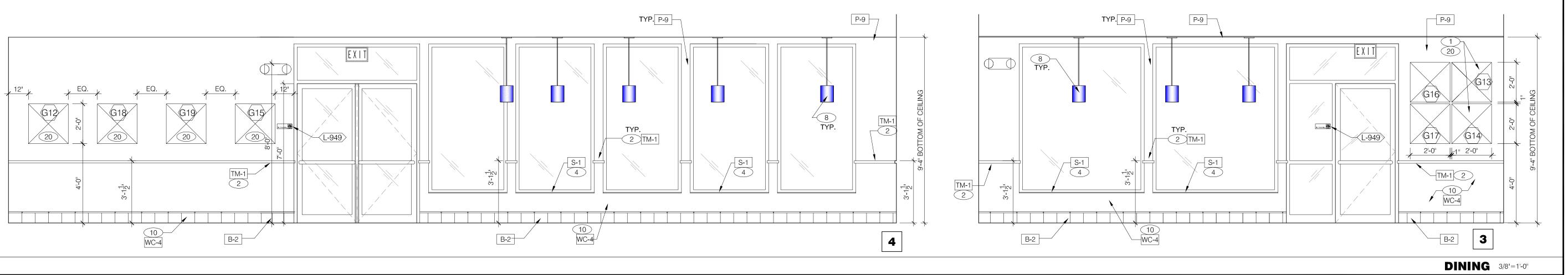
A1.4

PLOT DATE:

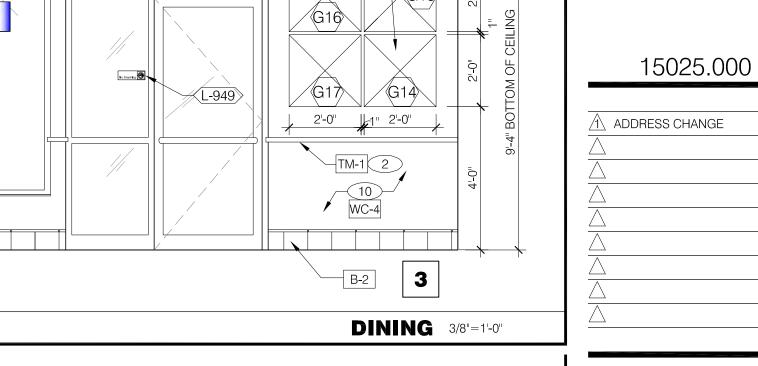


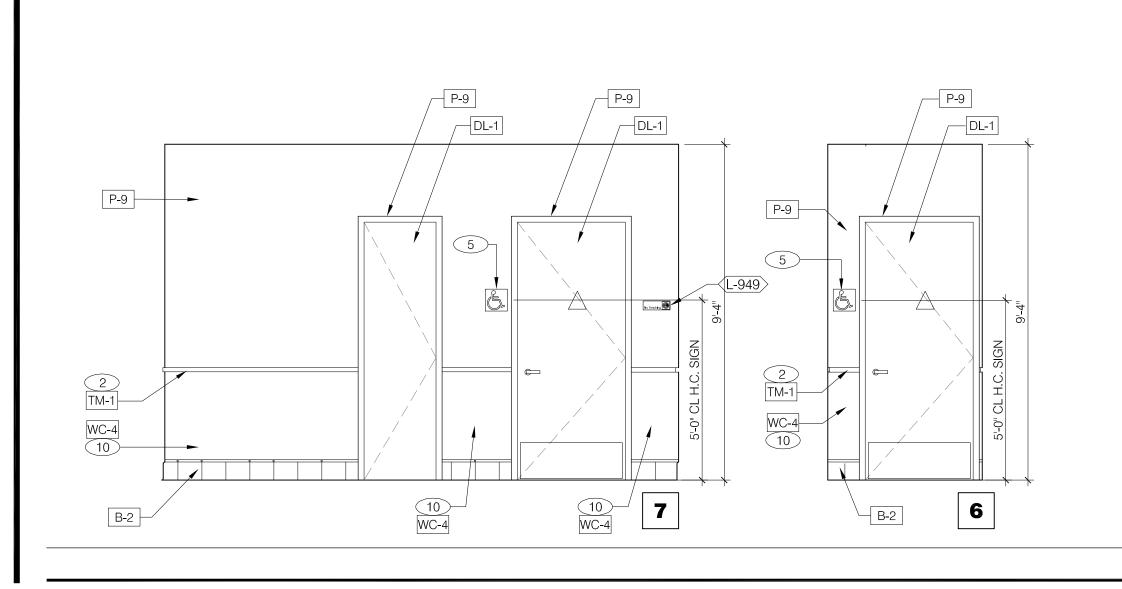


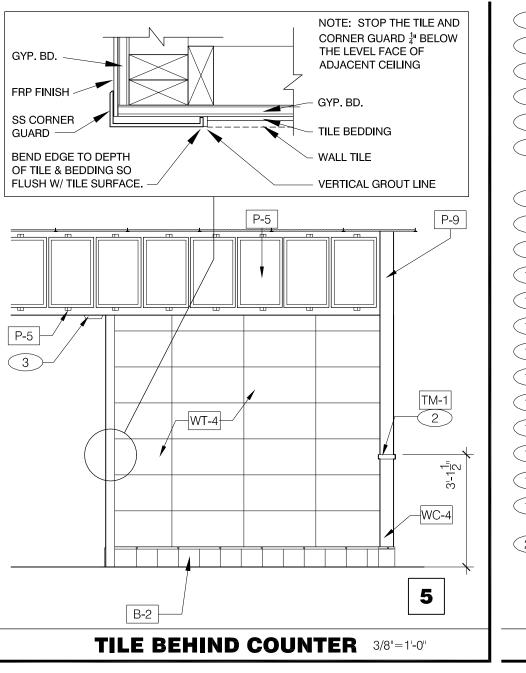
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 10830, EXPIRATION DATE: 08/19/2016.



**PASSAGE** 3/8" = 1'-0"







- 1 FOR ARTWORK DESCRIPTION, REFER TO ARTWORK SCHEDULE ON SHEET A2.0. 2 CHAIR RAIL. REFER TO DETAIL 18/A6.3.
- 3 MENUBOARD BULKHEAD.
- 4 WINDOW SILL.
- 5 H.C. SIGNAGE
- PROVIDE CLEAR SILICONE CAULK WHERE ALL FIXED AND BUILT-IN COUNTERS / EQUIPMENT ABUT WALL SURFACES. WHERE GAP BETWEEN WALL AND COUNTER SPLASH / EQUIPMENT EXCEEDS 1/4", PROVIDE S.S. CLOSURE ANGLE.
- 7 6" X6" 18 GAUGE STAINLESS STEEL CHASE.
- 8 DROP PENDANT LIGHT FIXTURE. SEE SCOPE OF WORK AND SHEET E4.0.
- 9 "PLEASE ASK IF YOU NEED ASSISTANCE" SIGN. SMALLWARE PACKAGE.
- 10 REFER TO 13, 14 & 17/A6.3 FOR WAINSCOT INSTALLATION.
- 11 START CHAIR RAIL, SEE SHT, A1.0 FOR DIMENSIONS.
- 12 OMIT CHAIR RAIL BEHIND DRINK STATION.
- OPENING FINISHED WITH FRP FOR SYRUP TUBES. SEE 11/A6.4 AND SHEET A1.0.
- 14 SECURITY SYSTEM KEYPAD, SEE E5.0. SS CORNER/ END WALL CHANNEL GUARD, FULL HEIGHT. SEE 19/A6.3 & 5/A8.0.
- 16 NOT USED. 17 NOT USED.
- 18 TEMPERATURE SENSOR. SEE MECHANICAL DRAWINGS.
- 19 BOTTOM OF BEVERAGE AND ICE DISPENSING LEVERS SHALL BE NO HIGHER THAN 42" A.F.F.

**KEY NOTES** 

20 24"x24" ART PANELS.

**DINING ROOM** 

1300 HOLTON LANE

TAKOMA PARK, MD 20912

LIVE MAS

MEDIUM40 - MODIFIED

**INTERIOR** 

**ELEVATIONS** 

JULY 15, 2015

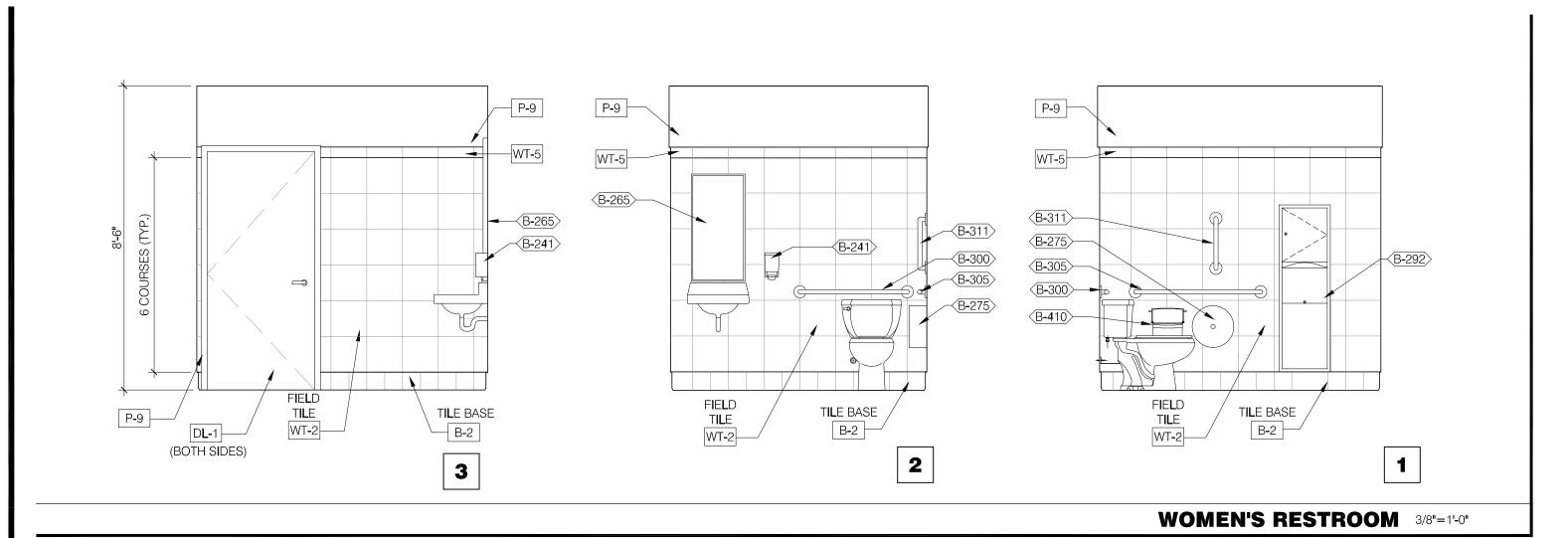
MED-40-MOD

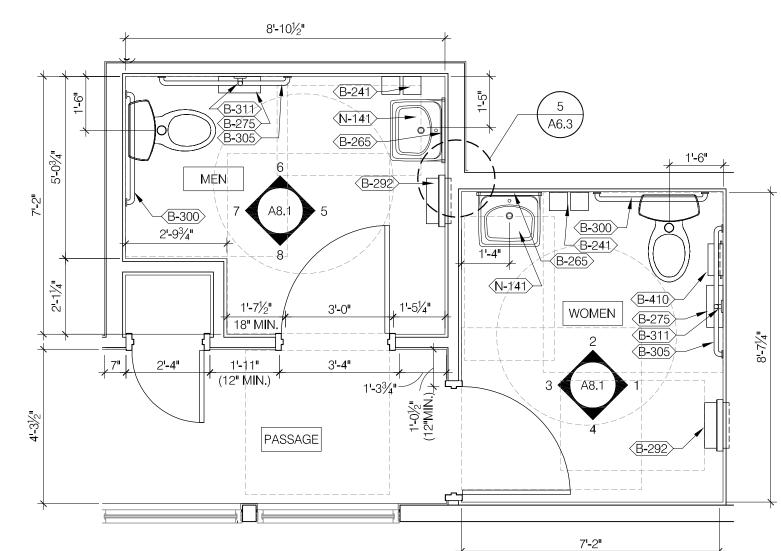
BUILDING TYPE:

PLAN VERSION:

SITE NUMBER: ENTITY NUMBER:

PLOT DATE:



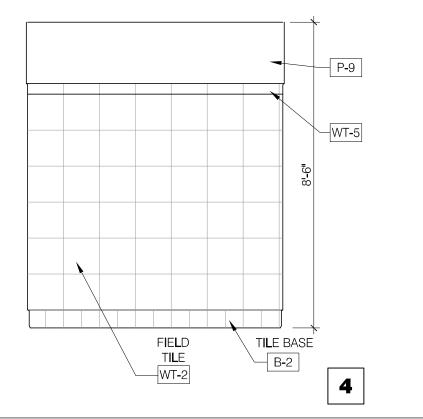


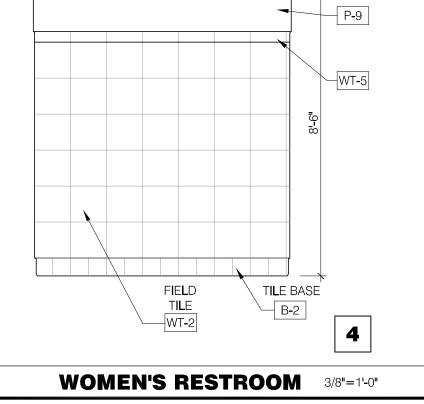
12

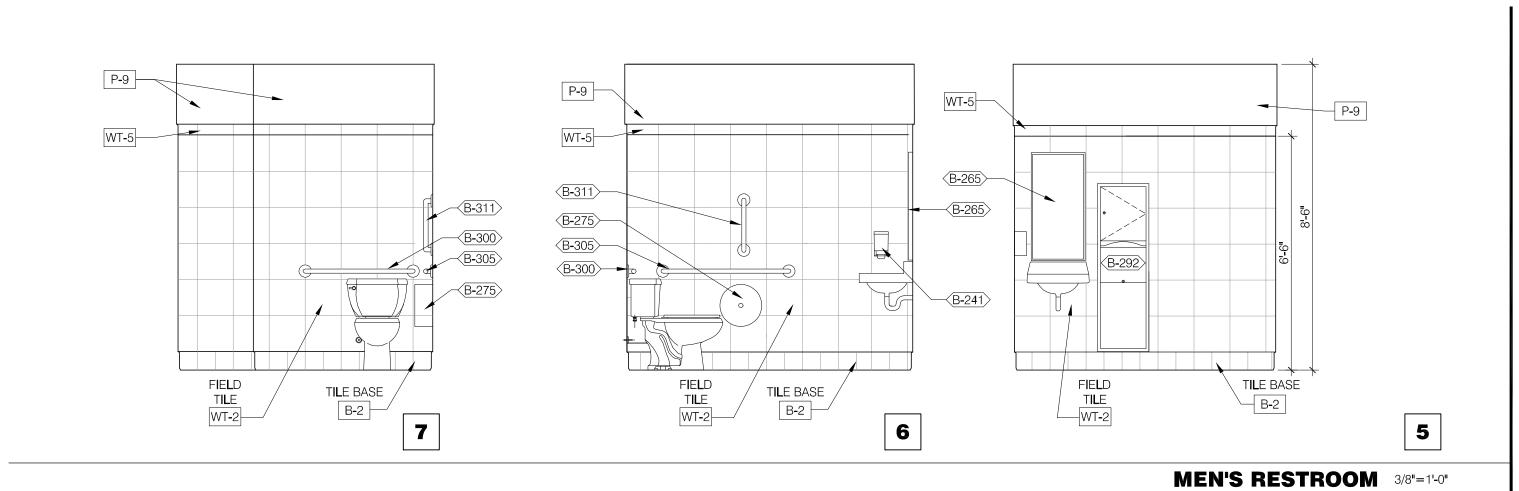
B-1

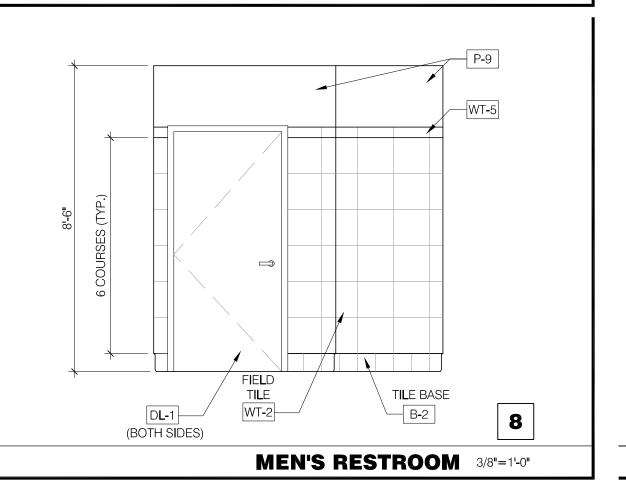
- 1. PROVIDE PROPER 2x BLOCKING AT WALL RECESSED MOUNTED ACCESSORIES.
- 2. GRAB BARS, FASTENERS AND MOUNTING DEVICES SHA**LL** BE **IN**STA**LL**ED PER ADA REQUIREMENTS. REFER TO SHEET ADA1.0.
- 3. REFER TO FLOOR PLAN NOTES FOR BLOCKING AND SUBSTRATE NOTES.
- 4. REFER TO SHEET ADA1.0 FOR MOUNTING HEIGHTS AND CLEARANCES OF ACCESSORIES AND FIXTURES.
- 5. ALL DIMENSIONS THIS DRAWING ARE TO FINISH SURFACE.
- 6. FOR \( \subseteq \text{ DESCRIPTIONS, REFER TO ARTWORK SCHEDULE ON SHEET A2.0.} \)
- 7. PROVIDE 1/4" MAX GAP AT ALL TOILET PARTITION

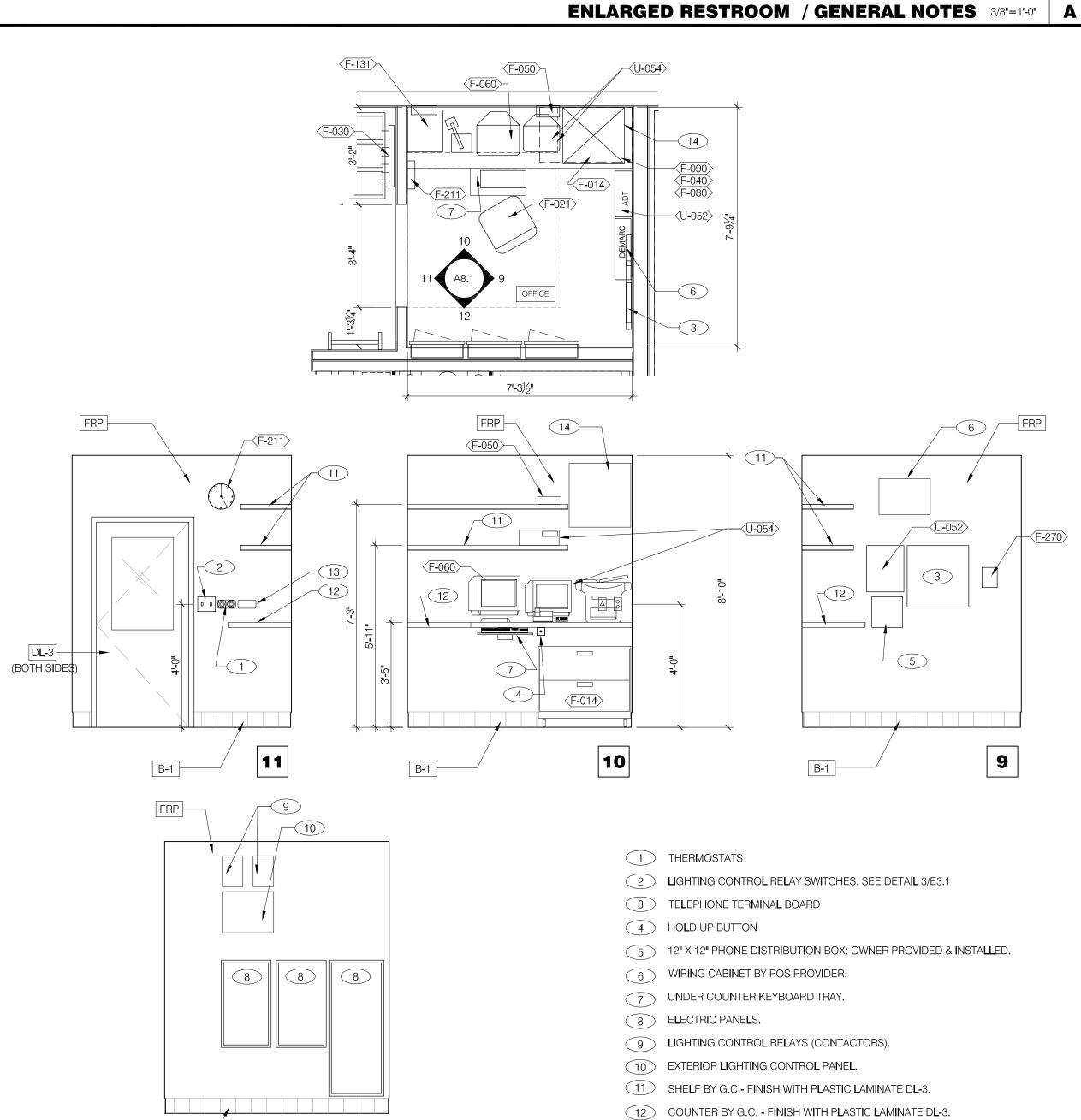
JOINTS.

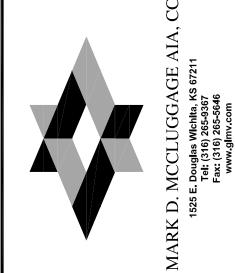




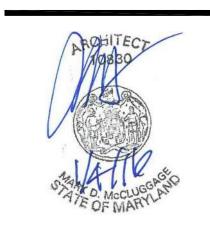








PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 10830, EXPIRATION DATE: 08/19/2016.



15025.000

ADDRESS CHANGE

JU**L**Y 15, 2015 MED-40-MOD BUILDING TYPE: PLAN VERSION: SITE NUMBER: ENTITY NUMBER:

> 1300 HOLTON LANE TAKOMA PARK, MD 20912



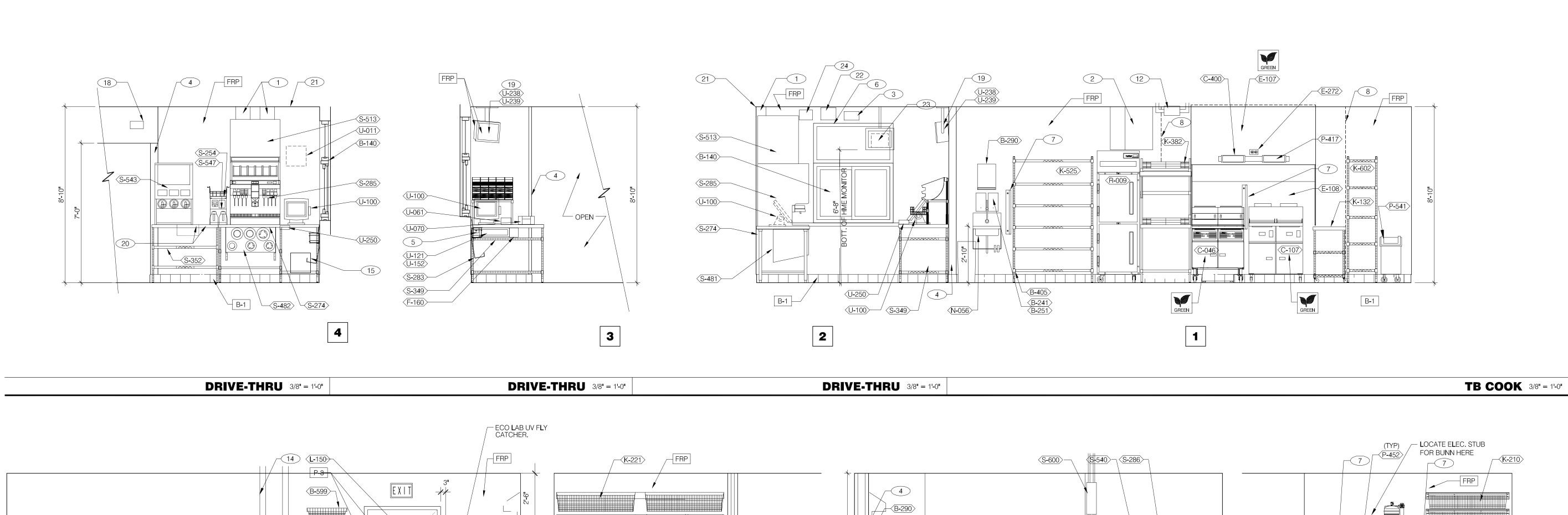
LIVE MAS MEDIUM40 - MODIFIED INTERIOR ELEV.

**ENLARGED RESTROOMS & OFFICE PLAN** 

OFFICE PLAN & ELEVATIONS / KEY NOTES 3/8"=1'-0" B

TECH-IN-A-BOX: REFER TO E3.1. G.C. TO PROVIDE BLOCKING WHERE REQUIRED.

13 SMOKE DETECTOR WITH RESET SWITCH.



N-706 OPTIONAL

7

B-1

WARE WASHING 3/8" = 1'-0"

(N-043)

**UTILITY** 3/8" = 1'-0"

8

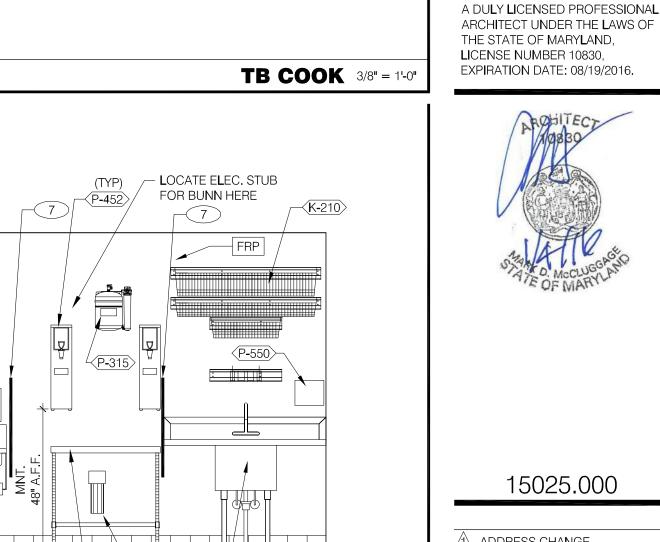
17 N-071 N-208

 $\left\langle S-381\right\rangle$ 

⟨**K-**602⟩

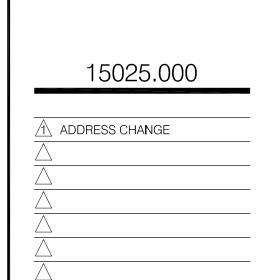
(K-602)

(B-219)



**WARE WASHING** 3/8" = 1'-0"

5



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE

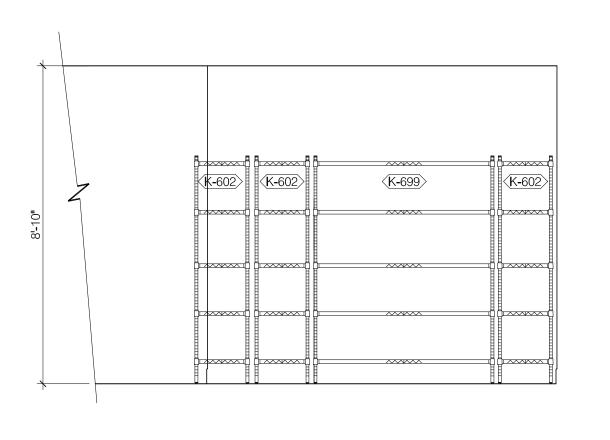
APPROVED BY ME, AND THAT I AM

JU**L**Y 15, 2015 MED-40-MOD BUILDING TYPE: PLAN VERSION: SITE NUMBER: ENTITY NUMBER:

1300 HOLTON LANE TAKOMA PARK, MD 20912



**INTERIOR ELEVATIONS KITCHEN** 



N-056

**UTILITY** 3/8"=1'-0"

9

DRY STORAGE 3/8" = 1'-0"

17 6" HIGH WATER HEATER PLATFORM. 18 ALERT LIGHT BOX FOR 3-COMP POWER SOAK.

13 FILTER FOR HOT WATER SYSTEM.

- 19 CEILING MOUNT MONITOR BRACKET. SEE DETAIL 2/A6.3.

15 OPENING FINISHED WITH FRP FOR SYRUP TUBES. SEE DETAIL 11/A6.4.

20 ADJACENT TABLE TOPS TO BE INSTALLED AT SAME LEVEL. ADJUST IN THE FIELD AS REQUIRED.

1 STAINLESS STEEL CHASE FOR SYRUP LINES & ICE MACHINE REFRIGERANT LINES. SEE DETAIL 19/A6.4

6 SS CORNER GUARDS AT PERIMETER OF D/T WINDOW. SEE DETAILS 5 & 8/A6.1 AND SCOPE OF WORK FOR RESPONSIBILITIES.

4 SS CORNER / END WALL CHANNEL GUARD, FULL HEIGHT. SEE DETAIL 19/A6.3.

10 J-BOX AND OUTLET INCLUDED WITH HOOD. INSET WITH FLUSH WITH FACE OF HOOD.

21 RAISE INDICATED SECTION OF CEILING TO 8'-10". SEE SHEET A7.1.

✓ OPEN — 
\_\_\_\_\_

6

2 ANSUL CABINET.

5 HOLD-UP BUTTON.

9 ANSUL PULL STATION.

12 GAS SHUT-OFF VALVE.

16 NOT USED

3 DRIVE-THRU TIMER DISPLAY UNIT.

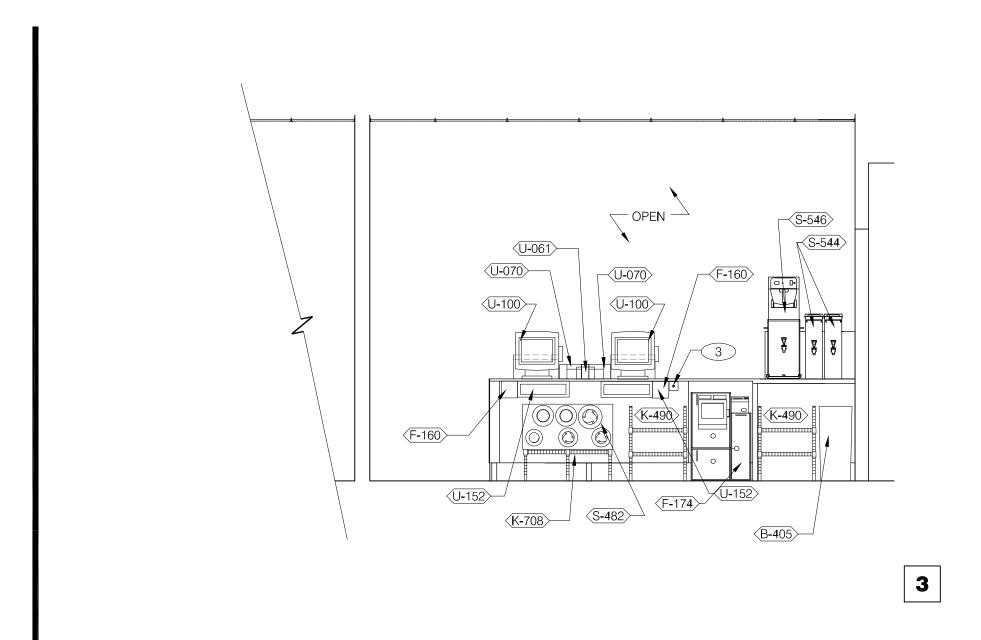
7 SPLASHGUARD. SEE DETAIL 9/A6.3.

8 EDGE OF SS PANEL BEHIND HOOD.

(11) 20 GA. STAINLESS STEEL PANEL BEHIND HOOD.

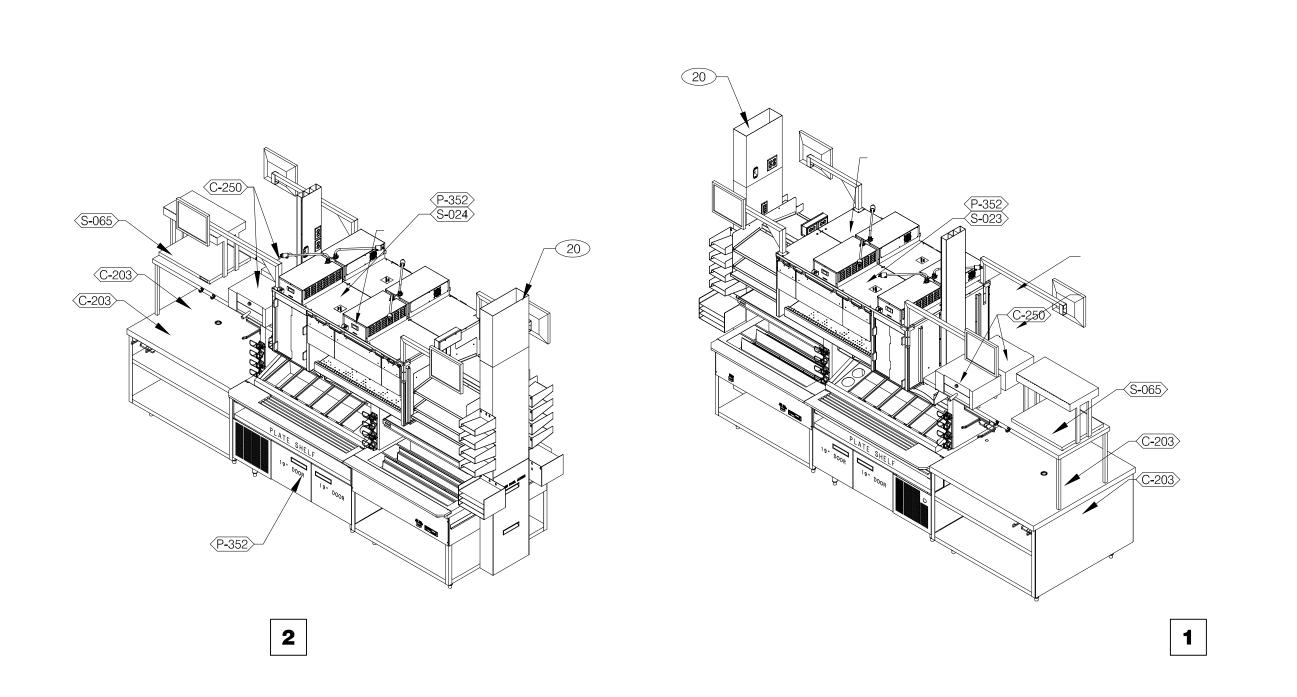
(14) WATER HEATER FLUE. SEE PLUMBING DRAWINGS.

- 22 DT TIMER SIGNAL PROCESSOR.
- 23 DT TIMER MONITOR AND CONTROL UNIT.
- 24 DT TIMER ETNERNET SWITCH.
- 25) CUT WALL-HANGING TRACK TO ALLOW SPACE FOR CLICK&CLEAN SYSTEM



**SERVING** 3/8" = 1'-0"

- ROOF TRUSS SYSTEM





PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 10830, EXPIRATION DATE: 08/19/2016.

EVO DUAL LINE 3/8"=1'-0"

4

EMPLOYEE / STORAGE 3/8" = 1'-0"

**KEY NOTES** 

15025.000

ADDRESS CHANGE

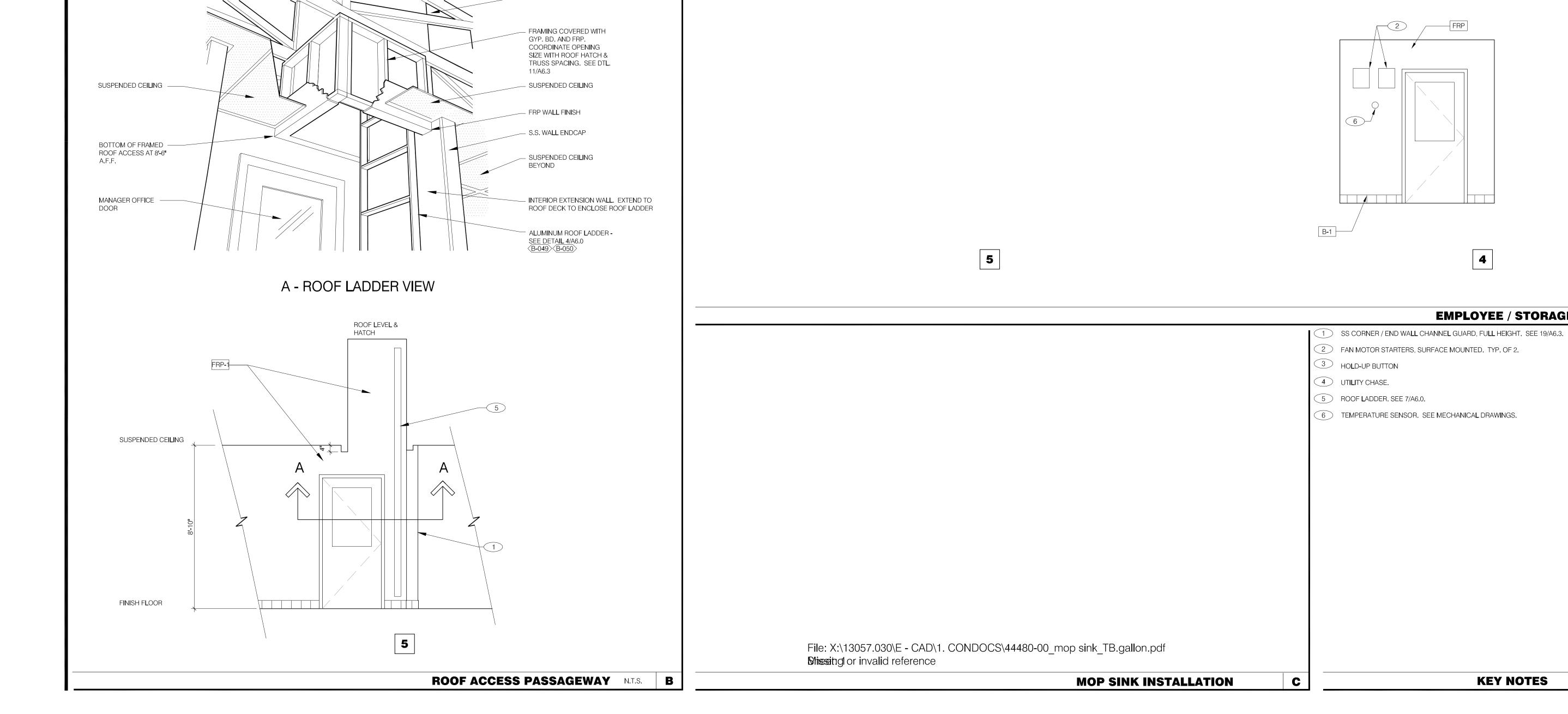
DATE: JU**L**Y 15, 2015 MED-40-MOD BU**IL**D**I**NG TYPE: PLAN VERSION: SITE NUMBER: ENTITY NUMBER:

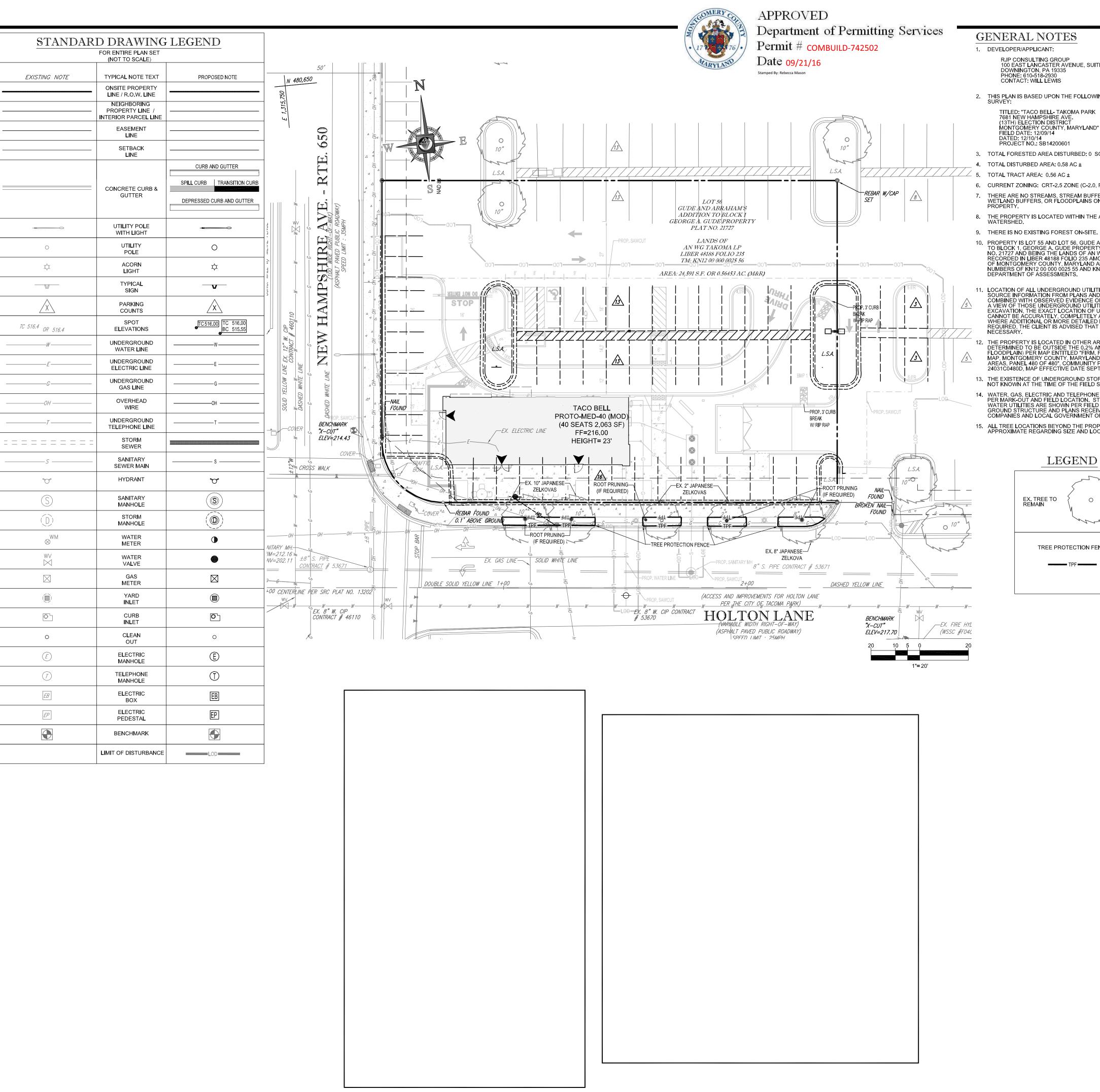
1300 HOLTON LANE TAKOMA PARK, MD 20912



INTERIOR **ELEVATIONS KITCHEN** 

P**L**OT DATE:





GENERAL NOTES

1. DEVELOPER/APPLICANT:

RJP CONSULTING GROUP 100 EAST LANCASTER AVENUE, SUITE 200 DOWNINGTON, PA 19335 PHONE: 610-518-2930 CONTACT: WILL LEWIS

THIS PLAN IS BASED UPON THE FOLLOWING ALTA/ACSM LAND TITLE

TITLED: "TACO BELL- TAKOMA PARK 7681 NEW HAMPSHIRE AVE. (13TH) ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND" FIELD DATE: 12/09/14 DATED: 12/10/14 PROJECT NO.: SB14200601

3. TOTAL FORESTED AREA DISTURBED: 0 SQ FT

4. TOTAL DISTURBED AREA: 0.58 AC ±

5. TOTAL TRACT AREA: 0.56 AC ±

6. CURRENT ZONING: CRT-2.5 ZONE (C-2.0, R-1.5,H-100)

7. THERE ARE NO STREAMS, STREAM BUFFERS, WETLANDS WETLAND BUFFERS, OR FLOODPLAINS ON THE SUBJECT

8. THE PROPERTY IS LOCATED WITHIN THE ANACOSTIA RIVER WATERSHED.

10. PROPERTY IS LOT 55 AND LOT 56, GUDE AND ABRAHAM'S ADDITION TO BLOCK 1, GEORGE A. GUDE PROPERTY AS RECORDED AS PLAT NO. 21727 AND BEING THE LANDS OF AN WG TAKOMA LP AS RECORDED IN LIBER 48188 FOLIO 235 AMONG THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND AND HAVING TAX MAP NUMBERS OF KN12 00 000 0025 55 AND KN12 00 000 0025 56 PER THE DEPARTMENT OF ASSESSMENTS

I. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE, SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES, HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

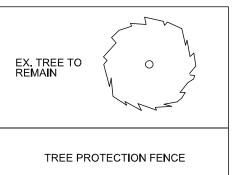
THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, MONTGOMERY COUNTY, MARYLAND AND INCORPORATED AREAS, PANEL 480 OF 480", COMMUNITY PANEL NUMBER 24031C0480D, MAP EFFECTIVE DATE SEPTEMBER 29, 2006.

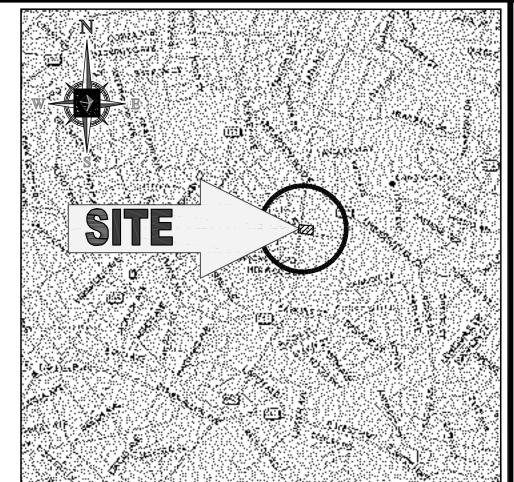
13. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

14. WATER, GAS, ELECTRIC AND TELEPHONE UTILITIES ARE SHOWN PER MARK-OUT AND FIELD LOCATION. STORM, SANITARY, GAS AND WATER UTILITIES ARE SHOWN PER FIELD LOCATION OF ABOVE GROUND STRUCTURE AND PLANS RECEIVED FROM UTILITY COMPANIES AND LOCAL GOVERNMENT OFFICES.

ALL TREE LOCATIONS BEYOND THE PROPERTY LIMITS ARE APPROXIMATE REGARDING SIZE AND LOCATION.

#### LEGEND





LOCATION MAP COPYRIGHT 2003 DELORME STREET ATLAS 2004 PLUS USA

#### PLAN PURPOSE:

THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING TREE CONDITIONS AND PROPOSED TREE IMPROVEMENTS FOR A REVIEW OF A ROADSIDE PROJECT PERMIT BY MARYLAND DEPARTMENT OF NATURAL RESOURCES - FOREST SERVICE.

#### STANDARD EXEMPTION NOTES:

- AN ON-SITE PRE-CONSTRUCTION MEETING SHALL BE REQUIRED AFTER THE LIMITS OF DISTURBANCE HAVE BEEN STAKED AND FLAGGED, BUT BEFORE ANY CLEARING OR GRADING BEGINS. THE OWNER SHALL CONTACT THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION INSPECTION STAFF PRIOR TO COMMENCING CONSTRUCTION TO VERIFY THE LIMITS OF DISTURBANCE AND DISCUSS TREE PROTECTION AND TREE CARE MEASURES. THE ATTENDANTS AT THIS MEETING SHOULD INCLUDE: DEVELOPER'S REPRESENTATIVE, CONSTRUCTION SUPERINTENDENT, IS A CERTIFIED ARBORIST OF MD LICENSE TREE EXPERT THAT WILL IMPLEMENT THE TREE PROTECTION MEASURES, M-NCPPC INSPECTOR, AND DPS SEDIMENT CONTROL INSPECTOR.
- NO CLEARING OR GRADING SHALL BEGIN BEFORE STRESS-REDUCTION MEASURES HAVE BEEN IMPLEMENTED. APPROPRIATE MEASURES MAY INCLUDE, BUT ARE NOT LIMITED TO:

I. ROOT PRUNING

II. CROWN REDUCTION OR PRUNING III. WATERING

IV. FERTILIZING V. VERTICAL MULCHING VI. ROOT AERATION MULCHING

MEASURES NOT SPECIFIED ON THE EXEMPTION PLAN MAY BE REQUIRED AS DETERMINED BY THE M-NCPPC INSPECTOR IN COORDINATION WITH THE ARBORIST.

- 3. A STATE OF MARYLAND LICENSED TREE EXPERT, OR AN INTERNATIONAL SOCIETY OF ARBORICULTURE CERTIFIED ARBORIST MUST PERFORM ALL STRESS REDUCTION MEASURES. DOCUMENTATION OF STRESS REDUCTION MEASURES MUST BE EITHER OBSERVED BY THE M-NCPPC INSPECTOR OR SENT TO THE M-NCPPC THE EXACT METHOD TO CONVEY THE STRESS REDUCTION MEASURES DURING THE PRE-CONSTRUCTION
- 4. TEMPORARY TREE PROTECTION DEVICES SHALL BE INSTALLED PER THE EXEMPTION PLAN AND PRIOR TO ANY CONSTRUCTION ACTIVITIES. TREE PROTECTION FENCING LOCATIONS SHOULD BE STAKED PRIOR TO THE PRE-CONSTRUCTION MEETING. THE M-NCPPC INSPECTOR, IN COORDINATION WITH THE DPS SEDIMENT CONTROL INSPECTOR, MAY MAKE FIELD ADJUSTMENTS TO INCREASE THE SURVIVABILITY OF TREES AND FOREST SHOWN AS SAVED ON THE APPROVED PLAN. TEMPORARY TREE PROTECTION DEVICES MAY INCLUDE:

I. CHAIN LINK FENCE (4 FEET HIGH)

II. SUPER SILT FENCE WITH WIRE STRUNG BETWEEN THE SUPPORT POLES (MINIMUM 4 FEET HIGH) WITH HIGH VISIBILITY FLAGGING

III. 14 GAUGE 2 INCH x 4 INCH WELDED WIRE FENCING SUPPORTED BY STEEL T-BAR POSTS (MINIMUM 4 FEET HIGH) WITH HIGH VISIBILITY FLAGGING

- 5. TEMPORARY PROTECTION DEVICES SHALL BE MAINTAINED AND INSTALLED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION PROJECT AND MUST NOT BE ALTERED WITHOUT PRIOR APPROVAL FROM M-NCPPC. NO EQUIPMENT, TRUCKS, MATERIALS, OR DEBRIS MAY BE STORED WITHIN THE TREE PROTECTION FENCE AREAS DURING THE ENTIRE CONSTRUCTION PROJECT. NO VEHICLE OR EQUIPMENT ACCESS TO THE FENCED AREA WILL BE PERMITTED. TREE PROTECTION SHALL NOT BE REMOVED WITHOUT PRIOR APPROVAL OF M-NCPPC. TREE PROTECTION DEVICES TO BE COORDINATED WITH EROSION AND SEDIMENT CONTROL DEVICES AS INDICATED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN APPROVED BY THE DEPARTMENT OF
- 6. FOREST RETENTION AREA SIGNS SHALL BE INSTALLED AS REQUIRED BY THE M-NCPPC INSPECTOR, OR AS SHOWN ON THE APPROVED PLAN.
- PERIODIC INSPECTION BY M-NCPPC WILL OCCUR DURING THE CONSTRUCTION PROJECT. CORRECTIONS AND REPAIRS TO ALL TREE PROTECTION DEVICES, AS DETERMINED BY THE M-NCPPC INSPECTOR, MUST BE MADE
- WITHIN THE TIMEFRAME ESTABLISHED BY THE M-NCPPC INSPECTOR. 8. AFTER CONSTRUCTION IS COMPLETED, AN INSPECTION SHALL BE REQUESTED. CORRECTIVE MEASURES WHICH MAY BE REQUIRED INCLUDE:

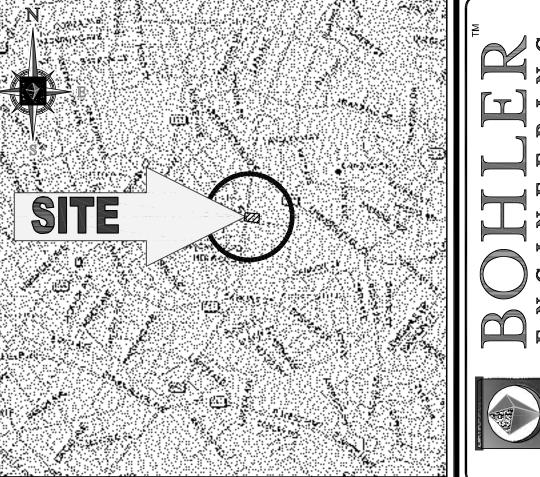
I. REMOVAL AND REPLACEMENT OF DEAD AND DYING TREES II. PRUNING OF DEAD OR DECLINING LIMBS

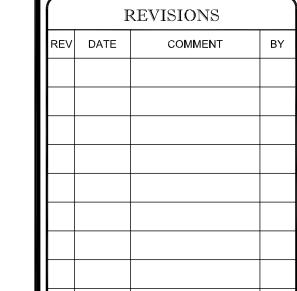
III. SOIL AERATION

IV. FERTILIZATION V. WATER**IN**G

VI. WOUND REPAIR VII. CLEAN UP OF RETENTION AREAS

9. AFTER INSPECTION AND COMPLETION OF CORRECTIVE MEASURE HAVE BEEN UNDERTAKEN, ALL TEMPORARY PROTECTION DEVICES SHALL BE REMOVED FROM THE SITE. NO ADDITIONAL GRADING, SODDING, OR BURIAL MAY





 $\diamond \diamond \diamond \diamond \diamond \diamond \diamond \diamond$ 



IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, NORTH CAROLINA AND DELAWARE CALL - 811 VV 1-800-245-4848) (PA 1-800-242-1776) (DC 1-800-257 /A 1-800-552-7001) (MD 1-800-257-7777) (DE 1-800-282-

CONSTRUCTION

NOT APPROVED FOR

DRAWN BY: CHECKED BY: 01/19/16 SCALE: CAD I.D.:

TACO BELL TAKOMA PARK

MUY

TACO BELL LOCATION OF SITE 1300 HOLTON LANE TAKOMA PARK, MD 20912 MONTGOMERY COUNTY



16701 MELFORD BLVD, SUITE 310 **BOWIE, MARYLAND 20715** Phone: (301) 809-4500 Fax: (301) 809**-4**501 MD@BohlerEng.com

M. K. JONES

PROFESSIONAL ENGINEER MARYLAND LICENSE No. 39999

ROADSIDE TREE **IMPROVEMENT** PLAN

SHEET NUMBER:

OF 1

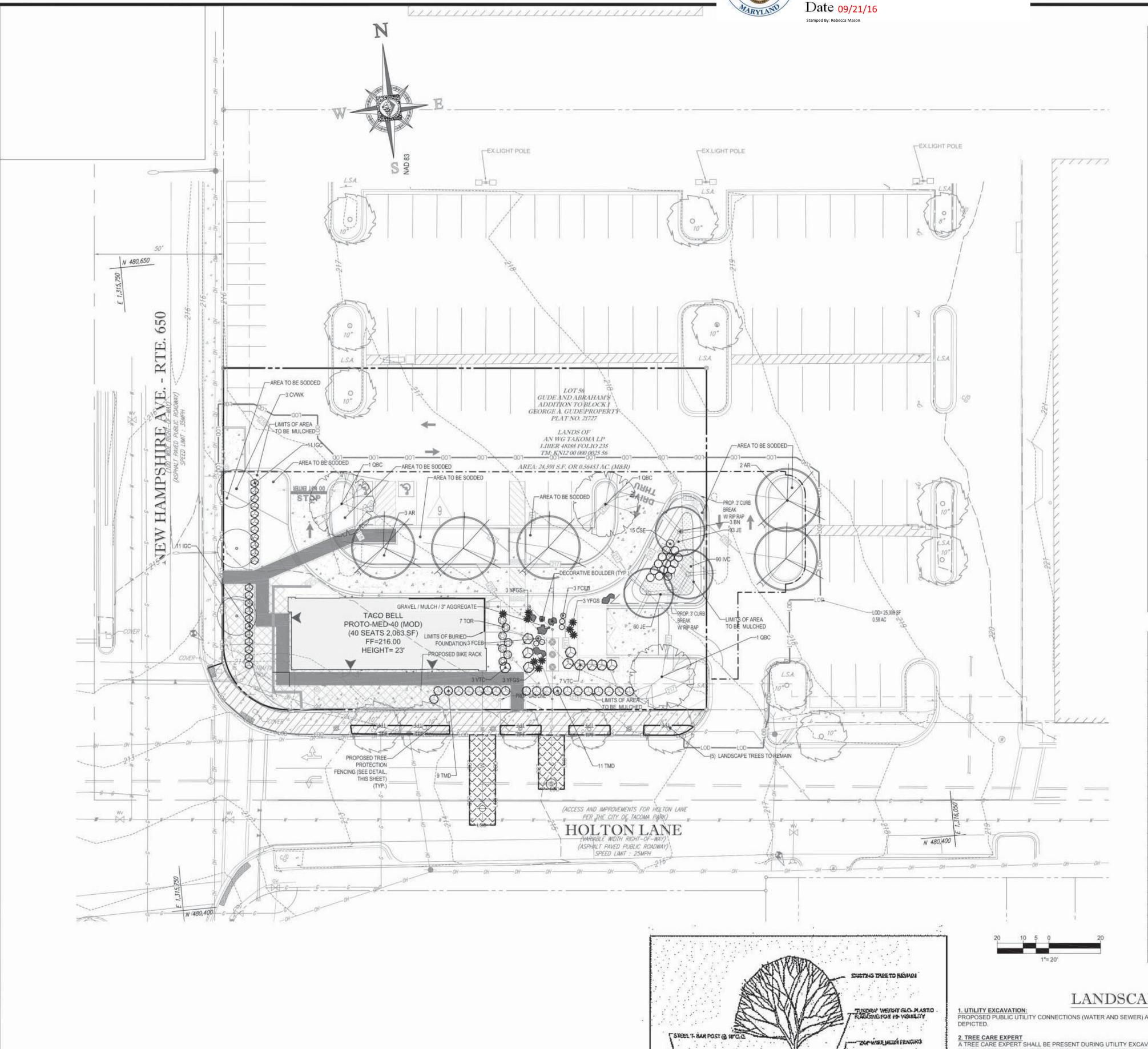
PROFESSIONAL CERTIFICATION

I, MATTHEW K, JONES, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 39999, EXPIRATION DATE: 3/15/2017

<u>GENERAL NUTE:</u>
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION, SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE T

THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PICKET TO THE PROPOSE OF THE CONSTRUCTION, FAILURE BY THE CONTRACTOR ON THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN

TREE PROTECTION FENCE NO SOME



SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED	COMPLIANC
	PARKING FACILITIES LOCATED ADJACENT TO A STREET RIGHT-OF-WAY SHALL PROVIDE A LANDSCAPING STRIP AT LEAST 10 FEET IN WIDTH. THIS AREA SHALL BE PLANTED WITH EITHER SHADE OR ORNAMENTAL TREES. A MINIMUM OF ONE TREE FOR EVERY 40 FEET OF LOT FRONTAGE SHALL BE PROVIDED AS WELL AS AN EVERGREEN HEDGE (AT LEAST 3 FEET IN HEIGHT), A WALL OR FENCE, OR OTHER METHODS TO REDUCE THE VISUAL IMPACT OF THE PARKING FACILITY.	REQUIRED:  NEW HAMPSHIRE AVE: 107 LF A MINIMUM WIDTH OF 10' HAS BEEN PROVIDED  107 LF/ 40 = 3 TREES  PROVIDED:  • 3 TREES • AN EVERGREEN HEDGE WHICH WILL OBTAIN A MINIMUM HEIGHT OF 3' AT MATURITY	COMPLIES
59-E-2.71 LANDSCAPE STRIP AREA ADJACENT TO A STREET R.O.W.		REQUIRED: HOLTON AVENUE: 162 LF A MINIMUM WIDTH OF 10' HAS BEEN PROVIDED  162 LF/ 40 = 4 TREES PROVIDED:  • 5 EXISTING LARGE SHADE TREES • AN EVERGREEN HEDGE WHICH WILL OBTAIN A MINIMUM HEIGHT OF 3' AT MATURITY	COMPLIES
	PARKING FACILITIES NOT LOCATED ADJACENT TO A STREET RIGHT-OF-WAY SHALL PROVIDE A LANDSCAPING STRIP AT LEAST 4 FEET IN WIDTH. THIS AREA SHALL BE PLANTED WITH SHADE TREES. A MINIMUM OF ONE TREE FOR EVERY 40 FEET OF PROPERTY LINE SHALL BE PROVIDED.	REQUIRED:  EAST PROPERTY LINE: 132 LF A MINIMUM WIDTH OF 10' HAS BEEN PROVIDED  132 LF/ 40 = 4 TREES  PROVIDED:  • 4 LARGE SHADE TREES	COMPLIES
59-E-2.72 LANDSCAPE STRIP AREA NOT ADJACENT TO A STREET R.O.W.		REQUIRED:  NORTH PROPERTY LINE: 187 LF A MINIMUM WIDTH OF 10' HAS BEEN PROVIDED  187 LF/ 40 = 5 TREES  PROVIDED:  • 5 LARGE SHADE TREES	COMPLIES
59-E-2.73 INTERNAL LANDSCAPING OF SURFACE PARKING	A MINIMUM OF 5 PERCENT OF THE INTERNAL AREA OF A SURFACE PARKING FACILITY SHALL BE LANDSCAPED WITH SHADE TREES. THE INTERNAL AREA OF A PARKING FACILITY IS DEFINED BY THE PERIMETER OF THE CURBS OR EDGE OF PAVING. THE INTERNAL AREA SHALL INCLUDE ALL PLANTING ISLANDS AND CORNER AREAS WITHIN THE FACILITY. THE SHADE TREES SHOULD BE DISTRIBUTED IN ORDER TO INCREASE SHADE. WHERE POSSIBLE, EXISTING TREES SHOULD BE SAVED FOR THIS PURPOSE.	PARKING LOT AREA: 13,422 S.F. (5%) = 672 S.F. REQUIRED 3,342 S.F. (GRASS) (17.4%) PROVIDED	COMPLIES

		LANDSCAP.	E SCHEDULE	,	
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREE(S)					
AR	5	ACER RUBRUM	RED MAPLE	2 1/2-3" CAL.	B+B
BN	3	BETULA NIGRA	MULTI STEM RIVER BIRCH	12-14"	B+B
QBC	3	QUERCUS BICOLOR	SWAMP WHITE OAK	2 1/2-3" CAL.	B+B
SUBTOTAL:	- 11	12			
ORNAMENTAL TREE(S)				- 1	
CVWK	3	CRATAEGUS VIRIDIS WINTER KING'	WINTER KING HAWTHORN	2-2 1/2" CAL.	B+B
SUBTOTAL:	3	N.	Ů	- M	(f)
DECIDUOUS SHRUB(S)				MI WI	
CSF	15	CORNUS SERICEA 'FLAVIRAMEA'	YELLOW TWIG DOGWOOD	2-3'	B+B
VTC	10	VIBURNUM TRILOBUM 'COMPACTUM'	COMPACT AMERICAN CRANBERRYBUSH	36-48*	B+B
SUBTOTAL:	25			10	372
EVERGREEN SHRUB(S)		2011	X	Wei	4,5
IG0	22	ILEX GLABRA 'SHAMROCK'	INKBERRY HOLLY (FEMALE)	24-30*	#3 CAN, FEMALE ONLY
TMD	20 TAXUS X MEDIA 'DENSIFORMIS' DENSIFORMIS YEW		24-30"	B+B	
TOR	7	THUJA OCCIDENTALIS 'RHEINGOLD'	RHEINGOLD ARBORVITAE	24-30"	#3 CAN
SUBTOTAL;	49	1/			F1
PERENNIAL(S)				-10	110
MC	90	IRIS VERSICOLOR	BLUE FLAG IRIS	PLUG	
JE	150	JUNCUS EFFUSUS	COMMON RUSH	PLUG	
YFGS	9	YUCCA FILAMENTOSA 'GOLDEN SWORD'	VARIEGATED ADAM'S NEEDLE	18-24*	#3 CAN
SUBTOTAL:	289				
ORNAMENTAL GRASS(ES	5)				
FCEB	6	FESTUCA CINEREA 'ELIJAH'S BLUE'	BLUE FESCUE	1 GAL	CONTAINER
SUBTOTAL:	6		11	//-	M

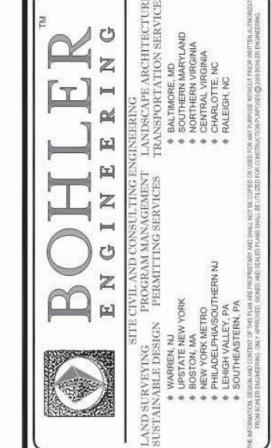
## LANDSCAPE NOTES

1. UTILITY EXCAVATION:
PROPOSED PUBLIC UTILITY CONNECTIONS (WATER AND SEWER) ARE LOCATED OUTSIDE CRITICAL ROOT ZONES AND CENTERED BETWEEN TREES AS

2. TREE CARE EXPERT
A TREE CARE EXPERT SHALL BE PRESENT DURING UTILITY EXCAVATION TO ENSURE NEARBY TREES ARE APPROPRIATELY PRUNED AND/OR PROTECTED. CONTRACTOR SHALL LIMIT EXCAVATION TO MINIMAL DEPTH NECESSARY TO PROVIDE PUBLIC UTILITY CONNECTIONS.

3. CONSTRUCTION OF SIDEWALK ALONG HOLTON LANE
CONTRACTOR SHALL CONSTRUCT THE HOLTON LANE PROPOSED SIDEWALK THROUGH AREAS INTERNAL TO THE SITE AND SHALL AVOID OVERHEAD
CONFLICTS WITH TREE CANOPIES AND OVERHEAD UTILITIES. CONTRACTOR SHALL LIMIT EXCAVATION TO MINIMAL DEPTH AND MINIMAL DISTURBANCE TO THE
SUBGRADE NECESSARY TO PROVIDE AN ADA COMPLIANT SIDEWALK.

	Dayatopar's Certificate
	for circumsgrout agrees to execute as the bacyon of the Sac Play Approved No. 8201501501.
	in-adophysical Colorina, Dandrauez Projent, and Colorid Signification
	Dieter RuP Consulting LLC Will Lewis
	Cuany Dead Not
	Andreas, 100 Fast Luncapie: Avenue Bute 200 Downingarier, FA 19005
+	
	Phora 610-516-2430
	TIPE
	and the second of the second o
ij	Part of the State
7	
	Spears of the second
	20 C C C C C C C C C C C C C C C C C C C



REV	DATE	COMMENT	BY			
1						
	-					
+	-					
T	$\rightarrow$					
			1			



NOT APPROVED FOR CONSTRUCTION

PROJECT No.: DRAWN BY: CHECKED BY: DATE: SCALE:

SITE PLAN
#820150150
TACO BELL
TAKOMA PARK
FOR
MUY

TACO BELL
LOCATION OF SITE
1300 HOLTON LANE

TAKOMA PARK, MD 20912 MONTGOMERY COUNTY

BOHLER ENGINEERING

BOWIE, MARYLAND 20715
Phone: (301) 809-4500
Fax: (301) 809-4501
MD@BohlerEng.com

C.M. RIZZI

REGISTERED LANDSCAPE ARCHITECT
MARYLAND LICENSE No. 3068
PROFESSIONAL CERTIFICATION
I, CHRISTOPHER M. RIZZI, HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND
THAT I AMA DULY LICENSED LANDSCAPE ARCHITECT
UNDER THE LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 3086, EXPIRATION DATE: 10/18/16

SHEET TITLE:

LANDSCAPE PLAN

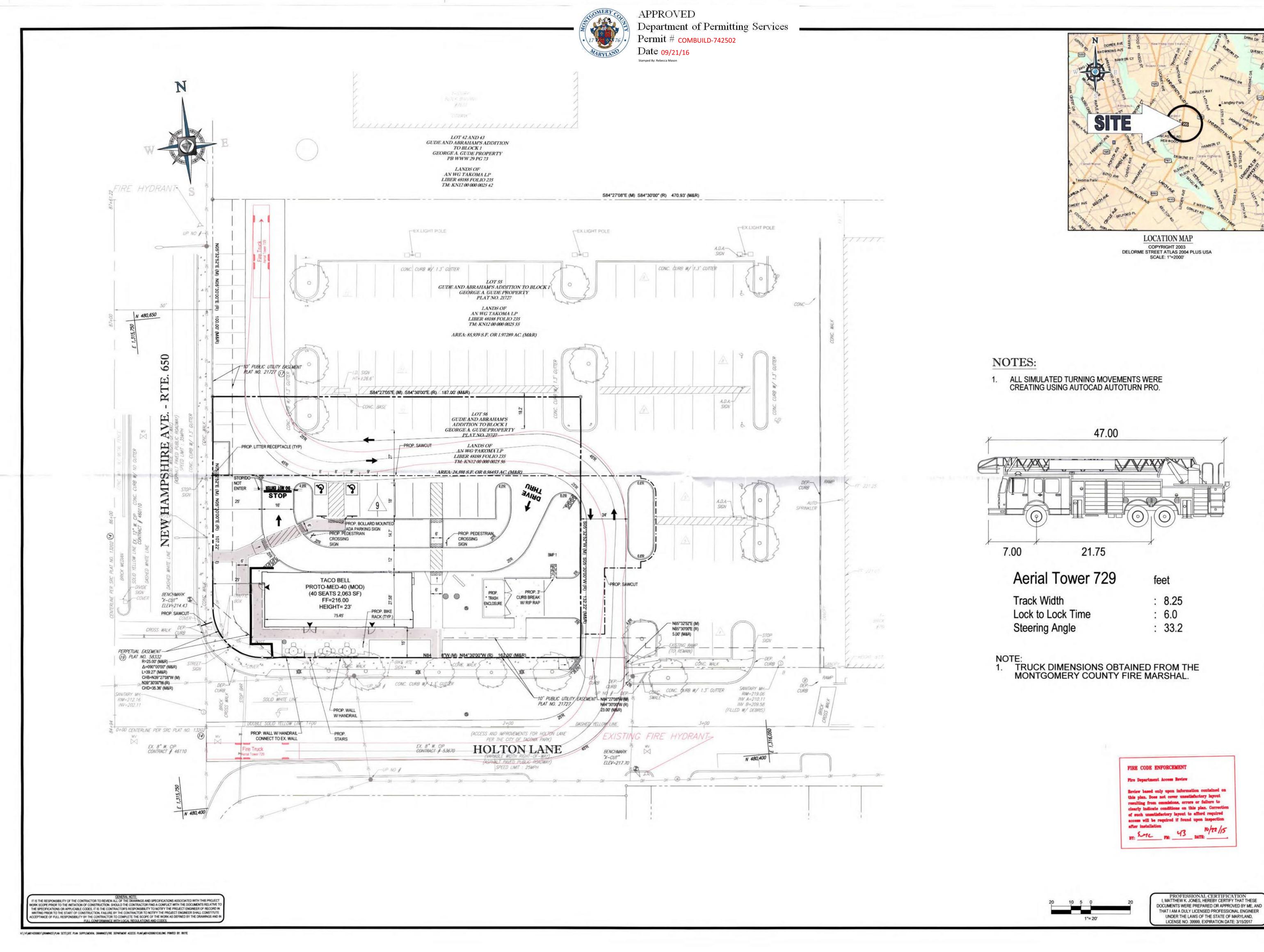
SHEET NUMBER:

LS-1

GENERAL NOTE:

S THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT

ORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN



B CONSULTING ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING

SURVEYING

PROGRAM MANAGEMENT

I ANDSCAPE ARCHITECTURE

(AINABLE DESIGN

PERMITTING SERVICES

WARREN, NJ

B SOSTON, MA

NEW YORK

B SOSTON, MA

NEW YORK METRO

PHILADELPHIA/SOUTHERN NJ

PHILADELPHIA/SOUTHERN NJ

CHARLOTTE, NC

CHARLOTTE, PA

SOUTHEASTERN, PA

MATCH, ESSON AND CONTING SHALL NOT BE COPED OR USED FOR ANY PARPOTE WITHOUT PROGRAM NOT SHALL NOT BE COPED OR USED FOR ANY PARPOTE WITHOUT PROGRAM NOT SHALL NOT BE COPED OR USED FOR ANY PARPOTE WITHOUT PROGRAM NOT SHALL N

REVISIONS
REV DATE COMMENT BY



NOT APPROVED FOR

CONSTRUCTION

PROJECT No.: DRAWN BY: CHECKED BY: DATE: SCALE: CAD I.D.:

ECKED BY: BLF
16: 06/25/15
ALE: AS SHOWN
DI.D.: EX0

DJECT:

SITE PLAN

#820150150

TACO BELL
TAKOMA PARK

MUY
TACO BELL
LOCATION OF SITE
NEW HAMPSHIRE AVE
AND HOLTON AVE

TAKOMA PARK, MD 20912 MONTGOMERY COUNTY

BOHLER

16701 MELFORD BLVD , SUITE 310 BOWIE, MARYLAND 20715 Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com

M. K. JONES

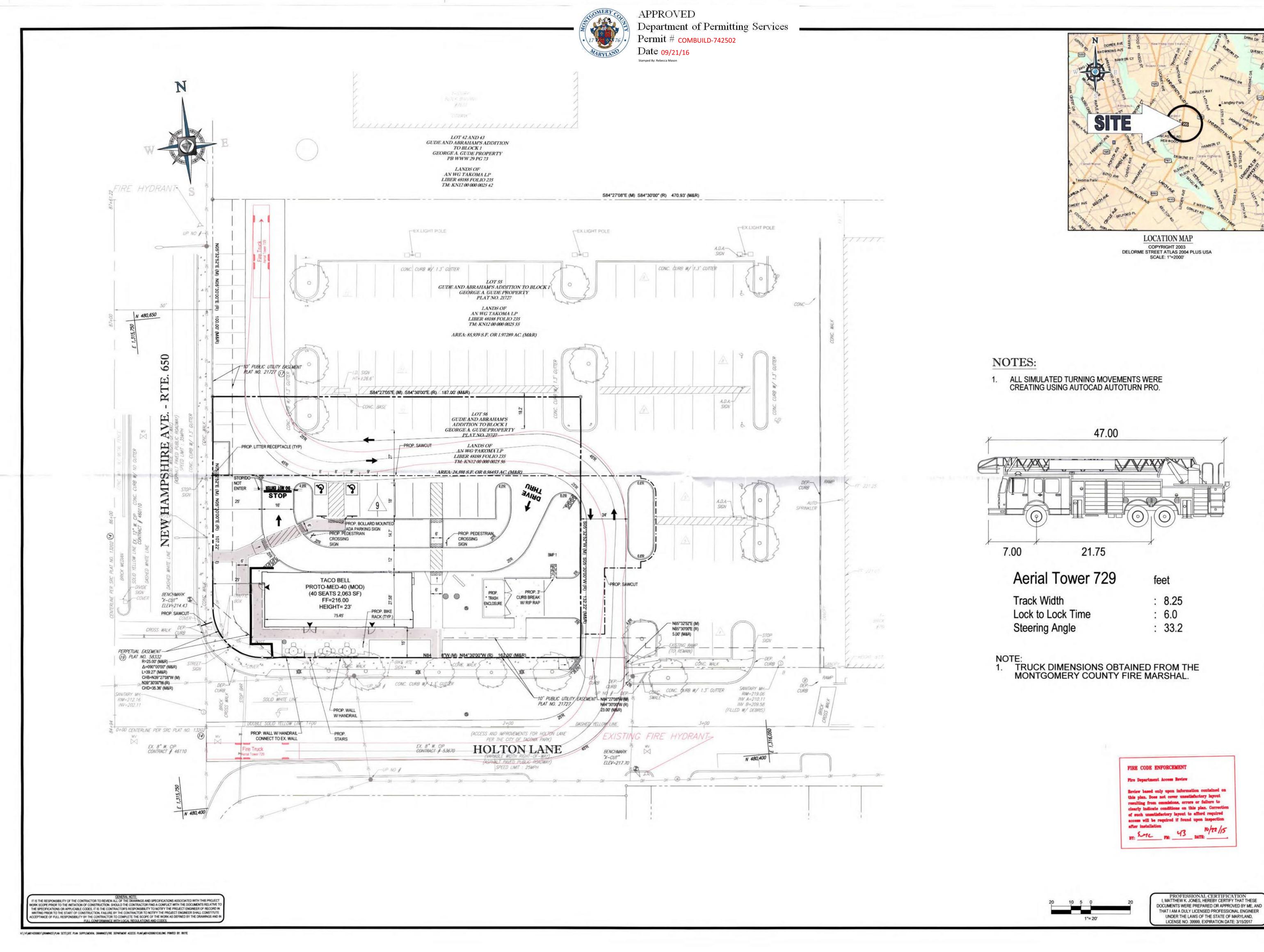
PROFESSIONAL ENGINEER

Idralia

FIRE
DEPARTMENT
ACCESS PLAN

SHEET NUMBER:

l OF 1



B CONSULTING ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING

SURVEYING

PROGRAM MANAGEMENT

I ANDSCAPE ARCHITECTURE

(AINABLE DESIGN

PERMITTING SERVICES

WARREN, NJ

B SOSTON, MA

NEW YORK

B SOSTON, MA

NEW YORK METRO

PHILADELPHIA/SOUTHERN NJ

PHILADELPHIA/SOUTHERN NJ

CHARLOTTE, NC

CHARLOTTE, PA

SOUTHEASTERN, PA

MATCH, ESSON AND CONTING SHALL NOT BE COPED OR USED FOR ANY PARPOTE WITHOUT PROGRAM NOT SHALL NOT BE COPED OR USED FOR ANY PARPOTE WITHOUT PROGRAM NOT SHALL NOT BE COPED OR USED FOR ANY PARPOTE WITHOUT PROGRAM NOT SHALL N

REVISIONS
REV DATE COMMENT BY



NOT APPROVED FOR

CONSTRUCTION

PROJECT No.: DRAWN BY: CHECKED BY: DATE: SCALE: CAD I.D.:

ECKED BY: BLF
16: 06/25/15
ALE: AS SHOWN
DI.D.: EX0

DJECT:

SITE PLAN

#820150150

TACO BELL
TAKOMA PARK

MUY
TACO BELL
LOCATION OF SITE
NEW HAMPSHIRE AVE
AND HOLTON AVE

TAKOMA PARK, MD 20912 MONTGOMERY COUNTY

BOHLER

16701 MELFORD BLVD , SUITE 310 BOWIE, MARYLAND 20715 Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com

M. K. JONES

PROFESSIONAL ENGINEER

Idralia

FIRE
DEPARTMENT
ACCESS PLAN

SHEET NUMBER:

l OF 1



STANDARD DRAWING LEGEND  FOR ENTIRE PLAN SET (NOT TO SCALE)					
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE			
	ONSITE PROPERTY LINE / R.O.W. LINE				
	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE				
	EASEMENT LINE				
	SETBACK LINE				
	ZONING LINE				

PROP.

TRANSFORMER

PUBLIC OPEN SPACE

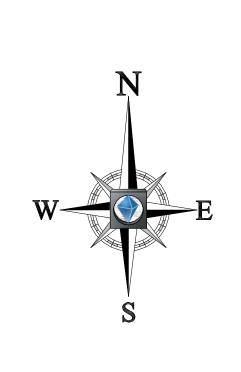
	Pebuto	2 Kin	05/12/16		NEIGHBORING PROPERTY LINE /	
12	* 10 TO		g		EASEMENT	
					LINE SETBACK	
					LINE ZONING	
				]	LINE	CURB AND GUTTER
$\frac{S}{}$	STANDARD ABBREVIATIONS		REVIATIONS			SPILL CURB TRANSITION CURB
	FOR E	NTIRE PL	AN SET		CONCRETE CURB & GUTTER	DEPRESSED CURB AND GUTTER
AC	ACRES	LOD	LIMITS OF DISTURBANCE			
ADA	AMERICANS WITH DISABILITY ACT	LOS	LINE OF SIGHT		UTILITY POLE WITH LIGHT	
ARCH	ARCHITECTURAL	LP	LOW POINT	<u> </u>	POLE LIGHT	
ВС	BOTTOM OF CURB	L/S	LANDSCAPE	- □€	TRAFFIC LIGHT	
BF	BASEMENT FLOOR	MAX	MAXIMUM	0	UTILITY POLE	0
BK	BLOCK	MIN	MINIMUM	0	TYPICAL LIGHT	
BL	BASELINE	MH	MANHOLE	÷	ACORN LIGHT	\$
BLDG	BUILDING	MJ	MECHANICAL JOINT		TYPICAL SIGN	_ <b>v</b> _
ВМ	BUILDING BENCHMARK	ос	ON CENTER	- X	PARKING COUNTS	X
BRL	BUILDING RESTRICTION LINE	PA	POINT OF ANALYSIS	169	CONTOUR LINE	<u> </u>
CF	CUBIC FEET	РС	POINT CURVATURE	TC 516.4 OR 516.4	SPOT ELEVATIONS	TC516.00 TC 516.00 BC 515.55
CL	CENTERLINE	PCCR	POINT OF COMPOUND CURVATURE, CURB RETURN	SAN #	SANITARY	SAN #
CMP	CORRUGATED METAL PIPE	PI	POINT OF INTERSECTION	\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	STORM	$\overline{X}$
CONN	CONNECTION	POG	POINT OF GRADE		LABEL SANITARY SEWER	# 
CONC	CONCRETE	PROP	PROPOSED		LATERAL UNDERGROUND	
СРР	CORRUGATED PLASTIC PIPE	PT	POINT OF TANGENCY	, , , , , , , , , , , , , , , , , , ,	WATER LINE UNDERGROUND	"
CY	CUBIC YARDS	PTCR	POINT OF TANGENCY, CURB RETURN		ELECTRIC LINE UNDERGROUND	
DEC	DECORATIVE	PVC	POLYVINYL CHLORIDE PIPE POINT OF VERTICAL		GAS LINE	G
DEP	DEPRESSED	PVI	INTERSECTION POINT OF VERTICAL		OVERHEAD WIRE	OH
DIP	DUCTILE IRON PIPE	PVT	TANGENCY		UNDERGROUND TELEPHONE LINE	Т
DOM	DOMESTIC	R	RADIUS		UNDERGROUND CABLE LINE	c
ELEC	ELECTRIC	RCP RET	REINFORCED CONCRETE PIPE		STORM SEWER	
ELEV	ELEVATION	WALL	RETAINING WALL	S	SANITARY SEWER MAIN	s ————
EP	EDGE OF PAVEMENT	R/W	RIGHT OF WAY	~	HYDRANT	V
ES	EDGE OF SHOULDER	S	SLOPE	S	SANITARY MANHOLE	
EW	END WALL	SAN	SANITARY SEWER	D	STORM MANHOLE	
EX FES	FLARED END	SF STA	SQUARE FEET STATION	⊗ <sup>WM</sup>	WATER METER	•
FFE	SECTION FINISHED FLOOR	STM	STORM	₩V ⊠	WATER	•
FH	FIRE HYDRANT	TBR	TO BE REMOVED		VALVE GAS	
FG	FINISHED GRADE	TBRL	TO BE RELOCATED		VALVE GAS	
G	GRADE  GARAGE FLOOR (AT	TC TELE	TOP OF CURB TELEPHONE		METER TYPICAL END	
GH	DOOR)  GRADE HIGHER SIDE	TPF	TREE PROTECTION FENCE		SECTION  HEADWALL OR	
	OF WALL  GRADE LOWER SIDE		TOP OF WALL		ENDWALL  YARD	
GL	OF WALL	TVD			INLET	
GRT	GRATE GATE VALVE	TYP	TYPICAL UNDERGROUND		CURB INLET	<u>©</u>
HDPE	HIGH DENSITY POLYETHYLENE PIPE	UP	UTILITY POLE	0	CLEAN OUT	0
HP	HIGH POINT	W	WIDE	E	ELECTRIC MANHOLE	(E)
HOR	HORIZONTAL	W/L	WATER LINE	(7)	TELEPHONE MANHOLE	(T)
HW	HEADWALL	W/M	WATER LINE WATER METER	EB	ELECTRIC BOX	EB
INT	INTERSECTION	±	PLUS OR MINUS	EP	ELECTRIC PEDESTAL	EP
INV	INVERT	۰	DEGREE		MONITORING WELL	
LF	LINEAR FOOT LIMITS OF CLEARING	Ø #	DIAMETER NUMBER		TEST PIT	<b>#</b>
		1	1		BENCHMARK	•
					BORING	

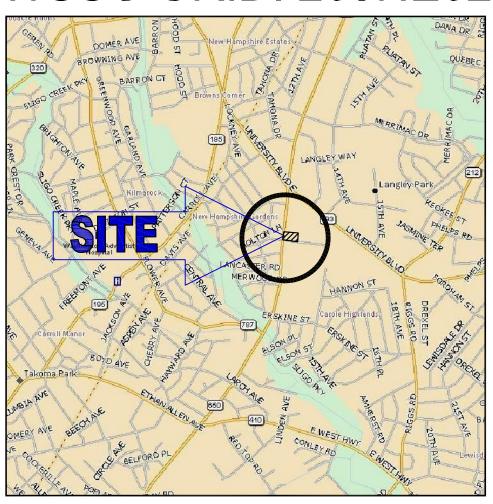
MARYLAND	Permit # combuild-742502 Date 09/21/16 Stammed By: Rehecca Mason		<b>§</b>
TAK	OMA	PAR	ÍK
	SITE PLA	AN	

MNCPPC # 820150150

Department of Permitting Services

**LOCATION OF SITE** NEW HAMPSHIRE AVE AND HOLTON AVE TAKOMA PARK, MD 20912 ELECTION DISTRICT NO. 18 MONTGOMERY COUNTY WSSC GRID: 209NE02





LOCATION MAP COPYRIGHT 2003 DELORME STREET ATLAS 2004 PLUS USA SCALE: 1"=2000'



Phone: (301) 809-4500 (301) 809-4501 MD@BohlerEng.com

CONTACT: BRADFORD L. FOX, P.E.

OWNER

JBG/TAKOMA RETAIL CENTER, L.L.C. 4445 WILLARD AVE., SUITE 400 CHEVY CHASE, MD 20815 PHONE: 301-657-0700

CONTACT: CARTER DAVIS

DEVELOPER/APPLICANT RJP CONSULTING GROUP 100 East Lancaster Avenue, Suite 200 DOWNINGTON, PA 19335 PHONE: 610-518-2930 CONTACT: WILL LEWIS

CIVIL ENGINEER **BOHLER ENGINEERING** 16701 MELFORD BOULEVARD, SUITE 310 BOWIE, MD 20715 PHONE: (301) 809 - 4500 CONTACT: BRADFORD FOX

GEOTECHNICAL ENGINEER ECS MID-ATLANTIC, LLC 1340 CHARWOOD ROAD, SUITE A HANOVER, MD 21076 PHONE: (410) 859-4300

ARCHITECT **GLMV ARCHITECTURE** 1525 E. DOUGLAS WITCHITA, KS 67211 PHONE: (316)265-9367 CONTACT: CARMEN ONKEN

EXTERIOR ELEVATIONS

CONTACT: ZACHARY ADCOCK

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-1
RESOLUTIONS AND PLAN CONDITIONS	C-2
SITE PLAN	C-4
SITE DETAILS	C-5
LANDSCAPE	
LANDSCAPE PLAN	LS-1
LANDSCAPE PLAN	LS-2
LIGHTING	
LIGHTING PLAN	LT-1
ARCHITECTURAL	
EXTERIOR ELEVATIONS	A4.0

DEVELOPN	MENT PROGRAM TABLE		
DEADLINE	TASK		
BEFORE ISSUANCE OF FIRST BUILDING PERMIT	CERTIFICATION FROM A QUALIFIED PROFESSIONAL THAT THE LIGHTING PLANS CONFORM TO THE IESNA STANDARDS (CONDITION #11A, SP)		
	SITE PLAN SURETY AND MAINTENANCE AGREEMENT INCLUDING PERFORMANCE BOND OR OTHER FORM OF SURETY IN ACCORDANCE WITH SECTION 59.7.3.4.K.4 OF THE MONTGOMERY COUNTY ZONING ORDINANCE (CONDITION #12, SP)		
PHASING OF STORMWATER MANAGEMENT AND SEDIMENT AND EROSION CONTROL	CITY OF TAKOMA PARK CITY ARBORIST MUST INSPECT ALL TREE-SAVE AREAS AND PROTECTION DEVICES PRIOR TO CLEARING AND GRADING. (CONDITION #10D, SP)		
	PHASE I - INSTALL SEDIMENT CONTROL DEVICES AND CONSTRUCTION ENTRANCE. PHASE II- COMPLETE BUILDING CONSTRUCTION, SITE WORK AND INSTALLATION OF ON-SITE LANDSCAPING AND LIGHTING.		
	DPS IS THE AUTHORITY ON SEDIMENT CONTROL AND CITY OF TAKOMA PARK CITY ENGINEER IS THE AUTHORITY OF SWM, AND THE ASSOCIATED PHASING MAY CHANGE AT THEIR DISCRETION (PROVIDED THAT THE CHANGES DO NOT CONFLICT WITH CONDITIONS OF APPROVAL FOR THE SITE PLAN)		
BEFORE FINAL USE AND OCCUPANCY CERTIFICATE	STREET LAMPS AND SIDEWALKS MUST BE INSTALLED BEFORE RELEASE OF ANY RESIDENTIAL/COMMERCIAL DEVELOPMENT USE AND OCCUPANCY CERTIFICATE FOR THE BUILDING. LANDSCAPE PLANTING MAY WAIT NO LATER THAN THE NEXT GROWING SEASON AFTER COMPLETION OF THE SITE WORK.		
	ON-SITE AMENITIES INCLUDING, BUT NOT LIMITED TO, PAVING, SIDEWALKS/PEDESTRIAN PATHWAYS, HARDSCAPE, BENCHES, TRASH RECEPTACLES, BICYCLE FACILITIES AND PUBLIC OPEN SPACE AMENITIES MUST BE INSTALLED.		
	ALL PUBLIC OPEN SPACE AREAS ON THE SUBJECT PROPERTY MUST BE COMPLETED. (CONDITION #1B, SP)		
	APPLICANT MUST MAKE A TRANSPORTATION POLICY AREA		

REVIEW (TPAR) MITIGATION PAYMENT.



ALTA/ACSM LAND TITLE SURVEY: BOHLER ENGINEERING "18115 GEORGIA AVENUE ELECTION DISTRICT NO.8 MONTGOMERY COUNTY, MARYLAND" DATE: 12/10/14

REVISED: 01/08/15 PROJECT NO.: SB14200601 UTILITIES

PHONE: (678) 762-2403 **WASHINGTON GAS - UTILIQUEST** PEPCO/UTILIQUEST: PHONE: (301) 210-0355 COMCAST -UTILIQUEST: PHONE: (410) 536-0070

FIBERLIGHT/SUNBELT TELECO: PHONE: (727) 596-1500

CITY OF TAKOMA PARK:

PHONE: (301) 891-7615



	REVISIONS				
REV	DATE	COMMENT	BY		



NOT APPROVED FOR CONSTRUCTION

DRAWN BY: CHECKED BY:

SCALE: AS SHOWN SITE PLAN #820150150 TACO BELL

TAKOMA PARK MUY

TACO BELL LOCATION OF SITE 1300 HOLTON LANE TAKOMA PARK, MD 20912 MONTGOMERY COUNTY LOTS 55 & 56

GUDE AND ABRAHAM'S



16701 MELFORD BLVD, SUITE 310 **BOWIE, MARYLAND 20715** Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com



COVER SHEET

OF 5

SHEET NUMBER:

I, MATTHEW K. JONES, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO 39999 EXPIRATION DATE 3/15/2017

The Undersigned agrees to execute all the features of the Site Plan Approval No. 820150150 including Approval Conditions, Development Program, and Certified Site Plan.

Address: 100 East Lancaster Avenue, Suite 200, Downingtown, PA 19335

Developer: RJP Consulting, LLC



GENERAL NOTE: T IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJEC

ORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE

FANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND

MONTGOMERY COUNTY PLANNING BOARD ARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

MCPB No. 15-159 Site Plan No. 820150150 Taco Bell Takoma Park Date of Hearing: January 7, 2016

WHEREAS, under Section 59-7.1.2 of the Montgomery County Zoning Ordinance, the Montgomery County Planning Board is authorized to review site plan applications; c. The bond or surety must be tied to the development program, and completion

WHEREAS, on August 28, 2015, RJP Consulting, LLC and MUY Brands, LLC "Applicant") filed an application for approval of a site plan for a 2,063-square-foot 13. Development Program estaurant with drive-thru on 0.56 acres of CR2.5: C 2.0, R 1.5, H 100 zoned-land, located

The Applicant must construct the development in accordance with a development in the northeast quadrant of the intersection of New Hampshire Avenue and Holton Lane program table that will be reviewed and approved prior to the approval of the ("Subject Property"), in the Silver Spring/Takoma Park Policy Area and Takoma Langley

Certified Site Plan.

Crossroads Sector Plan ("Sector Plan") area; and WHEREAS, Applicant's site plan application was designated Site Plan No.

820150150, Taco Bell Takoma Park ("Site Plan" or "Application"); and

WHEREAS, following review and analysis of the Application by Planning Board staff ("Staff") and other governmental agencies, Staff issued a memorandum to the Planning Board, dated December 24, 2015, setting forth its analysis and recommendation b. Add a note to the Site Plan stating that "M-NCPPC Staff must inspect all treefor approval of the Application, subject to certain conditions ("Staff Report"); and

WHEREAS, on January 7, 2016, the Planning Board held a public hearing at which it heard testimony and received evidence on the Application; and

WHEREAS, at the hearing, the Planning Board voted to approve the Application subject to certain conditions, by the vote certified below.

NOW, THEREFORE, BE IT RESOLVED that the Planning Board approves Site Plan No. 820150150 for a 2,063-square-foot restaurant with drive-thru on the Subject Property, subject to the following conditions:1

<sup>1</sup> For the purpose of these conditions, the term "Applicant" shall also mean the developer, the owner or any successor(s) in interest to the terms of this approval

With Appropriate Spring, Maryland 20940 Phone: 301.495.4605 Fax: 301.495.1320 Www.monigomer.pg.ming.80ard.org E-Mail: mep-chair@mneppe-me.org MCPB No. 15-159 Site Plan No. 820150150

## Public Use Space, Facilities and Amenities

1. Public Open Space, Facilities, and Amenities

a. The Applicant must provide a minimum of 2,500 square feet of public oper space (10% of net lot area) on-site. b. Before the issuance of the final use and occupancy certificate, all public oper space areas must be completed.

2. Maintenance of Public Amenities he Applicant is responsible for maintaining all publicly accessible amenities including, but not limited to pedestrian pathways, landscaping, hardscape, and

#### Transportation & Circulation

Taco Bell Takoma Park

3. Pedestrian & Bicycle Circulation The Applicant must provide two bicycle parking spaces for short-term use (one inverted "U" rack or approved alternative) as shown on the Certified Site Plan.

4. Transportation Policy Area Review The Applicant must make a Transportation Policy Area Review ("TPAR") mitigation Payment, equal to 25 percent of the General District Transportation Impact Tax, as required by the 2012-2016 Subdivision Staging Policy within the Silver Spring/Takoma Park Policy Area. The timing and amount of the payment will be

The Applicant must make 14 of the parking spaces available to the general public rather than reserved solely for the use of restaurant patrons, as required by Section 6.2.3.H.2 of the Zoning Ordinance.

in accordance with Chapter 52 of the Montgomery County Code.

#### **Agency Approvals**

vater Managemen The Planning Board accepts the recommendations of the City of Takoma Park in its stormwater management concept letter dated May 12, 2015, and hereby incorporates them as conditions of the Site Plan approval. The Applicant must comply with each of the recommendations as set forth in the letter, which may be amended by the City of Takoma Park provided that the amendments do not conflict with other conditions of the Site Plan approval.

Right-of-Way Permitting The Planning Board accepts the right-of-way permitting recommendations of the City of Takoma Park in its letter dated October 28, 2015, and hereby incorporates them as conditions of the Site Plan approval. The Applicant must comply with each of the recommendations as set forth in the letter, which may be amended by the City of Takoma Park provided that the amendments do not conflict with other conditions of the Site Plan approval.

Building Height

The development is limited to the maximum height of 23 feet, as measured from the building height measuring point shown on the Certified Site Plan.

 Site Design
 The exterior architectural character, proportion, materials, and articulation must be allowations shown on the latest approved. substantially similar to the schematic elevations shown on the latest approved architectural drawings included in the Certified Site Plan, as determined by Staff.

a. Before issuance of the final use and occupancy certificate for this Site Plan, all on-site amenities including, but not limited to, sidewalks/pedestrian pathways, hardscape, benches, trash receptacles, bicycle facilities, and public open space amenities must be installed. b. The Applicant must install the landscaping no later than the next growing

season after completion of the site work. c. The Applicant must retain the existing street trees along the property frontage on Holton Lane, as shown on the landscape plan. d. Before certification of the Site Plan, the Applicant, in consultation with a

qualified tree care professional, must revise the notes on the landscape plan

regarding the street trees to appropriately protect the subject trees. The notes may be further revised by the City of Takoma Park.

 Lighting
 Before issuance of any above-grade building permit, the Applicant must provide certification to Staff from a qualified professional that the exterior lighting in this Site Plan conforms to the Illuminating Engineering Society of North America (IESNA) recommendations in effect on the date of this resolution for a development of this type. All onsite exterior area lighting must be in accordance with the latest IESNA outdoor lighting recommendations in effect

on the date of this resolution. b. Deflectors must be installed on all up-lighting fixtures to prevent excess

c. Pole-mounted lights must not exceed the height illustrated on the Certified Site

Avenue. T

ii. Parking, Q

12. Site Plan Surety and Maintenance Agreement Before issuance of any building permit, the Applicant must enter into a Site Plan Surety and Maintenance Agreement with the Planning Board in a form approved by the M-NCPPC Office of General Counsel that outlines the responsibilities of the

Applicant. The Agreement must include a performance bond(s) or other form of surety in accordance with Section 59.7.3.4.k.4 of the Montgomery County Zoning Ordinance, with the following provisions: a. A cost estimate of the materials and facilities, which, upon Staff approval, will establish the surety amount;

b. The cost estimate must include applicable Site Plan elements including, but not limited to, entrance signage features, plant materials, on-site lighting, exterior site furniture, railings, curbs, gutters, sidewalks and associated improvements;

of plantings and installation of particular materials and facilities covered by the surety will be followed by inspection and release of the surety.

 <u>Certified Site Plan</u>
 Before approval of the Certified Site Plan, the following revisions must be made and/or information provided subject to Staff review and approval: a. Include the forest conservation exemption, stormwater management concept approval letter, development program, and Site Plan resolution on the approval

or cover sheet(s). save areas and protection devices before any land disturbance." . Add a note stating that "Minor modifications to the limits of disturbance shown

done during the review of the right-of-way permit drawings by the City of Takoma Park and/or the State Highway Administration." d. Modify data table to reflect development standards approved by the Planning Ensure consistency of all details and layout between Site and Landscape plans.

Show on the Site Plan a building height measuring location for the building.

on the Site Plan within the public right-of-way for utility connections may be

BE IT FURTHER RESOLVED that all site development elements shown on the latest electronic version of Taco Bell Takoma Park, 820150150, submitted via ePlans to the M-NCPPC as of the date of the Staff Report, are required, except as modified by the

above conditions of approval; and BE IT FURTHER RESOLVED that having considered the recommendations and findings of its Staff as presented at the hearing and as set forth in the Staff Report, which the Board hereby adopts and incorporates by reference (except as modified herein), and upon consideration of the entire record, the Planning Board FINDS, with the conditions of

1. The development satisfies any previous approval that applies to the site.

This finding is not applicable as there were no previous approvals that apply to the site. 2. The development satisfies the binding elements of any development plan or

schematic development plan in effect on October 29, 2014. This finding is not applicable as there are no binding elements of an associated development plan or schematic development plan in effect on October

3. The development satisfies any green area requirement in effect on October 29, 2014 for a property where the zoning classification on October 29, 2014 was the result of a Local Map Amendment

This finding is not applicable as the Subject Property's zoning classification on October 29, 2014 was not the result of a Local Map Amendment.

4. The development satisfies applicable use standards, development standards, and general requirements under the Zoning Ordinance.

a. <u>Use Standards</u>

Section 59-3.5.14.E specifies the following standards for approval of a drive-thru as a limited use:

 A Drive-Thru, including the queuing area, must be located a minimum of 100 feet from any property that is vacant or improved with a residential use in the Agricultural, Rural Residential, or Residential Detached zones. There are no properties in the agricultural, rural residential, or residential detached zones within 100 feet of the drive-thru

 For a Restaurant with a Drive-Thru, access to the site from a street with a residential classification is prohibited.

Access to the site is from Holton Lane, which is classified as a business district road, and New Hampshire Avenue, which is a majo

 A drive-thru service window, drive aisle, or gueuing area located between the street and the front main wall of the main building is The drive-thru service windows are located in the interior of the

the parking lot. No service window, drive aisle, or queuing area will be located between the building and the street. A drive-thru service window, drive aisle, or stacking area may be located between the street and the side wall of the main building on a corner lot if permanently screened from any street by a minimum 3

Subject Property, between the northern side wall of the building and

foot high wall or fence. The drive-thru service windows are located in the interior of the Subject Property, between the northern side wall of the building and the parking lot. No service window, drive aisle, or queuing area will be located between the building and the street.

Site plan approval is required under Section 7.3.4.

Approval of the Application by the Planning Board satisfies this

Development Standards

The Subject Property includes approximately 0.56 acres zoned CR 2.5, C 2.0, R 1.5, H100. The Application satisfies the applicable development standards as shown in the following data table:

	Table 1-Site Plan Project Data Table – Standard Method					
Section	Development Standard	Permitted/ Required	Approved in Site Plan			
59 – 4	Gross Tract Area (sf)	n/a	24,591			
4.5.3.C.2	Density CRT2.5, C2.0, R1.5, H100 Commercial FAR/GFA Residential FAR/GFA TOTAL FAR/GFA	1.0/24,591 1.0/24,591 <b>1.0/24,59</b> 1	0.08/2,063 0/0 <b>0.08/2,063</b>			
4.5.3.C.4	Building Height (feet) CRT2.5, C2.0, R1.5, H100	70	23			
4.5.3.C.3	Minimum Setback From New Hampshire Ave R.O.W. From Holton Lane R.O.W. Side Rear	0, 0, 0,	25′ 15.5′ 88′ 8.5′			
4.5.3.C.3	Build to Area From New Hampshire Ave R.O.W. From Holton Lane R.O.W.	70% of façade within 30' max 35% of façade within 20' max	70% of façad within 27' 35% of façad within 15.5'			
4.5.3.C.1	Open Space Public Open Space (%/sq. ft.)	10/2,459	10/2,500			
4.5.3.C.5	Transparency, for Walls Facing a Street Ground Story, Front Ground Story, Side	40% 25%	40% 36%			
6.2	Parking spaces, minimum- maximum	4-11	25 <sup>2</sup>			

General Requirements

 Site Access Access will be provided directly to the Subject Property via a

driveway from Holton Lane and through the parking lot for the

Area, the Application is considered to be inadequate under the TPAR transit test <sup>2</sup> Per Section 6.2.3.H.2, the maximum number of spaces may be exceeded if the spaces provided in excess and adequate under the TPAR roadway test. As a result, the Applicant must make of the maximum are made available to the public and not reserved for the restaurant. a payment equal to 25% of the general district development impact tax to satisfy

> Public facilities and services are available and will be adequate to serve the development. The Subject Property is proposed to be served by public water and

APPROVED Department of Permitting Services Permit # combuild-742502

Date 09/21/16

spaces. Although the Vehicle Parking Space table in Section 6.2.4.8

restaurant, as specified in Section 6.2.3.H.2.

iv. General Landscaping and Outdoor Lighting

iii. Open Space and Recreation

Hampshire Avenue frontage.

the Montgomery County Code.

b. Chapter 22A, Forest Conservation

subdivision; and

the applicable plan.

median from the main travel lanes.

area will not interfere with public streets or sidewalks.

The Application provides 2,500 square feet of public open space.

Landscaping and lighting, as well as other site amenities, are

provided to ensure that these facilities will be safe, adequate, and

efficient for year-round use and enjoyment by patrons. The

Application provides landscaping between the building and the New

As shown in the Development Standards table, the Application plan

meets all of the general requirements and development standards of

Section 4.5 of the Zoning Ordinance and the general development

requirements of Article 59-6 of the Zoning Ordinance.

a. Chapter 19, Erosion, Sediment Control, and Stormwater Management

A Stormwater Concept Plan was approved by the City of Takoma Park on

requirements for environmental site design to the maximum extent

May 12, 2015. The stormwater concept will meet stormwater management

practicable through the use of micro bio-retention facilities and underground

An exemption from submitting a forest conservation plan (Exemption

42015222E) was confirmed for the Subject Property on June 24, 2015, as

a modification to an existing non-residential developed property under

section 22A-5(t) of the Montgomery County Forest Conservation Law. The

Application meets the particular requirements of the exemption per the

or cumulatively after an exemption is issued;

protection area which must submit a water quality plan;

50% and the existing development is maintained;

conditions of approval are recommended regarding their protection

The development provides safe, well-integrated parking, circulation patterns,

Parking will be provided on-site, to the north of the building and drive-thru aisle.

The parking will be not be placed between the building and either New Hampshire

Avenue or Holton Lane. The parking lot aisles and drive-thru area will provide safe

and well integrated circulation patterns, with traffic control signs and lane markings.

Hampshire Avenue and Holton Lane, as well as via marked pedestrian crossings

from the parking lot. The building will be placed as close as possible to the

intersection of New Hampshire Avenue and Holton Lane in order to create a

presence on the street, while being set back far enough to accommodate future

widening of the New Hampshire Avenue right-of-way. Ten percent of the Subject

Property will be provided as public open space, which will be located along the

space will be improved with landscaping and an outdoor dining area, which will

enliven this corner of the intersection of New Hampshire Avenue and Holton Lane.

master plan and any guidelines approved by the Planning Board that implement

The Subject Property is located within the 2012 Takoma Langley Crossroads

Sector Plan area, in the Crossroads District. The Sector Plan's vision is to create

dependency. The Sector Plan envisions redevelopment of existing shopping

streets. Sector Plan recommendations specific to the Subject Property include the

following for New Hampshire Avenue: a 150-foot-wide right-of-way, a 15-foot-wide

public improvement easement, and a low-speed access lane separated by a

However, the Sector Plan recognizes that redevelopment will not take place

quickly, but rather that it will happen incrementally. Page 16 of the Sector Plan

acknowledges that significant redevelopment of the Crossroad District is unlikely

to occur until financing is secured for the construction of planned transit facilities,

such as the Purple Line. It also acknowledges that major improvements to the

right-of-way for New Hampshire Avenue are not likely to occur until significant

redevelopment of the major shopping centers happens. On page 19, the Sector

Plan specifically recommends allowing interim development that does not

compromise the Sector Plan's ultimate objectives and recommendations if it

provides for growth opportunities for existing businesses and uses. The restaurant

was previously existing at the intersection of New Hampshire Avenue and

University Boulevard, but was removed to make way for construction of the transit

The restaurant with drive-thru does not fully implement the vision of the Sector

Plan. This type of development, a single-story, single-use building with a drive-

thru, does not advance the Sector Plan's vision of mixed-use redevelopment.

Because the Subject Property is an existing platted lot, a preliminary plan of

subdivision is not required, and there is no opportunity to require right-of-way

adjacent to New Hampshire Avenue is not being provided.

conforms with the Sector Plan

storm drainage, and other public facilities.

congestion threshold of 1,600 CLV.

efficient vehicular and pedestrian access

dedication along the Subject Property's frontage. Further, the access lane

The restaurant with drive-thru is an interim use, and approval of the Application will

not compromise future realization of the Sector Plan's recommendations. The

building and site design will not hinder the eventual development of the Subject

Property and the surrounding area as a new mixed-use neighborhood because the

small building does not represent such a significant investment in the Subject

Property that would prevent it from being removed whenever a more significant project is proposed for the site. In addition, the building is sufficiently set back from

New Hampshire Avenue to allow for the future right-of-way dedication called for in

The Application does meet other recommendations of the Sector Plan. For

example, the landscape area between the building and the New Hampshire

Avenue sidewalk is consistent with the recommendation on page 24 to provide

landscape panels along New Hampshire Avenue. The placement of the parking

spaces on the north side of the building, on the far side of the building from Holton

Lane, is consistent with the recommendation on page 30 that surface parking be placed behind or to the side of development (instead of between buildings and the

Based on the interim nature of the use and building, the Application substantially

A traffic study, dated June 19, 2015, was submitted for the Application per the Local Area Transportation Review ("LATR")/Transportation Policy Area Review

("TPAR") Guidelines because the development is estimated to generate 30 or more peak-hour trips during the typical weekday morning (6:30 a.m. - 9:30 a.m.)

and evening (4:00 p.m. - 7:00 p.m.) peak periods. A trip generation summary for the development, provided in the Staff Report, shows that the development will

generate 48 new morning peak hour trips and 33 new evening peak hour trips. The Staff Report shows that trips generated by the development will marginally

increase traffic at the studied intersections, but will remain within the Policy Area

As a development within the Silver Spring/Takoma Park Transportation Policy

the 2012-2016 Subdivision Staging Policy. The development satisfies the LATR and TPAR requirements of the APF review and will provide safe, adequate, and

8. The development will be served by adequate public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads

centers with mixed-use, multi-story buildings connected by a network of nev

a transit-oriented, pedestrian-friendly community that reduces automobile

7. The development substantially conforms to the recommendations of the applicable

building's frontage on New Hampshire Avenue and Holton Lane. The public open

Pedestrian access to the building will be provide from the sidewalks on New

building massing and, where required, open spaces and site amenities.

no more than 5,000 square feet of forest is ever cleared at one time

the modification does not result in the cutting, clearing, or grading of

the modification does not require approval of a preliminary plan of

the modification does not increase the developed area by more than

Existing street trees along Holton Lane, which are up to approximately 8"

caliper, cannot readily be replaced due to the narrowness of the planting

bed. Care should be taken to appropriately protect these trees. Therefore,

any forest in a stream buffer or located on property in a special

5. The development satisfies the applicable requirements of Chapters 19 and 22A of

Montgomery County Fire biect Property will have

ther public facilities and h services, are operating surrently in effect and wil telecommunications, and

gas services are also available to serve the Subject Property.

of the Zoning Ordinance indicates that the maximum number of parking spaces for the restaurant is 11, the maximum may be 9. The development is compatible with existing and approved or pending adjacent exceeded because the spaces provided in excess of the maximum will be made available to the public and not reserved for the

The development is compatible with and will complement the existing uses in the adjacent development. The Crossroads District is predominately developed with low-density commercial and service uses. The Applicant will improve the Subject The drive-thru lane will provide seven queuing spaces. The queuing Property with a building, streetscape, and stormwater management improvements and will add a use that will activate an underutilized surface parking lot. The introduction of the restaurant will activate this street corner. Additionally, the building location preserves the option to widen New Hampshire Avenue per the The Application has a 10 percent public open space requirement, which yields a requirement of 2,459 square feet of public open space.

10. There is a need for the approved use due to an insufficient number of similar uses presently serving existing population concentrations in the County, and the uses at the approved location will not result in a multiplicity or saturation of similar uses in the same general neighborhood.

Economic, Sector Plan, and traffic analyses do not indicate a saturation of similar uses in the existing population concentration where the Subject Property is

The Applicant submitted a needs study, dated October 15, 2015, which presents market information that demonstrates that there is presently an insufficient number of quick service restaurants in the market area to satisfy the current market demand. The study concludes that there is an unmet demand of \$5.5 million annually for this type of establishment in the market area, with no oversaturation of quick service restaurants with drive-thrus.

and will not lead to an oversaturation of such uses

As discussed in finding 7 above, as an interim use, the Application is in substantial compliance with the Sector Plan. The interim restaurant use and building will not preclude eventual realization of the Sector Plan's vision for future development

As discussed in finding 8 above, the use will only marginally increase traffic at the studied intersections, and will not increase it above the congestion threshold for

the Silver Spring/Takoma Park Transportation Policy Area. The restaurant with drive-thru will not lead to an oversaturation of such uses.

BE IT FURTHER RESOLVED that this Resolution incorporates by reference all

evidence of record, including maps, drawings, memoranda, correspondence, and other BE IT FURTHER RESOLVED that this Site Plan shall remain valid as provided in Montgomery County Code § 59-7.3.4.H; and

BE IT FURTHER RESOLVED that this Resolution constitutes the written pointon of the Board in this matter, and the date of this Resolution is \_\_\_ which is the date that this resolution is mailed to all parties of record); and

BE IT FURTHER RESOLVED that any party authorized by law to take an administrative appeal must initiate such an appeal within thirty days of the date of this Resolution, consistent with the procedural rules for the judicial review of administrative agency decisions in Circuit Court (Rule 7-203, Maryland Rules).

> . . . . . . . . . . CERTIFICATION

This is to certify that the foregoing is a true and correct copy of a resolution adopted by the Montgomery County Planning Board of the Maryland-National Capital Park and Planning Commission on motion of Commissioner Drevfuss, seconded by Commissione Presley, with Chair Anderson, Vice Chair Wells-Harley, and Commissioners Dreyfuss and Presley voting in favor, and Commissioner Fani-González opposed, at its regular meeting held on Thursday, January 7, 2016, in Silver Spring, Maryland.

Montgomery County Planning Board

ONTGOMERY COUNTY PLANNING DEPARTMENT

June 24, 2015 Mr. Brenton Hutchinson AN WG Takoma LP 1430 Broadway STE 1630

New York, NY. 10018 Re: Forest Conservation Exemption 42015222E; Taco Bell, Takoma Park

Dear Mr. Hutchinson:

Based on the review by staff of the Montgomery County Planning Department, the Forest Conservation Exemption Request submitted on June 19, 2015 for the plan identified above, is confirmed. The project site is exempt from Article II of the Montgomery County Code, Chapter 22A (Forest Conservation Law), Section 22A-5(t) because the site is a modification to an existing non-residential developed property: (1) no more than 5,000 square feet of forest is ever cleared at one time or cumulatively after an exemption is issued, (2) the modification does not result in the cutting, clearing, or grading of any forest in a stream buffer or located on property in a special protection area which must submit a water quality plan, (3) the modification does not require approval of a preliminary plan of subdivision, and (4) the modification does not increase the developed area by more than 50% and the existing development is maintained.

A pre-construction meeting is required after the limits of disturbance have been staked prior to clearing and grading. The property owner, construction superintendent, forest conservation inspector, and the Montgomery County Department of Permitting Services sediment control inspector shall attend this meeting. If you have any questions regarding these actions, please feel free to contact me at 301-495-4581 or at <a href="mailto:david.wigglesworth@montgomeryplanning.org">david.wigglesworth@montgomeryplanning.org</a>.

David Wigglesworth Sr. Planner **Development Applications & Regulatory Coordination** 

42015222E

CC: Will Lewis (RPJ) Matt Jones (Bohler Eng.)

8787 Georgia Avenue, Sdver Spring, Maryland 20910 ations and Regulatory Coordination Division: 301.495.4550 Fax: 301.495.1306 www.MongtomeryPlanning.org

# City of Takoma Park

**DEPARTMENT OF PUBLIC WORKS** Telephone: 301-891-7633 5/12/2015May 12, 2015FAX: 301-



May 12, 2015

Bohler Engineering 16701 Melford Blvd. Bowie, MD 20715 Re: SWC 15-03-01 Takoma

Mr. Bradford Fox, P.E.

7681 New Hampshire Avenue Takoma Park MD (Taco Bell)

This is to inform you that the above reference application has been reviewed. The referenced Concept Approval application and response package submitted on 5/12/2015 were found acceptable. A tree protection plan approved by the City Arborist, if required for this project should be obtained as a condition of this approval.

Please refer to Takoma Code title 16 for complete description of Stormwater Management Plan Permit requirements. A summary expert of SWM Permit requirement documents is listed below for your convenience.

. SWM Permit application. 2. Three (3) Copies of the final SWM plans

3. Sediment and Erosion Control set of plans approved by MC DPS.

4. Construction cost estimate of SWM facilities for the propose of setting the Bond 5. A Permit fee Equal to 10 % of the total cost of SWM facilities A performance Bond equal to the approved construction cost of the SWM facilities

. Declaration of Covenants inspection/Maintenance of Stormwater Management System 8. Maintenance schedule developed for the life of SWM facilities installed on the Plans 9. Schedule for staged inspection and reports (Takoma Code 16.04.210, 16.04.260). 10. Takoma Park Code Section 16.04.30 provides that "

"The City Manager, in his or her sole discretion, may accept the certification of a registered professional engineer licensed in Maryland in lieu of any inspection during construction required by this chapter". Under this option, the owner shall in a letter name the professional engineer registered in

Maryland who would be providing inspection and certification for all the stages of construction described in the referenced section of Takoma Code including preparation and presentation of the final As- Built plans and certifications.

SW6 15-03-01 for 7681 New Hampshire Avenue, Takoma Park MD (Taco Bell)

Upon Completion of the project and prior to Bond release, an as-built plan of the SWM facilities along with certification by a professional engineer shall be submitted to this department. I appreciate the opportunity to be of service; should you require additional assistance please call the undersigned at 301-8917620.

Ali Khalilian, P.E. City Engineer City of Takoma Park

cc: Daryl Braithwaite

File

Todd Bolton

Fax: (301) 270-4568

October 28, 2015

Neil Braunstein, Planner Coordinator

Maryland-National Capital Park and Planning Commission

Site Plan No. 820150150

between JBGR (property owner) and the City of Takoma Park.

Area One Planning Division

Silver Spring, Maryland 20910

8787 Georgia Avenue

Sincerely

allegel

Erkin Ozberk, Senior Planner

Stacy Silber, Lerch, Early, & Brewer

City of Cakoma Park

Taco Bell at New Hampshire Avenue and Holton Lane

meeting with regards to right-of-way in their September 29 site plan resubmittal.

The City of Takoma Park has completed its review of site plan file 820150150. The applicant has

incorporated all of the City's comments from the September 14 Development Review Committee

Installation and maintenance of a public bus shelter by the City's contractor on the proposed

concrete bus pad on New Hampshire Avenue within the LOD will require a License Agreement

The proposed LOD extends into Holton Lane, a City of Takoma Park right-of-way. Applicant

Department. Please contact Ian Chamberlain, Construction Manager, at (301) 891-7611 to obtain

Enclosed is Resolution 2015-60 adopted by the Takoma Park City Council on October 19, 2015

with regards to the site plan, to be transmitted to the Planning Board. Also enclosed is all

electronic and written correspondence received by the City Clerk with regard to the project.

regarding this letter, please contact me at <a href="mailto:ErkinO@takomaparkmd.gov"><u>ErkinO@takomaparkmd.gov</u></a> or (301) 891-7213.

ce: Sara Daines, Director, Housing and Community Development Department

Ian Chamberlain, Construction Manager, Public Works Department

Thank you for the opportunity to review this site plan. If you have any questions or comments

shall obtain a permit to work in the right-of-way from the City of Takoma Park Public Works

.....

• • • • • • •

REVISIONS COMMENT



NOT APPROVED FOR

IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA

1-800-245-4848) (PA 1-800-242-1776) (DC 1-800-257

NORTH CAROLINA AND DELAWARE CALL - 811

CONSTRUCTION DRAWN BY:

BLF CHECKED BY: AS SHOWN SCALE: CAD I.D.:

SITE PLAN #820150150 TACO BELI TAKOMA PARK

TACO BELI

LOCATION OF SITE 1300 HOLTON LANE TAKOMA PARK. MD 20912 MONTGOMERY COUNTY LOTS 55 & 56 GUDE AND ABRAHAM'S



16701 MELFORD BLVD , SUITE 310 **BOWIE, MARYLAND 20715** Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com

M.K. JONES PROFESSIONAL ENGINEER

RESOLUTIONS CONDITIONS

SHEET NUMBER:

I, MATTHEW K. JONES, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO 39999 EXPIRATION DATE: 3/15/2017

The Undersigned agrees to execute all the features of the Site Plan Approval No. 82015015 including Approval Conditions, Development Program, and Certified Site Plan Developer: RJP Consulting, LLC Will Lewis

**Developer's Certificate** 

Address: 100 East Lancaster Avenue, Suite 200, Downingtown, PA 19335 hone: 610-518-2930

OF 5

T IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT RIK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE T HE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUT TANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN

#### GENERAL DEMOLITION NOTES:

1. THIS PLAN IS BASED UPON THE FOLLOWING ALTA/ACSM LAND TITLE SURVEY:

PREPARED BY: BOHLER ENGINEERING TITLED: "TACO BELL- TAKOMA PARK 7681 NEW HAMPSHIRE AVE. (13TH) ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND" FIELD DATE: 12/09/14 DATED: 12/10/14

PROJECT NO.: SB14200601

- 2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME
- 3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.
- 4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION ONLY REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- 5. CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.
- 6. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:
- A.OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK AND DEMOLITION WORK.
- 7. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY; HOWEVER, NO PHYSICAL INDICATIONS OF SUCH WERE FOUND AT THE TIME OF THE FIELD INSPECTION OF THIS SITE.

THAT SITE CIVIL AND CONSULTING ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING

SITE CIVIL AND SERVICES

SITE CIVIL AND SERVICES

SITE CIVIL AND SERVICES

SITE CIVIL AND SERVICES

SEN, IN

4 BALTIMORE, MD

5 SOUTHERN MARYLAND

6 NORTHERN VIRGINIA

7 CHARLOTTE, NC

7 CHARLOTTE, NC

8 CHARLOTTE, NC

8 CHARLOTTE, NC

9 CHARLOTTE, NC

1 CHARLOTTE, NC

2 CHARLOTTE, NC

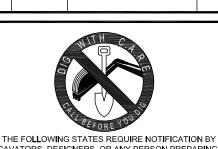
2 CHARLOTTE, NC

2 CHARLOTTE, NC

3 CHARLOTTE, NC

3 CHARLOTTE, NC

4 CHA



CAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO ISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE. IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, NORTH CAROLINA AND DELAWARE CALL - 811 VV 1-800-245-4848) (PA 1-800-242-1776) (DC 1-800-257-7777 /A 1-800-552-7001) (MD 1-800-257-7777) (DE 1-800-282-8555)

NOT APPROVED FOR CONSTRUCTION

PROJECT No.:
DRAWN BY:
CHECKED BY:
DATE:
SCALE:
CAD I.D.:

SITE PLAN #820150150

06/25/15 1"= 20'

TACO BELL
TAKOMA PARK

MUY TACO BELL

LOCATION OF SITE 1300 HOLTON LANE TAKOMA PARK, MD 20912 MONTGOMERY COUNTY



16701 MELFORD BLVD , SUITE 310 BOWIE, MARYLAND 20715 Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com

M. K. JONES

PROFESSIONAL ENGINEER
MARYLAND LICENSE No. 39999

EXISTING
CONDITIONS /
DEMOLITION
PLAN

SHEET NUMBER:

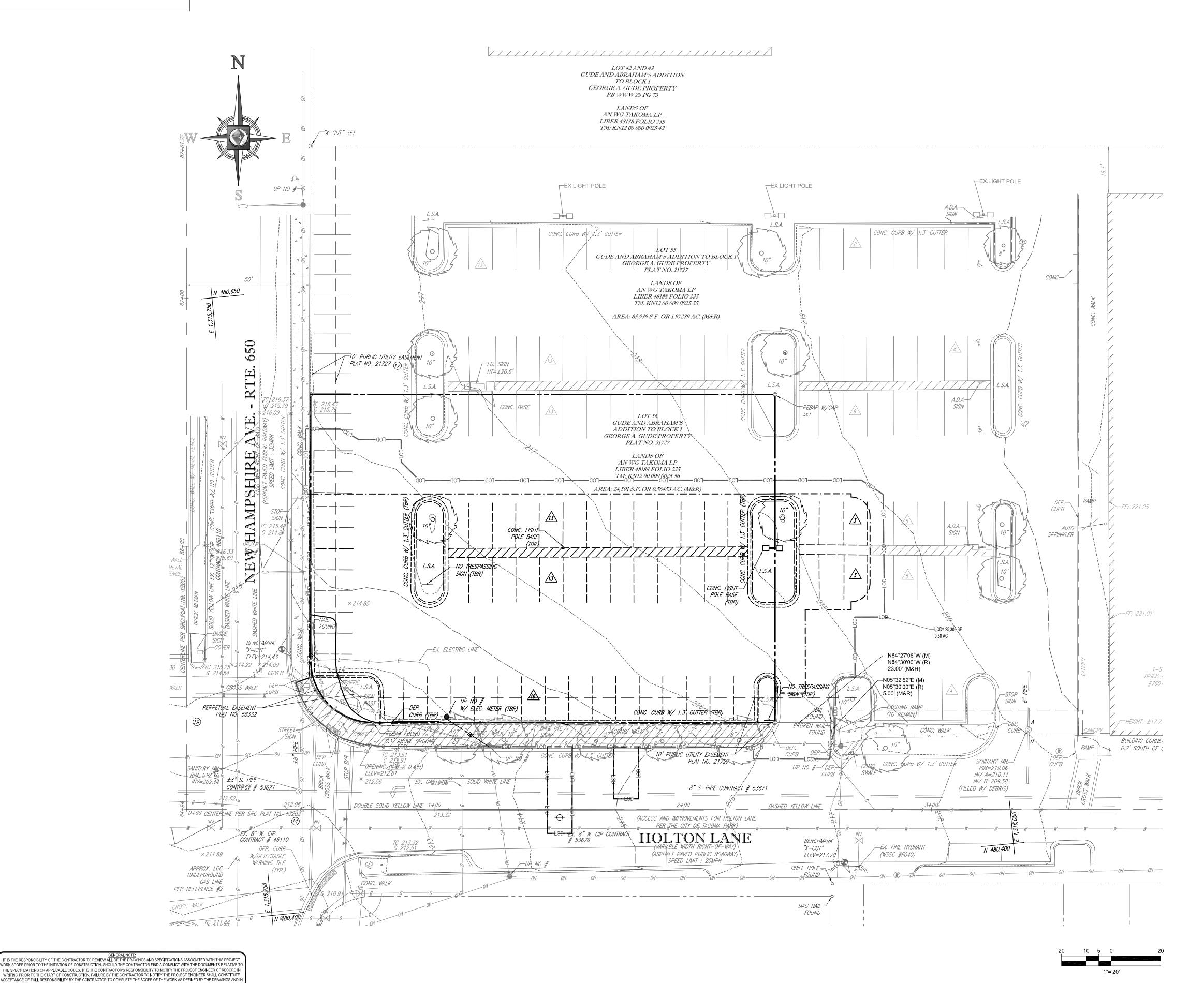
PROFESSIONAL CERTIFICATION
I, MATTHEW K. JONES, HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 39999, EXPIRATION DATE: 3/15/2017

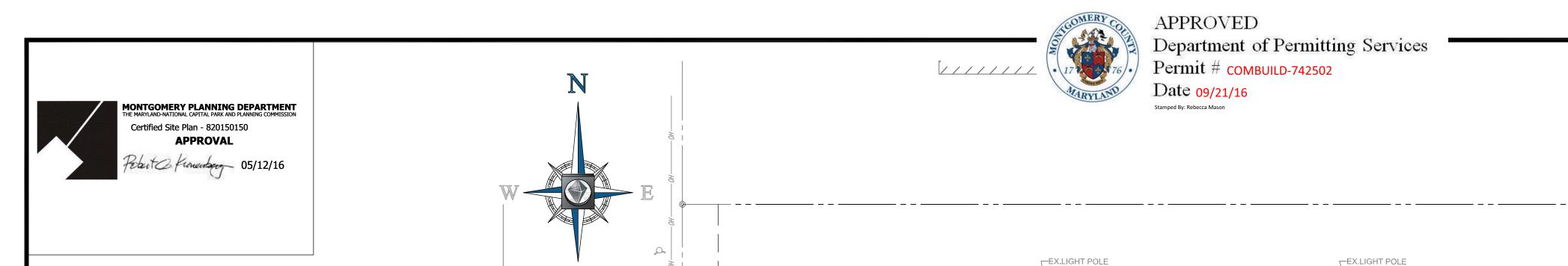
Developer's Certificate

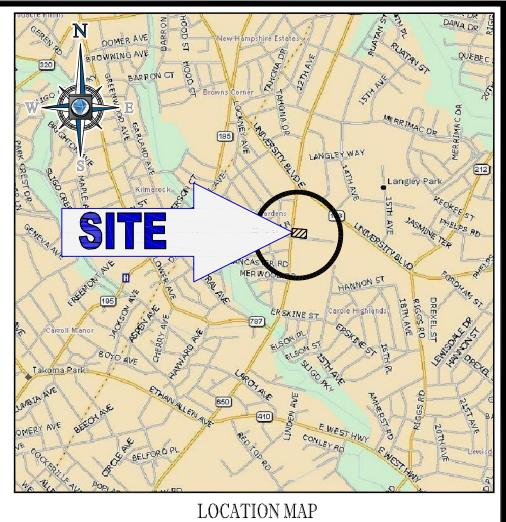
The Undersigned agrees to execute all the features of the Site Plan Approval No. 820150150 including Approval Conditions, Development Program, and Certified Site Plan.

Address: 100 East Lancaster Avenue, Suite 200, Downingtown, PA 19335

Developer: RJP Consulting, LLC







COPYRIGHT 2003
DELORME STREET ATLAS 2004 PLUS USA
SCALE: 1"=2000'

NOTE:

EX.LIGHT POLE

SEE SHEET C-6 FOR SITE DETAILS

DEVELOPMENT SEQUENCE: DEVELOPMENT IS PLANNED TO TAKE PLACE IN ONE PHASE (DEMOLITION, BUILDING, AND SITE WORK)

REVISIONS COMMENT



AVATORS, DESIGNERS, OR ANY PERSON PREPARING IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA. NORTH CAROLINA AND DELAWARE CALL - 811
1-800-245-4848) (PA 1-800-242-1776) (DC 1-800-257-7
1-800-552-7001) (MD 1-800-257-7777) (DE 1-800-282-8

NOT APPROVED FOR CONSTRUCTION

DRAWN BY: CHECKED BY: SCALE: CAD I.D.:

AS SHOWN SITE PLAN #820150150

TACO BELL TAKOMA PARK

TACO BELL

LOCATION OF SITE 1300 HOLTON LANE TAKOMA PARK, MD 20912 MONTGOMERY COUNTY LOTS 55 & 56 GUDE AND ABRAHAM'S



16701 MELFORD BLVD, SUITE 310 **BOWIE, MARYLAND 20715** Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com

M. K. JONES

PROFESSIONAL ENGINEER

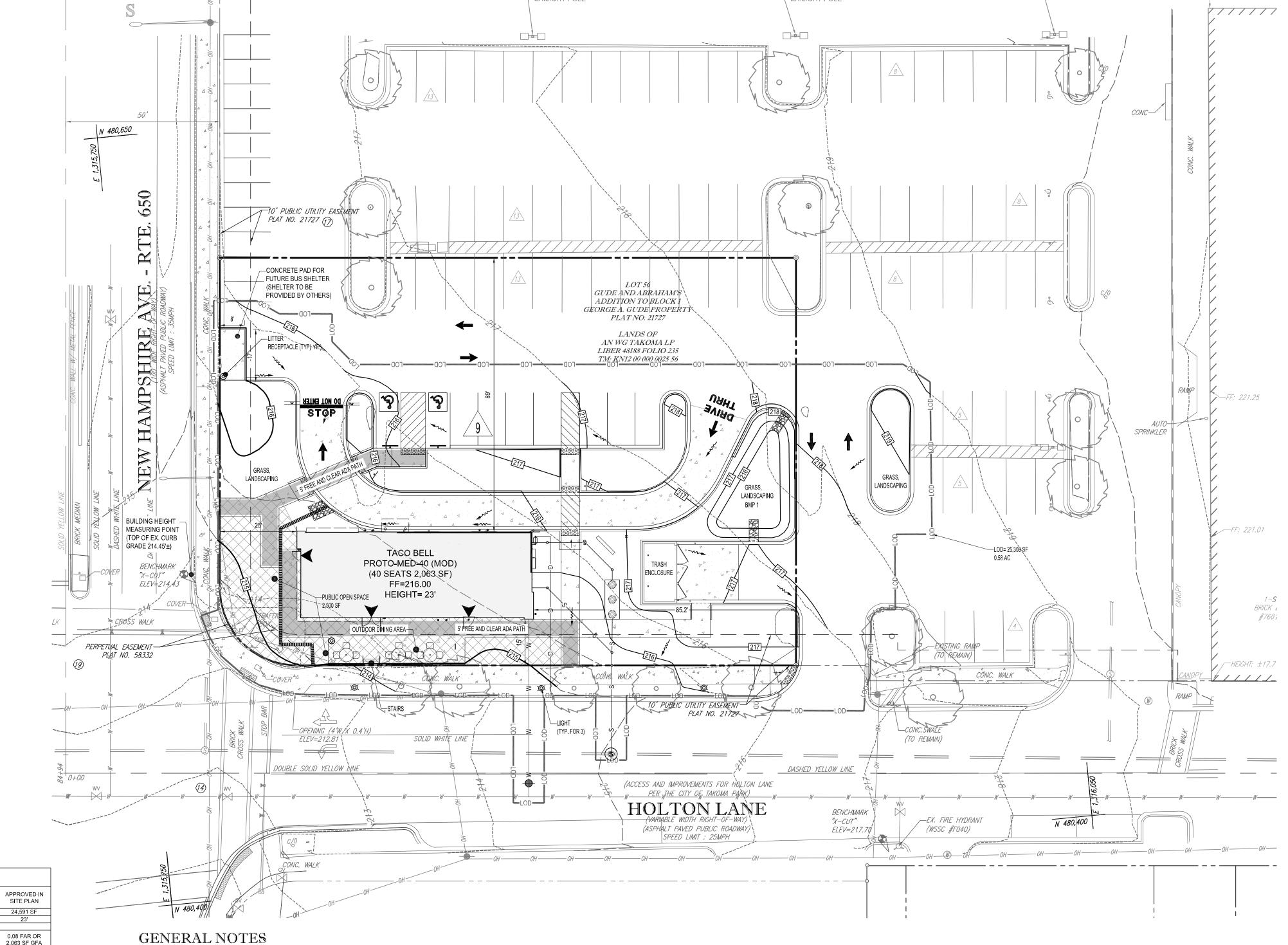
SHEET TITLE:

SITE PLAN

OF 5

SHEET NUMBER:

I, MATTHEW K. JONES, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND,



- 1. M-NCPPC STAFF MUST INSPECT ALL TREE-SAVE AREAS AND PROTECTION DEVICES BEFORE ANY LAND
- DISTURBANCE. 2. MINOR MODIFICATIONS TO THE LIMITS OF DISTURBANCE SHOWN ON THE SITE PLAN WITHIN THE PUBLIC RIGHT-OF-WAY FOR UTILITY CONNECTIONS MAY BE DONE DURING THE REVIEW OF THE RIGHT-OF-WAY

<sup>4</sup>CRT-2.5 ZONE IS ELIGIBLE TO BE CONSIDERED A REDUCED PARKING AREA. REQUIRED SPACES SHOWN REFLECT THIS REDUCTION.

PERMIT DRAWINGS BY THE CITY OF TAKOMA PARK AND/OR THE STATE HIGHWAY ADMINISTRATION."

BUILDING USE	USE CATEGORY	Y ZONING ORDINANCE DEVELOPMENT STANDARDS		PARKING REQUIRED		PARKING PROPOSED		PUBLIC BICYCLE PARKING	PUBLIC BICYCLE PARKING
		MINIMUM	MAXIMUM	MINIMUM	MAXIMUM	STANDARD SPACES	23 SPACES	REQUIRED	PROPOSED
TACO BELL	RESTAURANT (GENERAL)	4 SPACES/1,000 S.F. OF PATRON USE	12 SPACES/1,000 S.F. OF PATRON USE	4/1,000 X 875.3 PATRON S.F. = 3.5 = 4 SPACES	12/1,000 X 875.3 PATRON S.F. = 10.5 = 11 SPACES	ADA SPACES	2 SPACES (2 VAN ACCESSIBLE)	1 BIKE PARKING SPACE /10,000 SF = 1.0 BICYCLE PARKING SPACE (MIN)	2 BICYCLE PARKING SPACES
			TOTAL SPACES	4 SPACES	11 SPACES		25 SPACES <sup>2</sup>	1 BICYCLE PARKING SPACE	2 BICYCLE PARKING SPACES
² PARKING	COMPLIES WITH THE	MAXIMUM REQUIREME	ENT BECAUSE PARKING	SPACES IN EXCESS OF MAXIMUM WIL	L NOT BE RESERVED FOR TACO BELL'S	USE.			

LEGEND

PUBLIC OPEN SPACE

Developer: RJP Consulting, LLC Address: 100 East Lancaster Avenue, Suite 200, Downingtown, PA 19335

Developer's Certificate

The Undersigned agrees to execute all the features of the Site Plan Approval No. 820150150 including Approval Conditions, Development Program, and Certified Site Plan.

LICENSE NO. 39999, EXPIRATION DATE: 3/15/2017

ORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE TANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IT

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJEC

PROJECT DATA TABLE: CRT-2.5 ZONE (C-2.0, R-1.5, H-100)

TOTAL PUBLIC OPEN SPACE

FRONT(NEW HAMPSHIRE AVE.)

NORTH SIDE SOUTH SIDE (HOLTON LANE)

SIDE STREET

<sup>1</sup> THE BUILD TO AREA MAXIMUM SETBACK MAY BE INCREASED BY THE MINIMUM SETBACK NECESSARY TO AVOID A PLATTED PUBLIC

D. FLOOR AREA RATIO (FAR) (BUILDING COVERAGE TO GROSS TRACT AREA)

B. GROSS TRACT AREA
C. MAXIMUM BUILDING HEIGH

E. PUBLIC OPEN SPACE

H. MIN. BUILDING SETBACKS

. MAXIMUM SETBACK - BUILD TO AREA<sup>1</sup>

ZONING ORDINANCE

10 % NET TRACT AREA 2,459 SF

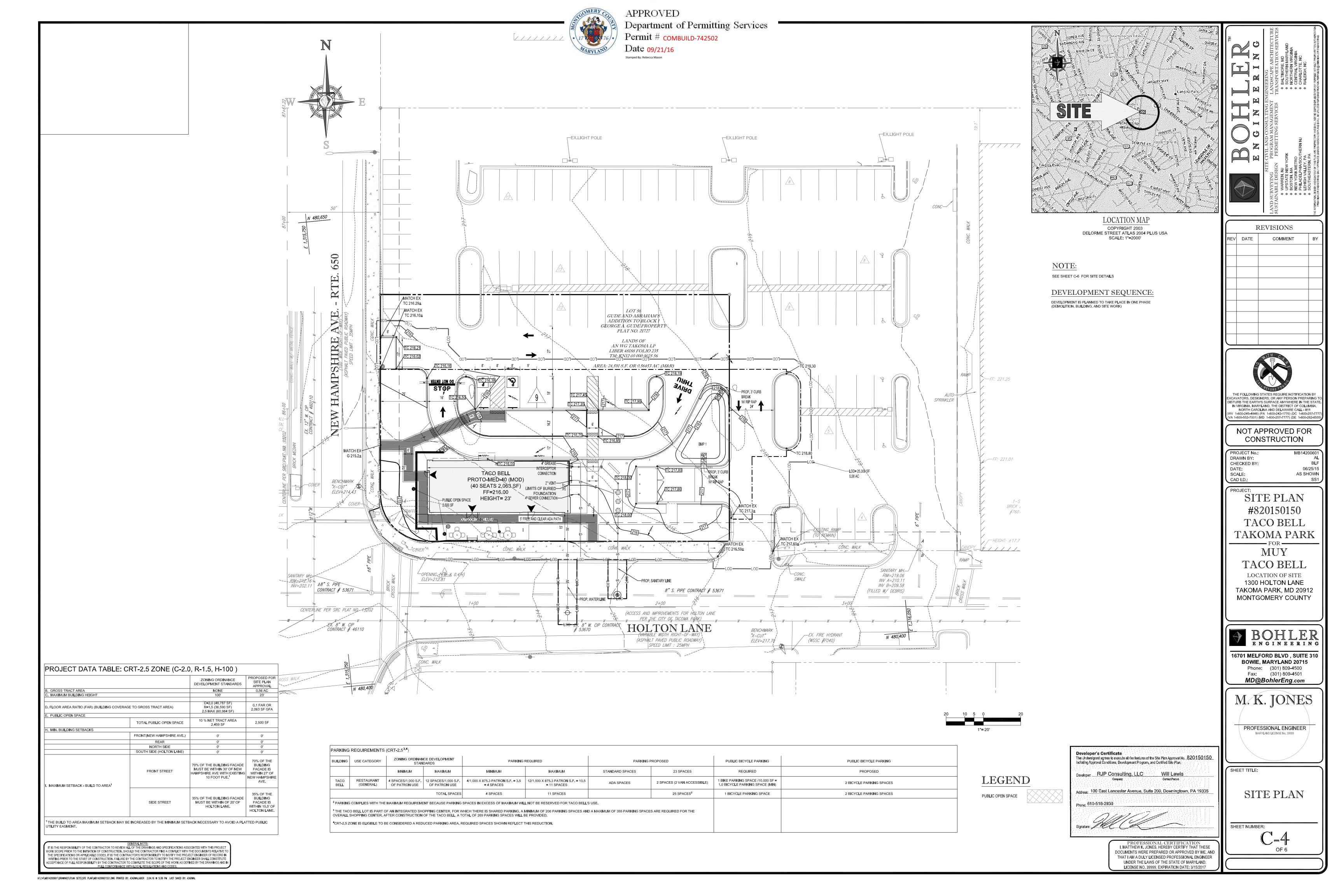
HOLTON LANE.

MUST BE WITHIN 30' OF NEW HAMPSHIRE AVE WITH EXISTING WITHIN 27'

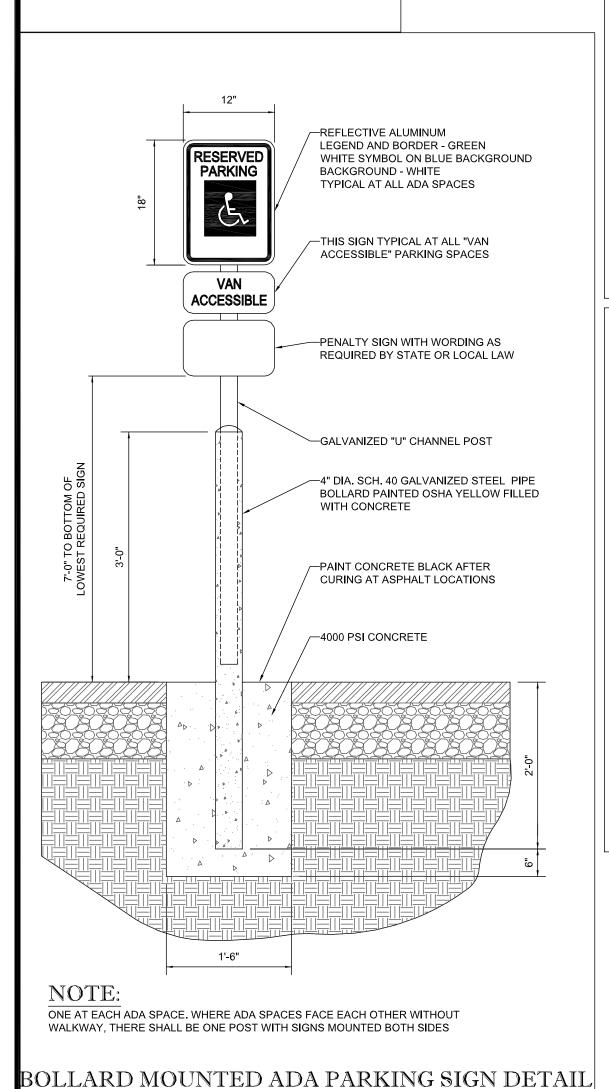
35% OF THE BUILDING FACADE MUST BE WITHIN 0F 20' OF WITHIN 15.5'

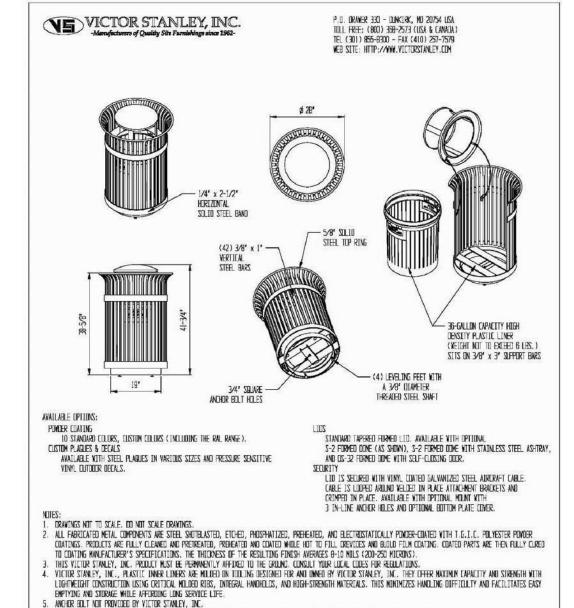
10 / 2,500 SF

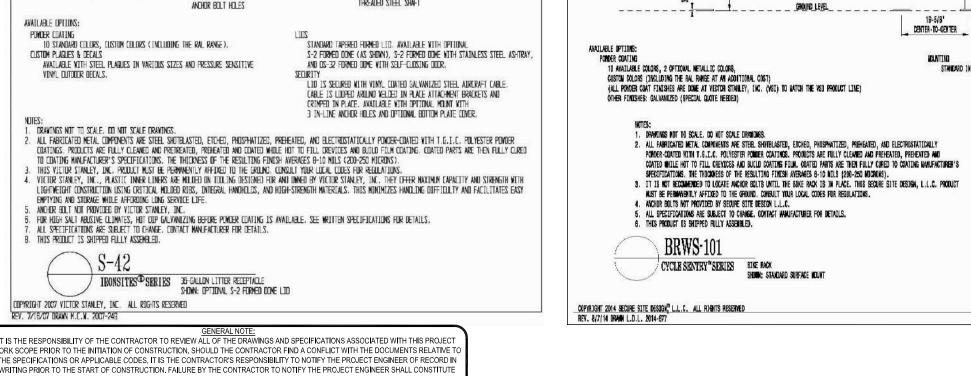
DEVELOPMENT STANDARDS

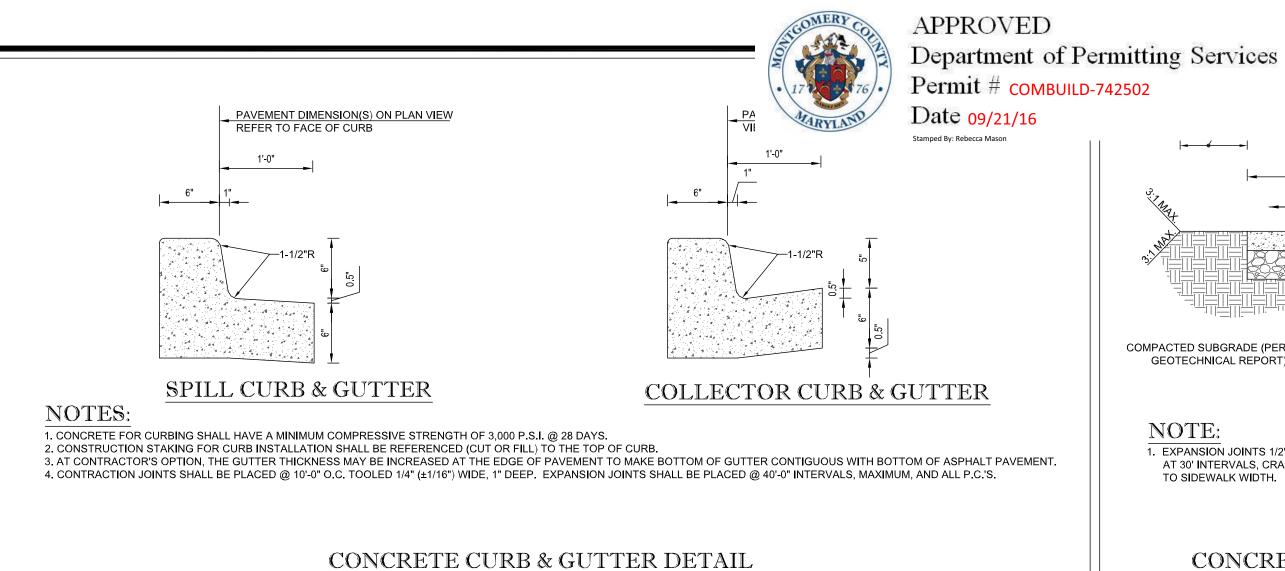


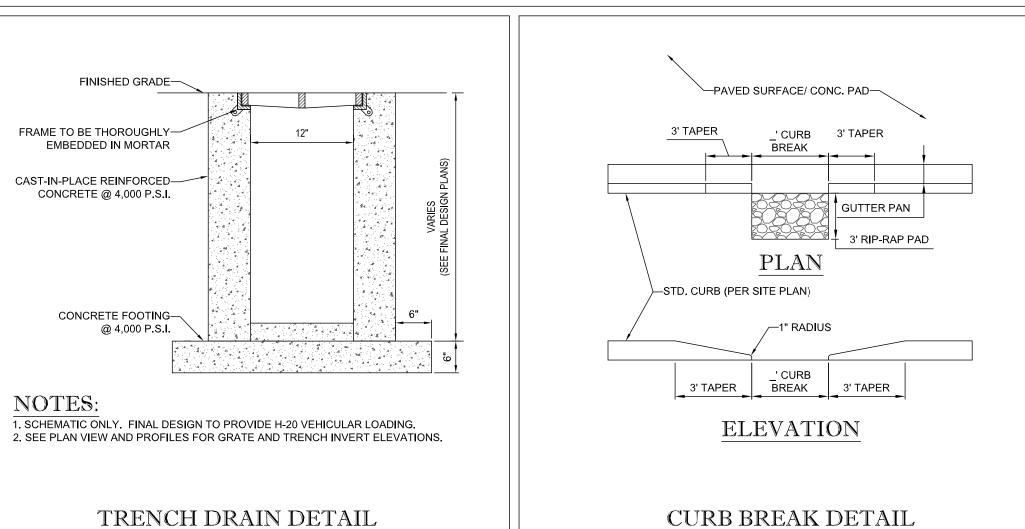












NOT TO SCALE

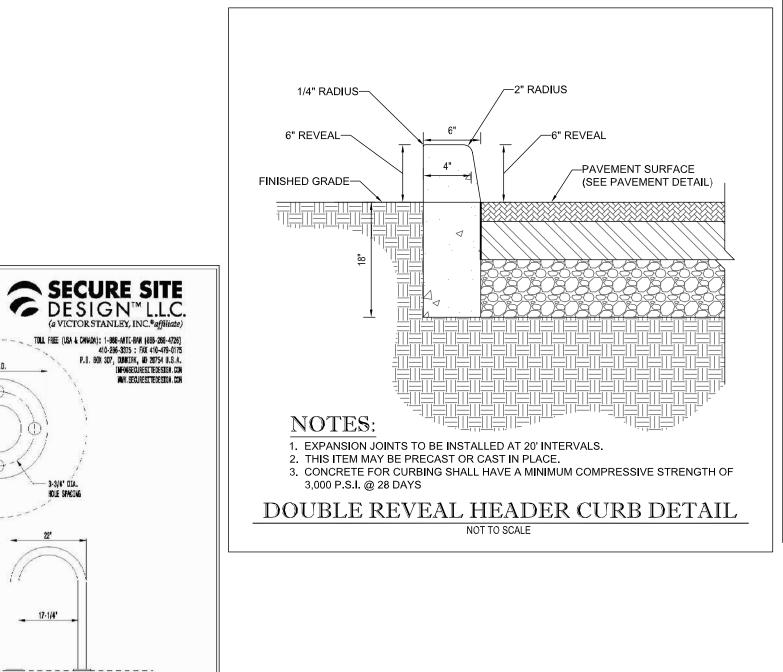
17-1/4"

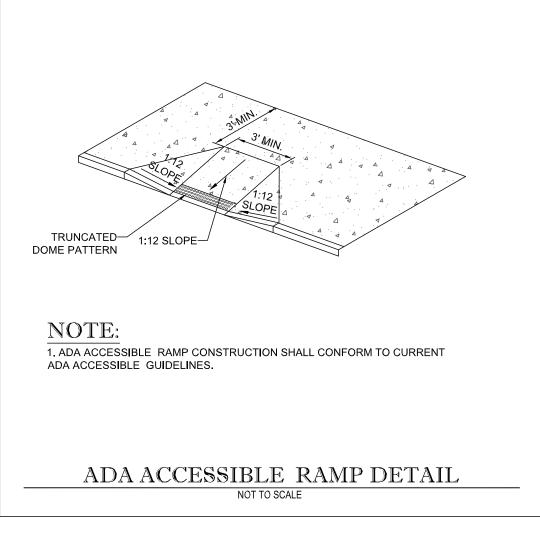
19-5/B" Center-to-genter

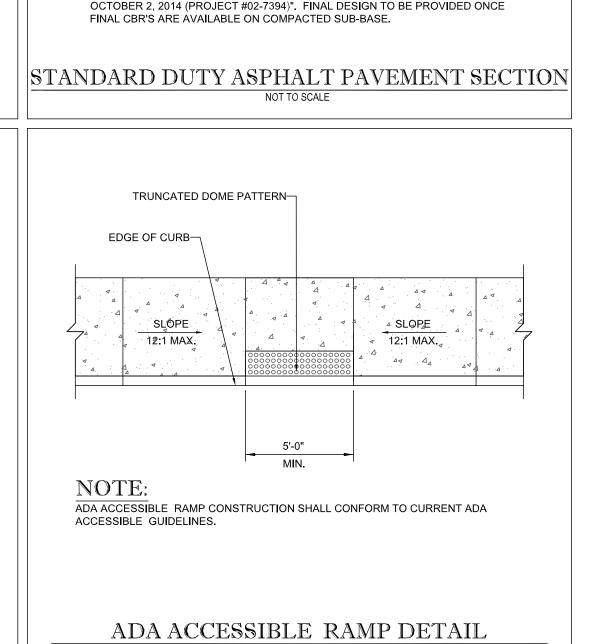
NOUNTEND Standard In-Sround and Sufface (as Shokm)

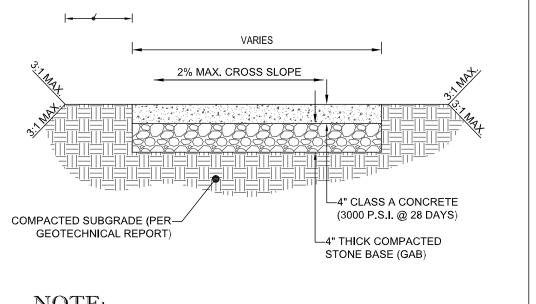
HOLE IS ONLY PRESENT WHEN — GALVANIZED OPTION (S SPECIFIED

FORMED FROM 2-3/8" O.D. -Schedule 40 Steel Pipe









**EAR ZONE** & RT.)

NOTE: 1. EXPANSION JOINTS 1/2" WIDE PREMOLDED BIT. MATERIAL SHALL BE INSTALLED AT 30' INTERVALS, CRACK CONTROL JOINTS TO BE SPACED AT INTERVALS EQUAL TO SIDEWALK WIDTH.

CONCRETE SIDEWALK DETAIL

EX. CONC. PROP. CONC. PAVEMENT | PAVEMENT

1. CONTRACTOR TO BLOW OUT DUST FROM DRILLED HOLES PRIOR TO APPLYING

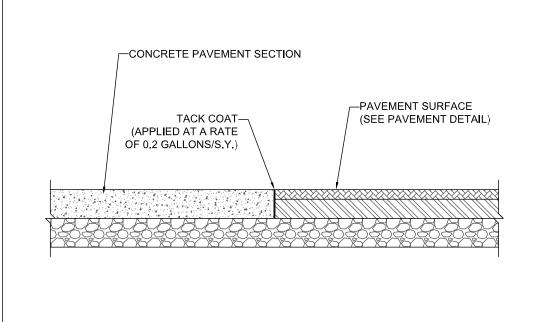
CONCRETE DOWELING DETAIL

EXPANSION JOINT MATERIAL

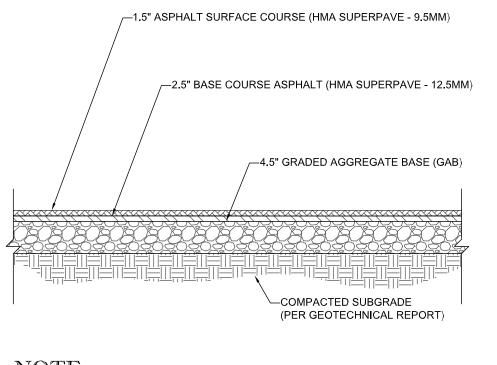
EPOXY COATED-

DOWEL @ 18" O.C.

NOTE:



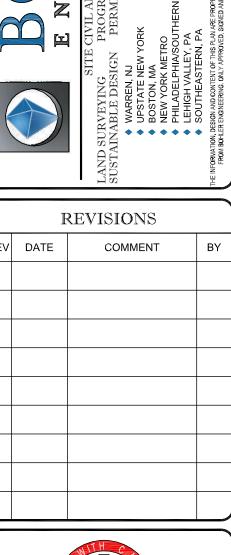
CONCRETE-TO-ASPHALT DETAIL



NOTE: 1. SECTION SHOWN IS BASED ON AN ANTICIPATED CBR OF 3 PER GEOTECHNICAL REPORT PREPARED BY ECS MIDATLANTIC, LLC, ENTITLED "TACO BELL AT LANGLEY PARK TAKOMA PARK, MONTGOMERY COUNTY, MARYLAND, DATED OCTOBER 2, 2014 (PROJECT #02-7394)". FINAL DESIGN TO BE PROVIDED ONCE

> **Developer's Certificate** The Undersigned agrees to execute all the features of the Site Plan Approval No. 820150150 including Approval Conditions, Development Program, and Certified Site Plan. Developer: RJP Consulting, LLC Will Lewis Address: 100 East Lancaster Avenue, Suite 200, Downingtown, PA 19335

I, MATTHEW K. JONES, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 39999 EXPIRATION DATE: 3/15/2017



\* \* \* \* \* \*



NOT APPROVED FOR CONSTRUCTION

DRAWN BY: CHECKED BY: SCALE: AS SHOWN

CAD I.D.:

SITE PLAN #820150150 TACO BELL TAKOMA PARK

TACO BELL

LOCATION OF SITE 1300 HOLTON LANE TAKOMA PARK, MD 20912 MONTGOMERY COUNTY LOTS 55 & 56 GUDE AND ABRAHAM'S



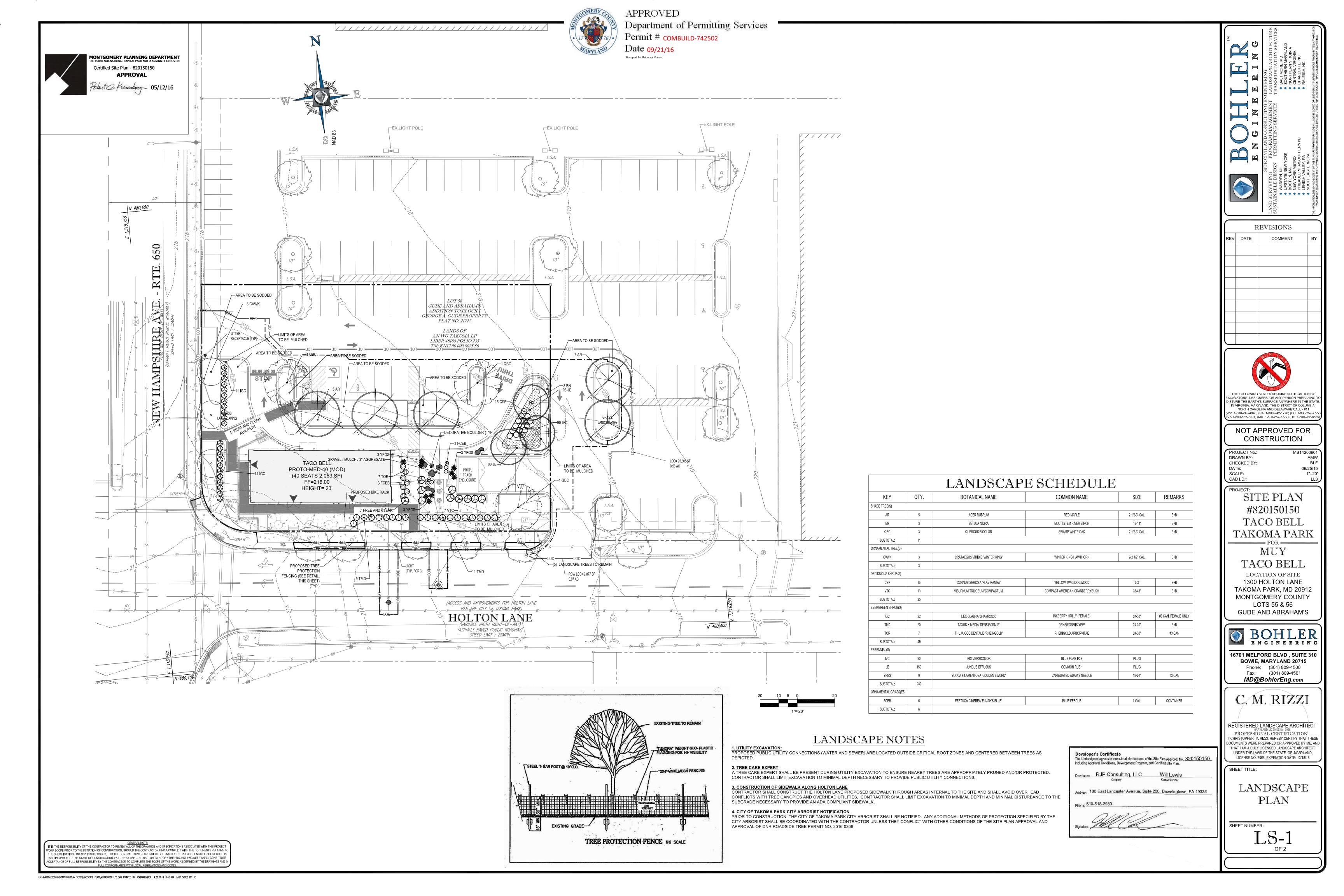
16701 MELFORD BLVD, SUITE 310 **BOWIE, MARYLAND 20715** Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com



SHEET TITLE

SHEET NUMBER: OF 5

TANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN





### LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK: THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

#### 2. MATERIALS

- A. GENERAL ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
- B. TOPSOIL NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
- C. LAWN ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF TOPSOIL. OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES. 1.1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
- 1.2. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. 1.3. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
- D. MULCH THE MULCH AROUND THE PERIMETER OF THE BUILDING SHALL BE A 3" LAYER OF DOUBLE SHREDDED BLACK CEDAR MULCH ONLY, ALL OTHER AREAS SHALL BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDDED DARK BROWN HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.

#### E. FERTILIZER

- 1.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A
- WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE. 1.2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY
- 1.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE
- 1.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT
- 1.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
- 1.4. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 11/4" WHICH HAVE NOT BEEN COMPLETELY CALLUSED, SHALL BE REJECTED.PLANTS SHALL NOT BE BOUND WITH
- WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. 1.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH:
- WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE. 1.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES
- (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
- 1.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST
- 1.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.
- A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF
- B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS

- A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
- B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS. FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
- . CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
- A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED
- B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL
- . WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
- D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

#### 6. SOIL MODIFICATIONS

- A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
- B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
- . THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
- 1.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5. 1.2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED

PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM, COARSE SAND MAY BE USED IF ENOUGH

IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE 1.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

#### FINISHED GRADING

- A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
- B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"±).
- . ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY
- D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

#### IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT RK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE T E SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN /RITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUT ANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN

- A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
- B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE
- REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION. C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL

TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL

MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

- D. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA):
- 1.1. 20 POUNDS 'GROW POWER' OR APPROVED FOUAL 1.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP

#### E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

- A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
- B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
- C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS, ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
- D. ALL PLANTING CONTAINERS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
- E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED

PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES. SHRUBS. VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS UNLESS OTHERWISE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT: 1.1. PLANTS: MARCH 15 TO DECEMBER 15 1.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1

- F. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING
- G. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:
- PLATANUS X ACERIFOLIA ACER RUBRUM BETULA VARIETIES POPULOUS VARIETIES CARPINUS VARIETIES PRUNUS VARIETIES **CRATAEGUS VARIETIES** PYRUS VARIETIES **QUERCUS VARIETIES** KOELREUTERIA
- LIQUIDAMBER STYRACIFLUA TILIA TOMENTOSA LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES

AGENCY FOR POTENTIAL SUBSTITUTIONS.

- H. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
- 1 PART PEAT MOSS 1 PART COMPOSTED COW MANURE BY VOLUME

EXISTING STRUCTURES AND SIDEWALKS.

- 3 PARTS TOPSOIL BY VOLUME • 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
  - A) 2 TABLETS PER 1 GALLON PLANT B) 3 TABLETS PER 5 GALLON PLANT
  - C) 4 TABLETS PER 15 GALLON PLANT D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK
- J. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND
- K. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL
- L. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
- M. GROUND COVER AREAS SHALL RECEIVE A  $\frac{1}{2}$ " LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOI PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.
- N. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM
- O. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
- P. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

#### Q. ANY PLANTING SUBSTITUTIONS REQUIRES MNCPPC APPROVAL.

#### <u>10. TRANSPLANTING (WHEN REQUIRED)</u> A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.

- B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
- C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
- D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
- E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
- F. IF TRANSPLANTS DIE. SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

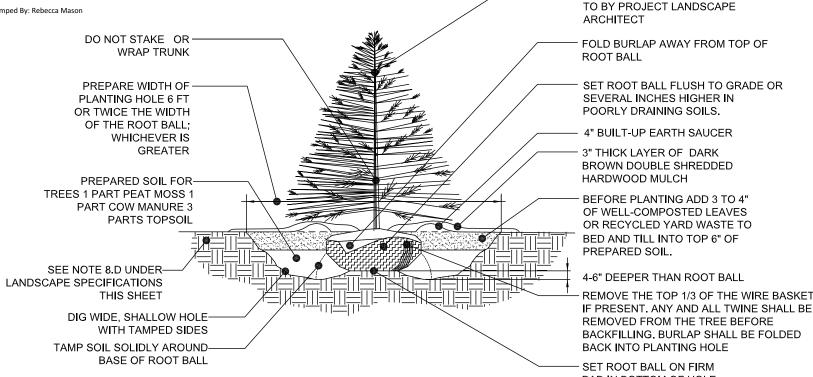
- A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED
- B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED
- C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL. BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

#### 2. GUARANTEE (THIS IS ONLY A GUARANTEE BETWEEN THE OWNER AND CONTRACTOR AND IS NOT A JURISDICTIONAL REGULATORY ITEM WHICH IS ADDRESSED BY A SEPARATE BOND

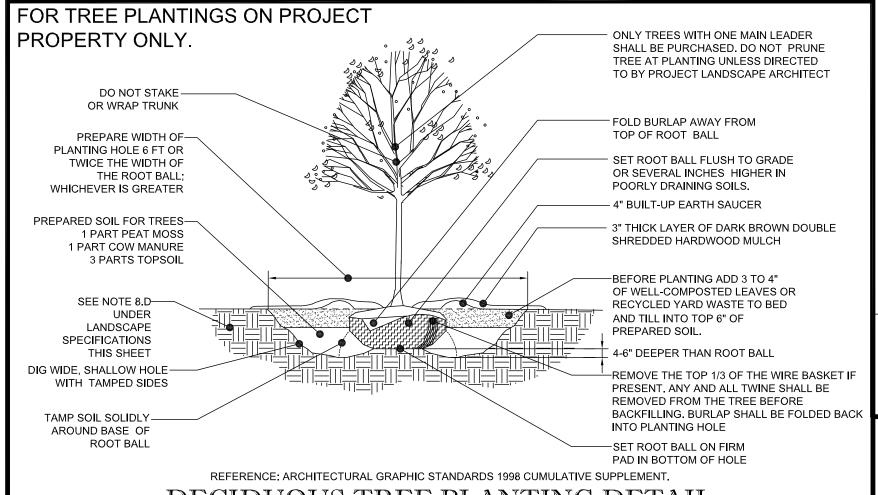
- A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
- B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
- C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
- D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

- A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED
- B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE

Department of Permitting Services Permit # COMBUILD-742502 ONLY TREES WITH ONE MAIN LEADER SHALL BE PURCHASED. DO NOT PRUNE Date 09/21/16 TREE AT PLANTING UNLESS DIRECTED

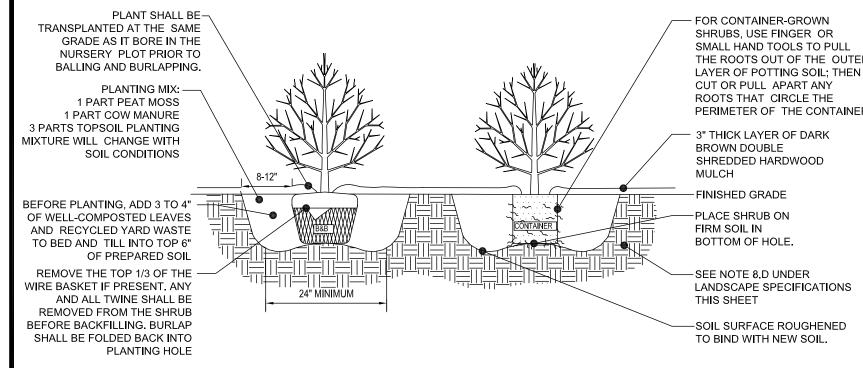


#### REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT. EVERGREEN TREE PLANTING DETAIL NOT TO SCALE



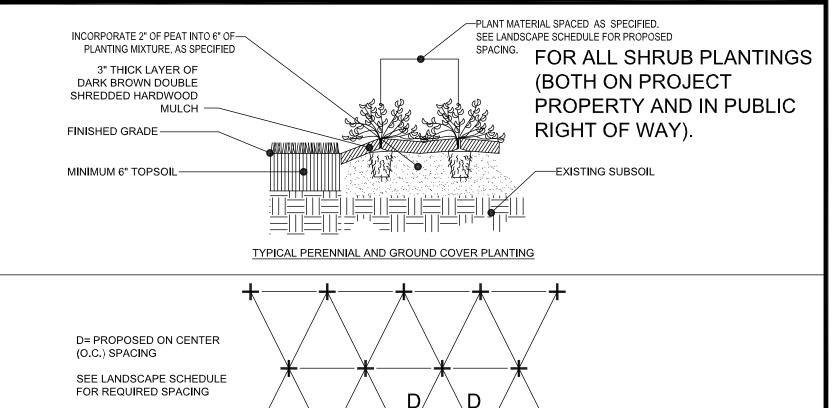
# DECIDUOUS TREE PLANTING DETAIL

#### FOR ALL SHRUB PLANTINGS (BOTH ON PROJECT PROPERTY AND IN PUBLIC RIGHT OF WAY).



### REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE



TYPICAL PERENNIAL AND GROUND COVER SPACING & LAYOUT PERENNIAL/GROUND COVER PLANTING DETAIL

NOT TO SCALE

# SEEDING SPECIFICATIONS

- PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
- PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND
- INSTRUCTIONS.

SPREADING FESCUE

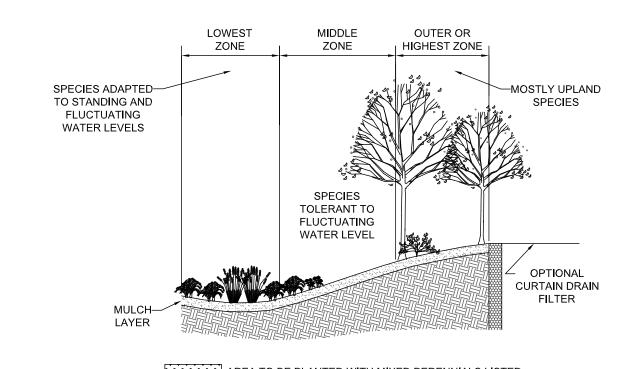
FERTILIZER (20:10:10)

SEEDING RATES PERENNIAL RYEGRASS KENTUCKY BLUEGRASS **RED FESCUE** 

1/2 LB/1.000 SQ FT 1 LB/1.000 SQ FT 1 1/2 LBS/1,000 SQ FT 1 1/2 LBS/1,000 SQ FT 14 LBS/1.000 SQ FT 90 LBS/1,000 SQ FT

GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

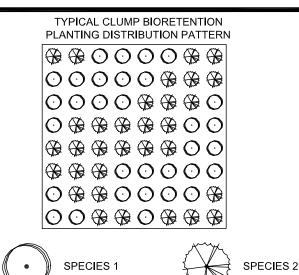
#### PLANTING ZONES FOR BIORETENTION FACILITIES



AREA TO BE PLANTED WITH MIXED PERENNIALS LISTED IN BIORETENTION AREAS PLANTING SCHEDULES

- . HERBACEOUS PERENNIALS TO BE PLANTED 18" O.C. IN GROUPS BETWEEN 15 TO 20 PLUGS LANDSCAPE CONTRACTOR TO GROUP LIKE PLANTS TOGETHER IN EACH BED AS SHOWN IN PLANTING DISTRIBUTION
- ALL BIORETENTION AREAS ARE TO BE MULCHED WITH A 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH. PLACEMENT OF THE PLANTING SOIL SHOULD BE IN 12" TO 18" LIFTS THAT ARE LOOSELY COMPACTED (TAMPED LIGHTLY WITH A BACKHOE BUCKET OR TRAVERSED BY DOZER TRACKS.

#### TYPICAL PLANTING FOR BIORETENTION AREAS NOT TO SCALE



NATURALLY OCCURRING POPULATIONS TEND TO BE FOUND IN INFORMAL GROUPINGS. A CLUSTER OF PLANTS IS REALLY A MOSAIC OF DIFFERENT SPECIES GROUPS. THE OBJECTIVE IS TO SELECT THE APPROPRIATE SPECIES AND DISTRIBUTION PATTERN FOR A CHOSEN SITE THAT MIMIC NATURAL PATTERNS.

# PLANTING DISTRIBUTION PATTERN DETAIL

NOT TO SCALE

### OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

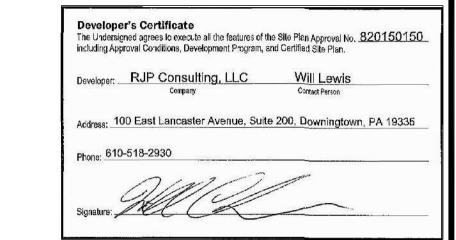
- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL, PRUNING MUST FOLLOW ANSI A300 STANDARDS.
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS. VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED

SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL

SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.

FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.



# .....

• • • • • • REVISIONS COMMENT



NOT APPROVED FOR

CONSTRUCTION

DRAWN BY: CHECKED BY: SCALE:

CAD I.D.:

SITE PLAN #820150150 TAKOMA PARK

AS SHOWN

TACO BELL

LOCATION OF SITE 1300 HOLTON LANE TAKOMA PARK. MD 20912 MONTGOMERY COUNTY LOTS 55 & 56



**GUDE AND ABRAHAM'S** 

16701 MELFORD BLVD , SUITE 310 **BOWIE, MARYLAND 20715** Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com

REGISTERED LANDSCAPE ARCHITECT PROFESSIONAL CERTIFICATION CHRISTOPHER M. RIZZI. HEREBY CERTIFY THAT THESI CUMENTS WERE PREPARED OR APPROVED BY ME, AN THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3066, EXPIRATION DATE: 10/18/16

LANDSCAPE

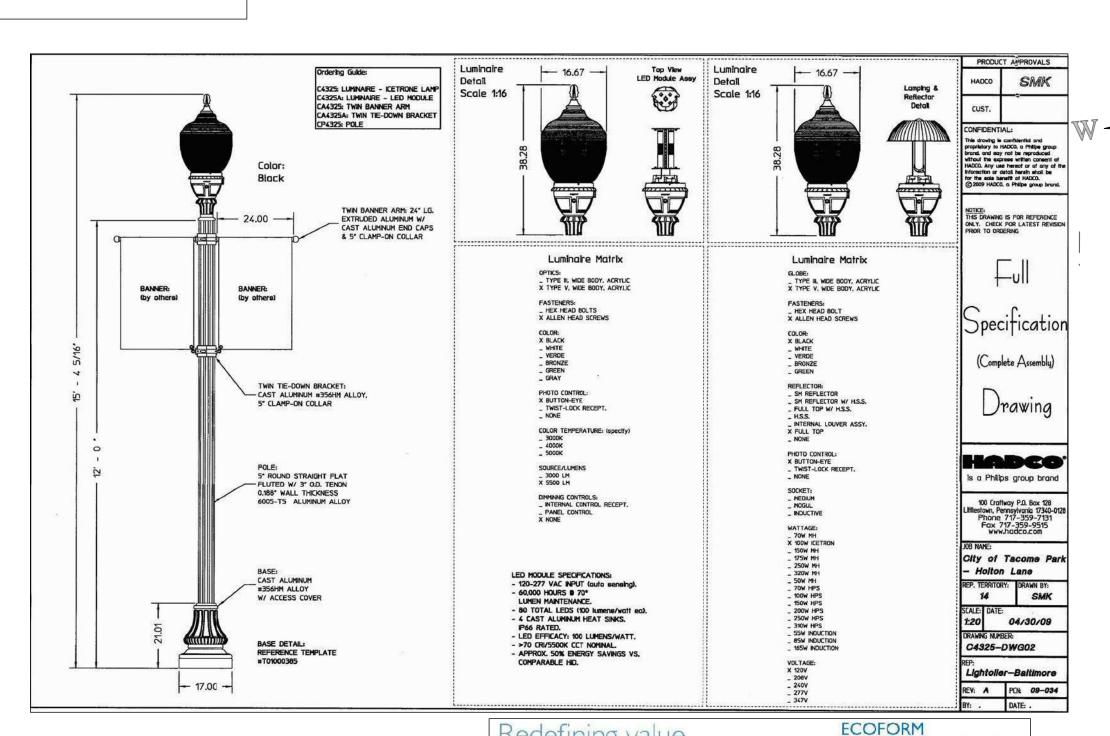
SHEET TITLE

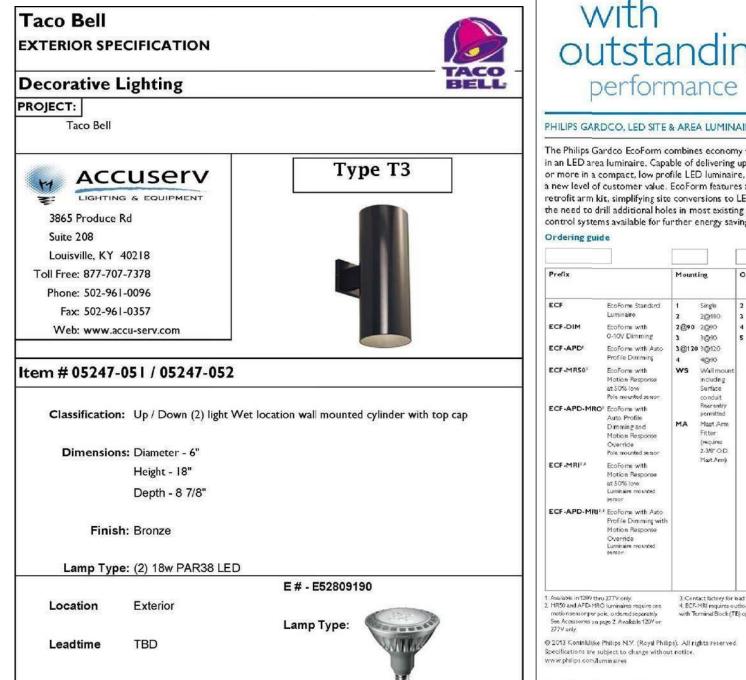
SHEET NUMBER:

H:\14\MB14200601\DRAWINGS\PLAN SETS\LANDSCAPE PLAN\MB14200601LP3.DWG PRINTED BY: JCADWALLADER 4.26.16 @ 8:47 AM LAST SAVED BY: JC

THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.









LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

Calculation Summary								
Label	Avg	Max	Min	Avg/Min	Max/Min			
EXTENDED	2.58	17.5	0.0	N.A.	N.A.			
DRIVE-THRU LANE SURFACE	4.66	10.4	2.1	2.22	4.95			
PARKING LOT SURFACE	4.62	7.7	1.8	2.57	4.28			

# PRODUCT SUBSTITUTION NOTE

IF ANY LIGHTING PRODUCT SUBSTITUTIONS ARE REQUESTED BY THE CONTRACTOR THE PROJECT CIVIL ENGINEER CONSULTANT MUST HAVE THE SUBSTITUTIONS APPROVED BY MONTGOMERY COUNTY PLANNING DEPARTMENT STAFF.

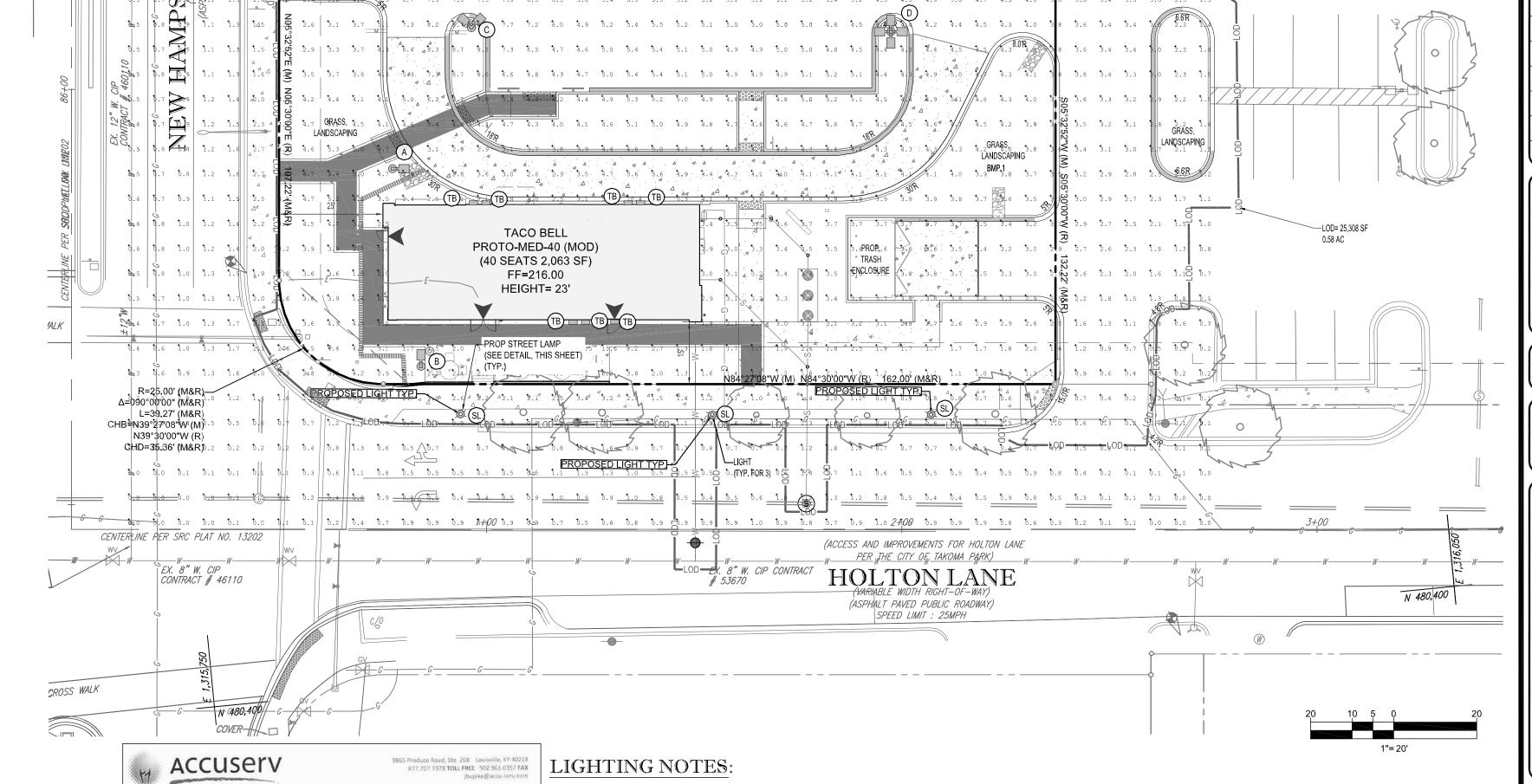
Luminair	re Schedi	ıle							
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Lum. Watts	Description		
<b>©</b>	1	(A)	SINGLE	20252	0.900	211	ECF-3-215LA-641A-NW-UNV-BRP / AVPL-SSS-25-4-11-DM19-DBZ		
<b>©</b>	1	B	SINGLE	15269	0.900	211	ECF-3-215LA-641A-NW-UNV-BRP-IS / AVPL-SSS-25-4-11-DM19-DBZ		
	1	(0)	2 @ 90 DEGREES	19991	0.900	211	(2) ECF-4-215LA-641A-NW-UNV-BRP / AVPL-SSS-25-4-11-DM29-DBZ		
	1	D	4 @ 90 DEGREES	19880	0.900	211	(4) ECF-5-215LA-641A-NW-UNV-BRP / AVPL-SSS-25-4-11-DM49-DBZ		
Ø	3	(SL)	SINGLE	5285	0.900	91	DECORATIVE HADCO STREET LIGHT PROVIDED BY CITY		
	7	(TB)	SINGLE	1188	0.900	36	ACCU 05247-051-052 @ 9.17' A.F.G.		

IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT RIK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE T HE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN /RITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUT TANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND

H:\14\MB14200601\DRAWINGS\PLAN SETS\LIGHTING PLAN\MB14200601LL1 - LIGHTING PLAN -.DWG PRINTED BY: JCADWALLADER 4.26.16 @ 9:11 AM

LIGHTING RESTRICTIONS: MINIMAL LIGHT TRESPASS ONTO THE RIGHT-OF-WAYS SITE FIXTURES ARE 211W 4000K LED w/ FLAT LENSES FIXTURE B HAS BACKLIGHT CONTROL

POLES ARE 25'-0" FOR AN OVERALL FIXTURE MOUNTING HEIGHT OF 27'-6" A.F.G.



OTHER RELATED VARIABLE FIELD CONDITIONS.

SHOULD BE CONSIDERED APPROXIMATE.

LAWS, ORDINANCES, REGULATIONS AND THE LIKE.

ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.

LUMINARIES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.

LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.

ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.

WWW.accurserv.com 12, DEFLECTORS MUST BE INSTALLED ON ALL UP-LIGHTING FIXTURES TO PREVENT EXCESS ILLUMINATION AND GLARE.

March 7, 2016

Montgomery County Planning Division

Development Review Division

me at 877-707-7378. Thank you.

8787 Georgia Avenue

Silver Spring, MD 20910

Attention: Marco Fuster

Dear Mr. Fuster:

Via Electronic Mail

Re: Taco Bell - Takoma Park

Site Plan M-NCPPC #820150150

John Bujsh

John Bujake

**Applications Engineer** 

One Company, Endless Solution:

Takoma Park, Montgomery County, MD

1300 Holton Lane

The lighting design for the proposed Taco Bell at 1300 Holton Lane (Building Permit No. 742502, Site

Plan No. 820150150) meets the Maintained Illuminance criteria for "Enhanced Security" as published

in ANSI document "Lighting for Parking Facilities" (RP-20-98) as developed and published by the

Illuminating Engineering Society of North America (IESNA). Accordingly, the design meets or

exceeds a minimum of 0.5 foot-candles and results in a maximum-to-minimum uniformity not

exceeding 15:1. The design also meets the intent of applicable guidelines as outlined in the

Should you have any questions or require additional information, please do not hesitate to contact

and the Lighting Handbook, 10th Edition, also published by the IESNA.

documents "Guideline for Security Lighting for People, property and Public Spaces" (IESNA G-1-03)

THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED

MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND

THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH

PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS

THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC

THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION 877-707-7378

PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN

PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND

RELAMPING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE

. WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION

AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT

TOLERANCES, WEATHER CONDITIONS, ETC, ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN

THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS,

WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING

CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED

BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES

IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS

. CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT

. IT IS LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE

. THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES,

10. THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES AS INDICATED IN THE HIGH VOLTAGE PROXIMITY REGULATIONS N.J.A.C. 12-186.

1.UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE,

SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO

POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.

UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER

TACO BELL

TACOMA PARK, MD

502-961-0357 FAX

Developer's Certificate

jbujake@accu-serv.com

SEPTEMBER 28, 2015

Developer: RJP Consulting, LLC

NEW HAMPSHIRE AVE. & HOLTON LN.

**ACCUSERV LIGHTING & EQUIPMENT** 

The Undersigned agrees to execute all the features of the Site Plan Approval No. 820150150 including Approval Conditions, Development Program, and Certified Site Plan.

Acdress: 100 East Lancaster Avenue, Suite 200, Downingtown, PA 19335

Will Lewis

UNDER THE LAWS OF THE STATE OF MARYLAND,

LICENSE NO. 39999 EXPIRATION DATE: 3/15/2017

PREPARED BY: JOHN BUJAKE

LANDS OF

LIBER 48188 FOLIO 233

4.8 4.9 ANIWG TAKOMA4LP 4.5 4.7 4.8 4.6 4.2 3.9 3

EX.LIGHT POLE

EX.LIGHT POLE

APPROVED

Date 09/21/16

N 480,650

F RICHT

Permit # COMBUILD-742502

Department of Permitting Services

EX.LIGHT POLE



REVISIONS COMMENT



NOT APPROVED FOR CONSTRUCTION

DRAWN BY: CHECKED BY:

SCALE: 1" = 20' CAD I.D.: SITE PLAN #820150150 TACO BELI

TAKOMA PARK

TACO BELL LOCATION OF SITE 1300 HOLTON LANE

TAKOMA PARK, MD 20912 MONTGOMERY COUNTY LOTS 55 & 56 GUDE AND ABRAHAM'S



16701 MELFORD BLVD , SUITE 310 **BOWIE, MARYLAND 20715** Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com

M.K. JONES PROFESSIONAL ENGINEER

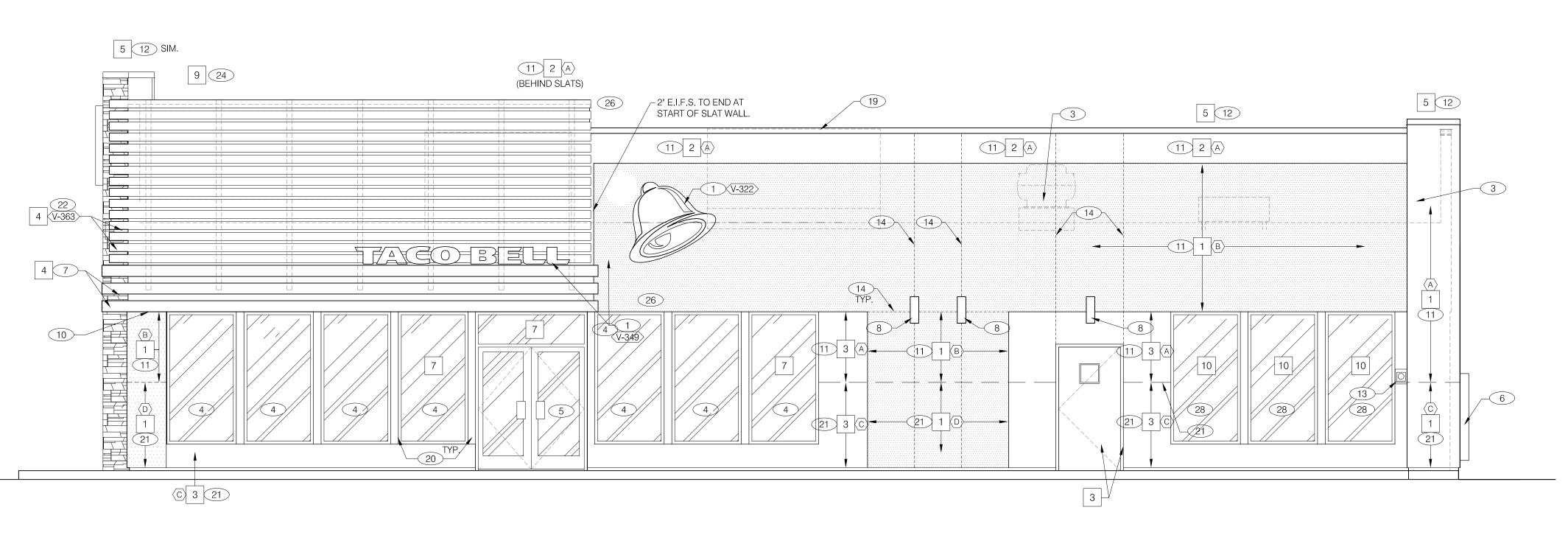
SHEET TITLE:

LIGHTING PLAN

SHEET NUMBER:

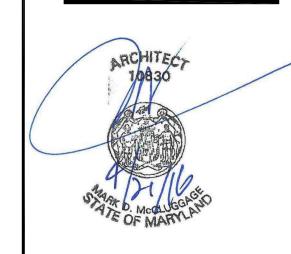
I, MATTHEW K. JONES, HEREBY CERTIFY THAT THESE OF 1 DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER

MONTGOMERY PLANNING DEPARTMENT
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Certified Site Plan - 820150150 Petert & Francisco 05/12/16





PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 10830, EXPIRATION DATE: 08/19/2016.



ENTRY SIDE ELEVATION 1/4"=1'-0" A

15 GAS SERVICE.

23 BOLLARD

27 SPLASH BACK.

18 OVERFLOW SCUPPER.

22 ALUMINUM SLAT WALL BY VENDOR.

(16) WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.

20 BREAK METAL COVER OVER WOOD STUDS TO MATCH STOREFRONT. SEE 3,4 & 7/A6.1

21 HIGH IMPACT E.I.F.S. WHERE SHOWN ON ELEVATIONS. TOP EXTENT AT 5'-0". SEE 2/A6.2.

Developer's Certificate
The Undersigned agrees to execute all the features of the Site Plan Approval No. 820150150 including Approval Conditions, Development Program, and Certified Site Plan.

Developer: RJP Consulting, LLC Will Lewis
Company Contact Person

Phone: 610-518-2930

25 IF THE DURO LAST PARAPET CAP TRIM IS USED IT SHALL NOT BE PAINTED.

SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT 6" MIN. PAINT TO MATCH ADJACENT WALL.

19 RTU BEYOND. PAINT TO MATCH MAIN BUILDING COLOR.

DUROLAST SINGLE MEMBRANE ROOFING OR EQUAL.

26 RETURN ALUMINUM LOUVERS BACK TO FACE OF BUILDING.

15025.000

ADDRESS CHANGE

JULY 15, 2015 MED-40-MOD BUILDING TYPE: PLAN VERSION: SITE NUMBER: **ENTITY NUMBER:** 

> 1300 HOLTON LANE TAKOMA PARK, MD 20912



MEDIUM40 - MODIFIED **EXTERIOR ELEVATIONS** 

Address: 100 East Lancaster Avenue, Suite 200, Downingtown, PA 19335 PLOT DATE:

SYMBOL	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
1	MAIN BUILDING COLOR	SHERWIN WILLIAMS	SW 6122 "CAMEL BACK"	LOTUSAN	NA08-0011	SHERWIN WILLIAMS: BRAD HARRINGTON, 216-341-5558 X115 (PHONE), BRAD.E.HARRINGTON@SHERWIN.COM
2	WALL COLOR BEHIND SCREEN WALL	SHERWIN WILLIAMS	SW 6831 "CLEMATIS"			EIFS CONTACT:
3	ACCENT COLOR	SHERWIN WILLIAMS	SW 2823 "ROOKWOOD CLAY"	LOTUSAN	NA08-0010	STO CORP.: CHUCK DUFFIN, 940-894-2092 (PHONE), 940-894-2095 (FAX), CDUFFIN@STOCORP.COM OWNER REPRESENTATIVE WILL IDENTIFY IF LOTUSAN PAINT WILL BE USED.
4	SLAT WALL AND VALANCE COLOR	VENDOR	SW 7034 "STATUS BRONZE" (EQUAL)			
5	PARAPET CAP COLOR	12 DUROLAST	MEDIUM BRONZE (FACTORY FINISH)	SHERWIN WILLIAMS	SW 7069 "IRON ORE"	DURO-LAST:CURT JAFFEE, 800-356-6646 (PHONE), CJAFFE@DURO-LAST.COM
6	STONE WALL	BORAL - VERSA STONE	TIGHT CUT - " PLUM CREEK"	CORONADO:	IDAHO DRY STACK, CARMEL MOUNTAIN CULTURED STONE VENEER - FULLY GROUTED.	VERSETTA STONE WALL: ASHLEY JOYCE, 770-645-4531 (PHONE))  ALTERNATE: CORONADO: 1-800-847-8663
7	STOREFRONT WINDOWS	TBD	" DARK BRONZE"			
8	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THCIK PLASTIC COVER (US.POSTMAN.COM) OR EQUAL			<u>DURO-LAST:</u> LEE COBB, 800-434-3876 (PHONE)
9	PARAPET BACK ROOFING	DUROLAST	THE COLOR SHALL BE FACTORY COLO	RED "TAN." EQUAL ALTI	ERNATE ALLOWED.	
10	STOREFRONT WINDOWS	TBD	SPANDREL GLASS			

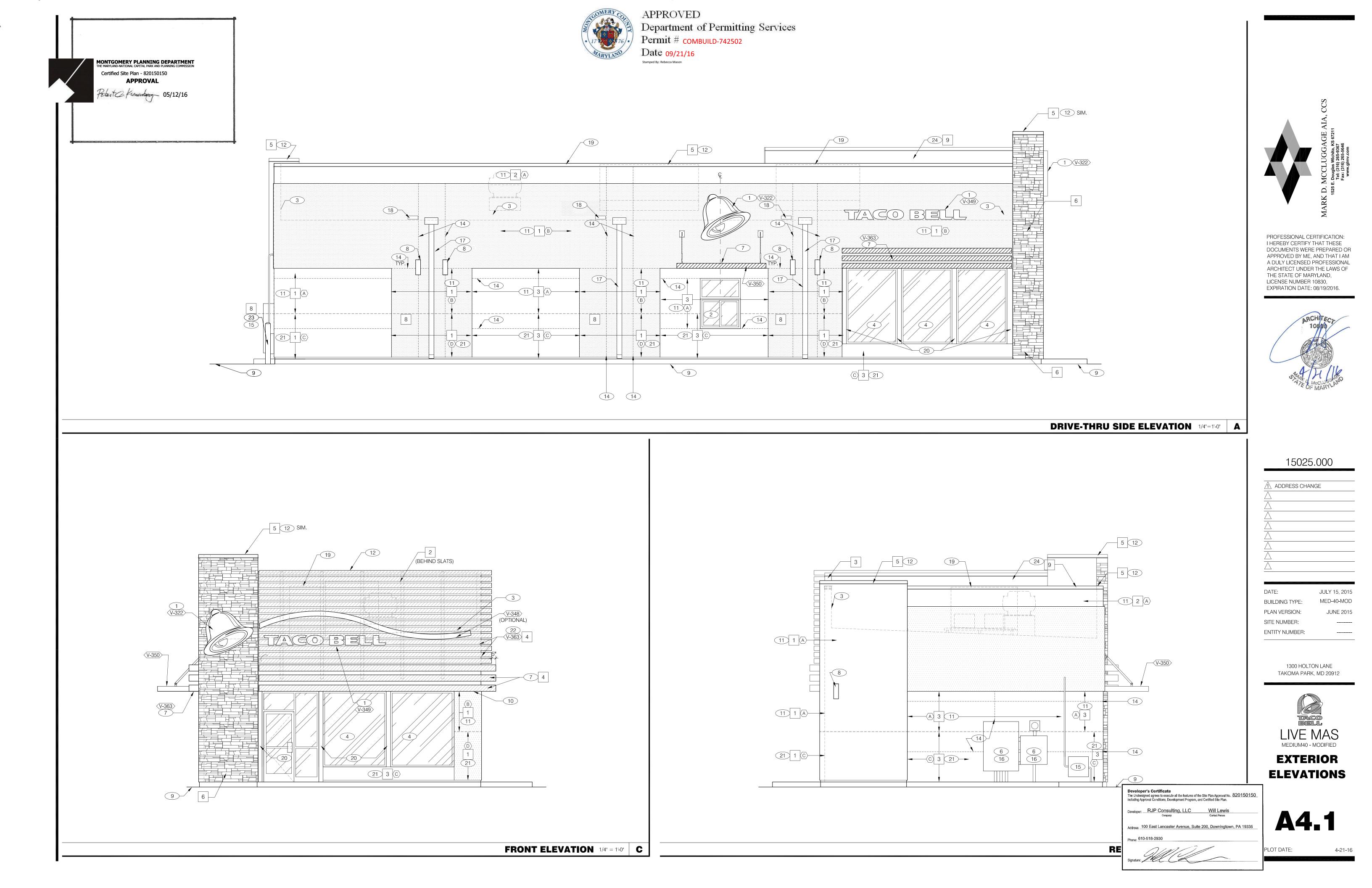
- 1 BUILDING SIGN, SEE SCOPE OF WORK.
- 2 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 3 ROOF BEYOND.

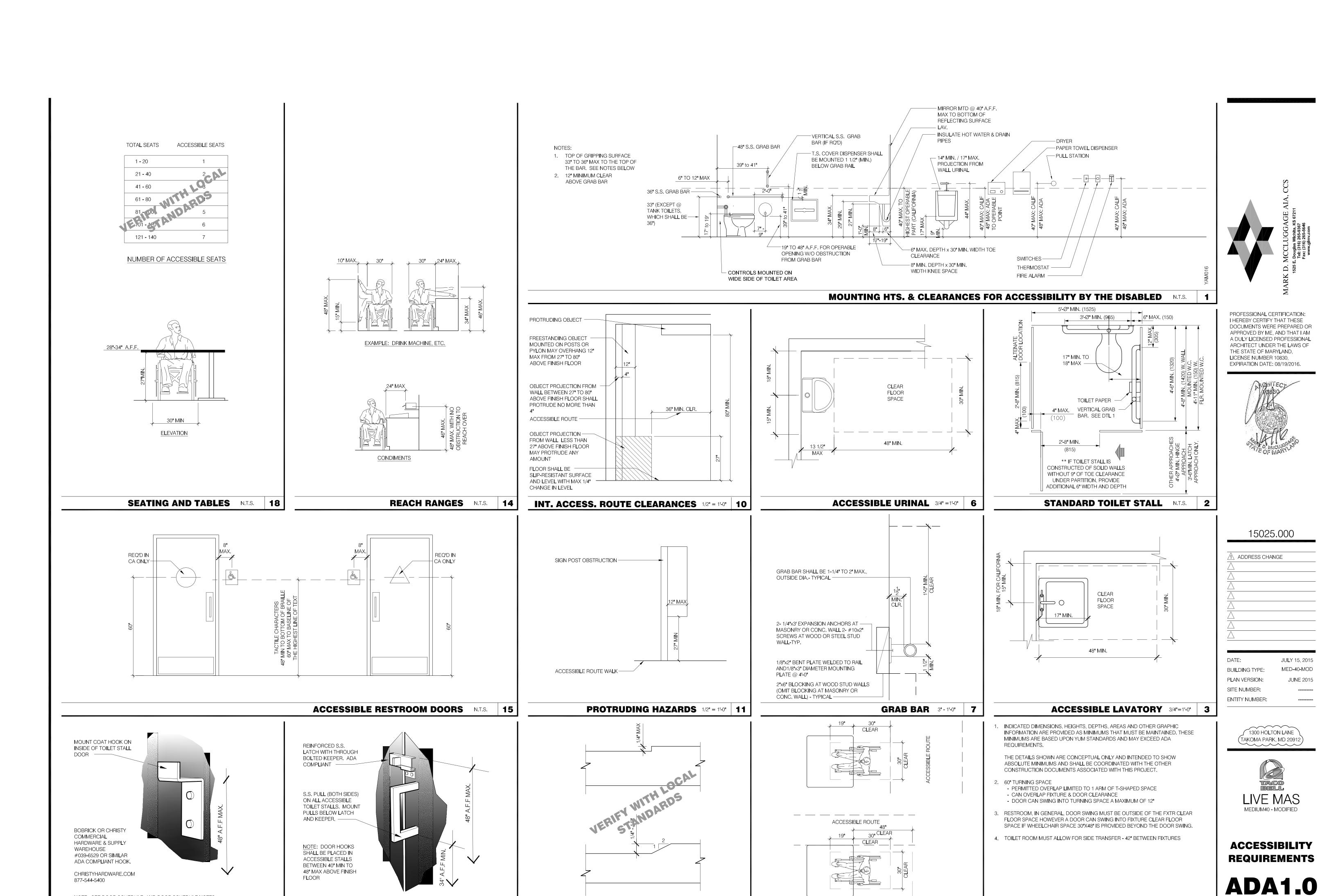
\_

**EXTERIOR FINISH SCHEDULE** 

- 4 STOREFRONT TYPICAL.
- 5 DOUBLE DOOR.
- 6 SWITCH GEAR. PAINT TO MATCH WALL.
- 7 ARCHITECTURAL ALUMINUM VALANCE BY VENDOR.
- 8 LIGHT SCONCE. ALIGN BOTTOM OF FIXTURE'S MOUNTING BRACKET WITH CHANGE IN EIFS THICKNESS.
- 9 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR.
- REFER TO GRADING & SITE PLAN. 10 THICKER EIFS TO TERMINATE AT TOP OF WINDOW HEIGHT. PROVIDE THINNER
  - EIFS ABOVE THAT POINT. SLOPE TRANSITION AWAY FROM BUILDING 1:12. SEE DETAIL B/A4.0
- 11 EIFS (TYP). SEE 2 & 4/A6.2.
- 28 STOREFRONT WITH SPANDREL GLASS. 12 PARAPET COPING. USE THE DURO-LAST PRE-FINISHED EDGE TRIM. SEE DETAIL 2/A6.0.
- 13 CO2 FILLER VALVE & COVER. SEE DETAIL 5/A6.2 SIM.

14 1/2" EIFS REVEAL JOINT.





NOTE: MAINTAIN 44" MIN. CLEAR AISLE EGRESS PATHS TO EXIT DOORS.

CHANGES IN LEVEL N.T.S. 12 DINING ROOM SEATING CLEARANCES N.T.S. 8

P**L**OT DATE:

**GENERAL NOTES** 

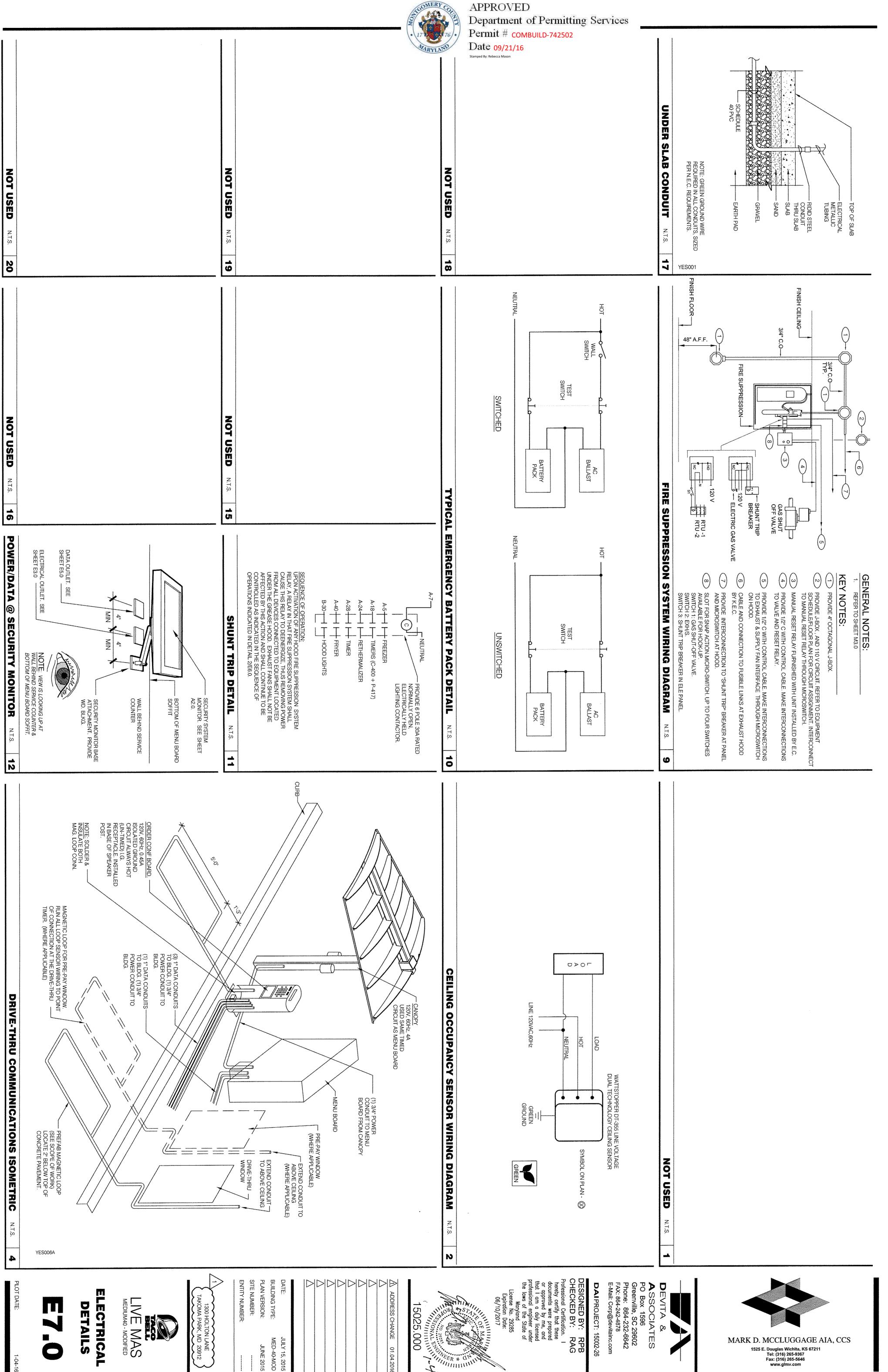
NOTE: SEE DOOR SCHEDULE. AND DOOR SCHEDULE NOTES

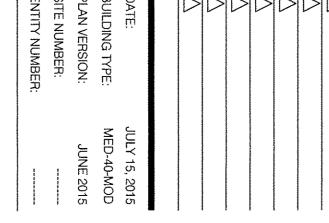
COAT HOOK N.T.S. 20

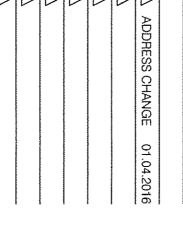
NOTE: SEE DOOR SCHEDULE. AND DOOR SCHEDULE NOTES

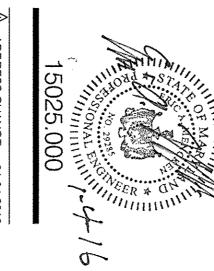
PARTITION DOOR LATCH @ PULL

16



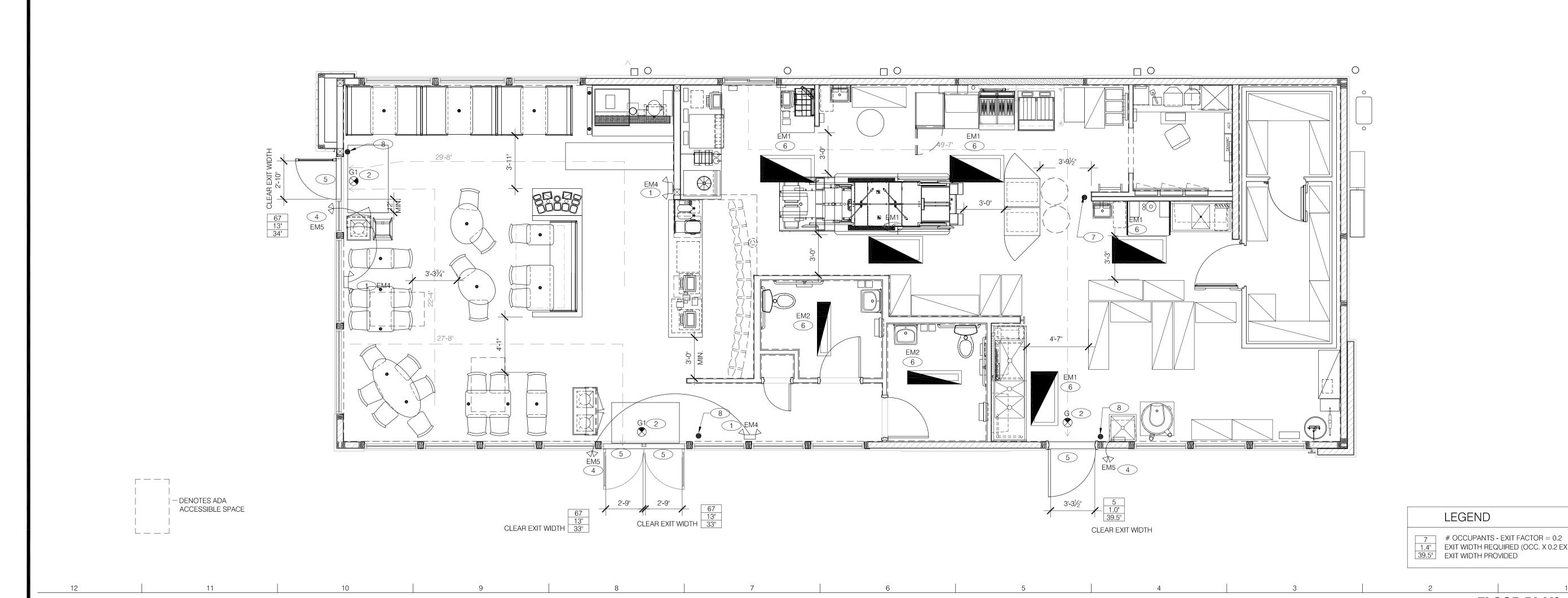


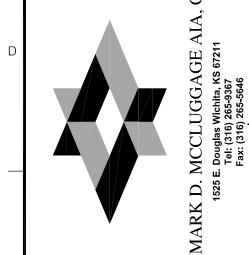












PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 10830, EXPIRATION DATE: 08/19/2016.



15025.000

ADDRESS CHANGE FLOOR PLAN 1/4"=1'-0" A

В

C

4.07.16 REVIEW COMMENTS

JULY 15, 2015 MED-40-MOD BUILDING TYPE: PLAN VERSION: JUNE 2015 SITE NUMBER: ENTITY NUMBER:

> 1300 HOLTON LANE TAKOMA PARK, MD 20912



LIFE SAFETY **PLAN** 

PLOT DATE:

NOT USED N.T.S. D **GENERAL NOTES** 

1 EMERGENCY LIGHT FROG EYE

2 EXIT SIGN, LED UNIVERSAL MOUNT LED. CEILING MOUNT 3 EXIT SIGN, LED UNIVERSAL MOUNT LED. WALL MOUNT

4 REMOTE BATTERY PACK. WEATHERPROOF EXTERIOR EMERGENCY LIGHTS

LEGEND

5 DOORS WITH PANIC HARDWARE INSTALLED.

6 EMERGENCY BALLAST FLUORESCENT.

7 TYPE "K" FIRE EXTINGUISHER.

8 TYPE "ABC" FIRE EXTINGUISHER.

# **PLAN NOTES**

EXIT WIDTH REQUIRED (OCC. X 0.2 EXIT FACTOR

- 1. EXITS REQUIRED: 2 (2012 IBC 1015.1) EXITS PROVIDED: 3
- 2. AISLE WIDTH REQUIRED: 36 " MINIMUM CLEARANCE MINIMUM AISLE WIDTH PROVIDED: 36"
- 3. COMMON PATH LIMIT: 75 L.F. (IBC 1014.3 & 1028.8) COMMON PATH ACTUAL LENGTH: 49'-7"
- 4. TRAVEL DISTANCE LIMIT: 200 FT. (IBC TABLE 1016.1) ACTUAL MAXIMUM TRAVEL DISTANCE: 49'-7"

ENTRATED STANDING ROSS FLOOR AREA: 2,063 S.F.	G STO	DRAGE KITCHEN CORRIDORS RESTROOM			STORAGE /	
	AREA	ALLOWANCE	LOAD	EGRESS WIDTH PER OCCUPANT	EGRESS WIDTH REQUIRED	ACTUAL WIDTH
ASSEMBLY UNCONCENTRATED	554 S.F.	1004.7 - FIXED SEATING	40 OCCUPANTS	.2"	32	34"
ASSEMBLY STANDING	102 S.F.	5 S.F./OCCUPANT	20 OCCUPANTS	.2"	32	34"
STORAGE	122 S.F.	500 S.F./ OCCUPANT	1 OCCUPANTS	.2"	32	34"
KITCHEN COMMERCIAL CORRIDORS & RESTROOMS	1184 S.F.	200 S.F./OCCUPANT	6 OCCUPANTS	.2"	32	39.5"
TOTAL OCCUPANT LOAD			67 OCCUPANTS			

OCCUPANT LOAD E

χo

Stamper By: Reber

CEILING DIFFUSER/SUPPLY REGISTER (ARROWHEAD REPRESENTS NUMBER OF THROW) DESCRIPTION SYMBOL

& ABBREV.

GA.
GC
HVAC
MFR. MECHANICAL

MECHAN

ICAL SYMBOLS

12

PROVIDE ANY FRAMING REQUIRED FOR DIFFUSER INSTALLATION IN HARD CEILING IT IS VERY IMPORTANT THAT ACCURATE MEASUREMENTS ARE USED WHEN LOCATING EXHAUST FAN ROOF OPENINGS WITH THE KITCHEN EQUIPMENT.

XX-XXX MARK

AREA SERVED

MIN O.A.

ESP

품

RPM

MIN CAP (MBH) TOT/SEN

E M

OUTPUT (MBId)

(STAGES

VOLTS/ PH

MOPD

MAX UNIT WEIGHT (LBS)

PAUL TOSCHI

MECHANICAL REVIEW APPROVED BY

INSPECTION AND APPROVAL

MECHANICAL PLANS RELEASED SUBJECT TO FIELD

RTU-2 (ALT)

KITCHEN

4400

950

1223

12.5

164.2/111.7 12.0

13.0

240

192

10

80

208/3

73.2

90

SEE NOTES 1,2,3,4,5,6,8,9

SEE NOTES 1,2,3,4,5,6,8,9

MARK D. MCCLUGGAGE AIA, CCS

1525 E. Douglas Wichita, KS 67211 Tel: (316) 265-9367 Fax: (316) 265-5646 www.gimv.com

SEE NOTES 1,2,3,4,5,6,8,9

SEE NOTES 1,2,3,4,5,6,8,9

1. LISTED CAPACITY IS THE STANDARD UNIT'S GHOSS COLUMN OF A TAKE AND 48 DEG. F IN WINTER WITH 2 DEG ADJ. FUNCTION UP OR DOWN. THE UNOCCUPIED TEMP SHALL BE SET TO THE STORE SCHEDULE STANDARD CONDITIONS). THERMOSTAT SHALL BE PROGRAMMED FOR 73 DEG. F IN SUMMER AND 68 DEG. F IN WINTER WITH 2 DEG ADJ. FUNCTION UP OR DOWN. THE UNOCCUPIED TEMP SHALL BE SET TO THE STORE SCHEDULE AND 60 DEG. F. MINIMUM.

2. SPECIFIED RITUS ARE DOWN DISCHARGE PACKAGED GAS / ELECTRIC ROOFTOP UNITS WITH MINUMUM 2-STAGE COOLING. INCLUDES THROUGH THE ROOF CURB POWER, GAS & CONDENSATE DRAIN. GAS PIPING SHALL BE FACTORY PIPED WITH SHUT-OFF OUTSIDE OF UNIT.

3. SPECIFIED WITH SHUT-OFF OUTSIDE OF UNIT.

4. SPECIFIED UNIT INCLUDES HINGED ACCESS DOORS, 2° PLEATED FILTERS, LOW AMBIENT CONTROL TO 0 DEG. F., MODULATING ECONOMIZER, CIRCUIT BREAKER WITH SINGLE POINT WIRING, HAIL GUARD, AND FACTORY FABRICATED, KNOCK DOWN ROOF CURB.

4. PROVIDE UNIT WITH FACTORY INSTALLED HOT GAS REHEAT OPTION. INCLUDING REMOTE MOUNTED TEMPERATURE AND HUMIDITY SENSORS AS INDICATED ON THE DRAWINGS, WHEN DESIGN WET BULB IS GREATER THAN 74.

5. PROVIDE UNIT WITH FACTORY INSTALLED HOT GAS REHEAT OPTION. INCLUDING REMOTE MOUNTED TEMPERATURE AND HUMIDITY SENSORS AS INDICATED ON THE DRAWINGS, WHEN DESIGN WET BULB IS GREATER THAN 74.

6. PROVIDE UNIT WITH FACTORY INSTALLED HOT GAS REHEAT OPTION. INCLUDING REMOTE MOUNTED TEMPERATURE AND HUMIDITY SENSORS AS INDICATED ON THE DRAWINGS, WHEN DESIGN WET BULB IS GREATER THAN 74.

7. PROVIDE UNIT WITH FACTORY INSTALLED HOT GAS REHEAT OPTION. INCLUDING REMOTE MOUNTED TEMPERATURE AND HUMIDITY SENSORS AS INDICATED ON THE DRAWINGS, WHEN DESIGN WET BULB IS GREATER THAN 74.

8. PROVIDE UNIT WITH FACTORY INSTALLED HOT GAS REHEAT OPTION. INCLUDING REMOTE MOUNTED TEMPERATURE AND HUMIDITY SENSORS AS INDICATED ON THE DRAWINGS.

SPECIFIED UNIT INCLUDES SUPPLY AIR TEMPERING CONTROL

SPECIFIED UNIT INCLUDES SUPPLY AIR TEMPERING CONTROL

PROJECT LOCATIONS WITHIN 3 MILES OF COASTAL AREAS REQUIRE EPOXY COATED COILS.

SPECIFIED RTUS SHALL BE SUPPLIED WITH OVERSIZED INDOOR FAN MOTOR AND EVAPORATOR MOTOR.

THERMOSTATS: HONEYWELL VISION PRO 8000 WITH WALL MOUNT REMOTE SENSOR. IF DEHUMIDIFICATION IS SPECIFIED, THERMOSTAT SHALL

TACO BELL CORPORATE RTU UNITS BASIS OF DESIGN IS TRANE. YORK SUBSTITUTION IS AN OPTION FOR FRANCHISEE AND SHALL BE THE CON

BE THE HONEYWELL VISION PRO 8321 WITH WALL MOUNT REMOTE SENSOR TRACTOR RESPONSIBILITY TO COORDINATE WITH ALL TRADES.

D

HVAC UNIT SCHEDULE

► SSOCIATES
PO Box 1596
Greenville, SC 29602
Phone: 864-232-6642
FAX: 864-242-4878
E-Mail: Corp@devitainc.com

DAIPROJECT: 15002-26

SCHEDULE NOTES:
1. LISTED CAPACITY IS THE STANDARD UNITS GROSS COOLING CAPACITY AT 80 DEG. F. DB / 67 DEG. F. WB EAT AND 105 DEG. F. AMBIENT. OUTDC

RTU-1 (ALT)

DINING

3000

750

0.75

1.5

916

7.5

97.0/70.0

12.0

13.1

180

144

12

80

208/3

42.7

50

1585

80

2761

RTU-2

KITCHEN

4400

950

<del>-----</del>

ω

596

12.5

12.1

13.5

250

203

N

3000

750

0.75"

10

1155

13.0

120

96

 $\overline{\omega}$ 

50

ALL WORK AND MATERIALS SHALL COMPLY WITH GOVERNING CODES, SAFETY ORDERS AND REGULATIONS

OBTAIN AND PAY FOR ALL NECESSARY PERMITS, FEES AND INSPECTIONS REQUIRED BY GOVERNING AUTHO

E.C. SHALL PROVIDE CONDUIT FOR LINE AND LOW VOLTAGE WIRING, LINE VOLTAGE WIRING SWITCHES, AND FINAL CONNECTIONS

ANY EQUIPMENT THAT IS SUBSTITUTED SHALL FIT IN THE SPACE PROVIDED WITH ADEQUATE ROOM FOR SERVICING, INCLUDING SUBSTITUTE EQUIPMENT NAMED IN THE SPECIFICATIONS. SUBMIT A 1/4" SCALE DRAWII EQUIPMENT SUBSTITUTED FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING, BUT NOT LIMINTED TO, STRUCTURAL AND ARCHITECTURAL IMPACT, CLEARANCE REQUIREMENTS AND UTILITY REQUIREMENTS.

FOR INSTALLATION OF RECHARGEABLE REFRIGERANT LINES FROM ICE MACHINE TO CONDENSER ON ROOF, SEE SCOPE OF WORK

HVAC UNITS SHALL BE MOUNTED LEVEL ON ROOF CURBS.

ALL SUPPLY / RETURN DUCTWORK SHALL BE EXTERNALLY INSULATED.

ALL SUPPLY / RETURN DUCTS SHALL BE RIGID, WITH THE EXCEPTION OF THE LAST 5'-0", WHICH MAY BE FLEX

SMOKE DETECTOR SHALL BE INSTALLED IN THE RETURN AIR DUCT, PRIOR TO ANY OUTS ONLY IF REQUIRED BY LOCAL CODE.

ALL HOOD EXHAUST DUCTS SHALL BE RIGID 16 GA MINIMUM, WELDED DUCT. GRIND ALL WELDS SMOOTH. PROVIDE 3M FIRE BARRIER DUCT WRAP FOR ALL HOOD EXHAUST DUCTS. PROVIDE ACCESS PANELS TO DAMPERS. SEE 8/M4.0.

£ 15/M4.0.

BRANCH DUCTS FEEDING INDIVIDUAL DIFFUSERS SHALL HAVE DAMPERS AT TAKEOFFS FOR AIR BALANCING.

UTILITY PIPING FOR RTU'S SHALL RUN UP THROUGH ROOF INSIDE EACH UNIT'S ROOF CURB

E 8/M1.0 AND SCOPE OF WORK FOR DESCRIPTION OF HVAC PACKAGE TO BE PURCHASED THROUGH YUM! BRANDS NATIONAL CONTRACT

AL HVAC SYSTEM TESTING AND BALANCING SHALL BE PERFORMED BY INDEPENDENT AGENT CONTRACTED DIRECTLY BY THE OWNER. A RE-TEST IS MANDATORY FOR A FALSE STAR JIPMENT NOT WIRED, ETC.) AND SHALL BE A COST INCURRED BY THE G.C. IN THE EVENT A SYSTEM / STORE RECEIVES A GRADE OF 5 OR BELOW AS A RESULT OF THE HVAC SYSTEM FIGIENCIES, OWNER WILL REQUEST A RE-TEST AND THE COST FOR SAME SHALL BE ALSO INCURRED BY THE GENERAL CONTRACTOR.

NEYWELL THERMOSTAT & TEMP SENSOR, PROVIDED WITH TRANE PACKAGE. USE T-CONT 802 WITH RTUS W/O DE-HUMIDICATION. USE T-CONT 803 WITH RTUS W/ RTUS W/ DE-HUMIDICATION. USE T-CONT 803 WITH RTUS W/ RTUS W/ DE-HUMIDICATION. USE T-CONT 803 WITH RTUS W/ RTUS W/ DE-HUMIDICATION. USE T-CONT 803 WITH RTUS W/ RTUS W/ DE-HUMIDICATION. USE T-CONT 803 WITH RTUS W/ RTUS W/ DE-HUMIDICATION. USE T-CONT 803 WITH RTUS W/ RTUS W/ DE-HUMIDICATION.

S ENERAL NOTES

10

GREEN

0.9

0.50

FF-2

XX-XXX MARK

CFM M

Ş

푹

STARTER

DISC

BDD

BIRD SCREEN

V-BELT

D-DR

MANUFACTURER AND MODEL NUMBER

STRATOVENT #SVDU50HFA STRATOVENT #SVDR30HFA

SEE NOTES 1,3,5,6,7,8,10

MARKS:

UL 762 LISTED (GREASE)

UL705 LISTED (HEAT OR STEAM)

FLAT ROOF CURB,19.5" X 19.5" X 26"H, VENTED

FLAT ROOF CURB, 19.5" X 19.5" X 14"H

GREASE CUP WITH DRAIN

FACTORY ATTACHED HINGES

WEATHERPROOF PRE-WIRED DISCONNECT SWITCH

PROVIDE PRE-WIRED SOLID STATE SPEED CONTROLLER

GRAVITY BACKDRAFT DAMPER

PROVIDED BY OWNER WITH HOOD PACKAGE

PLY AND EXHAUST FAN SCHEDULE

N

01.04.20

ESIGNED BY: MAS
IECKED BY: AMP
Professional Certification.
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland License No. 43220
Expiration Date:
01/02/39171111
0F MARI
0F MARI
15025.000

IPTION

DESCRI

CONTR
CONTR
CFM
DET.
DISC.

F PTR

OUTSIDE AIR
OPPOSED BLADE
STAINLESS STEEL

(x-x | 0000)

SINGLE LINE DUCT BRANCO (RECTANGULAR TO ROUND)

FLEXIBLE DUCT (14'-0 MAXIMUM)

PROGRAMMABLE THERMOSTAT, PROVIDED WITH TRANE PACKAGE

THERMOSTAT SENSOR (REMOTE), PROIVDED WITH TRANE PACK-HUMIDITY SENSOR (REMOTE), PROVIDED WITH TRANE PACKAGE

 $\bigcirc$ 

RESET

SMOKE DETECTOR RE

BE PREPARED AT TIME OF ORDER OR QUOTE REQUEST TO PROVIDE ALL PROJECT DETAILS REGA SPECIFICATIONS AND QUANTITIES AS SITE SPECIFIC DESIGN MAY NOT MATCH NATIONAL DESIGN.

SHALL PROVIDE NOTICE TO ENGINEER IN WRITING AS AN ATTACHMENT TO THE SUBMITTAL.	REVIEW OF SHOP DRAWINGS WILL ONLY BE CONSIDERED IN EXTREME CASES AND WILL BE CONSIDERED AND WILL BE CONSIDERED TO THE TRANSPORT OF THE TRANSPO	IF SHOP DRAWINGS ARE SUBMITTED TO ENGINEER OF RECORD FOR ANY AND ALL MATERIALS REQUIRING RE	SHOP DRAWING SUBMITTALS:		<ol> <li>DIFFUSERS IN HARD CEILINGS SHALL BE PROVIDED WITH OFFOSED BLADE DAMFERS ACCESSIB</li> <li>CONTRACTOR IS RESPONSIBLE FOR AIR TERMINAL COUNT. COORDINATE WITH M2.0.</li> </ol>	NOTES:	

DRAWINGS FOR CEILING TYPES.

ω

BUILDING TYPE:
PLAN VERSION:
SITE NUMBER:
ENTITY NUMBER:

JULY 15, 2015 MED-40-MOD

JUNE 2015

FOR COMPLETE INFORMATION AND PRICING ON THE TRANE HVAC PACKAGE CONTACT MARTY CL BRANDS ACCOUNT EXECUTIVE AT TRANE NATIONAL ACCOUNTS. TOLL-FREE PHONE: (866) YUM-HVAC or (866) 986-4822 FAX: (502) 499-7870 EMAIL: mjcusick@trane.com TACO BELL HAS A NATIONAL HVAC AGREEMENT WITH YORK NATIONAL ACCOUNTS. FOR QUOTES SPECIFICATIONS, PLEASE CONTACT MATT MCNAIR, YORK PRODUCT APPLICATION ENGINEER AT 8.866-406-9675. FOR ALL OTHER INQUIRIES, PLEASE CONTACT NATALIE DEROUSSE, YORK NATIONAL SALES MANAGER AT 405-419-6416. TRANE AND YORK HAVE AGREED TO SUPPLY AN HVAC PACKAGE CONSISTING OF THE ROOF-TOP THERMOSTATS, TEMPERATURE SENSORS (REMOTE), AND HUMIDITY SENSORS (REMOTE). RTU'S A INCLUDE AN UNPOWERED CONVENIENCE OUTLET (SEE ELECTRICAL) AND AN HACR CIRCUIT BREAP PROVIDES UNIT DISCONNECT. TRANE AND YORK ALSO HAVE AVAILABLE OPTION PACKAGES WHICH SMOKE DETECTORS AND ANNUNCIATORS, ECONOMIZERS, AND RTU VARIATIONS SUCH AS HIGH-FMODELS.

NOTES.	E-2	<u>т</u>		R-1		S-4	S-3	S-1	MARK	XX-XXX	
					·				QI	UANTIT	Y
	10x10	8x8		22x22		12	9x9	 15x15		NECK	
	24x24	12x12		24x24		24x24	14x14	24x24	SIZE	OR CEILING GRID	DIFFUSER FACE
		<del>nadddidd</del> au ar o fel far y y flyta	A			×	×	×	DIFF	USER	
									REG	SISTER	TYPE
	×	×		×					G	RILL	
	NO DIREC. 0-400	4W 0-200		4W 0-2000		VERT 300-700	2W 0-250	4W 0-500	RANGE	CEM	(NO.) & AIR
	×			×					LA	Y-IN	MOUNTING
		×				×	×		SUF	RFACE	TING
						×		×	SU	PPLY	
				×	-				RE	TURN	ALOG
	×	×							EXH	HAUST	
		×		×		×	×	×	ALUI	MINUM	MATERIAL
								 	ST	TEEL	RIAL
	METAL-AIRE/TITUS CC5-FB-TB/50F-NT	METAL-AIRE / TITUS		METAL-AIRE		HART & COOLEY	METAL-AIRE / TITUS	METAL-AIRE / TITUS		MANUFACTURER	
	CC5-FB-TB / 50F-NT	CC50 / 50F		RHE-H-1		RZMCDST	5000-1 / TDC-AA	5000-6 / TDC-AA		MODEL NUMBER	
	PROVIDE 2'x2' LAY-IN PANEL	FRN SQR TO RND ADAPTER		FULLY REMOVABLE FACE		PLASTIC MODULAR CORE	FRN SQR TO RND ADAPTER	FRN SQR TO RND ADAPTER		REMARKS	

N.T.S.	4. Anding		SAKER WHICH ICH INCLUDE	O UNITS, CURBS,	800-481-9738, FAX AL ACCOUNT	0 TFO	JOSIUN, ITE TUM!			REVIEW PRIOR TO MITTALS. EXPEDITED ADDED COST TO THE THE CONTRACTOR	
	NOTE: THE OUTSIDE PERCENTAGE OF TOTAL SUPPLY AIR IS 25.0% FOR RTU-1 AND 20.0% FOR RTU-2.	TOTAL		RTU-2	<u>RTU-1</u>			EF-2	EF-1	ІТЕМ	
AIF	ITAGE OF TOTAL	1700		950	750				J	OA	
AIR BALANCE SCHED	SUPPLY AIR IS 25	5700		3450	2250					RA	AIR
CE SCHE	.0% FOR RTU-1 A	7400		4400	3000			ŀ	1	SA	AIR DEVICE SCHEDULE
<b>DULE CFM</b>	ND 20.0% FOR R	1620			***			570	1050	EΑ	CHEDUL
3	TU-2.	+80		+950	+750			-570	-1050	PRESSURE	
			***************************************								





MECHANICAL

**SCHEDULES** 



606.2.1 Return air systems. Smoke detectors shall be installed in return air systems with a design capacity greater than 2,000 cfm (0.9 m3/s), in the return air duct or plenum upstream of any filters, connections, outdoor air connections, appliances. ation. Smoke or decontamination section shall smoke

the system including return air and exhaust or relief air. Access be provided to smoke detectors for inspection and maintenanc [F] 606.4 Controls operation. Upon activation, the smoke detectors shall shut down all operational capabilities of the air distribution system in accordance with the listing and labeling of appliance in the system. Air distribution systems that are part of a smoke control system shall switch to the smoke control mode upon activation of a detector exhaust air uipment and 606.3 Install 606.3 Installation. Smoke detectors installed in accordance with NFPA the smoke detectors the air distribution noon nces used loke iveyed by cess shall ance.

6.4.2.1 Smoke de shall be located as Ill be located as follows:

Downstream of the air filters and ahead of any branch air supply systems detectors listed for use having a capacity in air distribution sy greate /stems than 944

> **INSPECTION AND APPROVAL** MECHANICAL PLANS RELEASED SUBJECT TO FIELD

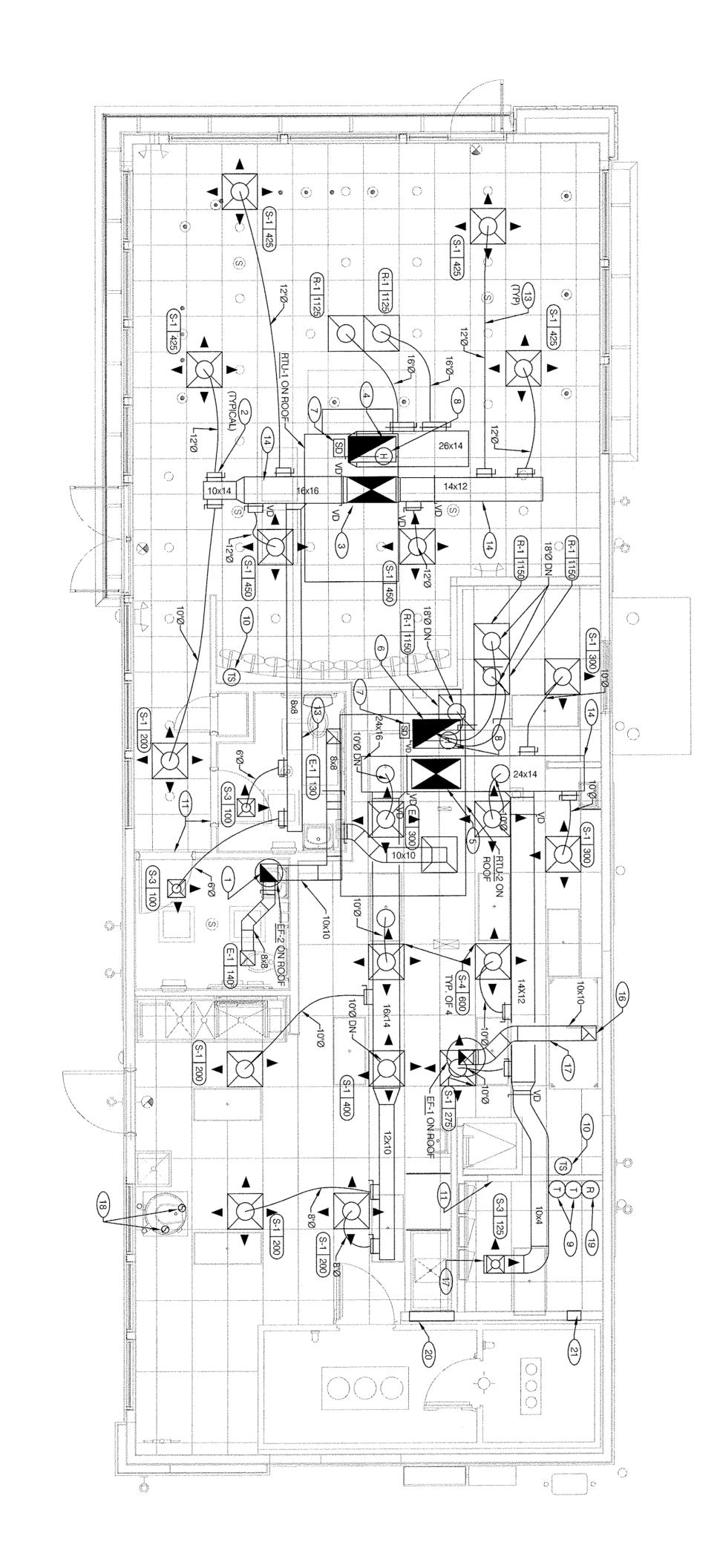
FIRE SUPPI RESSION SYSTEMS ARE NOT WITH THIS APPLICATION



MARK D. MCCLUGGAGE AIA, CCS

1525 E. Douglas Wichita, KS 67211 Tel: (316) 265-9367 Fax: (316) 265-5646

www.glmv.com



DAIPROJECT: 15002-26

NED BY: MAS
NED BY: AMP
Sisional Certification.
Sisional Certification.
Sisional Certification.
Sisional Certification.
Sisional Certify that
The documents were
The

25 000

SSOCIATES

Box 1596

enville, SC 29602

ne: 864-232-6642

: 864-242-4878

ail: Corp@devitainc.com

DUC

JULY 15, 2015 WED-40-MOD

JUNE 2015

HOLTON LANE
PARK, MD 20912

THERMOSTATS SHALL BE PROGRAMMABLE THERMOSTAT WITH SUBBREMOTE TEMPERATURE SENSOR, AND REMOTE HUMIDITY SENSOR. (PROVIDED WITH TRANE PACKAGE).

IM LIGHT FIXTURE LOCATIONS ARE CRITICAL. COORDINATE LOCATIONS SO AS NOT TO CONFLICT WITH LIGHT FIXTURE

IMIDITY SENSOR APPLICATION IS VARIABLE PER SITE SPECIFIC NUDITIONS. REFER TO HVAC UNIT SCHEDULE, 1/M1.0, FOR APPL NUDITIONS.

60)

34x20 RETURN AIR DUCT UP. CONNECT TO RETURN AIR PLENUM AT ROOFTOP UNIT RTU-2.

FURNISH AND INSTALL SMOKE DETECTOR IN THE RETURN AIR DUCT, IN ACCORDANCE WITH LOCAL CODES. DUCT SMOKE DETECTOR WIRED BY ELECTRICAL CONTRACTOR, SEE SHEET E3.2.

(19)

(<del>d</del>)

EXHAUST DUCTWORK RUN UP BETWEEN ROOF JOISTS AND THROUGH OPEN WEBBING (IF NEEDED) TO EF-1.

FURNISH AND INSTALL 3" PVC WATER HEATER INTAKE AND FLUE VENT TERMINATION ON ROOF. COORDINATE WORK WITH ALL TRADES.

NEW SMOKE DETECTOR RESET SWITCH WITH KEY. MFR. IS "SYSTEM SENSOR" MODEL # RT5151 KEY. MOUNT NEXT TO THERMOSTATS @ 48" A.F.F. - INSTALL PER MFR. SPECIFICATIONS.

ACCESS OPENING TO SPACE ABOVE WALK-IN. SEE SHEET A7.1.

36x20 SUPPLY / RTU-2.

 $34\mathrm{x}18$  return air duct up. Connect to return air plenum at rooftop unit rtu-1.

AIR DUCT UP. CONNECT TO SUPPLY AIR PLENUM AT ROOFTOP UNIT

 $34\!\!\times\!\!18$  SUPPLY AIR DUCT UP. CONNECT TO SUPPLY AIR PLENUM AT ROOFTOP UNIT RTU-1.

RUN DUCTWORK BETWEEN JOISTS AS HIGH AS POSSIBLE UNDER ROOF

(15) NOT USED.

(16) 10"X10" EXHAUST AIR DUCT DOWN AND TRANSITION TO FIELD CUT EXHAUST CONNECTION AT HOOD. EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BETWEEN ROOF JOIN AND TRANSITION TO FIELD CUT EXHAUST DUCT SHALL RUN BUT AND TRANSITION TO FIELD CUT SHALL RUN BUT SHALL RUN B

RUN DUCT THROUGH OPEN WEBBING OF ROOF JOISTS (WHERE POSSIB COORDINATE WITH TRUSS DESIGN PRIOR TO DUCTWORK FABRICATION.

10"X10" EXHAUST AIR DUCT DOWN AND TRANSITION TO FIELD CUT EXHAUST CONNECTION AT HOOD. EXHAUST DUCT SHALL RUN BETWEEN ROOF JOISTS TO CONNECT TO ROOF EXHAUST FAN EF-1. SEE HOOD DETAILS ON DRAWING M3.0. SEE DETAIL 15 ON SHEET M4.0 FOR FIRE PROTECTION OF DUCT WORK. SEE DETAIL 18 ON SHEET M4.0 FOR EXHAUST DUCT TRANSITION.

SEE DETAIL 8 ON DRAWING M4.0 FOR SUPPLY AIR TAKE-OFF TO CEILING DIFFUSERS RETURN OR EXHAUST AIR TAKE-OFFS SHALL BE SIMILAR.

(o)

 $\left(\infty\right)$ 

HUMIDITY SENSOR (REMOTE). HUMIDITY SENSOR LOCATION SHALL BE PLACED IN RETURN AIR DUCTWORK. VERIFY EXACT LOCATION. SEE 9/M4.0.

LOCATE THERMOSTAT CONTROLS ON WALL IN OFFICE AT 48" A.F.F. COORD LOCATION WITH LIGHT SWITCHES.

DERCUT RESTROOM DOORS AND OFFICE DOOR MIN. 3/4" FOR MAKE-UP AIR

NT THERMOSTAT REMOTE SENSOR AT 60" ABOVE FINISHED FLOOR

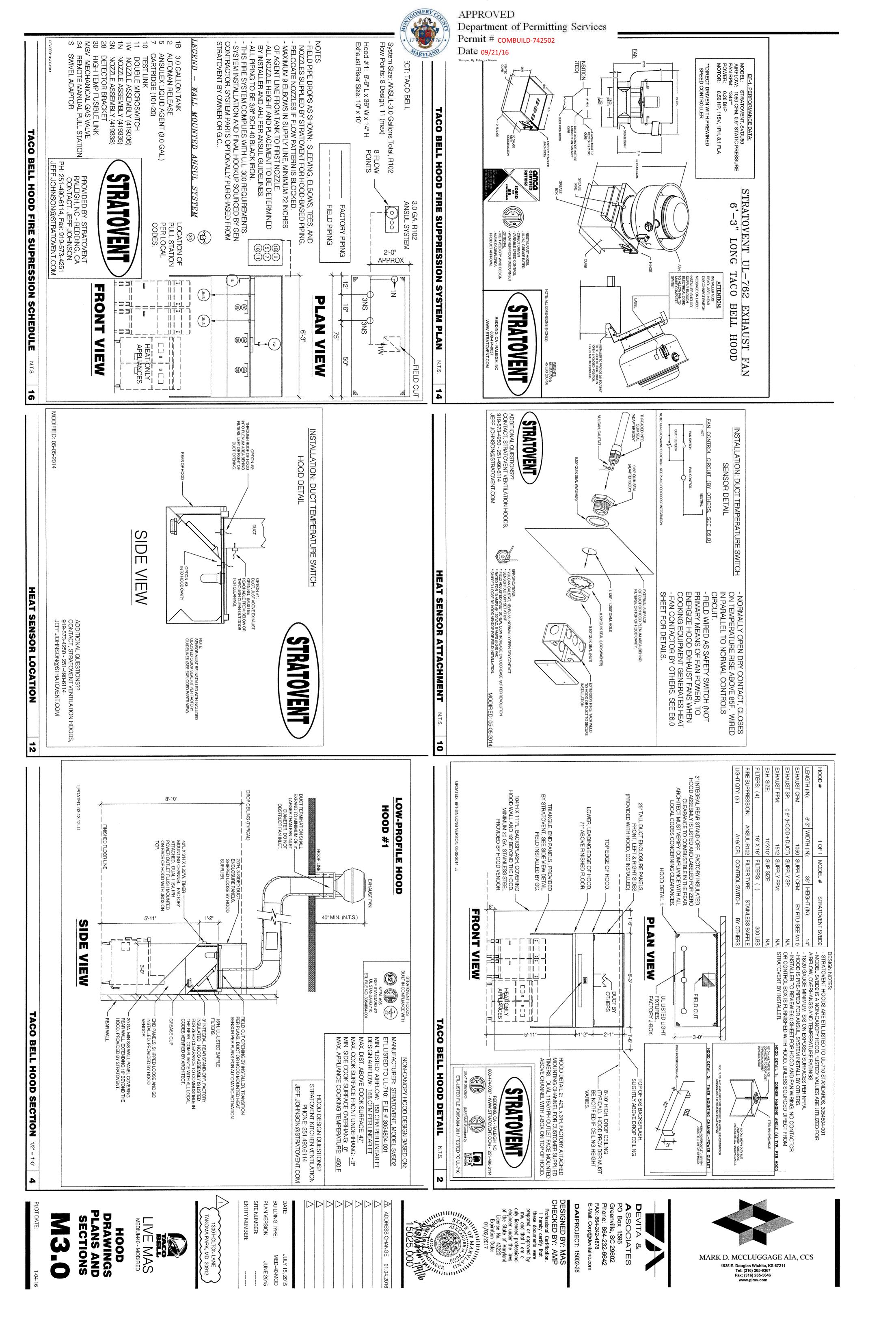
MECHANICAL

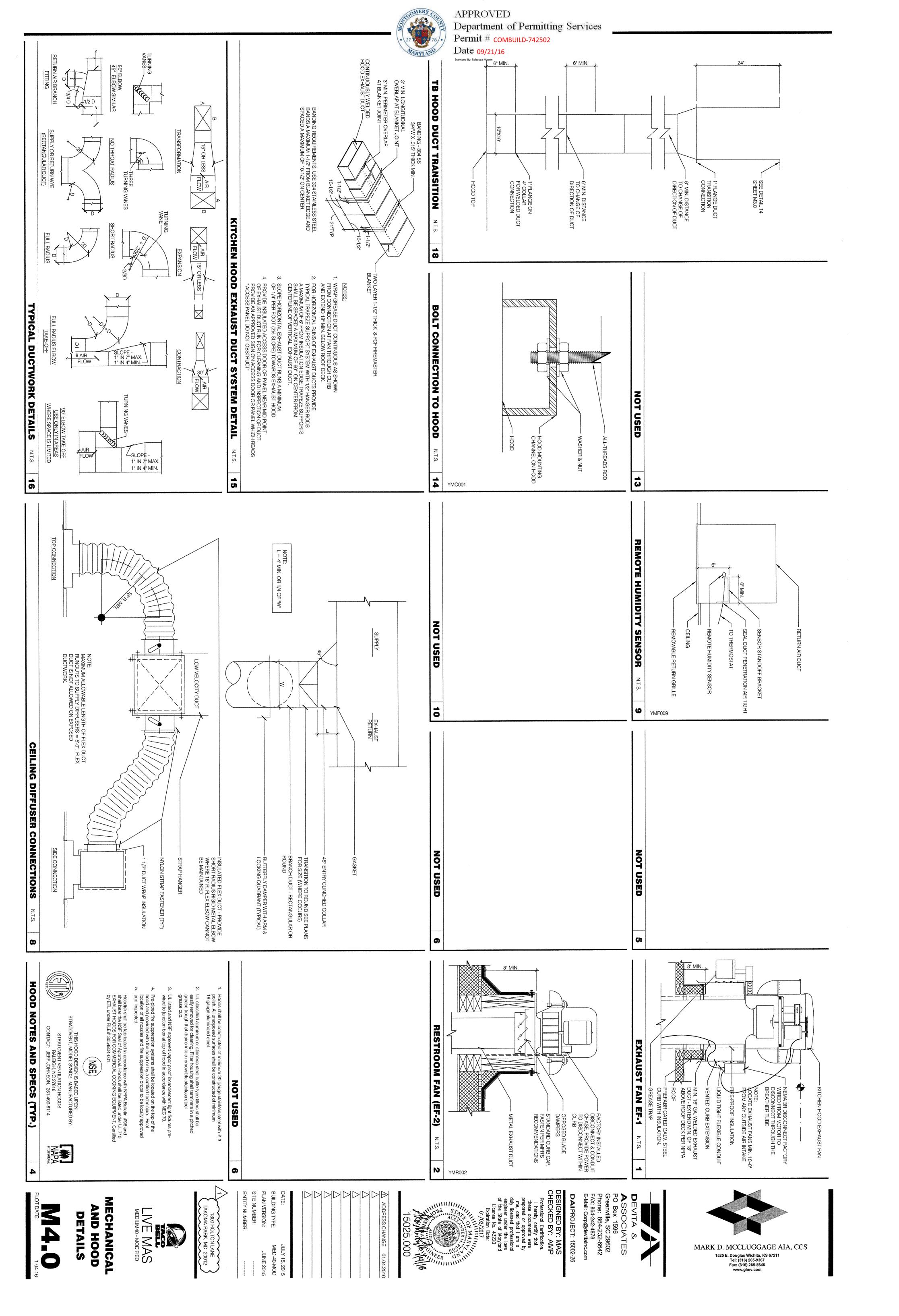
**DUCT PLAN** 

KEY NOTES

LIVE MAS

**DIFFUSER AND** 





APPROVED Department of Permitting Services Permit # combuild-742502 Date 09/21/16 CPVC SCHEDULE 40 WASTE PIPE CAN BE LOCAL MUNICIPALITIES. ALL VALVES, TRAP PRIMERS, WATER HAMMER ARRESTORS OR OTHER EQUIPMENT SHOWN IN WALLS OR ABOVE NON-ACCESSIBLE CEILING SHALL BE INSTALLED BEHIND AN ACCESS PANEL. ALL DRAWN WATER AND GAS LINES SHALL BE KEPT TIGHT TO THE UNDERSIDE OF EQUIPMENT AND SECURED IN PLACE. SOIL AND WASTE PIPE PROVIDE ESCUTCHEON PLATES AND SILICONE SEALANT AT ALL UTILITY PENETRATIONS INTO WALLS, AND FLOORS. DO NOT USE CAULKS OR EXPANDING FOAMS FOR SEALANT. ALL PLUMBING FIXTURE VENTS SHALL TERMINATE 10 FEET FROM ANY OUTSIDE AIR INTAKE. PROVIDE TRAP PRIMERS FOR FLOOR DRAINS IN RESTROOMS, TRAPS FOR FLOOR DRAINS WITHOUT TRAP PRIMERS. VERIFY THE LOCATION OF THE REQUIRED. ALL WATER LINES SHALL BE FLUSHED PRIOR TO CONNECTING ANY FIXTURES OR EQUIPMENT PEX PLASTIC TUBING AND FITTING CAN BE USED AS AN OPTION, ALL INSTALLATION SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SHALL COMPLY WITH ALL CURRENT STATE AND LOCAL CODES AND LAWS. NSTALL SHUT-OFF VALVES ON ALL HOT AND COLD WATER LINES TO FIXTURE OR APPLIANCE. WATER AND WASTE LINES TO BE CHROME PLATED. FER TO KITCHEN EQUIPMENT FURNISHED AND INSTALLED TCHEN EQUIPMENT SHALL BE ROVIDE CONDENSATE DRAIN FROM A/C UNITS TO APPROVED DRAIN, DNNECTIONS REQUIRED FOR OPERATION. FER TO MECHANICAL HE OWNER OR KITCHEN EQUIPMENT SUPPLIER MAY SUBSTITUTE EQUIPMENT OR THE EQUIPMENT MAY VARY ROM WHAT IS SHOWN. THEREFORE, VERIFY ALL CRITICAL DIMENSIONS WITH THE OWNER PRIOR TO CONSTRUCTION. FAILURE OF THE CONTRACTOR TO VERIFY THESE DIMENSIONS SHALL PLACE THE RESPONSIBILITY OF ANY SUBSEQUENT RELOCATION DIRECTLY UPON THE CONTRACTOR. ROVIDE WATER HAMMER ARRESTOR FOR ALL HAND KOVIDE GAS PIPING TO UNITS AND ALL FINAL CONNECTIONS REQUIRED FOR OPERATION. RNISH AND INSTALL ALL BACKFLOW PROTECTION DEVICES REQUIRED BY AGENCIES HAVING CKFLOW DEVICES REQUIRING TESTING SHALL BE INSTALLED NO HIGHER THAN 5'-0" A.F.F. ORDINATE INSTALLATION OF PLUMBING WORK WITH ALL OTHER TRADES SO AS TO AVOID UNNECESSARY DELAY INTERFERENCES. CONTRACTOR SHALL REVIEW ARCHITECTURAL AND EQUIPMENT SHEETS. OVIDE AIR GAPS FOR INDIRECT DRAINS METER OF THE INDIRECT DRAIN. OR TO COMMENCING WORK ON THIS PROJECT, VERIFY DEPTH, SIZE, LOCATION AND CONDITION OF ALL STING UTILITIES IN FIELD. SHOULD CONDITIONS EXIST OTHER THAN THOSE INDICATED WHICH WOULD CAUSE DESIGN TO BE ALTERED, CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY. FLOOR SINKS AND FLOOR DRAINS IN TRAFFIC AREAS SHALL CLEANOUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE. THE CONTRACTOR SHALL COORDINATE ALL ANOUT LOCATIONS WITH EQUIPMENT, CABINETS, ETC. AND THE OWNERS REPRESENTATIVE PRIOR TO ANY ALLATION. GAS LINES SHALL BE SUPPORTED SEE SPECS VALVES, UNIONS, ETC. SHALL WATER LINES **GREASE** CONTRACTOR SHALL INSTALL A MINIMUM 1000 GALLON GREASE INTERCEPTOR SIZE AND INSTALLATION BASED ON 2013 WASHINGTON SUBURBAN SANITARY COMMISSION PLUMBING AND FUEL GAS CODE. SHALL BE RUN OVERHEAD UNLESS OTHERW SHEETS FOR HVAC AND HOOD PLUMBING SHALL INSTALL (1) 1,000 GALLON SANITARY SEWER ON THE SITE PLAN DRAWINGS FOR PLUMBING ROUGH-IN SCHEDULE AND FOR ADDITIONAL WORK BY CONTRACTOR. ALL ROUGH-IN PLUMBING AND FINAL CONNECTIONS TO MADE BY THE CONTRACTOR UNLESS OTHERWISE NOTED. GREASE INTERCEPTOR SIZING 2% MINIMUM, UNLESS OTHERWISE NOTED INTERCEPTOR AS REQUIRED 8 FOR BLACK IRON AND GENERAL NOTES 12 BE INSTALLED FLUSH TO FLOOR SURFACE AIR GAP SHALL BE MINIMUM 2 INCHES FROM ANY VERTICAL 7500 7500 7500 1000 11250 1500 25000 3000 5000 GAS PIPING TO UNITS AND ALL FINAL SIZING OR REQUIRED BY CODE. THE SEWER SYSTEM AS ALL EXPOSED GAS A 유 SYMBOLS X-X 0000 X0 1 ABBREV. U.T.R V.C.P C.I. A.C.P (N) F.D. G G CW HW H.W.R. V. V. S.D. C.D. F.C.O. W.C.O. F.W. S.O.C C.V. S.O.C S.O F.S. PRESS-IL...

BALL VALVE

COLD WATER BELOW GRADI

EXTERIOR CLEAN OUT

BACK FLOW PREVENTER

"'YTURE UNIT

"HERWISE NOTI KITCHEN EQUIPMENT NUMBER: REFER TO
KITCHEN EQUIP. DRAWINGS FOR DESCRIPTION.
SOIL OR WASTE (SANITARY)/ WASTE STUB
SOIL OR WASTE (GREASE WASTE)/WASTE STUB
GAS / GAS STUB
COLD WATER / CW STUB
HOT WATER / HW STUB HOSE BIBB
SHUT-OFF GATE VALVE
SHUT-OFF GAS COCK
CHECK VALVE FILTERED WATER
PREMIXED TEMPERATURE CONDENSATE DRAIN
FLOOR CLEANOUT C
WALL CLEANOUT FLOOR SINK HUB DRAIN OVERFLOW DRAIN DESCRIPT HOT WATER RETUR UP THRU ROOF
VITRIFIED CLAY PIPE
CAST IRON ASBESTOS CEMENT MBING 9 OR CLEANOUT TO NOTED GRADE C

> FS 2 RO 1 MV 1 WH 1 FLOOR DRAIN WALL FLOOR CLEANOUT EXTERIOR CLEANOUT FLOOR SINK FLOOR SINK EXPANSION TANK LAVATORY (MEEN) WATER CLOSET PREVENTOR (EQUIPMENT) SHOCK ARRESTOR BACKFLOW PREVENTOR HAND SINK HUB DRAIN WATER HEATER MIXING VALVE PREP SINK SINK GREEN GREEN GPEN 1-1/4" 1-1/2" ယ္ .4≥ 4 ယ္ခ  $\sqrt{5}$ 4 t 1 \$ ယူ 1 ŀ ŧ 1-1/2" 1-1/2" 1-1/2 ₽  $\bar{b}$ Ŋ ιŽ  $\sqrt{5}$ ;  $\vec{b}$ ł ; 1 COLD WATER 1-1/4" 3/4" 1/2" 1/2 1/2 ; 1/2 1/2 1/2 ; í 1/2 HOT WATER 1/2 ţ 1/2 1/2 ; 1 1 1/2 1 1 ł ŀ 1 1 1/2 É 1/2 ŀ ; \$ 1 : 1 ; ì · · ! 1 WHITE VITREOUS CHINA FLOOR MOUNTED FLUSHOMETER TANK (PRESSURE ASSISTED) TYPE, ELONGATED BOWL, ADA COMPLIANT, 1.1 GPF, WITH OPEN FRONT SEAT LESS COVER, OLSENITE #95 OR EQUIVALENT. FLUSHOMETER TANK: SLOAN FLUSHMATE OR EQUAL. PROVIDE TANK COVER LOCKS. FLUSH LEVERS SHALL BE RIGHT HAND OR LEFT HAND AS REQUIRED TO CORRESPOND WITH ACCESS FROM WIDE SIDE OF STALL. VERIFY FLUSH SIDE REQUIREMENTS LIGHT DUTY ADJUSTABLE PVC RING AND FASTENED GRATE WHITE VITREOUS CHINA, WALL HUNG, WITH CONCEALED ARN WITH INTEGRAL BACKSPLASH, ADA ACCESSIBLE. FLAT GRID AND 0.5 GPM AERATOR. FAUCET: FURNISHED BY OWNER-INSTYPE FAUCET, T&S #B-2460 (N-134), ADA COMPLIANT. SEE S-1: STAINLESS STEEL HAND SINK, WALL HUNG, INCLUDES A FAUCET, BRAIDED WATER LINES AND 0.5 GPM AERATOR PVC 12" SQUARE FLOOR SINK, 6" DEEP, AND NICKEL BRONZE HINGED TOP. LIGHT DUTY, ACID RESISTANCE, WHITE PVC FLOOR SINK W/ 12" SQURE WHIT PVC HALF AND STAINLESS STEEL DEBRIS BUCKET WITH LIFTING HANDEL. MOP SINK: AERO - 3MP-2121-6 W/ 48" HIGH S.S LEFT SIDE AN BACK-SPLASH. FURNISHED BY OWNER, INSTALLED BY GC. FAUCET: T&S #B2465, WITH VACUUM BREAKER, FURNISHED BY GC. CAST IRON CLEANOUT TEE WITH INLET/OUTLET SPIGOT AND PLUG, WITH STAINLESS STEEL ACCESS COVER. CAST IRON CLEANOUT WITH THREADED HEAVY CAST IRON COVER. GAS FIRED WATER HEATER, 98.5% THERMAL EFF., 120,000 BTUH INPUT, 60 GAL. STORAGE TANK, 138 GPH @ 100 DEG. RISE REC. RATE, 3" PVC FLUE & AIR INTAKE, ASME RTD TEMP. & PRESS. REL. VALVE, ELECTRONIC IGNITION SYSTEM AND ELETRONIC CONTROLS. Call 800-477-1953 Option #1 for National Account Price & Service
>
> EXPANSION TANK, STEEL, EXPANSION MEMBRANE 150 PSI, 160° F, 12 GALLON CAPACITY. WHITE VITREOUS CHINA, WALL HUNG, TOP INLET, ADA COMF WALL HANGER. NON-FREEZE WALL HYDRANT WITH INTEGRAL AND NICKEL BRONZE BOX. JENSEN PRECAST 1,500 GALOON GREASE INTERCEPTOR WITH SAMPLE BOX FINAL SIZE TO BE DETERMINED BY LOCAL BUILDING AUTHORITY CAST IRON DEEP SEAL CLEANOUT PLUG. STAINLESS STEEL CAS SIZED PER PDI-WH201 THERMOSTATIC, 125 P516, 200VF BRONZE BODY, CHECK VALVES SIZE PER PIPE CONNECTIONS. REDUCED PRESSURE ZONE BACKFLOW PREVENTER, CAST E QUARTER TURN FULL-PORT BALL VALVES AND BRONZE STRA DUAL CHECK VALVES DISC MODULES. SOAK STANDARD, GE RMS SUPPORT, 4" CENTERS,
> D STRAINER, BRAIDED WATER LINES
> NSTALLED BY G.C. SINGLE LEVER
> E 8/P6.0 FOR LAV SUPPORT DETAIL.
> A 6" GOOSENECK STAINLESS NG, ROUND SCORIATED EN III IS AN OPTION FOR FRANCHISE RONZE NER. BY OWNER, INSTALLED LIANT, 1/8 GPF, WITH THREADED BRASS CONSTRUCTION WITH WATTS SERIES DET
>
> AMTROL SERIES ST
>
> WILKINS SERIES WXTP
>
> WATTS / MODEL: 009M2QTS
>
> WILKINS / MODEL: 975XLS
>
> FEBCO / MODEL: 860
>
> WADE / SHOKSTOP
>
> JOSAM / MODEL: 75000
>
> ZURN / SHOKTROL
>
> WADE / SHOKTROL
>
> JOSAM / MODEL: 2453EF
>
> ZURN / MODEL: SERIES LF7F
>
> WILKINS - EQUAL
>
> FERCO - FOUAL POWERS SERIES LF495
>
> LAWLER SERIES 310
>
> LEONARD SERIES 170
>
> AO SMITH / BTH 120
>
> STATE / SUF 100 120 NE A.S. COMRADE/ MODEL: 0124.131
> CRANE "HARWICH" / MODEL: 1412V SIOUX / MODEL: 861-4-PND

> > Javana Ja

SSOCIATES
O Box 1596
ireenville, SC 29602
hone: 864-232-6642
AX: 864-242-4878
-Mail: Corp@devitainc.com

MARK D. MCCLUGGAGE AIA, CCS

1525 E. Douglas Wichita, KS 67211 Tel: (316) 265-9367 Fax: (316) 265-5646

www.glmv.com

SCHEDULES AND NOTES PLUMBING LIVE MEDIUM40: MAS



01.04.2016

1	1	f :	i !	! !

BUILDING TYPE:
PLAN VERSION:
SITE NUMBER:
ENTITY NUMBER:

JULY 15, 2015 MED-40-MOD

JNE 2015

PLUMBING SCHEDULE

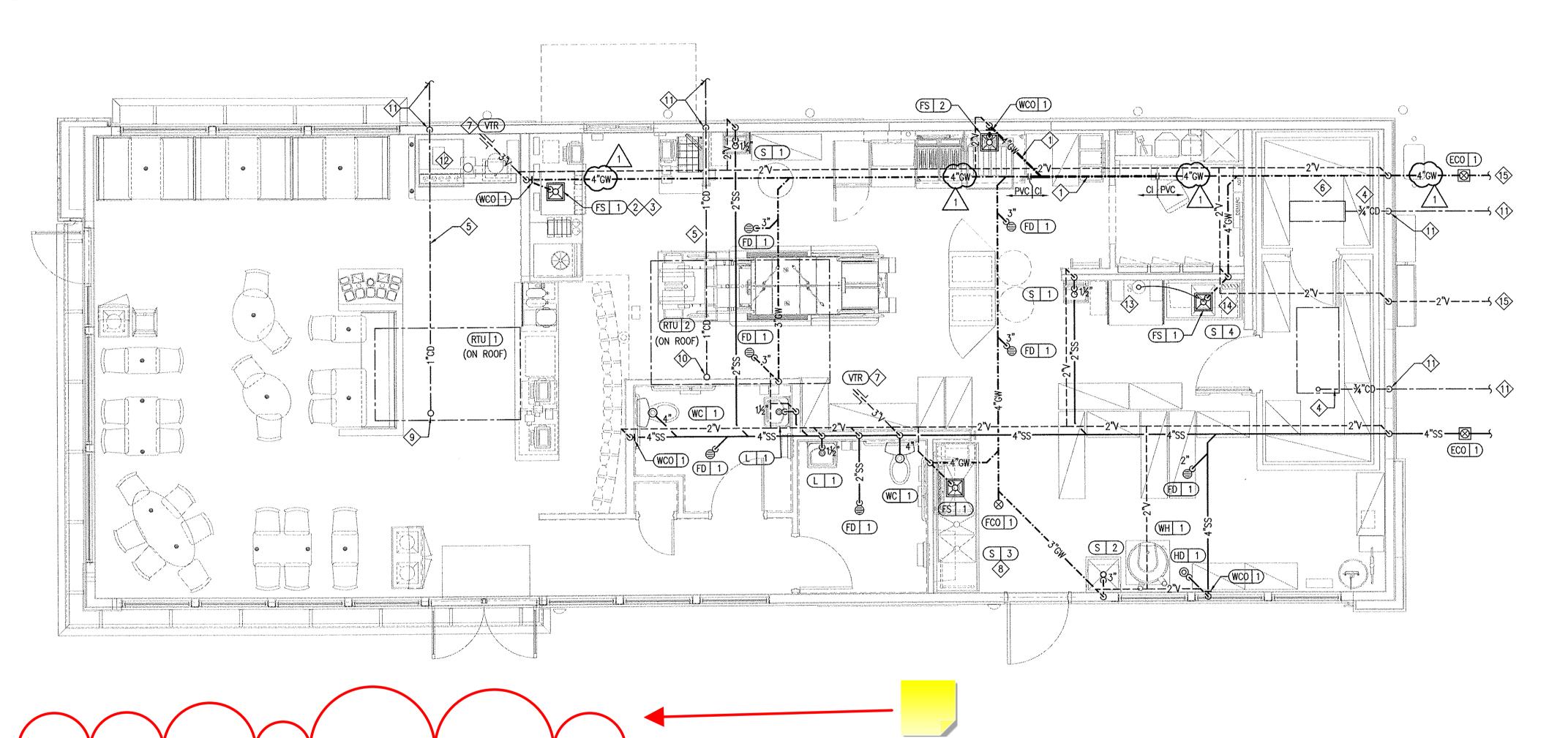
<b>□•</b> ////2///			WASTE			
MARK	FIXTURE/EQUIPMENT	QUANTITY	Waste F.U. Per fixture	total f.u. Per fixtur		
FD-1	FLOOR DRAIN	3	2.0	6.0		
HD-1	HUB DRAIN	1	2.0	2.0		
WC-1	ADA WATER CLOSET	2	4.0	8.0		
L-1	LAVATORY	2	1.0	2.0		
S-1	HAND SINK	2	2.0	4.0		
	TOTALS			22.0		

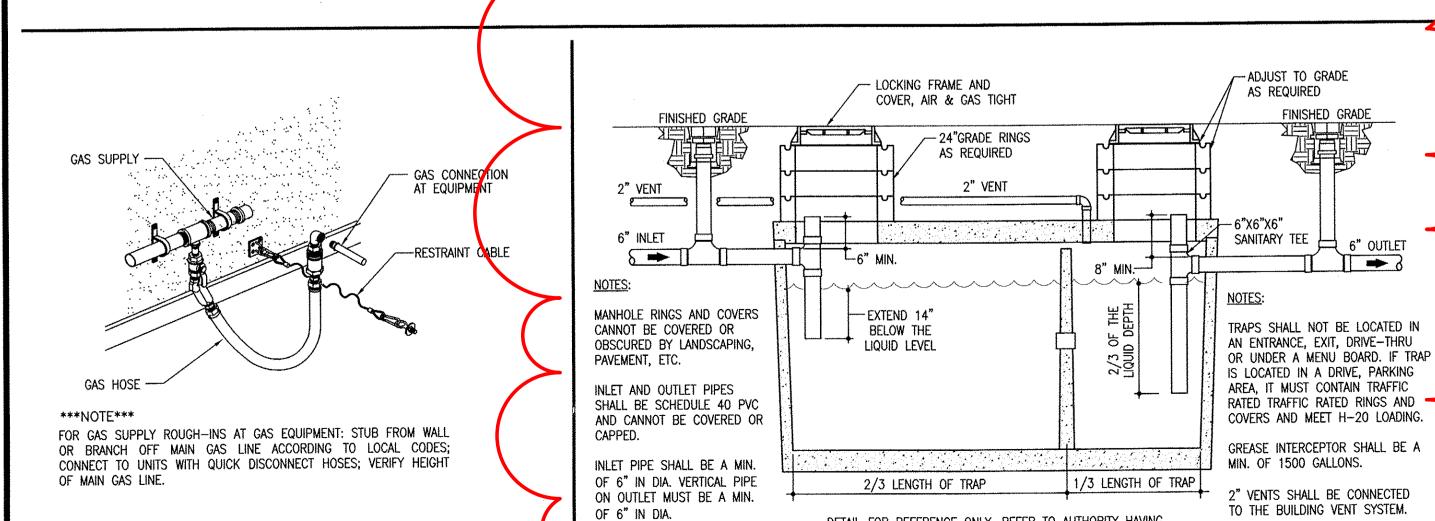
RESTRAINT CABLE TO EQUIPMENT N.T.S.

			WASTE			
MARK	FIXTURE/EQUIPMENT	QUANTITY	Waste F.U. Per fixture			
FD-1	FLOOR DRAIN	4	3.0	12.0		
FS-1	FLOOR SINK	3	3.0	9.0		
FS-2	FLOOR SINK	1	3.0	3.0		
S-2	MOP SINK	1	5.0	5.0		
			<u> </u>			
	TOTALS	Ļ <u>.</u>	<u> </u>	29.0		









DETAIL FOR REFERENCE ONLY. REFER TO AUTHORITY HAVING JURISDICTION FOR CORRECT TYPE OF INTERCEPTOR TO BE USED.

GREASE INTERCEPTOR DETAIL N.T.S.

NOTIFY GENERAL CONTRACTOR OF PENETRATIONS THROUGH ROOF MEMBRANE. REFER TO ROOF PLAN FOR LOCATIONS.

B. REFER TO RISER DIAGRAM ON SHEET P5.0 FOR ALL WASTE AND VENT SIZES.

SEE ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATIONS.

WASTE & VENT PLAN NOTES

-3

VERIFY WITH THE LOCAL BUILDING AUTHORITY THAT CONDENSATE DRAINAGE CAN BE ROUTED TO THE MOP SINK.

1) UNDERGROUND GREASE WASTE PIPE SHALL BE HUB CAST IRON PIPE FOR THE FIRST 10 FEET FROM CONNECTION TO FLOOR SINK FS-2,

PROVIDE CONDENSATE LINE AND DRAIN LINE FROM ICE MACHINE TO FLOOR SINK, PROVIDE AIR GAP PER LOCAL CODE.

- 3> PROVIDE WASTE LINES FROM BEVERAGE UNIT TO FLOOR SINK, PROVIDE AIR GAP PER LOCAL CODE.
- 4> PROVIDE 3/4" COPPER CONDENSATE FROM COOLER/FREEZER EVAPORATOR DRAIN PROVIDED BY VENDOR TO OUTFALL TO THE OUTSIDE (HEAT ROPE IS SUPPLIED WITH FREEZER CONDENSATE).

PIPE 3/4" DRAIN FROM REVERSE OSMOSIS SYSTEM TO FLOOR SINK.

- <5> COPPER CONDENSATE DRAIN FROM HVAC UNITS ON ROOF, RUN ABOVE CEILING TO DRYWELL. PIPING SHALL SLOPE 1/4" PER FOOT AND SHALL BE INSULATED WITH 1" CLOSED CELLULAR INSULATION. REFER TO RISER DIAGRAM ON SHEET P5.0 FOR PIPE SIZES.
- (6) DRAIN LINES TO INLET OF EXTERIOR GREASE INTERCEPTOR AND OUTLET OF INTERCEPTOR TO CONNECTION AT SANITARY MAIN SHALL BE SCHEDULE 40 PVC DWV OR AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- 3" VENT UP THROUGH ROOF.

C

(8) PIPE WASTE FROM 3-COMPARTMENT SINK TO FLOOR SINK WITH AIR GAP PER CODE.

- 9 1" CONDENSATE DRAIN DOWN FROM RTU-1. SEE DETAIL 13 ON DRAWING P6.0.
- 1" CONDENSATE DRAIN DOWN FROM RTU-2. SEE DETAIL 13 ON DRAWING P6.0.

WASTE & VENT PLAN 1/4"=1'-0" A

- 2" CONDENSATE DRAIN PIPE DOWN TO DRYWELL. IF REQUIRED RUN CONDENSATE PIPING TO EXTERIOR DRYWELL, RETENTION AREA OR STORM SEWER AS DIRECTED BY THE AUTHORITY HAVING JURISDICTION.
- 12 RUN DRAIN LINE FROM S/S DRINK MACHINE THRU WALL OPENING. TO OUTFALL AT FLOOR SINK BENEATH D/T DRINK MACHINE.
- 13 34" DRAIN FOR REVERSE OSMOSIS.
- PIPE WASTE FROM PREP SINK TO FLOOR SINK WITH AIR GAP PER
- ROUTE TO GREASE INTERCEPTOR. SEE CIVIL DRAWINGS FOR EXACT

**KEY NOTES** B

**D**EVITA & **A**SSOCIATES PO Box 1596 Greenville, SC 29602 Phone: 864-232-6642 FAX: 864-242-4878 E-Mail: Corp@devitainc.com DAIPROJECT: 15002-26

**DESIGNED BY: MAS** CHECKED BY: AMP Professional Certification. I hereby certify that these documents were prepared or approved by duly licensed professiona engineer under the laws of the State of Maryland License No. 43220



ADDRESS CHANGE 01.04.2016

JULY 15, 2015 DATE: MED-40-MOD BUILDING TYPE: JUNE 2015 PLAN VERSION: SITE NUMBER: ENTITY NUMBER:





**PLUMBING** 

WASTE

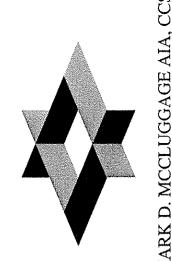
**FLOOR PLAN** 

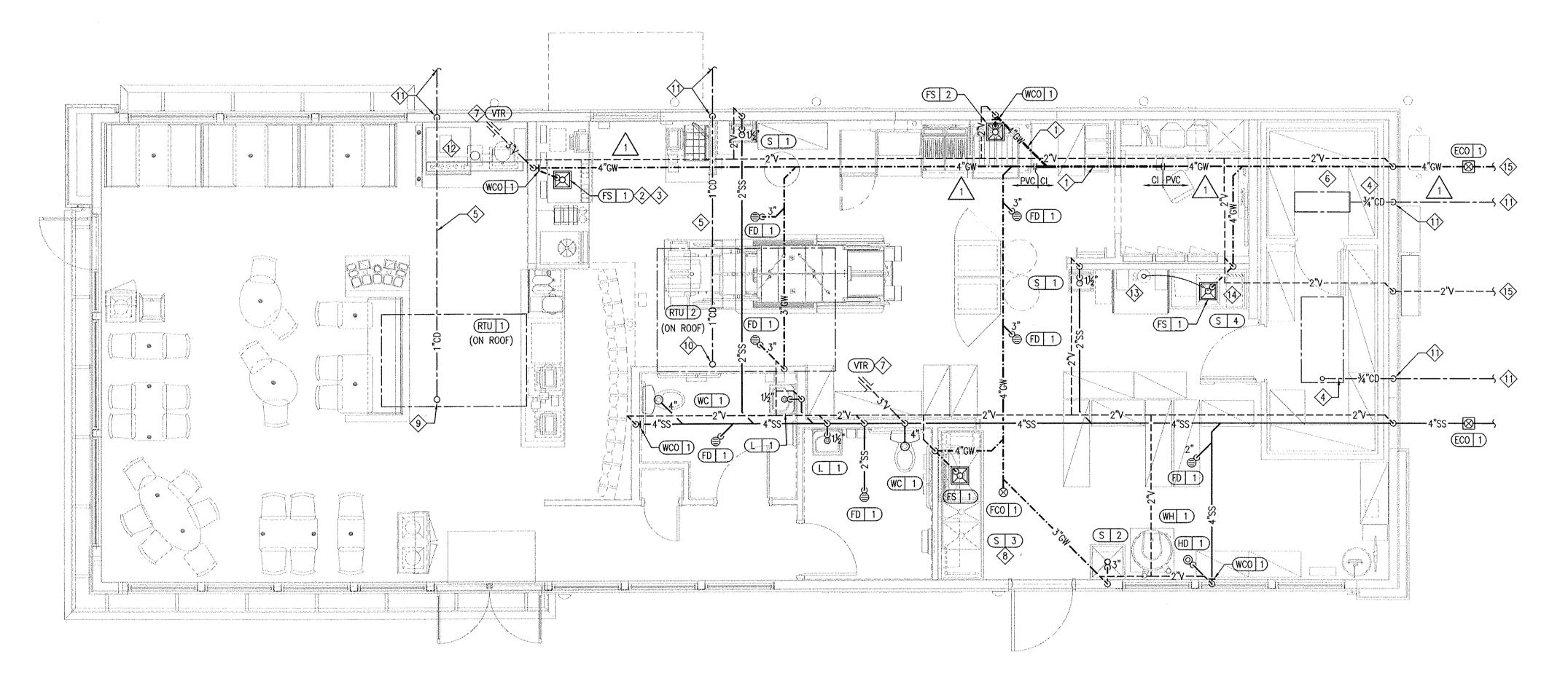
SANITARY SEWER LOAD CALC.									
			WASTE						
MARK	FIXTURE/EQUIPMENT	QUANTITY		TOTAL F.U. PER FIXTURE					
FD-1	FLOOR DRAIN	3	2.0	6.0					
HD-1	HUB DRAIN	1	2.0	2.0					
WC-1	ADA WATER CLOSET	2	4.0	8.0					
L-1	LAVATORY	2	1.0	2.0					
S-1	HAND SINK	2	2.0	4.0					
	TOTALS								

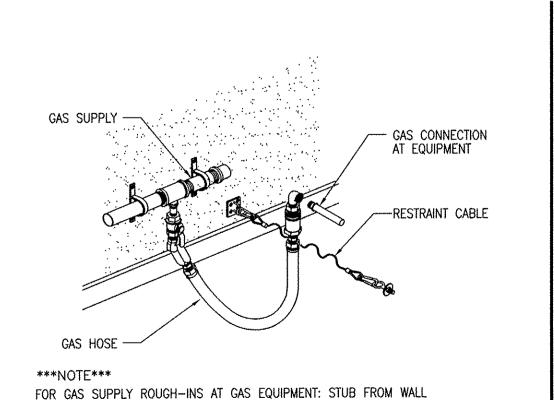
MAXIMUM WASTE DEMAND AT 22.0 F.U. = 4" SANITARY SEWER WASTE

			WA	STE
MARK	FIXTURE/EQUIPMENT	QUANTITY	Waste F.U. Per fixture	
FD-1	FLOOR DRAIN	4	3.0	12.0
FS-1	FLOOR SINK	3	3.0	9.0
FS-2	FLOOR SINK	1	3.0	3.0
S-2	MOP SINK	1	5.0	5.0
	TOTALS	I	<u> </u>	29.0
MAXIN	IUM WASTE DEMAND AT 2	29.0 F.U. =	4" GREASE	WASTE







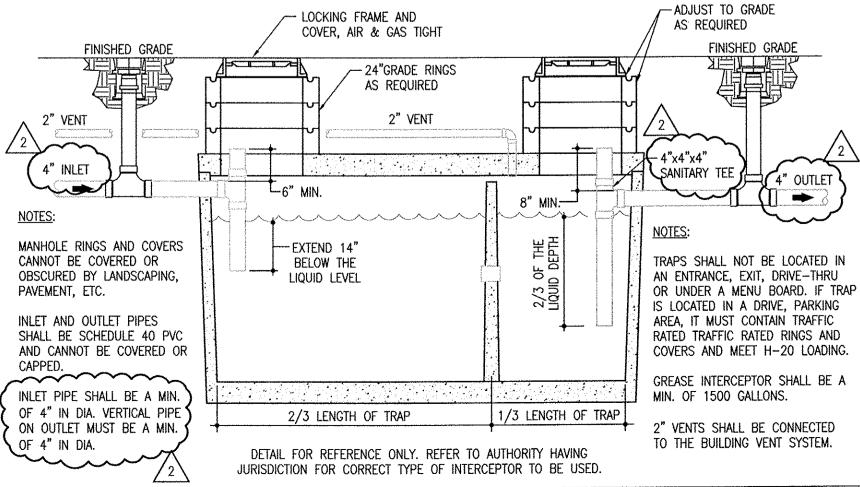


OR BRANCH OFF MAIN GAS LINE ACCORDING TO LOCAL CODES;

CONNECT TO UNITS WITH QUICK DISCONNECT HOSES; VERIFY HEIGHT

RESTRAINT CABLE TO EQUIPMENT N.T.S.

OF MAIN GAS LINE.



GREASE INTERCEPTOR DETAIL N.T.S.

- A. NOTIFY GENERAL CONTRACTOR OF PENETRATIONS THROUGH ROOF MEMBRANE. REFER TO ROOF PLAN FOR LOCATIONS.
- B. REFER TO RISER DIAGRAM ON SHEET P5.0 FOR ALL WASTE AND VENT
- C. SEE ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATIONS.

D | WASTE & VENT PLAN NOTES

- D. VERIFY WITH THE LOCAL BUILDING AUTHORITY THAT CONDENSATE DRAINAGE CAN BE ROUTED TO THE MOP SINK.
- UNDERGROUND GREASE WASTE PIPE SHALL BE HUB CAST IRON PIPE FOR THE FIRST 10 FEET FROM CONNECTION TO FLOOR SINK FS-2,
- 2 PROVIDE CONDENSATE LINE AND DRAIN LINE FROM ICE MACHINE TO FLOOR SINK, PROVIDE AIR GAP PER LOCAL CODE.
- PROVIDE WASTE LINES FROM BEVERAGE UNIT TO FLOOR SINK, PROVIDE AIR GAP PER LOCAL CODE.
- PROVIDE 3/4" COPPER CONDENSATE FROM COOLER/FREEZER EVAPORATÓR DRAIN PROVIDED BY VENDOR TO OUTFALL TO THE OUTSIDE (HEAT ROPE IS SUPPLIED WITH FREEZER CONDENSATE). PIPE 3/4" DRAIN FROM REVERSE OSMOSIS SYSTEM TO FLOOR SINK.
- (5) COPPER CONDENSATE DRAIN FROM HVAC UNITS ON ROOF, RUN ABOVE CEILING TO DRYWELL. PIPING SHALL SLOPE 1/4" PER FOOT AND SHALL BE INSULATED WITH 1" CLOSED CELLULAR INSULATION. REFER TO RISER DIAGRAM ON SHEET P5.0 FOR PIPE SIZES.
- (6) DRAIN LINES TO INLET OF EXTERIOR GREASE INTERCEPTOR AND OUTLET OF INTERCEPTOR TO CONNECTION AT SANITARY MAIN SHALL BE SCHEDULE 40 PVC DWV OR AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- 3" VENT UP THROUGH ROOF.
- $\stackrel{ ext{(8)}}{ ext{ PIPE}}$  PIPE WASTE FROM 3-COMPARTMENT SINK TO FLOOR SINK WITH AIR GAP PER CODE.

- 1" CONDENSATE DRAIN DOWN FROM RTU-1. SEE DETAIL 13 ON
- 1" CONDENSATE DRAIN DOWN FROM RTU-2. SEE DETAIL 13 ON

WASTE & VENT PLAN 1/4"=1"-0" A

- 2" CONDENSATE DRAIN PIPE DOWN TO DRYWELL. IF REQUIRED RUN CONDENSATE PIPING TO EXTERIOR DRYWELL, RETENTION AREA OR STORM SEWER AS DIRECTED BY THE AUTHORITY HAVING JURISDICTION.
- 12 RUN DRAIN LINE FROM S/S DRINK MACHINE THRU WALL OPENING. TO OUTFALL AT FLOOR SINK BENEATH D/T DRINK MACHINE.
- 13 34" DRAIN FOR REVERSE OSMOSIS.
- 14> PIPE WASTE FROM PREP SINK TO FLOOR SINK WITH AIR GAP PER

**KEY NOTES** 

ROUTE TO GREASE INTERCEPTOR. SEE CIVIL DRAWINGS FOR EXACT

PO Box 1596 Greenville, SC 29602 Phone: 864-232-6642 FAX: 864-242-4878 E-Mail: Corp@devitainc.com **DAI**PROJECT: 15002-26

**A**SSOCIATES

**D**EVITA &

DESIGNED BY: MAS CHECKED BY: AMP Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professiona engineer under the laws of the State of Maryland License No. 29285 Expiration Date:

FOR REVISION 2 ONLY 15025.000

$\triangle$	ADDRESS CHANGE	01.04.20
2	CIVIL COORDINATION	04.01.20
$\triangle$		
$\overline{\triangle}$		

JULY 15, 2015 MED-40-MOD **BUILDING TYPE:** PLAN VERSION: SITE NUMBER:

JUNE 2015 ENTITY NUMBER:

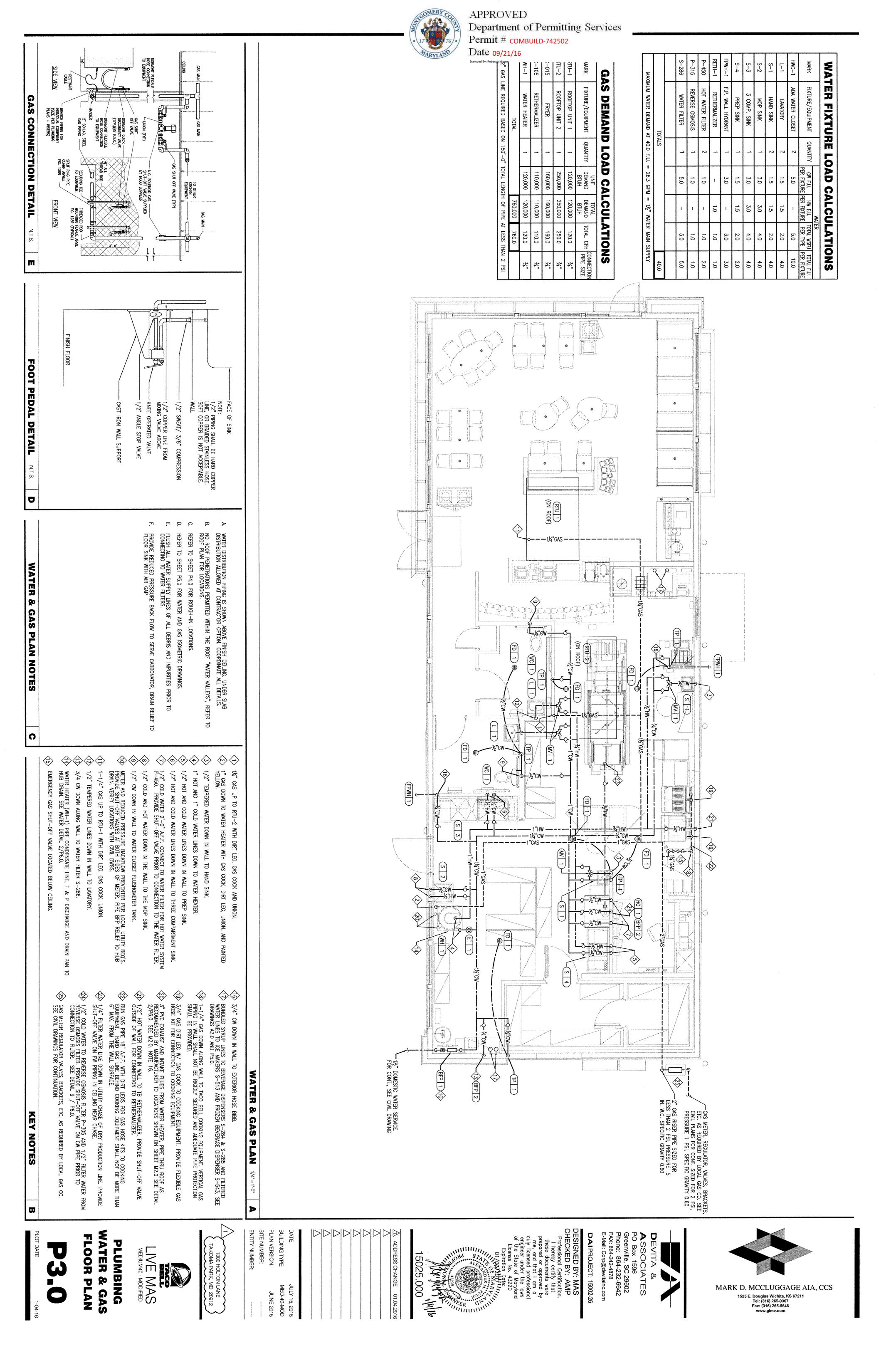
> 1300 HOLTON LANE TAKOMA PARK, MD 20912

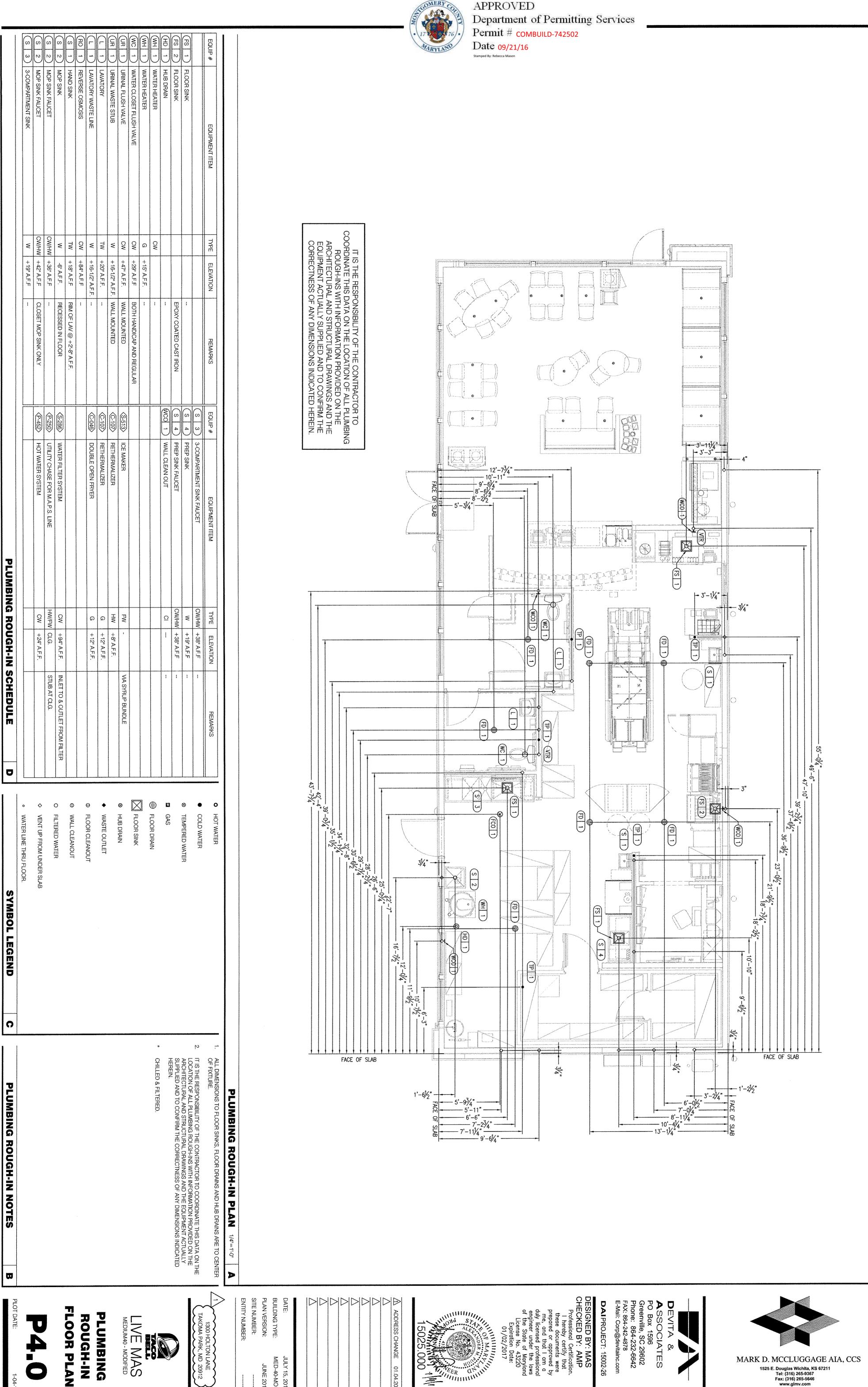


**PLUMBING** WASTE

**FLOOR PLAN** 

B







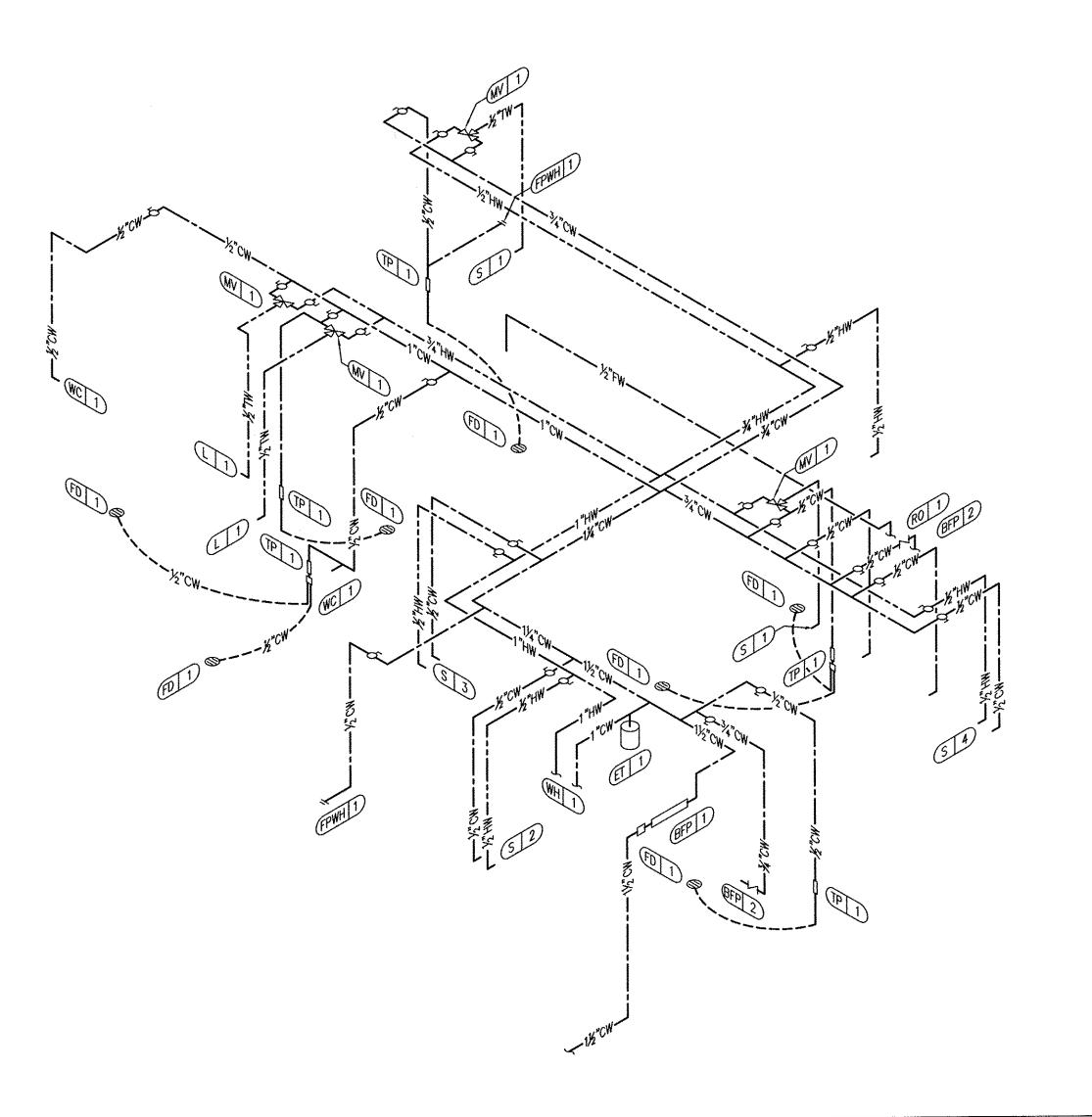


BUILDING TYPE:
PLAN VERSION:
SITE NUMBER:
ENTITY NUMBER:



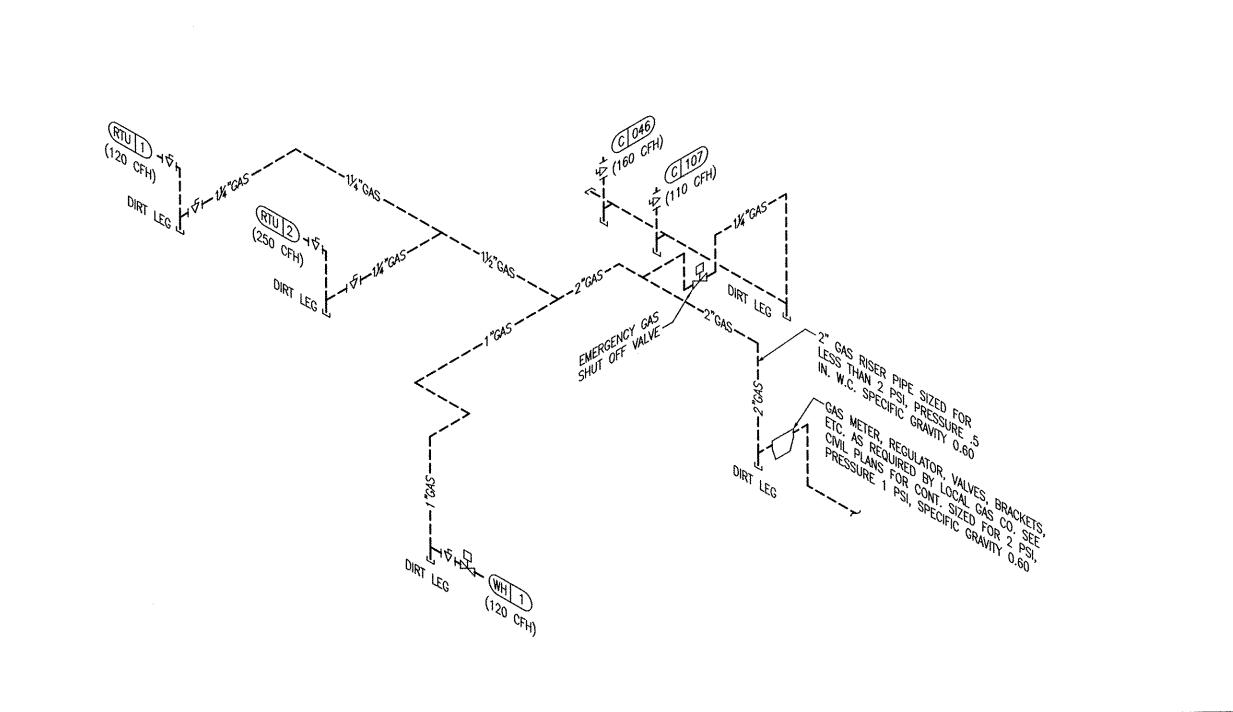


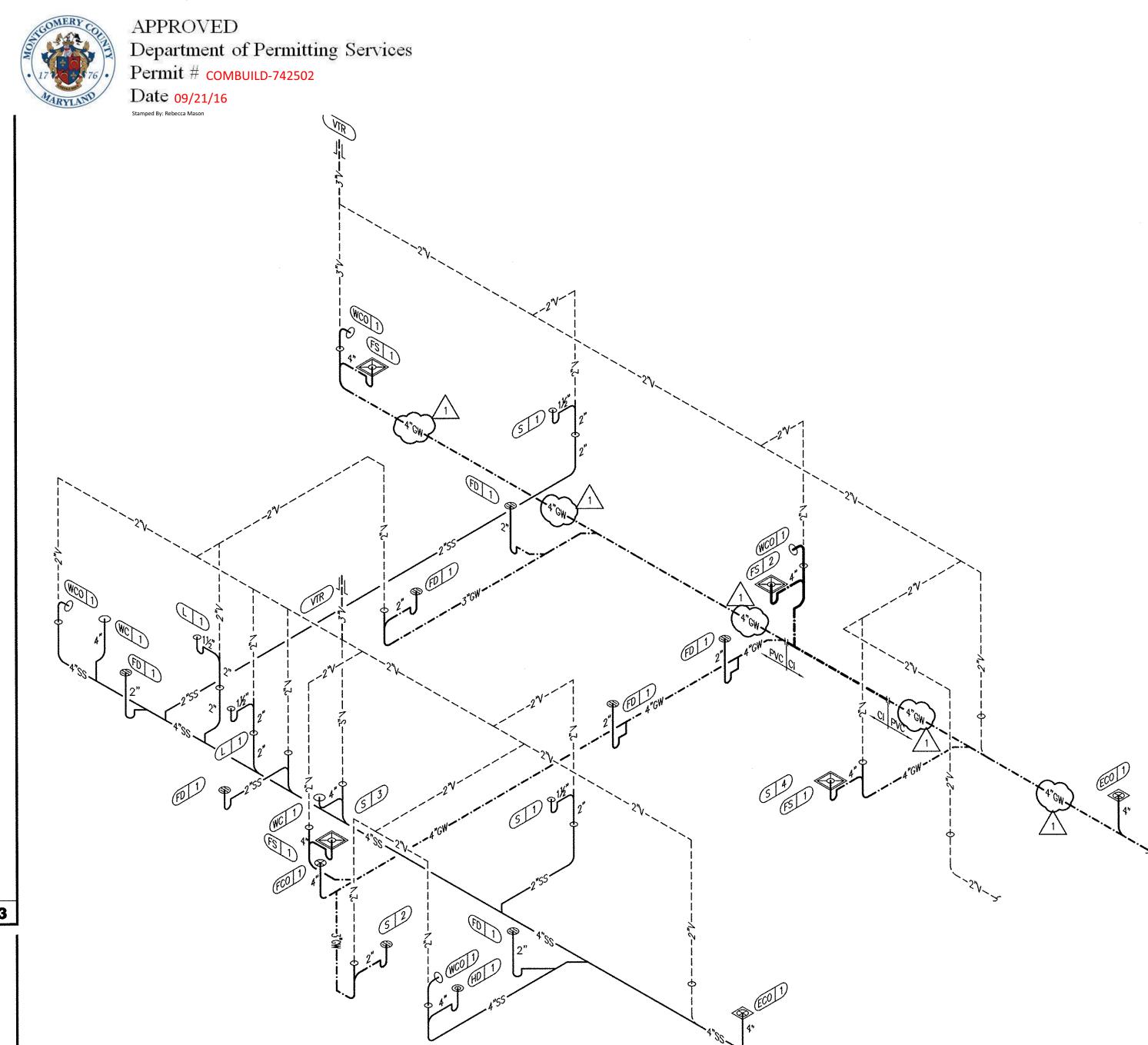




WATER ISOMETRIC N.T.S. 3

GAS ISOMETRIC N.T.S.







FILTERED EQUIPMENT AND LINES:

<=286 − WATER FILTER

FILTERED LINE (COLD WATER)

\$-513 - ICE MAKER - ABOVE SELF-SERVE BEVERAGE DISPENSER \*

\$-513> - ICE MAKER - ABOVE DRIVE-THRU BEVERAGE DISPENSER \*

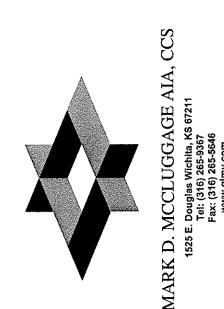
\$-285 - DRIVE-THRU BEVERAGE DISPENSER \*

\$-284⟩ - SELF-SERVE BEVERAGE DISPENSER \*

√S−546 − ICED TEA BREWER 

\* FILTERED WATER SUPPLIED VIA SYRUP BUNDLE. REFER TO 11/P6.0. SEE SCOPE OF WORK FOR RESPONSIBILITIES.

FILTERED WATER ISOMETRIC N.T.S. 2





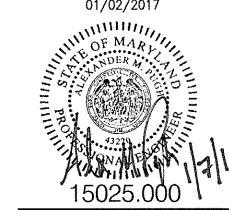
**A**SSOCIATES

PO Box 1596 Greenville, SC 29602 Phone: 864-232-6642 FAX: 864-242-4878 E-Mail: Corp@devitainc.com

DAIPROJECT: 15002-26

DESIGNED BY: MAS CHECKED BY: AMP

Professional Certification.
I hereby certify that
these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland License No. 43220 Expiration Date: 01/02/2017



$\overline{\mathbb{A}}$	ADDRESS CHANGE	01.04.20
$\triangle$		
$\overline{\triangle}$		

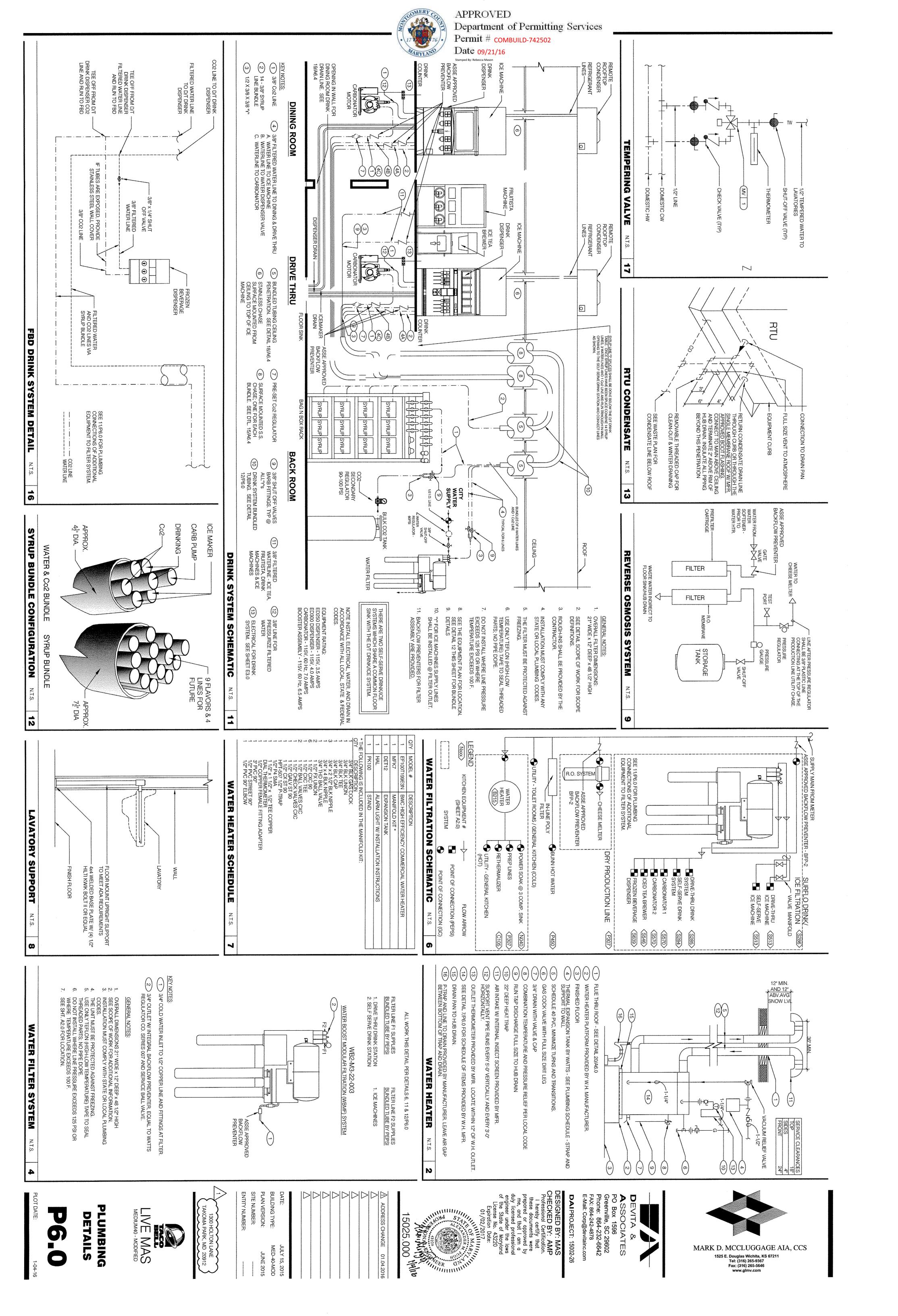
JULY 15, 2015 MED-40-MOD BUILDING TYPE: PLAN VERSION: SITE NUMBER: ENTITY NUMBER:

1300 HOLTON LANE TAKOMA PARK, MD 20912



**RISER DIAGRAMS** 

P5.0



MONTGOMERY COUNTY DEPARTMENT OF PERMI DIVISION OF BUILDING C APPROVED AS NOTED



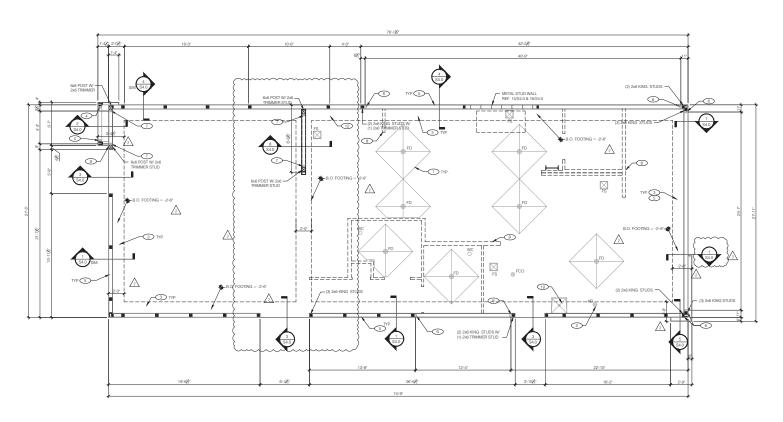
# APPROVED

# Department of Permitting Services

Permit # combuild-742502

Date 09/21/16

Stamped By: Rebecca Mason



DIMENSIONS THIS SHEET TO EDGE OF CONCRETE

## FOUNDATION PLAN 1/4"=1"-0" A

**KEY NOTES** 

MSK CATEGORY: II
SEISMIC IMPORTANCE FACTOR: 1.0
SITE CLASS: D
MAPPED SPECTRAL
RESPONSE ACCEL:

PROVIDE SHOP DRAWINGS AND CALCULATIONS BY REGISTERED ENGINEER FOR SIGNS AND AWNINGS

**DESIGN CRITERIA** 

			- Liferon Wast Area (148)					
	Walter		14	240	44	7.100	394	Part
Intelie	otelor Amail		12,9	111	16.3	16.0:	26.0	364
-	Vane 2	4	128.6	168.0	41.8	168.7	160	148.6
tipe	Ann T	411	11.0	17.1	18.8	18.6	16.0	1966
			41.8	43.1	-49.1	-18.8	+87.0	-144
	Bed		10	.10	76	100	396	649
Decisión .	Arre 1		10.0	19.6	16.0	in.e	16.0	184
	Acres 1		- 483	125.6	188.6	429		45
the	Arriva		17.9	153	16.0	16.0	24.0	161
tings.	Area.		- 327	-28.8	-987	-21.7	412	1012
Come	Amil		17.6	17.1	16.6	16.0	96.0	763
Carrier .	A1047	41.0	49.7	-38.3	49.7	41.2	-013	-91
Overheep			118	39		190	286	844
Decimalism	Aires 1.		18.0	18.0	14.0	16.0	16.0	342
-	5526		-26.1	-27.6	-25.9	-26.5	-21.6	-18.3
Line	Ami2	+ 1	16.0	29.0	16.0	16.0	169	14.0
inte	10000		481	127.6	47.8	-06.9	-21.5	16.
Comer	Anni II		10.0	18.0	18,0	16.0	16.0	36.6
-		+1	-46.1	196.6	-492	100.00	186.0	146
			Ultimes Per	spei Heniga F	researe (p.f.			
					120 eiter Wil	ad Area (ngl)		
	Parqui		19	14	1.90	100	196	246
10e	Ami	+ 1	37.6	12.3	94.9	39.4	36.6	274
-	777.5		46.5	-06.4	1457	-0.7	dts	-45
Comer	Ares		51.6	19.3	61.0	38.4	26.6	210
	mer Assa I	4.7	146.2	145.2	100.0	106.00	-26.0	126.6

**COMPONENT & CLADDING PRESSURES** 

TURES. ALL OBTAIN THE SOILS REPORT AND FOLLOW ALL RECOMMENDA

**FOUNDATION PLAN NOTES** 

1	SLAB SHALL BE PITCHED Z* FOR 5-0" x 5-0" SQUARE AT ALL FLOOR DRAINS U.O.N.	REFER

- 2 PROVIDE HUB DRAIN (HD) UNLESS REQUIRED BY LOCAL CODE TO HAVE FLOOR SINK (FS)
- 3 INDICATES INSIDE SURFACE OF FOOTING. SEE SHEET \$4.0.
- 4 HTT5 HOLDOWN ANCHOR. SEE 6/S4.0 FOR HOLDOWN EMBEDMENT DETAIL ANCHOR BOLTS LOCATED THROUGHOUT PERIMETER OF BUILDING SHALL BE PROVIDED AS REQUIRED PER THE "PLATE/ANCHOR BOLT" COLUMN OF THE "WALL SHEATHING AND SHEARWALL SCHEDULE." SEE DIS2.0.
- HOLDOWN ANCHOR AT EACH END OF SHEARWALL. SEE 6/S4.0 FOR HOLDOWN EMBEDMENT DETAIL.

- B INTERIOR WALLS (TYP.) SEE SHEET \$2.0 9 CONTINUE SHEARWALL SHEATHING PAST INTERSECTING WALL W/O INTERRUPTION.
- WASTE LINE STUB-UP FOR MOP SINK.
- (12) SEE 14/S4.0 FOR REINFORCING AT CORNERS AND INTERSECTIONS.







PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OF APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND,

# 15025.000

ADDRESS CHANGE	01/05/1
▲ COUNTY COMMENTS	04/08/1
▲ COUNTY COMMENTS	06/16/1
Δ	
Δ	
Δ	
Δ	
Δ	
7	

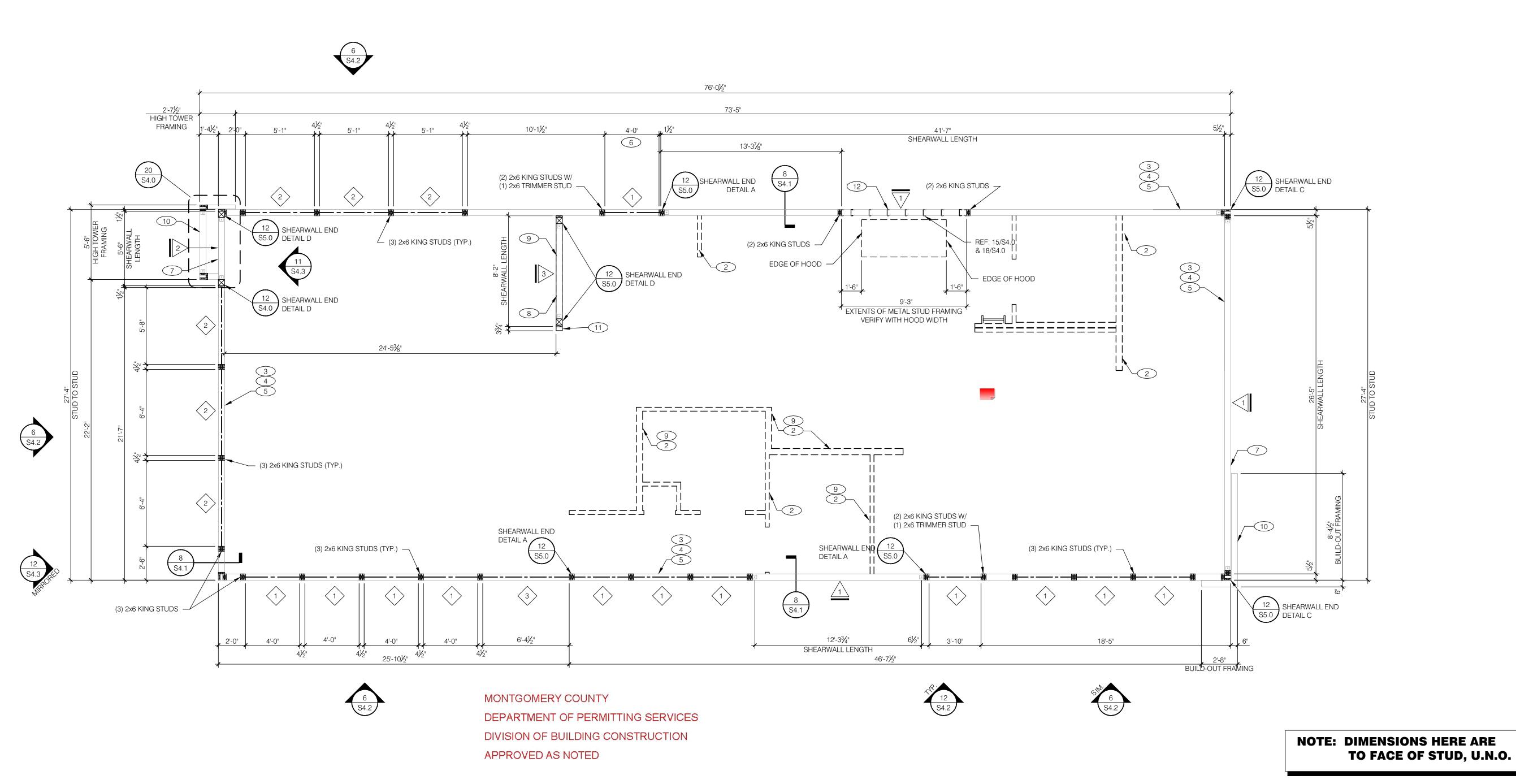
BUILDING TYPE: MED-40-MOD PLAN VERSION JUNE 2015

SITE NUMBER: ENTITY NUMBER





**FOUNDATION PLAN** 



WALL FRAMING PLAN 1/4"=1'-0" A

MARK	BUILT-UP SECTION	BUILT-UP MANUF. MEMBER		
(3) 2x8				
2	(3) 2x10			
3	(3) 2x12	(3) 1 3/4" x 9 1/4" LVL		

NOTES:

1. BUILT-UP HEADER SECTION SHALL HAVE 1/2" PLYWOOD

SANDWICHED PIECES. REF. 20/S4.1 2. MANUFACTURED LUMBER TO BE 1.9E MICROLAM LVL BY TRUSJOIST OR APPROVED EQUAL (NER-200). REF. 19/S4.1

SW	SHEATHING	EDGE	FIELD	HOLDOWN	PLATE / ANCHOR BOLT	REMARKS
1>	1/2" CDX PLYWD (32/16), PS1 RATING	10d @ 6" O.C.	10d @ 6" O.C.	HDU4	5/8" DIA. x 7" EMBED. TITEN HD @ 32" O.C. W/ WASHER	PLYWOOD ON EXTERIOR FACE OF STUDS
2	1/2" CDX PLYWD (32/16), PS1 RATING	10d @ 3" O.C.	10d @ 6" O.C.	HDU14	5/8" DIA. x 7" EMBED. TITEN HD @ 24" O.C. W/ WASHER	PLYWOOD ON EXTERIOR FACE OF STUDS (NOTE 8)
3	1/2" CDX PLYWD (32/16), PS1 RATING	10d @ 3" O.C.	10d @ 6" O.C.	HD19	5/8" DIA. x 7" EMBED. TITEN HD @ 8" O.C. W/ WASHER	PLYWOOD ON BOTH FACES OF STUDS (NOTE 8)
***	1/2" CDX PLYWD (32/16), PS1 RATING	10d @ 6" O.C.	10d @ 12" O.C.	N/A	5/8" DIA. x 7" EMBED. TITEN HD @ 48" O.C. W/ WASHER	NAILING @ HEADERS PER 19 & 20/S4.1
	1/2" CDX PLYWD (32/16), PS1 RATING   QUIREMENTS FOR EXTERIOR NON-SHE			N/A		NAILING @ HEADERS PER 19 & 20/S4.1

- 1. OSB OF COMPARABLE THICKNESS MAY BE USED IN LIEU OF PLYWOOD WHEN APPROVED 7. EDGE NAIL WALL PLY TO STUDS OR POSTS WITH HOLDOWNS. IN WRITING BY THE PROJECT ENGINEER AND THE LOCAL JURISDICTION.
- 2. BLOCK ALL UNSUPPORTED EDGES WITH 2x MATERIAL U.O.N. BLOCK EDGES WITH 3x MATERIAL WHERE 10d NAILING IS 3" O.C. OR LESS AND 8d NAILING IS 2" O.C. OR LESS. 3. ALL PLYWOOD NAILS SHALL BE COMMON WIRE. SEE SPECIFICATIONS FOR OTHER NAIL
- 4.  $\,$  EXTERIOR WALLS NOT DESIGNATED AS SHEARWALLS IN THE WALL FRAMING PLAN SHALL
- MEET REQUIREMENTS INDICATED FOR NON-SHEARWALL WALLS IN THE SCHEDULE 5. SHEARWALL LENGTHS WHERE NOTED ARE MINIMUM. DO NOT LOCATE HOLDDOWNS
- FROM THESE DIMENSIONS. SEE ARCH DWGS FOR ACTUAL WALL LENGTHS. HD REFERS TO SIMPSON STRONGTIE CO. HOLDDOWNS. INSTALL PER 6 & 7 OF S4.0. POST WIDTH SHALL MATCH STUD WALL WIDTH. SEE FOUNDATION PLAN FOR OTHER
- 8. WHERE PANELS ARE APPLIED TO BOTH FACES OF A WALL AND NAIL SPACING IS LESS THAN 4" O.C. ON EITHER SIDE, PANEL JOINTS SHALL BE OFFSET TO WALL ON DIFFERENT FRAMING MEMBERS OR FRAMING SHALL BE 3x OR THICKER AND NAILS ON EACH SIDE SHALL BE STAGGERED. SILL PLATES SHALL BE (2) 2x MEMBERS.
- 9. PROVIDE A MINIMUM OF TWO SILL ANCHORS PER SILL PLATE SEGMENT WITH BOLTS LOCATED FROM THE END OF EACH SEGMENT AT LEAST 4 INCHES, BUT NOT MORE THAN
- 10. FASTENERS FOR PRESSURE-PRESERVATIVE AND FIRE-RETARDANT-TREATED WOOD SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL. THE COATING WEIGHTS
- SHALL BE IN ACCORDANCE WITH ASTM A153. 11. PROVIDE 1/4"x3"x3" PLATE WASHER BETWEEN HEAD OF SILL ANCHOR BOLTS AND WOOD SILL PLATE AT ALL INTERMEDIATE SILL ANCHORS.

- A. STRUCTURAL WOOD FRAMING SHALL MEET OR EXCEED THE FOLLOWING: 1,400,000 SOUTHERN PINE #2
- SOUTHERN PINE #2 1,400,000 2X10 800 1,300 1,400,000 SOUTHERN PINE #2 1,250 STUDS (2X6) SOUTHERN PINE #2 1,400,000 SOUTHERN PINE #1 1,350 1,500,000 B. ALL BEAMS AND JOISTS SHALL BE SEAT CUT FOR FULL UNIFORM BEARING AT
- SUPPORTS, BEAM SEATS AND COLUMN CAPS. C. SEE SHEET A1.0 FOR DIMENSIONS.

TOWARDS FRONT.

- D. EXTERIOR STUD WALLS ARE 2x6 AT 16" O.C. U.O.N.
- ALL WOOD IN CONTACT WITH CONC., STEEL OR GRADE SHALL BE PRESSURE TREATED ALL BOLTED OR NAILED STRAP CONNECTIONS SHALL HAVE AN EQUAL NUMBER OF BOLTS OR NAILS EACH SIDE OF THE SPLICE JOINT. THE FIRST BOLT OR NAIL FROM EACH SIDE OF THE SPLICED OR TREATED MEMBER SHALL BE EQUAL DISTANCE FROM THE SPLICE. STRAPS USING 16d NAILS ON 2x MATERIAL SHALL BE INSTALLED ON THE
- 1-1/2" EDGE OF THE MEMBER. G. THE CONTRACTOR SHALL VERIFY THAT THE MOISTURE CONTENT OF ALL FRAMING LUMBER AND PLYWOOD MEET THE REQUIREMENTS OF THE SPECS. AT THE TIME OF INSTALLATION AND AT CLOSE-IN.
- H. USE AT PRESSURE TREATED LUMBER AT WINDOW JAMBS, SILL AND STUDS UNDER SILL AS WELL AS ALL TOILET PLUMBING WALLS.

# A. LAYOUT STUDS ON SIDEWALLS (LONG WALLS) STARTING AT REAR OF BUILDING

- B. LAYOUT STUDS ON ENDWALLS (SHORT WALLS) STARTING AT EACH END AND WORKING TOWARDS CENTER.
- C. LAYOUT STUDS TO ALIGN WITH ROOF TRUSSES. PROVIDE DOUBLE STUDS AT DOUBLE

- (1) COORDINATE WITH ELECTRICAL POWER PLAN.
  - 2 INTERIOR NON-BEARING STUD WALL FRAMING; REFER TO SHEET A1.0 FOR DIMENSIONS AND STUD SIZES. SEE DETAIL 13 & 14/S4.1 AND WALL FRAMING NOTES.
- 3 (2) 2x6 TOP PLATES SPLICE PER 15/S4.1 (U.N.O.)
- 4 TOP OF TRUSS BEARING PLATE. SEE DETAIL 2/S4.1 & 16/S4.2.
- (5) TOP OF PARAPET. SEE ARCHITECTURAL DRAWINGS.
- 6 ENSURE ROUGH OPENING DIMENSION TO PROVIDE TOLERANCE FOR DRIVE THRU WINDOW INSTALLATION. COORDINATE WITH WINDOW MANUFACTURER.
- 7 EXTERIOR SHEATHING SHALL NOT BE INTERRUPTED WITH TOWER FRAMING OR INTERSECTING WALLS, TYPICAL.
- 8 INTERIOR SHEAR WALL. FRAMING FOR 2X6 STUDS, BLOCKING, & SILL PLATE SHALL BE
- SOUTHERN PINE OR DOUGLAS FIR AT THIS WALL. PROVIDE 6x6 POST AT EACH END OF WALL.
- 9 COORDINATE WITH PLUMBING ROUGH IN SHEET P4.0.
- 2x FRAMING ON THICKENED CONCRETE FOUNDATION / PIER; SEE SHEETS S1.0 AND S4.0. DIMENSIONS FOR FRAMING ARE TO FACE OF STUD.
- 11) PROVIDE 3 1/2" CLEARANCE FROM POST TO END OF FINISHED WALL FOR ELECTRICAL CHASE.
- 12) FASTENER FOR SHEARWALL SHALL BE #8 SCREW AT SAME EDGE AND FIELD SPACING LISTED IN THE SHEARWALL SCHEDULE WHERE STUDS ARE METAL.



consulting engineers 101 Falls Park Drive Suite 601 Greenville, SC 29601

(864) 271-8869

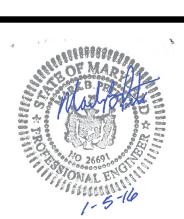
Fax (864) 233-5140

www.brittpeters.com

BPA Job No. 150699







PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 26691,

15025.000

EXPIRATION DATE: 12/11/2017.

I	ADDRESS CHANGE	01/05/16
	$\overline{\triangle}$	
I	$\overline{\triangle}$	
I	$\overline{\triangle}$	
I	$\overline{\triangle}$	
	$\triangle$	

JULY 15, 2015 BUILDING TYPE: MED-40-MOD PLAN VERSION: SITE NUMBER:

ENTITY NUMBER:





**WALL FRAMING** 

**PLAN** 

MEDIUM40 - MODIFIED

HEADER SCHEDULE N.T.S. F

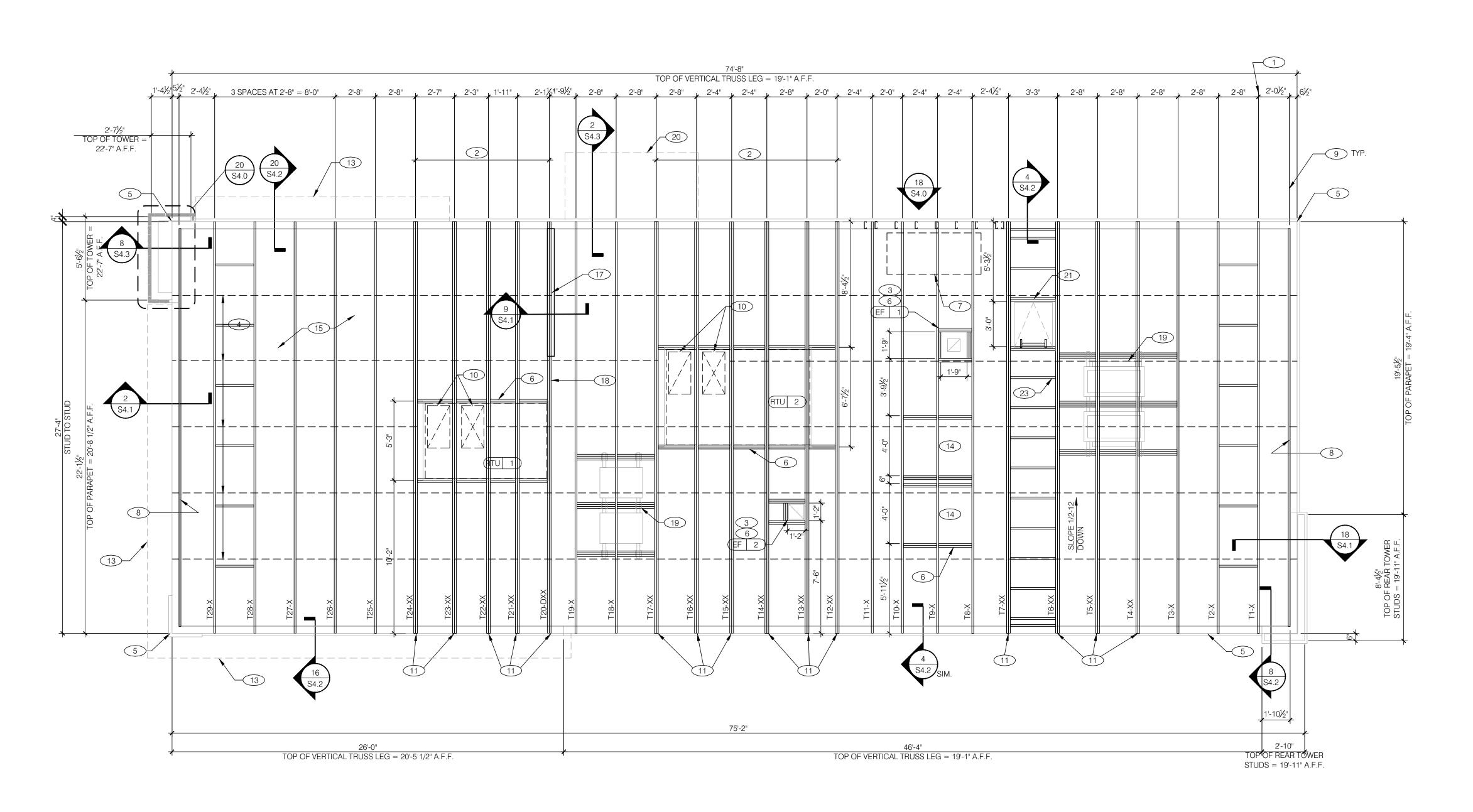
WALL SHEATHING AND SHEARWALL SCHEDULE D TRUSSES, TYPICAL. SEE ROOF FRAMING PLAN ON SHEET S3.0 FOR TRUSS LOCATIONS. FRAMING PLAN NOTES

C

**KEY NOTES** 

PLOT DATE:





TRUSS MANUFACTURER SHALL BE REQUIRED TO SHOW THAT THEY ARE REGISTERED & APPROVED TO PERFORM WORK WITHOUT SPECIAL INSPECTIONS.

D

**SEE 4/S4.1 FOR RTU WEIGHTS** 

**SEE 10/S5.0 FOR SNOW DRIFT** 

**EXTREME CARE SHALL BE USED IN ERECTING ROOF TRUSSES - COMPLY WITH** TPI BRACING REQUIREMENTS.

C

ROOF NOT DESIGNED FOR PONDING. SEE ARCHITECTURAL DRAWINGS FOR DRAIN REQUIREMENTS.

TYPE	NAILING / SHEATHING	REMARKS
BN	10d @ 4" O.C.	-
EN	10d @ 6" O.C.	-
FN	10d @ 12" O.C.	-
ROOF SHEATHING	19/32" CDX PLYWOOD (40/20), PS1 RATING	-

**NAILING SCHEDULE - ROOF** 

"BN" DENOTES ROOF BOUNDARY NAILING "EN" DENOTES EDGE OF PANEL NAILING "FN" DENOTES FIELD OF PANEL NAILING

- ALL UNSUPPORTED EDGES OF PLYWOOD SHEATHING SHALL BE BLOCKED WITH 2x4 INSTALLED FLAT. PLYWOOD MTL CLIPS ARE NOT PERMITTED. SEE DETAIL 14/S4.2. OSB OF COMPARABLE THICKNESS MAY BE USED IN LIEU OF PLYWOOD WHEN APPROVED IN WRITING BY THE PROJECT ENGINEER AND THE LOCAL JURISDICTION.
- B. ALL MECHANICAL SUPPLY AND RETURN OPENINGS SHALL BE BETWEEN FRAMING U.O.N.

MANUFACTURED ROOF TRUSS NOTES:

A. MFR'D ROOF TRUSSES ARE AT 2'-8" O.C. U.O.N.

- B. "T-#" DENOTES ROOF TRUSS TYPE. REFER TO SCHEDULE 19/S4.3.
- C. TRUSS DRAWINGS ARE PROVIDED FOR CONCEPTUAL DESIGN ONLY. MFR SHALL SUBMIT SHOP DRAWINGS AND CALCULATIONS, BOTH SIGNED BY A LICENSED STRUCTURAL ENGINEER (STATE OF PROJECT). SUBMIT SHOP DRAWINGS AND CALCULATIONS TO THE ARCHITECT AND ENGINEER FOR REVIEW AND SUBMITTAL AND, IF REQUIRED, TO THE BUILDING OFFICIAL FOR APPROVAL PRIOR TO FABRICATION. SHOP DRAWINGS SHALL INCLUDE LAYOUT PLAN AND CONNECTORS. CALCS. SHALL BE BASED ON THE SPECIFIED LOADING CONDITIONS SHOWN HEREIN. MANUFACTURER SHALL PROVIDE HANGERS AND CONNECTIONS BETWEEN TRUSSES. REVIEW AND APPROVE DIMENSIONS, SHAPES AND DETAILS SHOWN ON SHOP DRAWINGS PRIOR TO SUBMITTAL TO THE ARCHITECT / ENGINEER FOR REVIEW AND COMMENT. A MINIMUM OF 10 BUSINESS DAYS SHALL BE ALLOWED FOR REVIEW.
- D. TRUSS MFR SHALL PROVIDE HANGERS AND CONNECTORS ADEQUATE FOR LOADS. ROOF CONNECTORS ARE BASED UPON SIMPSON "STRONG TIE" OR APPROVED EQUAL.
- E. TRUSS CHORDS AND PARAPET VERTICALS SHALL BE 2x6 MIN. AND CONSISTENTLY SIZED

- F. REFER TO TRUSS ELEVATIONS FOR SHAPE, OVERHANG, SLOPES, SPAN, ETC. LOCATION OF BEARING POINTS ARE AS INDICATED ON THE DRAWINGS. SEE 16/S4.3.
- G. MFR'D ROOF TRUSS DESIGN LOADS: SEE TRUSS DESIGN CRITERIA 18/S4.3 AND SNOW DRIFT DIAGRAM 10/S5.0
- H. THE POSITIONS, WEIGHTS, AND METHODS OF ATTACHMENT OF ALL MECHANICAL UNITS, ELECT FIXTURES, PLUMBING, ETC. SHALL BE INCLUDED IN THE DESIGN OF THE TRUSSES BY THE TRUSS MFR.
- I. DESIGN ROOF TRUSSES TO SUPPORT ALL IMPOSED LOADS, INCLUDING WIND & LATERAL LOADS. COORDINATE SIZE, LOCATION AND WEIGHT OF EQUIPMENT WITH MECHANICAL WORK. PROVIDE MULTIPLE TRUSSES WHERE ONE TRUSS CANNOT SUPPORT THE LOAD. PROVIDE BRIDGING BETWEEN TRUSSES AS SPECIFIED AS
- J. INSTALLATION OF ALL TRUSSES SHALL BE DONE USING A SPREADER BAR WITH A THREE POINT VERTICAL PICK. CARE SHALL BE USED IN LIFTING TO PREVENT HORIZONTAL BENDING.
- K. IMPROPER HANDLING OF THE TRUSSES AS NOTED ABOVE AND IN THE SPECS SHALL MEAN REMOVAL OF THE TRUSSES FROM THE JOBSITE AND REPLACEMENT AT
- L. SEE DIV. 6 OF THE SPECS FOR DETAILS ON TRUSS MANUFACTURING AND NAILING.

**ROOF FRAMING NOTES** 

- 1 STARTING POINT OF TRUSS LAYOUT CENTERLINE OF TRUSS.
- VERIFY NECESSITY OF DOUBLE TRUSSES WITH TRUSS MFR. DUE TO POINT LOADING AND ADDITIONAL UNIFORM LOADING, TYPICAL.
- COORDINATE BLOCKING WITH EXHAUST AND SUPPLY DUCT.
- CONT 2x4 WD BRIDGING ON TOP OF BOTTOM CHORD. ADJUST AS REQUIRED FOR DUCT PLENUMS, MAX SPACING AT 5'-0" O.C. OR TIGHTER SPACING AS REQUIRED BY TRUSS DESIGN. SEE 16/S4.1 FOR BRIDGING LAP DETAIL.
- SIMPSON MSTA 24 AT CORNER DBL TOP PLATE. CENTER STRAP ON CORNER.
- (2) 2x6 BLOCKING W/ U26-2 HANGERS. TYP. EDGES OF ALL ROOF TOP EQUIPMENT AND ALL ROOF OPENINGS - SEE DET. 11 & 3/S4.2.
- LOC. OF HOOD. SEE HOOD DRAWINGS FOR HOOD ATTACHMENT DETAIL 17/S4.3.
- 8 2X6 LEDGER REF. 5/S4.1.
- DIMENSION IS FROM INSIDE FACE OF WALL FRAMING.
- HVAC ROOF OPENING FOR DUCT. VERIFY SIZE WITH HVAC MFR. & MECHANICAL DWGS.
- (2) 2x6 BUILT-UP COLUMN AT TRUSS BEARING, TYP. @ DOUBLE TRUSS ONLY. REFERENCE DETAIL 10/S4.2.
- 12 ROOF JOISTS 2x8 @ 16" O.C.

- 13 OUTLINE OF ALUMINUM SLAT WALL/CANOPY BY VENDOR
- 14 PREFERRED LOCATION OF SATELLITE DISH SLED. SEE SCOPE OF WORK.
- 15) 19/32" PLYWOOD ROOF DECK. SEE NAILING SCHEDULE, THIS SHEET.
- 16 NOT USED
- 17 INTERIOR SHEAR WALL BELOW. ALIGN DINING SIDE OF WALL WITH SIDE OF TRUSS. SEE DETAIL 9/S4.1
- DRAG TRUSS AT INTERIOR SHEAR WALL. PROVIDE 2-PLY TRUSS. DESIGN EACH PLY OF DRAG TRUSS FOR 250 PLF (500 PLF TOTAL) SERVICE WIND LOAD ALONG TOP CHORD OF TRUSS (12,000 LBS TOTAL DRAG LOAD). ATTACH ROOF SHEATHING TO DRAG TRUSS WITH 10d NAILS @ 4" O.C. ALONG ENTIRE LENGTH OF TRUSS. ATTACH DRAG TRUSS TO TOP PLATE OF SHEAR WALL PER DETAIL 9/S4.1.

ROOF FRAMING PLAN 1/4"=1'-0" A

- 19 SEE 9/S4.2 FOR ALUMA STAND ATTACHMENT. PROVIDE TRIPLE 2x6 BLOCKING BETWEEN ROOF TRUSSES AT EACH STAND BASE.
- 20 ALUMINUM CANOPY BY SUPPLIER.
- 21) ROOF HATCH, SEE ARCH.
- FULL DEPTH BLOCKING AT MIDSPAN. PROVIDE (2) 10d TOENAILS, EACH END.
- 23) 2x6 BLOCKING @ 24" OC W/ SIMPSON LU24 EACH END.

**KEY NOTES** 



**BUILDING TYPE:** PLAN VERSION:

SITE NUMBER: **ENTITY NUMBER:**  JULY 15, 2015 MED-40-MOD

JUNE 2015

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 26691, EXPIRATION DATE: 12/11/2017.

15025.000

↑ ADDRESS CHANGE

BRITT PETERS

ASSOCIATES

consulting engineers

101 Falls Park Drive

Greenville, SC 29601 (864) 271-8869 Fax (864) 233-5140 www.brittpeters.com BPA Job No. 150699

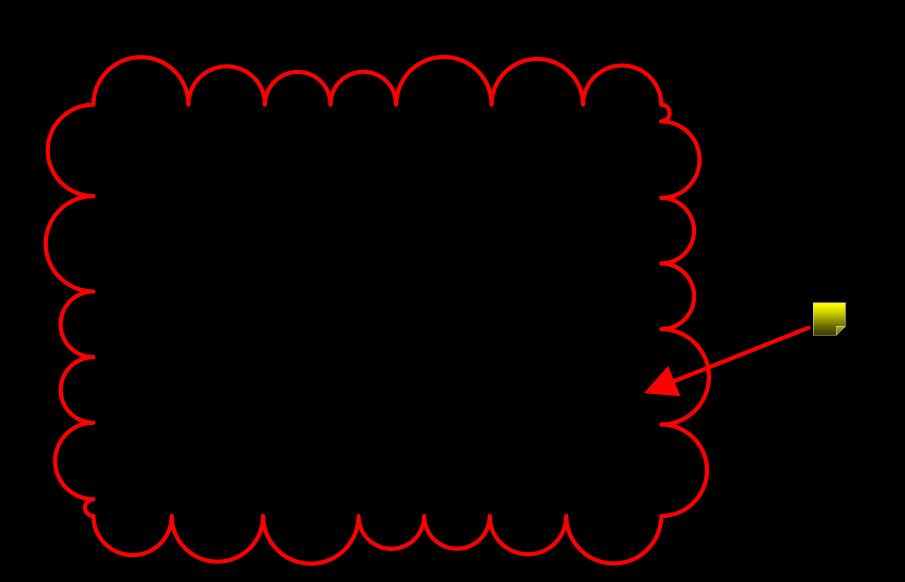


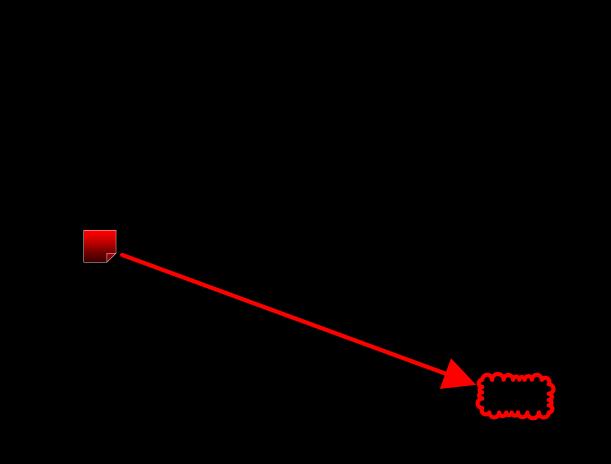
**ROOF FRAMING PLAN** 

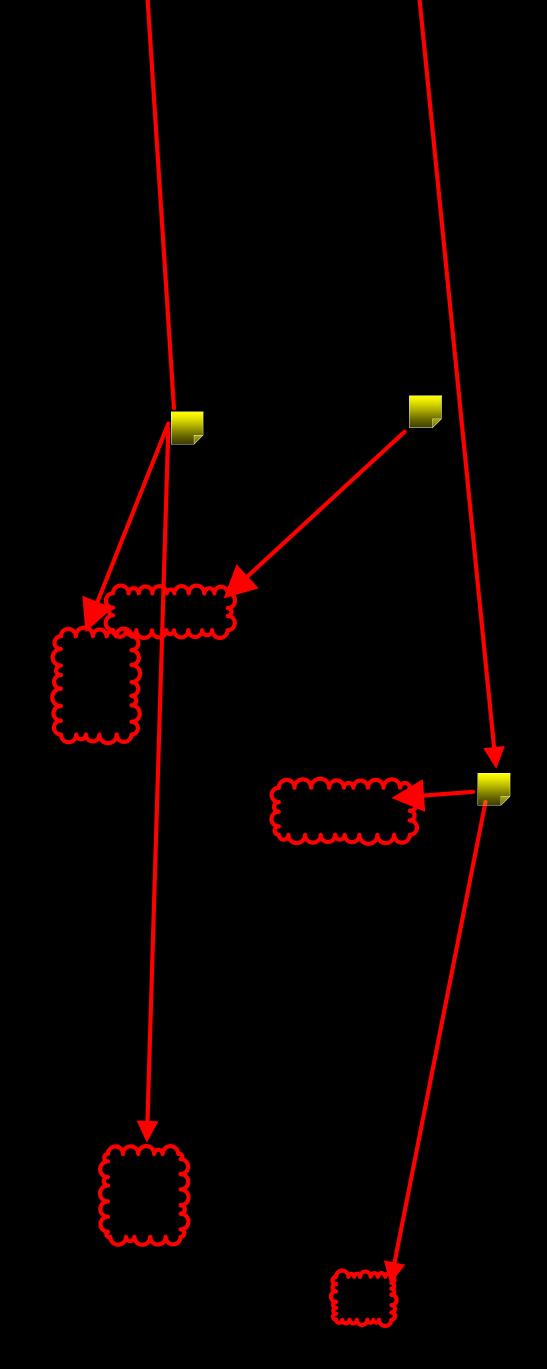
PLOT DATE:

# WODIOLD SHEET-NOT APPLICABLE.

Old drawing not applicable. See latest drawing dated 5/17/16







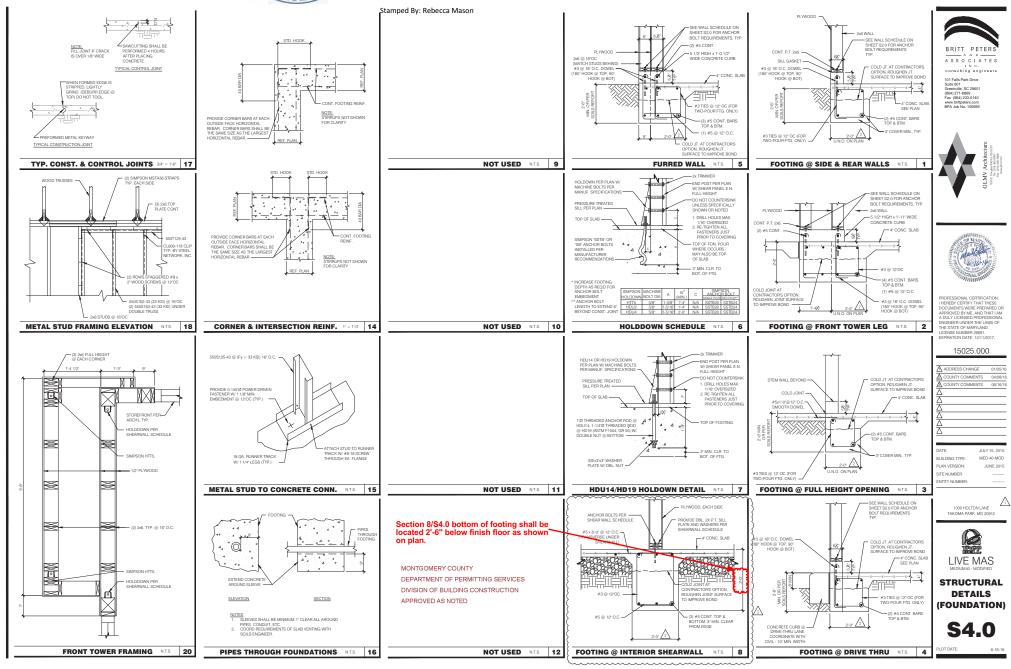


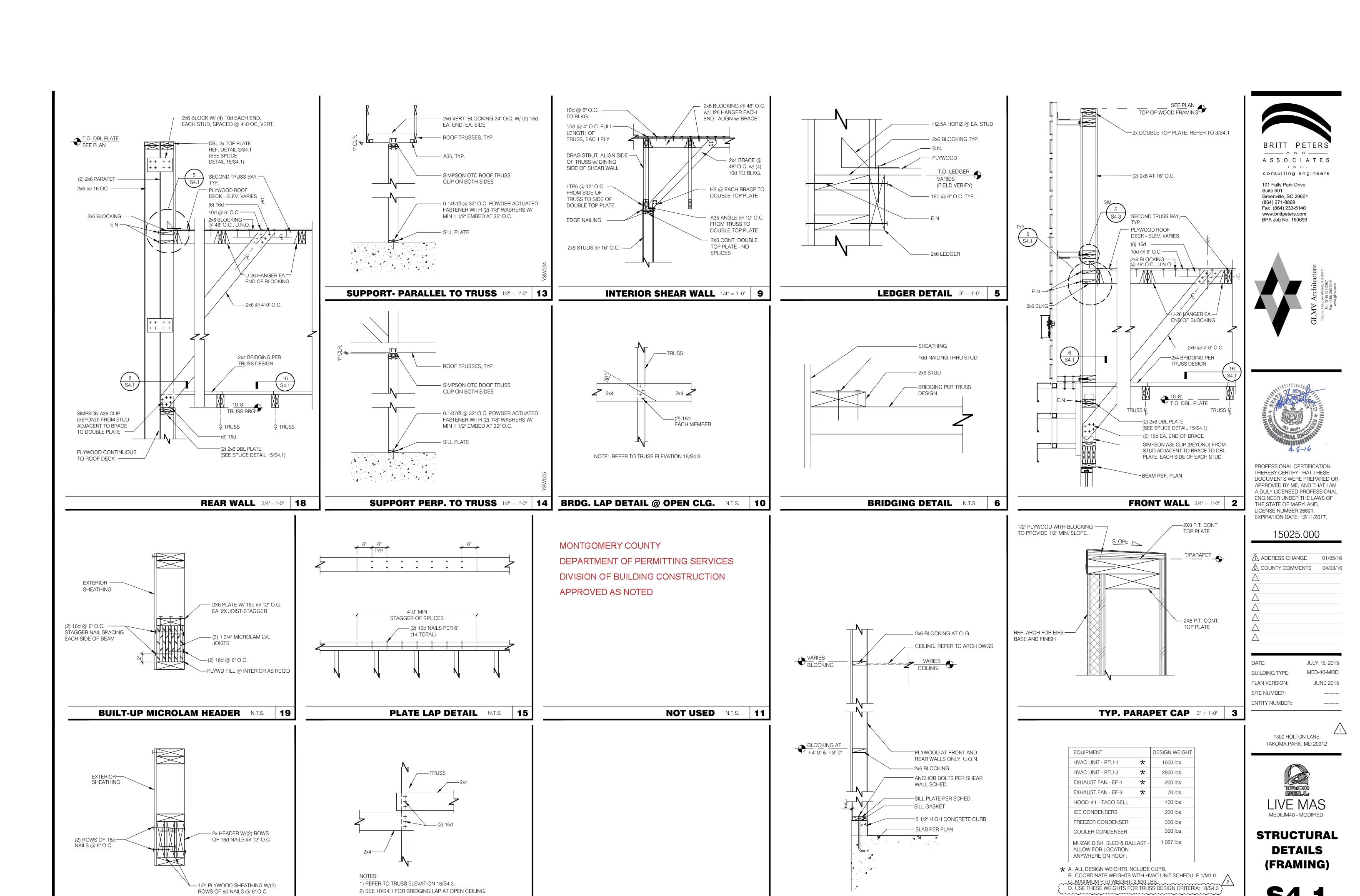
# APPROVED

# Department of Permitting Services

Permit # combuild-742502

Date 09/21/16





NOT USED N.T.S. 12

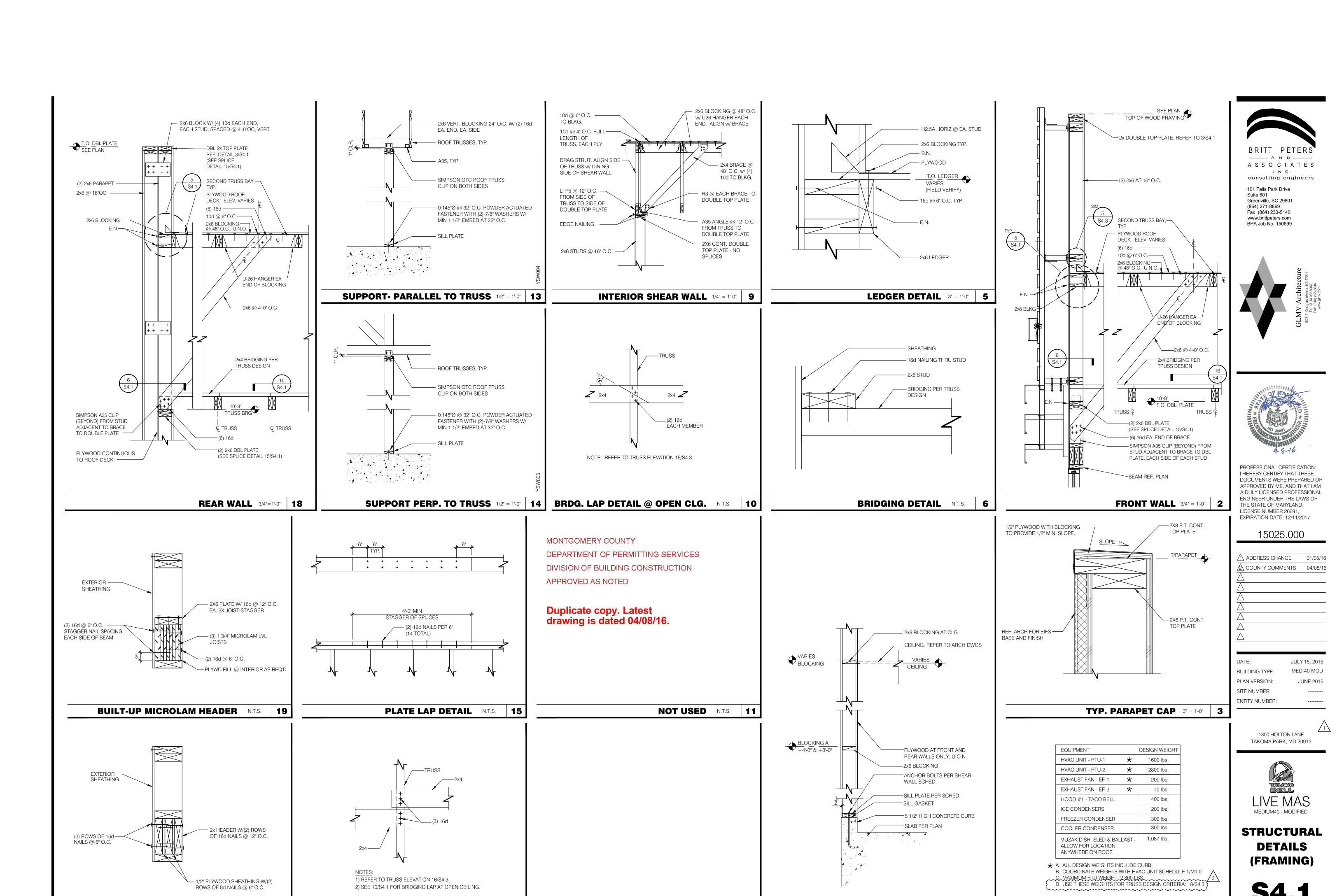
TYPICAL WALL BELOW JOIST 3/4" = 1'-0" 8

TYP. MULTIPLE HEADER 1-1/2" = 1'-0" 20

BRIDGING LAP DETAIL N.T.S. 16

PLOT DATE:

ROOF TOP EQUIPMENT WEIGHTS N.T.S. 4



NOT USED N.T.S. 12

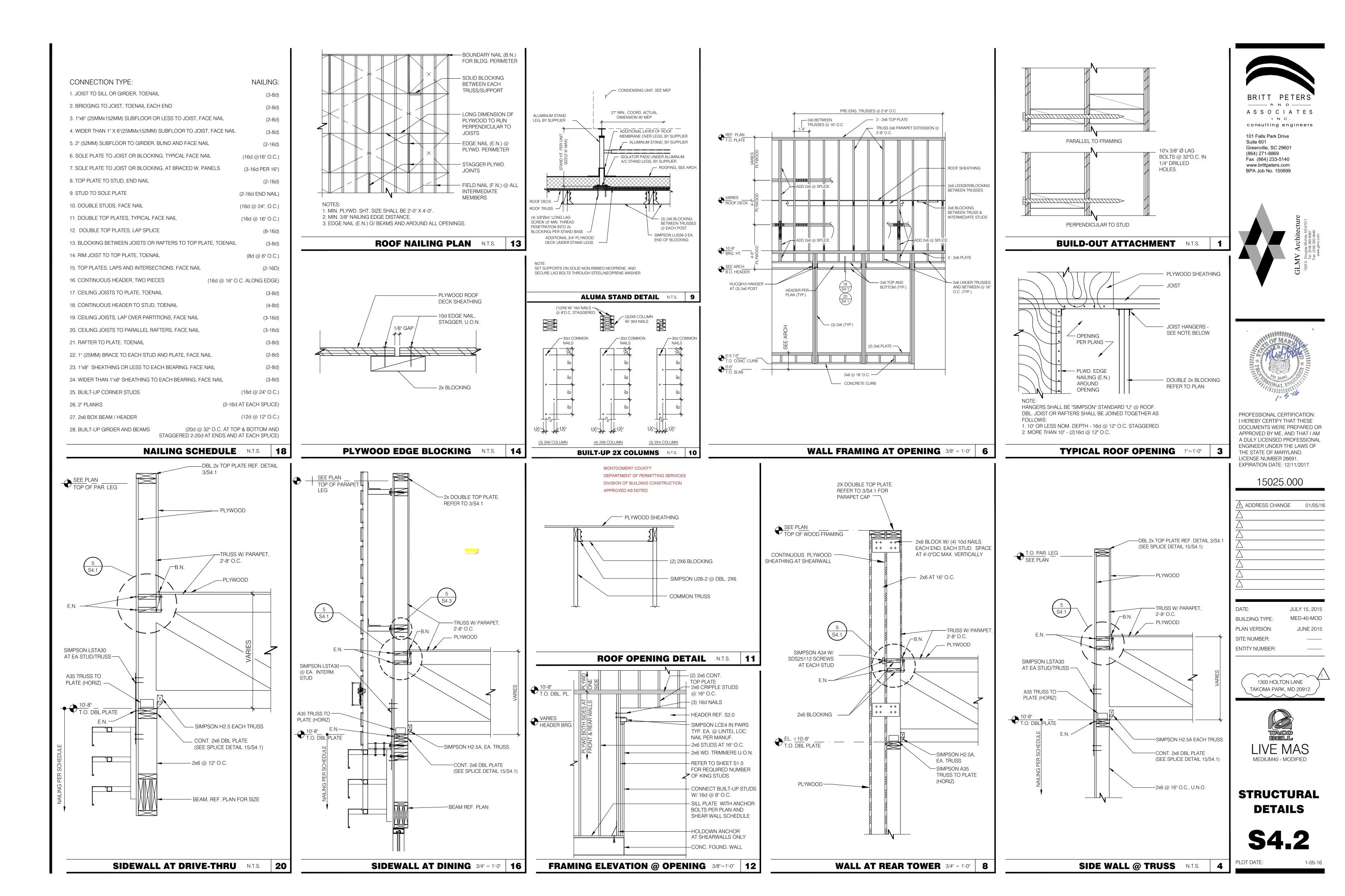
TYPICAL WALL BELOW JOIST 3/4" = 1'-0" 8

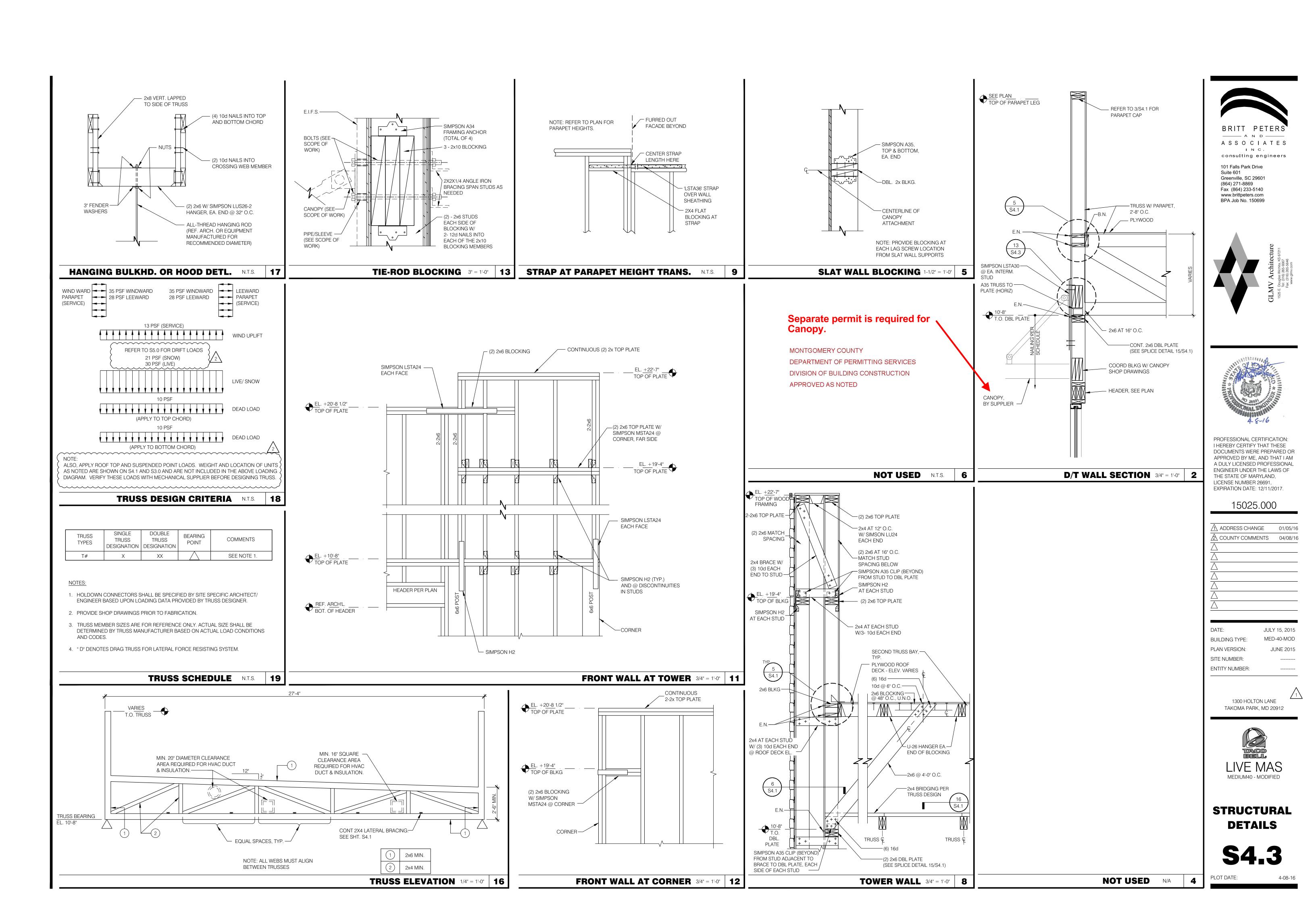
TYP. MULTIPLE HEADER 1-1/2" = 1'-0" 20

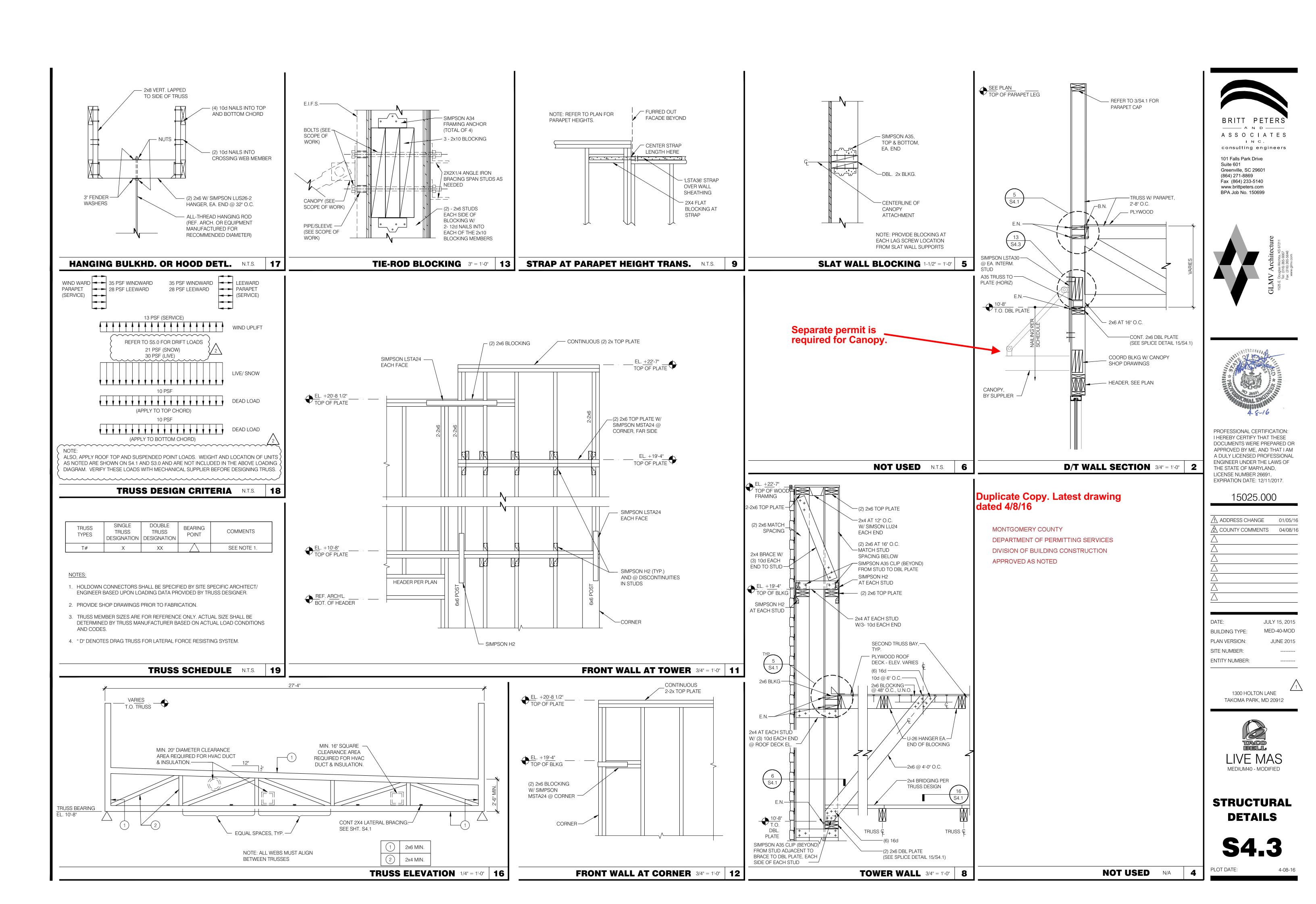
BRIDGING LAP DETAIL N.T.S. 16

PLOT DATE:

ROOF TOP EQUIPMENT WEIGHTS N.T.S. 4



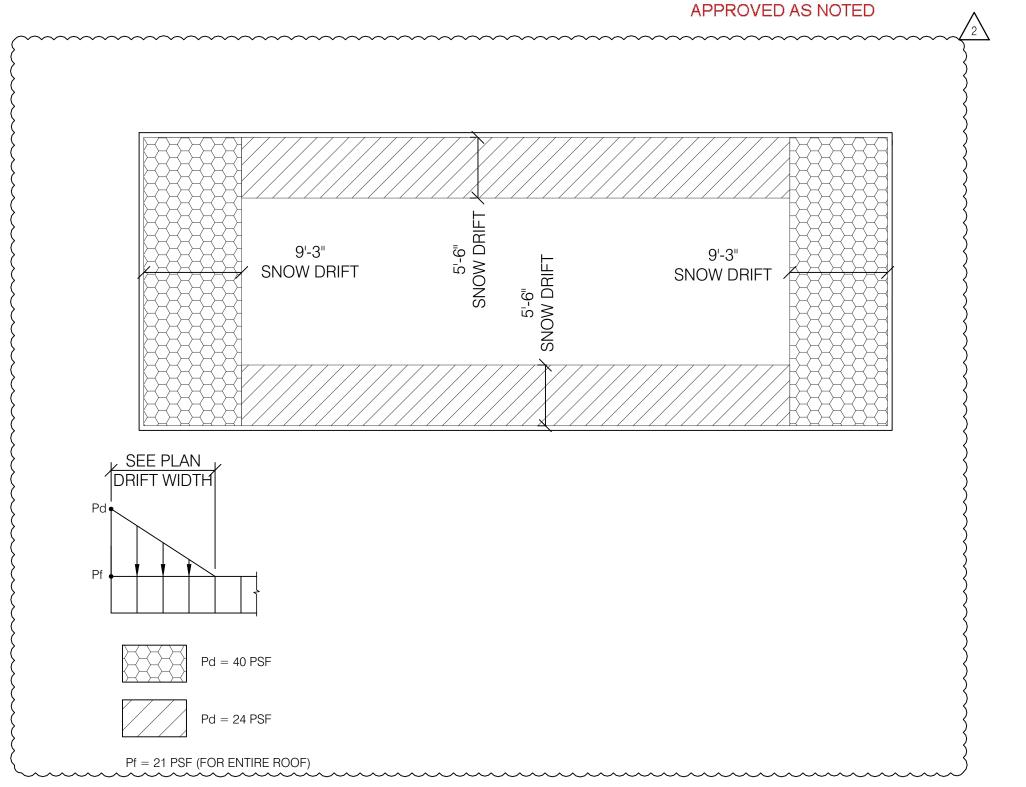




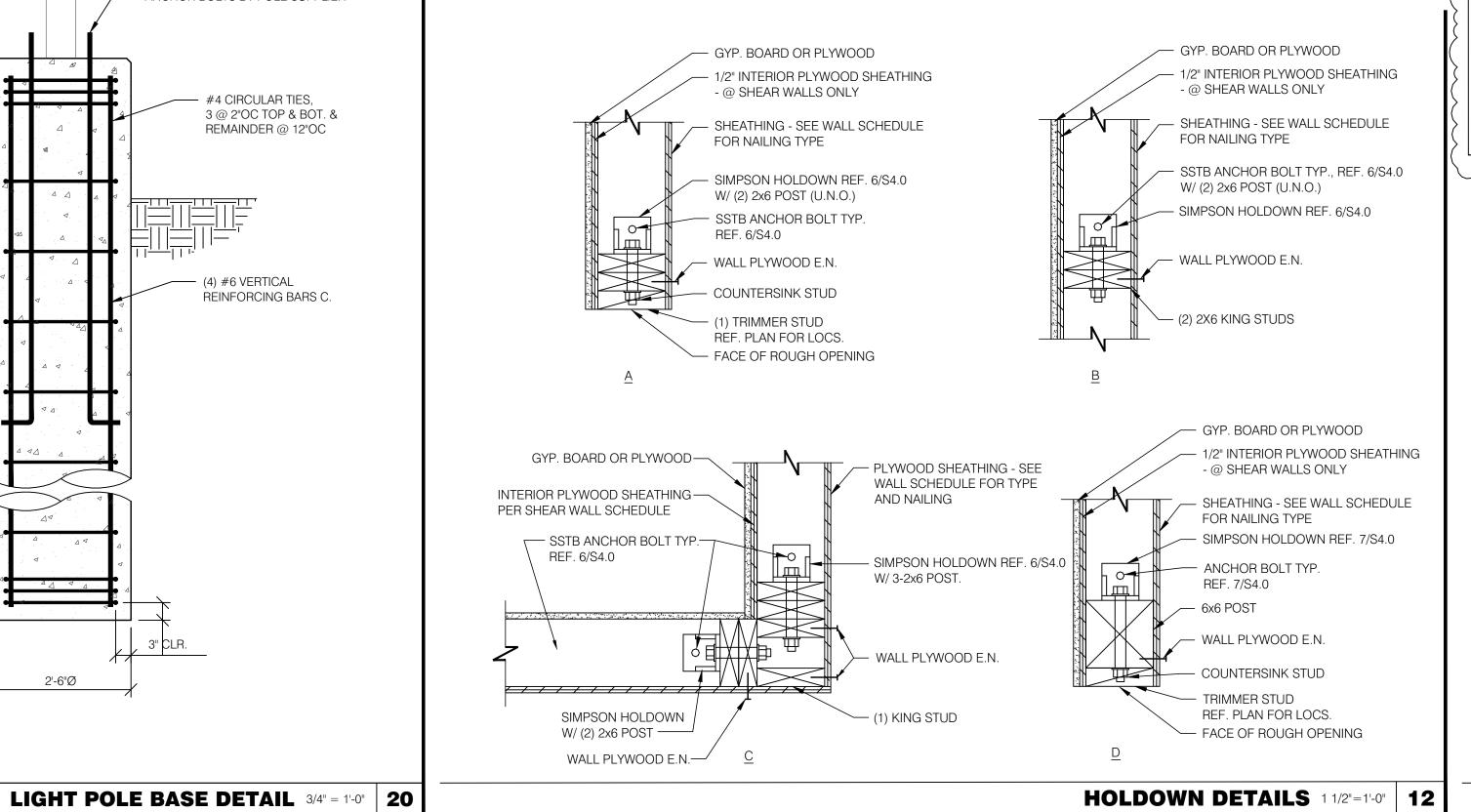
Inspection for adhesive anchors installed in horizontally or upwardly inclined orientations to resist sustained tension loads shall be continues and shall be performed by an ACI or CRSI certified adhesive anchor installer. Inspection for mechanical and adhesive anchors installed without tension load can be periodic. MONTGOMERY COUNTY

STRUCTURAL REVIEW APPROVED BY **DICLE FIRAT** 

DEPARTMENT OF PERMITTING SERVICES DIVISION OF BUILDING CONSTRUCTION



# SNOW DRIFT LOADING DIAGRAM N.T.S.



, }			REQUIRED VERI	INSPECTION			
>   >		INSPECTION TASK			F INSPECTION PERIODIC	REFERENCED STANDARD	IBC REFERENCE
$\rangle$		1. INSPECTION	OF REINFORCED STEEL, AND PLACEMENT	_	X	ACI 318: 20, 25.2, 25.3, 26.6.1-26.6.3	1908.4
}		3. INSPECTION	OF ANCHORS CAST IN CONCRETE		X	ACI 318: 17.8.2	_
>   >	CONCRETE	4. INSPECTION CONCRETE	OF ANCHORS POST-INSTALLED IN HARDENED		X	ACI 318: 17.8.2.4	·—
>   >	CO	5. VERIFY USE	OF REQUIRED DESIGN MIX	_	X	ACI 318: Ch.19, 26.4.3, 26.4.4	1904.1, 1904.2 1908.2, 1908.3
>   >		STRENGTH	CONCRETE PLACEMENT, FABRICATE SPECIMENS FOR TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, MINE THE TEMPERATURE OF CONCRETE	Х		ASTM C 172 ASTM C 31 ACI 318: 26.4, 26.12	1908.10
\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \		8. VERIFY MAII TECHNIQUES	NTENANCE OF SPECIFIED CURING TEMPERATURE AND	_	X	ACI 318: 26.5.3-26.5.5	1908.9
, }							
>			CAVATIONS ARE EXTENDED TO PROPER DEPTH AND REACHED PROPER MATERIAL	_	Х		1705.6
\ \ \		2. PERFORM MATERI	CLASSIFICATION AND TESTING OF CONTROLLED FILL ALS	_	Х		1705.6
>	SOIL	THICK	SE OF PROPER MATERIALS, DENSITIES AND LIFT NESSES DURING PLACEMENT AND COMPACTION OF OLLED FILL	Х			1705.6
> >			PLACEMENT OF CONTROLLED FILL, INSPECT AND VERIFY THAT SITE HAS BEEN PREPARED		Х		1705.6
<b>&gt;</b>							
<b>)</b>		1. WOOD MEI	MBERS		X	N.D.S. SPECIFICATIONS	<del></del>
$\setminus  $			ROOF SHEATHING	_	X	N.D.S. SPECIFICATIONS	_
<b>&gt;</b>	WOOD	3. NAILING			Х	N.D.S. SPECIFICATIONS	<del></del>
>	W		ON ANCHORS		X	N.D.S. SPECIFICATIONS	<del></del>
>		5. SHEAR &	ROOF DIAPHRAGM NAILING	_	X	N.D.S. SPECIFICATIONS	<del>_</del>
,		6. ROOF TRU	SSES		Х	N.D.S. SPECIFICATIONS	<del></del>
>		7. METAL CO	NNECTIONS		X	N.D.S. SPECIFICATIONS	

SPECIAL INSPECTION REQUIREMENTS

10

- 1. CHAPTER 17 OF THE IBC, REQUIRES THAT THE OWNER EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTIONS LISTED IN THE TABLE ON THIS SHEET. SPECIAL INSPECTORS SHALL KEEP RECORDS OF INSPECTIONS AND A REPORT SHALL BE FURNISHED TO THE BUILDING OFFICIAL AND THE APPROPRIATE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE. UPON COMPLETION OF ALL SPECIAL INSPECTIONS, A FINAL REPORT DOCUMENTING THE REQUIRED SPECIAL INSPECTIONS AND CORRECTION OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL.
- 2. CONTRACTOR SHALL SUBMIT WRITTEN STATEMENT OF RESPONSIBILITY ACCORDING TO THE REQUIREMENTS LISTED IN SECTIONS 1704 OF THE IBC TO THE BUILDING OFFICIAL, OWNER, AND ENGINEER OF RECORD.
- 3. ALL STRUCTURAL COMPONENTS AND STRUCTURAL SYSTEMS SHALL BE TESTED AND INSPECTED ACCORDING TO THE APPROPRIATE CODE SPECIFICATIONS LISTED IN THE TABLE ON THIS SHEET.
- 4. SPECIAL INSPECTIONS NOTED AS "PERIODIC" SHALL REQUIRE PART-TIME OR INTERMITTENT OBSERVATION OF WORK BY AN APPROVED SPECIAL INSPECTOR WHO IS PRESENT IN THE AREA WHERE THE WORK HAS BEEN OR IS BEING PERFORMED AND AT THE COMPLETION OF THE WORK.
- 5. SPECIAL INSPECTIONS NOTED AS "CONTINUOUS" SHALL REQUIRE FULL-TIME OBSERVATION OF WORK BY AN APPROVED SPECIAL INSPECTOR WHO IS PRESENT IN THE AREA WHERE THE WORK IS BEING PERFORMED.



ASSOCIATES consulting engineers

101 Falls Park Drive Greenville, SC 29601 (864) 271-8869 Fax (864) 233-5140 www.brittpeters.com BPA Job No. 150699





PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME. AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 26691, EXPIRATION DATE: 12/11/2017.

15025.000

ADDRESS CHANGE	01/05/16
A COUNTY COMMENTS	04/08/16
$\triangle$	

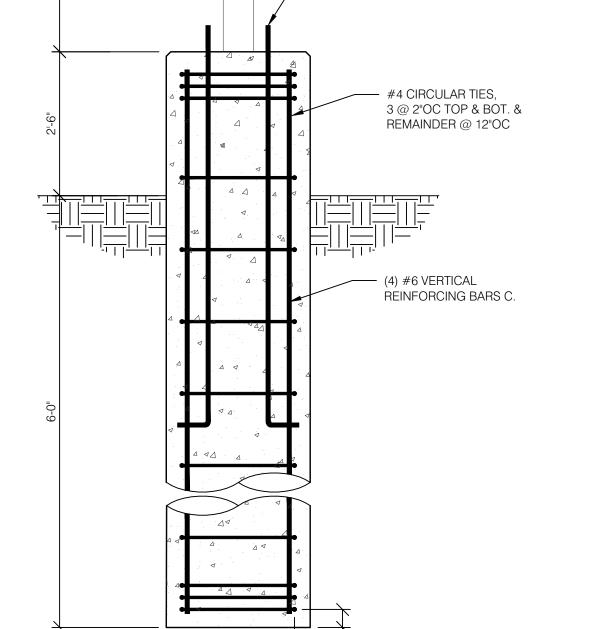
JULY 15, 2015 MED-40-MOD BUILDING TYPE: PLAN VERSION: SITE NUMBER: ENTITY NUMBER:

> 1300 HOLTON LANE TAKOMA PARK, MD 20912



MISC. DETAILS & SPECIAL **INSPECTION** 

SPECIAL INSPECTIONS N.T.S. 4



2'-6"Ø

LIGHT POLE (5"X5")

ANCHOR BOLTS BY POLE SUPPLIER