

ABBREVIATIONS

| | | | | | | | |
|-------|------------------------------|-------|---------------------------------|-------|----------------------|------|------------------------|
| AFF | ABOVE FINISHED FLOOR | FD | FLOOR DRAIN | OD | OUTSIDE DIAMETER | UON | UNLESS OTHERWISE NOTED |
| ACT | ACOUSTICAL CEILING TILE | FIN | FINISH | OPNG | OPENING | UR | URINAL |
| APP | APPROXIMATE | FLR | FLOOR | OPP | OPPOSITE | VCT | VINYL COMPOSITION TILE |
| ARCH | ARCHITECT | FT | FEET | OH | OPPOSITE HAND | VERT | VERTICAL |
| AWT | ACOUSTICAL WALL TREATMENT | FD | FLOOR DRAIN | OTO | OUT TO OUT | VT | VINYL TILE |
| BLKG | BLOCKING | FE | FIRE EXTINGUISHER | PLAS | LAM PLASTIC LAMINATE | W/ | WITH |
| B.O. | BOTTOM OF | FEC | FIRE EXTINGUISHER CABINET | PLWD | PLYWOOD | W/O | WITHOUT |
| BOT | BOTTOM | GA | GAUGE | PS | PROJECTION SCREEN | WB | WOOD BASE |
| CAB | CABINET | GB | GRAB BAR | QT | QUARRY TILE | WC | WATER CLOSET |
| CAR | CARPET | GWB | GYPSPUM WALLBOARD | R | RISER | WD | WOOD |
| CJ | CONTROL JOINT | HDWR | HARDWARE | RA | RETURN AIR | WH | WATER HEATER |
| CL | CENTER LINE | HM | HOLLOW METAL | RB | RESILIENT BASE | WP | WORKING POINT |
| CMU | CONCRETE MASONRY UNIT | HORIZ | HORIZONTAL | REF | REFERENCE | | |
| COL | COLUMN | HVAC | HEATING, VENTILATING, AIR COND. | REQD | REQUIRED | | |
| CONC | CONCRETE | HW | HOT WATER | RO | ROUGH OPENING | | |
| CONST | CONSTRUCTION | JST | JOIST | SA | SUPPLY AIR | | |
| CONT | CONTINUOUS | JT | JOINT | SCHED | SCHEDULE | | |
| CT | CERAMIC TILE | KIT | KITCHEN | SEC | SECTION | | |
| CW | COLD WATER | LAM | LAMINATE | SIM | SIMILAR | | |
| DET | DETAIL | LAV | LAVATORY | SPECS | SPECIFICATIONS | | |
| DF | DRINKING FOUNTAIN | LLH | LONG LEG HORIZONTAL | SF | SQUARE FOOT | | |
| DM | DIMENSION | LLV | LONG LEG VERTICAL | SA | SUPPLY AIR | | |
| DRWGS | DRAWINGS | MAS | MASONRY | SS | STAINLESS STEEL | | |
| EA | EACH | MAX | MAXIMUM | STD | STANDARD | | |
| EC | EXPOSED CEILING | MECH | MECHANICAL | STL | STEEL | | |
| EJ | EXPANSION JOINT | MB | MARKER BOARD | SUSP | SUSPENDED | | |
| EIFS | EXTERIOR INSU. FINISH SYSTEM | MFR | MANUFACTURER | TB | TACK BOARD | | |
| EL | ELEVATION | MIN | MINIMUM | TEL | TELEPHONE | | |
| ENG | ENGINEER | M.O. | MASONRY OPENING | T.O. | TOP OF | | |
| EXIST | EXISTING | | | TV | TELEVISION | | |
| EXP | EXPANSION | | | TYP | TYPICAL | | |
| EXT | EXTERIOR | | | | | | |

SCOPE NOTES

IN THE EVENT OF QUESTIONS REGARDING THE CONTRACT DOCUMENTS, SPECIFICATIONS, EXISTING CONDITIONS OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO BID SUBMITTAL AND PROCEEDING WITH ANY WORK IN QUESTION.

THESE CONTRACT DOCUMENTS ARE INTENDED TO DESCRIBE ONLY THE SCOPE AND APPEARANCE OF THE REAL PROPERTY IMPROVEMENTS, INCLUDING THE PERFORMANCE AND LEVEL OF QUALITY EXPECTED OF ITS COMPONENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL WORK COMPLETED AND MATERIALS INSTALLED BE IN FULL COMPLIANCE AT A MINIMUM, WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES HAVING JURISDICTIONAL AUTHORITY OVER THE PROJECT.

THESE CONTRACT DOCUMENTS DO NOT ATTEMPT TO INSTRUCT THE CONTRACTOR IN THE DETAILS OF HIS TRADE. THEY ARE PERFORMANCE SPECIFICATIONS IN THAT THEY DO REQUIRE THAT ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT BE INSTALLED IN STRICT CONFORMANCE TO THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT. ANY MISCELLANEOUS ITEMS OR MATERIALS NOT SPECIFICALLY NOTED, BUT REQUIRED FOR PROPER INSTALLATION SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.

ALL WORK SHALL BE WARRANTED SATISFACTORY, IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR, OR FOR THE PERIOD OF WARRANTY CUSTOMARY, OR STIPULATED FOR THE TRADE, CRAFT, OR PRODUCT, WHICHEVER IS LONGER. ONLY COMPETENT MECHANICS CAPABLE OF PRODUCING GOOD WORKMANSHIP CUSTOMARY TO THE TRADE SHOULD BE USED. COMMENCING WORK BY A CONTRACTOR OR SUBCONTRACTOR CONSTITUTES ACCEPTANCE OF THE CONDITIONS AND SURFACES CONCERNED. IF ANY SUCH CONDITIONS ARE UNACCEPTABLE, THE GENERAL CONTRACTOR SHALL BE NOTIFIED IMMEDIATELY, AND NO WORK SHALL BE PERFORMED UNTIL THE CONDITIONS ARE CORRECTED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH THE PROJECT SCOPE OF WORK, BUILDING STANDARDS, SCHEDULE AND DEADLINES. THE CONTRACTOR SHALL FURTHER BE RESPONSIBLE FOR ADVISING THE OWNER OF ALL LONG LEAD ITEMS AFFECTING THE PROJECT SCHEDULE AND SHALL, UPON REQUEST FROM THE OWNER, SUBMIT ORDER CONFIRMATIONS AND DELIVERY DATES FOR SUCH LONG LEAD ITEMS TO THE OWNER.

ALL CONTRACTOR OR SUPPLIER REQUESTS FOR SUBSTITUTIONS OF SPECIFIED ITEMS SHALL BE SUBMITTED, IN WRITING, ACCOMPANIED BY THE ALTERNATIVE PRODUCT INFORMATION, TO THE ARCHITECT, NO LATER THAN TEN (10) BUSINESS DAYS, PRIOR TO BID OPENING DATE. SUBSTITUTIONS SHALL ONLY BE CONSIDERED IF THEY DO NOT SACRIFICE QUALITY, FUNCTIONALITY, APPEARANCE OR WARRANTY. UNDER NO CIRCUMSTANCES WILL THE OWNER BE REQUIRED TO PROVE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OR IS NOT OF EQUAL QUALITY TO THE PRODUCT SPECIFIED.

UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR SCALE THE DRAWINGS TO DETERMINE DIMENSIONS. REFER TO PLANS, SECTIONS AND DETAILS FOR ALL DIMENSIONAL INFORMATION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL SELECTED MATERIALS WHICH SHALL BE COMPLETE IN ALL RESPECTS PRIOR TO THE FINAL ACCEPTANCE, UNLESS OTHERWISE NOTED.

THE CONTRACTOR SHALL PRESERVE ALL PRINTED INSTRUCTIONS AND WARRANTY INFORMATION THAT IS PROVIDED WITH EQUIPMENT OR MATERIALS USED, AND DELIVER SAID PRINTED MATTER TO THE OWNER AT THE TIME OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL INSTRUCT THE OWNER IN THE PROPER USE OF THE EQUIPMENT FURNISHED BY THEIR TRADE.

GENERAL CONTRACTOR SHALL PROVIDE A THOROUGH CONSTRUCTION CLEANING AT PROJECT CLOSE OUT, PRIOR TO PUNCH LIST WALK THROUGH.

THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL FABRICATED ITEMS, AND PHYSICAL SAMPLES OF ALL FINISH MATERIALS SPECIFIED TO THE ARCHITECT FOR REVIEW.

REVIEWED SHOP DRAWINGS AND SUBMITTALS BY OTHERS SHALL NOT BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR DRAWINGS, SCHEDULES, AND/OR SPECIFICATIONS FOR WORK ON THE PROJECT PREPARED BY OTHERS.

THE ARCHITECT WILL REVIEW ALL SHOP DRAWINGS, SUBMITTALS AND SAMPLES FOR CONFORMITY WITH THE CONTRACT DOCUMENTS AND RETURN THEM TO THE CONTRACTOR WITHIN SEVEN (7) WORKING DAYS EXCEPT AS MAY OTHERWISE BE PROVIDED FOR BY THE OWNER.

THE CONTRACTOR SHALL NOT REPRODUCE OR MARK UP ANY PART OF THE CONTRACT DOCUMENTS FOR SUBMITTAL AS A SHOP DRAWING. ANY SUCH SUBMITTAL WILL BE REJECTED. ANY SUBMITTAL REQUIRED TO BE REVIEWED MORE THAN THE INITIAL REVIEW AND ONE (1) ADDITIONAL REVIEW, WILL BE CONSIDERED TO BE IN EXCESS OF THE SCOPE OF THIS PROJECT. THE TIME REQUIRED FOR THIRD AND SUBSEQUENT REVIEWS OF A SUBMITTAL WILL BE PAID FOR BY THE CONTRACTOR TO THE ARCHITECT AT THE ARCHITECT'S STANDARD BILLING RATES, PLUS REIMBURSABLE EXPENSES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ANY EXISTING CONDITIONS AND ALL CRITICAL DIMENSIONS ASSOCIATED WITH THE PROPOSED WORK. THE CONTRACTOR SHALL CONFIRM THAT ALL WORK OUTLINED WITHIN THE CONTRACT DOCUMENTS CAN BE ACCOMPLISHED AS SHOWN, PRIOR TO BID OPENING. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS ENCOUNTERED WHICH MAY AFFECT BUILDING CODE COMPLIANCE, LIFE SAFETY, ISSUANCE OF CERTIFICATE OF OCCUPANCY, OR COMPLETION OF THE PROJECT AS DIRECTED IN THE CONTRACT DOCUMENTS.

NO ADDITIONAL FUNDS WILL BE APPROVED FOR WORK OMITTED FROM THE CONTRACTOR'S BID DUE TO LACK OF VERIFICATION BY THE CONTRACTOR, EXCEPT AS OTHERWISE APPROVED BY THE OWNER FOR WORK ASSOCIATED WITH HIDDEN CONDITIONS WHICH ARE NOT ACCESSIBLE PRIOR TO CONSTRUCTION.

REFER TO PROJECT MANUAL (WHEN APPLICABLE) FOR ADDITIONAL REQUIREMENTS AND DIRECTIONS.

ALL INTERIOR FINISHES SHALL COMPLY WITH CHAPTER EIGHT (8) OF THE 2009 INTERNATIONAL BUILDING CODE WITH AMENDMENTS.

LIGHT GAGE METAL STUDS; STUDS, THEIR COMPONENTS AND THEIR CONNECTIONS SHALL BE ENGINEERED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED. THE ENGINEER SHALL AFFIX THEIR SEAL AND SIGNATURE TO SHOP DRAWINGS AND CALCULATIONS SUBMITTED FOR REVIEW.

STEEL REQUIRED TO TRANSMIT GRAVITY AND/OR LATERAL LOADS TO THE STRUCTURE NOT DETAILED ON THE STRUCT. DRAWINGS IS THE RESPONSIBILITY OF THE METAL STUD SUPPLIER TO DESIGN, DETAIL, PROVIDE AND INSTALL.

METAL STUDS SHALL BE DESIGNED TO SUPPORT THE LOADS SHOWN IN THE DESIGN DATA IN ADDITION TO THE WEIGHT OF THE MATERIALS ATTACHED TO THE METAL STUDS. METAL STUDS SHALL BE DESIGNED USING THE LOAD COMBINATIONS IN SECTION 1605.3.1 OF THE INTERNATIONAL BUILDING CODE, 2000 EDITION. NO INCREASE IN ALLOWABLE STRESS IS ALLOWED.

DEFLECTION DUE TO LATERAL LOAD SHALL BE LIMITED TO $\frac{1}{160}$ OF THE STUD SPAN, FOR CANTILEVERS, THE DEFLECTION DUE TO LATERAL LOAD AT THE END OF THE CANTILEVER SHALL BE LIMITED TO $\frac{1}{160}$ OF THE CANTILEVER DIMENSION.

METAL STUD MANUFACTURER SHALL DETERMINE FINAL LAYOUT AND GAUGE OF STUDS TO MEET THE ARCHITECTURAL AND STRUCTURAL REQUIREMENTS.

WHERE ROUGH CARPENTRY IS IN CONTACT WITH THE GROUND, EXPOSED TO WEATHER OR IN AREAS OF HIGH RELATIVE HUMIDITY PROVIDE FASTENERS AND ANCHORAGES WITH A HOT DIP ZINC COATING OF G90 COMPLYING WITH ASTM A153 OR PROVIDE FASTENERS AND ANCHORAGES OF TYPE 304 STAINLESS STEEL.

WHERE TREATED LUMBER (ROUGH CARPENTRY) IS IN CONTACT WITH OTHER MATERIALS IT MUST BE SEPARATED FROM THESE MATERIALS BY A PRODUCT THAT WILL NOT ALLOW ANY REACTION BETWEEN THE PRESERVATIVE AND ADJACENT MATERIAL. COORDINATE WITH LUMBER MANU.

SYMBOLS

(NOT ALL MAY APPLY)

KEYED NOTE REFER TO SHEET WHERE SHOWN.

◇ WINDOW OR GLAZED OPENING TAG. SEE SCHED. IF WINDOW - WT, IF STOREFRONT - SF?, IF CURTAINWALL - CW?

ID ACCESSORY TAG. SEE ENLARGED TOILET PLANS.

▲ BUILDING SECTION CUT.

▲ ELEVATION TAG - INTERIOR OR EXTERIOR.

X/XXX SECTION CUT AT AREAS SHOWN SMALL SCALE

X/XXX ENLARGED PLAN.

XXXX ELEVATION TARGET. FINISH FLOOR = ASSUMED 0'-0" U.O.N.

XXX FINISH TAG. REFER TO LEGEND

REVISION

PLAN OR TRUE NORTH

BATT INSULATION; WIDTH OF FRAMING U.O.N.

ROOM TAG. REFER TO ROOM FINISH SCHEDULE

DOOR WITH DOOR NUMBER.

WINDOW OR GLAZED OPENING

WB WALL HYDRANT IF EXTERIOR HOSE BIB IF INTERIOR

METAL STUD FRAMED WALL. REFER TO INDEX SHEET FOR INFO.

CMU WALL. REFER TO SECTIONS AND DETAILS

BRICK WALL. REFER TO SECTIONS AND DETAILS

EIFS OVER SUBSTRATE. REFER TO SECTIONS FOR WIDTH AND PROFILE.

EXISTING DOOR. REFER TO DOOR SCHEDULE

EXISTING FRAMED WALL

EXISTING WINDOW WITH SILL AND/OR STOOL.

DEMO'D DOOR.

DEMO'D WALL.

W1 WALL TYPE

12" WALL HEIGHT IF DESIGNATED ON PLANS. IF NOT, SEE WALL TYPES THIS SHEET.

CODE ANALYSIS

NOTES

THE PURPOSE OF THIS PROJECT IS TO UPDATE FINISHES TO NEW CORPORATE STANDARDS AND TO UPGRADE CUSTOMER ADA ACCESS AT RESTROOM AREAS. THE PROJECT DOES NOT RESULT IN A CHANGE OF USE OR OCCUPANCY. THE ORIGINAL BUILDING WAS CONSTRUCTED IN COMPLIANCE WITH CODES IN EFFECT AT THAT TIME.

CURRENT APPLICABLE CODES

BUILDING CODE
2012 MICHIGAN BUILDING CODE

PLUMBING CODE
2012 MICHIGAN PLUMBING CODE

ELECTRICAL CODE
2014 NATIONAL ELECTRIC CODE

MECHANICAL CODE
2012 MICHIGAN MECHANICAL CODE

ENERGY CONSERVATION CODE
2009 MICHIGAN UNIFIED ENERGY CODE

HANDICAPPED ACCESSIBILITY CODE
ICC/ANSI A-117.1 2009

OCCUPANCY

CLASSIFICATION (302.1): A-2 (UNCHANGED)

ACCESSORY USES (508.3.1): NONE

NON-SEPARATED USES (508.3.2): NONE

SEPARATED USES (508.3.3): NONE

CONSTRUCTION

CLASSIFICATION (602): V-B

BUILDING SIZE

EXISTING BUILDING SIZE: 2918 SF

OCCUPANCY CALCULATIONS (UNCHANGED)

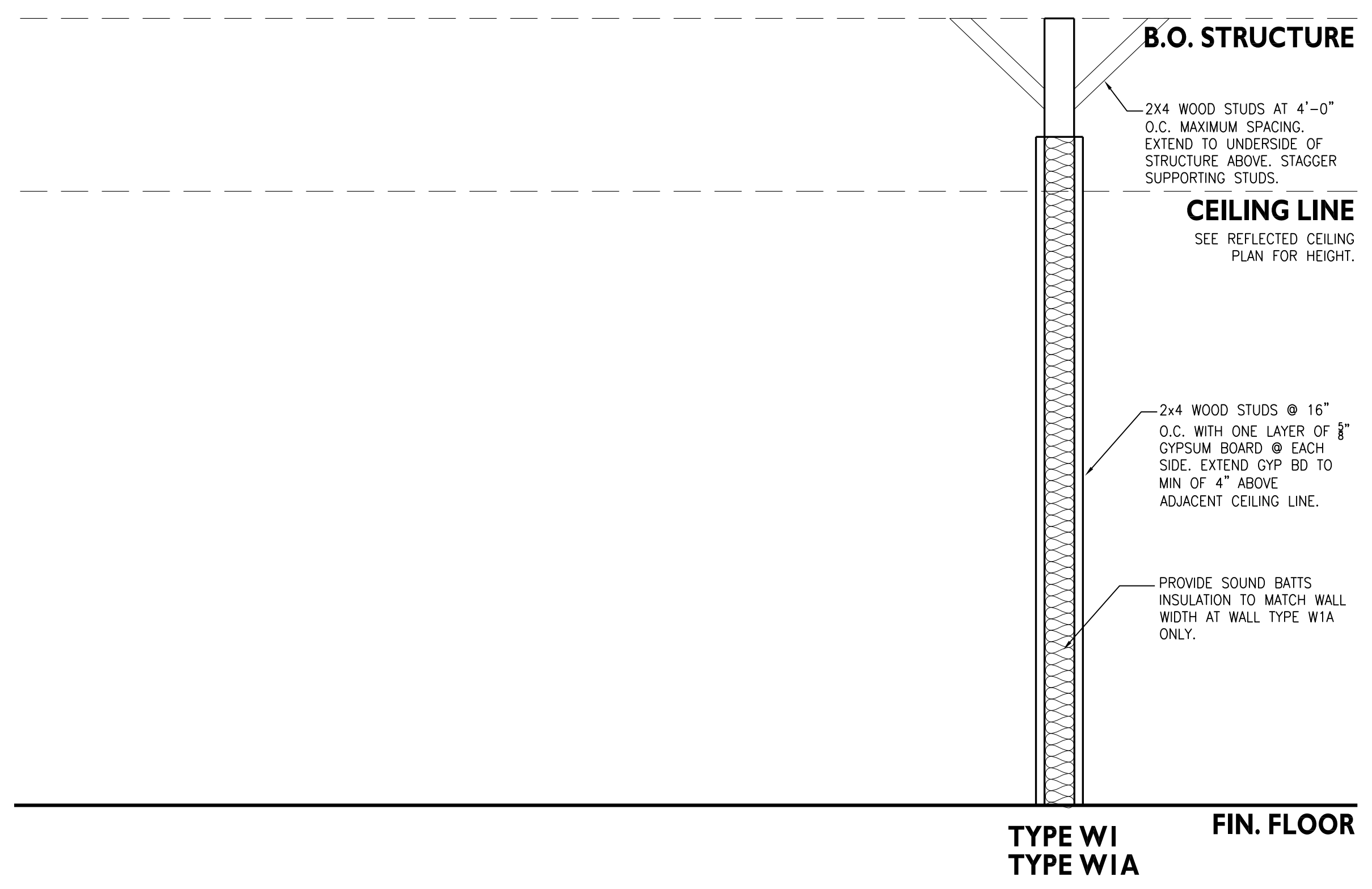
DINING ROOM ($\frac{1}{8}$ SF NET) $1110_{65}=74$

KITCHEN ($\frac{1}{8}$ SF GROSS) $1279_{200}=7$

TOTAL CALCULATED OCCUPANCY 81

TOTAL NUMBER OF SEATS 68

UNDERSIDE OF ROOF DECK



WALL TYPE GENERAL NOTES

NOTE: WALL HEIGHT AS MARKED ON PLANS IN CONJUNCTION WITH WALL TYPE SYMBOL WILL SUPERCEDE WALL HEIGHTS AS SHOWN ABOVE. SEE SYMBOLS LEGEND THIS SHEET.

USE MOLD AND MILDEW RESISTANT GYPSUM WALLBOARD ON ALL PLUMBING WALLS. USE 5/8" CEMENT BOARD INSTEAD OF GYP BOARD BEHIND ALL TILE FINISHES.

REFER TO ROOM FINISH SCHEDULE FOR ALL FINISH SELECTIONS; CEILING TYPES AND HEIGHTS; AND TYPES, SIZES AND LOCATIONS ETC.

PROVIDE DEEP LEG DEFLECTION TRACK AT TOP OF ALL METAL STUD WALLS WHERE STUDS EXTEND TO UNDERSIDE OF ROOF DECK OR STRUCTURE ABOVE.

BRACE METAL STUD WALLS TO TOP OF STRUCTURAL STEEL ELEMENTS-ABOVE CEILING PLANE. COORDINATE REQUIRED BRACE SPACING WITH STRUCTURAL ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

WALL TYPES

NO SCALE

DRAWINGS

INDEX SHEET

ARCHITECTURAL

AS1.1 ARCHITECTURAL SITE PLAN

AS1.2 DRIVE THRU EQUIP. DETAILS

D1.1 DEMOLITION FLOOR PLAN

D1.2 DEMOLITION CEILING PLAN

A1.1 FLOOR PLAN AND DETAILS

A1.2 CEILING PLAN

A2.1 DEMOLITION ELEVATIONS

A2.2 NEW ELEVATIONS

A2.3 MATERIAL SCHEDULE

A3.1 DEMOLITION AND NEW ROOF PLANS

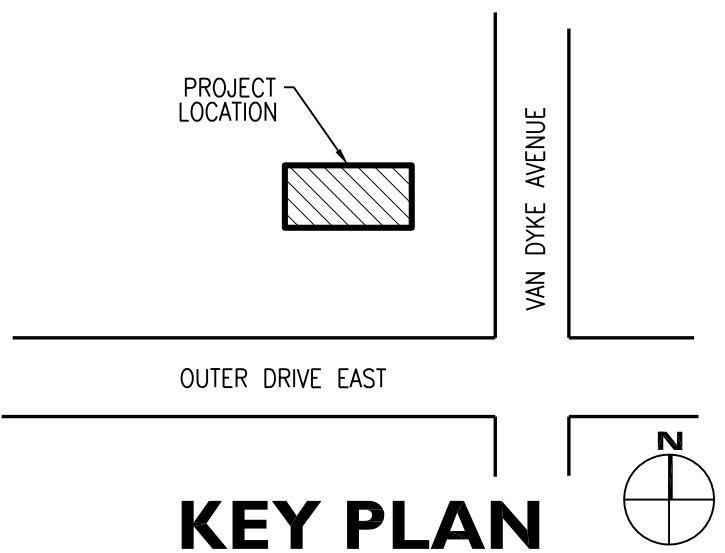
A4.1 WALL SECTIONS

A4.2 WALL SECTIONS

A4.3 WALL SECTIONS

A5.1 DETAILS

A6.1 DOOR SCHEDULE



CURRAN
ARCHITECTURE

5719 LAWTON LOOP E. DR. #212
INDIANAPOLIS, IN 46216
O :: 317 . 288 . 0681
F :: 317 . 288 . 0753

OWNER



2100 RIVEREDGE PARKWAY
SUITE 850
ATLANTA, GA 30328
O :: 770 . 933 . 5023
F :: 770 . 933 . 5024

CERTIFICATION



THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF CURRAN ARCHITECTURE, AND ARE NOT TO BE USED OR REPRODUCED, WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF CURRAN ARCHITECTURE. COPYRIGHT 2016, CURRAN ARCHITECTURE

PROJECT INFORMATION

REMODEL TO:
BURGER KING # 6796

19901 VAN DYKE AVENUE
DETROIT, MICHIGAN 48234



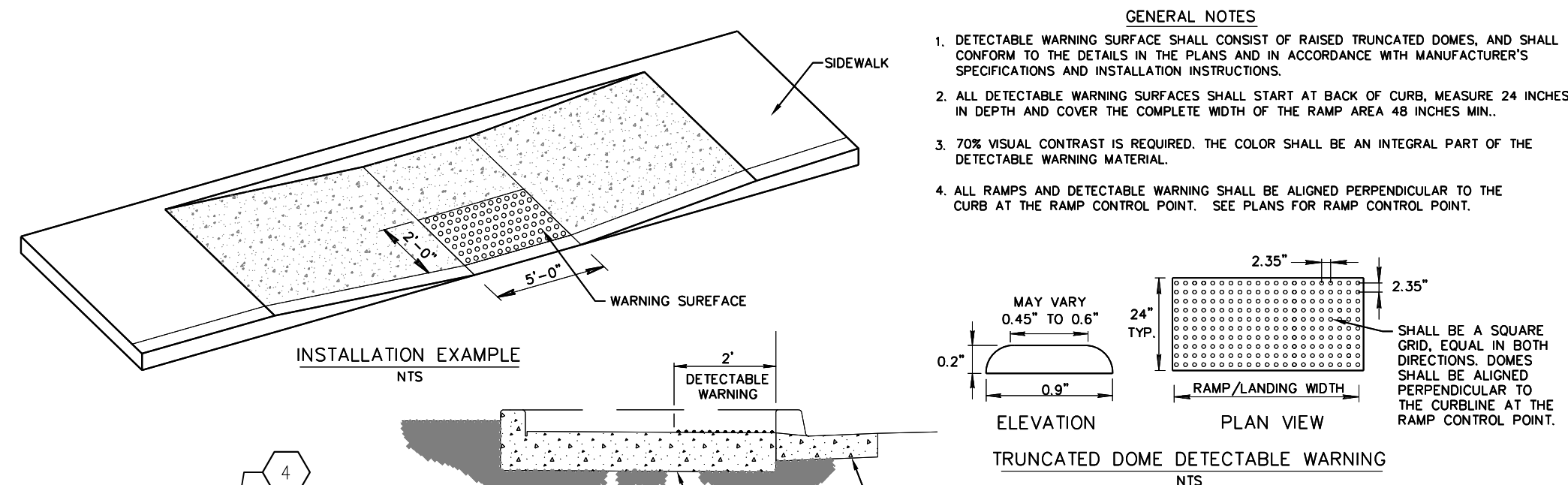
ISSUE DATES

FOR CONSTRUCTION 03.10.2016

PROJECT NUMBER: 150265

INDEX SHEET

INDEX



KEY NOTES

1. COORDINATE WITH OWNER FOR PARKING LOT WORK TO DETERMINE IF CRACK SEAL, SEALCOAT OR STRIPING IS REQUIRED.
2. EXISTING PYLON SIGN, PAINT POLE AND READERBOARD CABINET BLACK, PAINT SIGN FACE CABINET SILVER. COORDINATE WITH OWNER FOR NEW SIGN FACES.
3. REPAIR EXISTING SITE DIRECTIONAL SIGNAGE AS REQUIRED. PAINT CABINETS BLACK AND INSTALL NEW SIGN FACES.
4. PAINT EXISTING LIGHT POLES AND HEADS BLACK, CHECK FUNCTIONALITY AND REPLACE LAMPS AS REQUIRED.
5. EXISTING DUMPSTER ENCLOSURE. REPAIR BRICK WALLS OF ENCLOSURE AND TUCKPOINT AS REQUIRED. PAINT WALLS TO MATCH BUILDING AND PROVIDE ALUMINUM COPING.
6. EXISTING PREVIEW BOARD TO REMAIN. PAINT CABINET BLACK PER NEW STANDARDS.
7. REMOVE EXISTING CLEARANCE BAR.
8. PROVIDE NEW OCU & CANOPY AT EXISTING ORDERING STATION LOCATION. PROVIDE NEW CANOPY FOUNDATION AS SHOWN ON DETAILS ON ASI.2.
9. EXISTING MENUBOARD TO REMAIN. PAINT FRAME AND CABINET BLACK. LANDSCAPE CONTRACTOR TO INSTALL NEW DECORATIVE MASONRY RETAINING BLOCK BASE AND FILL WITH MULCH AT EXISTING MENU BOARD SIGN BASE.
10. REMOVE EXISTING RAMP AND BOLLARDS.
11. EXISTING BOLLARD, PAINT BLACK.
12. REMOVE EXISTING BOLLARDS AT DRIVE THRU WINDOWS.
13. HANDICAPPED PARKING SIGNAGE.
14. NEW CONCRETE WHEEL STOPS.
15. NEW CURB RAMP, SEE DETAIL ON SHEET ASI.2.



CURRAN ARCHITECTURE
5719 LAWTON LOOP E. DR. #212
INDIANAPOLIS, IN 46216
O :: 317.288.0681
F :: 317.288.0753

OWNER



2100 RIVEREDGE PARKWAY
SUITE 850
ATLANTA, GA 30328
O :: 770.933.5023
F :: 770.933.5024

CERTIFICATION



THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF CURRAN ARCHITECTURE, AND ARE NOT TO BE USED OR REPRODUCED, WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF CURRAN ARCHITECTURE.
© COPYRIGHT 2016, CURRAN ARCHITECTURE

PROJECT INFORMATION

REMODEL TO:
BURGER KING # 6796
19901 VAN DYKE AVENUE
DETROIT, MICHIGAN 48234

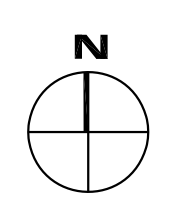
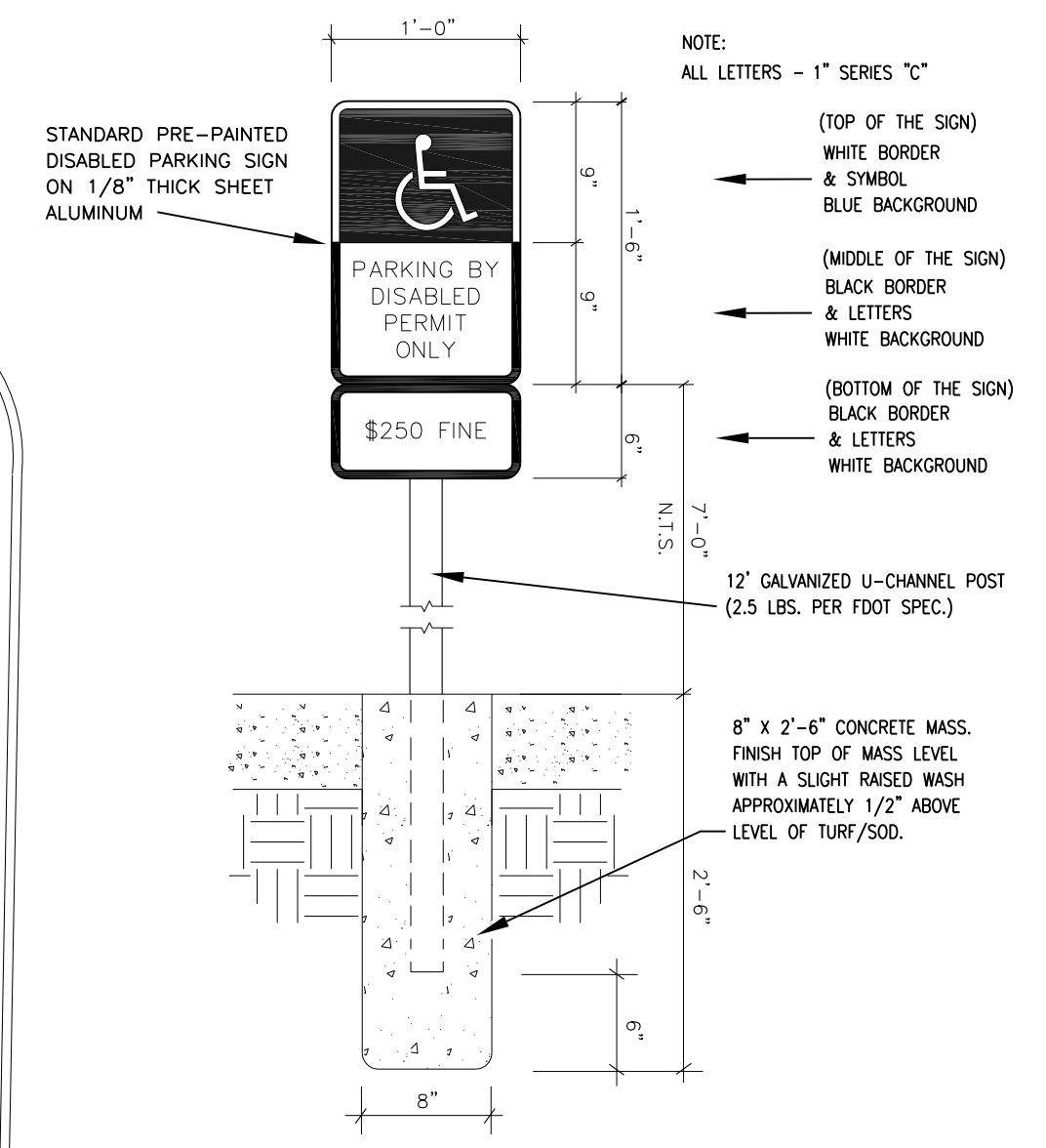
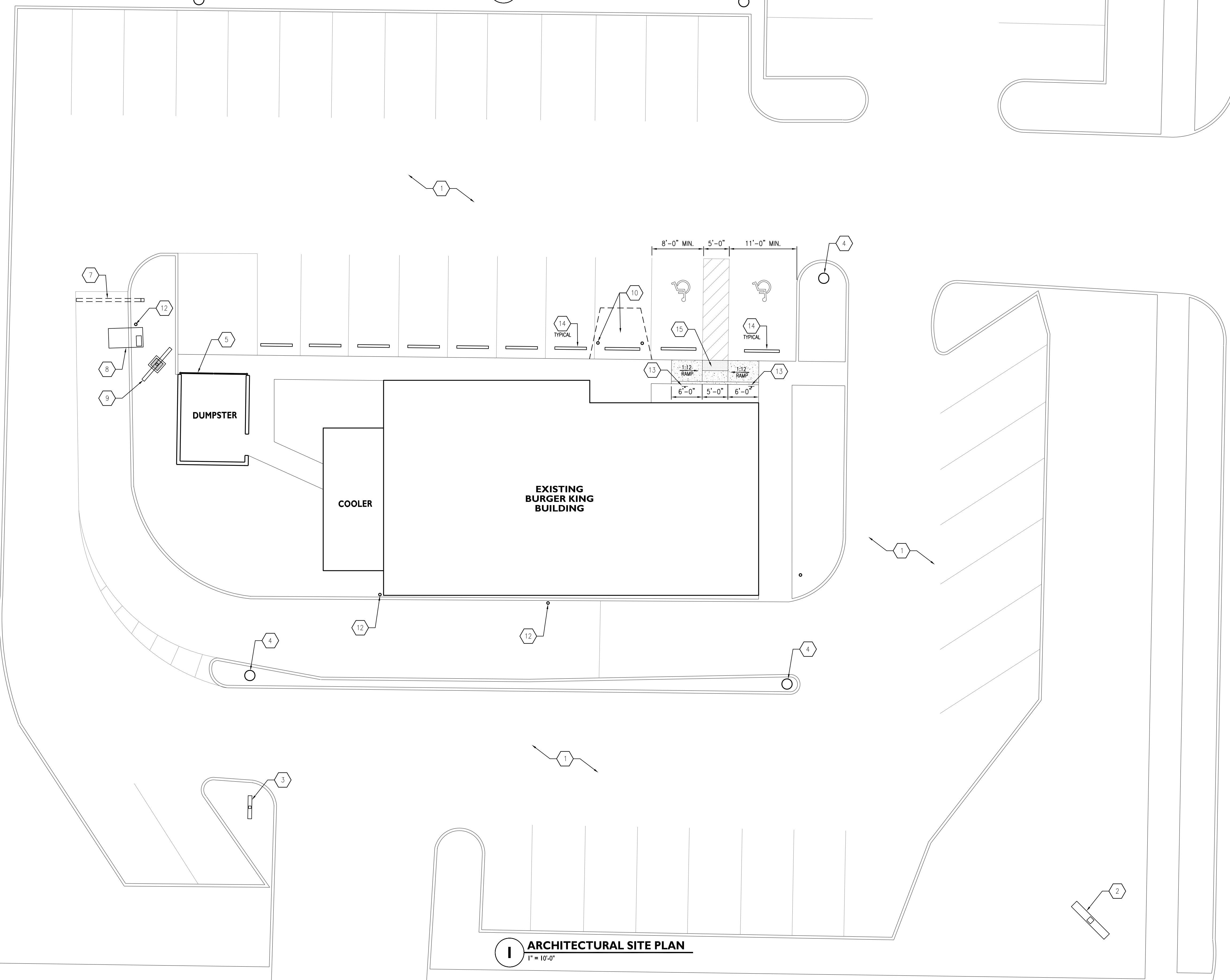


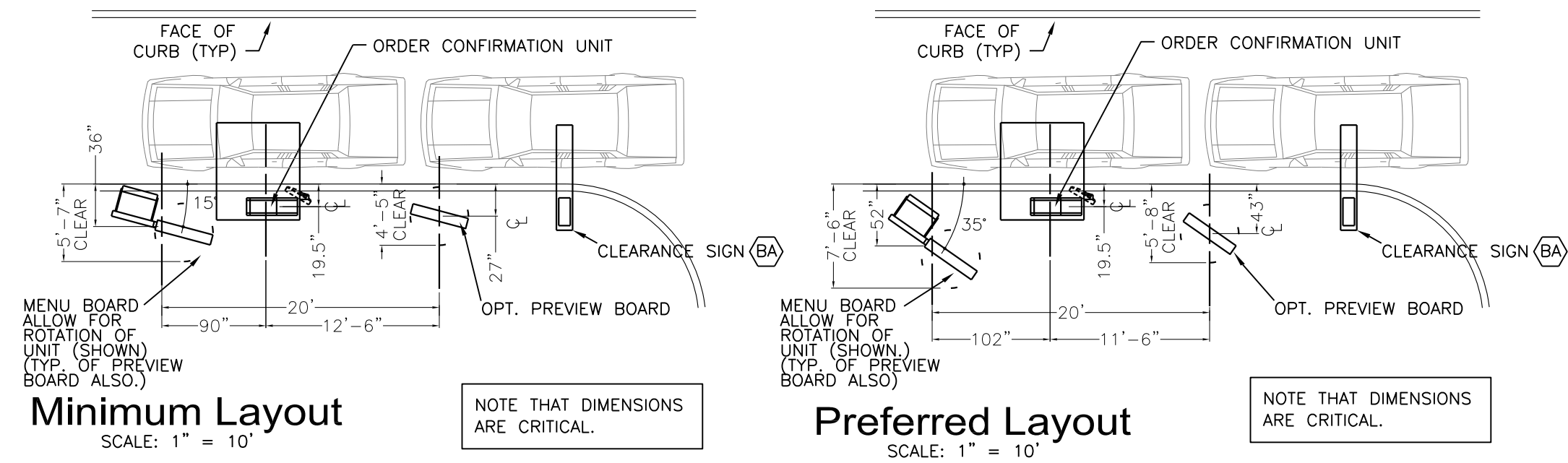
ISSUE DATES
FOR CONSTRUCTION 03.10.2016

PROJECT NUMBER: 150265

ARCHITECTURAL SITE PLAN

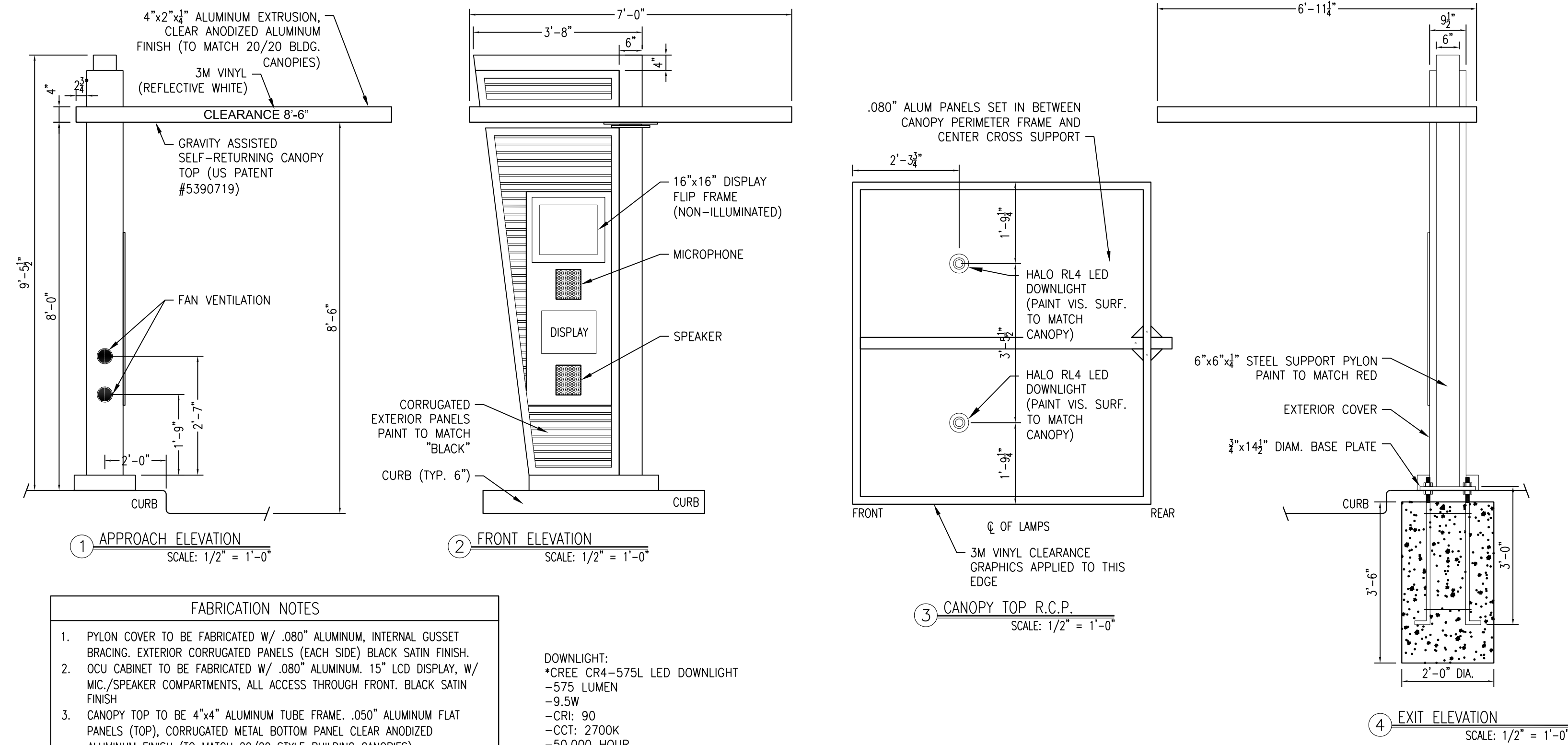
ASI.1





NOTE: THE PREFERRED LAYOUT SHOULD BE USED WHENEVER SPACE ALLOWS. ANGLES BETWEEN THE PREFERRED LAYOUT AND MINIMUM LAYOUT ARE ACCEPTABLE AS LONG AS:
 (1) THE DISTANCES FROM THE CENTERLINES OF THE SUPPORT POLES OF THE MENU BOARD AND PREVIEW BOARD TO THE FACE OF CURB ARE REDUCED BY 4" FOR EVERY 5 DEGREES OF ROTATION, AND
 (2) THE DISTANCE FROM THE CENTERLINE OF THE ORDER CONFIRMATION UNIT AND THE CENTERLINE OF THE MENU BOARD IS REDUCED BY 3" FOR EVERY 5 DEGREES OF ROTATION.
 THE CENTERLINE OF MENU BOARD TO CENTERLINE OF PREVIEW BOARD REMAINS AT 20'.

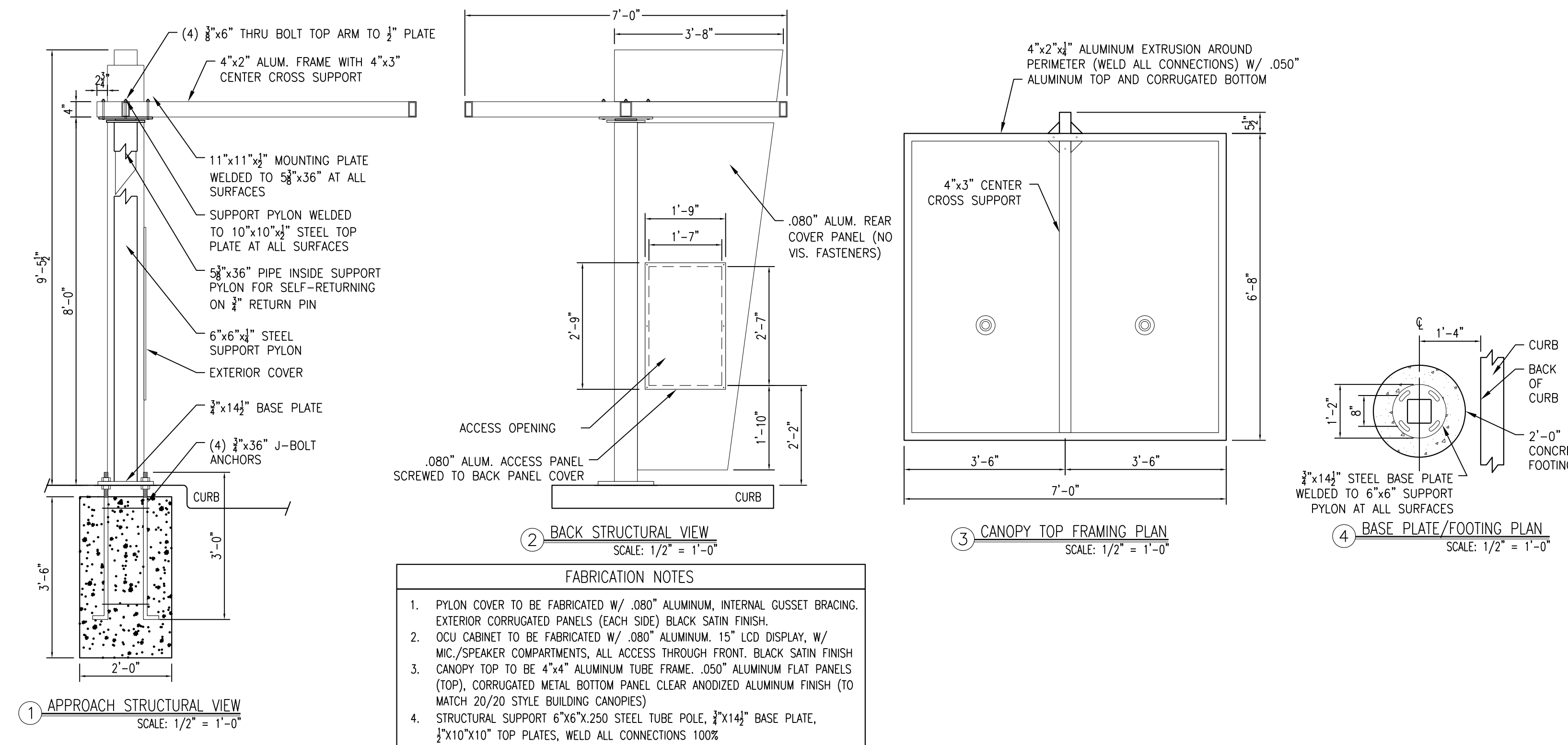
3 TYPICAL DRIVE-THRU LAYOUT
 NOT TO SCALE



- FABRICATION NOTES**
1. PYLON COVER TO BE FABRICATED W/ .080" ALUMINUM, INTERNAL GUSSET BRACING. EXTERIOR CORRUGATED PANELS (EACH SIDE) BLACK SATIN FINISH.
 2. OCU CABINET TO BE FABRICATED W/ .080" ALUMINUM. 15" LCD DISPLAY, W/ MIC./SPEAKER COMPARTMENTS, ALL ACCESS THROUGH FRONT. BLACK SATIN FINISH.
 3. CANOPY TOP TO BE 4"x4" ALUMINUM TUBE FRAME, .050" ALUMINUM FLAT PANELS (TOP), CORRUGATED METAL BOTTOM PANEL CLEAR ANODIZED ALUMINUM FINISH (TO MATCH 20/20 STYLE BUILDING CANOPIES).
 4. STRUCTURAL SUPPORT 6"x6"x.250 STEEL TUBE POLE, 3/4"x14 1/2" BASE PLATE, 1/2"x10"x10" TOP PLATES, WELD ALL CONNECTIONS 100%

- DOWNLIGHT:**
- *CREE CR4-575L LED DOWNLIGHT
 - 575 LUMEN
 - 9.5W
 - CRI: 90
 - CCT: 2700K
 - 50,000 HOUR

1 OCU AND CANOPY DETAILS
 1/2" = 1'-0"



- FABRICATION NOTES**
1. PYLON COVER TO BE FABRICATED W/ .080" ALUMINUM, INTERNAL GUSSET BRACING. EXTERIOR CORRUGATED PANELS (EACH SIDE) BLACK SATIN FINISH.
 2. OCU CABINET TO BE FABRICATED W/ .080" ALUMINUM. 15" LCD DISPLAY, W/ MIC./SPEAKER COMPARTMENTS, ALL ACCESS THROUGH FRONT. BLACK SATIN FINISH.
 3. CANOPY TOP TO BE 4"x4" ALUMINUM TUBE FRAME, .050" ALUMINUM FLAT PANELS (TOP), CORRUGATED METAL BOTTOM PANEL CLEAR ANODIZED ALUMINUM FINISH (TO MATCH 20/20 STYLE BUILDING CANOPIES).
 4. STRUCTURAL SUPPORT 6"x6"x.250 STEEL TUBE POLE, 3/4"x14 1/2" BASE PLATE, 1/2"x10"x10" TOP PLATES, WELD ALL CONNECTIONS 100%

2 OCU AND CANOPY DETAILS
 1/2" = 1'-0"

4 CLEARANCE BAR DETAILS - NOT USED
 AS NOTED



CURRAN ARCHITECTURE

5719 LAWTON LOOP E. DR. #212
 INDIANAPOLIS, IN 46216
 O :: 317.288.0681
 F :: 317.288.0753

OWNER



2100 RIVEREDGE PARKWAY
 SUITE 850
 ATLANTA, GA 30328
 O :: 770.933.5023
 F :: 770.933.5024

CERTIFICATION



THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF CURRAN ARCHITECTURE, AND ARE NOT TO BE USED OR REPRODUCED, WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF CURRAN ARCHITECTURE.
 COPYRIGHT 2016, CURRAN ARCHITECTURE

PROJECT INFORMATION

REMODEL TO:
BURGER KING # 6796
 19901 VAN DYKE AVENUE
 DETROIT, MICHIGAN 48234



ISSUE DATES

FOR CONSTRUCTION 03.10.2016
 CITY REVIEW 04.08.2016

PROJECT NUMBER: 150265

SITE DETAILS

ASI.2



CURRAN
ARCHITECTURE

5719 LAWTON LOOP E. DR. #212
INDIANAPOLIS, IN 46216
O :: 317 . 288 . 0681
F :: 317 . 288 . 0753

OWNER



2100 RIVEREDGE PARKWAY
SUITE 850
ATLANTA, GA 30328
O :: 770 . 933 . 5023
F :: 770 . 933 . 5024

CERTIFICATION



THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF CURRAN ARCHITECTURE, AND ARE NOT TO BE USED OR REPRODUCED, WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF CURRAN ARCHITECTURE.
© COPYRIGHT 2016, CURRAN ARCHITECTURE

PROJECT INFORMATION

REMODEL TO:
BURGER KING # 6796
19901 VAN DYKE AVENUE
DETROIT, MICHIGAN 48234



ISSUE DATES

FOR CONSTRUCTION 03.10.2016

PROJECT NUMBER: 150265

DEMOLITION
FLOOR PLAN

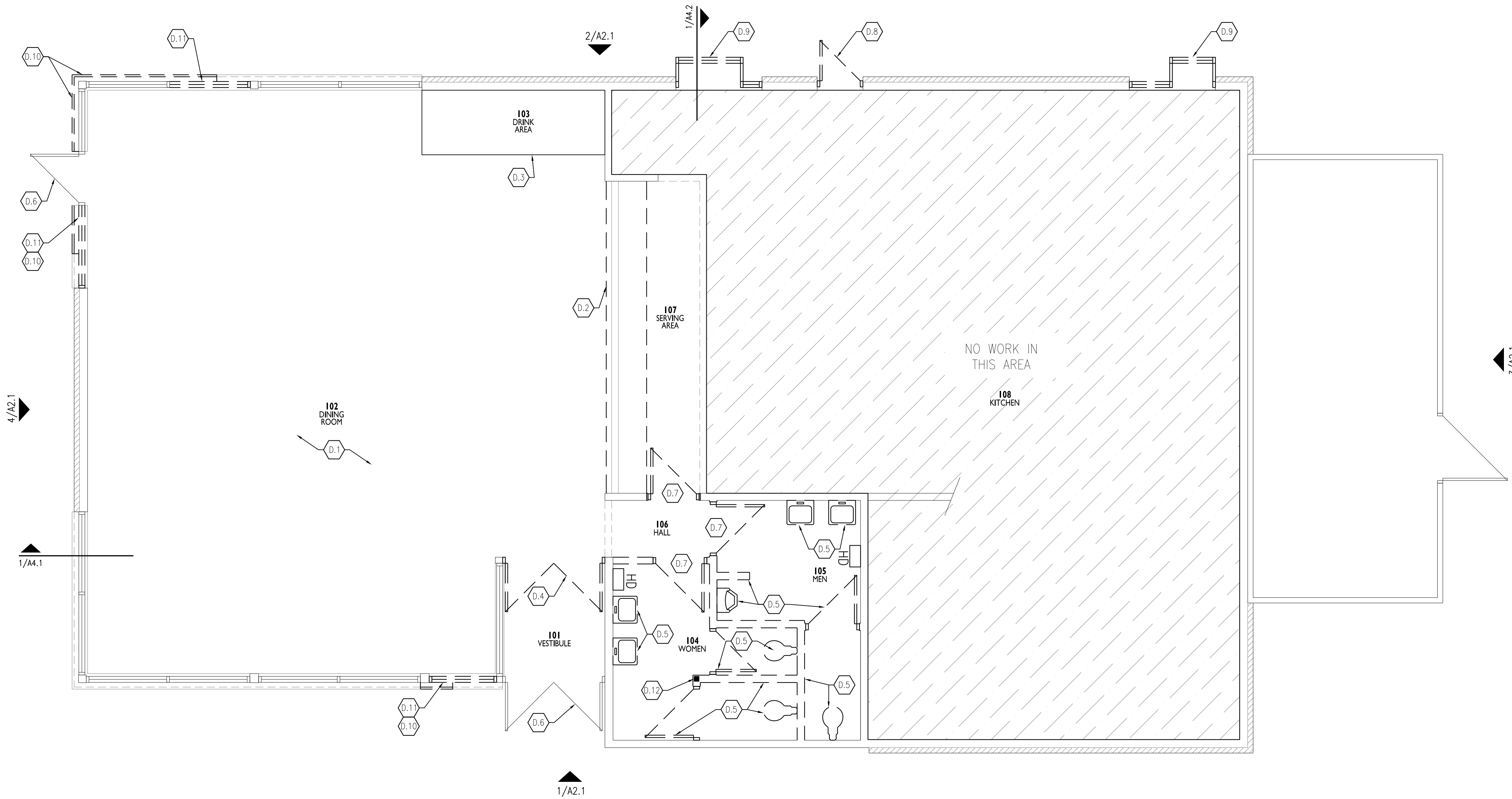
DI.1

GEN. DEMO NOTES

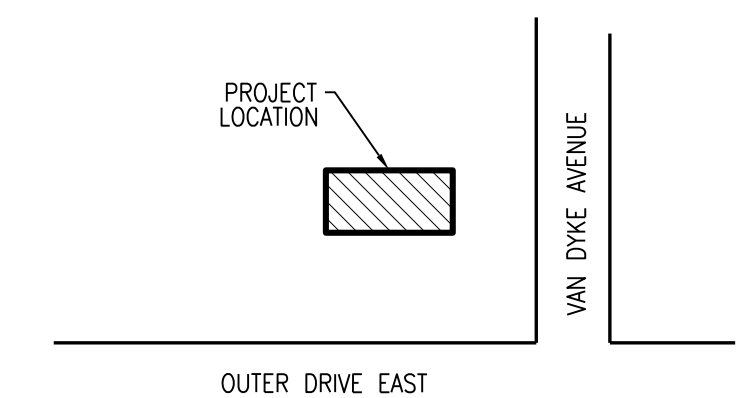
1. DASHED LINES INDICATE EXISTING ITEMS TO BE REMOVED. UNLESS NOTED OTHERWISE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ALL DEMO ITEMS.
2. DEMOLITION SHALL BE DONE WITH OUT DAMAGE TO EXISTING CONSTRUCTION TO REMAIN. WHERE SUCH DAMAGE OCCURS PATCH, REPAIR, OR RESTORE WALLS, FLOORS, CEILINGS, ETC. TO MATCH EXISTING. PROVIDE SHORING, BRACING, OR SUPPORT AS REQUIRED TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING CONSTRUCTION.
3. REMOVE ALL EXISTING CONSTRUCTION, ITEMS AND FINISHES MADE OBSOLETE BY, OR IN CONFLICT WITH NEW CONSTRUCTION-VERIFY WITH ARCH. REMOVE WIRING BACK TO SOURCE AT ALL OUTLETS ETC. MADE OBSOLETE BY WALL REMOVAL OR ANY OTHER NEW CONSTRUCTION.
4. WHERE EXISTING WALLS, BULKHEADS, OR FINISHES ARE REMOVED OR PARTIALLY DEMOLISHED, EACH TRADE SHALL BE RESPONSIBLE FOR PATCHING OR REFINISHING OF EXISTING CONSTRUCTION REQUIRED BY THAT TRADES WORK ON THIS PROJECT. THIS WORK MUST BE DONE IN A MANNER WHICH WILL ACCEPT NEW FINISHES.
5. ALL CONTRACTORS ARE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF CEILING GRID AND/OR TILES IN ANY AREA WHERE THEY NEED ACCESS AND THE EXISTING CEILING IS TO REMAIN. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL REPLACE ANY CEILING TILES OR GRID DAMAGED IN THE PROCESS.
6. CONTRACTOR MUST FIELD VERIFY ALL AREAS AND/OR WORK TO BE DEMOLISHED PRIOR TO BEGINNING WORK. CONTRACTOR MUST COORDINATE WITH ARCHITECT ANY DIFFERENCES BETWEEN FIELD VERIFIED CONDITIONS AND/OR CONSTRUCTION, AND WHAT IS SHOWN ON DEMOLITION DRAWINGS.
7. PRIOR TO BEGINNING DEMOLITION, DUST CONTROL BARRIERS SHALL BE CONSTRUCTED TO PREVENT THE SPREAD OF DUST INTO SURROUNDING AREAS.
8. EXITING FROM STRUCTURE, IF REQ'D TO PASS THROUGH DEMOLITION AREAS, SHALL HAVE APPROVED BARRIERS ETC., TO INSURE PUBLIC SAFETY.
9. REMOVE AND REINSTALL ALL EQUIPMENT OR CONSTRUCTION ON WALLS REQUIRING NEW FINISHES.
10. REFINISH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH. REFINISH ENTIRE ASSEMBLIES. CONTINUOUS SURFACES WILL BE TAKEN TO THE NEAREST INTERSECTION.
11. REMOVE ALL DIRT, DUST, DEBRIS ETC. DAILY. DO NOT ALLOW REFUSE TO BLOCK CORRIDORS, STAIRS, OR ANY OTHER TRAFFIC AREA.
12. IT IS ESSENTIAL THAT THE CLIENT BE ABLE TO FUNCTION AS NORMAL AS POSSIBLE IN AREAS ADJACENT TO RENOVATION OR NEW CONSTRUCTION.
13. ALL ABANDONED PLUMBING LINES TO BE CAPPED OFF AND TERMINATED BELOW FINISH FLOOR. TERMINATED BELOW FINISH FLOOR.

GEN. KEY NOTES

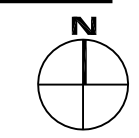
- D.1 DINING ROOM: REMOVE EXISTING WALL FINISHES (INCLUDING WAINSCOTING). PREP SURFACES TO RECEIVE NEW FINISHES. COORDINATE WITH INTERIOR DECOR DWGS FOR NEW FINISH SELECTIONS. REMOVE EXISTING TABLE PARTITIONS AND PROVIDE NEW LAYOUT PER INTERIOR DECOR DRAWINGS. REMOVE EXISTING TILE FLOOR FINISH INCLUDING ALL EXISTING THINSET MORTAR DOWN TO ORIGINAL CONCRETE SLAB AND PREP SLAB TO RECEIVE NEW TILE FINISH.
- D.2 REMOVE EXISTING COUNTERTOP. REMOVE PORTION OF KNEEWALL AS REQ'D TO ALLOW NEW COUNTER TO BE INSTALLED AT 34" AFF MAX. REMOVE EXISTING BUILT-OUT COLUMN AREAS ON EITHER SIDE OF COUNTER OPENING. COORDINATE WITH FLOOR PLAN AND INTERIOR DECOR DRAWINGS FOR ADDITIONAL INFO.
- D.3 COORDINATE WITH OWNER FOR ANY WORK AT EXISTING DRINK STATION.
- D.4 REMOVE EXISTING INTERIOR VESTIBULE DOORS.
- D.5 REMOVE ALL EXISTING FINISHES, FIXTURES, ACCESSORIES AND COMPARTMENT DOORS AS SHOWN IN RESTROOMS. REMOVE EXISTING GYPSUM BOARD AND REPLACE WITH TILE BACKER BOARD. PREP ALL SURFACES TO RECEIVE NEW FINISHES AS SCHEDULED. PREP PLUMBING ROUGH-INS FOR FIXTURES IN LOCATIONS AS SHOWN ON NEW FLOOR PLANS.
- D.6 EXISTING STOREFRONT DOOR TO REMAIN.
- D.7 REMOVE EXISTING DOORS AND FRAMES. PREP OPENINGS FOR NEW DOORS AND FRAMES. ENLARGE OPENINGS AS REQUIRED FOR NEW 36" DOORS.
- D.8 REMOVE EXISTING DOOR, HARDWARE AND FRAME. PREP OPENING FOR NEW WALL INFILL.
- D.9 REMOVE EXISTING DRIVE-THRU WINDOW. PREP OPENING TO RECEIVE NEW SLIDING WINDOW. COORDINATE ROUGH OPENING REQUIREMENTS WITH WINDOW MANUFACTURER.
- D.10 REMOVE EXISTING BRICK VENEER IN THIS AREA.
- D.11 REMOVE EXISTING STOREFRONT WINDOW AS SHOWN ON ELEVATIONS. PREP OPENING TO RECEIVE NEW INFILL FRAMING AND FINISHES. SEE ELEVATIONS AND FLOOR PLAN FOR ADDITIONAL INFO.
- D.12 VERIFY LOCATION OF EXISTING COLUMN IN WALL.



I DEMOLITION FLOOR PLAN
1/4" = 1'-0"



KEY PLAN



GEN. DEMO NOTES

- DASHED LINES INDICATE EXISTING ITEMS TO BE REMOVED. UNLESS NOTED OTHERWISE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ALL DEMO ITEMS.
- DEMOLITION SHALL BE DONE WITH OUT DAMAGE TO EXISTING CONSTRUCTION TO REMAIN. WHERE SUCH DAMAGE OCCURS PATCH, REPAIR, OR RESTORE WALLS, FLOORS, CEILINGS, ETC. TO MATCH EXISTING. PROVIDE SHORING, BRACING, OR SUPPORT AS REQUIRED TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING CONSTRUCTION.
- REMOVE ALL EXISTING CONSTRUCTION, ITEMS AND FINISHES MADE OBSOLETE BY, OR IN CONFLICT WITH NEW CONSTRUCTION-VERIFY WITH ARCH. REMOVE WIRING BACK TO SOURCE AT ALL OUTLETS ETC. MADE OBSOLETE BY WALL REMOVAL OR ANY OTHER NEW CONSTRUCTION.
- WHERE EXISTING WALLS, BULKHEADS, OR FINISHES ARE REMOVED OR PARTIALLY DEMOLISHED, EACH TRADE SHALL BE RESPONSIBLE FOR PATCHING OR REFINISHING OF EXISTING CONSTRUCTION REQUIRED BY THAT TRADES WORK ON THIS PROJECT. THIS WORK MUST BE DONE IN A MANNER WHICH WILL ACCEPT NEW FINISHES.
- ALL CONTRACTORS ARE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF CEILING GRID AND/OR TILES IN ANY AREA WHERE THEY NEED ACCESS AND THE EXISTING CEILING IS TO REMAIN. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL REPLACE ANY CEILING TILES OR GRID DAMAGED IN THE PROCESS.
- CONTRACTOR MUST FIELD VERIFY ALL AREAS AND/OR WORK TO BE DEMOLISHED PRIOR TO BEGINNING WORK. CONTRACTOR MUST COORDINATE WITH ARCHITECT ANY DIFFERENCES BETWEEN FIELD VERIFIED CONDITIONS AND/OR CONSTRUCTION, AND WHAT IS SHOWN ON DEMOLITION DRAWINGS.
- PRIOR TO BEGINNING DEMOLITION, DUST CONTROL BARRIERS SHALL BE CONSTRUCTED TO PREVENT THE SPREAD OF DUST INTO SURROUNDING AREAS.
- EXITING FROM STRUCTURE, IF REQ'D TO PASS THROUGH DEMOLITION AREAS, SHALL HAVE APPROVED BARRIERS ETC., TO INSURE PUBLIC SAFETY.
- REMOVE AND REINSTALL ALL EQUIPMENT OR CONSTRUCTION ON WALLS REQUIRING NEW FINISHES.
- REFINISH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH. REFINISH ENTIRE ASSEMBLIES. CONTINUOUS SURFACES WILL BE TAKEN TO THE NEAREST INTERSECTION.
- REMOVE ALL DIRT, DUST, DEBRIS ETC. DAILY. DO NOT ALLOW REFUSE TO BLOCK CORRIDORS, STAIRS, OR ANY OTHER TRAFFIC AREA.
- IT IS ESSENTIAL THAT THE CLIENT BE ABLE TO FUNCTION AS NORMAL AS POSSIBLE IN AREAS ADJACENT TO RENOVATION OR NEW CONSTRUCTION.
- ALL ABANDONED PLUMBING LINES TO BE CAPPED OFF AND TERMINATED BELOW FINISH FLOOR. TERMINATED BELOW FINISH FLOOR.

GEN. KEY NOTES

- D.1 DINING ROOM, DRINK AREA, SERVING AREA, VESTIBULE AND HALL: REMOVE EXISTING CEILING GRID, TILES, LIGHT FIXTURES, SUPPLY DIFFUSERS AND RETURN GRILLES. NEW CEILING GRID, TILES, LIGHTS, DIFFUSERS AND GRILLES TO BE PROVIDED TO MATCH EXISTING QUANTITIES AND LAYOUT AS SHOWN.
- D.2 REMOVE EXISTING DIGITAL MENUBOARDS AS REQUIRED FOR INSTALLATION OF NEW FINISHES ON EXISTING BULKHEAD.
- D.3 RESTROOMS: REMOVE EXISTING GYPSUM BOARD CEILING SYSTEM AND LIGHT FIXTURES. PROVIDE NEW GYPSUM BOARD CEILING TO MATCH NEW RESTROOM LAYOUT, SEE CEILING PLAN.
- D.4 EXISTING BULKHEAD. PREP TO RECEIVE NEW PAINTED OR TILE FINISH PER DECOR DRAWINGS.
- D.5 REMOVE EXISTING MANSARD ROOF SYSTEM AS SHOWN.



CURRAN
ARCHITECTURE

5719 LAWTON LOOP E. DR. #212
INDIANAPOLIS, IN 46216
O :: 317 . 288 . 0681
F :: 317 . 288 . 0753

OWNER



2100 RIVEREDGE PARKWAY
SUITE 850
ATLANTA, GA 30328
O :: 770 . 933 . 5023
F :: 770 . 933 . 5024

CERTIFICATION



THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF CURRAN ARCHITECTURE, AND ARE NOT TO BE USED OR REPRODUCED, WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF CURRAN ARCHITECTURE.
© COPYRIGHT 2016, CURRAN ARCHITECTURE

PROJECT INFORMATION

REMODEL TO:
BURGER KING # 6796
19901 VAN DYKE AVENUE
DETROIT, MICHIGAN 48234



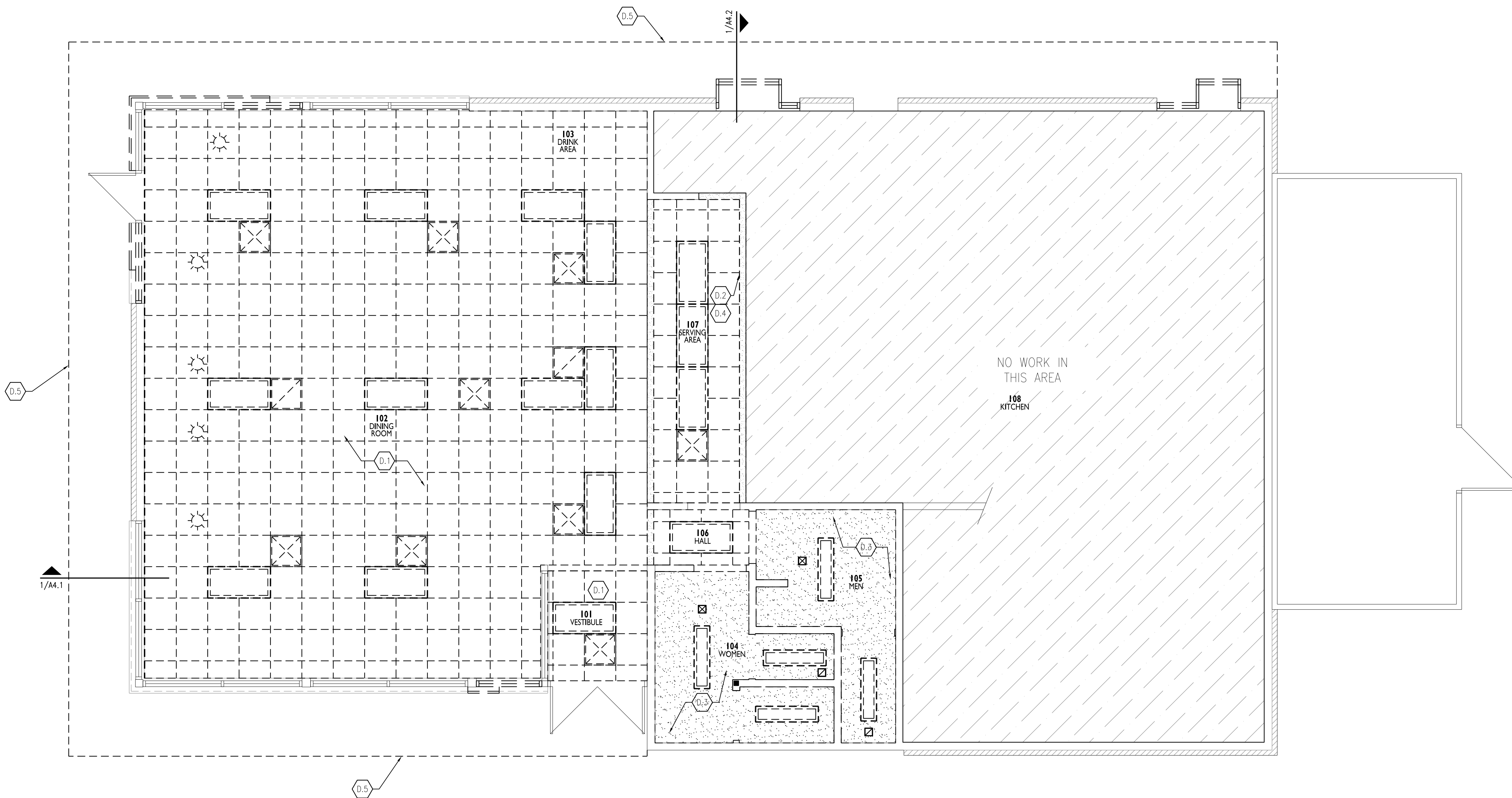
ISSUE DATES

FOR CONSTRUCTION 03.10.2016

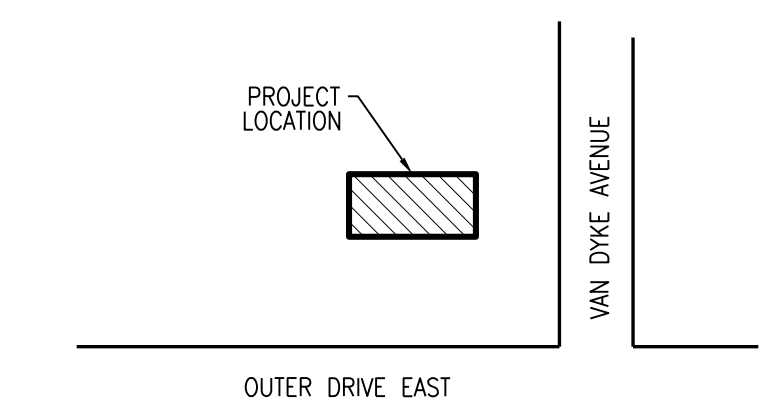
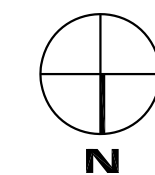
PROJECT NUMBER: 150265

DEMOLITION
CEILING PLAN

D1.2

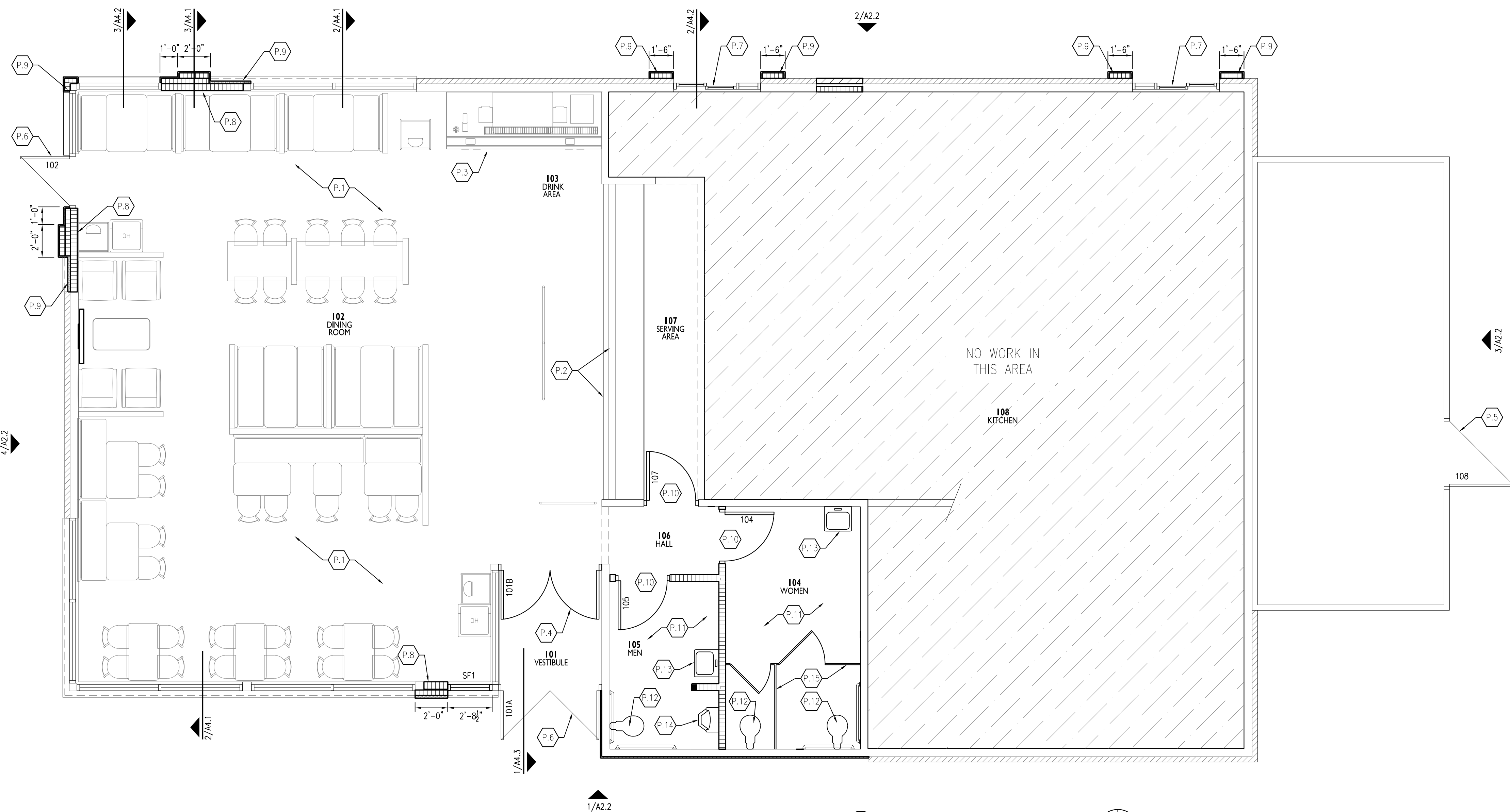


DEMOLITION CEILING PLAN
1/4" = 1'-0"



KEY PLAN





GENERAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND JOB CONDITIONS. ANY DEVIATION FROM WHAT IS NOTED IN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- ALL DIMENSIONS SHOWN ARE FACE OF BRICK, MASONRY OR METAL STUD FRAMING-UNLESS NOTED OTHERWISE.
- PROVIDE DEEP LEG DEFLECTION TRACK AT ALL METAL STUD CONNECTIONS WITH STRUCTURE ABOVE-TYPICAL.
- PROVIDE FIRE RATED WOOD BLOCKING IN METAL STUD WALLS FOR ANY WALL SUPPORTED ITEMS.
- PROVIDE APPROVED FIRE RATED STOPPING MATERIALS IN ANY OPENINGS IN FIRE RATED ASSEMBLIES.
- REFER TO DOOR AND WINDOW SCHEDULES FOR ALL MATERIALS, FINISHES AND HARDWARE INFORMATION.
- REFER TO EXTERIOR ELEVATIONS FOR ALL BRICK MASONRY AND OTHER EXPANSION JOINT LOCATIONS.
- ALL MATERIALS LOCATED IN CEILING PLENUM SHALL BE RATED FOR SUCH INSTALLATION OR PROTECTED TO PROVIDE COMPLIANCE. THIS INCLUDES BUT IS NOT LIMITED TO POWER AND LOW VOLTAGE WIRING, TELECOMMUNICATIONS CABLING, PLUMBING SUPPLY AND DRAIN LINES AND SUPPORTING BRACKETS AND/OR BLOCKING FOR CEILING HUNG ITEMS.
- PRIOR TO ORDERING ANY PRODUCTS-CONTRACTOR SHALL SUBMIT SAMPLES TO THE ARCHITECT OF ALL FINISH MATERIALS TO BE USED ON THE PROJECT. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR ANY MATERIALS ORDERED INCORRECTLY WHEN THAT MATERIAL WAS NOT REVIEWED BY THE ARCHITECT.

PLAN KEY NOTES

- P.1 PROVIDE NEW TILE FLOOR THROUGHOUT DINING ROOM. PROVIDE NEW WALL FINISHES PER INTERIOR DECOR PLANS. COORDINATE WITH OWNER AND SEATING/DECOR PLAN FOR REQUIRED POWER AND DATA OUTLETS AT SEATING AREAS AND TV LOCATIONS.
- P.2 NEW COUNTERTOP INSTALLED AT 34" AFF MAX. LAYOUT TO MATCH EXISTING. PROVIDE FRP FINISH ON BACK SIDE OF WALL BELOW COUNTER. SEE ENLARGED DETAIL FOR LOCATIONS OF GROMMETS IN COUNTERTOP AND SUPPORT LEGS.
- P.3 COORDINATE WITH OWNER FOR ANY WORK AT DRINK STATION.
- P.4 NEW INTERIOR VESTIBULE ALUMINUM STOREFRONT DOORS AND HARDWARE IN EXISTING FRAME.
- P.5 NEW HOLLOW METAL DOOR, FRAME AND HARDWARE. SEE DOOR SCHEDULE. PAINT AS SHOWN ON EXTERIOR ELEVATIONS.
- P.6 EXISTING STOREFRONT DOORS TO REMAIN.
- P.7 NEW SLIDING DRIVE-THRU WINDOW. COORDINATE ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
- P.8 NEW WALL FRAMING AND FINISHES WHERE STOREFRONT WAS REMOVED. SEE WALL SECTIONS FOR ADDITIONAL INFORMATION.
- P.9 NEW EXTERIOR WALL FINISH WITH FRAMING AS REQUIRED. SEE ELEVATIONS FOR DIMENSIONS AND PATTERNS.
- P.10 PROVIDE NEW DOORS AND FRAMES. VERIFY SIZES IN FIELD. SEE DOOR SCHEDULE FOR ADDITIONAL INFO.
- P.11 PROVIDE NEW TILE FLOOR, NEW 3/8" CONCRETE TILE BACKER BOARD AND WALL TILE FINISHES PER INTERIOR DECOR DRAWINGS. COORDINATE AND VERIFY CLEAR WIDTH REQUIREMENTS WITH NEW TILE FINISH THICKNESS. ADJUST HEIGHT OF FLOOR DRAIN TO BE NO MORE THAN 3/8" BELOW FINISH FLOOR.
- P.12 PROVIDE NEW ADA COMPLIANT FLUSH VALVE TOILET FIXTURE. SEE TYPICAL ELEVATIONS BELOW FOR MOUNTING HEIGHTS.
- P.13 PROVIDE NEW ADA COMPLIANT WALL HUNG LAVATORY.
- P.14 PROVIDE NEW ADA COMPLIANT WALL HUNG URINAL.
- P.15 FLOOR MOUNTED OVERHEAD BRACED TOILET PARTITIONS: BOBRICK 1080/1180 DURALINE SERIES #EO-09 COLOR BLACK ALIGN NEW WALL WITH EXISTING COLUMN. VERIFY LOCATION IN FIELD. MAINTAIN CLEARANCES.
- P.16



CURRAN ARCHITECTURE

5719 LAWTON LOOP E. DR. #212
INDIANAPOLIS, IN 46216
O :: 317.288.0681
F :: 317.288.0753

OWNER



2100 RIVEREDGE PARKWAY
SUITE 850
ATLANTA, GA 30328
O :: 770.933.5023
F :: 770.933.5024

CERTIFICATION



THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF CURRAN ARCHITECTURE, AND ARE NOT TO BE USED OR REPRODUCED, WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF CURRAN ARCHITECTURE. © COPYRIGHT 2016, CURRAN ARCHITECTURE

PROJECT INFORMATION

REMODEL TO:
BURGER KING # 6796
19901 VAN DYKE AVENUE
DETROIT, MICHIGAN 48234



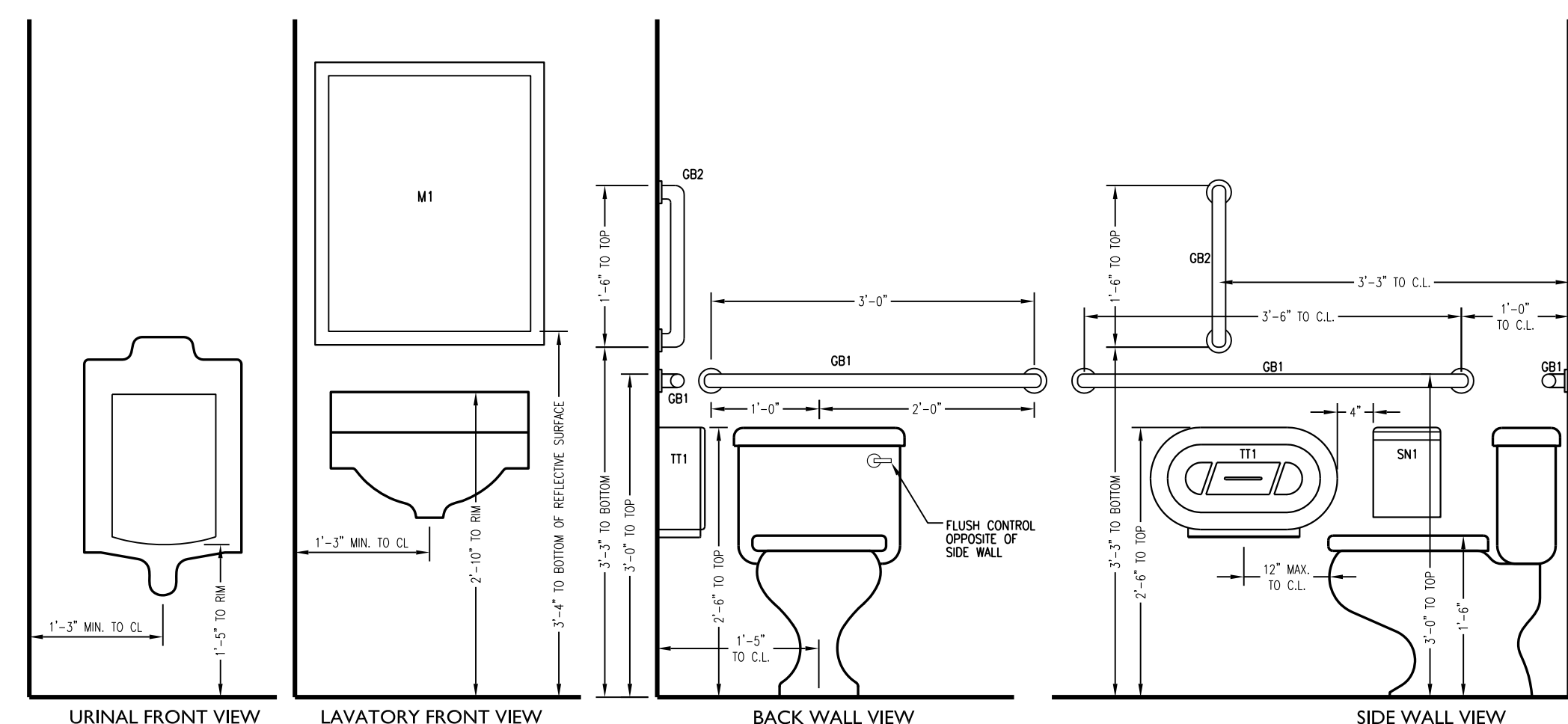
ISSUE DATES

FOR CONSTRUCTION 03.10.2016

PROJECT NUMBER: 150265

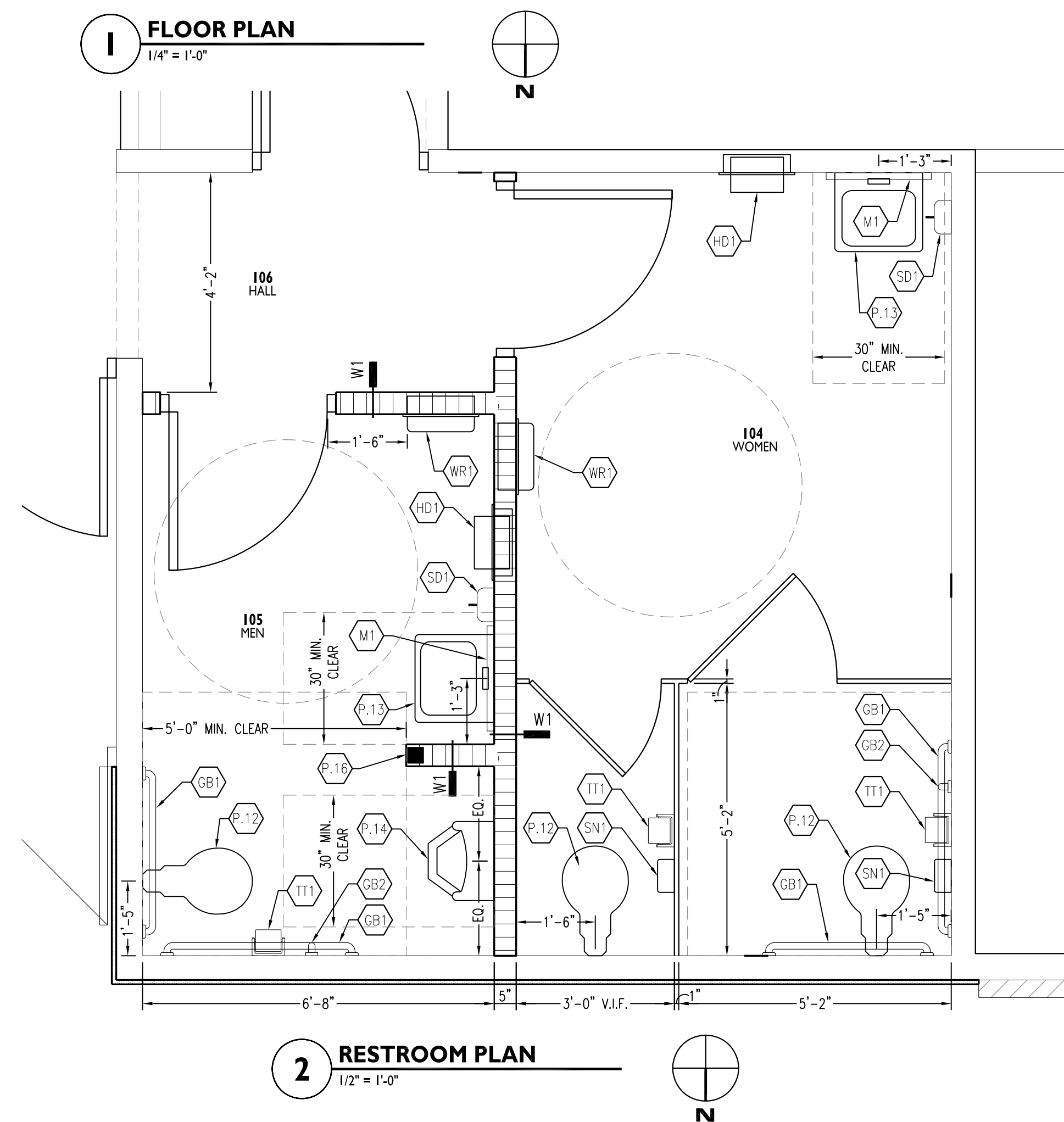
FLOOR PLAN AND RESTROOM PLAN

A.I.I

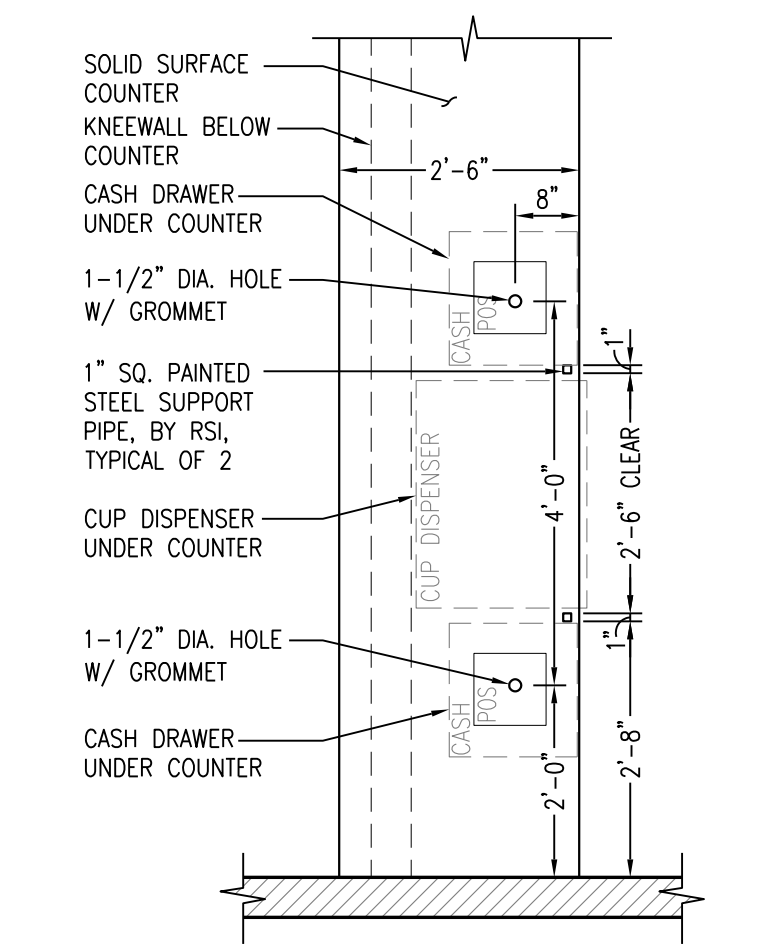


3 TYPICAL ADA MOUNTING HEIGHTS
3/4" = 1'-0"

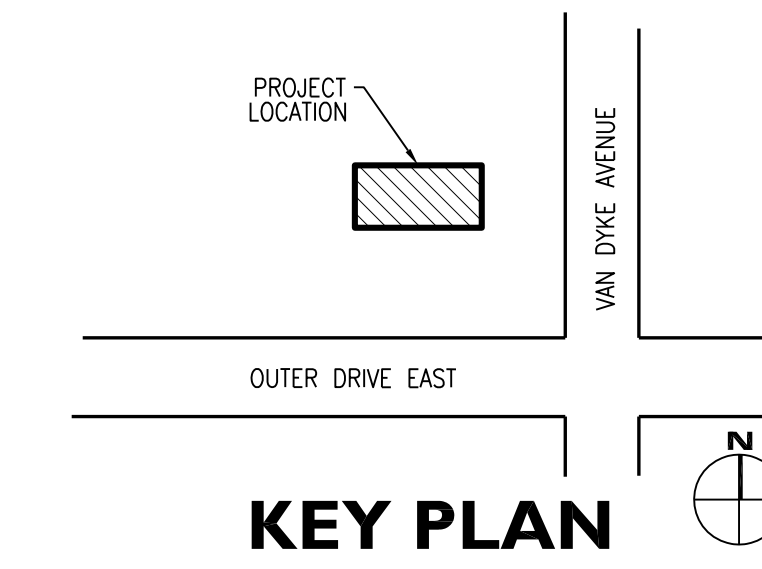
| MARK | SYMBOL | BOBRICK # | DESCRIPTION | REMARKS | MOUNTING HEIGHT |
|------|--------|----------------------------------|--|---|-------------------------------|
| TT1 | | B-2892 | MULTI-ROLL TOILET TISSUE DISPENSER. | MOUNT 12" MAX FROM TOILET SEAT TO CENTER OF UNIT | 30" AFF TO TOP |
| SN1 | | B-270 | SURFACE MOUNTED SANITARY NAPKIN DISPOSAL. | SEE ELEVATIONS FOR MOUNTING SUGGESTIONS | 30" AFF TO TOP |
| GB1 | | B-6806.99 X 36 B-6806.99 X 42 | 36" GRAB BAR FOR BACK WALL AND 42" GRAB BAR FOR SIDE WALL. INSTALL 6" FROM WALL TO START OF GRAB BAR | PROVIDE PEENED GRP AND CONCEALED MOUNTING WITH SNAP FLANGE. | 34" AFF TO CENTERLINE |
| GB2 | | B-6806.99 X 18 | 18" GRAB BAR MOUNTED VERTICALLY ABOVE SIDE GRAB BAR. INSTALL 40" FROM BACK WALL TO CENTERLINE | PROVIDE PEENED GRP AND CONCEALED MOUNTING WITH SNAP FLANGE. | 40" AFF TO BOTTOM OF BAR |
| M1 | | B-165 | MIRROR | 2'-0"W X 3'-0"H | 40" AFF TO BOTTOM |
| SD1 | | B-2112 | SOAP DISPENSER | 40 OZ | 40" AFF TO CENTERLINE |
| HD1 | | XCCELERATOR MODEL XL-SB | ELECTRIC HAND DRYER W/ STAINLESS STEEL FINISH | COORDINATE ELECTRICAL ROUGH-IN REQUIREMENTS WITH MANUF. | 37" AFF TO BOTTOM |
| WR1 | | B-3644-134 | SEMI-RECESSED WASTE RECEPTACLE | 12 GALLON WASTE CAN WITH LINER MATE OPTION | 44" AFF MAX TO TOP OF OPENING |



2 RESTROOM PLAN
1/2" = 1'-0"



4 POS COUNTER DETAIL
1/2" = 1'-0"



KEY PLAN



CURRAN ARCHITECTURE

5719 LAWTON LOOP E. DR. #212
INDIANAPOLIS, IN 46216
O :: 317.288.0681
F :: 317.288.0753

OWNER



2100 RIVEREDGE PARKWAY
SUITE 850
ATLANTA, GA 30328
O :: 770.933.5023
F :: 770.933.5024

CERTIFICATION



THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF CURRAN ARCHITECTURE, AND ARE NOT TO BE USED OR REPRODUCED, WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF CURRAN ARCHITECTURE. © COPYRIGHT 2016, CURRAN ARCHITECTURE

PROJECT INFORMATION

REMODEL TO:
BURGER KING # 6796
19901 VAN DYKE AVENUE
DETROIT, MICHIGAN 48234



ISSUE DATES

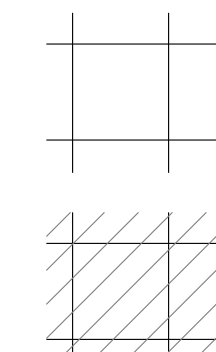
FOR CONSTRUCTION 03.10.2016

PROJECT NUMBER: 150265

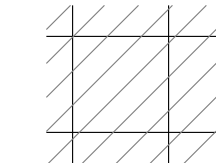
CEILING PLAN

A1.2

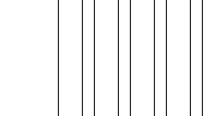
CEILING LEGEND



STANDARD CEILING:
TILE: SEE INTERIOR DECOR DWGS.
GRID: SEE INTERIOR DECOR DWGS.



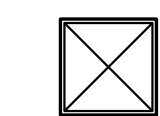
WASHABLE CEILING:
TILE: WASHABLE SURFACED TILE.
SEE INTERIOR DECOR DWGS.
GRID: SEE INTERIOR DECOR DWGS.



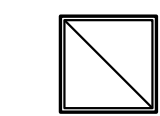
NEW SUSPENDED CANOPY. SEE
CANOPY DETAILS ON SHEET A5.1



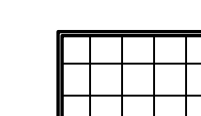
GYPSON BOARD CEILING. SEE
INTERIOR DECOR PLANS FOR COLOR



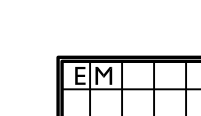
NEW COMPOSITE MATERIAL
SUPPLY AIR DIFFUSER



NEW COMPOSITE MATERIAL
RETURN AIR GRILLE



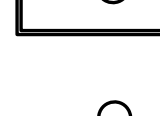
2X4 FIXTURE - PARABOLIC
MANUF: LSI
MODEL: PGN-24A-4-32-SSOHL-120
WATTAGE: 145.5 WATTS



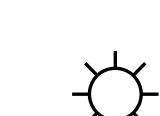
2X4 FIXTURE - PARABOLIC - EMERGENCY
MANUF: LSI
MODEL: PGN-24A-4-32-SSOHL-EM-120
WATTAGE: 145.5 WATTS
WITH 90 MIN. BATTERY BACKUP



2X4 FIXTURE - PRISMATIC
MANUF: LSI
MODEL: G-A-4-32-FA-SSOHL-120
WATTAGE: 145.5 WATTS



6" LED RECESSED CAN LIGHT
MANUF: JUNO
MODEL: TC1422LED3
WATTAGE: 25 WATTS



PENDANT LIGHT
SEE DECOR DRAWINGS FOR EXACT
LOCATIONS, MANUFACTURER AND MODEL
NUMBER OF FIXTURES, LAMPS AND SHADES



CANOPY LIGHT - WET LISTED LED
MANUF: LSI
MODEL: XSL2-S-50-CW-120-WHT-CMT (RETROFIT)
WATTAGE: 42 WATTS



EXTERIOR WALL LIGHT
MANUF: LSI
MODEL: XPWS3-FIT-LED-48-450-CW-UE-MSV
WATTAGE: 53 WATTS

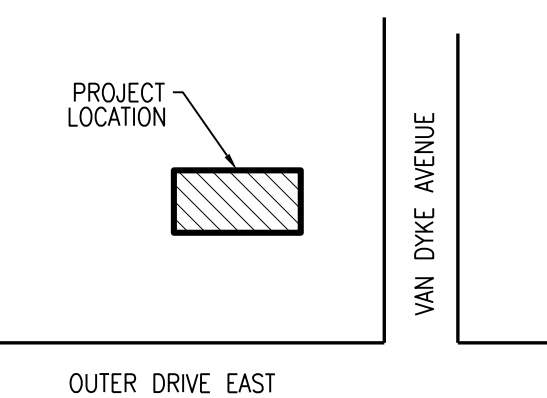


SECURITY LIGHTING SYSTEMS
#14104567, WALL MOUNTED EXIT
LIGHT W/ 90 MIN. BACKUP. EQUAL
TO NAVILITE NXP30WH. 2.7 WATT
TOTAL LED LAMPS.

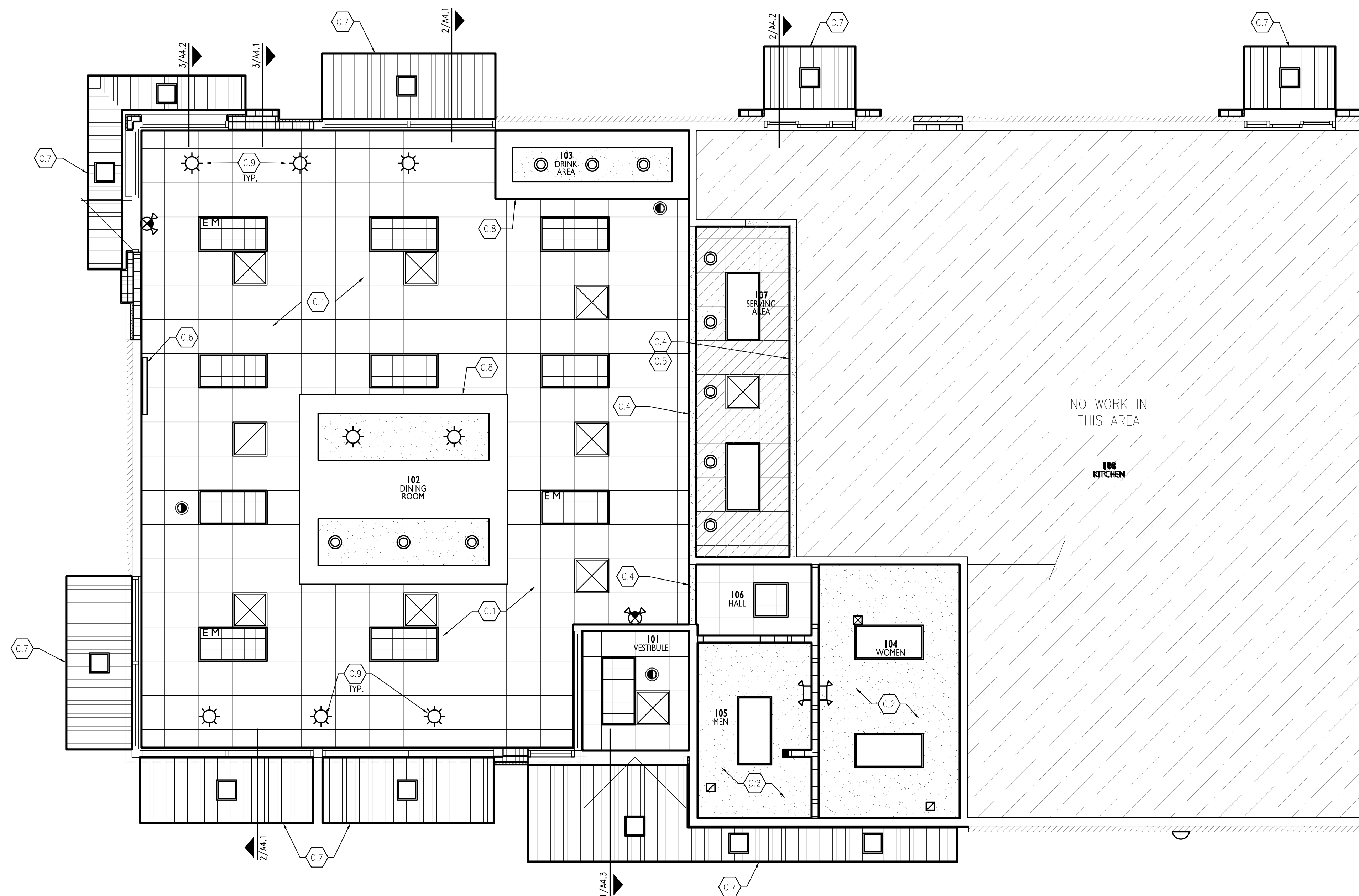
NOTE: REPLACE ALL EMERGENCY LIGHT FIXTURES THROUGHOUT THE FACILITY. ELECTRICAL CONTRACTOR TO ENSURE FUNCTIONALITY OF ALL EXISTING AND NEW EXIT SIGNS AND LIGHTS.

CEILING NOTES

- C.1 DINING ROOM, DRINK AREA, SERVING AREA AND HALL: PROVIDE NEW GRID, TILES, LIGHT FIXTURES, SUPPLY DIFFUSERS AND RETURN GRILLES TO MATCH EXISTING QUANTITIES AND IN EXISTING LOCATIONS AS SHOWN. VERIFY IN FIELD. SEE DECOR DRAWINGS FOR PENDANT LIGHT LOCATIONS.
- C.2 RESTROOMS: PATCH EXISTING CEILING WHERE PARTITION WALLS WERE REMOVED. PROVIDE NEW PAINTED FINISH ON EXISTING GYPSON CEILINGS. PROVIDE NEW LIGHTS AND DIFFUSERS TO MATCH EXISTING AS SHOWN.
- C.3 VESTIBULE: PROVIDE NEW PAINTED FINISH ON EXISTING GYPSON CEILINGS. PROVIDE NEW LIGHTS AND DIFFUSERS TO MATCH EXISTING AS SHOWN.
- C.4 EXISTING BULKHEAD TO REMAIN. SEE INTERIOR DECOR DRAWINGS FOR NEW FINISHES.
- C.5 EXISTING DIGITAL MENUBOARD TO REMAIN. PROVIDE NEW TILE FINISH BEHIND MENUBOARD PER INTERIOR DECOR DRAWINGS. PROVIDE STAINLESS STEEL WRAP ALONG BOTTOM OF MENUBOARD BULKHEAD.
- C.6 COORDINATE POWER AND DATA OUTLETS FOR WALL OR CEILING MOUNTED TV IN THIS AREA. COORDINATE WITH DECOR DRAWINGS FOR EXACT LOCATION.
- C.7 NEW SUSPENDED CANOPY WITH LIGHT FIXTURE. LIGHT FIXTURE BY CANOPY MANUFACTURER. CONTRACTOR TO MAKE ELECTRICAL CONNECTION.
- C.8 NEW CEILING DECOR BULKHEAD ELEMENT. SEE DECOR PLANS FOR HEIGHTS, SIZES, FINISHES AND LIGHT SELECTIONS.
- C.9 PENDANT LIGHTS WIRED TO EXISTING CIRCUITS. SEE DECOR PLANS FOR FIXTURE TYPES, QUANTITIES AND LOCATIONS.

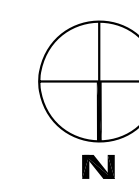


KEY PLAN



2 NEW CEILING PLAN

1/4" = 1'-0"





**CURRAN
ARCHITECTURE**

5719 LAWTON LOOP E. DR. #212
INDIANAPOLIS, IN 46216
O :: 317 . 288 . 0681
F :: 317 . 288 . 0753

OWNER



2100 RIVEREDGE PARKWAY
SUITE 850
ATLANTA, GA 30328
O :: 770 . 933 . 5023
F :: 770 . 933 . 5024

CERTIFICATION



THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF CURRAN ARCHITECTURE, AND ARE NOT TO BE USED OR REPRODUCED, WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF CURRAN ARCHITECTURE.
© COPYRIGHT 2016, CURRAN ARCHITECTURE

PROJECT INFORMATION

REMODEL TO:
BURGER KING # 6796
19901 VAN DYKE AVENUE
DETROIT, MICHIGAN 48234



ISSUE DATES

FOR CONSTRUCTION 03.10.2016

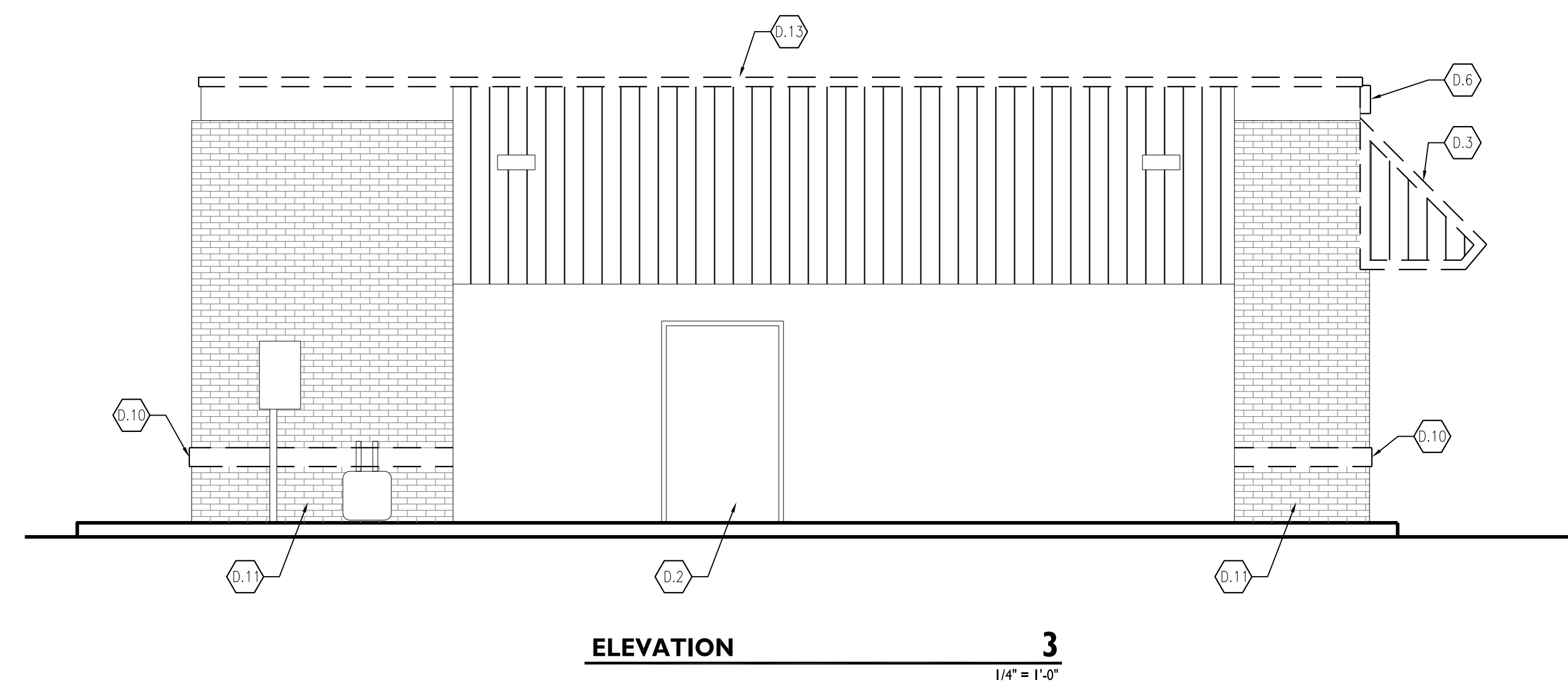
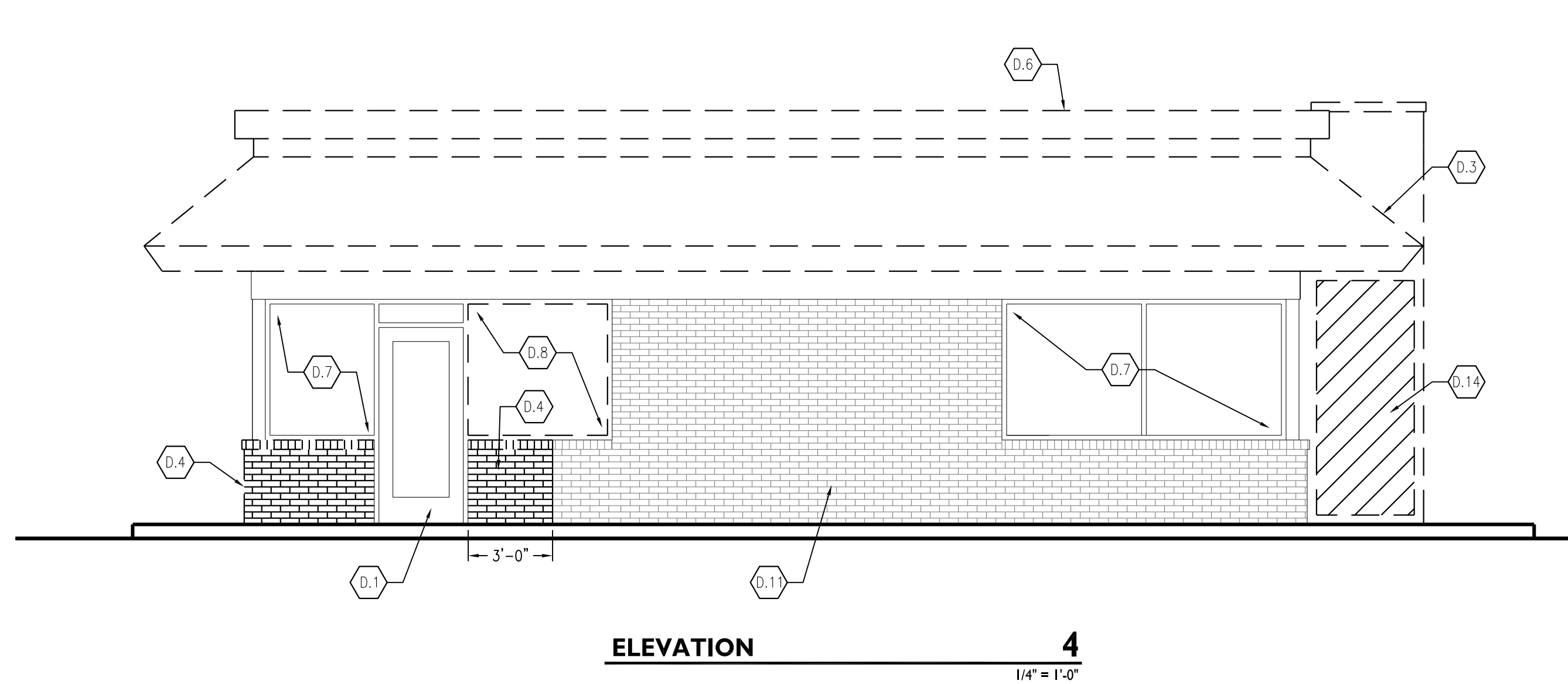
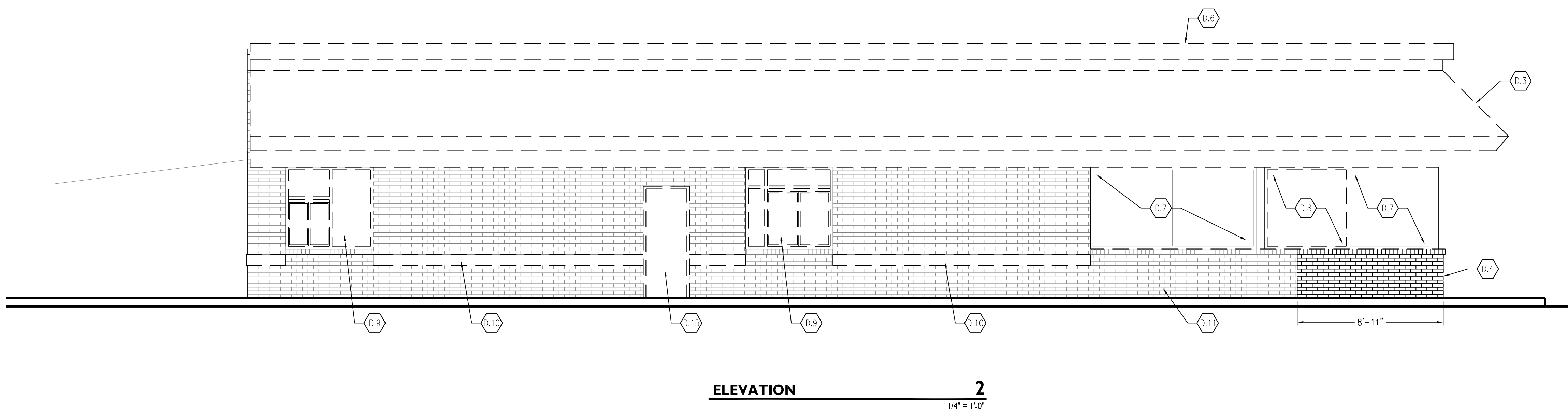
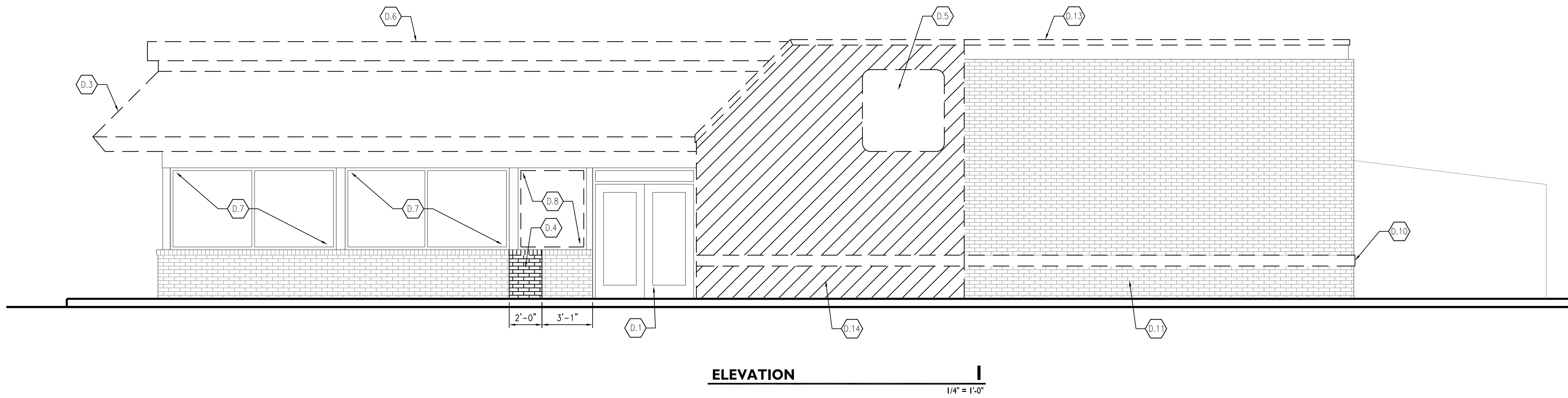
PROJECT NUMBER: 150265

DEMOLITION
ELEVATIONS

A2.1

DEMO KEY NOTES

- D.1 EXISTING STOREFRONT DOOR TO REMAIN.
- D.2 EXISTING HOLLOW METAL DOOR AND FRAME TO REMAIN, PAINT AS SHOWN.
- D.3 REMOVE EXISTING ASPHALT SHINGLE ROOFING, ROOF DECKING AND EXISTING TRUSSES AS SHOWN ON WALL SECTIONS.
- D.4 REMOVE MASONRY VENEER IN THIS AREA.
- D.5 REMOVE EXISTING BUILDING SIGNAGE.
- D.6 REMOVE EXISTING LIGHTED BAND ASSEMBLY AROUND ENTIRE BUILDING AS SHOWN.
- D.7 EXISTING STOREFRONT WINDOW SYSTEM TO REMAIN.
- D.8 REMOVE EXISTING ALUMINUM STOREFRONT WINDOW GLAZING PANEL AND FRAMING AT THIS OPENING ONLY. PREP OPENING FOR WALL INFILL.
- D.9 REMOVE EXISTING DRIVE-THRU WINDOW, PREP OPENING TO RECEIVE NEW WINDOW.
- D.10 REMOVE EXISTING HORIZONTAL TRIM BAND AROUND ENTIRE PERIMETER OF BUILDING.
- D.11 EXISTING MASONRY VENEER TO REMAIN, PREP SURFACE TO RECEIVE NEW PAINTED FINISH.
- D.12 REMOVE EXISTING EXTERIOR WALL LIGHT, PROVIDE NEW WALL LIGHTING AS SHOWN ON ELEVATION SHEET A2.2.
- D.13 REMOVE EXISTING WALL COPING, SEE WALL SECTIONS FOR ADDITIONAL INFO.
- D.14 REMOVE EXISTING SIDING AND PREP SHEATHING FOR NEW EXTERIOR FINISHES, COORDINATE WITH ELEVATIONS.
- D.15 REMOVE EXISTING DOOR AND FRAME COMPLETELY. PREP OPENING TO RECEIVE BRICK INFILL.





CURRAN
ARCHITECTURE

5719 LAWTON LOOP E. DR. #212
INDIANAPOLIS, IN 46216
O :: 317.288.0681
F :: 317.288.0753

OWNER



2100 RIVEREDGE PARKWAY
SUITE 850
ATLANTA, GA 30328
O :: 770.933.5023
F :: 770.933.5024

CERTIFICATION



THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF CURRAN ARCHITECTURE, AND ARE NOT TO BE USED OR REPRODUCED, WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF CURRAN ARCHITECTURE. © COPYRIGHT 2016, CURRAN ARCHITECTURE

PROJECT INFORMATION

REMODEL TO:
BURGER KING # 6796
19901 VAN DYKE AVENUE
DETROIT, MICHIGAN 48234



ISSUE DATES
FOR CONSTRUCTION 03.10.2016

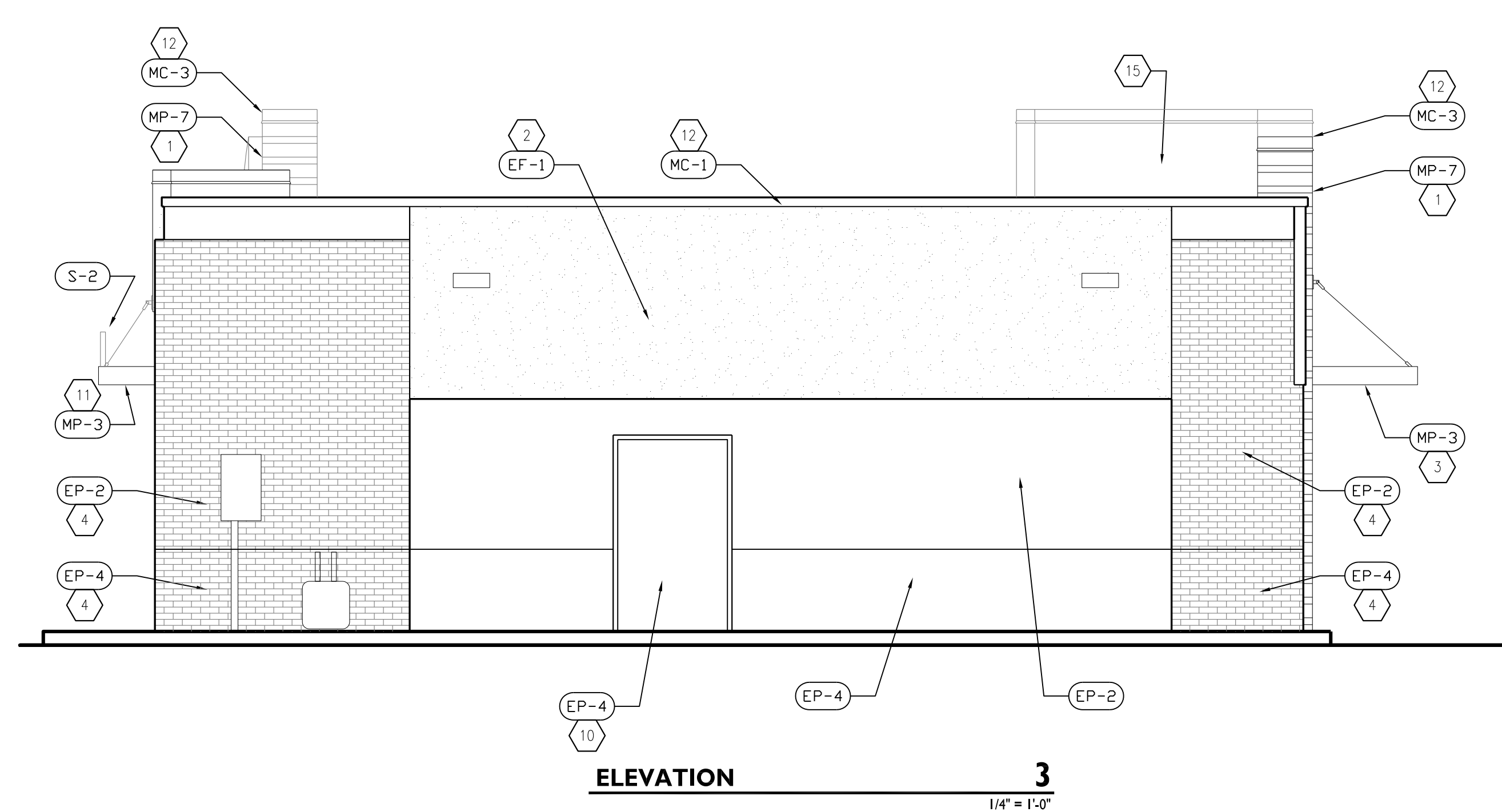
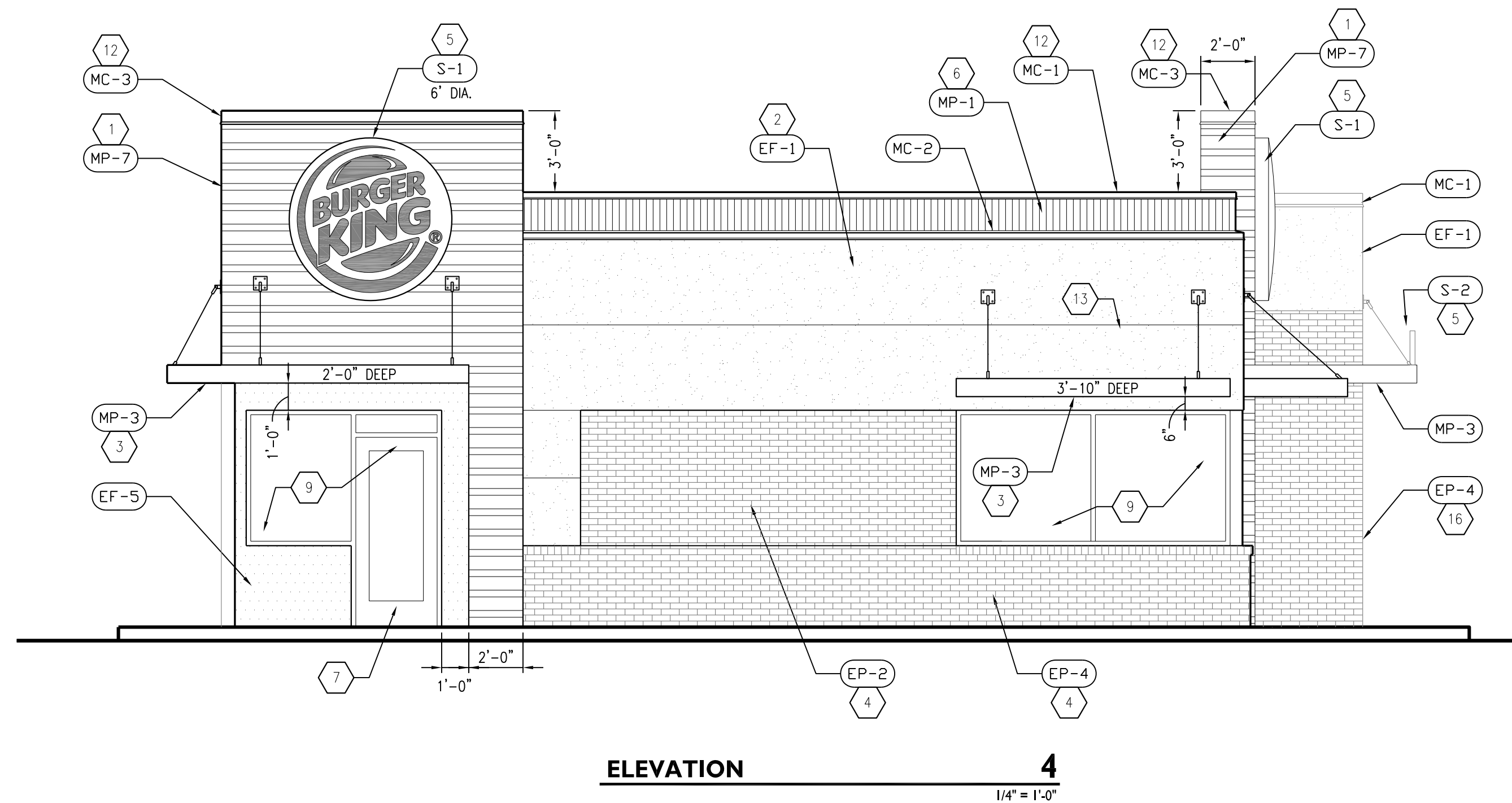
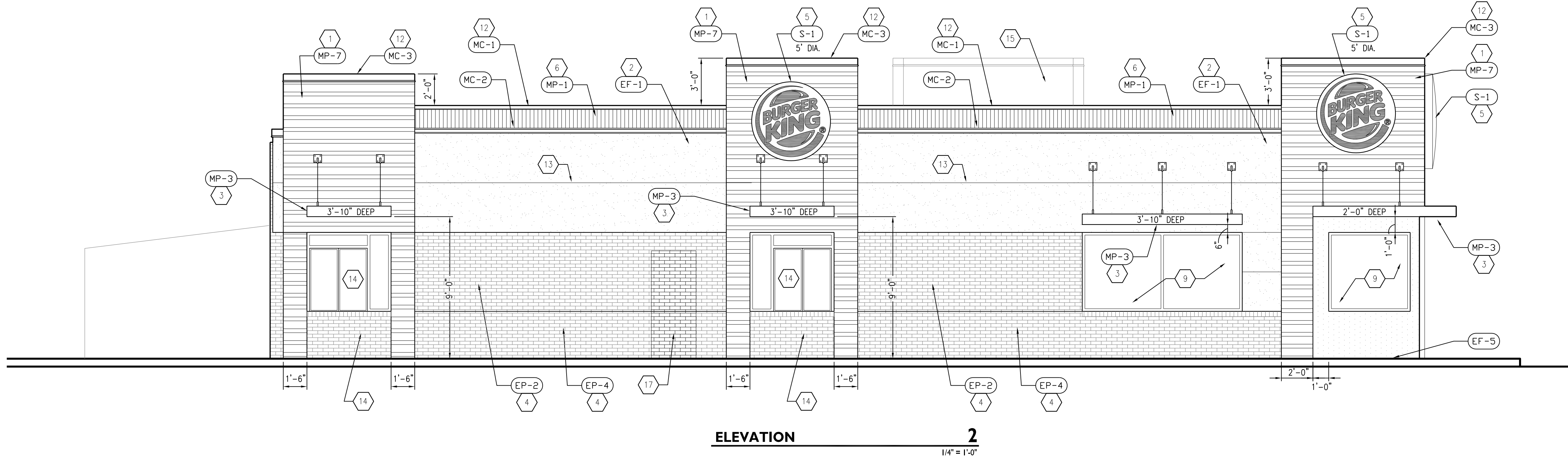
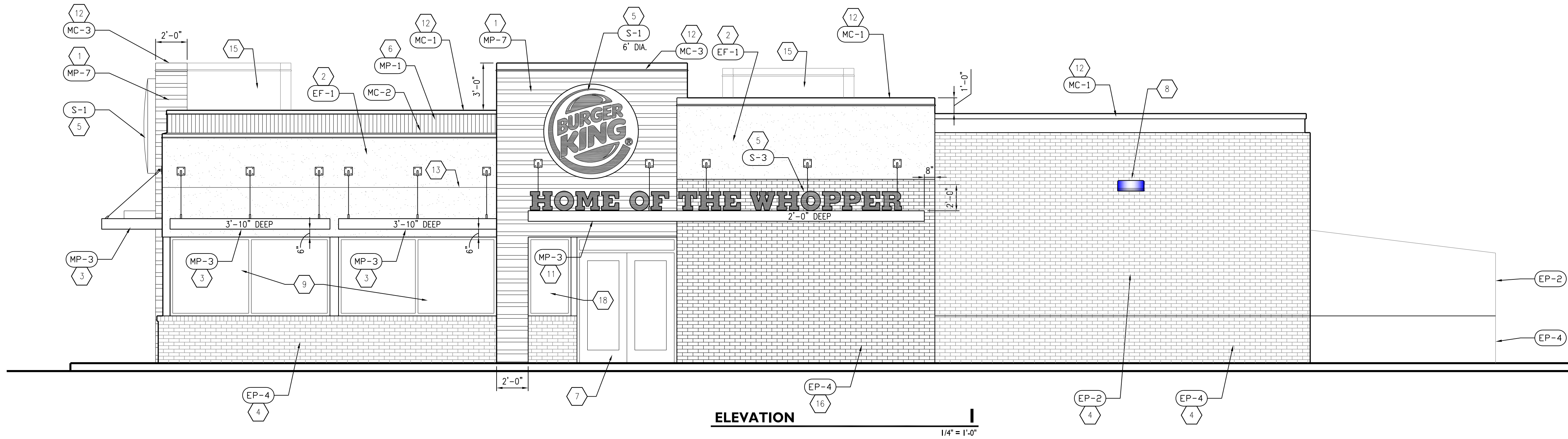
PROJECT NUMBER: 150265

NEW
ELEVATIONS

A2.2

KEY NOTES

- 1 NEW ARCHON WALL WITH METAL PANEL FINISH. SEE WALL SECTIONS FOR BRACING AT ROOF.
- 2 NEW EIFS FINISH OVER EXISTING EXTERIOR WALL SYSTEM. PROVIDE NEW FRAMING/SHEATHING AS REQ'D.
- 3 SUSPENDED CANOPY ABOVE WINDOWS, COORDINATE LOCATIONS OF WOOD BLOCKING FOR CANOPY BRACING.
- 4 EXISTING MASONRY VENEER, PAINT COLORS AS SHOWN.
- 5 NEW SIGNAGE, COORDINATE POWER REQUIREMENTS.
- 6 NEW LED LIGHTED BAND ASSEMBLY WIRED INTO EXISTING LIGHTING CIRCUITS.
- 7 EXISTING ALUMINUM STOREFRONT DOORS TO REMAIN.
- 8 NEW EXTERIOR LIGHT FIXTURE WIRED INTO EXISTING EXTERIOR LIGHTING CIRCUIT.
- 9 EXISTING ALUMINUM STOREFRONT WINDOW SYSTEM.
- 10 EXISTING HOLLOW METAL DOOR AND FRAME, PAINT AS SHOWN.
- 11 SUSPENDED CANOPY WITH "HOME OF THE WHOPPER" SIGN. SIGN IS FRONT LIT WITH LED STRIP FIXTURE, SEE DETAIL. COORDINATE POWER REQUIREMENTS.
- 12 NEW WALL COPING.
- 13 HORIZONTAL REVEAL IN EIFS.
- 14 NEW DRIVE THRU WINDOW.
- 15 BACK SIDE OF TOWERS TO BE FINISHED WITH "TAN" DURO-LAST ROOFING, SEE WALL SECTIONS.
- 16 NEW ADHERED THIN BRICK VENEER OVER (2) LAYERS OF 3" CONCRETE BACKER BOARD OVER WALL SHEATHING.
- 17 INFILL FORMER DOOR OPENING WITH FRAMING AND FINISHES TO MATCH EXISTING ADJACENT SURFACES.
- 18 NEW STOREFRONT WINDOW. FRAMING AND GLAZING TO MATCH EXISTING. VERIFY SIZE IN FIELD.



| BURGER KING- 20/20 LIGHT EXTERIOR | | | | | | | | |
|--------------------------------------|---|---|---|--|--|---|---|--|
| EXTERIOR MATERIALS & FINISH SCHEDULE | | | | | | | | |
| 12/2/2015 | | | | | | | | |
| CODE | MATERIAL | LOCATION | MANUFACTURER | PRODUCT | DESCRIPTION | DIMENSION | ADDITIONAL INFORMATION | |
| | | | | PRODUCT | COLOR | | | |
| EB-1 | EXTERIOR BRICK | GENERAL | EVOLUTION BRICK | MOD / QS TUMBLER (FULL BRICK) (THIN BRICK) | OLDF HILLSBORO SIERRA TUMBLER | | CONTACT: GABE POWERS (502) 558-4612 NOTE: USE WITH EGR-1 | |
| | | | PINE HALL BRICK | FACE BRICK | OLD IRVINGTON O/S | | CONTACT: THERESA BEANE (800) 334-8689 TBEANE@PINEHALLBRICK.COM NOTE: USE WITH EGR-1 | |
| | | | H.C. MUDDOX BRICK | THIN BRICK | BK WEST COAST BLEND | | CONTACT: SUNUP MATHEW (916) 708-9306 NOTE: USE WITH EGR-1 | |
| EB-1A (ALTERNATE) | EXTERIOR FINISH FIBER CEMENT BRICK PANELS | GENERAL | NICHIHA FIBER CEMENT | NICHIHA CANYON BRICK PANELS | UNFINISHED - MUST BE PAINTED TO MATCH EP-4 | 18" X 6' | CONTACT: ANDREW BRIGGS OR MATT STEPHENSON 866-424-4421 / 770-805-9466 INSTALL PER MANUFACTURER'S SPECIFICATIONS | |
| ECT-1 | EXTERIOR CERAMIC TILE | ACCENT AT BUILDING FRONT | DAL TILE | NATURAL HUES | #QH77 SCARLET STACKED BOND PATTERN | 6" X 12" | CONTACT: NATIONAL ACCOUNTS AT (877) 556-5728 EMAIL: NATIONAL.ACCOUNTS@DAL TILE.COM NOTE: USE WITH EGR-2 | |
| ECT-2 | EXTERIOR CERAMIC TILE | ACCENT AT BUILDING FRONT | | NATURAL HUES | #QH77 SCARLET Q1665 BULLNOSE | 6" X 6" | | |
| EF-1 | EXTERIOR FINISH - STUCCO, STO, FIBER CEMENT SIDING PANELS | GENERAL | STO OR APPROVED EQUAL | STO POWERWALL STUCCO SYSTEM TEXTURE : FINE SAND OR STO THERM CI EIFS SYSTEM | COLOR TO MATCH EP-2 PPG "TOP BUN" | | CONTACT: TIM SALERNO AT STO CORP (407) 466-5371 | |
| | | | NICHIHA FIBER CEMENT | NICHIHA ARCHITECTURALBLOCK - LARGE | PREPAINTED TO MATCH EP-2 - PPG "TOP BUN" STACKED BOND PATTERN | 18" X 6' | PERMISSIBLE ON REMODELS ONLY CONTACT: ANDREW BRIGGS OR MATT STEPHENSON 866-424-4421 / 770-805-9466 INSTALL PER MANUFACTURER'S SPECIFICATIONS | |
| EF-2 | EXTERIOR FINISH STUCCO | GENERAL | STO OR APPROVED EQUAL | STO POWERWALL STUCCO SYSTEM OR STO THERM CI EIFS SYSTEM | STUCCO OR STO MUST BE PAINTED TO MATCH EP-5 PPG "DEEP ONYX" | | CONTACT: TIM SALERNO AT STO CORP (407) 466-5371 | |
| EF-4 | EXTERIOR FINISH STUCCO | GENERAL | | | COLOR TO MATCH EP-4 PPG "MONTERREY CLIFFS" | | | |
| EF-5 | EXTERIOR FINISH STUCCO | GENERAL | | | COLOR TO MATCH EP-3 PPG "AMAZING" | | | |
| EF-7 | EXTERIOR FINISH FIBER CEMENT SIDING | EXTERIOR SIGN ARCHONS | NICHIHA FIBER CEMENT | NICHIHA BOARD 7-1/4" SMOOTH FINISH WITH 6-1/4" EXPOSURE TRIM IS 1 X 3.5" NICHITRIM | PAINT WITH SEMI-GLOSS PAINT - COLOR TO MATCH EP-5 PPG "DEEP ONYX" | | NOT PERMISSIBLE ON "ENHANCED" ELEVATION OPTION CONTACT: ANDREW BRIGGS OR MATT STEPHENSON 866-424-4421 / 770-805-9466 INSTALL PER MANUFACTURER'S SPECIFICATIONS | |
| | | | JAMES HARDIE | HARDIPLANK LAP SIDING 7-1/4" SMOOTH FINISH WITH 6-1/4" EXPOSURE TRIM IS 1 X 6 DIMENSIONAL HARDIPLANK LUMBER RIPPED IN HALF COUNTRY LEDGESTONE | | | NOT PERMISSIBLE ON "ENHANCED" ELEVATION OPTION INSTALL PER MANUFACTURER'S SPECIFICATIONS | |
| EF-8 | EXTERIOR FINISH STONE | EXTERIOR SIGN ARCHONS | BORAL STONE PRODUCTS | | BLACK RUNDLE | | CONTACT: 800-255-1727 Ashley.joyce@boral.com culturedstone@boral.com Contact: RICK GARLIN, PPG CORPORATE NATIONAL ACCOUNTS MANAGER phone: (317) 318-5800 email: garlin@ppg.com | |
| EP-2 | EXTERIOR PAINT | EXTERIOR GENERAL | PPG | PRIMER: 17-921 PAINT: 6-2045XI | TOP BUN 20YY 41/165 | | | |
| EP-3 | EXTERIOR PAINT | EXTERIOR ACCENT | | PRIMER: 17-921 PAINT: 3002-0500N | AMAZING 04YR 11/537 | | | |
| EP-4 | EXTERIOR PAINT | EXTERIOR WAINSCOT | | PRIMER: 17-921 PAINT: 6-2045XI | MONTERREY CLIFFS 10YY 14/080 | | | |
| EP-5 | EXTERIOR PAINT | EXTERIOR GENERAL | | PRIMER: 17-921 PAINT: 6-2045XI | DEEP ONYX 00NN 07/000 | | | |
| EP-6 | EXTERIOR PAINT | EXTERIOR ACCENT (For Metal Substrates Only) | | PRIMER: 6-212 PAINT: 6-230 | BURGER KING SILVER Custom Formula | | | NOTE: NOT FOR USE ON ROOFS FOR REMODELING. SEE EP-6A & EP-6B |
| EP-6A | EXTERIOR PAINT | EXISTING MANSARD ROOFS, SHINGLES & BARREL TILE | | PRIMER: 17-921 PAINT: 90-1110 | GRIMMY'S GREY 00NN 20/000 | | | NOTE: FOR REMODELS ONLY |
| EP-6B | EXTERIOR PAINT | EXISTING STANDING SEAM METAL ROOF | | PRIMER: 90-712 PAINT: 90-1110 | MARCH WIND Custom Formula | | | NOTE: FOR REMODELS ONLY |
| EXT | EXTERIOR PAINT | POLES & SIGNS | | PRIMER: 90-712 PAINT: 90-353 | BLACK | | | |
| EGR-1 | GROUT | BRICK | | FLAMINGO-BRIXMENT | COLOR CEMENT | C-244/B-12 | | CONTACT: MIKE ROSE @ ESSROC (502) 741-3923 NOTE: USE WITH EB-1 & EB-1A |
| EGR-2 | GROUT | CERAMIC TILE | | CUSTOM BUILDING PRODUCTS | POLYBLEND SANDED | #60 CHARCOAL | | NOTE: USE WITH CT-1 ON EXTERIOR FINISH SCHEDULE *** FOR SETTING MATERIALS USE COMPLETE CONTACT RAPID SET *** SEAL GROUT WITH AQUAMIX SEALERS CHOICE GOLD CONTACT: W.P. HICKMAN COMPANY (828)676-1700 WWW.WPH.COM |
| MC-1 | METAL COPING | TOP OF LIGHT BAND WALL CAP | | W.P. HICKMAN SYSTEMS, INC. | PERMA SNAP PLUS | A-30 SILVERSMITH | | CONTACT: W.P. HICKMAN COMPANY (828) 676-1700 |
| MC-2 | METAL COPING | BELOW LIGHT BAND | | | PERMA SNAP PLUS | FACTORY FINISH TO MATCH PPG TOP BUN | | CONTACT: W.P. HICKMAN COMPANY (828) 676-1700 |
| MC-3 | METAL COPING | TOP OF ARCHON | | | PERMA SNAP PLUS | FACTORY FINISH TO MATCH PPG DEEP ONYX | | CONTACT: W.P. HICKMAN COMPANY (828) 676-1700 |
| MP-1 | CORRUGATED METAL | PARAPET BAND | LEKTRON *SEE APPROVED SIGN SUPPLIERS | LED LIGHT BAND | FACTORY FINISH TO MATCH EP-1 | *SEE PLANS | PRODUCT INFORMATION: JOHN FITZWILSON AT LEKTRON (800) 634-4059 OR (918) 622-4978 EXT 302 Email: Jfitzwilson@lektroninc.com | |
| MP-3 | METAL CANOPY | ABOVE DOORS | *SEE APPROVED CANOPY SUPPLIERS | CUSTOM METAL CANOPY | COLOR: CLEAR ANODIZED | *SEE PLANS | | |
| MP-4 | METAL AWNING / SSM ROOFING | ABOVE WINDOWS / MANSARD ROOFING | FIRESTONE | STANDING SEAM METAL ROOF UC-4 PROFILE | SILVER METALLIC SR | *SEE PLANS | CONTACT: FERNANDO ELY 317-816-3816 | |
| | | | METAL PRODUCTS BERRIDGE ROOFING | STANDING SEAM METAL ROOF CEE-LOCK | PREMIUM METALLIC - ZINC COTE | *SEE PLANS | CONTACT: (210) 650-7047 | |
| | | | METAL PRODUCTS | | | | | |
| MP-5 | METAL PANEL | BELOW DRIVE THROUGH WINDOW | CENTRIA | CONCEPT SERIES CS200E | 9946 SILVERSMITH | | PRODUCT INFORMATION: JON SCHLOSSER AT CENTRIA (513) 793-9160 TO PURCHASE: JIM ABNER AT METALWORKS PLUS/BK (859) 442-5666 | |
| | | | MORIN | METAL PANEL XC-12 | BRIGHT SILVER METALLIC | | CONTACT: DANIEL DAVENPORT AT (800) 640-9501 Email: daniel@morincorp.com | |
| MP-7 | CORRUGATED METAL PANELS | EXTERIOR SIGN ARCHONS | MORIN | METAL PANEL X-12 | CS82544 RICH BLACK | | CONTACT: DANIEL DAVENPORT AT (800) 640-9501 Email: daniel@morincorp.com | |
| | | | EXCEPTIONAL METALS | MASTERLINE 16 PANELS SIGNATURE 200 | COAL BLACK | | CONTACT: Elwood Newsome (800) 248-0280 Email: emestimating@exceptionalmetals.com | |



CURRAN
ARCHITECTURE

5719 LAWTON LOOP E. DR. #212
INDIANAPOLIS, IN 46216
O :: 317 . 288 . 0681
F :: 317 . 288 . 0753

OWNER



2100 RIVEREDGE PARKWAY
SUITE 850
ATLANTA, GA 30328
O :: 770 . 933 . 5023
F :: 770 . 933 . 5024

CERTIFICATION



THIS DRAWING AND THE IDEAS, DESIGNS
AND CONCEPTS CONTAINED HEREIN ARE
THE EXCLUSIVE INTELLECTUAL PROPERTY
OF CURRAN ARCHITECTURE, AND ARE NOT
TO BE USED OR REPRODUCED, WHOLE OR
IN PART, WITHOUT THE WRITTEN
CONSENT OF CURRAN ARCHITECTURE.
© COPYRIGHT 2016, CURRAN
ARCHITECTURE

PROJECT INFORMATION

REMODEL TO:
BURGER KING # 6796
19901 VAN DYKE AVENUE
DETROIT, MICHIGAN 48234



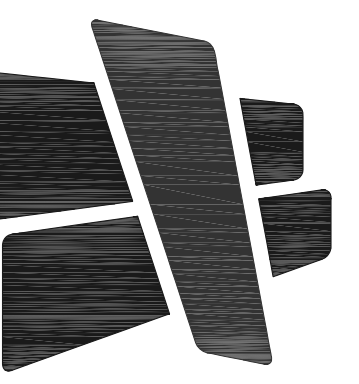
ISSUE DATES

FOR CONSTRUCTION 03.10.2016

PROJECT NUMBER: 150265

FINISH
SCHEDULE

A2.3



CURRAN ARCHITECTURE

5719 LAWTON LOOP E. DR. #212
INDIANAPOLIS, IN 46216
O :: 317 . 288 . 0681
F :: 317 . 288 . 0753

OWNER



2100 RIVEREDGE PARKWAY
SUITE 850
ATLANTA, GA 30328
O :: 770 . 933 . 5023
F :: 770 . 933 . 5024

CERTIFICATION



THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF CURRAN ARCHITECTURE, AND ARE NOT TO BE USED OR REPRODUCED, WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF CURRAN ARCHITECTURE. © COPYRIGHT 2016, CURRAN ARCHITECTURE

PROJECT INFORMATION

REMODEL TO:
BURGER KING # 6796
19901 VAN DYKE AVENUE
DETROIT, MICHIGAN 48234



ISSUE DATES

FOR CONSTRUCTION 03.10.2016

PROJECT NUMBER: 150265

DEMO & NEW ROOF PLANS

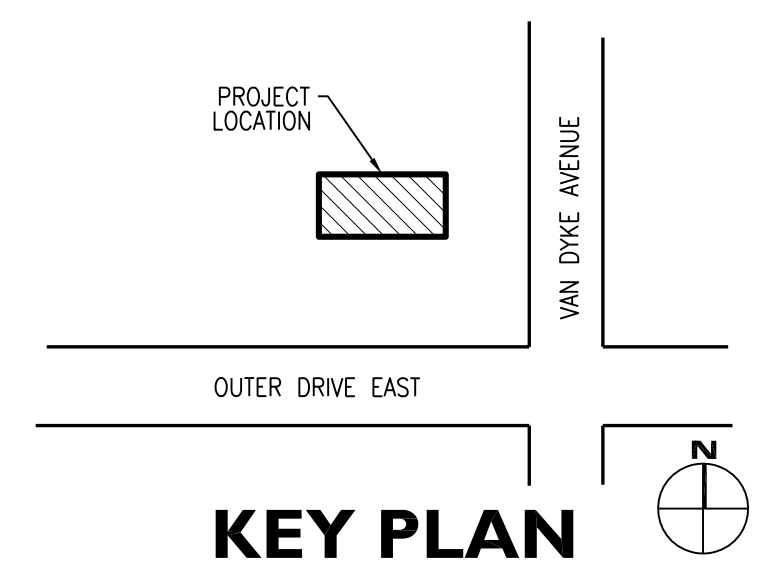
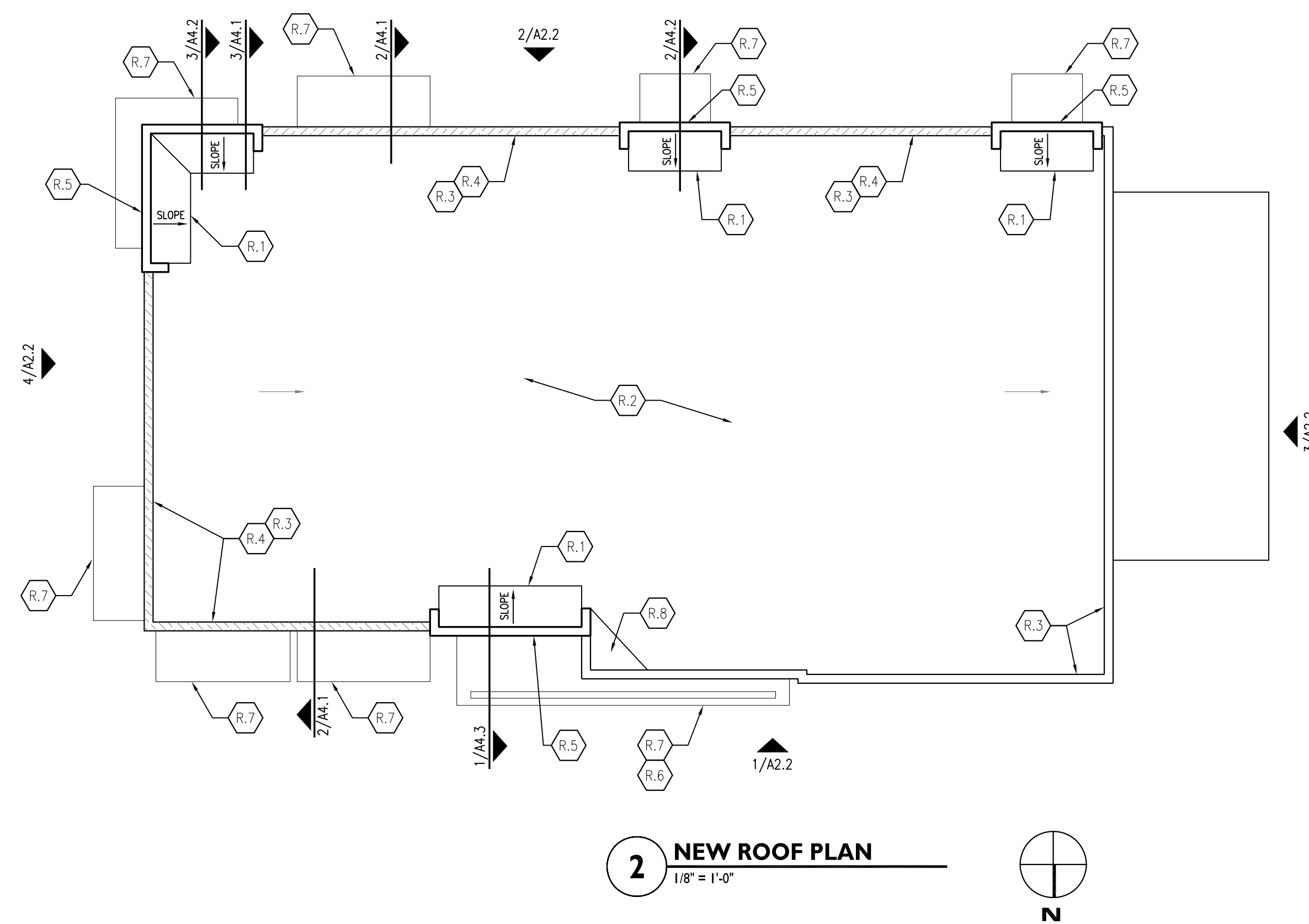
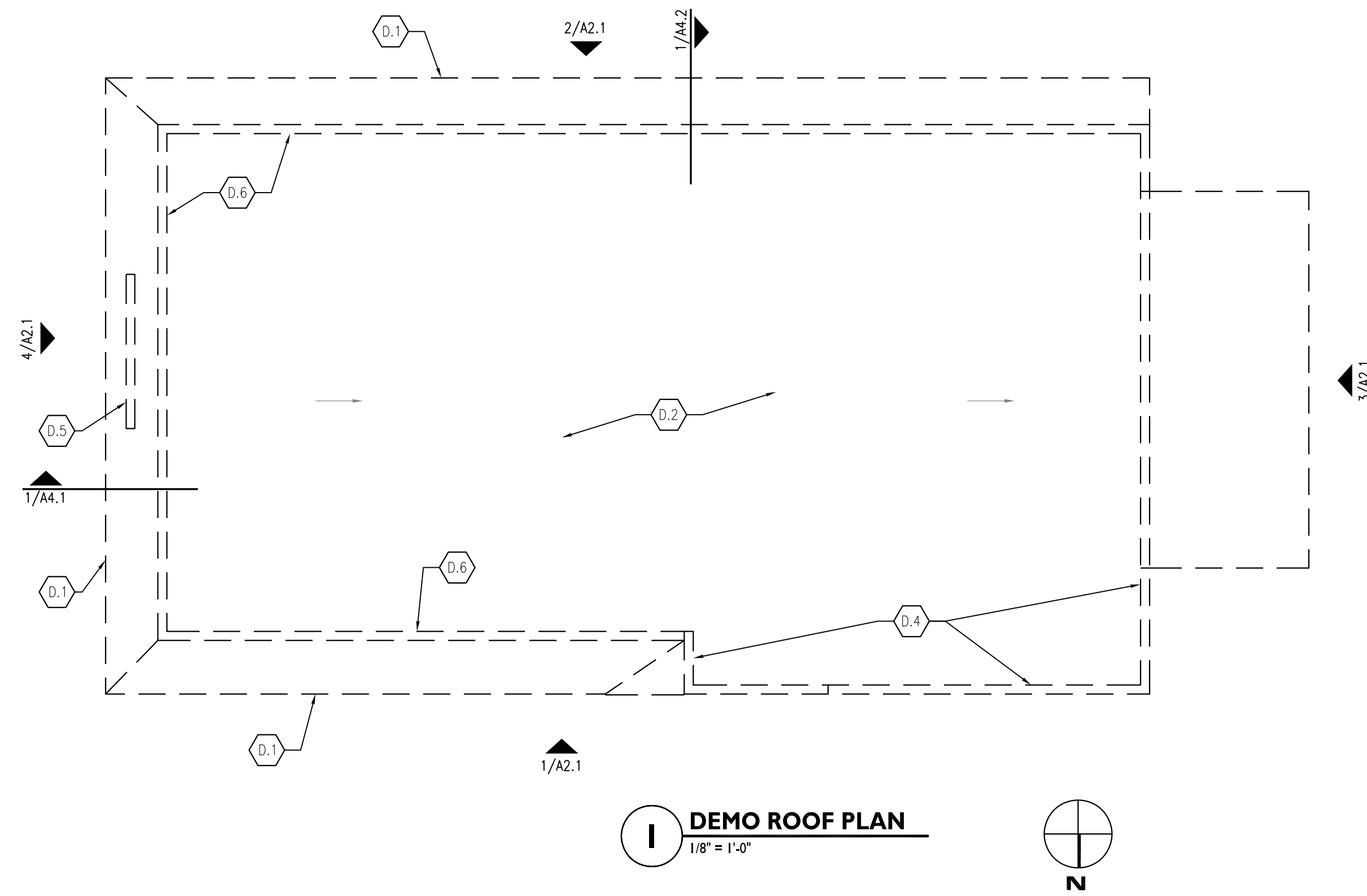
A3.1

DEMO ROOF NOTES

- D.1 REMOVE EXISTING ASPHALT SHINGLE ROOFING AND ENTIRE MANSARD ROOF ASSEMBLY, INCLUDING PORTIONS OF EXISTING TRUSSES AS SHOWN IN WALL SECTIONS, TO EXTENTS SHOWN ON PLAN.
- D.2 EXISTING ROOFING MEMBRANE TO REMAIN. COORDINATE WITH OWNER FOR ANY REQUIRED MAINTENANCE WORK.
- D.3 NOT USED.
- D.4 REMOVE EXISTING WALL COPING. PREP PARAPET WALL TO RECEIVE NEW COPING.
- D.5 REMOVE EXISTING SIGNAGE.
- D.6 REMOVE EXISTING LIGHTED BAND AND WALL COPINGS.

NEW ROOF NOTES

- R.1 NEW ROOF FRAMING, SHEATHING, RIGID INSULATION AND ROOFING MEMBRANE TO MATCH EXISTING. SEE WALL SECTIONS.
- R.2 EXISTING ROOFING MEMBRANE TO REMAIN. COORDINATE WITH OWNER FOR ANY REQUIRED MAINTENANCE WORK.
- R.3 NEW WALL COPINGS, SEE EXTERIOR ELEVATIONS FOR COLORS.
- R.4 LIGHTED BAND ASSEMBLY WITH LED LAMPS, TIE INTO EXISTING LIGHTING CIRCUITS.
- R.5 TOWER WALL FRAMING, SEE ELEVATIONS FOR HEIGHTS AND MATERIALS.
- R.6 'HOME OF THE WHOPPER' SIGN.
- R.7 NEW CANOPY SYSTEM.
- R.8 PROVIDE OVERBUILD ROOF FRAMING AS REQUIRED IN AREA OF EXISTING CLIPPED ROOF. VERIFY EXTENTS IN FIELD. PROVIDE NEW RIGID INSULATION AND ROOF MEMBRANE TO MATCH EXISTING.





CURRAN ARCHITECTURE

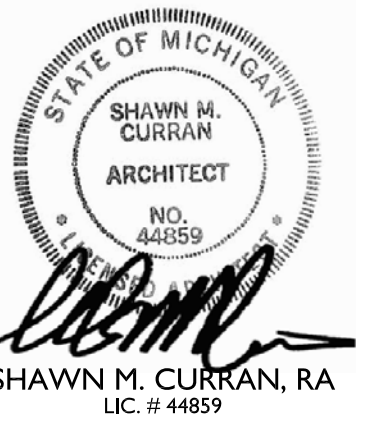
5719 LAWTON LOOP E. DR. #212
INDIANAPOLIS, IN 46216
O :: 317 . 288 . 0681
F :: 317 . 288 . 0753

OWNER



2100 RIVEREDGE PARKWAY
SUITE 850
ATLANTA, GA 30328
O :: 770 . 933 . 5023
F :: 770 . 933 . 5024

CERTIFICATION



THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF CURRAN ARCHITECTURE, AND ARE NOT TO BE USED OR REPRODUCED, WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF CURRAN ARCHITECTURE. © COPYRIGHT 2016, CURRAN ARCHITECTURE

PROJECT INFORMATION

REMODEL TO:
BURGER KING # 6796
19901 VAN DYKE AVENUE
DETROIT, MICHIGAN 48234



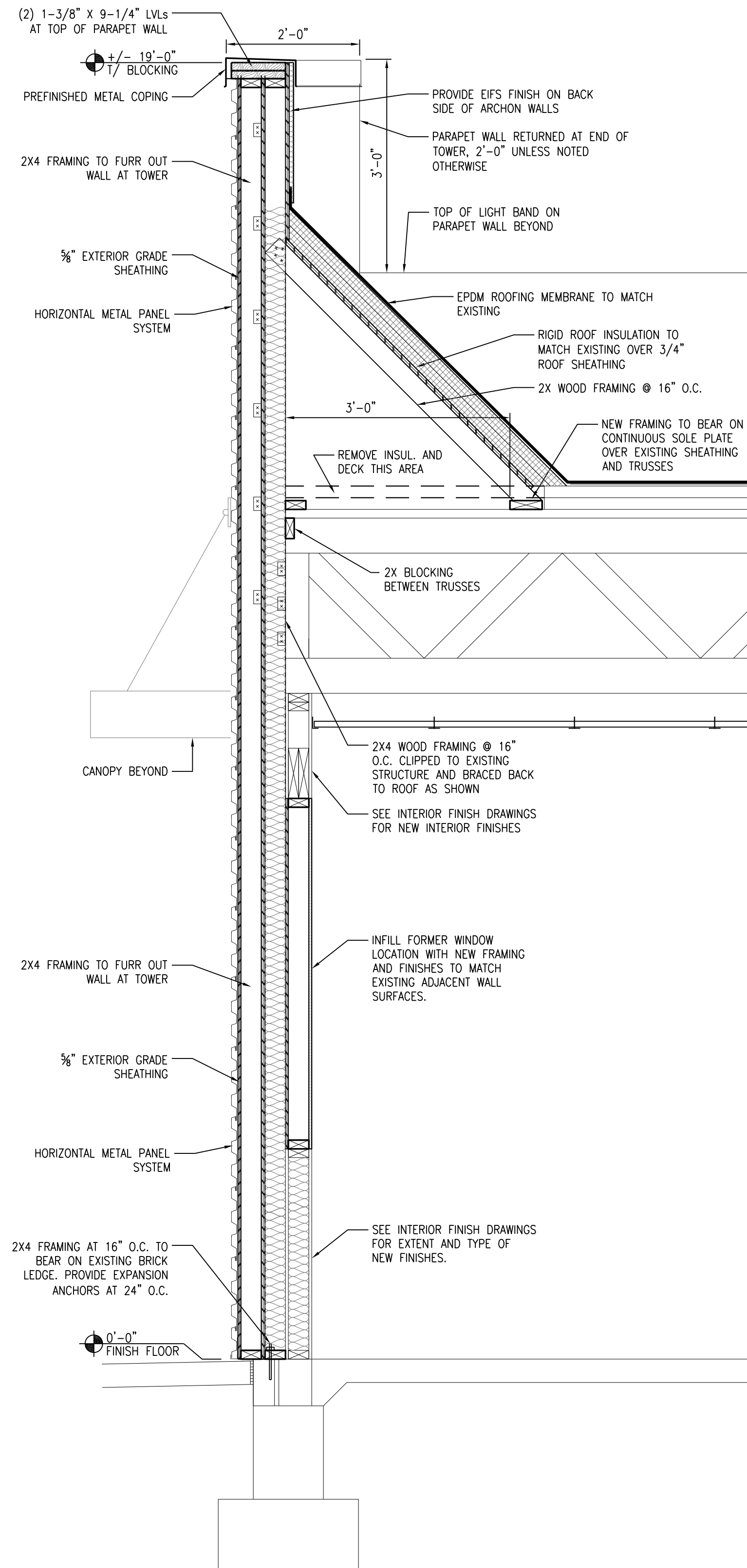
ISSUE DATES

FOR CONSTRUCTION 03.10.2016

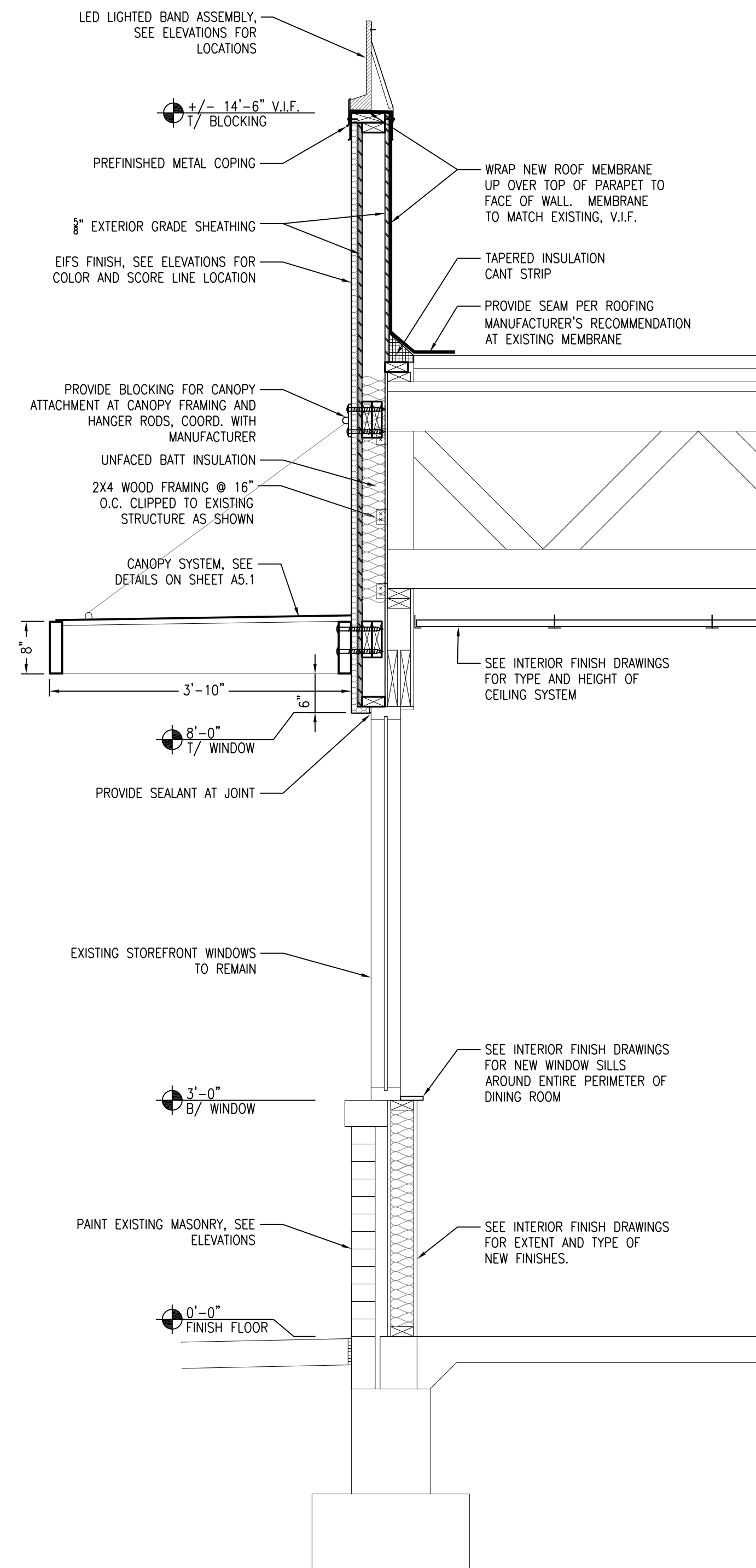
PROJECT NUMBER: 150265

WALL SECTIONS

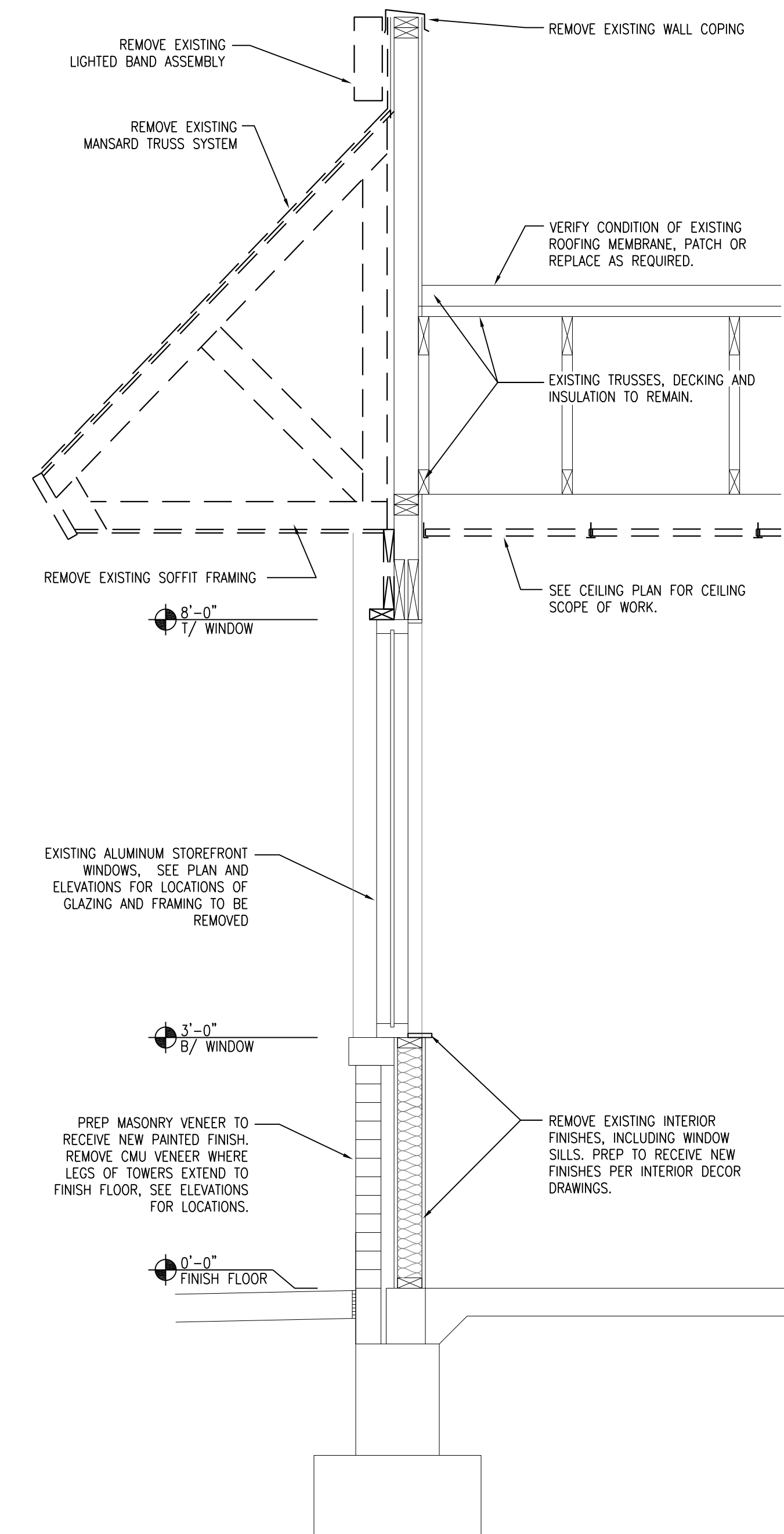
A4.I



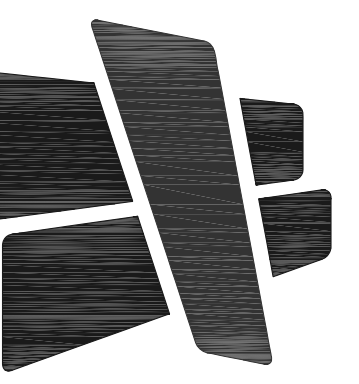
3 SECTION AT ENTRY TOWER LEG
3/4\" = 1'-0"



2 TYPICAL SECTION AT EXIST. WINDOW
3/4\" = 1'-0"



1 TYPICAL DEMO AT EXIST. WINDOW
3/4\" = 1'-0"



CURRAN ARCHITECTURE

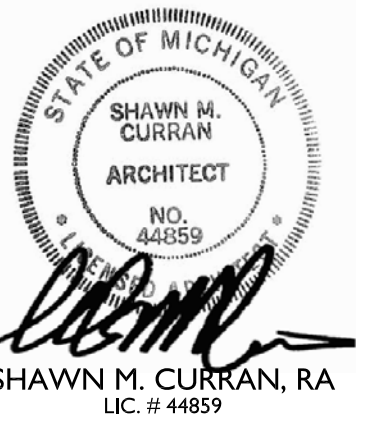
5719 LAWTON LOOP E. DR. #212
INDIANAPOLIS, IN 46216
O :: 317.288.0681
F :: 317.288.0753

OWNER



2100 RIVEREDGE PARKWAY
SUITE 850
ATLANTA, GA 30328
O :: 770.933.5023
F :: 770.933.5024

CERTIFICATION



THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF CURRAN ARCHITECTURE AND ARE NOT TO BE USED OR REPRODUCED, WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF CURRAN ARCHITECTURE. © COPYRIGHT 2016, CURRAN ARCHITECTURE

PROJECT INFORMATION

REMODEL TO:
BURGER KING # 6796
19901 VAN DYKE AVENUE
DETROIT, MICHIGAN 48234



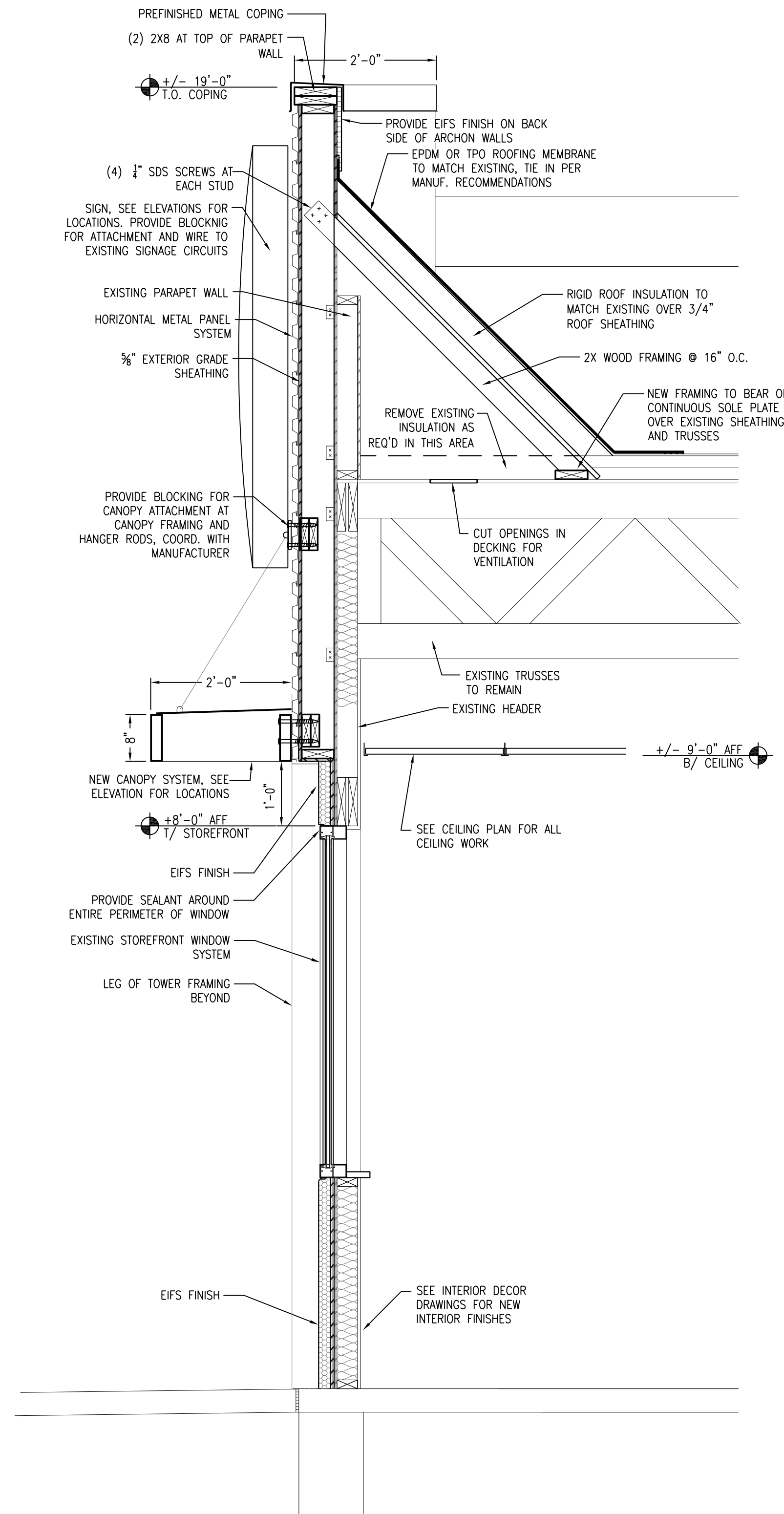
ISSUE DATES

FOR CONSTRUCTION 03.10.2016

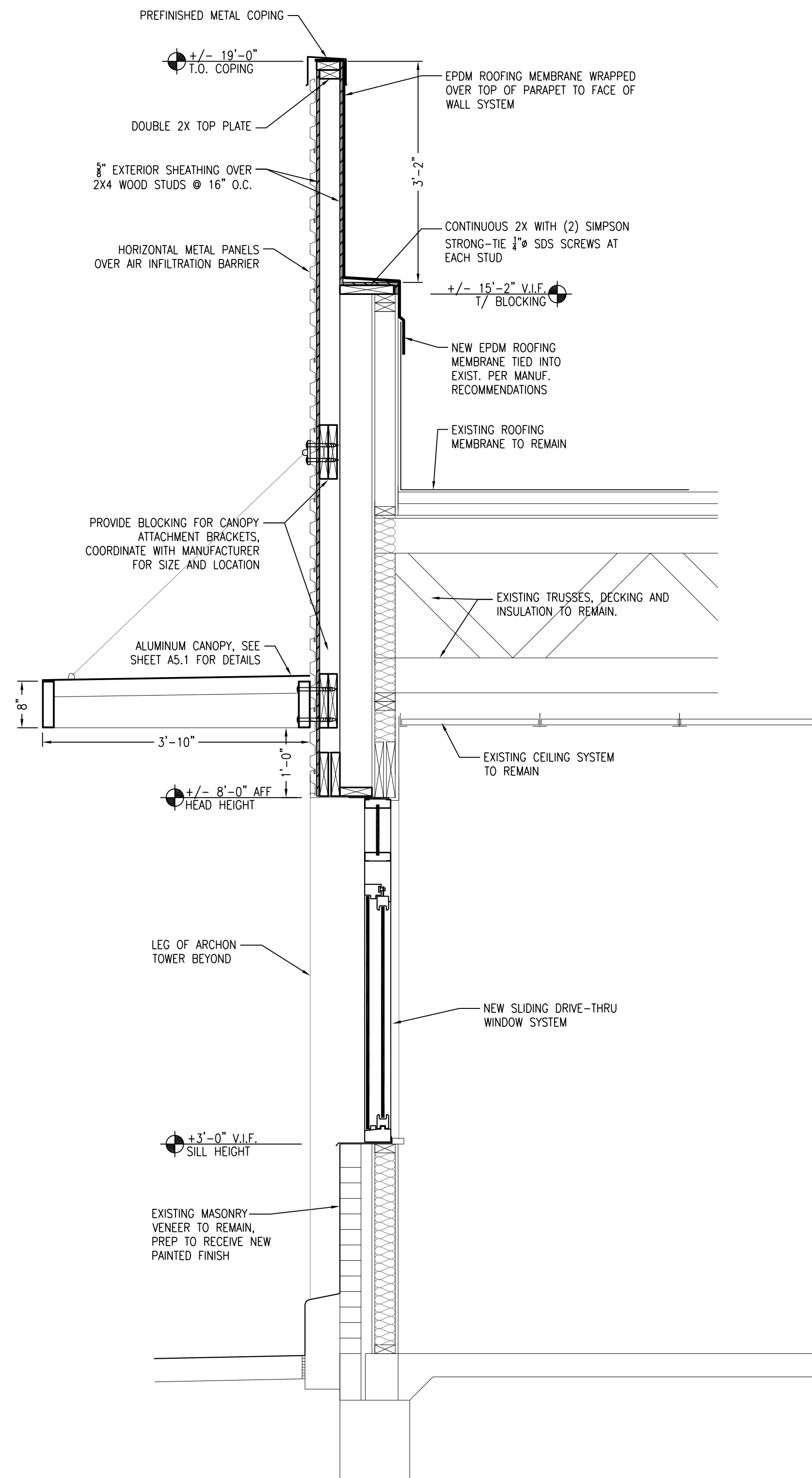
PROJECT NUMBER: 150265

WALL SECTIONS

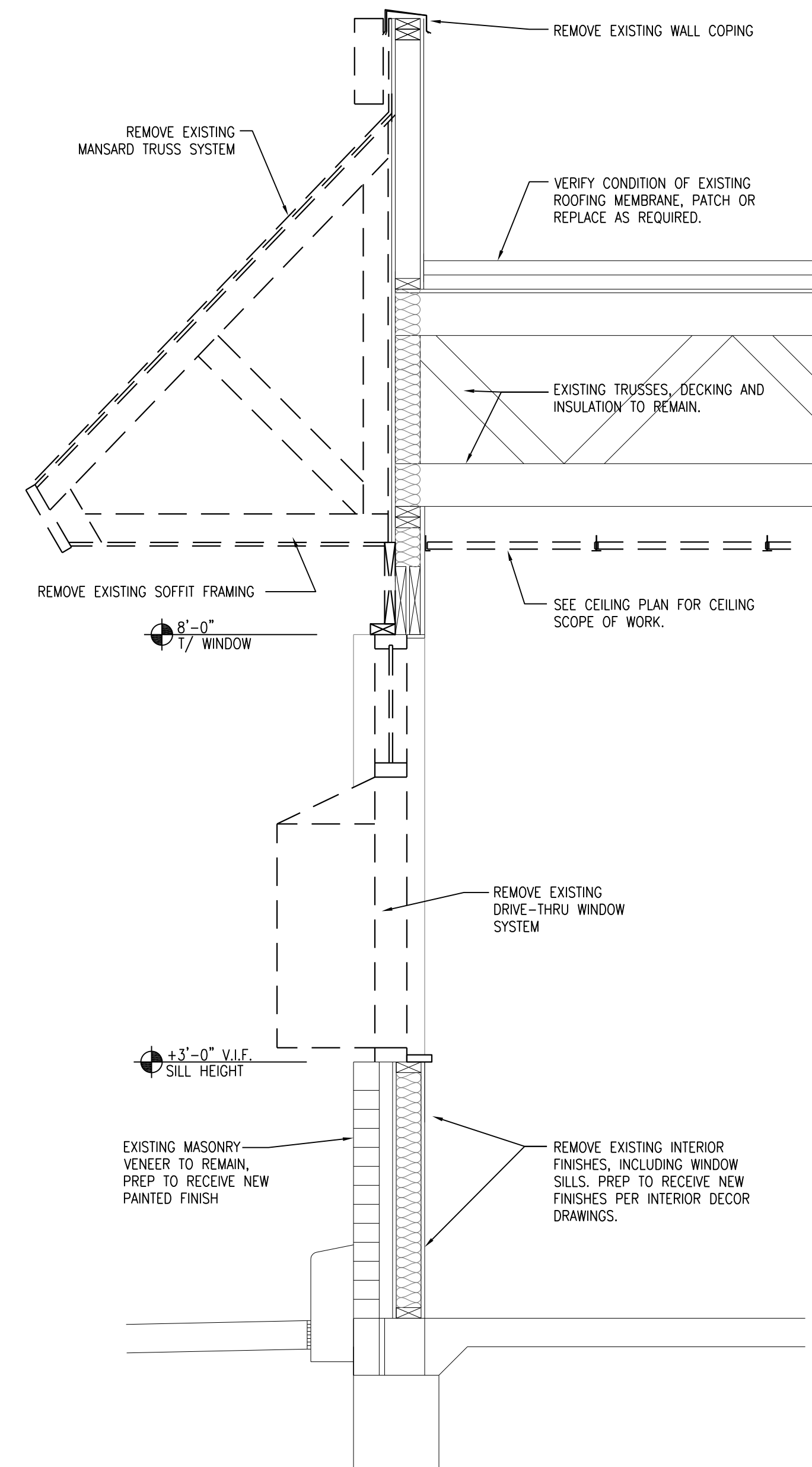
A4.2



3 CORNER TOWER WALL SECTION
3/4" = 1'-0"



2 NEW DRIVE-THRU WALL SECTION
3/4" = 1'-0"



1 DEMO DRIVE-THRU WALL SECTION
3/4" = 1'-0"



CURRAN ARCHITECTURE

5719 LAWTON LOOP E. DR. #212
INDIANAPOLIS, IN 46216
O :: 317 . 288 . 0681
F :: 317 . 288 . 0753

OWNER



2100 RIVEREDGE PARKWAY
SUITE 850
ATLANTA, GA 30328
O :: 770 . 933 . 5023
F :: 770 . 933 . 5024

CERTIFICATION



THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF CURRAN ARCHITECTURE, AND ARE NOT TO BE USED OR REPRODUCED, WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF CURRAN ARCHITECTURE.
© COPYRIGHT 2016, CURRAN ARCHITECTURE

PROJECT INFORMATION

REMODEL TO:
BURGER KING # 6796
19901 VAN DYKE AVENUE
DETROIT, MICHIGAN 48234



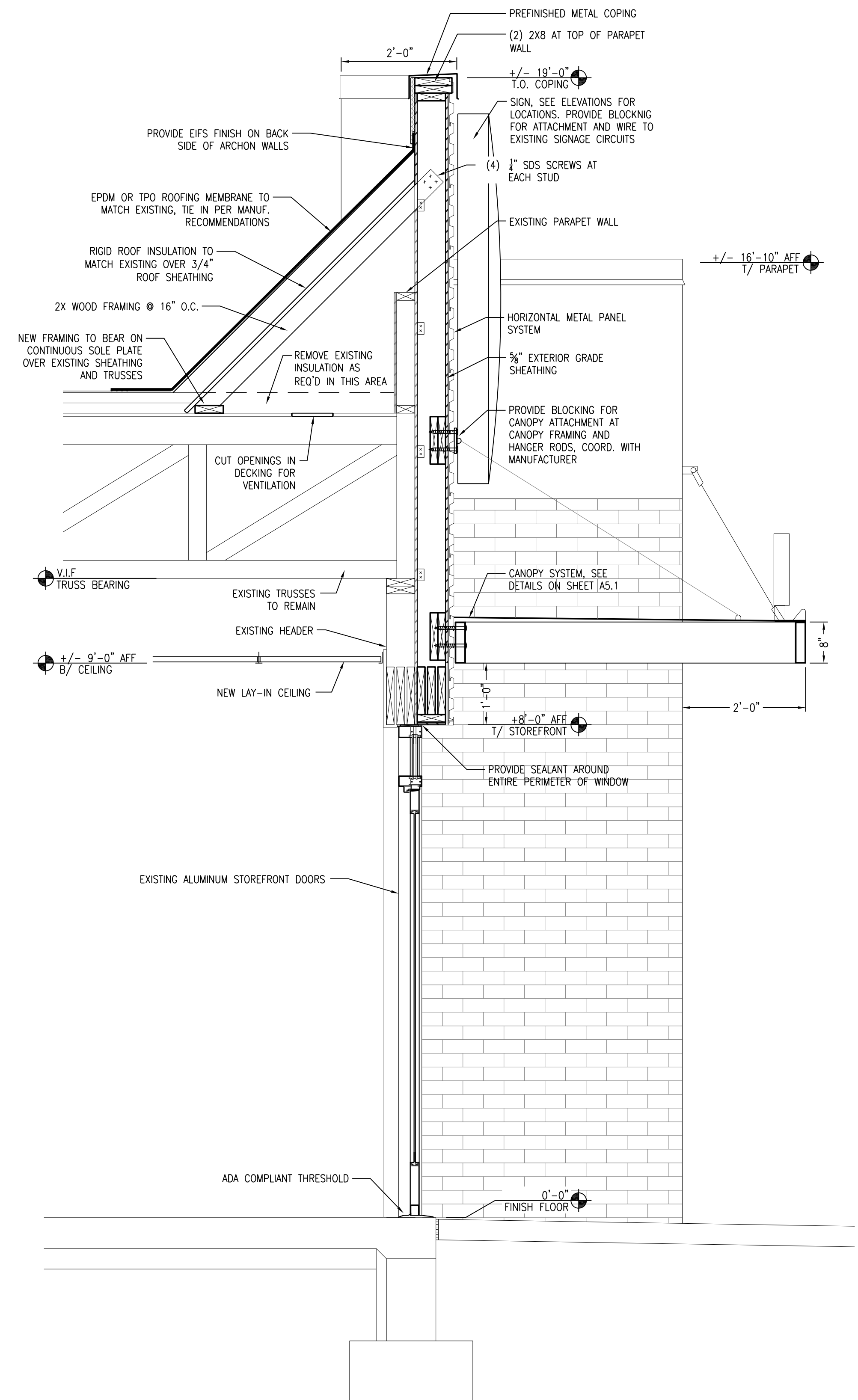
ISSUE DATES

FOR CONSTRUCTION 03.10.2016

PROJECT NUMBER: 150265

WALL SECTIONS

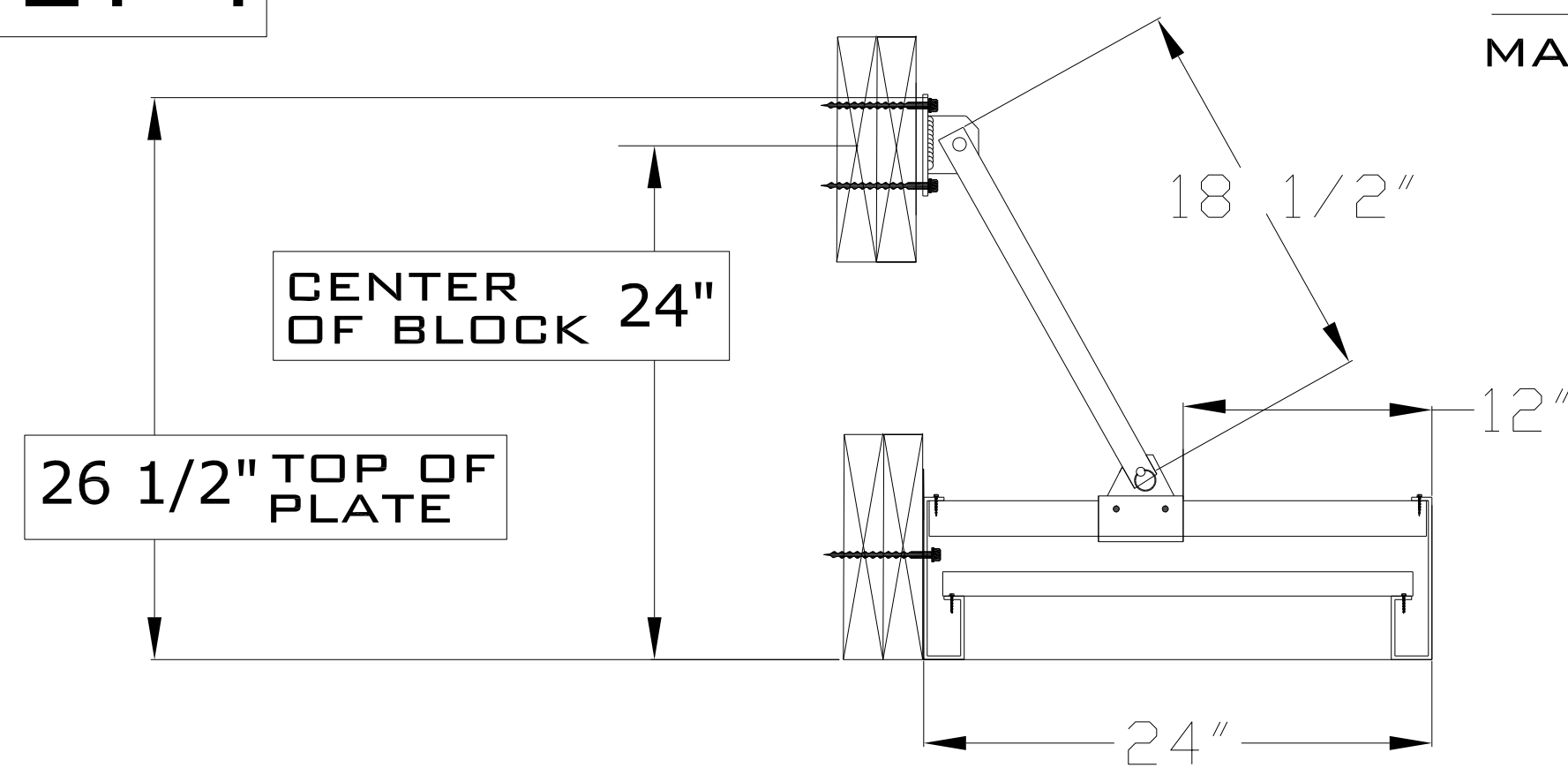
A4.3



I ENTRY CANOPY WALL SECTION
3/4" = 1'-0"

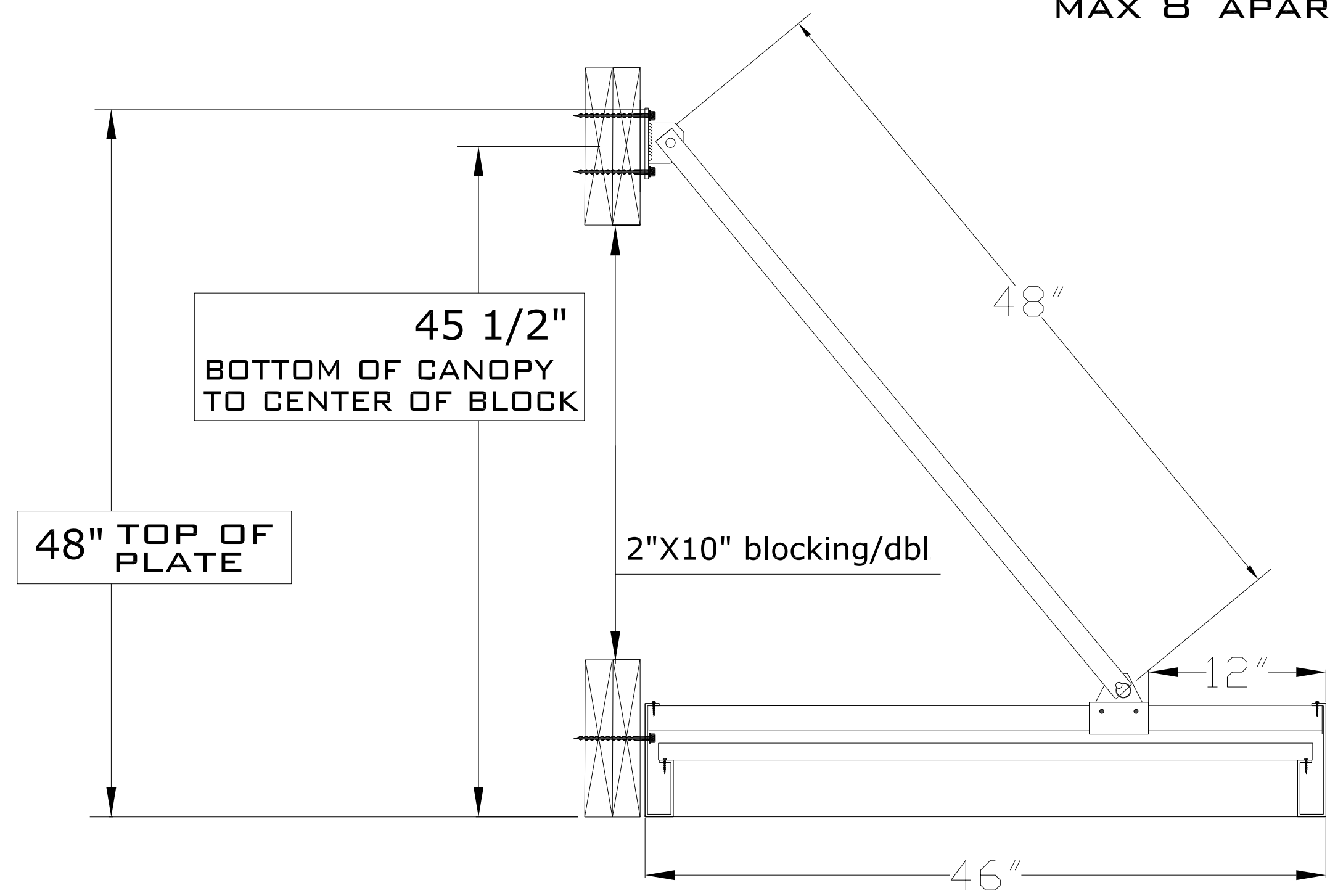
DET-1

ROD SPACING
MAX 10' APART



DET-2

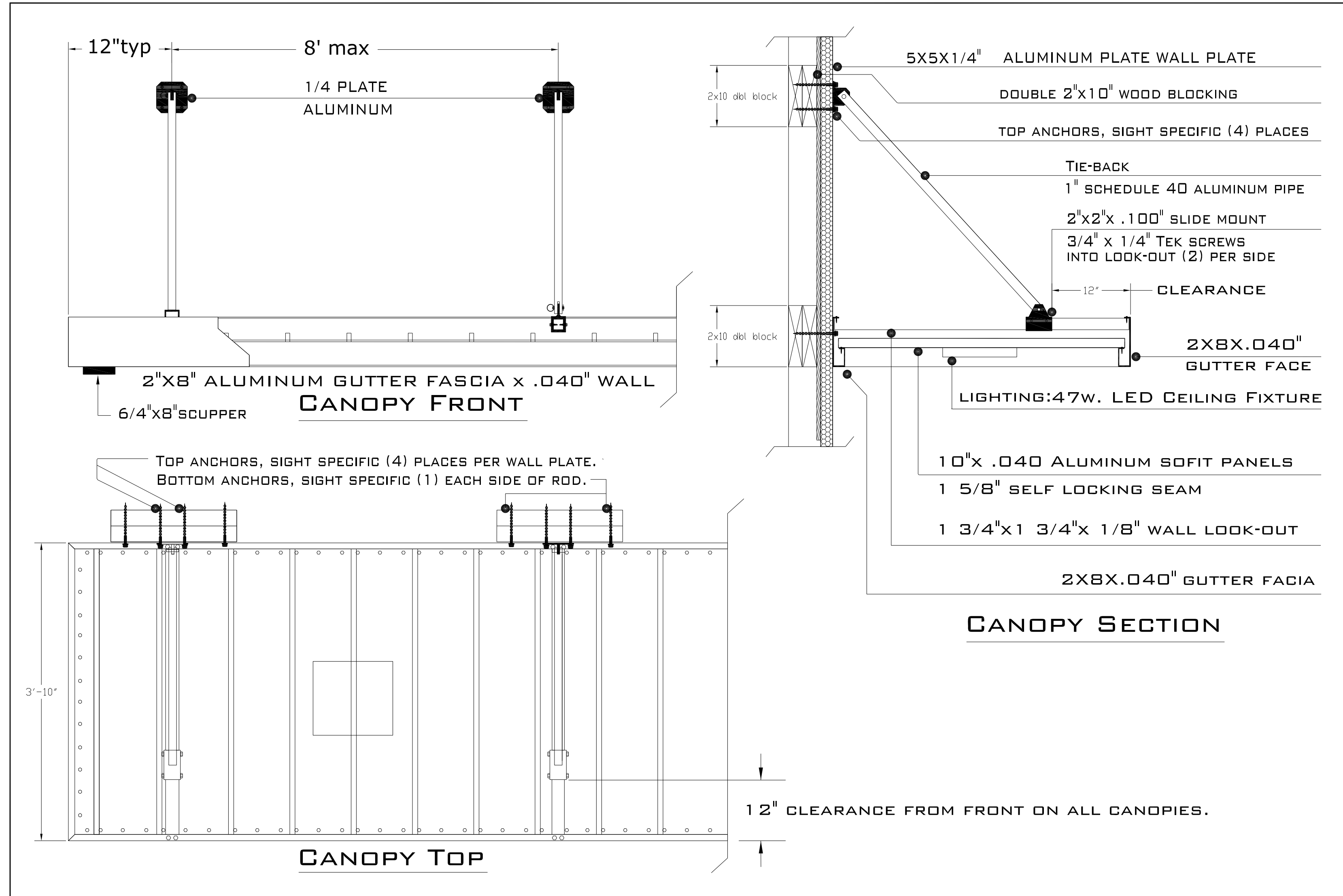
ROD SPACING
MAX 8' APART



CCI IMAGE GROUP 770-883-3506
2009 DORSEY RD.
MARIETTA, GA. 30066

JOB# DATE: 12/22/2015
PRODUCT: CCI WATER CONTROL CANOPY
DRAWN BY: RALPH BURKE SHEET: 2 OF 2

2 CANOPY ATTACHMENT DETAILS
NOT TO SCALE



CCI IMAGE GROUP 770-883-3506
2009 DORSEY RD.
MARIETTA, GA. 30066
CONTACT: ROB COOLEY
PH: 404-433-4924

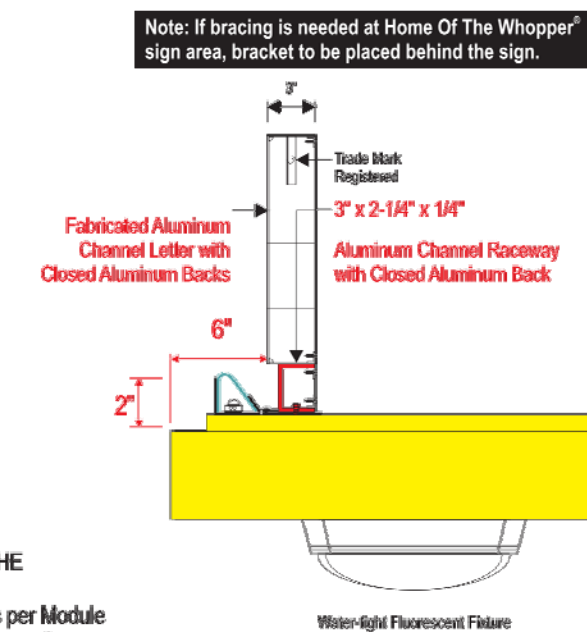
NOTE:
SEE DET 1 & 2
SHEET 2 OF 2

JOB# DATE: 12/22/2015
PRODUCT: CCI WATER CONTROL CANOPY
DRAWN BY: RALPH BURKE SHEET: 1 OF 2

1 CANOPY FRAMING DETAILS
NOT TO SCALE

Manufacturing Specifications:

- Fabricated Aluminum Construction Horizontal Grain
- Brushed Aluminum Letter Face and Returns with Clear Finish.
- .125" Letter Face
- .080" Letter Returns
- .040" Letter Backs
- Removable Acrylic Lens Cover for service to the LED
- Flexible Acrylic Lens Cover
- Sylvania White LED
- .063" Aluminum Carrier Frame, Brushed Aluminum Finish
- LED Illuminated Border
- Sylvania #70400, White LED HP2 ChaiV36WQ-865HE
- 26 WATTS, 6500K Color
- Module Length: 12 feet, 36 LEDs, 120 Volt, 1.00 Amps per Module
- White LED Exterior Illumination with Flexible Acrylic Lens Cover
- Powered by #51514 Power Supply



3 SIGNAGE LIGHTING
1" = 1'-0"



CURRAN ARCHITECTURE

5719 LAWTON LOOP E. DR. #212
INDIANAPOLIS, IN 46216
O :: 317 . 288 . 0681
F :: 317 . 288 . 0753

OWNER



2100 RIVEREDGE PARKWAY
SUITE 850
ATLANTA, GA 30328
O :: 770 . 933 . 5023
F :: 770 . 933 . 5024

CERTIFICATION



THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF CURRAN ARCHITECTURE, AND ARE NOT TO BE USED OR REPRODUCED, WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF CURRAN ARCHITECTURE. © COPYRIGHT 2016, CURRAN ARCHITECTURE

PROJECT INFORMATION

REMODEL TO:
BURGER KING # 6796
19901 VAN DYKE AVENUE
DETROIT, MICHIGAN 48234



ISSUE DATES

FOR CONSTRUCTION 03.10.2016

PROJECT NUMBER: 150265

CANOPY DETAILS

A5.1

DOOR SCHEDULE

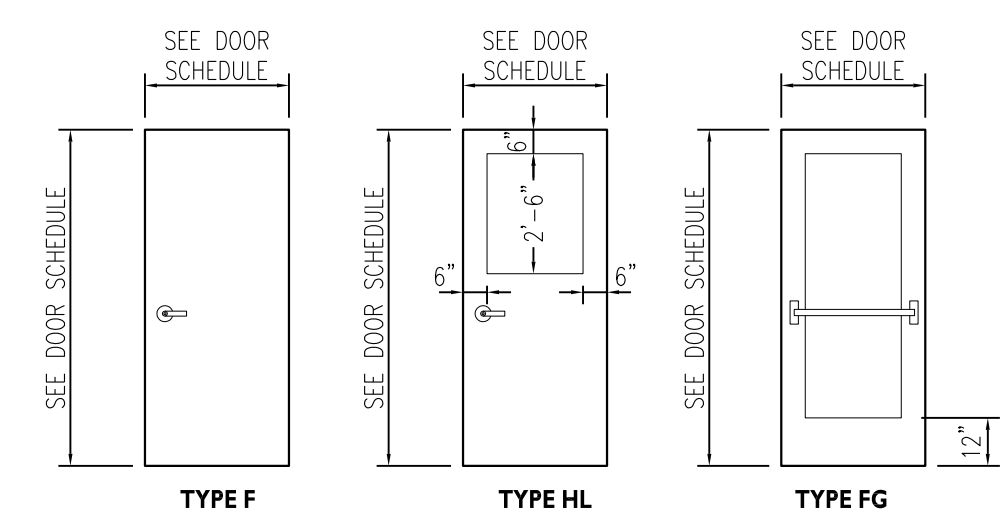
| MARK | TYPE | SIZE | MATERIAL | FINISH | GLAZING | RATING | FRAME | MATERIAL | FINISH | RATING | HARDWARE | NOTES | MARK |
|------|----------|----------------|--------------|-------------|------------|--------|-------|------------|------------------|--------|----------|-------|------|
| 101A | EXIST FG | PAIR 3-0 X 7-0 | AL | EXIST | EXIST | -- | EXIST | AL | EXIST | -- | 1 | | 101A |
| 101B | FG | PAIR 3-0 X 7-0 | AL | MATCH EXIST | 1/4" TEMP. | -- | EXIST | AL | EXIST | -- | 2 | | 101B |
| 102 | EXIST FG | 3-0 X 7-0 | AL | EXIST | EXIST | -- | EXIST | AL | EXIST | -- | 1 | | 102 |
| 104 | F | 3-0 X 6-8 | SCWD | HPL | NONE | -- | F1 | K.D. ALUM. | CLEAR ANNOIDIZED | -- | 4 | | 104 |
| 105 | F | 3-0 X 6-8 | SCWD | HPL | NONE | -- | F1 | K.D. ALUM. | CLEAR ANNOIDIZED | -- | 5 | | 105 |
| 107 | F | 3-0 X 6-8 | SCWD | HPL | NONE | -- | F1 | K.D. ALUM. | CLEAR ANNOIDIZED | -- | 3 | | 107 |
| 108 | EXIST F | 4-0 X 6-8 | INSUL. STEEL | PAINT | NONE | -- | EXIST | HM | PAINT | -- | EXISTING | | 108 |
| | | | | | | | | | | | | | |
| | | | | | | | | | | | | | |
| | | | | | | | | | | | | | |

NOTES:

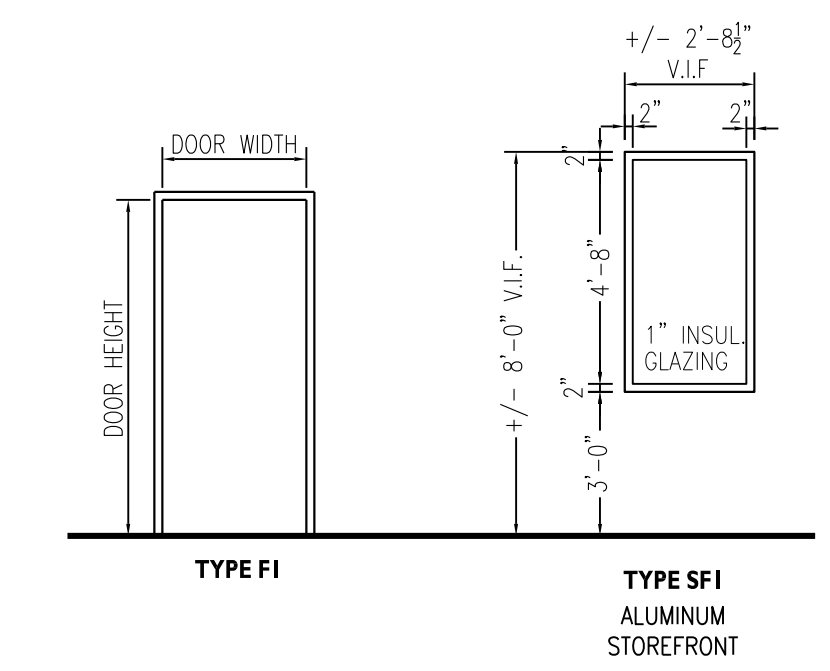
1. ALL DOOR HARDWARE SHALL BE HEAVY DUTY, GRADE 1, COMMERCIAL QUALITY.
2. WHERE 'EXIT DEVICE' IS SPECIFIED, AN ADA COMPLIANT PANIC EXIT DEVICE EQUAL TO 'VON DUPRIN SERIES 98/99' SHALL BE PROVIDED.
3. ALL HARDWARE TO HAVE SATIN ALUMINUM ANODIZED FINISH

DOOR HARDWARE

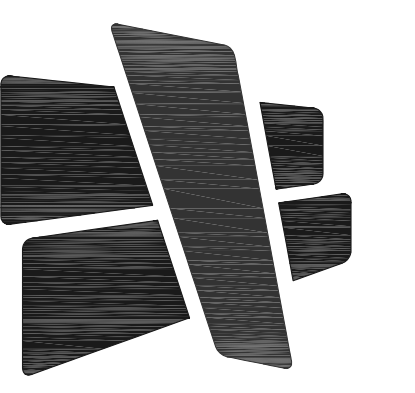
- | | | |
|---|--|--|
| HARDWARE SET #1 EXISTING NEW BKX EXTERIOR PULLS | HARDWARE SET #2 2 CONTINUOUS HINGES 2 PUSH/PULL 1 CLOSERS | HARDWARE SET #3 3 HINGES 1 CLOSER 1 TRILOGY LOCKSET 3 MUTES 1 OVERHEAD STOP 2 34x12 SS KICKPLATES |
| HARDWARE SET #4 3 HINGES 1 CLOSER 1 PUSH/PULL 1 PERIMETER SEAL 1 WALL STOP 2 34x12 SS KICKPLATES | HARDWARE SET #5 3 HINGES 1 CLOSER 1 PUSH/PULL 1 THUMB-TURN LOCK 1 LOCK W/INDICATOR 1 PERIMETER SEAL 1 WALL STOP 2 34x12 SS KICKPLATES | |



DOOR ELEVATIONS



FRAME ELEVATIONS



CURRAN ARCHITECTURE

5719 LAWTON LOOP E. DR. #212
 INDIANAPOLIS, IN 46216
 O :: 317 . 288 . 0681
 F :: 317 . 288 . 0753

OWNER



2100 RIVEREDGE PARKWAY
 SUITE 850
 ATLANTA, GA 30328
 O :: 770 . 933 . 5023
 F :: 770 . 933 . 5024

CERTIFICATION



THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF CURRAN ARCHITECTURE, AND ARE NOT TO BE USED OR REPRODUCED, WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF CURRAN ARCHITECTURE. © COPYRIGHT 2016, CURRAN ARCHITECTURE

PROJECT INFORMATION

REMODEL TO:
BURGER KING # 6796
 19901 VAN DYKE AVENUE
 DETROIT, MICHIGAN 48234



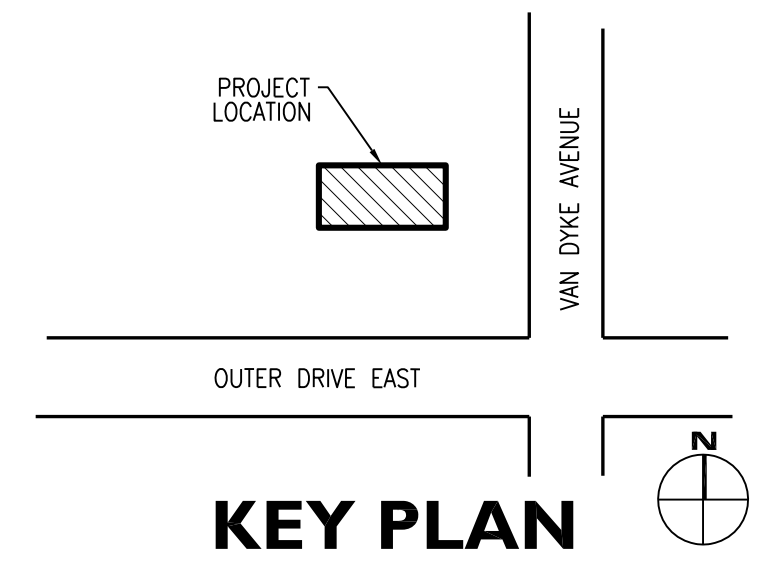
ISSUE DATES

| | |
|------------------|------------|
| FOR CONSTRUCTION | 03.10.2016 |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

PROJECT NUMBER: 150265

DOOR
SCHEDULE

A6.1



KEY PLAN