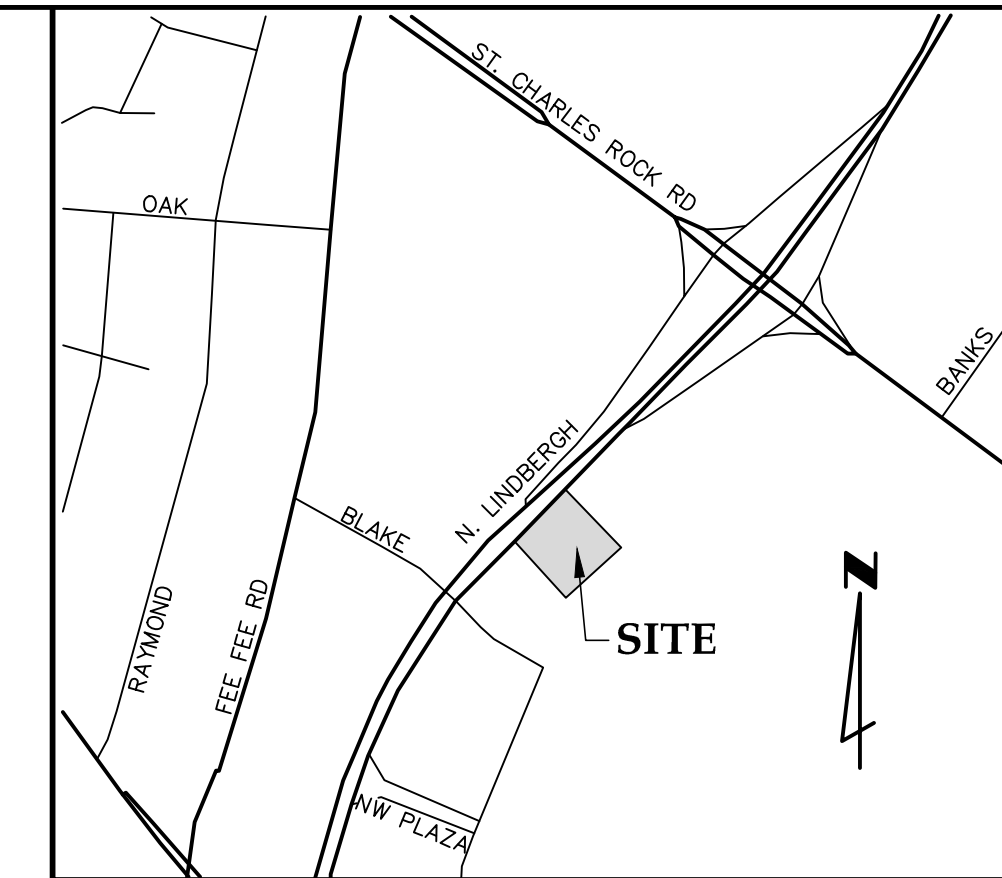
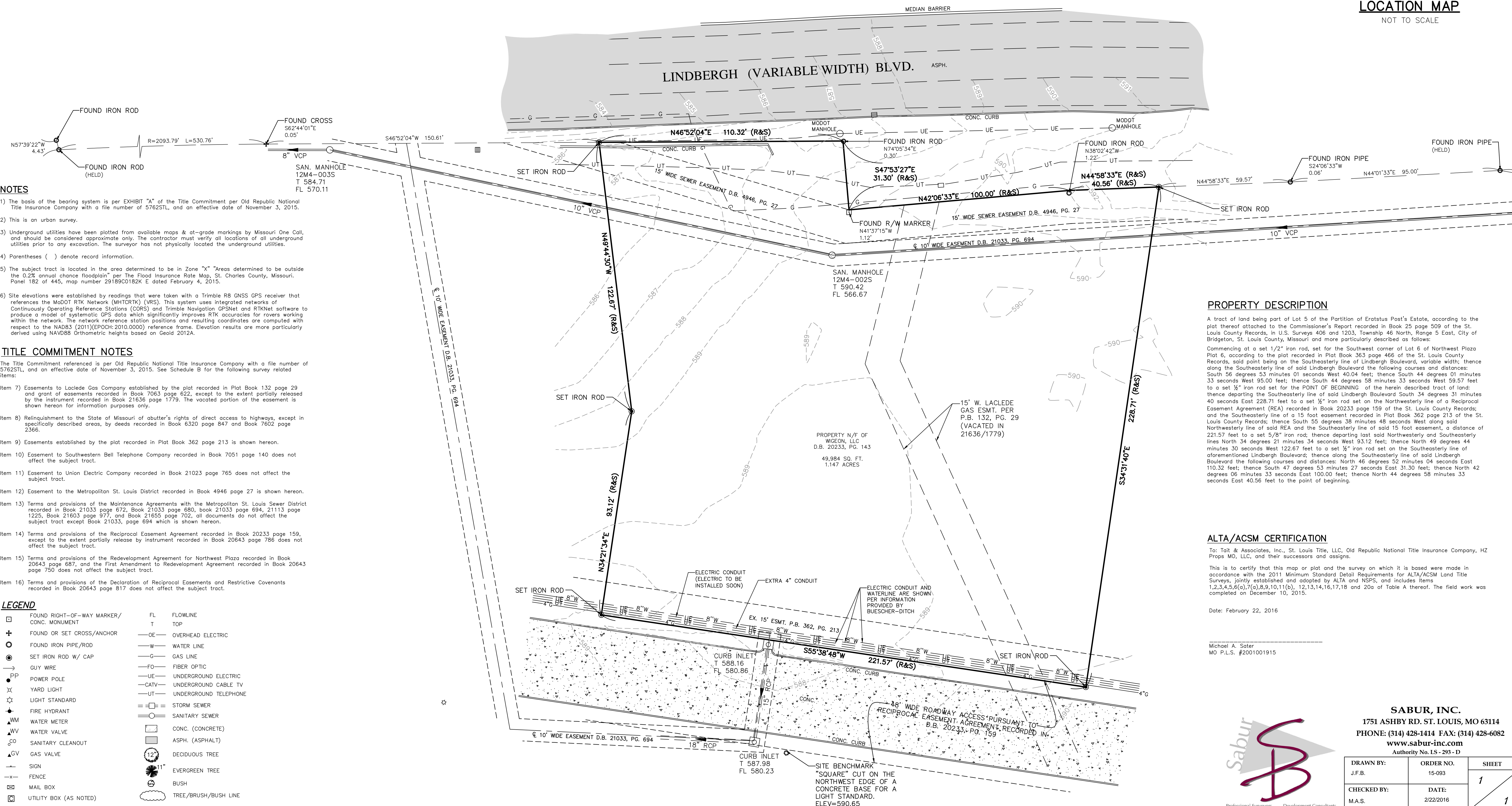


ALTA/ACSM LAND TITLE SURVEY OF LEASE AREA SCHEME 07 FOR THE CROSSINGS AT NORTHWEST PLAZA CITY OF BRIDGETON, ST. LOUIS COUNTY, MISSOURI



LOCATION MAP
NOT TO SCALE



NOTES

- 1) The basis of the bearing system is per EXHIBIT "A" of the Title Commitment per Old Republic National Title Insurance Company with a file number of 5762STL, and an effective date of November 3, 2015.
- 2) This is an urban survey.
- 3) Underground utilities have been plotted from available maps & at-grade markings by Missouri One Call, and should be considered approximate only. The contractor must verify all locations of all underground utilities prior to any excavation. The surveyor has not physically located the underground utilities.
- 4) Parentheses () denote record information.
- 5) The subject tract is located in the area determined to be in Zone "X" "Areas determined to be outside the 0.2% annual chance floodplain" per The Flood Insurance Rate Map, St. Charles County, Missouri, Panel 182 of 445, map number 29189C0182K E dated February 4, 2015.
- 6) Site elevations were established by readings that were taken with a Trimble R8 GNSS GPS receiver that references the Modot RTK Network (MTRTK) (VRS). This system uses integrated networks of Continuously Operating Reference Stations (CORS) and Trimble Navigation GPSNet and RTKNet software to produce a model of systematic GPS data which significantly improves RTK accuracies for rovers working within the network. The network reference station positions and resulting coordinates are computed with respect to the NAD83 (2011) (EPOCH: 2010.0000) reference frame. Elevation results are more particularly derived using NAVD88 Orthometric heights based on Geoid 2012A.

TITLE COMMITMENT NOTES

- The Title Commitment referenced is per Old Republic National Title Insurance Company with a file number of 5762STL, and an effective date of November 3, 2015. See Schedule B for the following survey related items:
- Item 7) Easements to Laclede Gas Company established by the plat recorded in Plat Book 132 page 29 and grant of easements recorded in Book 7063 page 622, except to the extent partially released by the instrument recorded in Book 21636 page 1779. The vacated portion of the easement is shown hereon for information purposes only.
 - Item 8) Relinquishment to the State of Missouri of abutter's rights of direct access to highways, except in specifically described areas, by deeds recorded in Book 6320 page 847 and Book 7602 page 2366.
 - Item 9) Easements established by the plat recorded in Plat Book 362 page 213 is shown hereon.
 - Item 10) Easement to Southwestern Bell Telephone Company recorded in Book 7051 page 140 does not affect the subject tract.
 - Item 11) Easement to Union Electric Company recorded in Book 21023 page 765 does not affect the subject tract.
 - Item 12) Easement to the Metropolitan St. Louis District recorded in Book 4946 page 27 is shown hereon.
 - Item 13) Terms and provisions of the Maintenance Agreements with the Metropolitan St. Louis Sewer District recorded in Book 21033 page 672, Book 21033 page 680, Book 21033 page 694, 21113 page 1225, Book 21603 page 977, and Book 21655 page 702, all documents do not affect the subject tract except Book 21033, page 694 which is shown hereon.
 - Item 14) Terms and provisions of the Reciprocal Easement Agreement recorded in Book 20233 page 159, except to the extent partially release by instrument recorded in Book 20643 page 786 does not affect the subject tract.
 - Item 15) Terms and provisions of the Redevelopment Agreement for Northwest Plaza recorded in Book 20643 page 687, and the First Amendment to Redevelopment Agreement recorded in Book 20643 page 750 does not affect the subject tract.
 - Item 16) Terms and provisions of the Declaration of Reciprocal Easements and Restrictive Covenants recorded in Book 20643 page 817 does not affect the subject tract.

LEGEND

□	FOUND RIGHT-OF-WAY MARKER/ CONC. MONUMENT	FL	FLOWLINE
+	FOUND OR SET CROSS/ANCHOR	T	TOP
○	FOUND IRON PIPE/ROD	OE	OVERHEAD ELECTRIC
●	SET IRON ROD W/ CAP	W	WATER LINE
→	GUY WIRE	G	GAS LINE
●	POWER POLE	FO	FIBER OPTIC
×	YARD LIGHT	UE	UNDERGROUND ELECTRIC
☆	LIGHT STANDARD	CATV	UNDERGROUND CABLE TV
◆	FIRE HYDRANT	UT	UNDERGROUND TELEPHONE
▲	WATER METER	SS	STORM SEWER
▼	WATER VALVE	CS	SANITARY SEWER
○	SANITARY CLEANOUT	CONC.	CONC. (CONCRETE)
▲	GAS VALVE	ASPH.	ASPH. (ASPHALT)
—	SIGN	DT	DECIDUOUS TREE
-x-	FENCE	ET	EVERGREEN TREE
☐	MAIL BOX	BUSH	BUSH
☐	UTILITY BOX (AS NOTED)	TBL	TREE/BRUSH/BUSH LINE

PROPERTY DESCRIPTION

A tract of land being part of Lot 5 of the Partition of Erastus Post's Estate, according to the plat thereof attached to the Commissioner's Report recorded in Book 25 page 509 of the St. Louis County Records, in U.S. Surveys 406 and 1203, Township 46 North, Range 5 East, City of Bridgeton, St. Louis County, Missouri and more particularly described as follows:
Commencing at a set 1/2" iron rod, set for the Southwest corner of Lot 6 of Northwest Plaza Plat 6, according to the plat recorded in Plat Book 363 page 466 of the St. Louis County Records, said point being on the Southeastery line of Lindbergh Boulevard, variable width; thence along the Southeastery line of said Lindbergh Boulevard the following courses and distances: South 56 degrees 53 minutes 01 seconds West 40.04 feet; thence South 44 degrees 01 minutes 33 seconds West 95.00 feet; thence South 44 degrees 58 minutes 33 seconds West 59.57 feet to a set 1/2" iron rod set for the POINT OF BEGINNING of the herein described tract of land; thence departing the Southeastery line of said Lindbergh Boulevard South 34 degrees 31 minutes 40 seconds East 228.71 feet to a set 1/2" iron rod set on the Northwesterly line of a Reciprocal Easement Agreement (REA) recorded in Book 20233 page 159 of the St. Louis County Records; and the Southeastery line of a 15 foot easement recorded in Plat Book 362 page 213 of the St. Louis County Records; thence South 55 degrees 38 minutes 48 seconds West along said Northwesterly line of said REA and the Southeastery line of said 15 foot easement, a distance of 221.57 feet to a set 5/8" iron rod; thence departing last said Northwesterly and Southeastery lines North 34 degrees 21 minutes 34 seconds West 93.12 feet; thence North 49 degrees 44 minutes 30 seconds West 122.67 feet to a set 1/2" iron rod set on the Southeastery line of aforementioned Lindbergh Boulevard; thence along the Southeastery line of said Lindbergh Boulevard the following courses and distances: North 46 degrees 52 minutes 04 seconds East 110.32 feet; thence South 47 degrees 53 minutes 27 seconds East 51.30 feet; thence North 42 degrees 06 minutes 33 seconds East 100.00 feet; thence North 44 degrees 58 minutes 33 seconds East 40.56 feet to the point of beginning.

ALTA/ACSM CERTIFICATION

To: Taft & Associates, Inc., St. Louis Title, LLC, Old Republic National Title Insurance Company, HZ Props MO, LLC, and their successors and assigns.
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1,2,3,4,5,6(a),7(a),8,9,10,11(b), 12,13,14,16,17,18 and 20a of Table A thereof. The field work was completed on December 10, 2015.

Date: February 22, 2016

Michael A. Sater
MO P.L.S. #2001001915



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Authority No. LS-293-D

DRAWN BY: J.F.B.	ORDER NO. 15-093	SHEET 1
CHECKED BY: M.A.S.	DATE: 2/22/2016	1