



SITE PLAN
Scale: 1/16" = 1'-0"

SITE WORK KEY NOTES

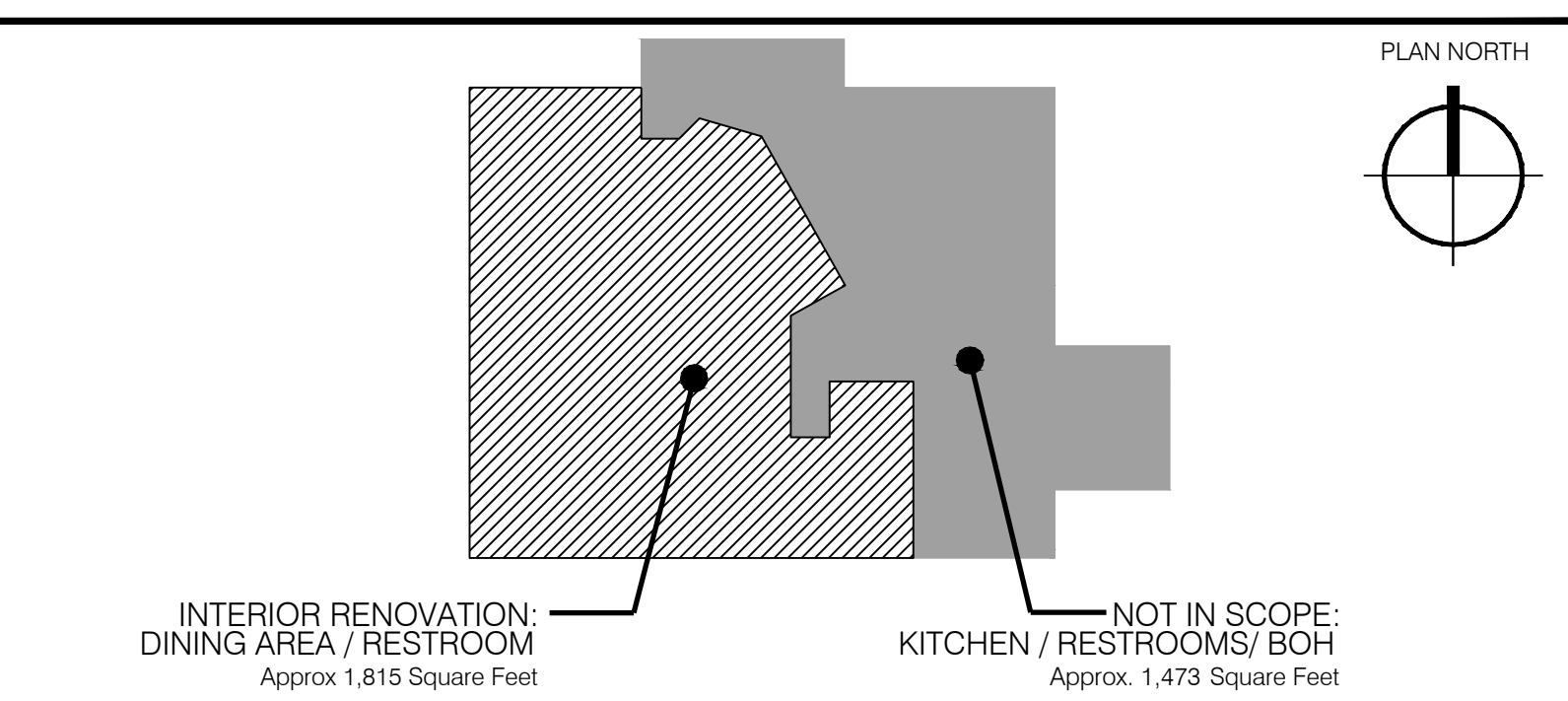
- 1 EXISTING DUMPSTER ENCLOSURE
- 2 EXISTING WHEELSTOP
- 3 EXISTING A-D-A SIGNAGE
- 4 EXISTING CONCRETE SIDEWALK TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 5 EXISTING PARKING LOT DIRECTIONAL SIGNAGE
- 6 EXISTING CONCRETE PAVEMENT TO BE PROTECTED DURING CONSTRUCTION
- 7 EXISTING CURB TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 8 EXISTING BUILDING TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 9 EXISTING ASPHALT PAVEMENT TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 10 EXISTING LANDSCAPING TO REMAIN
- 11 EXISTING BUCKET SIGN
- 12 EXISTING PYLON SIGN
- 13 EXISTING SPEAKER POST
- 14 EXISTING PREVIEW BOARD
- 15 EXISTING MENU BOARD
- 16 EXISTING CLEARANCE BAR

KFC SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT

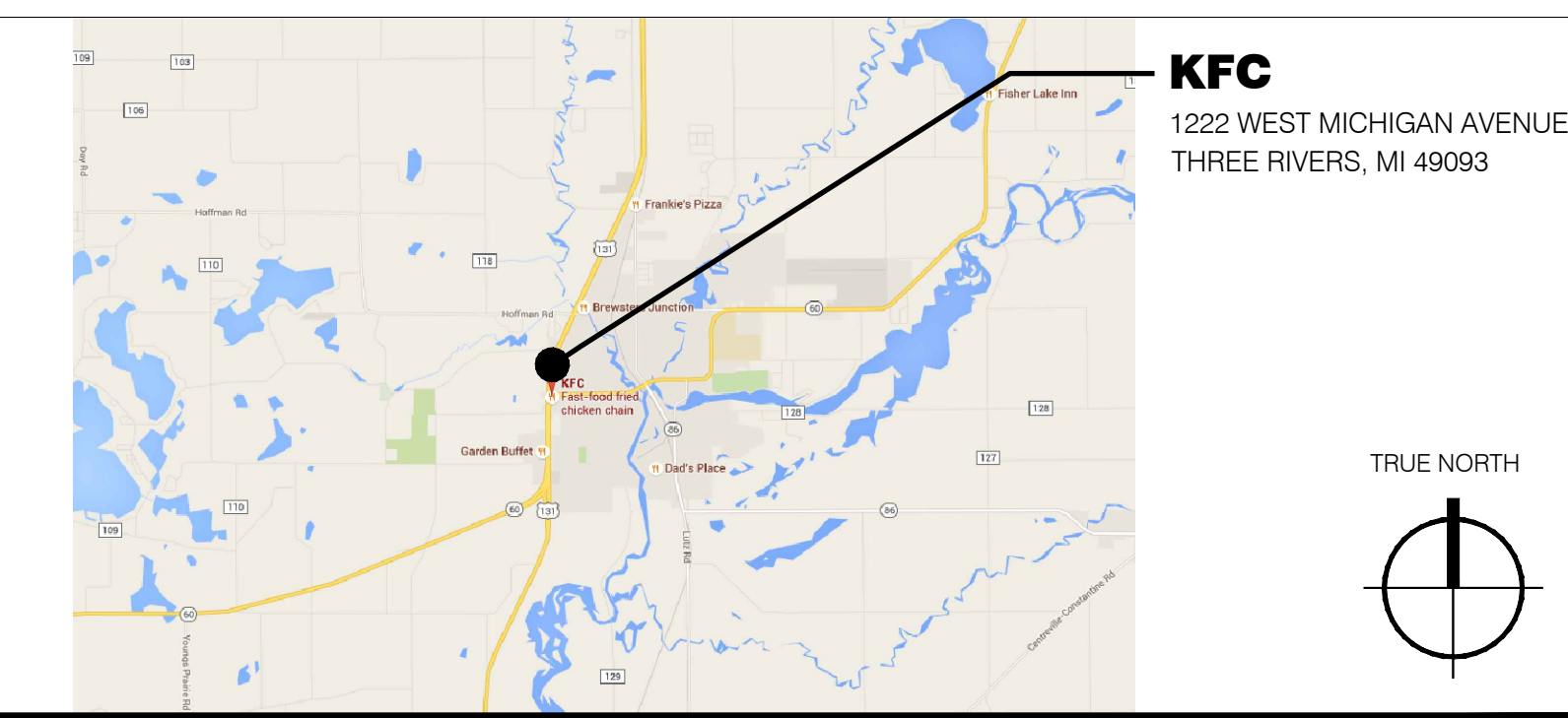
SCOPE OF WORK MATRIX

ISIRI Item / Scope Matrix	ISIRI Item / Scope Matrix	ISIRI Item / Scope Matrix
Exterior Building Construction	REMOVE ALL EXISTING AWNINGS AND CANOPIES - PROPERLY DISPOSE	YES
	REMOVE EXISTING SAFETY RELOCATE EXISTING AWNING LIGHT FIXTURES	YES
	REMOVE EXISTING WALL SCORING FIXTURES - REINSTALL WATER PROOF COVERS AS NEEDED	YES
	REMOVE STRIPED PYRAMID ROOF ELEMENT AND FRAMING	YES
	REMOVE EXISTING UPPER PARAPET WALL SECTIONS AT NON-BANNER WALL (E-MULTI-BRANDS) 'EAR MUFFS'	NO
	REMOVE FRONT COLONEL SIGN CABINET(S) - DEMO ELECTRICAL / MAKE SAFE / RE-LOCATE CIRCUIT	YES
	REMOVE EXIST LIGHT WALL PACK ABOVE SERVICE DOORS	YES
	REMOVE EXISTING WALL COLUMNS AND BRACKETS	NO
	REMOVE EXISTING LINEAR WINDOW LIGHT BOXES (VISION 1-0)	NO
	REMOVE EXISTING SINGLE MANSARD	NO
	REMOVE EXISTING WALL BRACKETS SUBSTRATE / REINSTALL BRACKET STAKEOUTS FOR TACO BELL ONLY	NO
	REMOVE EXISTING PARAPET AT ENTRY LIGHTS INSTALLATION IF NECESSARY	NO
	FRAME/EXTEND PARAPET WALL FOR NEW DESIGN ELEMENT OVER MULTI-BRAND TOWER(S) @ (Bldgs by A&W)	NO
	INSTALL ELECTRICAL FOR LIGHT FIXTURE ABOVE ENTRY DOORS	YES
	INSTALL NEW EXIT LIGHT EMERGENCY FIXTURE ABOVE ENTRY DOORS	YES
	INSTALL SURFACE MOUNT CONDUIT AND BOXES FOR TOWER & PARAPET ARM LIGHT FIXTURES	YES
	INSTALL ARM LIGHT FIXTURES ON PARAPET	YES
	RELOCATE / RECONNECT ELECTRICAL FOR UPDOWN SCORING FIXTURES	NO
	REINSTALL WINDOW SCORING FIXTURES ON EXISTING BUILDING AS INDICATED	NO
	PRESSURE WASH / PATCH / PAINT EXTERIOR OF BUILDING	NO
	INSTALL BLOCKING & PREFINISHED METAL (WHITE) FASCIA TO TOWER TOP COLLAR AS INDICATED	YES
	PAINT METAL PARAPET CAP UNDER THE FRAMED 'COLLAR' (WHITE) SP-2	YES
	INSTALL NEW EXIT LIGHT WALL PACK ABOVE SERVICE DOORS	YES
	PAINT AND REINSTALL WALL COLUMNS AND BRACKETS (VISION 1-0)	NO
	PAINT AND REINSTALL EXISTING LINEAR WINDOW LIGHT BOXES (VISION 1-0)	NO
	INFILL WITH EES AREA OF REMOVED SINGLE MANSARD (PROVIDE TRANSITION CONTINUOUS FLASHINGS)	NO
	DISCONNECT AND REMOVE EXPOSED NEON PARAPET LIGHT BANDS	NO
	DISCONNECT LIGHT BANDS	NO
	PAINT EXISTING LIGHT BANDS	NO
Exterior Branding Elements	INSTALL NEW WINDOW & DOOR AWNINGS - RAIN PANASAT DOOR AWNINGS (PROVIDE ALL BLOCKING)	YES
	INSTALL DRIVE THROUGH WINDOW LETTERS	YES
	REMOVE ELECTRICAL AS NEEDED	YES
	INSTALL NEW STRIPED BANNER ELEMENT ON KFC TOWER (PROVIDE BLOCKING)	YES
	PAINT (2) WALL GRAPHICS (STAMPS & TEXT STENCIL)	YES
	REPLACE (2) KFC LETTER SIGNS (LED) MATCH EXISTING SIZE/RE-LOCATE ELECTRICAL AND BLOCKING AS NEEDED	YES
	PAINT WORLD FAMILIAR CHECKOUT LETTERS & STARS (STENCIL)	YES
	RE-FACE 3 SIDED STREET PYLON SIGN W/ FLAT FACE - IF REQUIRED OR DAMAGED	NO
	RE-FACE 2 SIDED DIRECTIONAL SIGNS - IF REQUIRED OR DAMAGED	YES
	REPLACE READER BOARD INSERT WITH 'REAL MEALS TO GO' TEXT	YES
	INSTALL NEW STRIPED BANNER ELEMENT ON EXISTING EXTERIOR WALL (NO TOWER PRESENT)	NO
	INSTALL NEW CANOPIED CANOPY	NO
Interior Building Construction	REMOVE EXISTING CHAIR RAIL	YES
	REPLACE 3/4" W/ NEW 1/2" WHITE SOLID SURFACE @ WINDOW & VESTIBULE OPENINGS IF NEEDED	YES
	REMOVE EXISTING BOOTHS, TABLE TOPS, AND CHAIRS AND PROPERLY DISPOSE	YES
	REMOVE TABLE TOP STEEL POSTS, AS INDICATED	YES
	INSTALL TEMPORARY PLASTIC 2' WALL DUST BARRIER - NO FRAMED WALL	YES
	REMOVE WALL SCORING, WIPING AND PATCH WALL	YES
	REMOVE EXISTING WINDOW VALANCES	YES
	REMOVE EXISTING ARTWORK PACKAGE SIGN, GRAPHICS, ARTWORK - PROPERLY DISPOSE	YES
	REMOVE 1/2" RT WALL AS INDICATED (BY PEPSI AND VESTIBULE)	YES
	RELOCATE EXISTING WALLS AND REMOVE NEW REDUCED SURFACE CAP AS INDICATED	NO
	REMOVE EXISTING WALLS AND GRIDS - PATCH FLOORS AS NEEDED	NO
	REMOVE EXISTING SERVICE COUNTER AND BEVERAGE TOPS - LOWER TO ADA IF REQUIRED	YES
	REMOVE STORE & REINSTALL POS	YES
	REMOVE STORE & REINSTALL PEPSI MACHINE (BY PEPSI VENDOR)	YES
	UNINSTALL & RE-INSTALL ICE MAKER & ADD FOR ADAPTER - RECHARGE FRESH	YES
	REMOVE WALLPAPER, SIGN COAT AND PAINT WALLS ABOVE CHAIR RAIL (NOT RED FOCAL PANEL WALL)	YES
	REMOVE MENU BOARD, FRAMING - SAVE FOR RE-INSTALL	YES
	REMOVE EXISTING BUFFET	YES
	REMOVE STORE & REINSTALL AND RELOCATE PEPSI MACHINE (BY PEPSI VENDOR)	YES
	INSTALL NEW CHAIR RAIL	YES
	PREP AND PAINT EXISTING WAINSCOTING MATERIAL (WHITE) P-6	NO
	REMOVE AND REPLACE EXISTING PLAIN WAINSCOTING, PAINT P-6	YES
	4" RUBBER FLOOR BASE AT SERVICE COUNTER, DIVIDER WALLS AND RED WALL	YES
	PAINT EXISTING TABLE STEEL POSTS	YES
	INSTALL FRAMING BLOCKING IN WINDOW OPENING WHERE COVERED BY RED FOCAL PANELS	YES
	PAINT HARD SURFACE CEILINGS AND SOFFITS (WHITE) P-6	YES
	REMOVE EXISTING 2'4" FIXTURES AS INDICATED, REPLACE WITH NEW TILE AND GRID (FOR BUCKET & TRACK LT)	YES
	RE-LAMP EXISTING LIGHT FIXTURES W/ NEW LAMPS	YES
	CLEAN AND/OR INSTALL NEW 2X LIGHT FIXTURE LENS, IF NECESSARY	YES
	INSTALL LIGHT FIXTURE TRACK AND PROVIDE ELECTRICAL - IF NEEDED	YES
	INSTALL NEW TRACK MOUNTED LIGHTS AND PENDANTS	YES
	INSTALL NEW TRUSS LIGHTS	YES
	INSTALL STAINLESS STEEL CORNER GUARDS AND MENU BULKHEAD CAP	YES
	PAINT HOLLOW METAL RESTROOM DOOR FRAMES	YES
	RESTROOMS - PAINT HAND LED CEILING AND WALLS - STEAM CLEAN FLOOR TILE - RE-LAMP AND RE-LENS LIGHT	YES
	REPLACE EXTERIOR BRANDED PLASTIC DOOR PANELS W/ ALUMINUM PANELS	YES
	REPLACE PATCH DAMAGED EXISTING DINING ROOM FLOOR TILE DUE TO REMOVAL OF EXISTING WALLS, ETC...	YES
	REPLACE NEW FLOOR DRAIN SINK FOR RELOCATED PEPSI MACHINE	YES
	PEPSI ICE MAKER - VERIFY IF FRESH LINES ARE TIED TO RTU	YES
	HOLD UP BOTTOM RAILS - COORDINATE REINSTALLATION W/ VENDOR	NO
Interior Branding Elements	INSTALL FAUX BEAMS AND BRACKETS IN FRONT & UNDER SERVICE COUNTER SOFFIT (80)	YES
	INSTALL 'KITCHEN' AND STARS SIGN	YES
	INSTALL 'DRINK' WALL GRAPHIC NEAR ENTRY (VESTIBULE OR NEAR COUNTER)	YES
	INSTALL DRINK STATION FRONT PANELS, COUNTER PARTITION & BACK PANEL	YES
	INSTALL DRINK STATION HANGING SIGN	YES
	INSTALL SOLID SURFACE COUNTERTOP & COUNTER FACE PANEL GRAPHICS	YES
	INSTALL TABLE HEIGHT CHAIRS	YES
	INSTALL SINGLE & DOUBLE BOOTH SEATING	YES
	INSTALL 60" ROUND 'RED' TABLE W/ PEDESTAL BASE	YES
	INSTALL TABLE HEIGHT CHAIRS W/ RED SEAT	YES
	INSTALL BAR HEIGHT CHAIR	YES
	INSTALL BUCKET LIGHT AND CEILING RING ELEMENT	YES
	INSTALL RED FOCAL WALL PANELING (WITH REVEALS), CROWN TRIM AND CHAIR RAIL (NOTE WALL LOCATION)	YES
	INSTALL PREFINISHED WINDOW TRIM, CASING & SILL AT RED WALL WINDOWS	YES
	INSTALL RED FOCAL WALL ARTWORK	YES
	INSTALL CHALK BOARD AND 'GUARANTEED' FRAMED ART WORK	YES
	INSTALL PROVIDE STORE HOURS SIGN ON GLASS ENTRY DOOR	YES
	INSTALL LADA, MAX, OCCUPANT - COLONEL'S OFFICE AND RESTROOM SIGNS	YES
	INSTALL POSTER ART (WALL MOUNTED)	YES
	INSTALL FIB WALL PANELS AT OFFICE AREA AND MENU BOARD BULKHEAD TO COVER WALL TILE	YES
	INSTALL HR SIGNAGE / POSTER IN BACK OF HOUSE AS INDICATED	YES
	INSTALL TABLE TOPS ON EXISTING STEEL POSTS	YES
ISIRI Scope Option Matrix		
New Ceiling/New Lighting	REMOVE EXISTING SUSPENDED CEILING GRID SYSTEM - IF RUSTED OR DAMAGED	YES
	REMOVE EXISTING CEILING TILES	YES
	REMOVE EXISTING LIGHT FIXTURES	YES
	REMOVE EXISTING HVAC GRILLES, DIFFUSERS	YES
	REMOVE EXIST SIGNS AND EMERGENCY LIGHTS	YES
	REMOVE EXISTING DROP SOFFIT	YES
	INSTALL NEW SUSPENDED CEILING GRID SYSTEM	YES
	PAINT EXISTING CEILING GRID BY DRYFALL	YES
	INSTALL CEILING TILES - PADS	YES
	INSTALL NEW HVAC DIFFUSERS AND GRILLES	YES
	INSTALL LED RECESSED LIGHT FIXTURES IN SUSPENDED CEILING TILE SYSTEM	YES
	INSTALL LED RECESSED LIGHT FIXTURES IN OFFICE BOARD CEILING @ SERVICE COUNTER AREA WITH NEW LED	YES
	CONNECT ELECTRICAL FOR NEW LIGHT FIXTURES	YES
	INSTALL NEW TRACK SYSTEM ACCENT LIGHTING	YES
	PAINT EXISTING SPANDERS IN CEILING WHITE	YES
	INSTALL EMERGENCY LIGHTS AND CONNECT ELECTRICAL	YES
	INSTALL EXIT SIGNS AND CONNECT ELECTRICAL	YES
	PAINT EXISTING DROP SOFFIT	YES
DINING ROOM FLOOR TILE	REMOVE EXISTING FLOOR TILE	YES
	REMOVE EXISTING TILE BASE	YES
	INSTALL CEMENT BOARD SUBSTRATE AT WALL BASE TO ALIGN WITH FINISH SURFACE OF WALL	YES
	INSTALL FLOOR TILE SYSTEM	YES
	INSTALL RUBBER BASE - 6" H (CHARCOAL)	YES
	INSTALL 4" (CHARCOAL) RUBBER BASE AT SERVICE COUNTER, PEPSI STATION, & RED WALL	YES
New Restroom Fixtures	REMOVE EXISTING PLUMBING FIXTURES	YES
	REMOVE EXISTING TOILET ACCESSORIES (GRAB BARS, MIRRORS, PAPER & SOAP DISPENSERS, ETC)	YES
	REMOVE EXISTING PAPER TOWEL DISPENSER	YES
	REMOVE EXISTING ELECTRICAL HAND DRYER	YES
	REMOVE CEILING IF SUSPENDED CEILING TILES USED, HARD CEILING TO REMAIN	YES
	REMOVE EXISTING FLOOR AND BASE TILE	YES
	REMOVE EMERGENCY LIGHTING	YES
	REMOVE EXISTING LIGHT FIXTURES	YES
	REMOVE EXISTING FLOOR DRAIN COVER - INSTALL NEW	YES
	INSTALL NEW DRYWALL HAND LED CEILING	YES
	INSTALL EMERGENCY LIGHT AND CONNECT ELECTRICAL	YES
	INSTALL NEW LED RECESSED LIGHT FIXTURE	YES
	INSTALL PLUMBING FIXTURES - 1 LAVATORY, 1 FAUCET & 1 TOILET	YES
	INSTALL TOILET ACCESSORIES (GRAB BARS, MIRRORS, PAPER & SOAP DISPENSERS, ETC)	YES
	INSTALL HAND DRYER AND CONNECT ELECTRICAL	YES
	INSTALL CEMENT BOARD SUBSTRATE AT WALL BASE TO ALIGN W/ EXIST. DRYWALL SURFACE	YES
	INSTALL FLOOR TILE	YES
	INSTALL RUBBER BASE - 6" H (CHARCOAL)	YES
	INSTALL FRP PANELS OVER EXISTING WALL TILE (3/4" OR FULL HT) - PAINT ABOVE	YES
	INSTALL CHAIR RAIL PRICKLE TRIM AT TOP OF TILE (3/4" HT) OR AS CROWN MOULD (FULL HT)	YES
DRIVE THRU PACKAGE	PAINT MENU BOARD FRAME	NO
	PAINT SPEAKER POST	NO
	PAINT PREVIEW BOARD	NO
	PAINT CLEARANCE BAR	NO
	INSTALL CLEARANCE BAR BRACKET	NO
	INSTALL SPEAKER POST CANOPY STRUCTURE (PROVIDE POWER AND FOOTING)	NO
	REMOVE EXISTING LINEAR WINDOW LIGHT BOXES (VISION 1-0)	NO

KEY PLAN



VICINITY MAP



PROJECT SUMMARY

PROJECT NAME: KFC
PROJECT ADDRESS: 1222 WEST MICHIGAN AVENUE THREE RIVERS, MI 49093
LEGAL JURISDICTION: CITY OF THREE RIVERS AND CORNERSTONE
BUILDING CODE: MICHIGAN BUILDING CODE 2012
RENOVATION AREA: 3,288 SF EXISTING: 73, PROPOSED: 73
SEATING: 1,815 SF
TYPE OF CONSTRUCTION: 5B
OCCUPANCY: A2-ASSEMBLY

PROJECT DESCRIPTION: THIS PROJECT CONSISTS OF AN INTERIOR RENOVATION OF THE DINING AREA FOR AN EXISTING KFC RESTAURANT. THE KITCHEN AND DRIVE THROUGH AREAS WILL REMAIN IN OPERATION DURING THE REMODELING PROCESS. EXTERIOR IMAGE UPGRADE WILL CONSIST OF NEW EXTERIOR BRANDING & SIGNAGE ELEMENTS AND NEW PAINT FINISHES PER NEW PROTOTYPE.

PROJECT GENERAL NOTES

- A. IT IS INTENDED THAT A COMPLETE OCCUPIABLE BUILDING PROJECT IS PROVIDED
- B. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND KFC CM PRIOR TO STARTING WORK

PROJECT DIRECTORY

CORPORATE KFC Corporation 1900 Colonel Sanders Lane Louisville, KY 40213	Contact: Will Nash 502-874-6229	ARCHITECT Interplan LLC 604 Courtland St., Suite 100 Orlando, FL 32804	Contact: Gregory Faucher 407-645-5008
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DRAWING INDEX

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ARCHITECTURAL A-1.0 FLOOR PLAN & FINISH SCHEDULE A-1.1 INTERIOR ELEVATIONS A-2.0 EXTERIOR ELEVATIONS																				



KFC

INTERPLANE

ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

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IP_PROJECT NO #: 2016.6061

TEMPLATE VERSION:
RELEASE 2.0
DECEMBER 2015

REVISION:	Date	By
1	04-12-16	FM
2	05-03-16	FM

PROJECT TITLE
PERMIT PACKAGE
K90SERIES NUMBER
TO AMERICAN SHOWMAN
ISR
1222 WEST MICHIGAN AVENUE
THREE RIVERS, MI 49093

COMMISSION NO. C110020
ISSUE DATE 04-12-17
SHEET TITLE

GENERAL INFORMATION

SHEET NO.
G-1.0

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Mark	Date	By
	04-12-16	FM
	05-03-16	FM

LEGEND		
	EXISTING TO REMAIN	
	EXISTING TO BE REMOVED	
	NO WORK IN THIS AREA	

PROJECT TITLE
PERMIT PACKAGE
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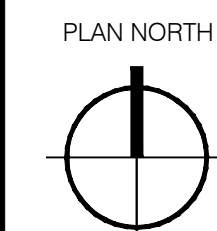
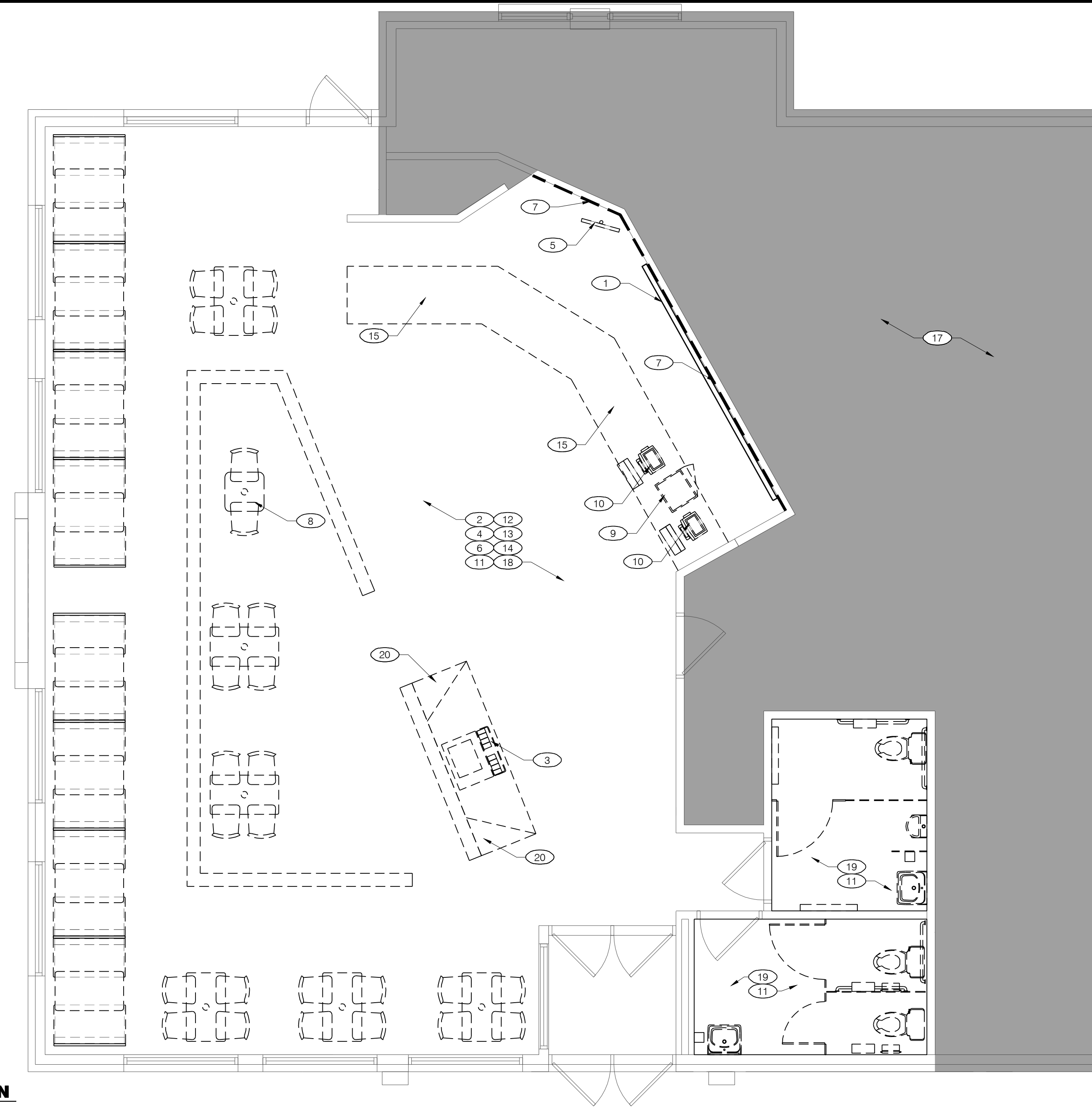
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**DEMOLITION - FLOOR
PLAN, CEILING PLAN
& EXTERIOR
ELEVATION**

SHEET NO.

D-1.0

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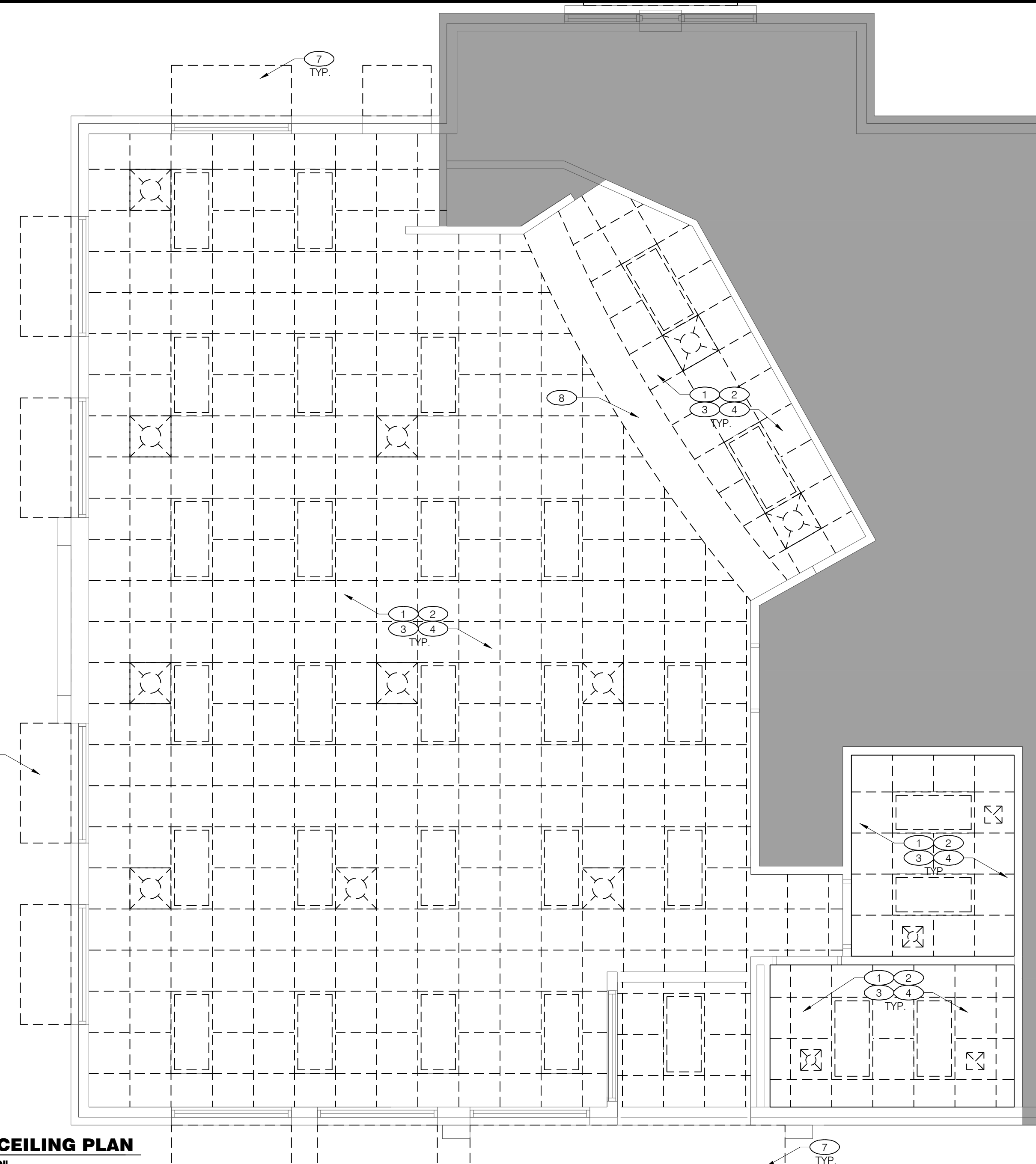
DEMOLITION FLOOR PLAN
Scale: 1/4" = 1'-0"

FLOOR PLAN KEY NOTES

- 1 REMOVE EXISTING MENUBOARD & SAVE FOR REUSE
- 2 REMOVE ALL EXISTING FIXTURES, BOOTHS, TABLETOPS & CHAIRS IN DINING ROOM - EXISTING TABLE STEEL POST TO REMAIN UNLESS NOTED OTHERWISE.
- 3 EXISTING ICE MACHINE AND BEVERAGE DISPENSER TO BE REMOVED BY VENDORS
- 4 REMOVE CHAIR RAIL AND WALL COVERING ABOVE (TILE BASE AND WAINSCOTING TO REMAIN, UNLESS NOTED OTHERWISE).
- 5 EXISTING SECURITY MONITOR TO REMAIN, PROTECT AS NECESSARY
- 6 REMOVE ALL INTERIOR WALL SIGNS, DECOR ELEMENTS & ARTWORK AND DISPOSE OF IN A RESPONSIBLE MANNER
- 7 TEMPORARY VISQUEEN DUST PARTITION. COORDINATE EXACT LOCATION IN FIELD WITH FRANCHISEE AND PROVIDE A TIGHT SEAL
- 8 EXISTING TABLE STEEL POST TO BE REMOVED
- 9 EXISTING UNDER-COUNTER SAFE TO REMAIN PROTECT FROM DUST
- 10 EXISTING POS, CASH DRAWER, CUP DISPENSER AND ALL HARDWARE TO BE REMOVED, SAVED AND SEALED IN A DUST FREE ENVIRONMENT
- 11 EXISTING FLOORING AND COVE BASE TO BE REMOVED.
- 12 REMOVE EXISTING HALF HEIGHT WALL.
- 13 REMOVE ALL QUEUING RAILS AND POSTS.
- 14 REMOVE EXISTING WINDOW SILL IF NOT WHITE.
- 15 COUNTER/ BUFFET TO BE REMOVED (KNEE WALL TO REMAIN).
- 16 REMOVE EXISTING SIGNAGE.
- 17 NO WORK IN THIS AREA.
- 18 EXISTING DOOR AND HARDWARE TO REMAIN.
- 19 REMOVE RESTROOM FIXTURES AND ACCESSORIES. PREP EXISTING WALLS FOR NEW FINISHES.
- 20 REMOVE EXISTING TRASH ENCLOSURE.

LEGEND	
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	NO WORK IN THIS AREA

LEGEND	
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	NO WORK IN THIS AREA



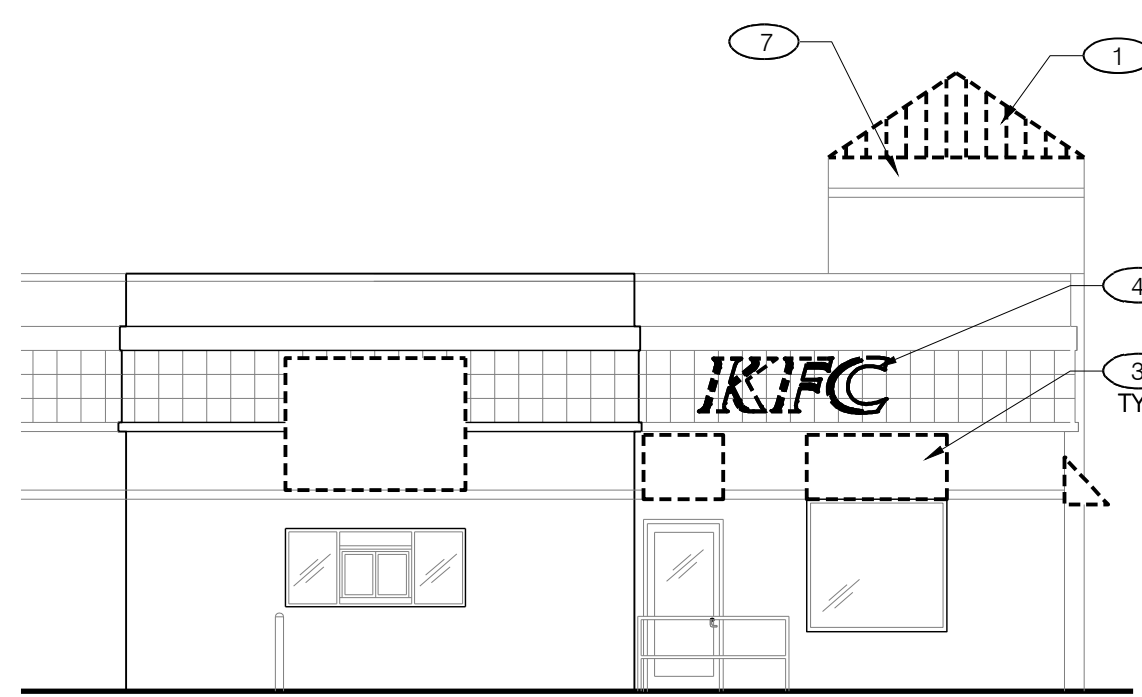
DEMOLITION CEILING PLAN
Scale: 1/4" = 1'-0"

CEILING PLAN KEY NOTES

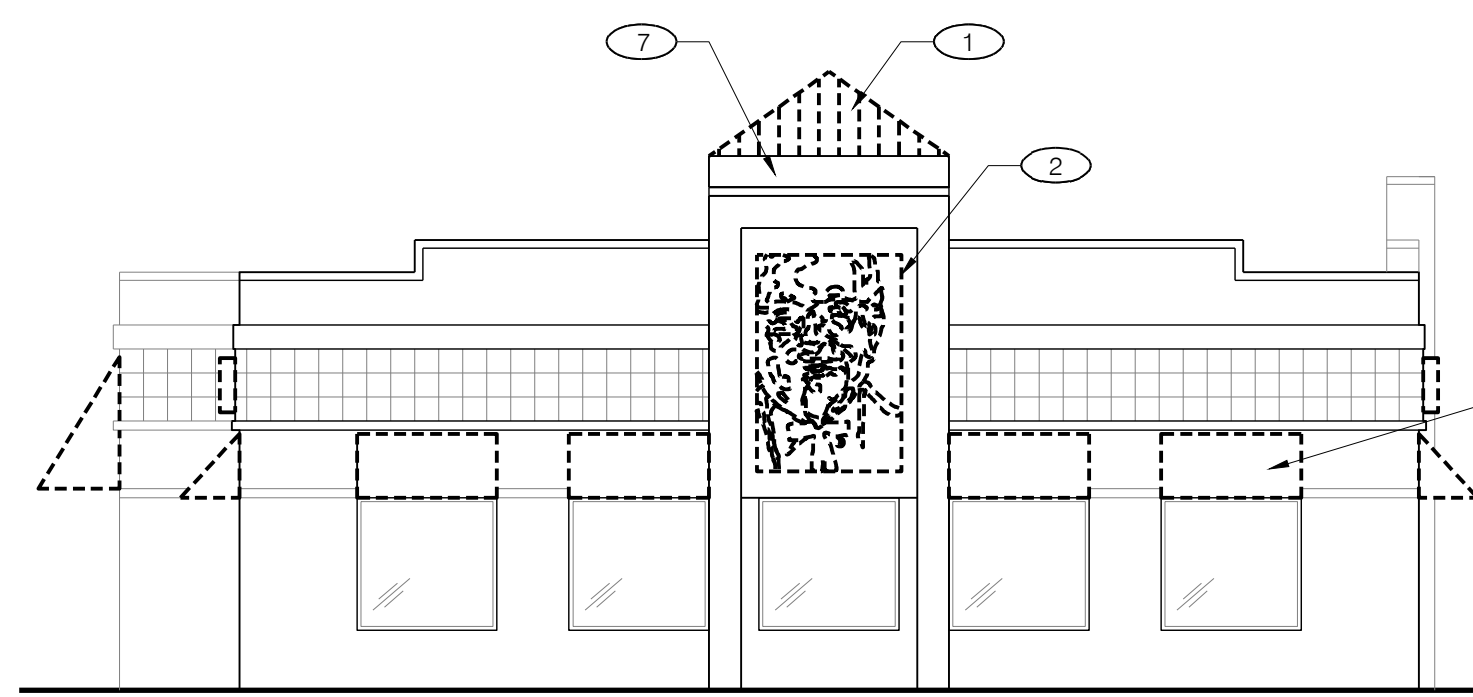
- 1 EXISTING CEILING GRID TO BE REMOVED.
- 2 EXISTING CEILING TILES TO BE REMOVED/ REPAIR DAMAGED AS REQUIRED REFER TO CEILING POLICY.
- 3 REMOVE EXISTING HVAC GRILLES, DIFFUSERS, SIGNS AND EMERGENCY LIGHTS
- 4 EXISTING LIGHT FIXTURES TO BE REMOVED AND CIRCUITS RETAINED FOR RE-USE.
- 5 EXISTING TRACK LIGHTING AND TRACKS TO BE REMOVED.
- 6 EXISTING LIGHT SOCONES TO BE REMOVED (CIRCUITS TO BE RE-USED FOR NEW LIGHTING).
- 7 EXISTING EXTERIOR AWNINGS / CANOPIES TO BE REMOVED - SEE DEMO ELEVATIONS.
- 8 REMOVE EXISTING DROP SOFFIT AND PREP FOR NEW ACT AND GRID.

ELEVATION KEY NOTES

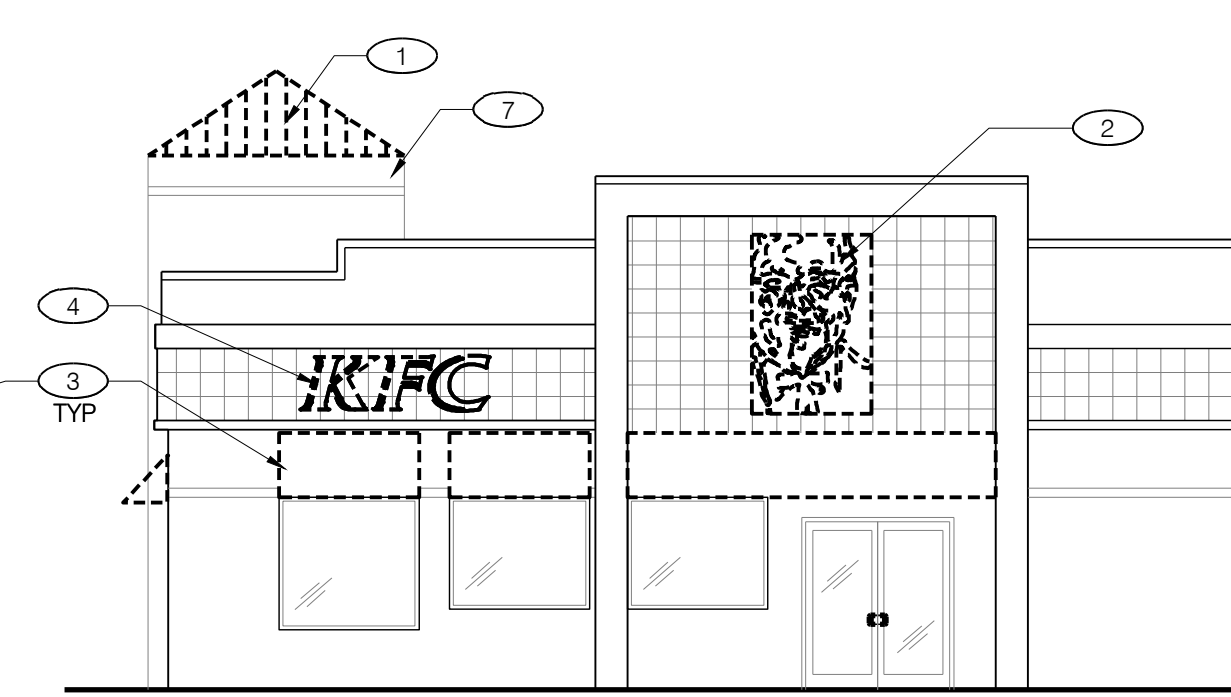
- 1 CAREFULLY REMOVE EXISTING PARAFLEX CUPOLA CAP, ALUMINUM FRAME & SKIRT. ALSO REMOVE CUPOLA LIGHT FIXTURE AND RETAIN CIRCUITS FOR RE-USE.
- 2 EXISTING SIGN CABINET TO REMAIN IN PLACE. REMOVE EXISTING ACRYLIC SIGN FACE (RETURN TO FRANCHISEE) DISCONNECT POWER & RETAIN CIRCUIT FOR NEW LIGHTING (ENTIRE SIGN CABINET TO BE REMOVED IF TOWER WALL IS FLUSH).
- 3 REMOVE EXISTING AWNING. PATCH AND REPAIR WALL AS NEEDED.
- 4 REMOVE AND DESTROY EXISTING LETTER SET ACRYLIC SIGNAGE FACE AND CABINET.
- 5 ~~REMOVE ADDRESS NUMBERS FOR RE-USE (IF EXISTING).~~
- 6 REMOVE ALL EXISTING WALL-PACK LIGHTING OVER DINING ROOM DOORS.
- 7 TOP OF TOWER WALL METAL COPING CAP TO BE REMOVED.



3 - EXISTING DRIVE-THRU ELEVATION
Scale: 1/8" = 1'-0"



2 - EXISTING FRONT ELEVATION
Scale: 1/8" = 1'-0"



1 - EXISTING ENTRY ELEVATION
Scale: 1/8" = 1'-0"

GENERAL NOTES

- A. THE G.C. SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND/OR WORKMEN ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT, OR ADJACENT TO THE PREMISES. THE G.C. SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- B. THESE DEMOLITION PLANS ARE TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF WORKING DRAWINGS. DO NOT REMOVE OR DEMOLISH ANYTHING WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
- C. GENERAL CONTRACTOR SHALL PAY FOR ALL REQUIRED DEMOLITION PERMIT FEES AND OBTAIN ALL APPLICABLE DEMOLITION PERMITS.
- D. GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS & EQUIPMENT DAILY DURING THE DEMOLITION WORK.
- E. GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED SURFACES AS OUTLINED IN THE DRAWINGS.
- F. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS PRIOR TO CONSTRUCTION.
- G. ABANDONED PIPES SHALL BE CAPPED IN A MANNER TO CONCEAL WITHIN WALL, CEILING OR FLOOR.
- H. DEMOLITION MEANS AND METHODS ARE CONTRACTORS RESPONSIBILITY
- G. RESTROOMS TO BE AVAILABLE AND FUNCTIONING AT ALL TIMES FOR EMPLOYEES DURING RENOVATION

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KFC

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INTERIOR DESIGN
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IP. PROJECT NO # 2016.0601

TEMPLATE VERSION:
RELEASE 2.0
DECEMBER 2015

REVISION:

Mark Date By
04-12-16 FM

05-03-16 FM

PROJECT TITLE
PERMIT PACKAGE

K90SERIES NUMBER
TO AMERICAN SHOWMAN

ISR
1222 WEST MICHIGAN AVENUE
THREE RIVERS, MI 49093

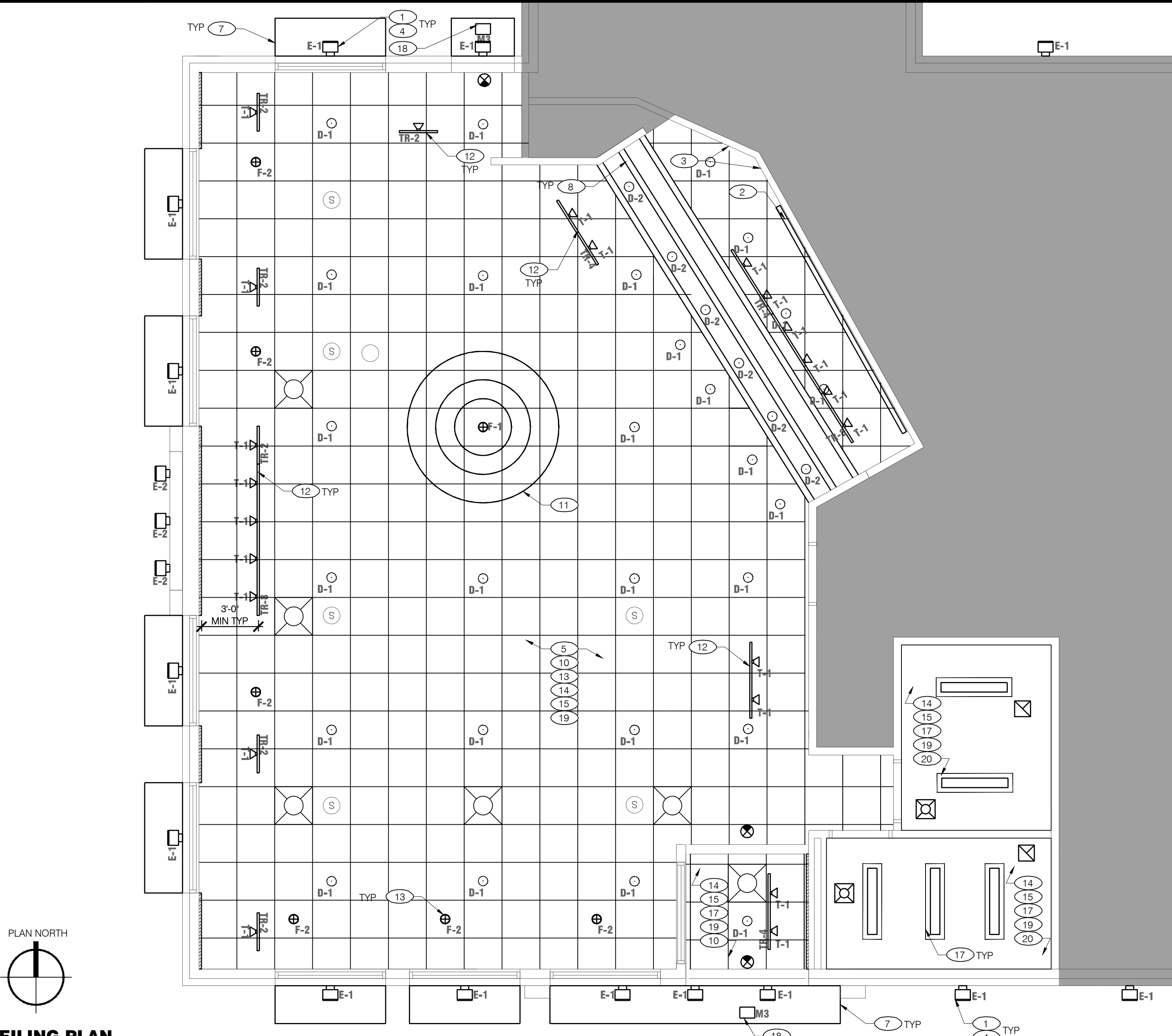
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SHEET TITLE
**FLOOR PLANS, RCP &
FINISH SCHEDULE**

SHEET NO.
A-1.0

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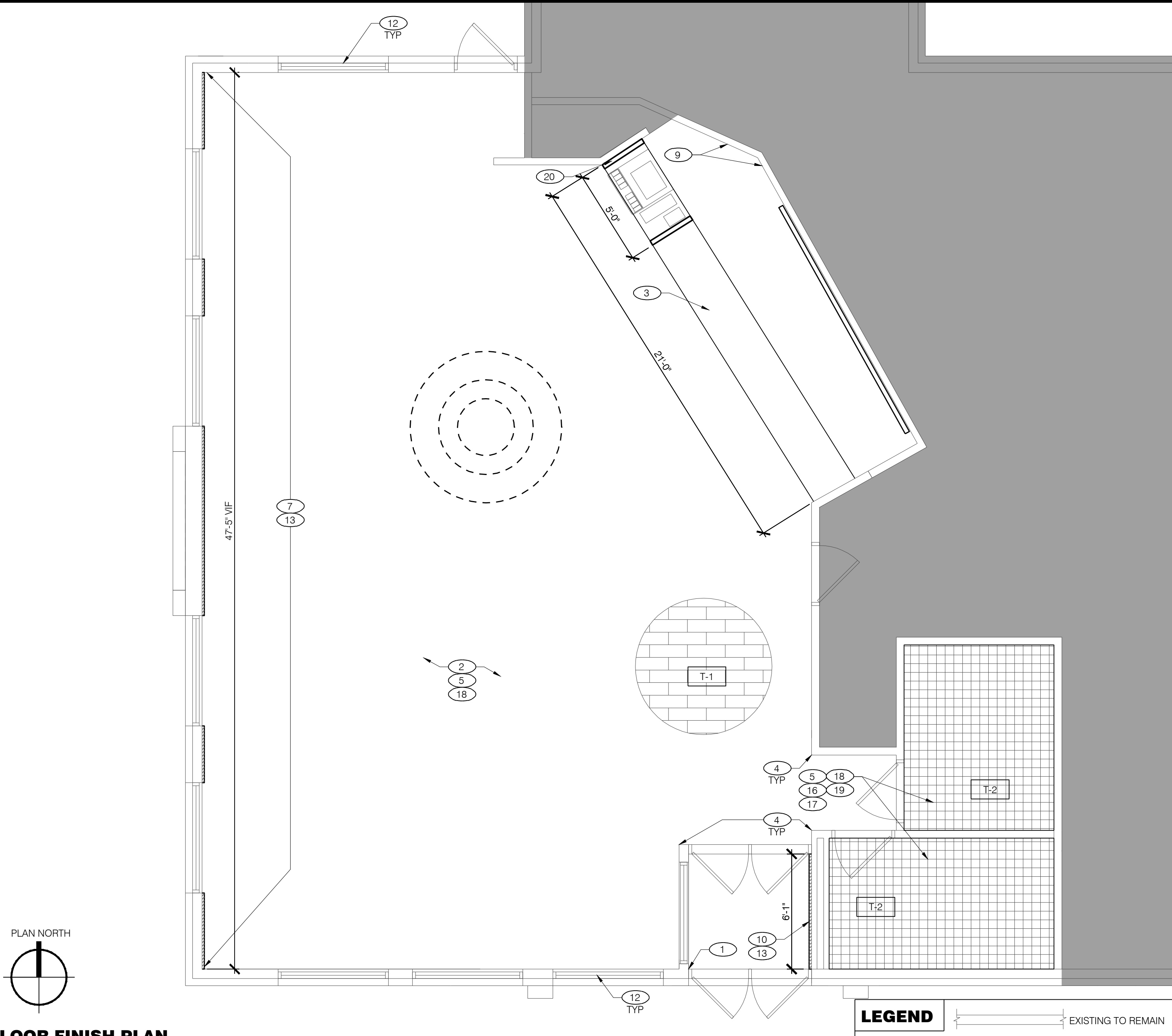
CEILING PLAN
Scale: 1/4" = 1'-0"

REFLECTED CEILING PLAN KEY NOTES

- 1 EXTERIOR PARAPET LIGHT FIXTURES, SEE EXTERIOR ELEVATIONS (A-2.0) FOR ACTUAL PLACEMENT AND SPACING
- 2 REINSTALL EXIST. MENU BOARD.
- 3 NEW STAINLESS STEEL CAP AT UNDERSIDE OF EXISTING BULKHEAD
- 4 WIRING OF LIGHTS IN CANOPY BY VENDOR. E.C. SHALL MAKE FINAL CONNECTION TO EXISTING LIGHTING CIRCUIT THIS AREA
- 5 CONNECT NEW LIGHTS TO EXISTING DIMMING ROOM LIGHT CIRCUITS OR UPDATE EXISTING LIGHTS WITH NEW LED KIT
- 6 EXISTING CEILING RECEPTACLES TO REMAIN. REPLACE EXISTING FACE PLATES WITH NEW (WHITE)
- 7 NEW EXTERIOR AWNING / LOUVER, REFER TO EXTERIOR ELEVATIONS
- 8 CUSTOM MILLWORK, FAUX WOOD BEAMS.
- 9 EXISTING SOFFIT TO BE PAINTED WHITE (P-6) SATIN FINISH.
- 10 NEW CEILING TILE AND INTERMEDIATE GRID TO MATCH EXISTING WHERE LAY-IN LIGHT WAS REMOVED.
- 11 NEW BUCKET PENDANT LIGHT AND LIGHT RING - REFER TO INTERIOR ELEVATION FOR HEIGHT
- 12 NEW TRACK LIGHTING - POSITION AT 3'-0" FROM WALL U.N.O.
- 13 NEW PENDANT LIGHTING CENTERED ABOVE TABLE
- 14 PAINT CEILING WHITE (P-6) SATIN FINISH
- 15 REPLACE EXISTING GRILLS AND DIFFUSERS
- 16 EXIST. CEILING GRID/TILES. REPLACE DAMAGED CEILING TILES AS REQ'D
- 17 NEW LIGHT FIXTURE LOCATION. USE CIRCUIT FROM LIGHTING REMOVED
- 18 NEW WALL PACK DOWN LIGHT ABOVE DOOR
- 19 NEW EMERGENCY LIGHTING AND EXIT SIGNAGE
- 20 INSTALL NEW DRYWALL HARD LID CEILING

GENERAL NOTES - LIGHTING / ELECTRICAL

- A. CONFIRM LIGHTING FIXTURE QUANTITIES WITH SUPPLIER
- B. EMERGENCY AND STANDARD LIGHTING MARKED WITH 'NL' SUBSCRIPT SHALL OPERATE CONTINUOUSLY. PROVIDE UNSWITCHED HOT TO STANDARD AND EMERGENCY BALLASTS
- C. EMERGENCY LIGHTING NOT MARKED WITH 'NL' SUBSCRIPT. PROVIDE UNSWITCHED CONSTANT HOT TO EMERGENCY BALLAST AND SWITCHED HOT TO STANDARD BALLAST
- D. CONTRACTOR SHALL FIELD VERIFY CEILING TYPE AND PROVIDE PROPER MOUNTING HARDWARE
- E. ALL LIGHT FIXTURES SHALL BE SUPPLIED WITH LAMPS
- F. ELECTRICAL CONTRACTOR SHALL VERIFY AVAILABLE CIRCUITS IN ELECTRICAL PANELS AND REUSE EXISTING CIRCUITS AS AVAILABLE
- G. CONNECT LIGHTING CIRCUITS TO EXISTING LIGHTING CONTROL PANEL COORDINATE CONTROL SEQUENCE AND TIME OF DAY SCHEDULING WITH FRANCHISE
- H. EXISTING 2X4 AND 2X2 LIGHTING TO BE RE-LENSED AND RE-LAMPED (WITH LED)
- I. REFER TO A2.0 FOR ADDITIONAL EXTERIOR LIGHTS NOT SHOWN ON PLAN
- J. ALL NEW LIGHTING TO BE COORDINATED WITH EXISTING MECHANICAL GRILLES
- K. EXISTING ELECTRICAL PANEL LOCATIONS & NEW CIRCUITS SHALL BE VERIFIED BY E.C. E.C. SHALL COORDINATE & VERIFY FINAL ELECTRICAL WITH LIGHTING / SIGNAGE SUPPLIERS
- L. PROVIDE ESCUTCHEON PLATES AND SEALANT AT ALL UTILITY PENETRATIONS OF WALLS, CEILINGS, AND FLOORS. DO NOT USE CAULK OR EXPANDING FOAM FOR SEALANT
- M. ALL WIRING TO BE PER NEC INSTALLATION REQUIREMENTS SIZED FOR 40% MAX FILL PER NEC
- N. RELOCATED DEVICES TO BE ROUTED IN FLEXIBLE METAL CONDUIT.
- O. PROVIDE NEW OR EXTEND EXISTING POWER/DATA/PHONE LINES FOR NEW MODIFIED LAYOUT. G.C./E.C. IS RESPONSIBLE FOR FIELD VERIFYING THE EXISTING ELECTRICAL CAPACITY AND CONFIRMING THAT THE NUMBER OF SPARES AT THE PANELS IS ADEQUATE FOR THE ADDITION/RELOCATION OF THE SERVICES SHOWN. G.C. TO NOTIFY KFC PM IF EITHER SERVICE OR NUMBER OF SPARES IS FOUND TO NOT MEET THE NECESSARY REQUIREMENTS
- P. E.C. SHALL PROVIDE J-BOX FOR SIGNAGE BY SIGN VENDOR. FINAL CONNECTION TO BUILDING POWER BY E.C.
- Q. E.C. SHALL PROVIDE J-BOX FOR NEW EXTERIOR LIGHT FIXTURE. FINAL CONNECTION TO BUILDING POWER BY E.C.
- R. E.C. SHALL COORDINATE EXACT ROUTING OF ALL NEW AND RELOCATED CIRCUITS. FIELD VERIFY EXISTING CONDITIONS. ALL WORK AND WIRING PER NEC INSTALLATION REQUIREMENTS. ALL WORK TO BE CONCEALED. SURFACE MOUNT RACEWAYS ARE NOT PERMITTED



FLOOR FINISH PLAN
Scale: 1/4" = 1'-0"

FINISH PLAN KEY NOTES

- 1 POST MAX. OCCUPANT LOAD ON WALL ADJACENT TO MAIN ENTRY
- 2 SKIM COAT EXISTING WALLS (TO LEVEL 3) WHERE WALLCOVERING HAS BEEN REMOVED PRIME AND PAINT WALLS AND PAINT EXISTING WAINSCOT, UNLESS OTHERWISE NOTED
- 3 EXISTING KNEE WALL - ADJUST IF NEEDED TO ACCOMMODATE COUNTERTOP AT 33" A.F.F. COVER WITH NEW DECORATIVE PANELS
- 4 NEW SURFACE MOUNTED STAINLESS STEEL CORNER GUARDS. PROVIDE AND INSTALL GUARD 18GA 3/4" x 3/4" WIDE TO EXPOSED SURFACES WITH SILICONE ADHESIVE
- 5 INSTALL NEW FLOOR AND BASE TILE THROUGHOUT. PATCH FLOOR WITH NEW FLOOR TILE WHERE POSTS, RAILS AND WALLS ARE REMOVED.
- 6 NEW BLOCKING IN WINDOW OPENING TO SUPPORT DECORATIVE WALL PANELS
- 7 NEW PREFINISHED FLOOR TO CEILING DECORATIVE WALL TRIM PANELS ON BLOCKING OVER EXISTING WALL SURFACE. INSTALL PANELS 1/2" BELOW CEILING FOR VENTILATION PURPOSES
- 8 NEW PRE-PRIMED VENDOR PROVIDE 4L WINDOW TRIM TO BE PAINTED P-6, REFER TO FINISH SCHEDULE
- 9 NEW FRP PANELS OVER EXISTING WALL & BULKHEAD TILE
- 10 NEW FLOOR TO CEILING DECORATIVE PANEL. REFER TO INTERIOR ELEVATIONS
- 11 STEAM WASH & CLEAN EXISTING FLOOR & WALL TILE
- 12 NEW WHITE CORIAN WINDOW SILL / WALL CAP - IF NEEDED
- 13 INSTALL 4" RUBBER WALL BASE OVER NEW WALL PANELS
- 14 PREFINISHED ALUMINUM CORNER GUARDS TO MATCH NEW WALL FINISH
- 15 RE-GLAZE DIVIDER WALL WITH NEW LAMINATE PANELS (SS-2) OVER EXISTING WALLS. REFER TO FINISH SCHEDULE
- 16 INSTALL FRP PANELS OVER EXISTING WALL TILE (3/4 OR FULL HT)
- 17 INSTALL CHAIR RAIL PROFILE TRIM AT TOP OF TILE (3/4 HT) OR AS CROWN MOULDING (FULL HT)
- 18 NEW CEMENT BD SUBSTRATE AT WALL BASE TO ALIGN WITH EXISTING DRYWALL SURFACE
- 19 INSTALL NEW TOILET FIXTURES AND ACCESSORIES
- 20 NEW FRP PANELS AT FORMER DOOR LOCATION ABUTTING FRONT OF NEW COUNTER TOP

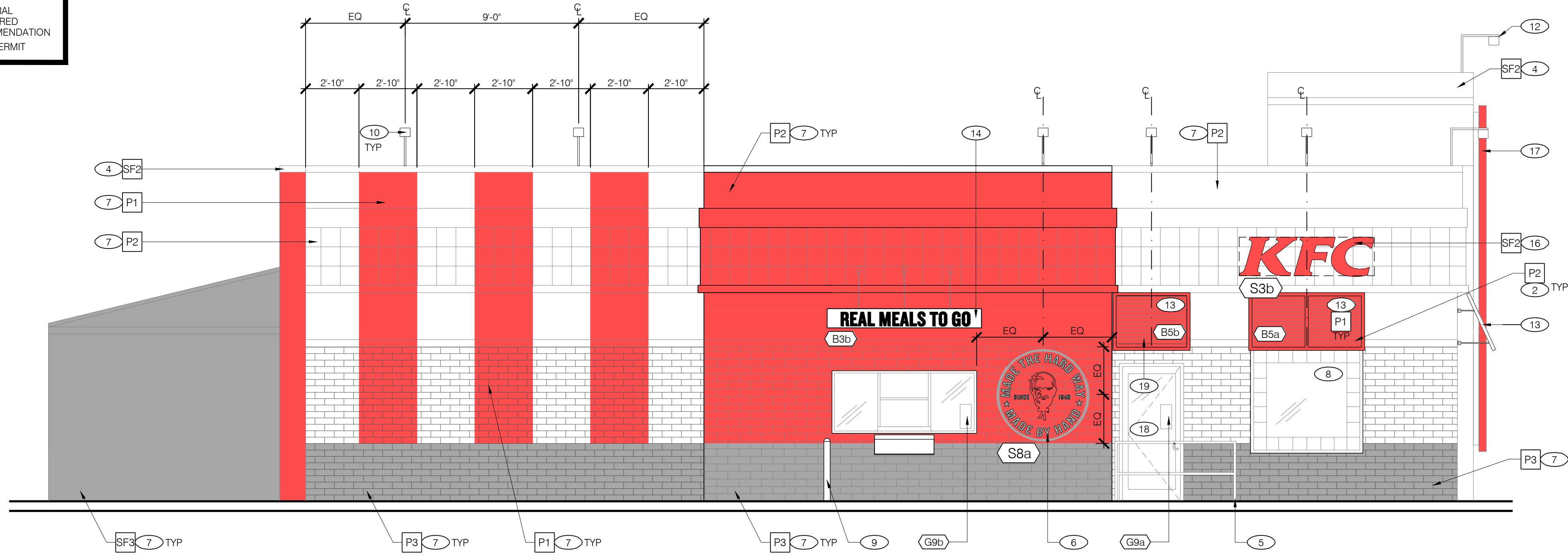
FINISH SCHEDULE

MARK	DESCRIPTION / LOCATION	MFG / CONTACT	MODEL # / COLOR	REMARKS
B-2	SERVICE COUNTER, DIVIDER WALLS, RED WALL	JOHNSONITE	SCOTT STERTMEYER P: (800) 888-8816 ext. 9739 C: (713) 254-9791 scott.stertmeyer@johnsonite.com	MILLWORK WALLBASE MANDALAY 4.5" TILES 20 CHARCOAL 23" x 4.5" H
P-4	INTERIOR WALLS AND DOORS/FRAMES	BENJAMIN MOORE	DOROTHY HAZENSKI P: (800) 835-5147 ext. 1841 C: (303) 353-3800 dorothy.hazenski@benjaminmoore.com	AURA WATERPROOF INTERIOR PAINT LA PALOMA GRAY 1501 SATIN (DOB) - INTERIOR WALLS SEMI GLOSS (DOB) - DOOR AND FRAMES 100% ACRYLIC HYBRID RESIN
P-6	INTERIOR PAINT	BENJAMIN MOORE	DOROTHY HAZENSKI P: (800) 835-5147 ext. 1841 C: (303) 353-3800 dorothy.hazenski@benjaminmoore.com	AURA WATERPROOF INTERIOR PAINT EXOTIC RED 2086-10 SATIN (DOB) 100% ACRYLIC HYBRID RESIN
PL-4	KNEE WALL	LAB DESIGNS LAMINATE	SEAN MCELWEE P: (402) 248-0000 C: (414) 327-2936 sean@labdesigns.com	WOOD LAMINATE COLLECTION BRUSHED COCOA W0900
SF-6	MENUBOARD BULKHEAD AND WALLS @ COUNTER	MARLITE	DAN EGGERS P: (303) 343-4621 C: (303) 362-7033 degg@marlite.com	FRP PANELS LA PALOMA SYMEX 10" x 4" x .090" TILE RUNNING BOND PATTERN
SS-2	WINDOW SILL KNEE WALL	N/A	GC PROVIDED	SOLID SURFACING WHITE STANDARD FINISH 1/2" THICK
T-1	FLOOR TILE AT DINING AREA	LOUISVILLE TILE DISTRIBUTOR	DARCO PERRYEAR P: (502) 452-2037 C: (502) 458-8669 dperre@louisvilletile.com	HONEY LEGEND, MATTE FINISH, 8" x 24" 1/8" GROUT JOINTS GROUT-1
T-2	FLOOR TILE AT RESTROOMS	DALTE	LESLIE LIVEN P: (800) 968-0958 C: (202) 707-7039 leslie.liven@dalte.com	DALTE VERANDA SOLIDS COLOR ROCK P543 15X15" x GROUT JOINTS GROUT-2

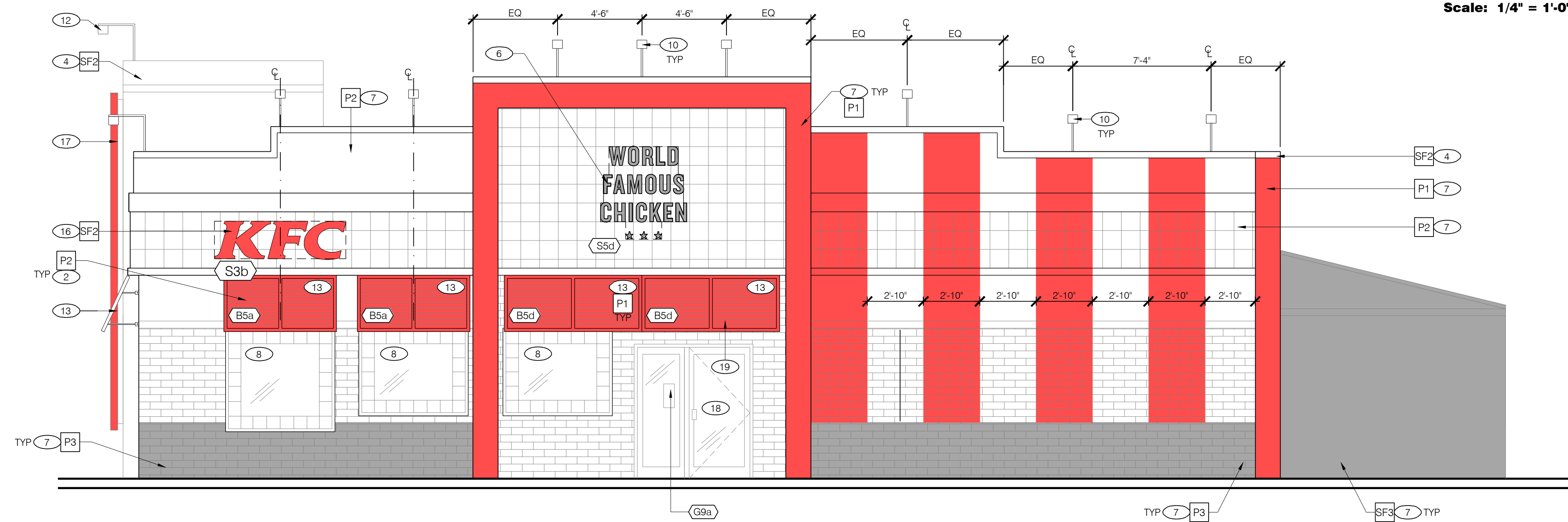
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GENERAL NOTES

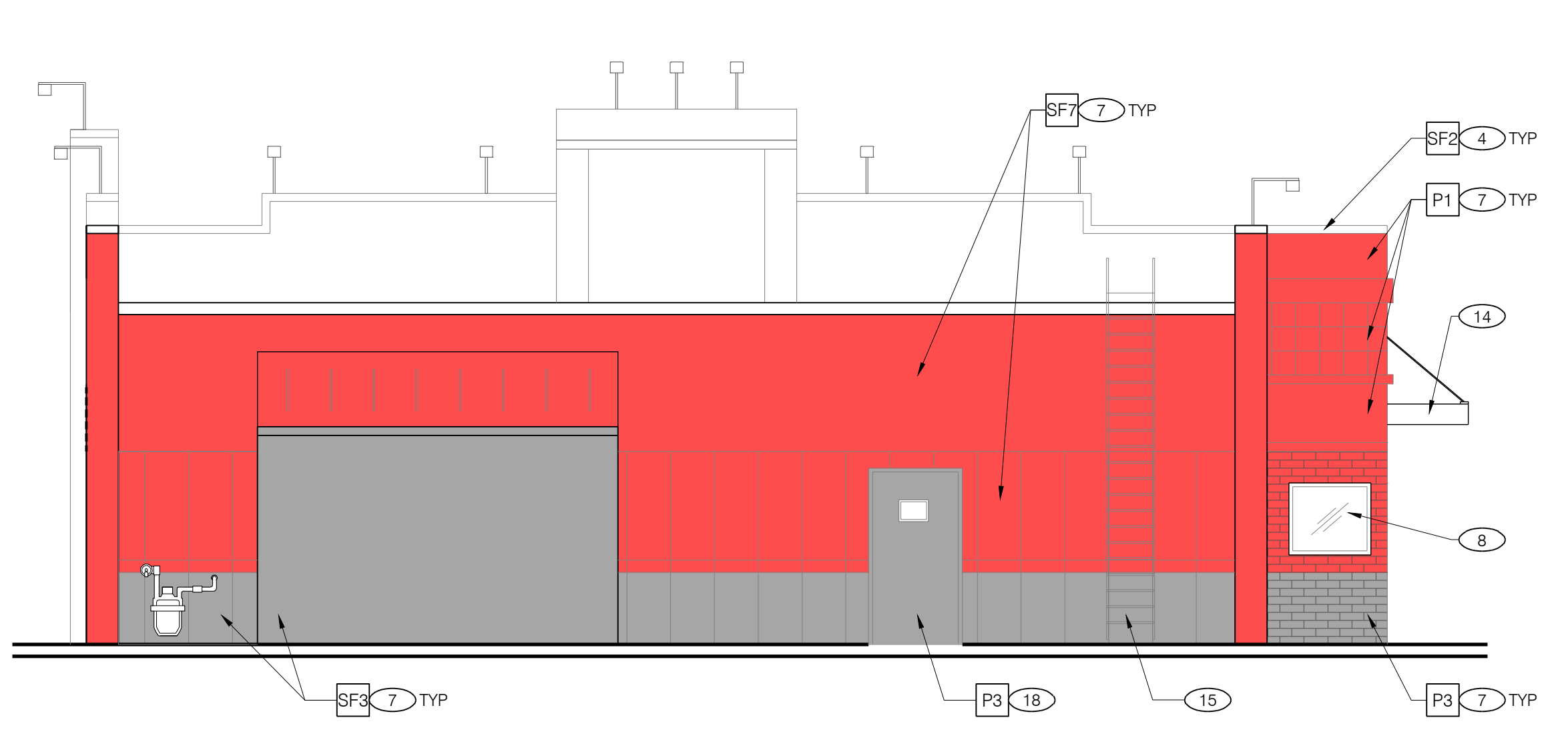
G.C. TO PROVIDE VERIFICATION OF EXISTING STRUCTURAL ATTACHMENTS FOR NEW BUILDING ELEMENTS. IF REQUIRED PROVIDE ADDITIONAL BLOCKING PER VENDORS RECOMMENDATION KFC SIGNAGE/STENCIL BY OTHERS -UNDER SEPARATE PERMIT



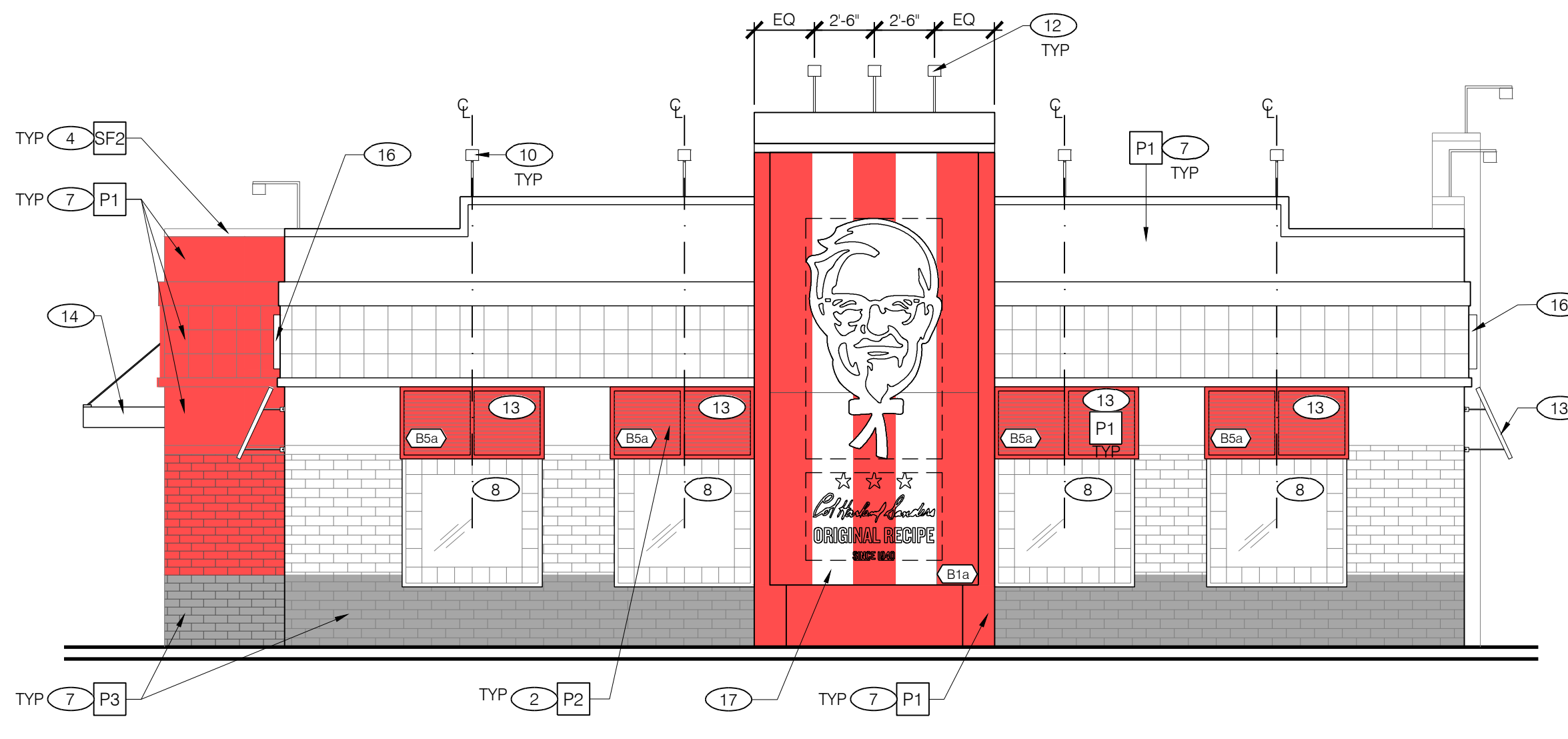
4 - ENTRY ELEVATION
Scale: 1/4" = 1'-0"



3 - ENTRY ELEVATION
Scale: 1/4" = 1'-0"



2 - REAR ELEVATION
Scale: 3/16" = 1'-0"



1 - FRONT ELEVATION
Scale: 3/16" = 1'-0"

FINISH SCHEDULE

MARK	LOCATION	FINISH CONTRACT	MODEL COLOR	REMARKS
P1	EXTERIOR PAINT	BENJAMIN MOORE DODOTRYV HAZ REDS P 1001 499 417 and 3845 C 1001 499 4880	ALFA EXTERIOR PAINT DODOTRYV HAZ REDS S00A ACTUAL STRIKE REDS	SELF - PRIMEING
P2	EXTERIOR PAINT	BENJAMIN MOORE DODOTRYV HAZ REDS P 1001 499 417 and 3845 C 1001 499 4880	ALFA EXTERIOR PAINT DODOTRYV HAZ REDS S00A ACTUAL STRIKE REDS	SELF - PRIMEING
P3	EXTERIOR PAINT	BENJAMIN MOORE DODOTRYV HAZ REDS P 1001 499 417 and 3845 C 1001 499 4880	ALFA EXTERIOR PAINT DODOTRYV HAZ REDS S00A ACTUAL STRIKE REDS	SELF - PRIMEING
SF2	EXTERIOR METAL	BENJAMIN MOORE DODOTRYV HAZ REDS P 1001 499 417 and 3845 C 1001 499 4880	ALFA EXTERIOR PAINT DODOTRYV HAZ REDS S00A ACTUAL STRIKE REDS	

FINISH NOTES

- NEW M2 EXTERIOR LIGHT SCANCES (INSTALLED ABOVE EXISTING CEILING @ EXISTING LOCATIONS)
- PAINT WALL SURFACE BEHIND NEW AWNINGS
- PAINT 4" WIDE BORDER WINDOW SURROUND AS INDICATED
- EXISTING PARAPET COPING TO BE REPAIRED, SEALED AND PAINTED
- EXISTING RAILING TO BE PAINTED SF-3
- STENCIL PAINTED GRAPHIC ELEMENT
- NEW EXTERIOR PAINT TREATMENT
- EXISTING WINDOWS
- EXISTING BOLLARD
- NEW PRE-FINISHED EXTERIOR LIGHT FIXTURE CENTERED ON WINDOW AND/OR GRAPHIC, OTHERWISE AS INDICATED IN ELEVATION. PATCH AND REPAIR ROOF MEMBRANE AT FIXTURE ATTACHMENT POINT
- REINSTALL ADDRESS NUMBERS AFTER PAINTING
- NEW SIGNAGE ACCENT LIGHT FIXTURE. REFER TO LIGHT FIXTURE SCHEDULE
- NEW PRE-FINISHED METAL LOUVERED AWNINGS (AWNINGS ABOVE DOORS TO HAVE RAIN DIVERTERS)
- NEW DRIVE-THRU CANOPY
- EXISTING ROOF ACCESS LADDER PAINTED TO MATCH ADJ. WALL
- NEW KFC INDIVIDUAL LETTER FACES AND CABINET CANS.
- NEW METAL PANEL SYSTEM ATTACHED TO AND HELD OFF EXISTING TOWER. TOP OF PANELING TO ALIGN WITH BOTTOM OF EXISTING TOWER COPING.
- PAINT EXISTING EXTERIOR DOOR AND FRAME
- NEW EXTERIOR WALL LIGHT, M-3
- EXISTING STOREFRONT
- EQUALLY SPACED, ALTERNATING COLOR, VERTICAL STRIPES BETWEEN 2'-10"-3'-4".
- PAINT EXISTING LIGHT BOXES
- NEW A&W BRAND SIGNAGE
- KEEP EXISTING BRICK WITHOUT ANY PAINT.

IMAGE COMPONENTS SCHEDULE

TAG	ITEM DESCRIPTION
S1a	VINYL LOGO/GRAPHICS FOR TOWER PANEL - FULL HT.
S1b	VINYL LOGO/GRAPHICS FOR TOWER PANEL - HALF HT.
S2a	KFC CHANNEL LETTER FACE REPLACEMENT - 30" RED
S2b	KFC CHANNEL LETTER FACE REPLACEMENT - 24" RED
S2c	KFC CHANNEL LETTER FACE REPLACEMENT - 30" WHITE
S2d	KFC CHANNEL LETTER FACE REPLACEMENT - 24" WHITE
S3a	KFC CHANNEL LETTERS - 30" RED
S3b	KFC CHANNEL LETTERS - 24" RED
S3c	KFC CHANNEL LETTERS - 30" WHITE
S3d	KFC CHANNEL LETTERS - 24" WHITE
S4a	'REAL MEALS TO GO' DIMENSIONAL LETTERS FOR 15' DT CANOPY
S4b	'REAL MEALS TO GO' VINYL LETTERS FOR 8' DT CANOPY
S5a	'WORLD FAMOUS CHICKEN' LETTERS - 16" DIMENSIONAL PIN MOUNT (V.I.F.)
S5b	'WORLD FAMOUS CHICKEN' 16" LETTERS - PAINT (V.I.F.)
S5c	'WORLD FAMOUS CHICKEN' 12" LETTERS - PAINT (V.I.F.)
S5d	'WORLD FAMOUS CHICKEN' STACKED LETTERS-PAINT
S6	'REAL MEALS TO GO' BUCKET SIGN
S7	'REAL MEALS TO GO' BUCKET SIGN
S8a	'HARD WAY' PAINT TEMPLATE - 57" ROUND
S8b	'HARD WAY' PAINT TEMPLATE - 108" ROUND
S8c	'HARD WAY' PAINT TEMPLATE - 114" ROUND
S8d	'HARD WAY' PAINT TEMPLATE - HORIZONTAL (FULL)
S8d	'HARD WAY' PAINT TEMPLATE - HORIZONTAL (MEDIUM)
G9a	STORE HOURS - ENTRY
G9b	STORE HOURS - DT WINDOW

BUILDING EXTERIOR ELEMENTS

B1a	TOWER PANEL WITH LOGO AND GRAPHICS - FULL HEIGHT WITH EXTENDER
B1b	TOWER PANEL WITH LOGO AND GRAPHICS - HALF HT.
B3b	DT WINDOW CANOPY - 8' WIDE
B5a	SHUTTERED AWNINGS - 6'-0" WIDE RED FOR KFC
B5b	SHUTTERED AWNINGS - 4'-0" WIDE WHITE PROVIDE RAIN DIVERTER ABOVE ENTRANCE DOOR.
B5c	SHUTTERED AWNINGS - 7'-0" WIDE
B5d	SHUTTERED AWNINGS - 7'-4" WIDE WHITE PROVIDE RAIN DIVERTER ABOVE ENTRANCE DOOR.
B5e	SHUTTERED AWNINGS - 6'-4" WHITE
B3	SHUTTERED AWNINGS - 3'-5" WIDE - WHITE - PROVIDE RAIN DIVERTER ABOVE ENTRANCE DOOR.
AW1	A&W OVAL SIGN
AW2	A&W ALL-AMERICAN FOOD-BOW TIE SIGN



KFC

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IP. PROJECT NO # 2016.6061

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DECEMBER 2015

REVISION:
Mark Date By
04-12-16 FM
05-03-16 FM

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K90SERIES NUMBER
TO AMERICAN SHOWMAN
ISR

1222 WEST MICHIGAN AVENUE
THREE RIVERS, MI 49093
COMMISSION NO. C110020
ISSUE DATE 04-12-17

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EXTERIOR ELEVATIONS

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