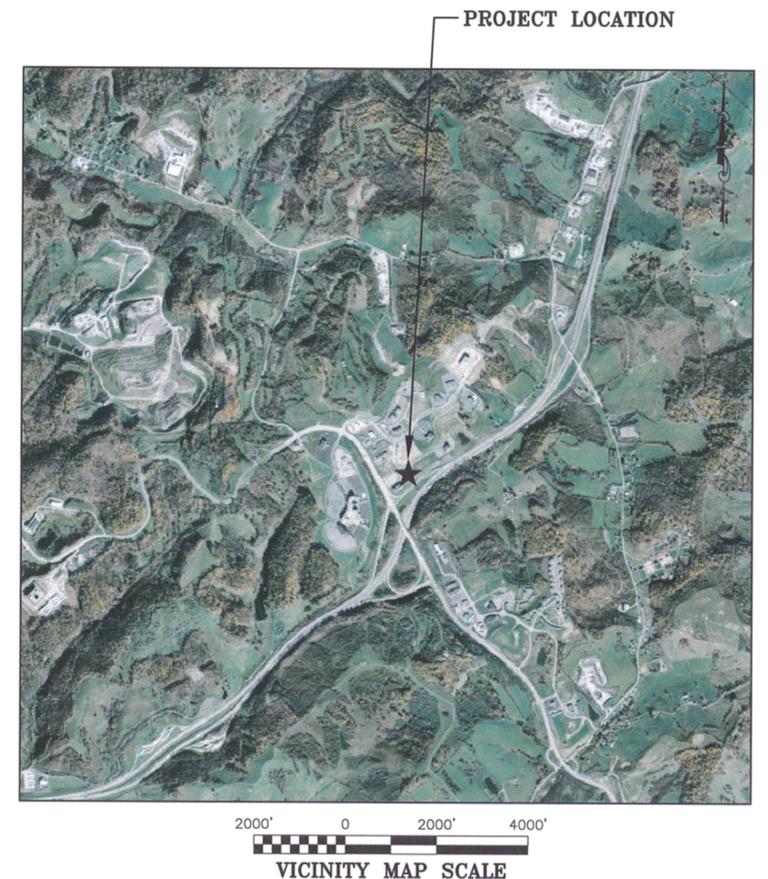
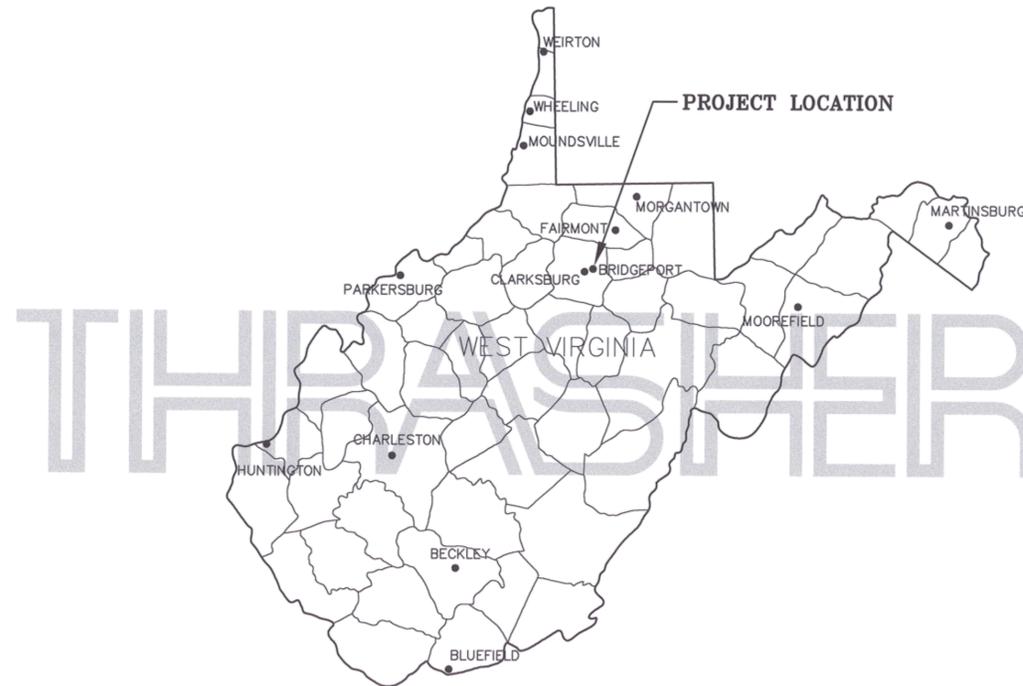
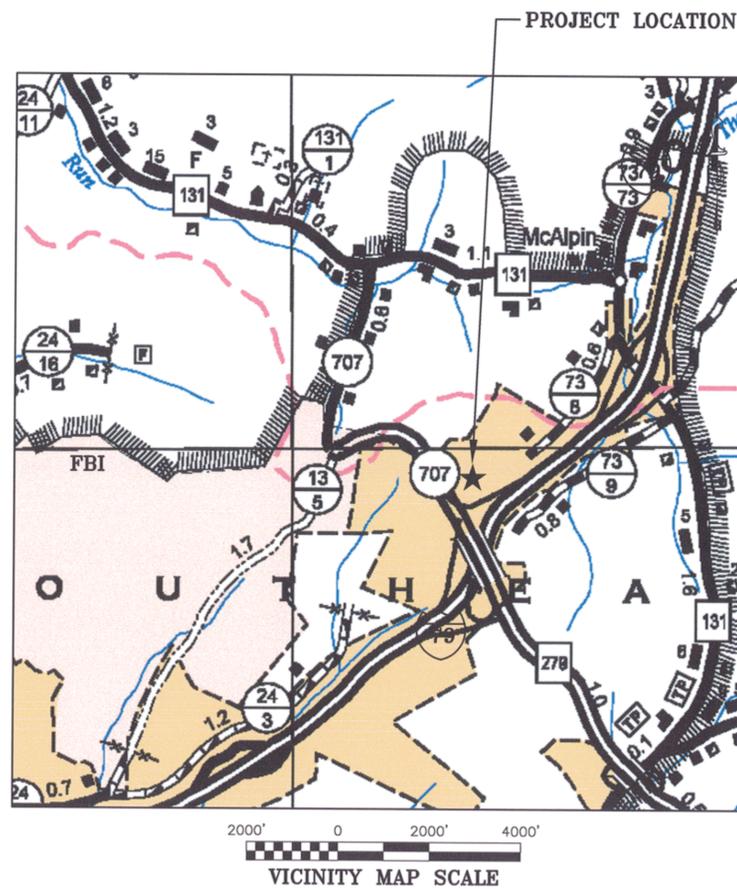


# CONSTRUCTION PLANS FOR TGI FRIDAYS @ WHITE OAKS BUSINESS PARK HARRISON COUNTY, BRIDGEPORT, WEST VIRGINIA JULY 2015

CAD FILE: R: 030-2819 - TGI FRIDAYS\Drawing\2819-Cover.dwg PLOT DATE/TIME: 7/27/2015 7:20 AM LAYOUT: Cover USER: alex.w.sutton



ISSUED FOR PERMITS      DATE: 7-28-15  
 ISSUED FOR BIDS         DATE: \_\_\_\_\_  
 ISSUED FOR CONSTRUCTION DATE: \_\_\_\_\_



CHAD M. RILEY, P.E.

**TEI PROJECT # 030-2819**

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PHONE  
(304) 624-4108

**THRASHER**

(FAX)  
(304) 624-7831

CIVIL, ENVIRONMENTAL, AND CONSULTING  
600 WHITE OAKS BOULEVARD - BRIDGEPORT, WV 26330

**GENERAL NOTES**

- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLAN AND ELEVATION DIMENSIONS OF THE VARIOUS WORK ITEMS (BUILDINGS, WALLS, CONCRETE SLABS, AND UTILITY SERVICE POINT OF CONNECTION) AND NOTIFYING THE OWNER AND ENGINEER OF CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION ON THIS PROJECT. THE CONTRACTOR SHALL REFERENCE BUILDING CONSTRUCTION PLANS FOR EXACT LOCATION OF ALL UTILITY CONNECTIONS TO BUILDINGS, DOOR/STEP LOCATIONS. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- THE LOCATION AND/OR ELEVATIONS OF ALL KNOWN UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION FROM EXISTING PLANS AND FIELD INVESTIGATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE STATUS AND LOCATION OF EACH UTILITY WHERE PERFORMING WORK WHICH MAY AFFECT THESE FACILITIES, INCLUDING PROBING, EXCAVATION, OR ANY OTHER PRECAUTION REQUIRED TO CONFIRM LOCATION. THE CONTRACTOR SHOULD CONTACT "MISS UTILITY OF WEST VIRGINIA" (800-254-4848) TO FIELD LOCATE ALL ABOVE AND BELOW GROUND UTILITIES IN THE AREA. THE CONTRACTOR SHALL TAKE ALL RESPONSIBLE PRECAUTIONS AGAINST DAMAGE TO EXISTING UTILITIES. HOWEVER IN THE EVENT OF DAMAGE OR DISRUPTION TO UTILITIES WHICH ARE ACTIVE AND ARE TO REMAIN IN SERVICE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE RESPONSIBLE OFFICIAL OF THE ORGANIZATION OPERATING THE UTILITY INTERRUPTED. THE CONTRACTOR SHALL IMMEDIATELY LEND ALL POSSIBLE ASSISTANCE IN RESTORING SERVICES AND SHALL ASSUME ALL COST, CHARGES, OR CLAIMS CONNECTED WITH THE INTERRUPTION AND REPAIR OF SUCH SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A VALID CITY AND STATE CONTRACTOR'S LICENSE AND PAYING ALL STATE AND LOCAL B&O TAXES. PRIOR TO STARTING CONSTRUCTION ALL NECESSARY PERMITS WILL HAVE BEEN SECURED BY THE OWNER, EXCEPT THE GRADING PERMIT. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING AND PAYING FOR THE GRADING PERMIT FROM THE CITY OF BRIDGEPORT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING BORROW MATERIAL FOR SITE IF APPLICABLE. CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FOR BORROW SITE, WHICH INCLUDES ALL STATE, FEDERAL, COUNTY OR LOCAL PERMITS.
- PROPERTY LINES WERE SURVEYED ON WV NAD83 NORTH DATUM BY THE THRASHER GROUP, INC. AND EXISTING BASE MAPPING WITH 2' CONTOURS AND BOUNDARY INFORMATION WAS PROVIDED BY THE THRASHER GROUP, INC. (DECEMBER, 2013).
- THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE ON THE PROJECT FOR THE COMPLETE DURATION AND SHALL DIVERT OFFSITE DRAINAGE FROM THE SITE.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AND OTHER ACTIONS AS REQUIRED BY LOCAL AND STATE REGULATIONS OR REQUESTED BY ENGINEER. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING OR MODIFYING SEDIMENT CONTROL MEASURES DURING CONSTRUCTION IN ORDER TO PREVENT EROSION.
- EROSION AND SEDIMENT CONTROL DETAILS NOT SHOWN IN THE PLANS SHALL BE IN ACCORDANCE WITH THE WEST VIRGINIA DEPARTMENT OF HIGHWAYS EROSION AND SEDIMENT CONTROL MANUAL, LATEST EDITION.
- ALL EXCAVATION AND FILL PLACEMENT SHALL BE TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS. CONTRACTOR WILL BE RESPONSIBLE FOR FIELD VERIFYING ALL LINES AND GRADES. EXACT CUT AND FILL LIMITS MAY NEED TO BE MODIFIED IN THE FIELD DURING CONSTRUCTION. THE ENGINEER WILL WORK CLOSELY WITH THE CONTRACTOR TO MAKE THESE MODIFICATIONS.
- ALL EXCAVATIONS SHALL BE PERFORMED IN A MANNER AS TO NOT CREATE UNSTABLE CONDITIONS. SHOULD UNSTABLE CONDITIONS OCCUR DUE TO CONTRACTOR NEGLIGENCE, THE UNSTABLE CONDITIONS SHALL BE REPAIRED AND REGRADED AT NO EXPENSE TO THE OWNER. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL CUT AND/OR FILL AREAS.
- ALL UNSUITABLE AND EXCESS MATERIAL SHALL BE REMOVED FROM SITE AT THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL PIPES AND STRUCTURE INVERT AND RIM ELEVATIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO INSTALLATION, ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION.
- ALL FILL MUST BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY AT A MOISTURE CONTENT WITHIN +/- 3 OF OPTIMUM PER ASTM D-698. (98% UNDER BUILDING AND 10 FEET BEYOND) THE MAXIMUM SOIL LIFT SHALL BE 6" WITH AN 6" MAXIMUM PARTICLE SIZE.
- GRADING SHALL NOT BE DONE IN SUCH A WAY TO DIVERT WATER ONTO PROPERTY OF ANOTHER LAND OWNER. EXCAVATION OR FILL SHALL NOT ENDANGER ADJOINING PROPERTY.
- ALL DISTURBED AREAS MUST BE SEEDED AND MULCHED AFTER CONSTRUCTION HAS BEEN COMPLETED. BEFORE SEEDING TAKES PLACE, THE DISTURBED AREAS SHALL BE GRADED TO A SMOOTH LINE AND TOPPED WITH 6" OF TOPSOIL. (TOPSOIL MUST NOT CONTAIN AGGREGATE LARGER THAN 1")
- GRADE ELEVATIONS REFLECT FINISHED GRADE. THE CONTRACTOR MUST SUBTRACT THE PAVEMENT THICKNESS TO DETERMINE THE SUBGRADE ELEVATION OF EACH CROSS SECTION.
- IN THE EVENT AN ERROR WITH THE PLANS SEEMS APPARENT, THE MATTER MUST BE TAKEN UP WITH THE ENGINEER FOR CAREFUL REVIEW BEFORE PROCEEDING WITH CONSTRUCTION.
- UTILITY EASEMENTS DO EXIST ON SITE AS SHOWN ON THE PLAN.
- PARKING LOT STRIPING SHALL BE COMPLETED AS INDICATED IN THE PLANS.
- THE CONTRACTOR SHALL COORDINATE UTILITY TIE-INS WITH THE APPROPRIATE UTILITY PROVIDER.
- SITE PLAN MUST BE REVIEWED AND APPROVED BY THE WHITE OAKS BUSINESS PARK ARCHITECTURAL REVIEW COMMITTEE.
- ALL QUALITY CONTROL TESTING AND INSPECTION SHALL BE PERFORMED BY A QUALIFIED TESTING AGENCY AND TESTING SHALL BE PERFORMED FOR SOILS, SUBGRADE, AGGREGATE BASE COURSE, CONCRETE, AND ASPHALT.
- THE SITE CONTRACTOR AND BUILDING CONTRACTOR (IF DIFFERENT) SHALL BE RESPONSIBLE FOR COORDINATING THEIR ITEMS OF WORK AND SCHEDULES FOR COMPLETION.
- THE OWNER OR CONTRACTOR IS REQUIRED BY THE CITY OF BRIDGEPORT TO HAVE COMPACTION TESTING PERFORMED BY A CERTIFIED COMPANY. ALL COMPACTION REPORTS AND/OR RESULTS ARE TO BE FURNISHED TO THE CITY OF BRIDGEPORT.

**CONTACT INFORMATION**

**OWNER**  
 MOE & JERRY'S, LLC.  
 23 N MAIN STREET  
 PHILIPPI, WV 26416  
 304-203-4177

**ENGINEER**  
 THE THRASHER GROUP, INC.  
 600 WHITE OAKS BOULEVARD  
 BRIDGEPORT, WV 26330  
 ATTN: ZACHARY L. ASSARO  
 304-641-0363

**WHITE OAKS BUSINESS PARK**  
 CHAD RILEY  
 600 WHITE OAKS BOULEVARD  
 BRIDGEPORT, WV 26330  
 304-624-4108

**MISS UTILITY**  
 1-800-245-4848  
 http://www.muwv.org

**WATER/SEWER/STORM**

CITY OF BRIDGEPORT  
 515 W. MAIN STREET  
 BRIDGEPORT, WV 26330  
 TOM BROWN  
 (304) 842-8204

**NATURAL GAS**  
 DOMINION  
 GARY BOYLES  
 (304) 625-6349

**FRONTIER**  
 CHRIS ALBERTSON  
 (304) 623-6890

**MON POWER**  
 HARRY RUSSELL  
 (304) 626-1235

**TIME WARNER CABLE**  
 BRIAN LEWIS  
 (304) 326-6235

**SHEET INDEX**

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SHEET 2	EXISTING CONDITIONS
SHEET 3	SITE PLAN
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**CONSTRUCTION SEQUENCE OF EVENTS**

- LOCATE ALL EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY MISS UTILITY OF WEST VIRGINIA AT 1-800-245-4848 A MINIMUM OF (2) DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- INSTALL ALL PERIMETER CONTROLS. (SILT FENCE, DIVERSIONS, STABILIZED CONSTRUCTION ENTRANCE, ETC.)
- STRIP AND STOCK TOPSOIL FOR REUSE IN FINISH GRADING AND INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- REMOVE AND DISPOSE OF ALL MATERIAL NOT SUITABLE FOR FILL: EG, BRUSH, LOGS, VEGETABLE MATTER, ETC.
- EXCAVATE AND ROUGH GRADE SITE AND INSTALL UTILITIES.
- INSTALL DRAINAGE FACILITIES.
- COMPLETE FINE GRADING AND PREPARATION OF SUBGRADE FOR SUBBASE MATERIAL. ALL DISTURBED AREAS SHALL BE DRESSED TO A NEAT AND FINISHED APPEARANCE AND STABILIZED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN AND SEEDING AND MULCHING SPECIFICATIONS.
- INSTALL CONCRETE CURB, STONE, ASPHALT AND PAINT/STRIPING PER PLAN.
- SEED, MULCH AND STABILIZE ALL DISTURBED AREAS. REAPPLY TOPSOIL AS INDICATED ON THE PLANS.
- AFTER COMPLETE STABILIZATION OF THE DRAINAGE AREA, REMOVE EROSION AND SEDIMENT CONTROL FACILITIES AND DRESS AND STABILIZE AS REQUIRED.
- FINAL PROJECT CLEAN UP AND DEMOBILIZATION.

**LEGEND**

	EXISTING SIGN		PROPOSED 1.5' LANDSCAPE WALL
	EXISTING WATER LINE		PROPOSED 2' LANDSCAPE WALL
	EXISTING SEWER LINE		PROPOSED 3' LANDSCAPE WALL
	EXISTING FENCE		PROPOSED STONE CHECK DAM
	EDGE OF WATER		PROPOSED CABLE CONDUIT
	EXISTING STORM DRAIN		PROPOSED TELEPHONE CONDUIT
	EXISTING TREE LINE		PROPOSED SANITARY SEWER
	EXISTING CONTOUR		PROPOSED ELECTRICAL CONDUIT
	EXISTING SPOT ELEVATION		PROPOSED GAS LINE
	EXISTING UTILITY POLE		PROPOSED WATER LINE
	EXISTING GAS LINE		PROPOSED SANITARY SEWER CLEAN OUT
	EXISTING UNDER GROUND ELECTRIC		PROPOSED LIGHTS
	EXISTING TELEPHONE LINE		PROPOSED TEMPORARY DIVERSION
	EXISTING CONDUIT		PROPOSED CONTOUR
	CONDUIT STUB-OUTS		PROPOSED LIMIT OF DISTURBANCE
	EXISTING PROPERTY LINE		PROPOSED ASPHALT
	EXISTING LAMP POSTS		PROPOSED GREEN SPACE
	CONTROL POINTS		STABILIZED CONSTRUCTION ENTRANCE ELEVATION (AT PAVEMENT)
	EXISTING UTILITY EASEMENT		PROPOSED DOWNSPOUT & STORM DRAIN
	PROPOSED SILT FENCING		DS
	PROPOSED CURB		BC - PROPOSED FRONT FACE OF CURB
			TC - PROPOSED TOP OF CURB ELEVATION



LAYOUT TAB: GEN NOTES  
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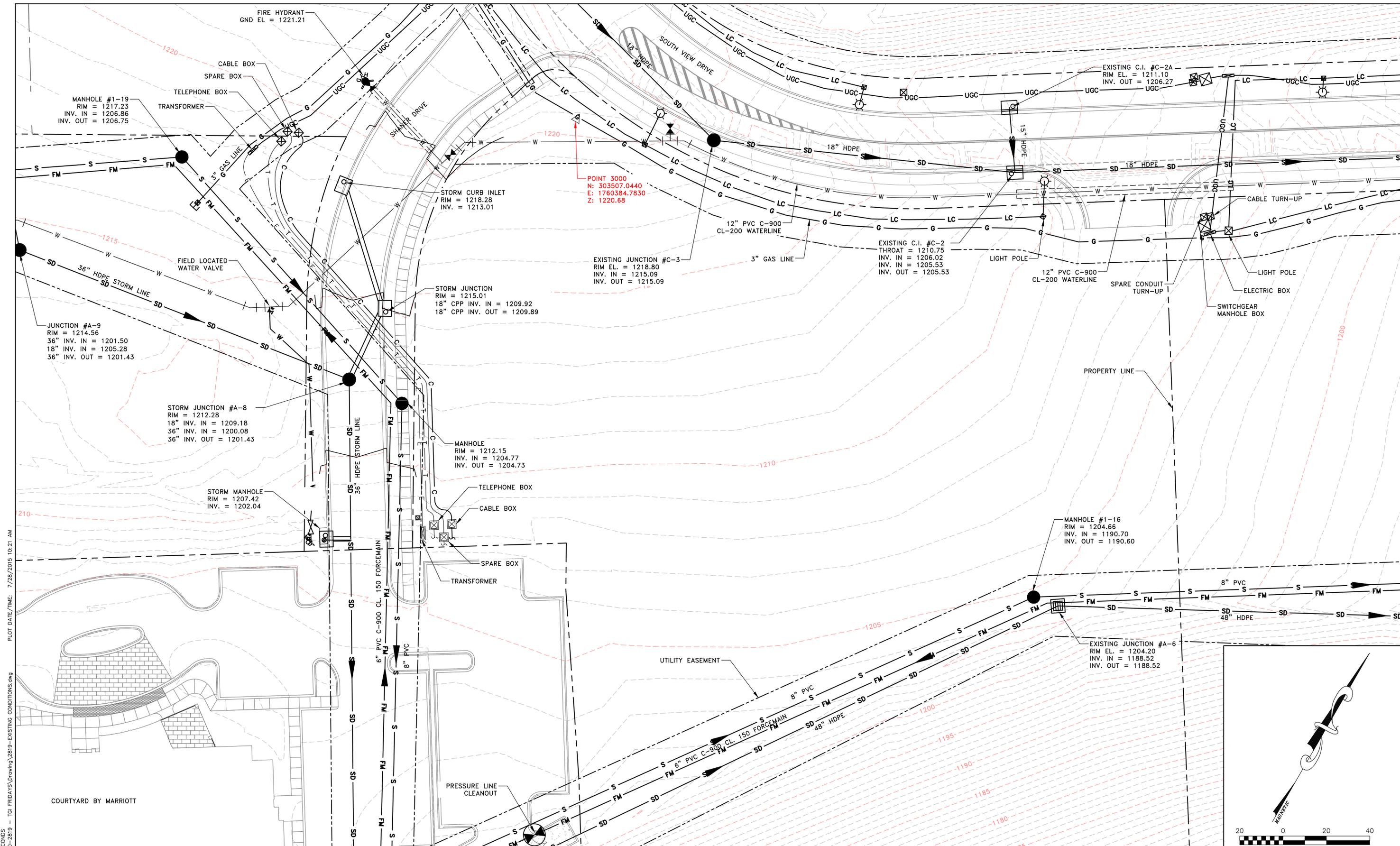
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 600 WHITE OAKS BOULEVARD, BRIDGEPORT, WV 26330  
 PHONE (304) 624-4108 • FAX (304) 624-7831

PHASE No.
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TGI FRIDAYS  
 WHITE OAKS BUSINESS PARK  
 HARRISON COUNTY, WEST VIRGINIA  
 GENERAL NOTES

SHEET No.
<b>i</b>



LAYOUT TAB: EX COND'S  
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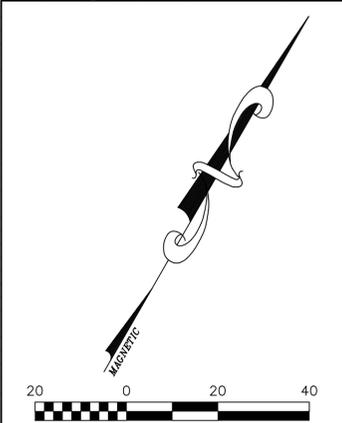
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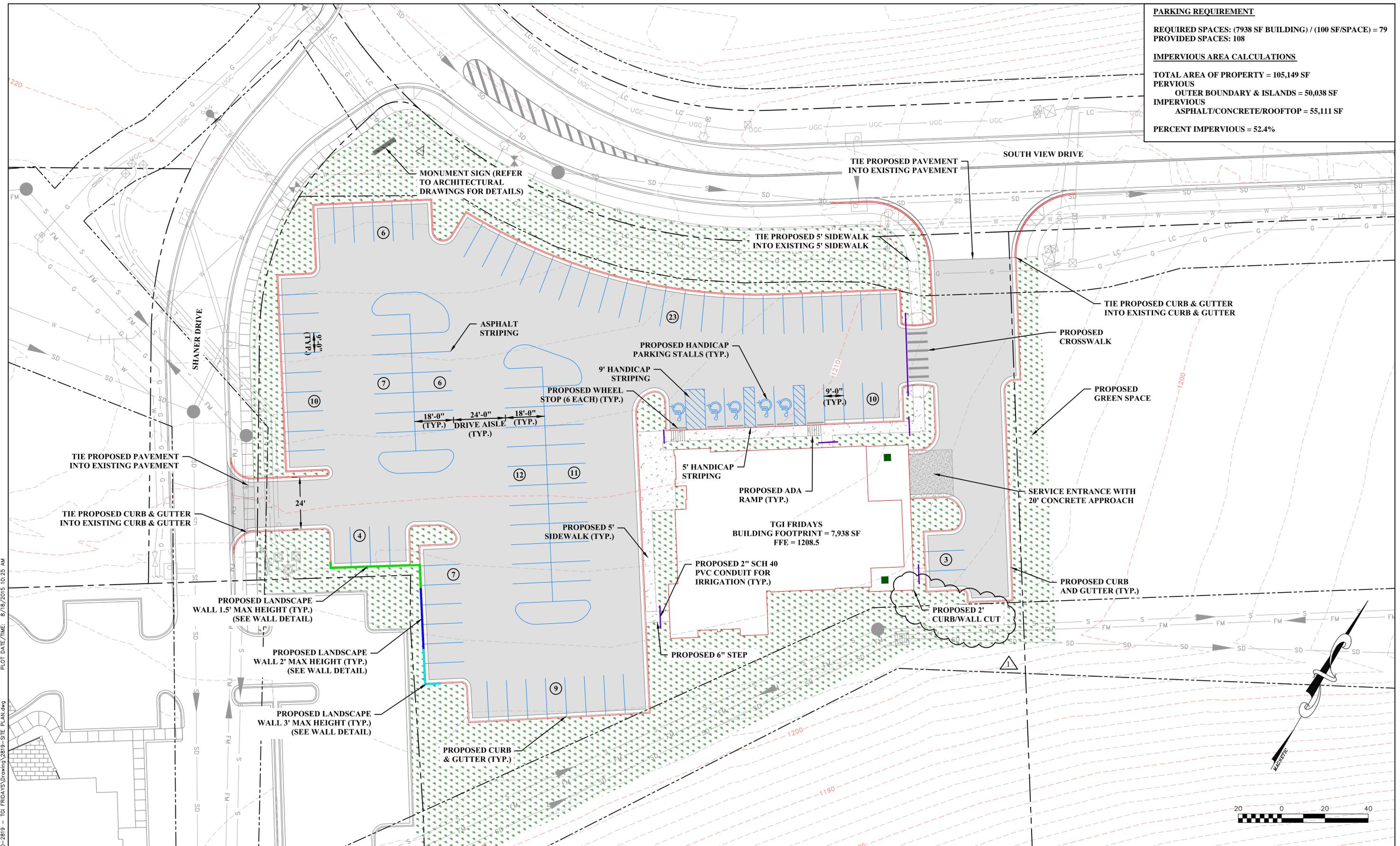
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 WHITE OAKS BUSINESS PARK  
 HARRISON COUNTY, WEST VIRGINIA  
 EXISTING CONDITIONS**

SHEET No.  
**1**



**PARKING REQUIREMENT**  
 REQUIRED SPACES: (7938 SF BUILDING) / (100 SF/SPACE) = 79  
 PROVIDED SPACES: 108

**IMPERVIOUS AREA CALCULATIONS**  
 TOTAL AREA OF PROPERTY = 105,149 SF  
 PERVIOUS  
 OUTER BOUNDARY & ISLANDS = 50,038 SF  
 IMPERVIOUS  
 ASPHALT/CONCRETE/ROOFTOP = 55,111 SF  
 PERCENT IMPERVIOUS = 52.4%



LAYOUT TAB: SITE PLAN  
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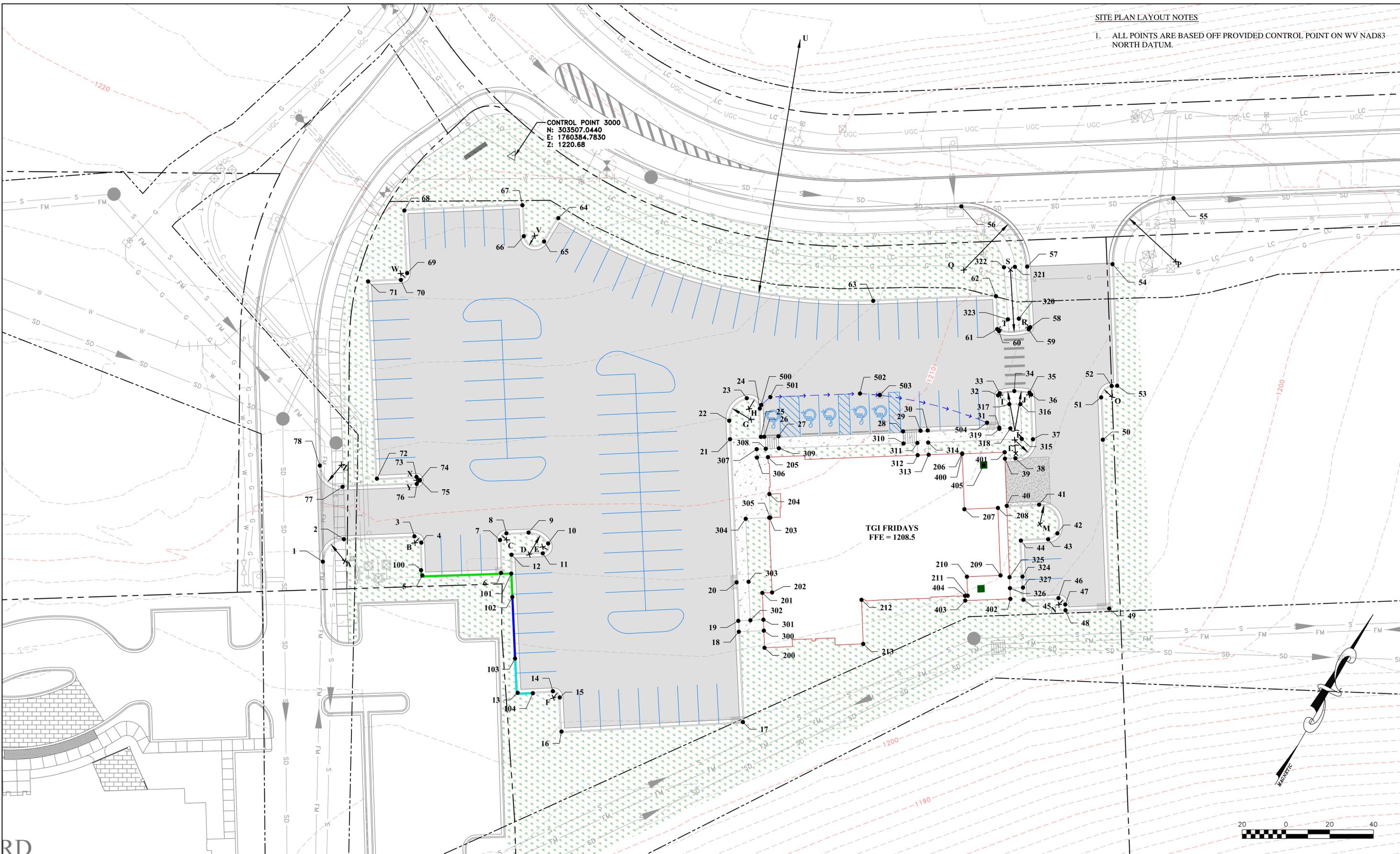
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<b>1-01-030-2819</b>

**TGI FRIDAYS**  
**WHITE OAKS BUSINESS PARK**  
**HARRISON COUNTY, WEST VIRGINIA**  
**SITE PLAN**

**SITE PLAN LAYOUT NOTES**

1. ALL POINTS ARE BASED OFF PROVIDED CONTROL POINT ON WV NAD83 NORTH DATUM.



LAYOUT TAB: SITE PLAN LAYOUT  
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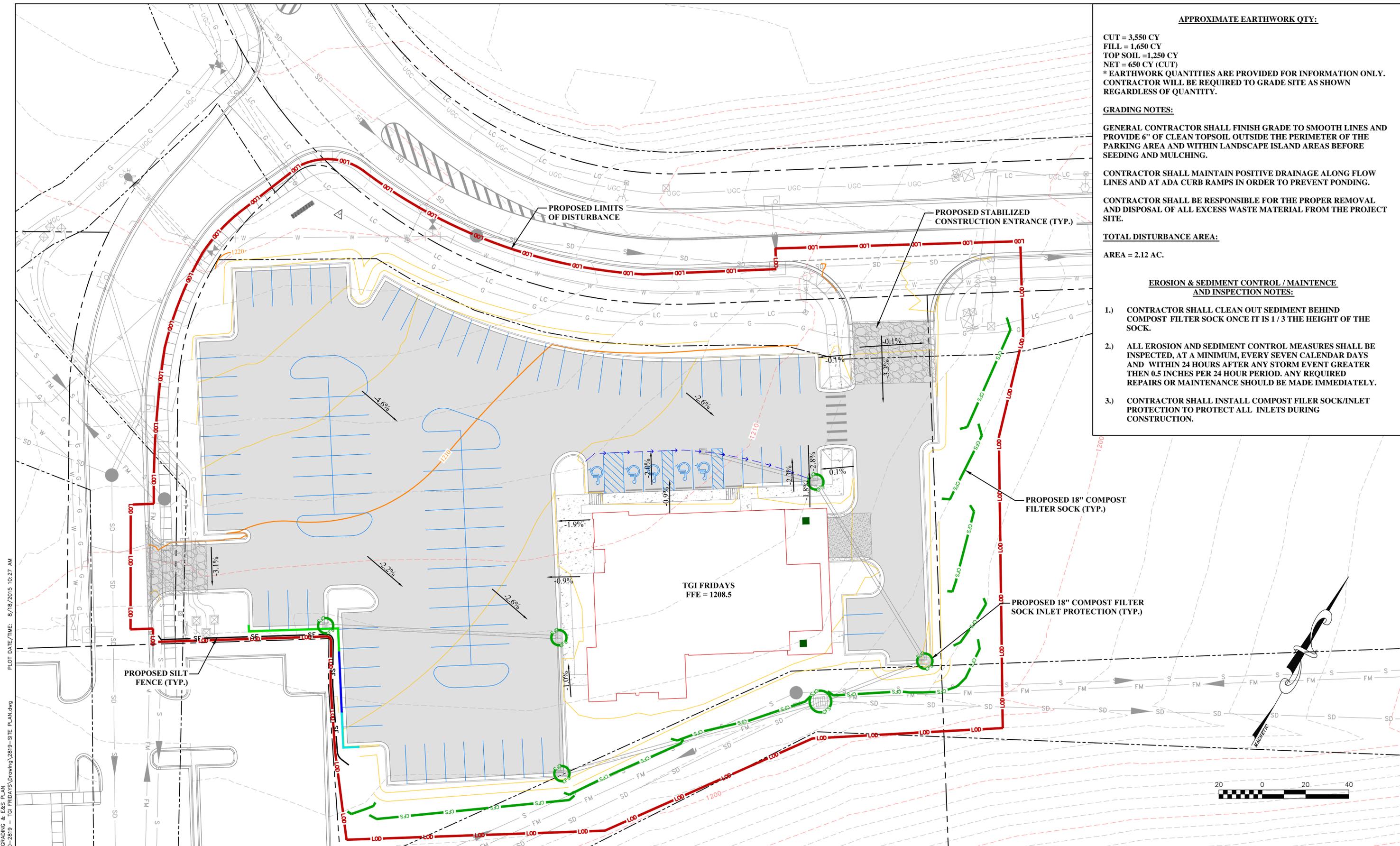
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**TGI FRIDAYS**  
**WHITE OAKS BUSINESS PARK**  
**HARRISON COUNTY, WEST VIRGINIA**  
**SITE PLAN LAYOUT**



**APPROXIMATE EARTHWORK QTY:**

CUT = 3,550 CY  
 FILL = 1,650 CY  
 TOP SOIL = 1,250 CY  
 NET = 650 CY (CUT)  
 \* EARTHWORK QUANTITIES ARE PROVIDED FOR INFORMATION ONLY. CONTRACTOR WILL BE REQUIRED TO GRADE SITE AS SHOWN REGARDLESS OF QUANTITY.

**GRADING NOTES:**

GENERAL CONTRACTOR SHALL FINISH GRADE TO SMOOTH LINES AND PROVIDE 6" OF CLEAN TOPSOIL OUTSIDE THE PERIMETER OF THE PARKING AREA AND WITHIN LANDSCAPE ISLAND AREAS BEFORE SEEDING AND MULCHING.

CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE ALONG FLOW LINES AND AT ADA CURB RAMPS IN ORDER TO PREVENT PONDING.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER REMOVAL AND DISPOSAL OF ALL EXCESS WASTE MATERIAL FROM THE PROJECT SITE.

**TOTAL DISTURBANCE AREA:**

AREA = 2.12 AC.

**EROSION & SEDIMENT CONTROL / MAINTENANCE AND INSPECTION NOTES:**

- 1.) CONTRACTOR SHALL CLEAN OUT SEDIMENT BEHIND COMPOST FILTER SOCK ONCE IT IS 1/3 THE HEIGHT OF THE SOCK.
- 2.) ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED, AT A MINIMUM, EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THEN 0.5 INCHES PER 24 HOUR PERIOD. ANY REQUIRED REPAIRS OR MAINTENANCE SHOULD BE MADE IMMEDIATELY.
- 3.) CONTRACTOR SHALL INSTALL COMPOST FILTER SOCK/INLET PROTECTION TO PROTECT ALL INLETS DURING CONSTRUCTION.

LAYOUT TAB: CV GRADING & E&S PLAN  
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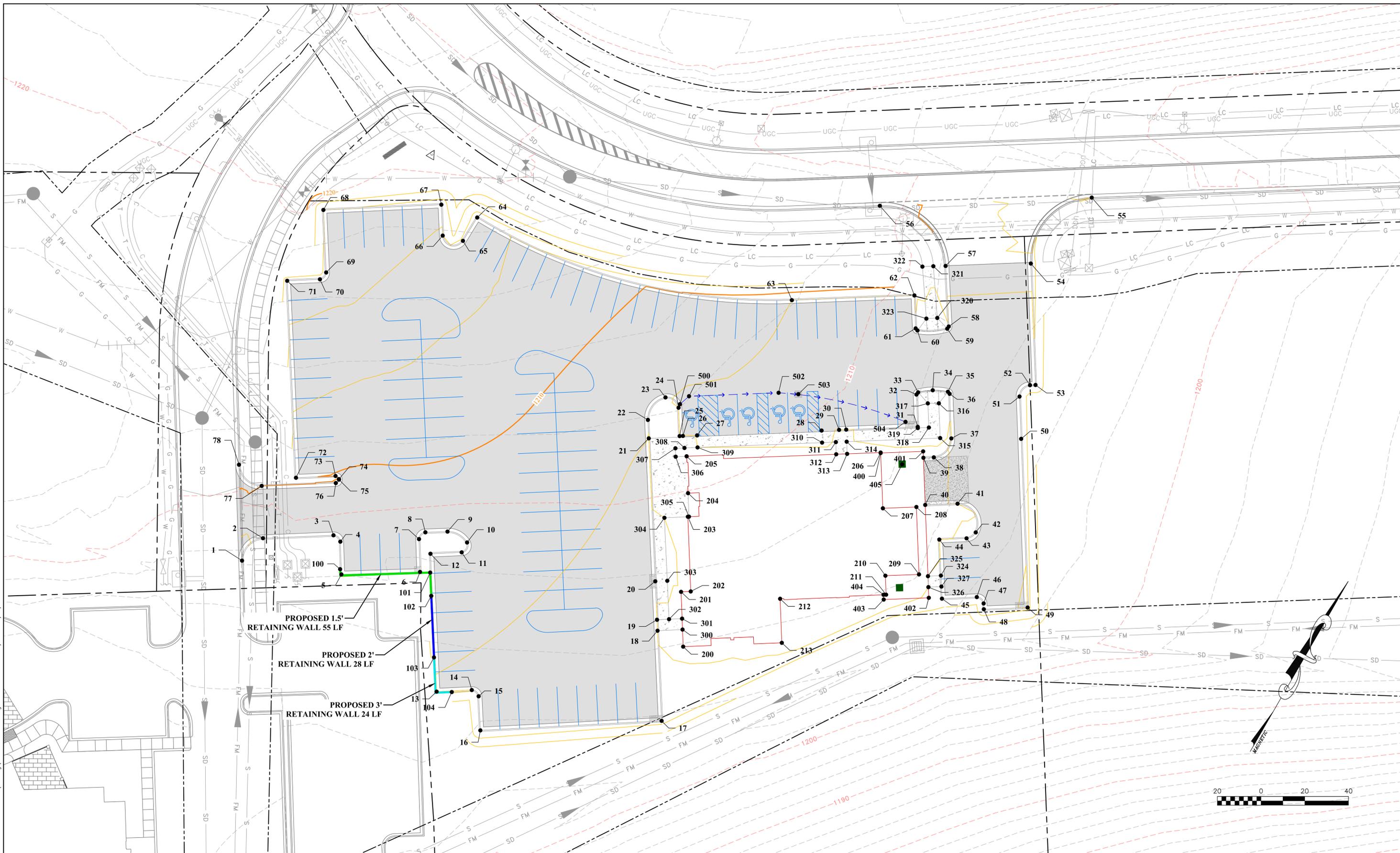
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 600 WHITE OAKS BOULEVARD, BRIDGEPORT, WV 26330  
 PHONE (304) 624-4108 • FAX (304) 624-7831

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**TGI FRIDAYS**  
 WHITE OAKS BUSINESS PARK  
 HARRISON COUNTY, WEST VIRGINIA  
 OVERALL GRADING AND E&S PLAN

LAYOUT TAB: DETAILED GRADING  
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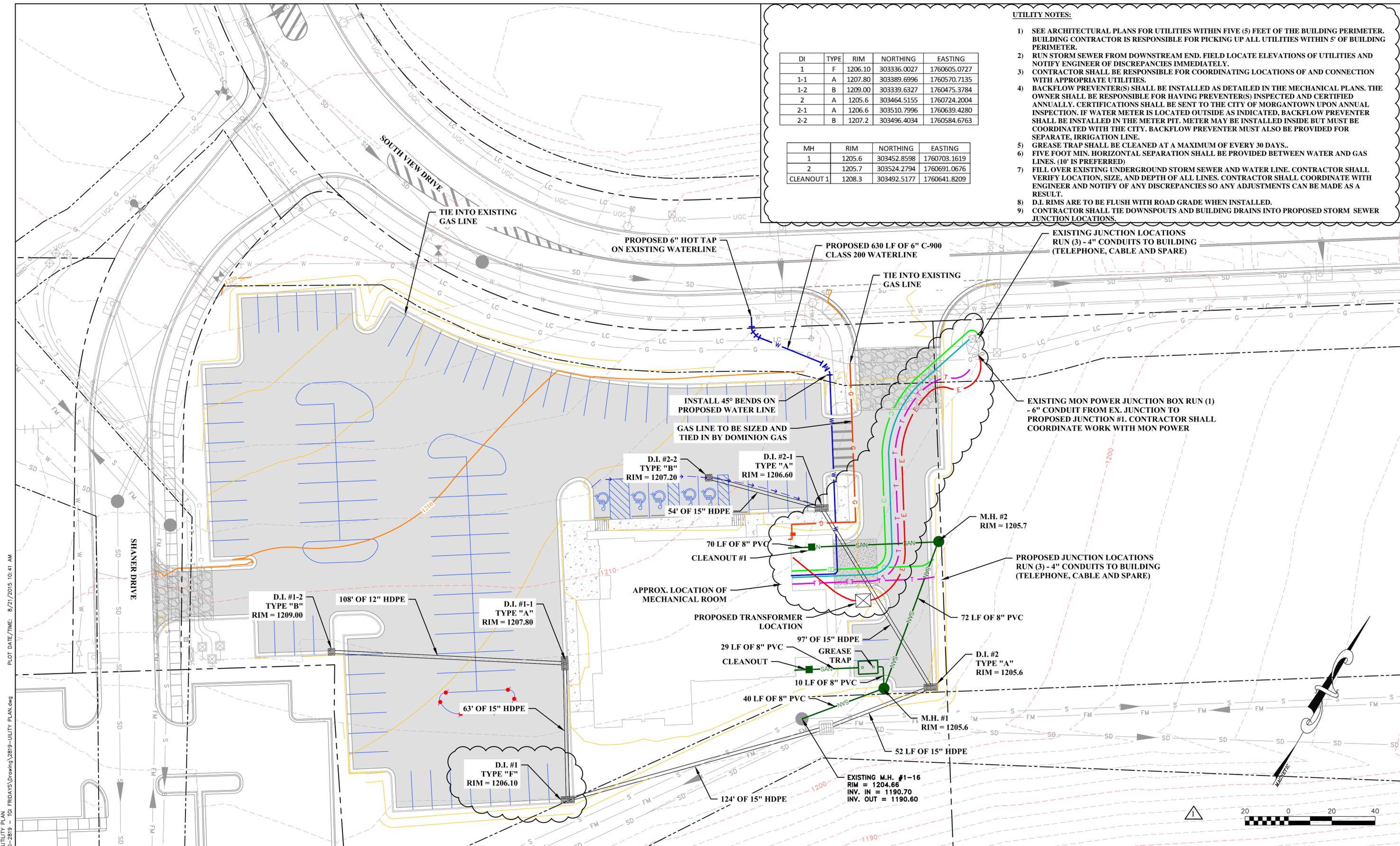
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 600 WHITE OAKS BOULEVARD, BRIDGEPORT, WV 26330  
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**TGI FRIDAYS  
 WHITE OAKS BUSINESS PARK  
 HARRISON COUNTY, WEST VIRGINIA  
 DETAILED GRADING PLAN**

SHEET No.  
**5**



DI	TYPE	RIM	NORTHING	EASTING
1	F	1206.10	303336.0027	1760605.0727
1-1	A	1207.80	303389.6996	1760570.7135
1-2	B	1209.00	303339.6327	1760475.3784
2	A	1205.6	303464.5155	1760724.2004
2-1	A	1206.6	303510.7996	1760639.4280
2-2	B	1207.2	303496.4034	1760584.6763

MH	RIM	NORTHING	EASTING
1	1205.6	303452.8598	1760703.1619
2	1205.7	303524.2794	1760691.0676
CLEANOUT 1	1208.3	303492.5177	1760641.8209

**UTILITY NOTES:**

- SEE ARCHITECTURAL PLANS FOR UTILITIES WITHIN FIVE (5) FEET OF THE BUILDING PERIMETER. BUILDING CONTRACTOR IS RESPONSIBLE FOR PICKING UP ALL UTILITIES WITHIN 5' OF BUILDING PERIMETER.
- RUN STORM SEWER FROM DOWNSTREAM END. FIELD LOCATE ELEVATIONS OF UTILITIES AND NOTIFY ENGINEER OF DISCREPANCIES IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING LOCATIONS OF AND CONNECTION WITH APPROPRIATE UTILITIES.
- BACKFLOW PREVENTER(S) SHALL BE INSTALLED AS DETAILED IN THE MECHANICAL PLANS. THE OWNER SHALL BE RESPONSIBLE FOR HAVING PREVENTER(S) INSPECTED AND CERTIFIED ANNUALLY. CERTIFICATIONS SHALL BE SENT TO THE CITY OF MORGANTOWN UPON ANNUAL INSPECTION. IF WATER METER IS LOCATED OUTSIDE AS INDICATED, BACKFLOW PREVENTER SHALL BE INSTALLED IN THE METER PIT. METER MAY BE INSTALLED INSIDE BUT MUST BE COORDINATED WITH THE CITY. BACKFLOW PREVENTER MUST ALSO BE PROVIDED FOR SEPARATE, IRRIGATION LINE.
- GREASE TRAP SHALL BE CLEANED AT A MAXIMUM OF EVERY 30 DAYS..
- FIVE FOOT MIN. HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN WATER AND GAS LINES. (10' IS PREFERRED)
- FILL OVER EXISTING UNDERGROUND STORM SEWER AND WATER LINE. CONTRACTOR SHALL VERIFY LOCATION, SIZE, AND DEPTH OF ALL LINES. CONTRACTOR SHALL COORDINATE WITH ENGINEER AND NOTIFY OF ANY DISCREPANCIES SO ANY ADJUSTMENTS CAN BE MADE AS A RESULT.
- D.I. RIMS ARE TO BE FLUSH WITH ROAD GRADE WHEN INSTALLED.
- CONTRACTOR SHALL TIE THE DOWNSPOUTS AND BUILDING DRAINS INTO PROPOSED STORM SEWER JUNCTION LOCATIONS.

LAYOUT TAB: CV UTILITY PLAN  
 CAD FILE: R:\2015-2019 - TGI FRIDAYS\Drawing\2819-UTILITY PLAN.dwg  
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08-13-15	ADDENDUM #1		

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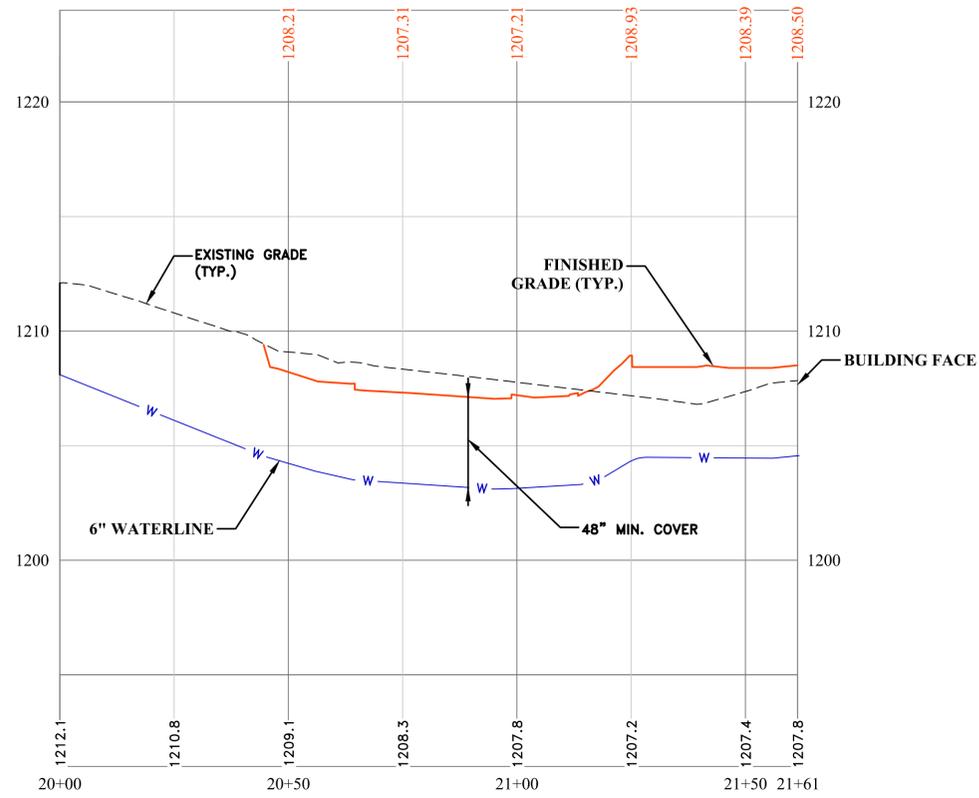
PHASE No.
CONTRACT No.
PROJECT No.
<b>1-01-030-2819</b>

**TGI FRIDAYS**  
**WHITE OAKS BUSINESS PARK**  
**HARRISON COUNTY, WEST VIRGINIA**  
**OVERALL UTILITY PLAN**

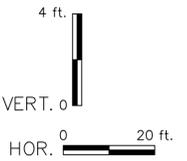
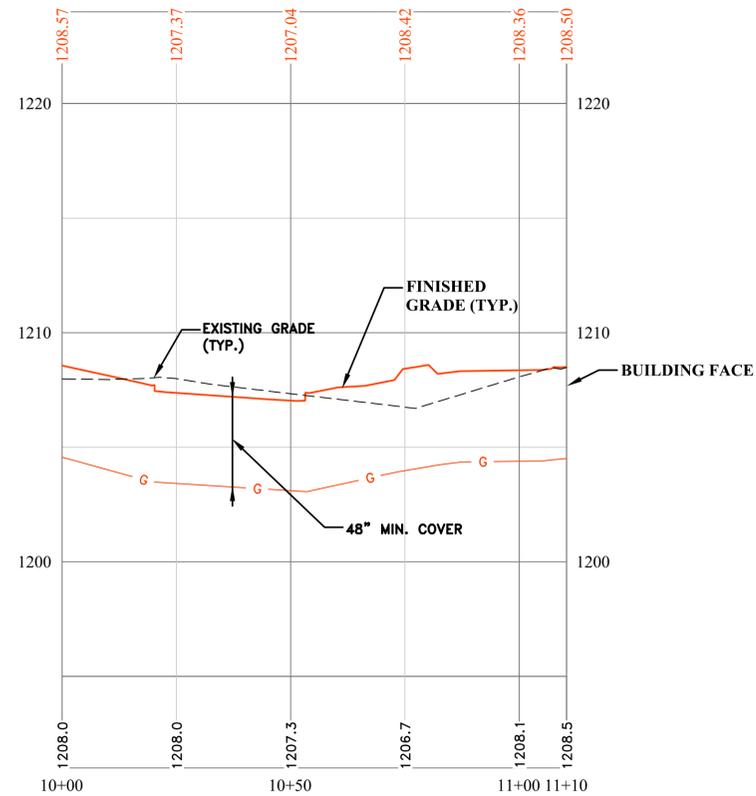




### WATER PROFILE



### GAS PROFILE



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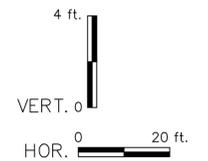
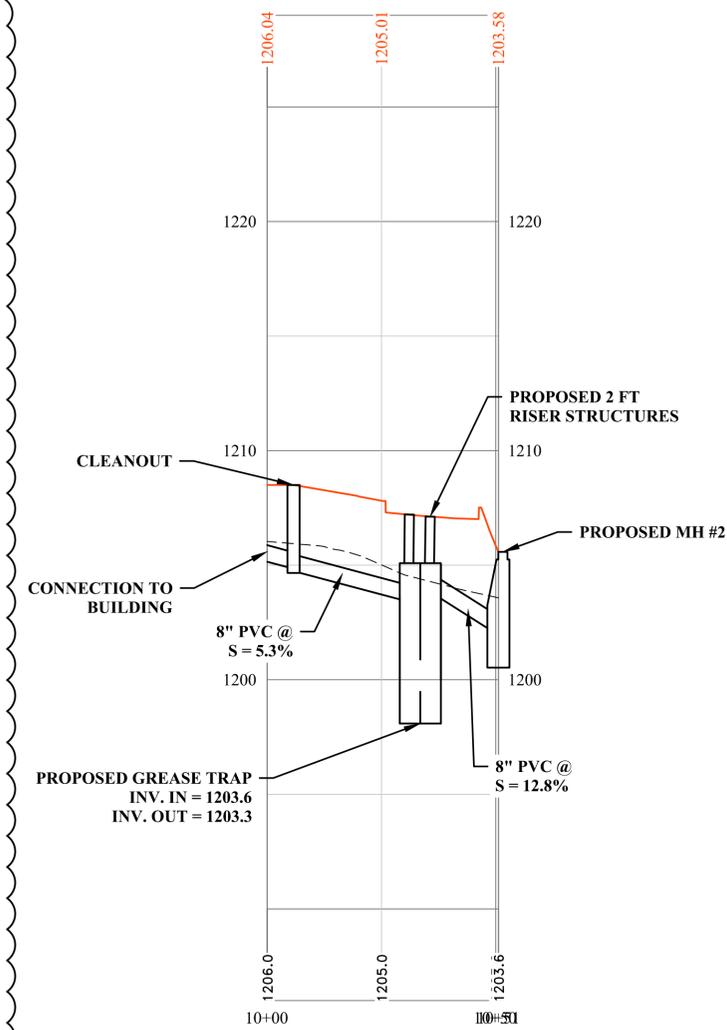
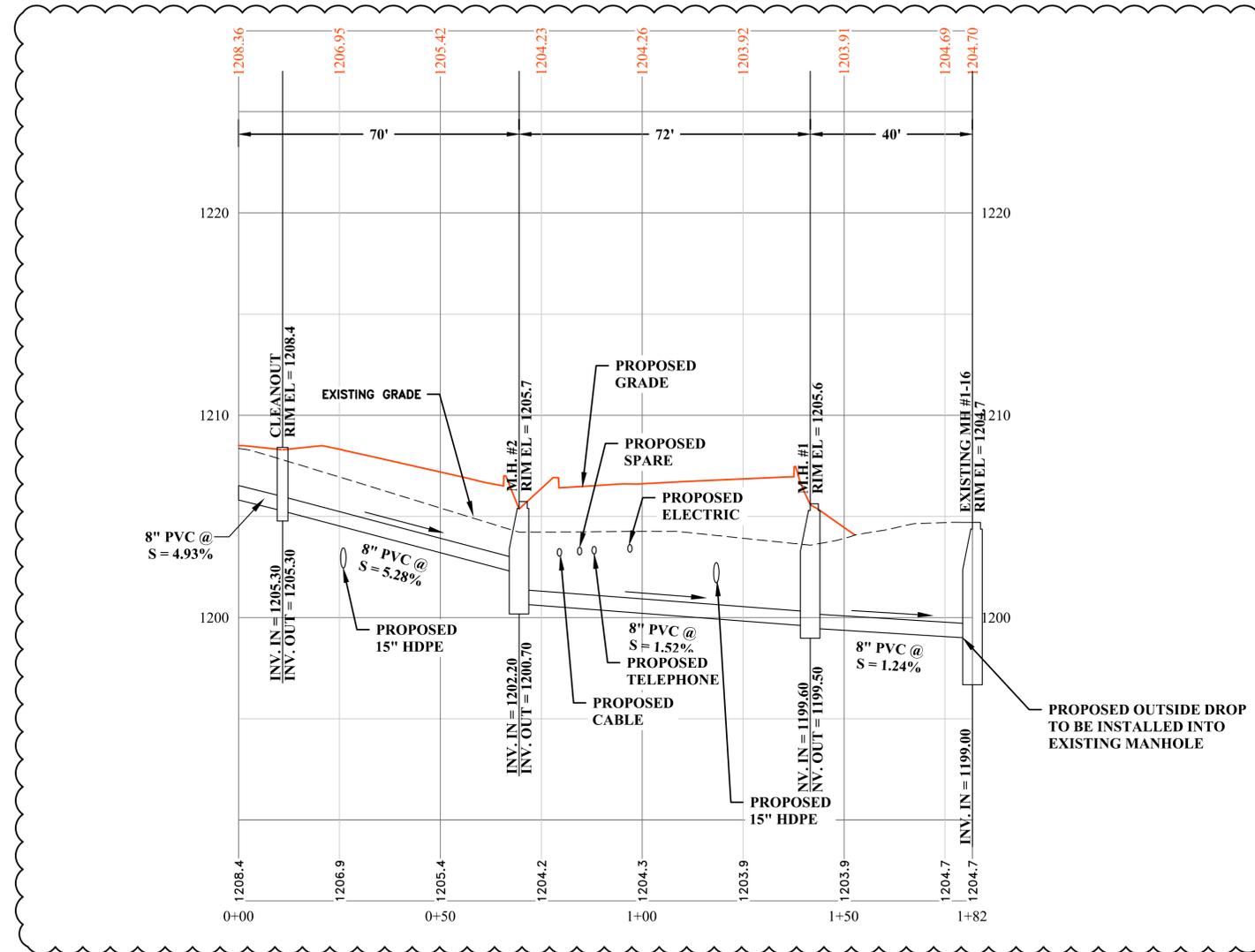
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PROJECT No.
<b>1-01-030-2819</b>

**TGI FRIDAYS  
WHITE OAKS BUSINESS PARK  
HARRISON COUNTY, WEST VIRGINIA  
UTILITY PROFILES**

SHEET No.
<b>8</b>

# SANITARY SEWER PROFILE



LAYOUT TAB: SANITARY SEWER PROFILE  
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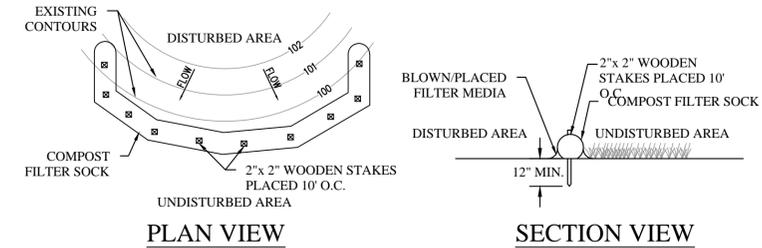
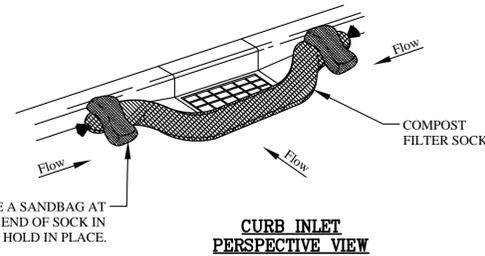
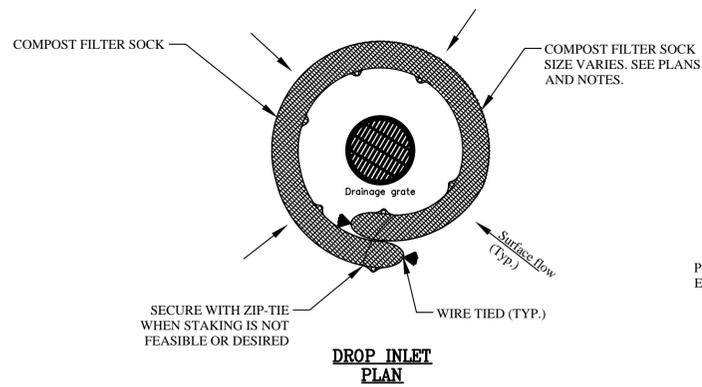
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WHITE OAKS BUSINESS PARK  
HARRISON COUNTY, WEST VIRGINIA  
SANITARY SEWER PROFILE**

SHEET No.  
**9**



**EROSION & SEDIMENT CONTROL / MAINTENANCE AND INSPECTION NOTES**

- 1) CONTRACTOR SHALL CLEAN OUT SEDIMENT BEHIND SILT FENCE ONCE IT IS 1/3 THE HEIGHT OF THE FENCE. THE SEDIMENT SHALL BE INCORPORATED INTO THE FILL WITHIN THE DISTURBED AREA.
- 2) ALL E&S MEASURES SHALL BE INSPECTED, AT A MINIMUM, EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THEN 0.5 INCHES PER 24 HOUR PERIOD. ANY REQUIRED REPAIRS OR MAINTENANCE SHOULD BE MADE IMMEDIATELY.
- 3) SITE SHALL BE WATERED IF RAIN EVENTS DO NOT PROVIDE SUFFICIENT DUST CONTROL.

COMPOST SHALL MEET THE FOLLOWING STANDARDS:

ORGANIC MATTER CONTENT	80% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.0
MOISTURE CONTENT	35% - 55%
PARTICLE SIZE	98% PASS THROUGH 1" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 dS MAXIMUM

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8' UP SLOPE AT 45° TO THE MAIN SOCK ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY 18" DIAMETER SOCK SHALL NOT EXCEED THAT SHOWN ON ABOVE TABLE FOR REINFORCED SILT FENCE. MAXIMUM SLOPE LENGTH FOR A 24" DIAMETER SOCK SHALL NOT EXCEED THAT FOR SUPER SILT FENCE.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MFR. RECOMMENDATIONS. SPECIFICATIONS OR REPLACED ACCORDING TO MFR. RECOMMENDATIONS.

BIODEGRADABLE FILTER SOCK SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1YR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MFR. RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE THE MESH SHALL BE CUT OPEN AND THE MUCH SPREAD AS A SOIL SUPPLEMENT.

**EROSION & SEDIMENT CONTROL / SEEDING AND MULCHING**

- 1) TEMPORARY STABILIZATION  
 SEED: March 1 June 15  
 oats @ 168 lbs/ac  
 August 15 November 1  
 rye @ 120 lbs/ac  
 FERTILIZER: 10 10 10 @ 400 lbs/ac  
  
 FOR STABILIZATION OUTSIDE SEEDING DATES USE HAY OR STRAW MULCH AT 3 TONS/AC OR AT 2 TONS/AC IF ASPHALT EMULSION IS APPLIED AT 100 GAL/AC.
- 2) PERMANENT STABILIZATION  
 DATES: March, April, August, & September  
 SEED: Ky 31 tall fescue @ 50 lbs/ac  
 FERTILIZER: 10-20 10 @ 1000 lbs/ac  
 LIME: 3 tons/ac or per soil test results  
 MULCH: hay or straw @ 2 tons/ac or @ 1.5 tons/ac with asphalt emulsion @ 125 gal/ac.

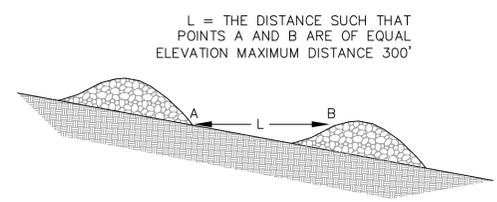
SEEDBED PREPARATION: AREAS TO BE SEEDED SHALL BE FREE OF ROCKS AND STONES TO A DEPTH AT 4" TO 6", AND SMOOTHLY GRADED.

SEEDING METHOD: SEED MAY BE BROADCAST BY HYDROSEEDER OR MANUALLY AS FOLLOWS: BY HAND WITH A CYCLONE SEEDER, OR FERTILIZER SPREADER. IF A MANUAL METHOD IS USED, DIVIDE THE SEED INTO TWO LOTS AND BROADCAST THE SECOND AT RIGHT ANGLE TO THE FIRST.

- 3) STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY CEASED.
- 4) WHERE THE INITIATION OF STABILIZATION MEASURES BY THE SEVENTH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS CONDITIONS ALLOW.
- 5) WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 21 DAYS FROM WHEN ACTIVITIES CEASED, THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH DAY AFTER CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED.
- 6) AREAS WHERE THE SEED HAS FAILED TO GERMINATE ADEQUATELY (UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70%) WITHIN 30 DAYS AFTER SEEDING AND MULCHING MUST BE RESEED IMMEDIATELY, OR AS SOON AS THE WEATHER CONDITIONS ALLOW.

**NOTES:**

1. ANCHORING STAKES SHALL BE SIZED, SPACED, AND BE OF A MATERIAL THAT EFFECTIVELY SECURES THE FILTER SOCK. STAKE SPACING SHALL BE MAXIMUM OF THREE FEET.
2. OVERLAP ENDS OF SOCK PER MANUFACTURERS RECOMMENDATIONS. (1' MIN. 3' MAX.)
3. USE 8" TO 12" DIA. SOCK ON CURBSIDE IN TRAFFIC AREAS.
4. USE 12" - 18" DIA. SOCK IN NON-TRAFFIC AREAS OR AREAS WHERE SAFETY IS NOT A CONCERN.



SLOPE - PERCENT	MAX. SLOPE LENGTH (FT) ABOVE FENCE 30" HIGH FENCE
2 (OR LESS)	500
5	250
10	150
15	100
20	70
25	55
30	45
35	40
40	35
45	30
50	25

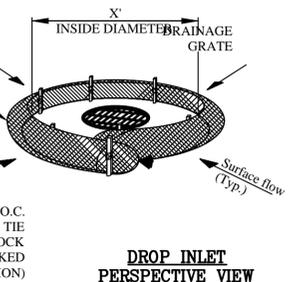
**RESTRICTIONS**

- (1) FILTER FABRIC FENCE WILL NOT BE PLACED IN ANY AREA OF CONCENTRATED FLOWS SUCH AS SWALES, DITCHES, CHANNELS, ETC.
- (2) FILTER FABRIC FENCES WILL NOT BE USED IN AREA WHERE ROCK OR ROCKY SOILS PREVENT THE FULL AND UNIFORM ANCHORING OF THE FENCE TOE.
- (3) FILTER FABRIC MATERIAL WILL NOT BE PLACED ACROSS THE ENTRANCES TO PIPES OR CULVERTS AND WILL NOT BE WRAPPED AROUND THE PRINCIPAL SPILLWAY STRUCTURES OF SEDIMENT TRAPS OR BASINS.

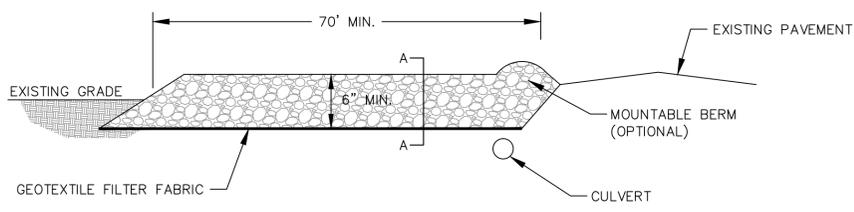
**INSTALLATION**

(1) A TRENCH WILL BE PLOWED OR OTHERWISE EXCAVATED TO THE REQUIRED DEPTH WITH LITTLE, IF ANY DISTURBANCE TO THE DOWNSLOPE SIDE OF THE TRENCH. THE BOTTOM OF THE TRENCH BOTTOM AND FENCE TOP EDGE MAY DEVIATE SLIGHTLY FROM THE LEVEL GRADE.

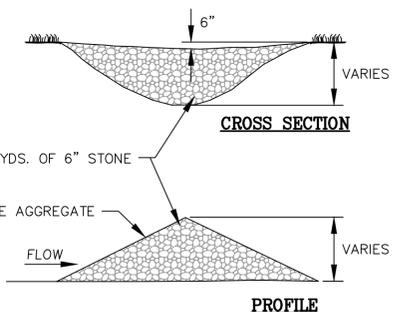
**COMPOST FILTER SOCK NOT TO SCALE**



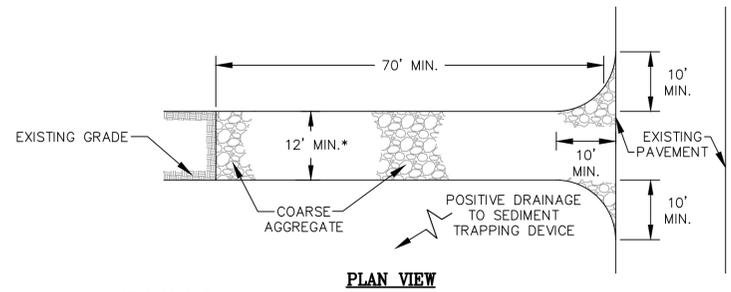
**COMPOST FILTER SOCK INLET PROTECTION NTS**



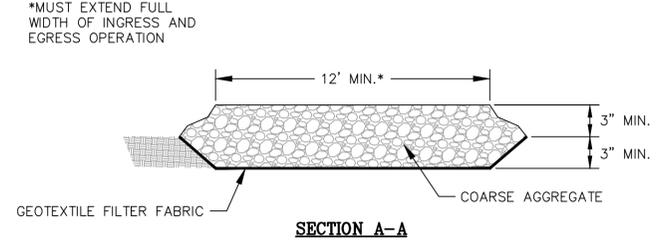
**CHECK DAM SPACING**



**ROCK CHECK DAM NTS**

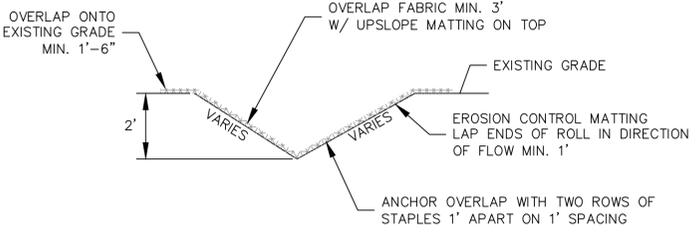


**PLAN VIEW**



**SECTION A-A**

**STABILIZED CONSTRUCTION ENTRANCE NTS**



**DIVERSION DITCH W/E&S MATTING NTS**

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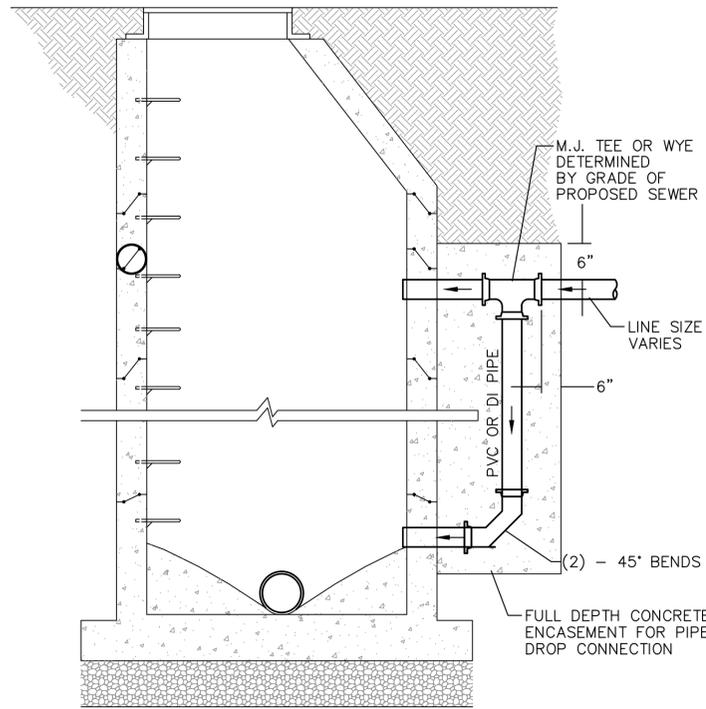
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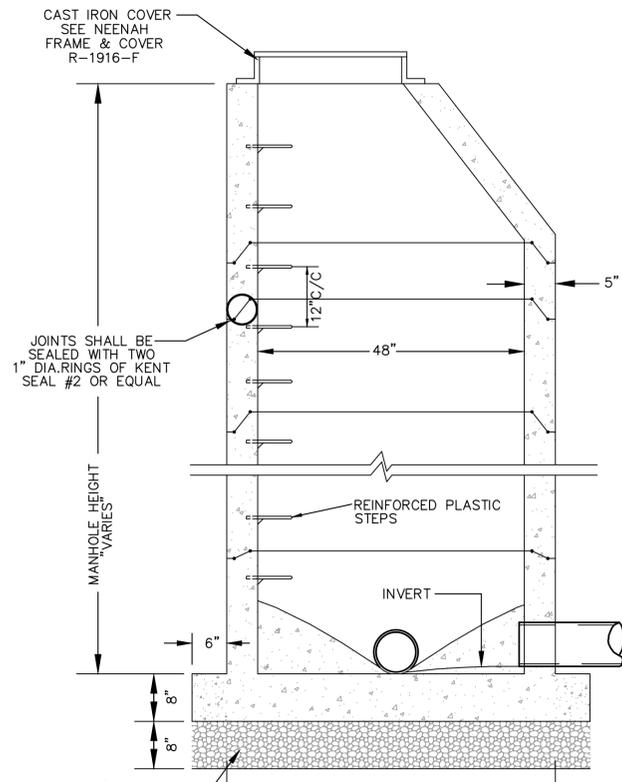
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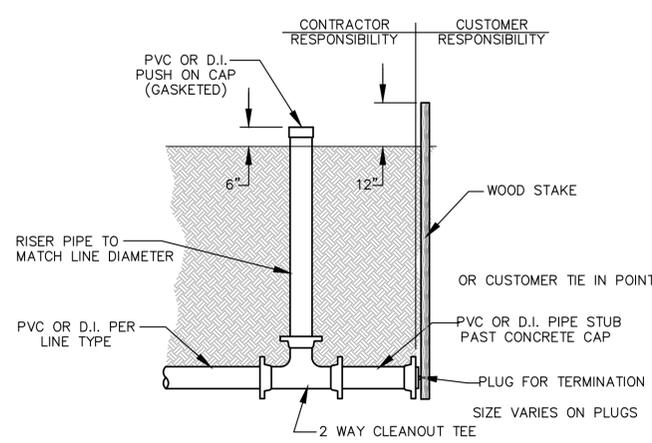
**TGI FRIDAYS  
 WHITE OAKS BUSINESS PARK  
 HARRISON COUNTY, WEST VIRGINIA  
 DETAILS**



**OUTSIDE DROP SANITARY MANHOLE**  
NOT TO SCALE

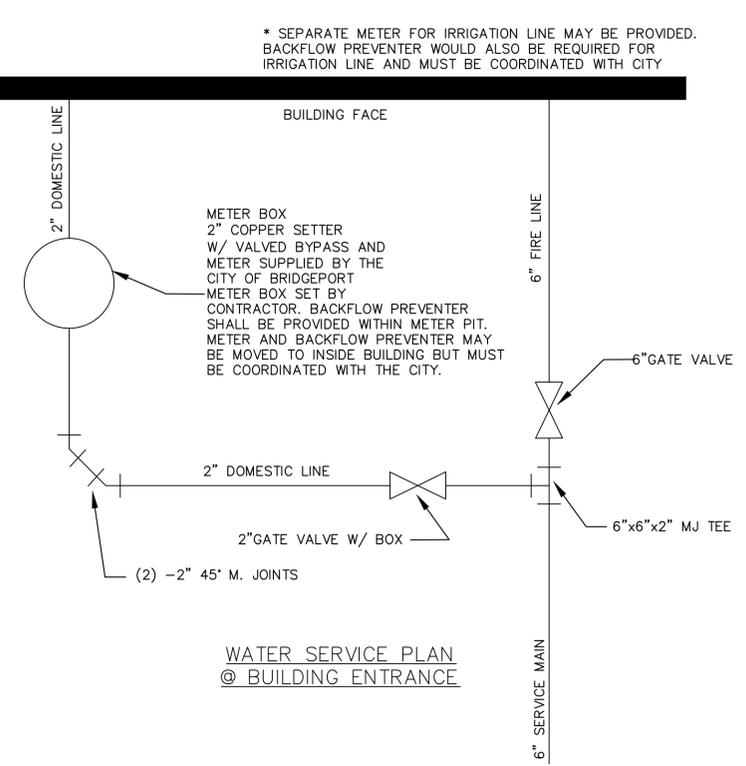


**STANDARD SANITARY MANHOLE**  
NOT TO SCALE

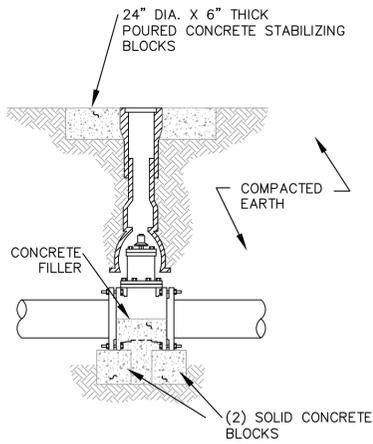


NOTE: CLEANOUT PLUGS SHALL BE PVC "HAND TITE" PLUGS OR EQUAL

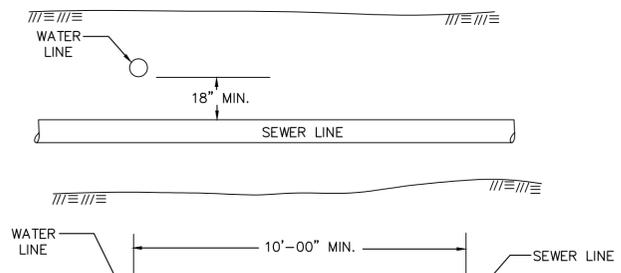
**TERMINAL CLEANOUT DETAIL**  
IN GRASS AREAS  
(GRAVITY LINE)



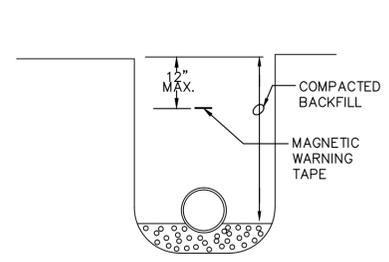
**WATER SERVICE PLAN**  
@ BUILDING ENTRANCE



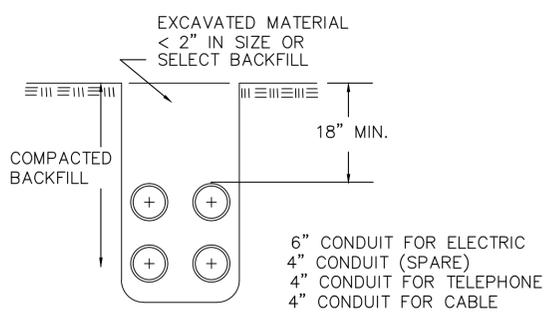
**GATE VALVE**



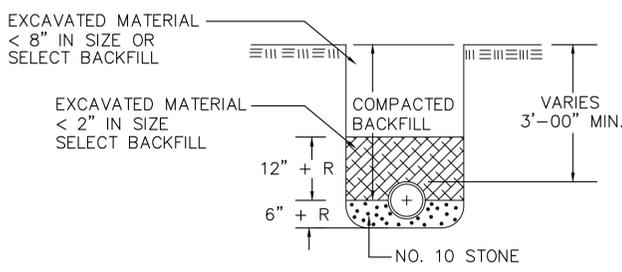
**DETAIL SHOWING SEPARATION OF SEWER AND WATER LINES**



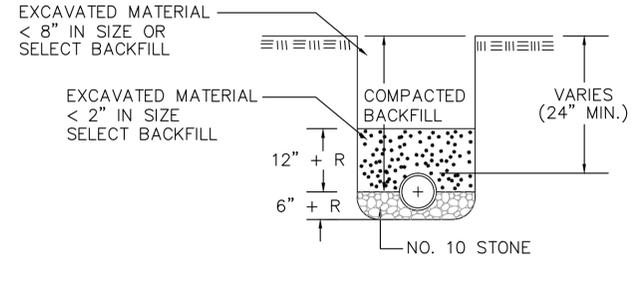
**UTILITY MAGNETIC WARNING TAPE**



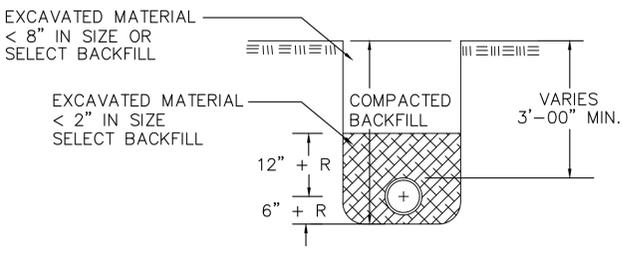
**BEDDING FOR CONDUIT**



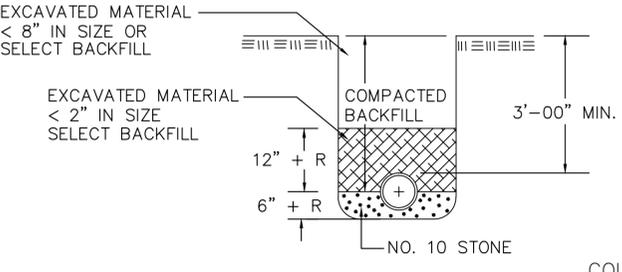
**BEDDING FOR SEWER PIPE**



**BEDDING FOR STORM SEWER PIPE**



**BEDDING FOR GAS PIPE**



**BEDDING FOR WATER PIPE**

**COLOR CODES FOR UTILITY LOCATING MAGNETIC WARNING TAPE**

RED	ELECTRIC
YELLOW	GAS - OIL
ORANGE	TELEPHONE
BLUE	WATER
GREEN	SEWER

**COLOR CODES FOR UTILITY LOCATING MAGNETIC WARNING TAPE**

LAYOUT TAB: SHEET 11  
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CONTRACT No.	
PROJECT No.	
	1-01-030-2819

TGI FRIDAYS  
WHITE OAKS BUSINESS PARK  
HARRISON COUNTY, WEST VIRGINIA  
DETAILS

**Specifications**

Typical applications include commercial and industrial food service kitchens where excessive grease may interfere with the proper drainage of the sewer system. The grease interceptor is generally buried below grade for gravity flow sewer systems. A sample well is utilized on the outlet side for sampling by the local water authority.

**CONCRETE :** Class 1 concrete with design strength of 4500 PSI at 28 days. Unit is of monolithic construction at floor, first stage of wall and baffle with sectional riser to required depth. (Monolithic baffle required, slide-in type is not acceptable)

**REINFORCEMENT:** Grade 60 reinforced with steel rebar conforming to ASTM A615 on required centers or equal.

**C.I. CASTINGS:** Manhole frames, covers or grates are manufactured of grey cast iron conforming to ASTM A48-76 Class 30. Manhole shall be nominal 24 inch diameter and be traffic duty.

**GREASE INTERCEPTOR CALCS:**

MEALS PER X WASTE FLOW X RETENTION X STORAGE  
HOUR RATE TIME FACTOR

$100 \times 6 \times 2.5 \times 1 = 1500 \text{ GALLONS}$

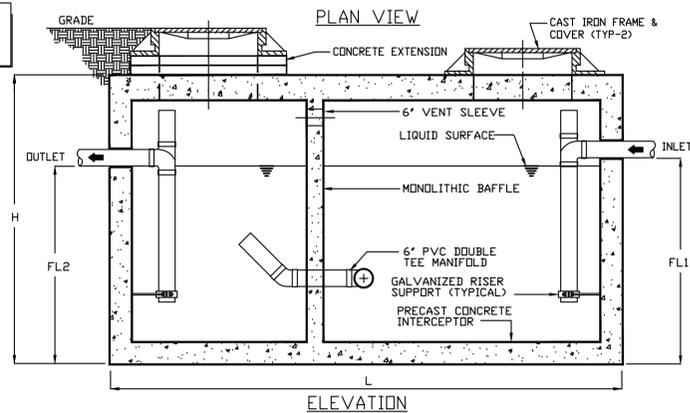
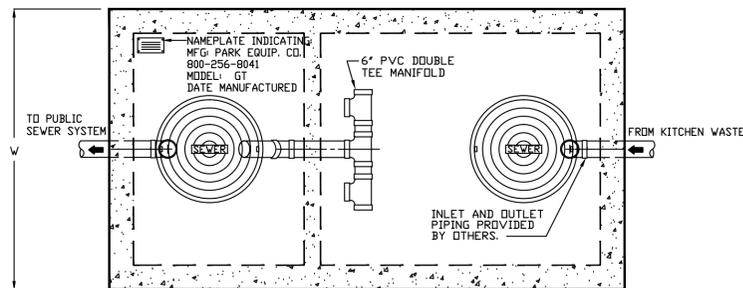
GREASE INTERCEPTOR SCHEDULE								
MODEL NO.	CAPACITY USGal	GREASE CAP. (LBS)	EMPTY WT (LBS)	LENGTH L	WIDTH V	HEIGHT H	INLET FL1	OUTLET FL2
GT-500	500	1,200	7,000	7'-10"	4'-4"	4'-6"	3'-3"	3'-0"
GT-750	750	1,700	10,000	7'-10"	4'-4"	6'-0"	4'-5"	4'-2"
GT-1000	1,000	2,300	13,200	8'-8"	5'-0"	6'-0"	4'-9"	4'-6"
GT-1500	1,500	3,500	20,000	9'-2"	5'-8"	7'-0"	5'-9"	5'-6"
GT-2000	2,000	4,600	24,000	13'-0"	7'-0"	6'-0"	4'-9"	4'-6"
GT-2500	2,500	5,700	27,000	13'-0"	7'-0"	7'-0"	5'-9"	5'-6"
GT-3000	3,000	6,900	30,000	13'-0"	7'-0"	8'-0"	6'-9"	6'-6"
GT-3600	3,600	8,670	26,850	13'-0"	7'-0"	8'-8"	7'-9"	7'-6"
GT-4000	4,000	9,240	36,000	13'-0"	7'-0"	9'-6"	8'-6"	8'-3"

**Engineering Data**

The grease interceptor is structurally & hydraulically engineered to conform to regional plumbing codes recommended in most cities. Consult with local authorities for specific application requirements.

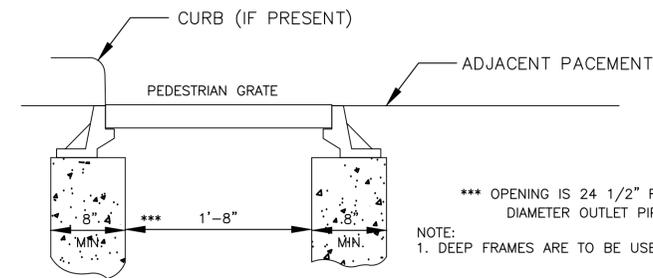
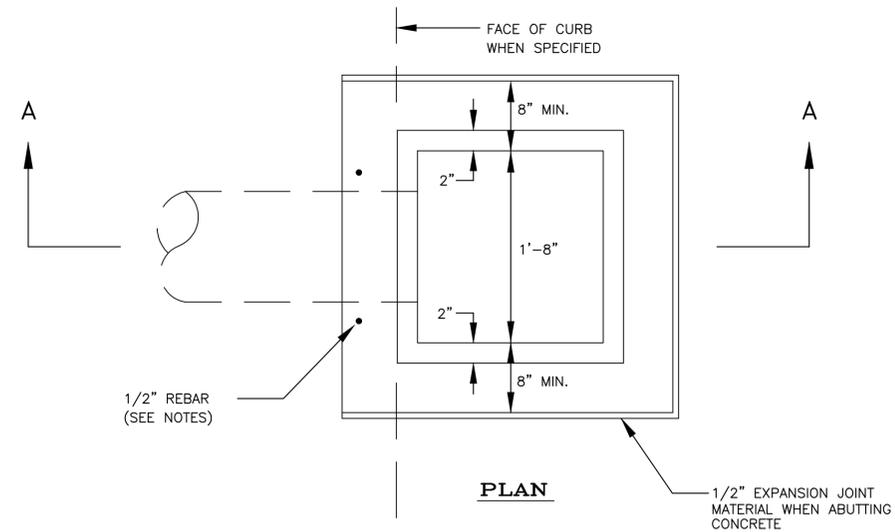
Shop drawings shall include complete structural & buoyancy calculations certified by a licensed professional engineer.

Consult with Park Equipment Company for exact excavation dimensions & shipping information.

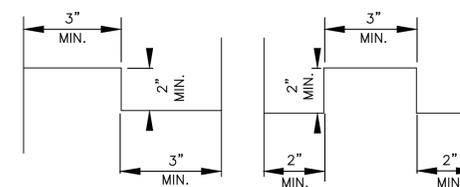


**GREASE INTERCEPTOR DETAIL**  
NTS

NOTE: GREASE INTERCEPTOR LIDS TO BE TRAFFIC RATED.



**PARTIAL SECTION A-A WITH DEEP FRAME**



**CONSTRUCTION JOINT DETAIL**

**TYPE B INLET**  
NTS

**NOTES**

UNLESS OTHERWISE SPECIFIED ON THE PLANS, TYPE B INLETS ARE TO BE CONSTRUCTED IN THE SHAPE SHOWN PER THE DIMENSION CHART  
CONSTRUCTION MAY BE CAST-IN-PLACE, PRECAST IN ONE OR MULTIPLE SECTIONS, OR ANY COMBINATION OF CAST-IN-PLACE AND PRECAST.

OPTIONAL CONSTRUCTION JOINTS LABELED "CJ" MAY BE ROUGHENED CONCRETE, KEYED OR DOWELED AS PER THE TYPICAL DETAILS SHOWN HEREIN, OR AS APPROVED BY THE ENGINEER. NON SHRINK GROUT MEETING THE REQUIREMENTS OF SUBSECTION 715.5 OF THE SPECIFICATIONS MAY BE USED TO A DEPTH OF 1/2" FOR LEVELING BETWEEN PRECAST SECTIONS. THICKER DEPTHS WILL BE ALLOWED AS PER THE MANUFACTURER'S RECOMMENDATIONS.

THE FINAL INSTALLED TOP SURFACE OF INLET AND GRATE SHALL BE FLUSH WITH ADJACENT FINISHED SURFACES SUCH AS PAVEMENT, GUTTERS, CURBS, AND SIDEWALKS. TOP OF GRATE ELEVATION, IF SHOWN ON THE PLANS, IS FOR INFORMATION ONLY. REBARS ARE TO BE INSTALLED AT THE QUARTER POINTS TO CONNECT CURB TO INLET. REBARS ARE NOT REQUIRED IF CURB IS POURED MONOLITHICALLY WITH THE INLET OR IF TYPE V OR VI MEDIAN IS SPECIFIED ON THE PLANS.

THE CONTRACTOR MAY, AT HIS OPTION, OMIT USE OF THE SHALLOW FRAME BY FORMING A LEDGE IN THE CONCRETE.

SPECIAL CARE SHALL BE EXERCISED IN FORMING THE 2" WIDE CONCRETE LEDGE TO PROVIDE A SMOOTH, EVEN SURFACE FOR SUPPORTING THE GRATE IF A FRAME IS NOT USED. NO PROJECTIONS SHALL EXIST ON THE GRATE AND THE GRATE SHALL SEAT ON THE LEDGE WITHOUT ROCKING.

FIBRE FORM SHALL BE REMOVED PRIOR TO COMPLETION OF THE PROJECT.

CURB, IF SPECIFIED, MAY BE EITHER CONCRETE PLACED ON THE INLET BACKWALL AS DETAILED HEREIN OR AN APPROVED CURB BOX AS MANUFACTURED WITH THE GRATE AND FRAME. DIMENSIONS OF THE CURB BOX SHOULD REASONABLY CONFORM TO THE STANDARD CURB AS SPECIFIED ON THE PLANS. THE CURB WILL BE PAID FOR PER SECTION 610, IN EITHER CASE.

THIS INLET SHALL NOT BE PLACED IN A PEDESTRIAN CROSS WALK.

THE MINIMUM DISTANCE FROM THE TOP OF ANY PIPE OPENING TO ANY CONSTRUCTION JOINT ABOVE THE OPENING SHALL BE FOUR (4) INCHES.

THE NUMBER AND LOCATION OF PIPE OPENINGS SHALL BE AS SHOWN IN THE PLANS. THE CONTRACTOR AT NO ADDITIONAL COST, SHALL BE RESPONSIBLE FOR ANY TEMPORARY BRACING REQUIRED TO TRANSPORT PRECAST INLET SECTIONS DUE TO MULTIPLE OPENINGS.

FRAME AND COVER IS TO BE WV DOH STANDARD FOR TYPE B DRAINAGE INLET OR ENGINEERS APPROVED EQUAL.

LAYOUT TAB: SHEET 12  
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PHONE (304) 624-4108 • FAX (304) 624-7831

PHASE No.
CONTRACT No.
PROJECT No.
<b>1-01-030-2819</b>

TGI FRIDAYS  
WHITE OAKS BUSINESS PARK  
HARRISON COUNTY, WEST VIRGINIA  
DETAILS

**NOTES**

THIS INLET SHOULD ONLY BE SPECIFIED WHEN ABUTTING CONCRETE PAVEMENT.

THE FINAL INSTALLED TOP SURFACE OF INLET AND GRATE SHALL BE FLUSH WITH ADJACENT FINISHED SURFACES SUCH AS PAVEMENT, GUTTERS, CURBS, AND SIDEWALKS. TOP OF GRATE ELEVATION, IF SHOWN ON PLANS, IS FOR INFORMATION ONLY.

CONSTRUCTION MAY BE CAST-IN-PLACE, PRECAST IN ONE OR MORE MULTIPLE SECTIONS, OR ANY COMBINATION OF CAST-IN-PLACE AND PRECAST.

REBARS ARE TO BE INSTALLED AT THE THIRD POINTS TO CONNECT CURB TO INLET. REBARS ARE NOT REQUIRED IF CURB IS POURED MONOLITHICALLY WITH INLET OR IF TYPE V OR VI MEDIAN IS SPECIFIED ON THE PLANS.

FOR DETAILS OF GRATE SUPPORT BAR, SHALLOW FRAME, AND GRATES (TWO REQUIRED), SEE INLET CASTINGS STANDARD SHEET DR6-X. USE OF THE SHALLOW FRAME WILL BE LIMITED TO ROADWAYS CONSTRUCTED OF CONCRETE PAVEMENT. IF ADJACENT ROADWAY IS BUILT OF HOT MIX ASPHALT PAVEMENT, THE FRAME AS REQUIRED FOR A TYPE F INLET (STANDARD SHEET DR6F) WILL BE REQUIRED.

THE CONTRACTOR MAY, AT HIS OPTION, OMIT USE OF THE FRAME BY FORMING A LEDGE IN THE CONCRETE.

SPECIAL CARE SHALL BE EXERCISED IN FORMING THE 2" WIDE CONCRETE LEDGE TO PROVIDE A SMOOTH, EVEN SURFACE FOR SUPPORTING THE GRATES IF THE SHALLOW FRAME IS NOT USED. NO PROJECTIONS SHALL EXIST ON THE BEARING SURFACES OF THE LEDGE OR THE GRATES, AND THE GRATES SHALL SEAT ON THE LEDGE WITHOUT ROCKING.

OPTIONAL CONSTRUCTION JOINTS LABELED "CJ" MAY BE ROUGHENED CONCRETE, KEYPED OR DOWELED AS PER THE TYPICAL DETAILS SHOWN HEREIN OR APPROVED BY THE ENGINEER. NON SHRINK GROUT MEETING THE REQUIREMENTS OF SUBSECTION 715.5 OF THE SPECIFICATIONS MAY BE USED TO A DEPTH OF 1/2" FOR LEVELING BETWEEN PRECAST SECTIONS. THICKER DEPTHS WILL BE ALLOWED IF AS PER THE MANUFACTURER'S RECOMMENDATIONS.

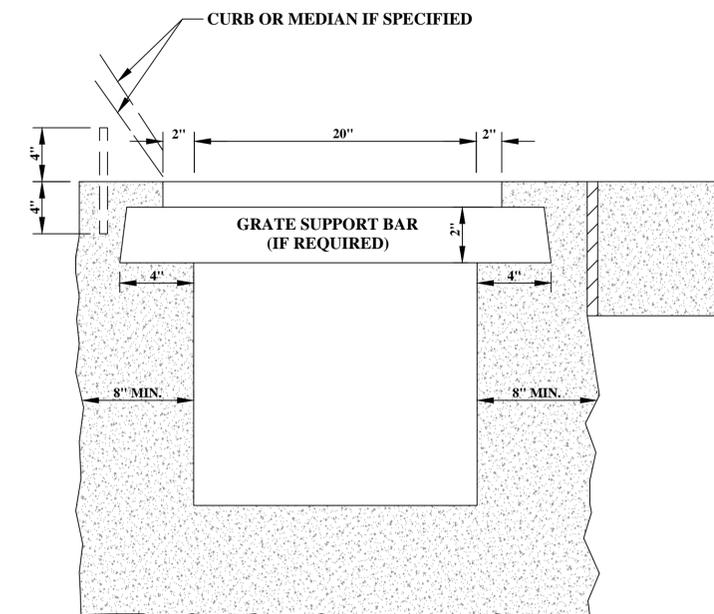
PC (MINIMUM PIPE COVER) SHALL BE 12" BELOW INLET TOP FOR PIPES PLACED UNDER SIDEWALK OR GRASSED AREA OR 24" BELOW INLET TOP FOR PIPES PLACED UNDER PAVEMENT OR SHOULDER.

CURB, IF SPECIFIED, MAY BE EITHER CONCRETE PLACED ON THE INLET BACKWALL AS DETAILED HEREIN OR AN APPROVED CURB BOX AS MANUFACTURED WITH THE GRATE AND FRAME. DIMENSIONS OF THE CURB BOX SHOULD REASONABLY CONFORM TO THE STANDARD CURB AS SPECIFIED ON THE PLANS. THE CURB WILL BE PAID FOR PER SECTION 610, IN EITHER CASE.

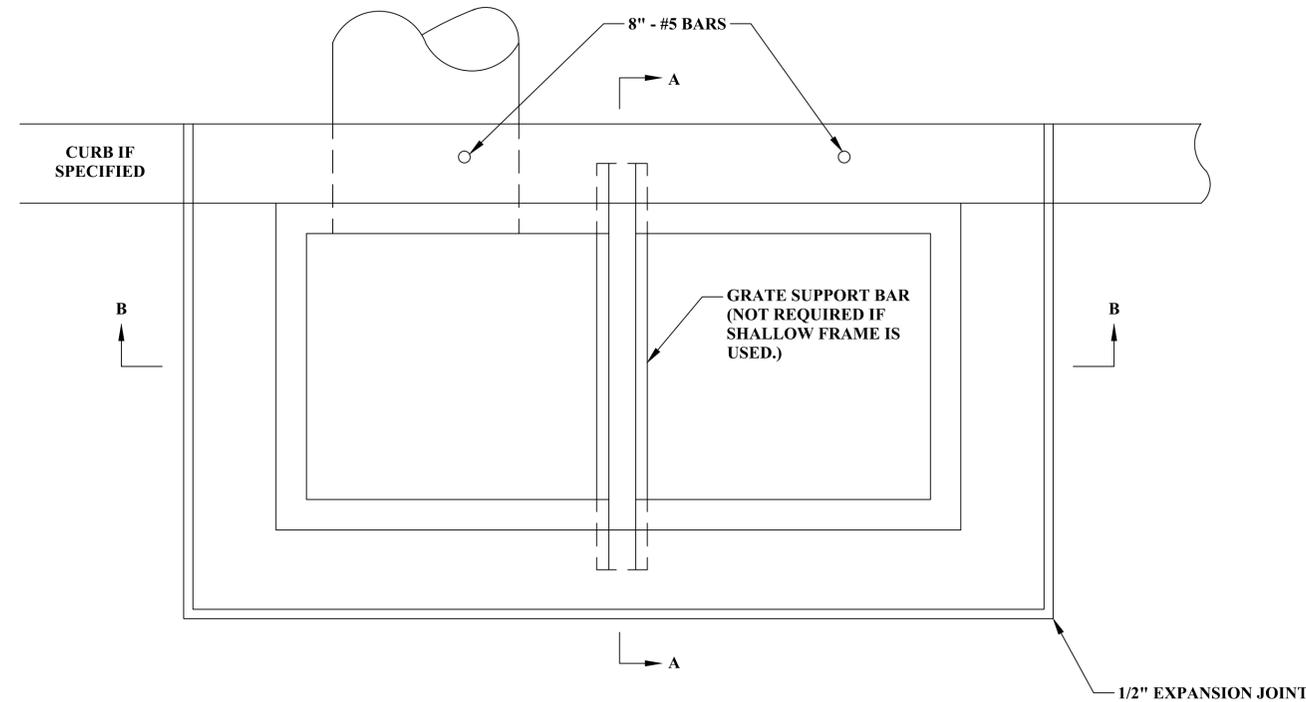
THIS INLET SHALL NOT BE PLACED IN A PEDESTRIAN CROSSWALK.

THE MINIMUM DISTANCE FROM THE TOP OF ANY PIPE OPENING TO ANY CONSTRUCTION JOINT ABOVE THE OPENING SHALL BE FOUR (4) INCHES.

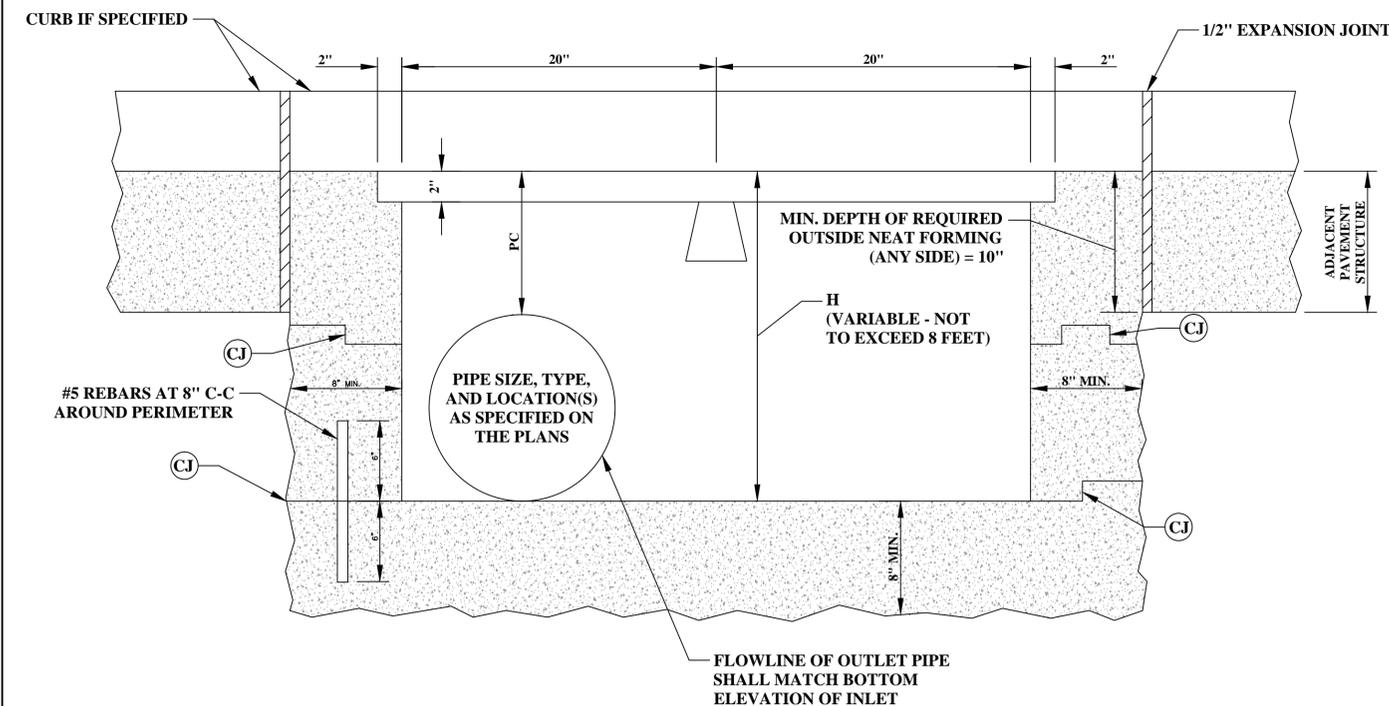
THE NUMBER AND LOCATION OF PIPE OPENINGS SHALL BE AS SHOWN IN THE PLANS. THE CONTRACTOR AT NO ADDITIONAL COST, SHALL BE RESPONSIBLE FOR ANY TEMPORARY BRACING REQUIRED TO TRANSPORT PRECAST INLET SECTIONS DUE TO MULTIPLE OPENINGS.



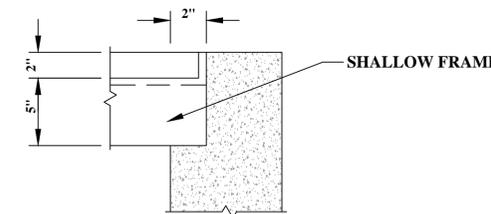
**SECTION A-A**



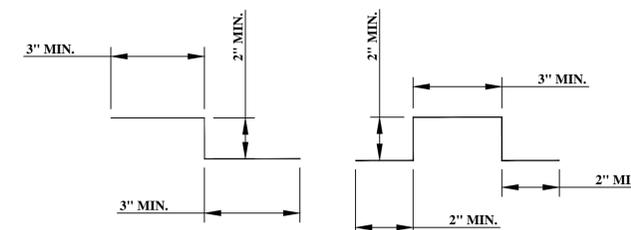
**PLAN**



**SECTION B-B**



**PARTIAL SECTION A-A WITH OPTIONAL SHALLOW FRAME**



**CONSTRUCTION JOINT DETAILS**

**TYPE A INLET**  
NTS

LAYOUT TAB: SHEET 13  
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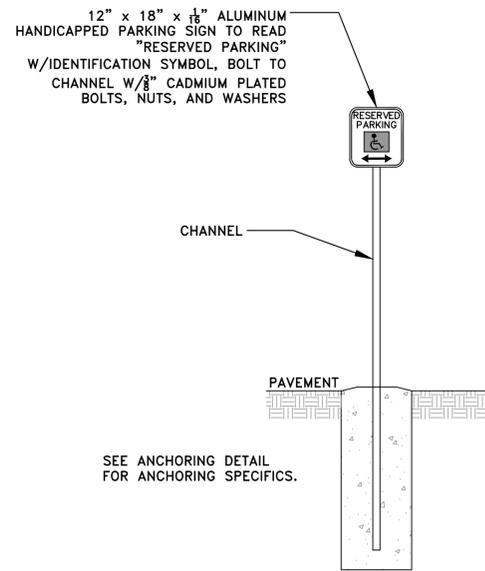
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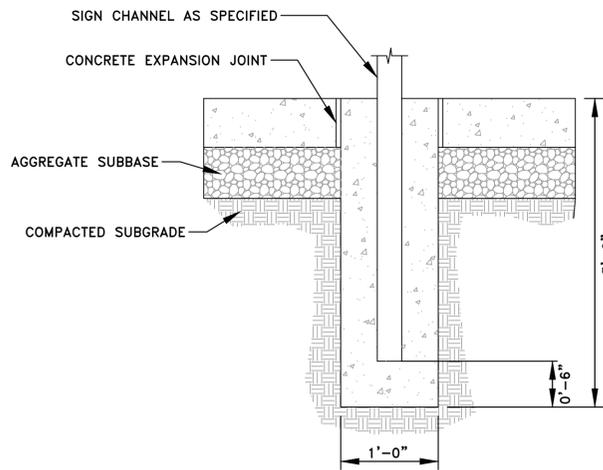
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WHITE OAKS BUSINESS PARK  
HARRISON COUNTY, WEST VIRGINIA  
DETAILS

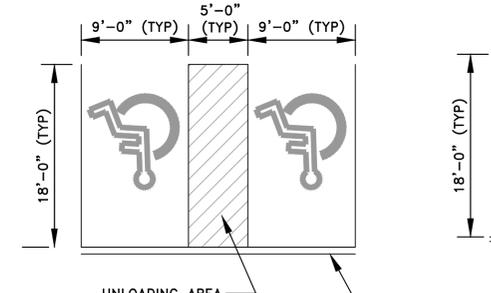


- NOTES:
- PLACE BOTTOM OF SIGN 5'-0" ABOVE GRADE
  - MOUNT ON STANDARD "T" RAIL W/BASE POST HAVING A MIN. WEIGHT OF 2.98 kg/m

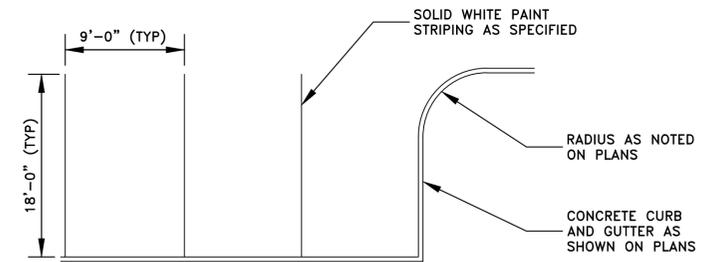
HANDICAP SIGNAGE



SIGN ANCHORING DETAIL



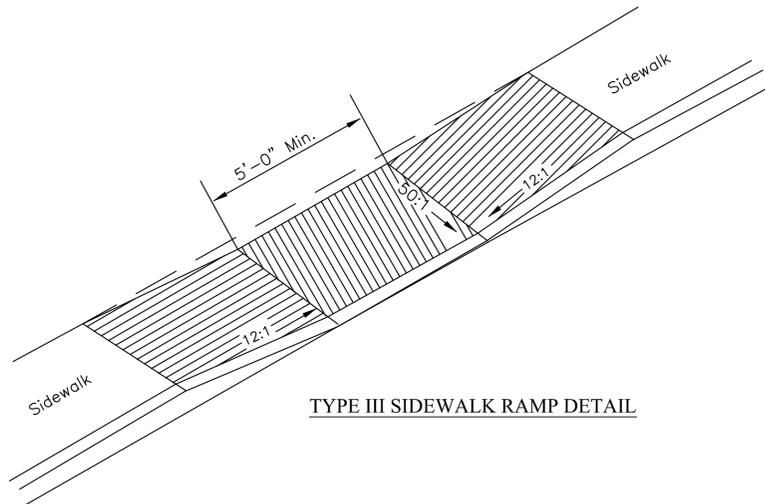
- NOTES:
- \*SEE PLAN FOR CONFIGURATION OF AREA SHOWN
  - \*PAVEMENT SHALL NOT EXCEED 2% SLOPE IN DIRECTION WITHIN ACCESSIBLE PARKING SPACES AND ISLES



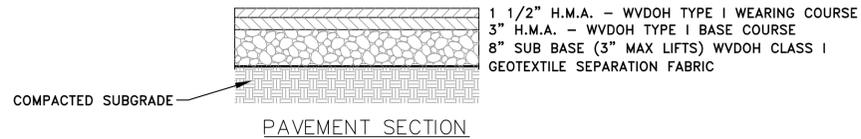
PARKING STALL PAINTING

- NOTES:
- PLACE EXPANSION JOINT WHERE DIFFERENT SIDEWALKS ABUT. AND AGAINST ANY STRUCTURE
  - LACE EXPANSION JOINTS 20'-0" O.C.
  - PLACE CONTRACTION JOINTS 5'-0" O.C.
  - FINISH SURFACE WITH A NON-SLIP BROOM SWEEP FINISH
  - BEVEL AT ENTRANCES TO MEET FINISHED FLOOR ELEVATION WITH A SLOPE NO GREATER THAN 1v:4h.

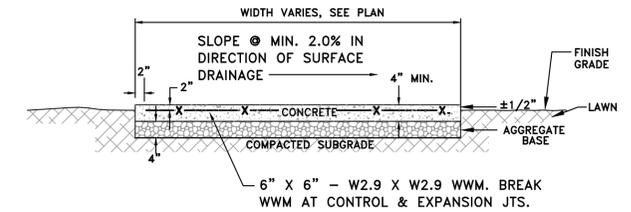
ACCESSIBLE PARKING SIGN



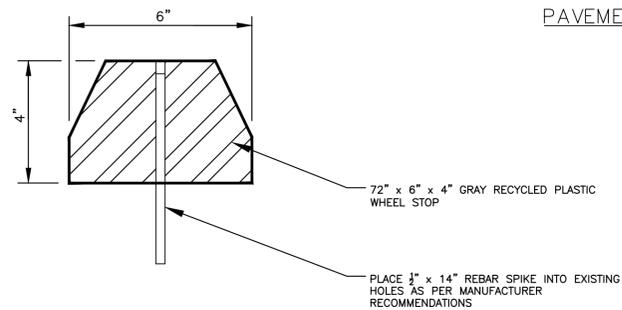
TYPE III SIDEWALK RAMP DETAIL



PAVEMENT SECTION

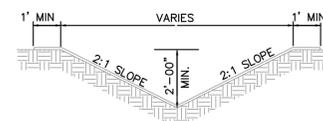


TYPICAL SIDEWALK SECTION



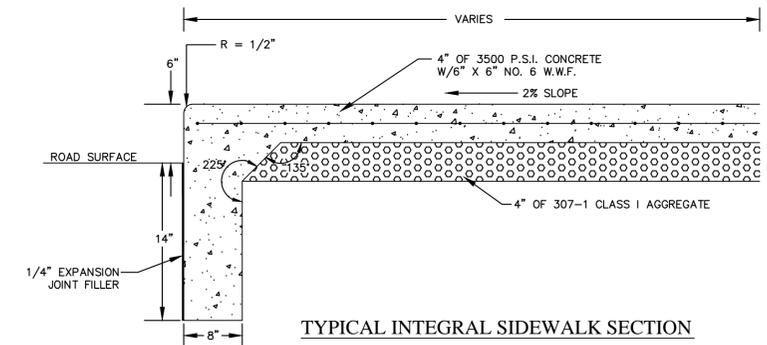
WHEEL STOP

NTS

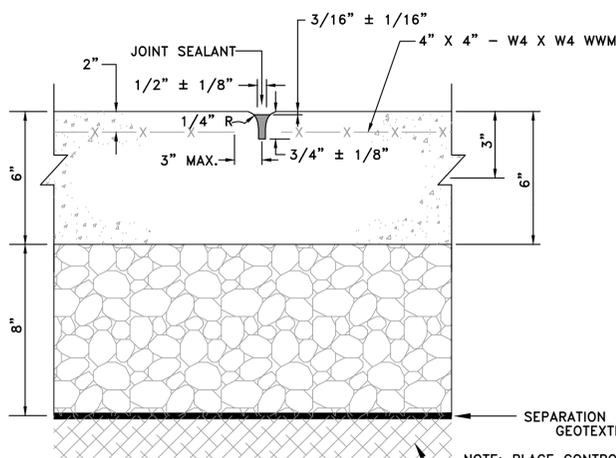


GRASS LINED DIVERSION DITCH

NOT TO SCALE

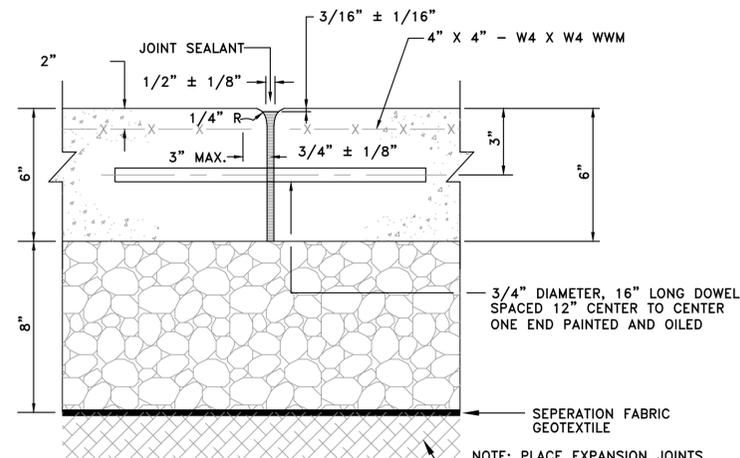


TYPICAL INTEGRAL SIDEWALK SECTION



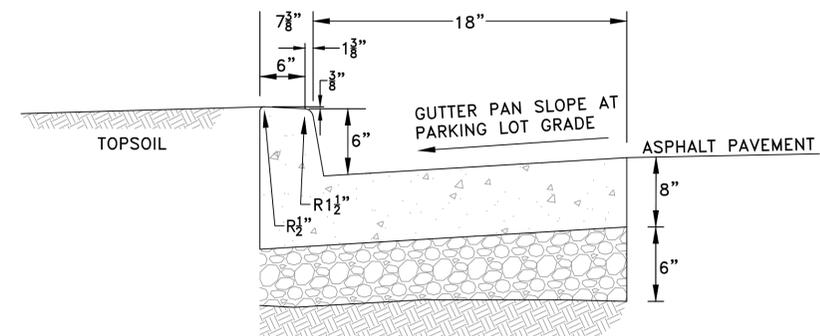
CONCRETE GARBAGE PAD CONTROL JOINT DETAIL

- NOTE: PLACE CONTROL JOINTS @ 5' O.C. (BOTH WAYS)



CONCRETE GARBAGE PAD EXPANSION JOINT DETAIL

- NOTE: PLACE EXPANSION JOINTS 20' O.C. (BOTH WAYS) AND AGAINST ANY STRUCTURE.



CONCRETE CURB AND GUTTER

LAYOUT TAB: SHEET 14  
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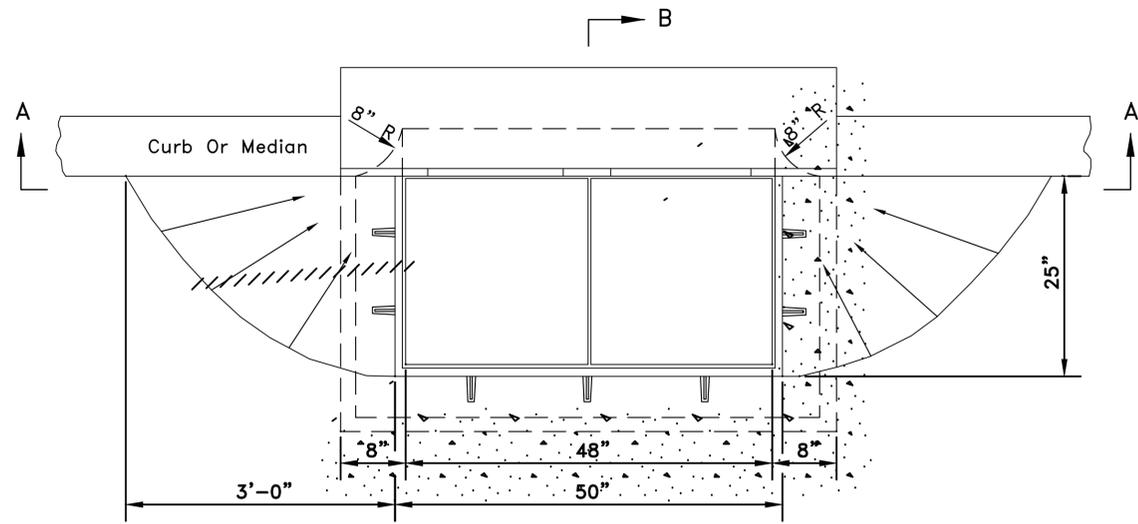
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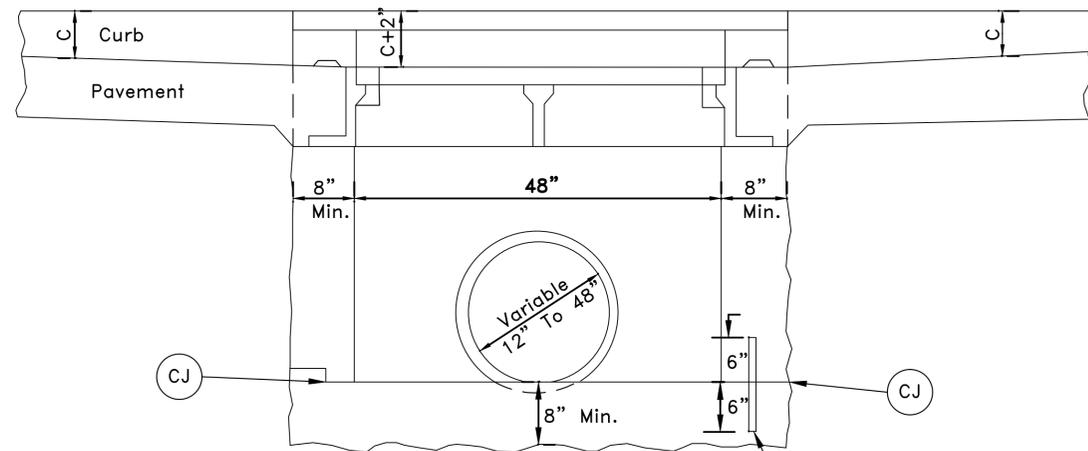
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 WHITE OAKS BUSINESS PARK  
 HARRISON COUNTY, WEST VIRGINIA  
 DETAILS





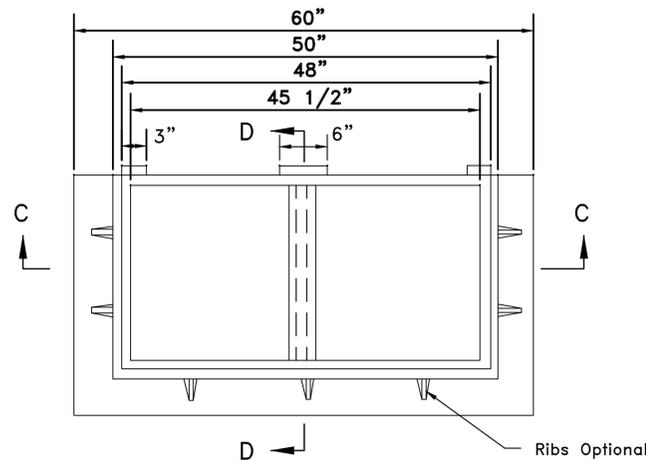
PLAN

C = Curb Height

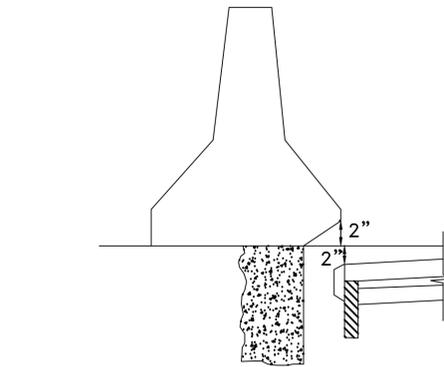


SECTION A-A  
(Grates Not Shown)

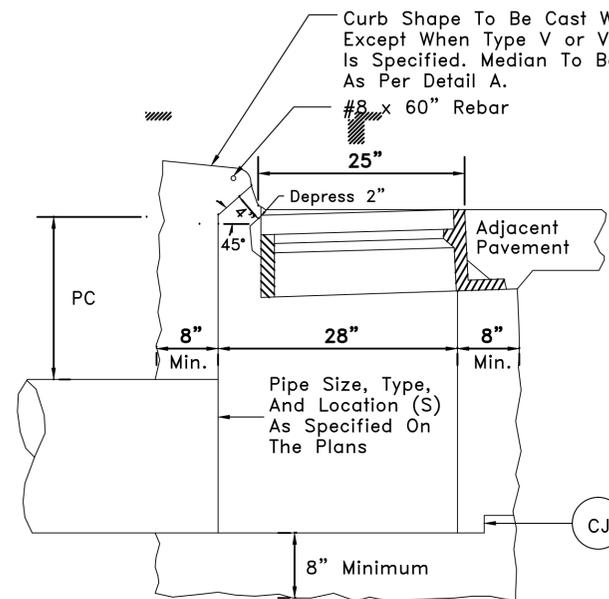
#5 Rebars at 8" C-C Around Perimeter



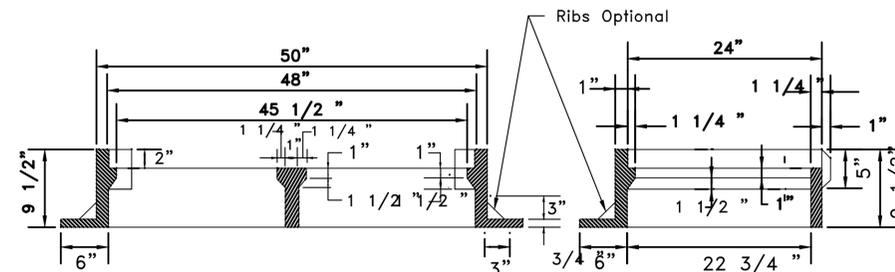
Ribs Optional



DETAIL A



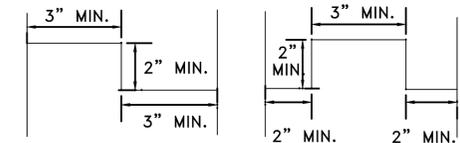
SECTION B-B  
(Grates Not Shown)



SECTION C-C

SECTION D-D

DETAIL OF FRAME



CONSTRUCTION JOINT DETAILS

**NOTES**

The final installed top surface of inlet and grate shall be flush with adjacent finish surfaces such as pavement, gutters, curbs, and sidewalks. Top of grate elevations, if shown on the plans, is for information only.

Construction may be cast-in place, precast in one or multiple sections, or any combination of cast-in-place and precast.

Optional construction joints labeled "CJ" may be roughened concrete, keyed or doweled as per the typical details shown herein or as approved by the Engineer. Non shrink grout meeting the requirements of subsection 715.5 of the specifications may be used to a depth of 1/2" for leveling between precast sections. Thicker depths will be allowed if as per the manufacturer's recommendations.

The covering for reinforcing steel shall be two inches, measured from the surface of the concrete to the face of the bar, unless otherwise shown.

For details of grates (two required), see Inlet Castings Standard Sheet DR6-X.

PC (minimum pipe cover) shall be 12" below inlet top for pipes placed under sidewalk or grassed area or 24" below inlet top for pipes placed under pavement or shoulder.

Curb, if specified, may be either concrete placed on the inlet backwall as detailed herein or an approved curb box as manufactured with the grate and frame. Dimensions of the curb box should reasonably conform to the standard curb as specified on the plans. The curb will be paid for per section 610, in either case.

This inlet shall not be placed in a pedestrian cross walk.

The minimum distance from the top of any pipe opening to any construction joint above the opening shall be four (4) inches.

The number and location of pipe openings shall be as shown in the plans. The contractor at no additional cost, shall be responsible for any temporary bracing required to transport precast inlet sections due to multiple openings.

**TYPE F INLET**  
NTS

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WHITE OAKS BUSINESS PARK  
HARRISON COUNTY, WEST VIRGINIA  
DETAILS

SHEET No.

15

EDGE OF PAVEMENT POINTS					
#	NORTHING	EASTING	DESCRIPTION	ELEVATION	TOP OF CURB
1	303303.3834	1760402.2743	SOUTH SECTION OF PARKING LOT	1207.0000	1207.50
2	303317.0394	1760405.4577	SOUTH SECTION OF PARKING LOT	1208.0000	1208.50
3	303334.3227	1760432.7298	SOUTH SECTION OF PARKING LOT	1209.4000	1209.90
4	303333.3761	1760436.8938	SOUTH SECTION OF PARKING LOT	1209.3000	1209.80
5	303320.6526	1760444.7883	SOUTH SECTION OF PARKING LOT	1209.2000	1209.70
6	303339.6327	1760475.3784	SOUTH SECTION OF PARKING LOT	1209.0000	1209.50
7	303352.3786	1760467.4700	SOUTH SECTION OF PARKING LOT	1209.2000	1209.70
8	303356.5095	1760468.4375	SOUTH SECTION OF PARKING LOT	1209.3000	1209.80
9	303361.8517	1760477.0476	SOUTH SECTION OF PARKING LOT	1209.2000	1209.70
10	303362.0346	1760487.2852	SOUTH SECTION OF PARKING LOT	1209.1000	1209.60
11	303356.9023	1760487.4105	SOUTH SECTION OF PARKING LOT	1209.2000	1209.70
12	303349.1976	1760475.3476	SOUTH SECTION OF PARKING LOT	1209.4000	1209.90
13	303296.1037	1760509.2593	SOUTH SECTION OF PARKING LOT	1207.8000	1208.30
14	303304.7746	1760522.8350	SOUTH SECTION OF PARKING LOT	1207.5000	1208.00
15	303303.8757	1760526.9688	SOUTH SECTION OF PARKING LOT	1207.4000	1207.90
16	303290.7818	1760535.4386	SOUTH SECTION OF PARKING LOT	1207.0000	1207.50
17	303336.0027	1760605.0727	EAST SECTION OF PARKING LOT	1206.0000	1206.50
18	303370.7093	1760582.8650	EAST SECTION OF PARKING LOT	1207.8000	1208.30
19	303374.9209	1760580.1701	EAST SECTION OF PARKING LOT	1207.8000	1208.30
20	303389.7229	1760570.6986	EAST SECTION OF PARKING LOT	1207.1000	1207.60
21	303444.7414	1760535.4938	EAST SECTION OF PARKING LOT	1207.9000	1208.40
22	303451.8483	1760530.9462	EAST SECTION OF PARKING LOT	1208.3000	1208.80
23	303464.7435	1760532.7735	EAST SECTION OF PARKING LOT	1208.1000	1208.60
24	303463.6522	1760540.3044	EAST SECTION OF PARKING LOT	1207.9000	1208.40
25	303452.7057	1760547.1995	EAST SECTION OF PARKING LOT	1208.0000	1208.50
26	303453.5053	1760548.4686	EAST SECTION OF PARKING LOT	1207.9921	1208.49
27	303456.9701	1760553.9681	EAST SECTION OF PARKING LOT	1207.9580	-
28	303487.3545	1760602.1946	EAST SECTION OF PARKING LOT	1207.6591	-
29	303491.6189	1760608.9632	EAST SECTION OF PARKING LOT	1207.6171	1208.12
30	303493.3566	1760611.7213	EAST SECTION OF PARKING LOT	1207.6000	1208.10
31	303510.7996	1760639.4280	EAST SECTION OF PARKING LOT	1206.6000	1207.10
32	303523.2828	1760631.5649	EAST SECTION OF PARKING LOT	1207.0000	1207.50
33	303524.5234	1760631.7044	EAST SECTION OF PARKING LOT	1207.0000	-
34	303528.6967	1760637.013	EAST SECTION OF PARKING LOT	1207.1000	-
35	303531.5794	1760643.3808	EAST SECTION OF PARKING LOT	1207.0000	-
36	303531.1565	1760644.5227	EAST SECTION OF PARKING LOT	1207.0292	1207.53
37	303513.9202	1760655.3796	EAST SECTION OF PARKING LOT	1207.8296	1208.33
38	303502.4277	1760652.7700	EAST SECTION OF PARKING LOT	1208.3005	1208.80
39	303499.8797	1760648.7256	EAST SECTION OF PARKING LOT	1208.5000	-
40	303481.6574	1760660.2056	EAST SECTION OF PARKING LOT	1208.5000	-
41	303489.5378	1760672.7164	EAST SECTION OF PARKING LOT	1207.8000	1208.30
42	303482.3610	1760686.5024	EAST SECTION OF PARKING LOT	1207.3000	1207.80
43	303477.9036	1760684.1998	EAST SECTION OF PARKING LOT	1207.2000	1207.70
44	303471.1902	1760673.6889	EAST SECTION OF PARKING LOT	1207.8000	1208.30
45	303448.4356	1760688.2225	EAST SECTION OF PARKING LOT	1207.2000	1207.70
46	303457.0291	1760701.6769	EAST SECTION OF PARKING LOT	1207.0000	1207.50
47	303456.0825	1760705.8410	EAST SECTION OF PARKING LOT	1206.8000	1207.30
48	303453.8309	1760707.2380	EAST SECTION OF PARKING LOT	1206.7000	1207.20
49	303464.5155	1760724.2004	EAST SECTION OF PARKING LOT	1205.8000	1206.30
50	303529.7177	1760683.1301	EAST SECTION OF PARKING LOT	1206.6000	1207.10
51	303546.0648	1760672.8332	EAST SECTION OF PARKING LOT	1206.8000	1207.30
52	303552.9604	1760674.3990	EAST SECTION OF PARKING LOT	1206.9000	1207.40
53	303554.2928	1760676.5144	EAST SECTION OF PARKING LOT	1207.0000	1207.50
54	303601.2245	1760646.9525	NORTH SECTION OF PARKING LOT	1208.3000	1208.80
55	303641.2186	1760656.0342	NORTH SECTION OF PARKING LOT	1205.4075	1205.91
56	303589.5225	1760573.9627	NORTH SECTION OF PARKING LOT	1210.9983	1211.50
57	303580.7792	1760613.7404	NORTH SECTION OF PARKING LOT	1208.6000	1209.10
58	303557.5523	1760628.8241	NORTH SECTION OF PARKING LOT	1207.4000	1207.90
59	303556.3269	1760628.7178	NORTH SECTION OF PARKING LOT	1207.4000	-
60	303548.8414	1760617.3095	NORTH SECTION OF PARKING LOT	1207.4000	-
61	303549.2501	1760616.1283	NORTH SECTION OF PARKING LOT	1207.4000	1207.90
62	303561.9837	1760608.1104	NORTH SECTION OF PARKING LOT	1207.6000	1208.10
63	303532.0783	1760560.6332	NORTH SECTION OF PARKING LOT	1208.0000	1208.50
64	303492.8056	1760417.1393	WEST SECTION OF PARKING LOT	1212.5000	1213.00
65	303480.3211	1760416.8179	WEST SECTION OF PARKING LOT	1213.2000	1213.70
66	303477.7584	1760407.6057	WEST SECTION OF PARKING LOT	1213.8000	1214.30
67	303489.6855	1760399.9878	WEST SECTION OF PARKING LOT	1214.5000	1215.00
68	303460.6182	1760354.4785	WEST SECTION OF PARKING LOT	1216.0000	1216.50
69	303436.55	1760369.8511	WEST SECTION OF PARKING LOT	1215.0000	1215.50
70	303432.4069	1760368.9377	WEST SECTION OF PARKING LOT	1214.8000	1215.30
71	303424.3326	1760356.2962	WEST SECTION OF PARKING LOT	1215.0000	1215.50
72	303348.4838	1760404.7417	SOUTH SECTION OF PARKING LOT	1210.5000	1211.00
73	303358.2286	1760419.9986	SOUTH SECTION OF PARKING LOT	1209.6000	1210.10
74	303357.7719	1760422.0702	SOUTH SECTION OF PARKING LOT	1209.5000	1210.00
75	303357.5799	1760422.1928	SOUTH SECTION OF PARKING LOT	1209.5000	1210.00
76	303355.5032	1760421.7281	SOUTH SECTION OF PARKING LOT	1209.4000	1209.90
77	303337.4132	1760393.0082	SOUTH SECTION OF PARKING LOT	1210.0000	1210.50
78	303340.6023	1760379.1813	SOUTH SECTION OF PARKING LOT	1210.9855	1211.49

WALL POINTS					
#	NORTHING	EASTING	DESCRIPTION	TOP ELEVATION	BOTTOM ELEVATION
100	303322.4417	1760443.0898	SOUTH SECTION OF PARKING LOT	1209.72	1208.22
101	303341.6942	1760479.5469	SOUTH SECTION OF PARKING LOT	1209.52	1208.02
102	303332.7144	1760485.2824	SOUTH SECTION OF PARKING LOT	1209.28	1207.28
103	303309.0272	1760500.4116	SOUTH SECTION OF PARKING LOT	1208.65	1205.65
104	303299.4055	1760515.3577	SOUTH SECTION OF PARKING LOT	1208.17	1205.17

SWALE POINTS				
#	NORTHING	EASTING	DESCRIPTION	ELEVATION
500	303465.4166	1760540.0693	NORTHWEST SIDE OF BUILDING IN PARKING LOT	1207.90
501	303470.6009	1760541.8367	NORTHWEST SIDE OF BUILDING IN PARKING LOT	1207.80
502	303492.4528	1760576.5281	NORTHWEST SIDE OF BUILDING IN PARKING LOT	1207.30
503	303496.4034	1760584.6763	NORTHWEST SIDE OF BUILDING IN PARKING LOT	1207.20
504	303509.9836	1760633.4418	NORTHWEST SIDE OF BUILDING IN PARKING LOT	1206.60

BUILDING POINTS				
#	NORTHING	EASTING	DESCRIPTION	ELEVATION
200	303370.2845	1760596.6600	SOUTH SECTION OF BUILDING	1208.50
201	303391.4629	1760583.3176	SOUTH SECTION OF BUILDING	1208.50
202	303393.8264	1760587.0684	WEST SECTION OF BUILDING	1208.50
203	303422.7047	1760568.8751	WEST SECTION OF BUILDING	1208.50
204	303432.0686	1760563.5682	WEST SECTION OF BUILDING	1208.50
205	303446.3200	1760554.5898	WEST SECTION OF BUILDING	1208.50
206	303492.1648	1760630.6003	NORTH SECTION OF BUILDING	1208.50
207	303470.6398	1760644.1980	NORTH SECTION OF BUILDING	1208.50
208	303478.8174	1760657.1783	NORTH SECTION OF BUILDING	1208.50
209	303452.7649	1760673.5914	EAST SECTION OF BUILDING	1208.50
210	303444.5707	1760660.5848	EAST SECTION OF BUILDING	1208.50
211	303437.2366	1760665.2051	EAST SECTION OF BUILDING	1208.50
212	303411.3688	1760624.1425	SOUTH SECTION OF BUILDING	1208.50
213	303394.3523	1760634.8629	SOUTH SECTION OF BUILDING	1208.50

SIDEWALK POINTS				
#	NORTHING	EASTING	DESCRIPTION	ELEVATION
300	303376.8850	1760592.5017	WEST SIDE OF BUILDING	1208.50
301	303381.1088	1760589.8407	WEST SIDE OF BUILDING	1208.50
302	303377.8853	1760584.8028	WEST SIDE OF BUILDING	1208.30
303	303392.6874	1760575.3313	WEST SIDE OF BUILDING	1207.60
304	303416.9159	1760559.8282	WEST SIDE OF BUILDING	1208.00
305	303422.9759	1760569.3049	WEST SIDE OF BUILDING	1208.50
306	303443.6548	1760550.3594	WEST SIDE OF BUILDING	1208.50
307	303446.9060	1760548.3115	WEST SIDE OF BUILDING	1208.50
308	303449.1079	1760551.8294	WEST SIDE OF BUILDING	1208.40
309	303452.3157	1760556.8999	WEST SIDE OF BUILDING	1208.00
310	303482.6951	1760605.1295	NORTH SIDE OF BUILDING	1207.70
311	303486.0603	1760610.4720	NORTH SIDE OF BUILDING	1208.10
312	303481.3216	1760613.3898	NORTH SIDE OF BUILDING	1208.50
313	303483.9869	1760617.6202	NORTH SIDE OF BUILDING	1208.50
314	303488.6949	1760614.6547	NORTH SIDE OF BUILDING	1208.10
315	303511.5100	1760650.8754	NORTH SIDE OF BUILDING	1207.30
316	303524.9426	1760642.4143	NORTH SIDE OF BUILDING	1207.10
317	303522.3936	1760638.0553	NORTH SIDE OF BUILDING	1207.10
318	303513.0764	1760643.9808	NORTH SIDE OF BUILDING	1207.20
319	303510.3460	1760639.7242	NORTH SIDE OF BUILDING	1207.30
320	303558.3199	1760622.3130	NORTH SIDE OF PARKING LOT	1207.50
321	303577.8707	1760608.9407	NORTH SIDE OF PARKING LOT	1208.35
322	303575.2058	1760604.7100	NORTH SIDE OF PARKING LOT	1209.01
323	303555.5657	1760618.1400	NORTH SIDE OF PARKING LOT	1207.50
324	303457.3077	1760682.5558	EAST SIDE OF BUILDING	1207.30
325	303454.1151	1760677.5573	EAST SIDE OF BUILDING	1208.00
326	303449.8845	1760680.2225	EAST SIDE OF BUILDING	1208.00
327	303453.0939	1760685.2472	EAST SIDE OF BUILDING	1207.30

SERVICE AREA POINTS				
#	NORTHING	EASTING	DESCRIPTION	ELEVATION
400	303491.9871	1760630.7122	EAST SIDE OF BUILDING	1208.50
401	303502.3536	1760647.1670	EAST SIDE OF BUILDING	1208.50
402	303445.7613	1760682.8201	EAST SIDE OF BUILDING	1207.90
403	303434.7619	1760665.3607	EAST SIDE OF BUILDING	1208.40
404	303436.6036	1760664.2003	EAST SIDE OF BUILDING	1208.50
405	303492.4500	1760641.7934	EAST SIDE OF BUILDING	1208.30

RADIUS POINTS				
#	NORTHING	EASTING	RADIUS	DESCRIPTION
A	303308.5653	1760410.8125	10'	SOUTH SECTION OF PARKING LOT
B	303331.7729	1760434.3446	3'	SOUTH SECTION OF PARKING LOT
C	303353.9760	1760470.0192	3'	SOUTH SECTION OF PARKING LOT
D	303353.3188	1760482.3198	10'	SOUTH SECTION OF PARKING LOT
E	303359.4394	1760485.7956	3'	SOUTH SECTION OF PARKING LOT
F	303302.2520	1760524.5045	3'	SOUTH SECTION OF PARKING LOT
G	303457.2312	1760539.4045	10'	ISLAND WEST OF BUILDING
H	303460.9386	1760536.0737	5'	ISLAND WEST OF BUILDING
I	303523.7847	1760632.4110	1'	NORTH SIDE OF BUILDING
J	303530.6720	1760643.6786	1'	NORTH SIDE OF BUILDING
K	303509.4517	1760648.3306	8.3'	NORTH SIDE OF BUILDING
L	303504.3153	1760651.8862	28.5'	NORTH SIDE OF BUILDING
M	303481.8801	1760677.5131	9'	EAST SIDE OF BUILDING
N	303454.4718	1760703.2918	2.5'	EAST SIDE OF BUILDING
O	303548.7711	1760677.0639	5'	NORTH SIDE OF PARKING LOT
P	303616.6807	1760671.5344	29'	NORTH SIDE OF PARKING LOT
Q	303564.9847	1760589.3963	29'	NORTH SIDE OF PARKING LOT
R	303557.0272	1760627.9854	1'	NORTH SIDE OF PARKING LOT
S	303575.7481	1760607.8149	28.5'	NORTH SIDE OF PARKING LOT
T	303549.7696	176		

**GENERAL NOTES**

1. REFER TO PLANTING DETAILS FOR PROPER INSTALLATION OF ALL PLANT MATERIAL.
2. ALL TREES LOCATED IN GRASS LAWN AREAS ARE TO HAVE A 5' DIA. MULCH CIRCLE INSTALLED AROUND THEM.

**PLANT SCHEDULE**

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	Juniperus chinensis 'Spartan' / Spartan Juniper	B & B		6-7'	6
	Tilia cordata 'Halka' / Summer Sprite Linden	B & B	2"Cal		5
	Ulmus parvifolia 'Bosque' / Bosque Elm	B & B	2"Cal		4
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY		
	Berberis thunbergii 'Crimson Pygmy' / Crimson Pygmy Barberry	3 gal	25		
	Buxus x 'Green Mountain' / Boxwood	3' B&B	12		
	Buxus x 'Green Velvet' / Boxwood	15"-18" B&B	62		
	Hydrangea quercifolia 'Alice' / Alice Oakleaf Hydrangea	7 gal	12		
	Picea pungens 'Montgomery' / Montgomery Blue Spruce	7 gal	1		
	Rosa x 'Radtko' / Double Knock Out Rose	3 gal	17		
	Spiraea japonica 'Little Princess' / Little Princess Japanese Spirea	3 gal	6		
	Viburnum x burkwoodii / Burkwood Viburnum	7 gal	7		
GRASSES	BOTANICAL NAME / COMMON NAME	SIZE	QTY		
	Liriope muscari 'Variegata' / Variegated Lily Turf	1 gal	108		
	Miscanthus sinensis 'Gracillimus' / Maiden Grass	3 gal	5		

2" SHREDDED HARDWOOD MULCH (TYP.)

GRASS LAWN (TYP.)

5' DIA. MULCH CIRCLE (TYP.)  
SEE NOTE

BENCH (TYP.)  
SEE ARCHITECTURAL PLANS

2" OF RIVER STONE  
3/4" - 1" IN SIZE (TYP.)

GRASS LAWN (TYP.)

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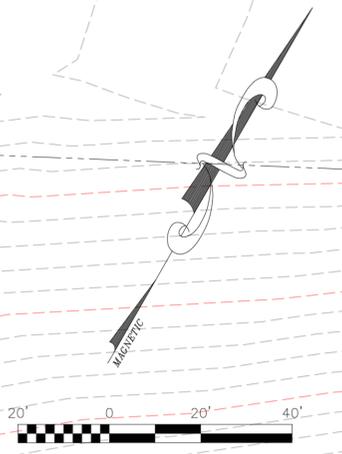
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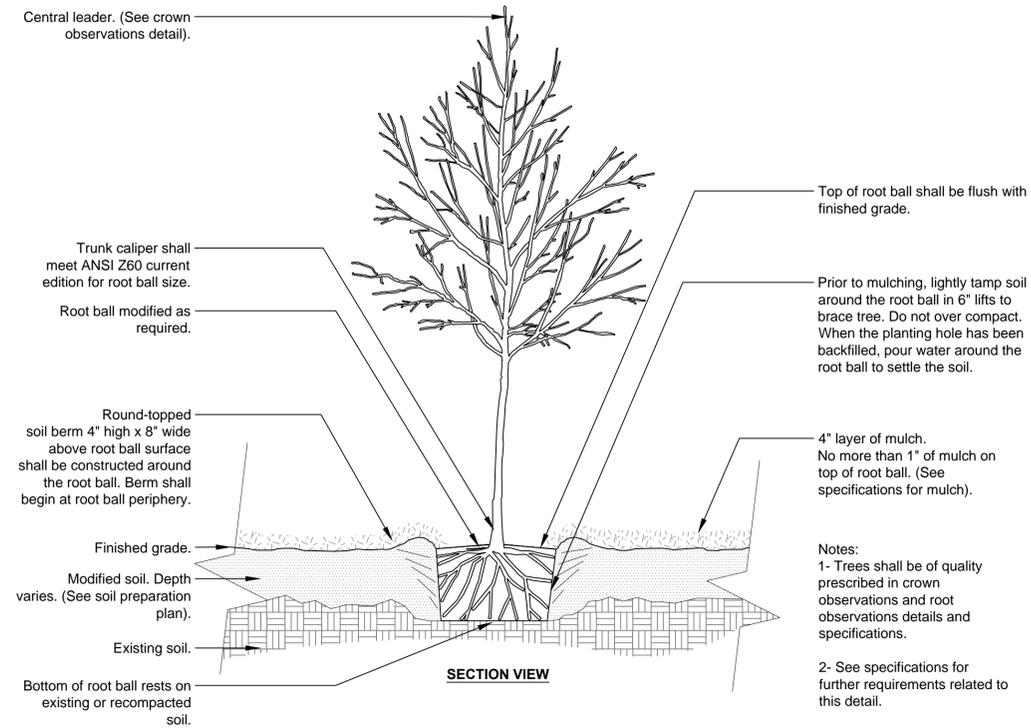
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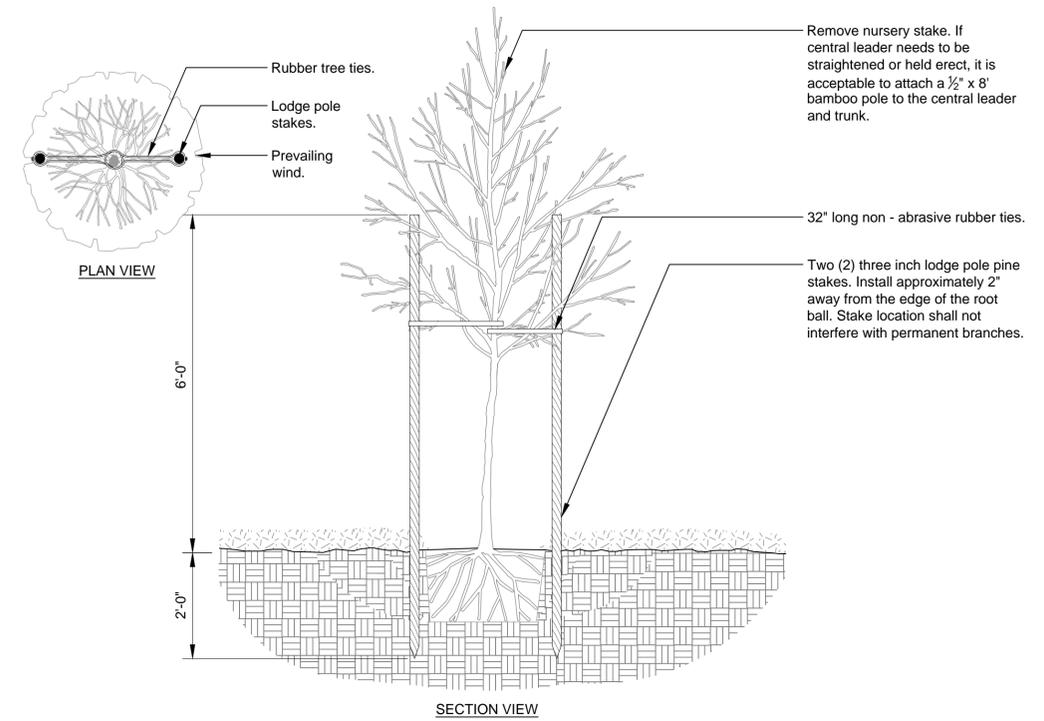
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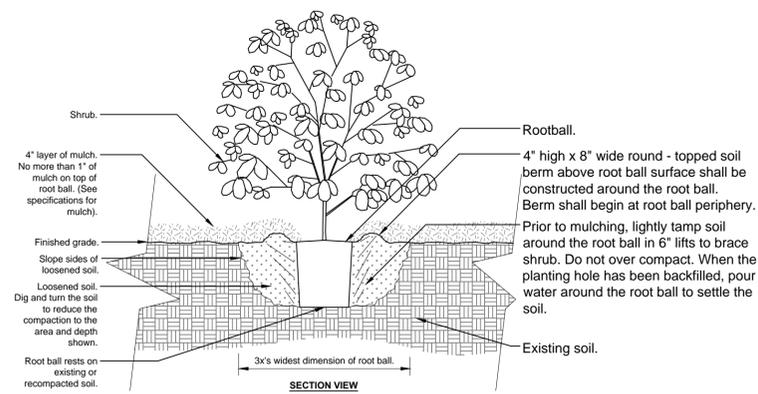




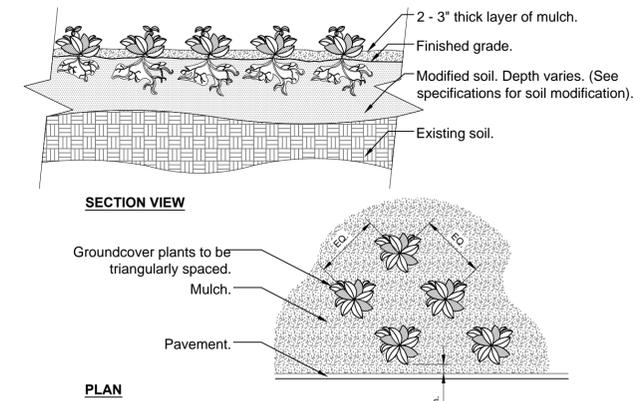
**TREE PLANTING**  
NTS



**TREE STAKING - LODGE POLES (2)**  
NTS



**SHRUB PLANTING**  
NTS



**GROUNDCOVER PLANTING**  
NTS

LAYOUT TAB: DETAILS  
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